



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	Policy Decisions
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> WTF Approval (Form W1)	<input checked="" type="checkbox"/> Site Plan – DRB (Form P2)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Subdivision of Land – Minor (Form S2)	<input type="checkbox"/> Annexation of Land (Form Z)
Decisions Requiring a Public Meeting or Hearing	<input type="checkbox"/> Subdivision of Land – Major (Form S1)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> Conditional Use Approval (Form ZHE)	<input type="checkbox"/> Vacation of Easement or Right-of-way (Form V)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Variance – DRB (Form V)	Appeals
<input type="checkbox"/> Expansion of Nonconforming Use or Structure (Form ZHE)	<input type="checkbox"/> Variance – ZHE (Form ZHE)	<input type="checkbox"/> Decision by EPC, LC, DRB, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Maverik, Inc		Phone: 801-335-3851
Address: 185S. State St. Suite 800		Email: kara.knighton@maverik.com
City: Salt Lake	State: UT	Zip: 84111
Professional/Agent (if any): Tierra West, LLC		Phone: 505-858-3100
Address: 5571 Midway Park Place NE		Email: rrb@tierrawestllc.com
City: Albuquerque	State: NM	Zip: 87109
Proprietary Interest in Site: Owner	List all owners: M-F Partnership	

BRIEF DESCRIPTION OF REQUEST

DRB- Site Plan

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: A 8 Redivision	Block: 8	Unit:
Subdivision/Addition: La Cuesta Subdivision	MRGCD Map No.:	UPC Code: 102205701124833611
Zone Atlas Page(s): K-22-Z	Existing Zoning: MX-M	Proposed Zoning:
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (acres): 0.7448

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 650 Juan Tabo NE	Between: Copper	and: Juan Tabo
---------------------------------------	-----------------	----------------

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature:	Date: 3/29/19
Printed Name: Ronald R. Bohannon	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees
-		
-		
-		
Meeting/Hearing Date:		Fee Total:
Staff Signature:	Date:	Project #

FORM P2: SITE PLAN – DRB

Please refer to the DRB public meeting schedules for hearing dates and deadlines. Your attendance is required.

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form P2 at the front followed by the remaining documents in the order provided on this form.

SITE PLAN – DRB

MAJOR AMENDMENT TO SITE PLAN – DRB

EXTENSION OF SITE PLAN – DRB

N/A Interpreter Needed for Hearing? ____ if yes, indicate language: _____

PDF of application as described above

Zone Atlas map with the entire site clearly outlined and labeled

Letter of authorization from the property owner if application is submitted by an agent

N/A Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) (not required for Extension)

Signed Traffic Impact Study (TIS) Form

Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information (not required for Extension)

Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(G)(3)

N/A Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(O)

Note: If requesting more than allowed by deviation, a Variance – ZHE or Variance – DRB will be required, as applicable.

Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B) (not required for Extension)

Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)

Office of Neighborhood Coordination neighborhood meeting inquiry response

Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

If a meeting was requested or held, copy of sign-in sheet and meeting notes

Sign Posting Agreement

Required notices with content per IDO Section 14-16-6-4(K)(6)

Office of Neighborhood Coordination notice inquiry response

N/A Copy of notification letter and proof of first class mailing

N/A Proof of emailed notice to affected Neighborhood Association representatives

Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, and proof of first class mailing

Completed Site Plan Checklist

Site Plan and related drawings (7 copies, 24" x 36" folded to fit into an 8.5" x 14" pocket)

N/A Copy of the original approved Site Plan or Master Development Plan (for amendments only) (1 copy, 24" x 36")

Site Plan and related drawings reduced to 8.5" x 11" format (1 copy)

N/A Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone

Infrastructure List, if required

FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC

___ Interpreter Needed for Hearing? ____ if yes, indicate language: _____

___ PDF of application as described above

___ Zone Atlas map with the entire site clearly outlined and labeled

___ Letter of authorization from the property owner if application is submitted by an agent

___ Solid Waste Department signature on Site Plan

___ Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information

___ Approved Grading and Drainage Plan

___ Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (not required for Master Development Plans)

___ Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met

___ Site Plan and related drawings (7 copies, 24" x 36" folded to fit into an 8.5" x 14" pocket)

___ Site Plan and related drawings reduced to 8.5" x 11" format (1 copy)

___ Infrastructure List, if required

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature:  Date: 3/29/19

Printed Name: Ronald R. Bohannon Applicant or Agent

FOR OFFICIAL USE ONLY

Case Numbers: _____ Project Number: _____

Staff Signature: _____

Date: _____



July 18, 2018

Mr. Stanley D. Harada, Esq.
Zoning Hearing Examiner
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: ZHE FOR CONDITIONAL USE PERMIT
650 JUAN TABO BLVD NE, ALBUQUERQUE, NM 87123 &
670 JUAN TABO BLVD NE, ALBUQUERQUE, NM 87123**

Dear Mr. Harada:

The purpose of this letter is to authorize Tierra West LLC to act as agent on behalf of Maverik, INC., pertaining to any and all submittals made to the City of Albuquerque for the above-referenced site.

Kara Knighton
Print Name


Signature

Entitlements Manager
Title

7/18/17
Date

Letter of Authorization

To: Zoning Hearing Examiner

Date: _____

Project # _____

ZHE# _____

I, Athanasios Manole hereby authorize Maverick, INC. to act on my behalf in all matters relating to this application for Special Exception filed for my property located at 670 Juan Tabo NE Albuquerque, NM. 87123.

Property Owner (Applicant) Printed Name Athanasios Manole

Property Owner (Applicant) Signature 

Mailing Address 519 Central NE Albuquerque, NM 87102

Letter of Authorization

To: Zoning Hearing Examiner

Date: _____

Project # _____

ZHE# _____

I, Athanasios Manole hereby authorize Maverick, INC. to act on my behalf in all matters relating to this application for Special Exception filed for my property located at 670 Swan Tabo NE Albuquerque, NM. 87123.

Property Owner (Applicant) Printed Name Athanasios Manole

Property Owner (Applicant) Signature 

Mailing Address 519 Central NE Albuquerque, NM 87102

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: Tierra West, LLC DATE OF REQUEST: 03/21/19 ZONE ATLAS PAGE(S): K-22-Z

CURRENT: ZONING MX-M LEGAL DESCRIPTION: LOT OR TRACT # _____ BLOCK # 8
A 8 Redivision

PARCEL SIZE (AC/SQ. FT.) 1.41AC SUBDIVISION NAME La Cuesta Subdivision

REQUESTED CITY ACTION(S):

ANNEXATION [] SITE DEVELOPMENT PLAN
ZONE CHANGE []: From _____ To _____ SUBDIVISION* [] AMENDMENT []
SECTOR, AREA, FAC, COMP PLAN [] BUILDING PERMIT [X] ACCESS PERMIT []
AMENDMENT (Map/Text) [] BUILDING PURPOSES [] OTHER []

Moverik Juan Tobo / Coppin

*includes platting actions

PROPOSED DEVELOPMENT: GENERAL DESCRIPTION OF

ACTION: # OF UNITS: N/A
BUILDING SIZE: 4,300 (sq. ft.)
NO CONSTRUCTION/DEVELOPMENT []
NEW CONSTRUCTION [X]
EXPANSION OF EXISTING DEVELOPMENT []

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE *[Signature]* DATE 03/21/2019

(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [X] NO [] BORDERLINE []

THRESHOLDS MET? YES [X] NO [] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []

Notes: *This site is currently being studied and the study is under review*

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

TRAFFIC ENGINEER *[Signature]* DATE 3/21/19

Required TIS **must be completed prior to applying to the EPC and/or the DRB.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED 1/1
-FINALIZED 1/1 TRAFFIC ENGINEER
DATE

FORM DRWS: DRAINAGE REPORT/GRADING AND DRAINAGE PLAN / WATER & SANITARY SEWER AVAILABILITY

THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR SUBDIVISIONS AND SITE PLANS.

PROJECT NAME: Maverik -Juan Tabo/Copper

AGIS MAP # K-22-Z

LEGAL DESCRIPTIONS: A 8 Redivision of Block 8 La Cuesta Subdivision and B Redivision
Block 8 La Cuesta Subdivision
650/670 Juan Tabo Blvd. NE Albuquerque NM 87123

DRAINAGE REPORT/GRADING AND DRAINAGE PLAN

A drainage report/grading and drainage plan, as per the Drainage Ordinance, was submitted to the City of Albuquerque Planning Department, Hydrology Division (2nd /Ground Floor, Plaza del Sol) on 1-30-19 (date).



Applicant/Agent

3/22/2019

Date

Hydrology Division Representative

Date

NOTE: A GRADING AND DRAINAGE PLAN MUST BE APPROVED PRIOR TO DRB APPROVAL

WATER AND SEWER AVAILABILITY STATEMENT

A Water and Sewer Availability Statement for this project was requested to the ABCWUA (2nd/Ground floor, Plaza del Sol) on 9/13/2018 (date).



Applicant/Agent

3/22/2019

Date

ABCWUA Representative

Date

PROJECT # _____



TIERRA WEST, LLC

March 28, 2019

Ms. Kym Dicome
Development Review Board
P.O. Box 1293
Albuquerque, NM 87103

**RE: MAVERIK- CONVENIENCE STORE AND VEHICLE FUELING STATION
DRB FOR SITE PLAN FOR BUILDING PERMIT
650 JUAN TABO BLVD. AND 670 JUAN TABO BLVD NE,
ALBUQUERQUE, NM 87123
LOT A & B, BLOCK 8 LA CUESTA SUBDIVISION
K-22-Z**

Dear Ms. Dicome:

Tierra West LLC, on behalf of Maverik Inc., is submitting for Site Development for Building Permit to the Development Review Board (DRB) for the above subject property. The subject site is located at the South East corner of Juan Tabo Boulevard and Copper Avenue. The site's address is 650 and 670 Juan Tabo Blvd. NE Albuquerque, NM 87123. The site's legal descriptions are Lot A & B, Block 8 La Cuesta Subdivision and consists of a combined 1.41 +/- acres of land.

Site Development Plan for Building Permit

The development of the site will consist of a 4,300 square-foot building utilized for the commercial sales of food and beverages to support gasoline sales, and will follow the Integrated Development Ordinance requirements through the Development Review Board Site Plan – Approval. There will be public infrastructure improvements required with the development and therefore approval of the Infrastructure List will also be requested by DRB.

If you have any questions or need additional information please contact me.

Sincerely,

Ronald R. Bohannon

cc: Elizabeth Sorenson, Maverik Inc.

JN: 2018046
RRB/rs/jg

5571 Midway Park Pl. NE Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 18-156 Date: 06-12-2018 Time: 3:00

Address: Southeast Corner of Juan Tabo & Copper

AGENCY REPRESENTATIVES AT MEETING:

Planning: Cheryl Somerfeldt

Code Enforcement: Ricardo Vialpando

Fire Marshall: _____

Transportation: _____

Other: _____

PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY!

THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL.

Additional research may be necessary to determine the exact type of application and/or process needed. Factors unknown at this time and/or thought of as minor could become significant as the case progresses.

REQUEST: _____

SITE INFORMATION:

Zone: MX-M Size: 1.50 acre / 5800 square feet

Use: Light Vehicle Fuel Station: P; General retail, small: P; Liquor Retail: P (Permitted) Overlay Zone: _____

Comp Plan: _____

Associated Plans: _____

MPOS / Sensitive Lands / MR Area / CPO: _____

Parking / Landscaping / Street Trees: _____

Use Specific Standards: _____

Dimensional Standards: _____

*Neighborhood Organization/s: _____

**This is preliminary information only. Neighborhood Organization information is only accurate when obtained from the Office of Neighborhood Coordination (ONC) at www.cabq.gov/neighborhoods/resources.*

PROCESS:

Review and Approval Body: _____ Is this PRT a requirement? _____

Type of Action: _____

Notification: _____

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 18-156 Date: 06-12-2018 Time: 3:00

Address: _____

NOTES: _____

ALL Use Specific Standards at IDO 14-16-4-3(D)(17) will apply. Some relevant standards are:

(d) Access street needs 4 travel lanes or a turn lane, not ~~Zia Rd~~ Zia Rd.

(f) ~~Access points cannot be closer than 20 feet from adjacent property if under different ownership.~~

(i) Requires Conditional Use Permit because adjacent to residential district.

Per 14-16-5-9, Neighborhood Edges

(E) (1) & 14-16-5-6 (E) Edge Buffer Landscaping

14-16-5-9 (E) (2) 6-foot high opaque wall or fence where vehicular parking is visible.

" Line up access points on Copper
" Landscaping 15% of net lot area

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 18-132 Date: 5-22 Time: _____
Address: 650 Juan Tabo Blvd NE

AGENCY REPRESENTATIVES AT MEETING:

Planning: _____
Code Enforcement: _____
Fire Marshall: _____
Transportation: _____
Other: _____

***Please Note: PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY; THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL. Statements regarding Zoning are not Certificates of Zoning. Additional research may be necessary to determine the exact type of application and/or process needed. It is possible that factors unknown at this time and/or thought of as minor could become significant as the case progresses.

SITE INFORMATION:

Zone: MX-M Acreage: .74
Comp Plan Area Of: Change Comp Plan Corridor: NO
Comp Plan Center: NO MR Area: NO
Neighborhood Association: _____ Community Planning Area: _____
Overlay Zone: NO MPOS or Sensitive Lands: NO
Use Specific Standards: _____ Dimensional Standards: _____
Access & Connectivity: _____ Parking: _____
Landscaping: _____ Street Trees: _____

SUMMARY:

Type of Action: Site Plan Admin Is this PRT a requirement? _____
Review and Approval Body: Admin

Jaimie Garcia

From: Quevedo, Vicente M. <vquevedo@cabq.gov>
Sent: Monday, March 11, 2019 10:36 AM
To: Kristl Walker
Subject: Neighborhood Meeting Inquiry_Juan Tabo & Copper_DRB
Attachments: IDOZoneAtlasPage_K-22-Z.PDF; Neighborhood Meeting Inquiry_Juan Tabo & Copper_DRB.xlsx

Kristl,

See list of associations below and attached regarding your submittal. In addition, we have included web links below that will provide you with additional details about the new Integrated Development Ordinance (IDO) requirements. The web links also include notification templates that you may utilize when contacting each association. Thank you.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip
Sandia Vista NA	Brenda	Gebler	happygranny8@q.com	PO Box 50219	Albuquerque	NM	87181
Sandia Vista NA	Lucia	Muñoz	lulumu1213@gmail.com	316 Dorothy Street NE	Albuquerque	NM	87123

IDO – Public Notice Requirements & Template: <https://www.cabq.gov/planning/urban-design-development/public-notice>

IDO – Neighborhood Meeting Requirements & Template: <https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

IDO - Administration & Enforcement section: <http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17-Part6.pdf>

Respectfully,

Vicente M. Quevedo, MCRP
Neighborhood Liaison
Office of Neighborhood Coordination
City of Albuquerque – City Council
(505) 768-3332

Website: www.cabq.gov/neighborhoods



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: webmaster=cabq.gov@mailgun.org [<mailto:webmaster=cabq.gov@mailgun.org>] **On Behalf Of** webmaster@cabq.gov

Sent: Friday, March 08, 2019 9:52 AM
To: Office of Neighborhood Coordination <kwalker@tierrawestllc.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Neighborhood Meeting Inquiry Sheet Submission

Neighborhood Meeting Inquiry For:
Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name
Kristl Walker
Telephone Number
505-858-3100
Email Address
kwalker@tierrawestllc.com

Company Name
Tierra West, LLC
Company Address
5571 Midway Park PL NE

City
Albuquerque

State
NM

ZIP
87109

Legal description of the subject site for this project:
A 8 Redivision of BLK 8 La Cuesta Subdivision (EXC POR OUT to R/W)

Physical address of subject site:

Subject site cross streets:
Juan Tabo & Copper

Other subject site identifiers:

This site is located on the following zone atlas page:
K-22-Z

=====
This message has been analyzed by Deep Discovery Email Inspector.

If this email is spam, report it to www.OnlyMyEmail.com



TIERRA WEST, LLC

March 12, 2018

Ms. Lucia Muaoz
Sandia Vista NA
316 Dorothy Street NE
Albuquerque NM 87123

**RE: MAVERIK CONVENIENCE STORE AND VEHICLE FUELING STATION
DRB FOR SITE PLAN FOR BUILDING PERMIT
650 JUAN TABO BLVD. AND 670 JUAN TABO BLVD NE, ALBUQUERQUE, NM
87123
LOT A & B, BLOCK 8 LA CUESTA SUBDIVISION
K-22-Z**

Dear Ms. Muaoz:

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, we are providing you an opportunity to discuss a new convenience store for Maverik located at the north west corner of Juan Tabo Blvd. and Copper Ave. for Site plan for Building Permit, before we submit an application. The development will occur across the abandoned restaurant building and the existing strip mall building. The meeting, if requested, would be an information meeting where Tierra West LLC would present the proposal, and we could discuss any ideas or concerns you may have.

The City of Albuquerque Zoning Hearing Examiner (ZHE) approved a Conditional Use Permit pursuant to Subsection 14-16-6-6(A)(3) of the Integrated Development Ordinance (IDO) to allow a Maverik to be built on the subject referenced parcel. The submittal of this request to DRB is the next step in the process for approval of the site plan for building permit and establishment of an infrastructure list of required offsite improvements.

Per the IDO, you have 15 days from March 12, 2019 to respond, by either 1) requesting a meeting or 2) declining the meeting. If you do not respond within 15 days, you are waiving the opportunity for a Neighborhood Meeting, and we can submit our application anytime thereafter. We would like to submit our application on March 27, 2019.

If you would like to meet, please let us know when your next regular neighborhood meeting is scheduled or provide a few alternative dates that fall within 30 days of your response to this letter.

Before submitting our application, we will send Mailed and/or Emailed Public Notice as required by IDO Table 6-1-1 to make you aware of the public hearing at which the project will be reviewed and decided by the City.

Anyone may request, and the City may require, an applicant to attend a City-sponsored facilitated meeting with Neighborhood Associations, based on the complexity and potential impacts of a proposed project (IDO Section 14-16-6-4 (D)). Visit: <https://www.cabq.gov/planning/urban-design-development/facilitated-meetings-for-proposed-development/> to view and download the Facilitated Meetings Criteria. If you wish to request a

5571 Midway Park Pl. NE Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

Facilitated Meeting regarding this project, contact the Planning Department at devhelp@cabq.gov of 505-924-3955.

If you don't feel that facilitated meeting is needed but have questions, please call Richard Stevenson or myself.

Tierra West LLC Contact(s):
Ronald R. Bohannon, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com
505-858-3100

Richard Stevenson, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rstevenson@tierrawestllc.com
505-858-3100

Sincerely,

 FOS:

Ronald R. Bohannon, P.E.

Enclosure/s

cc: Elizabeth Sorenson, Maverik Inc.

JN: 2018046
RRB/rs/jg



TIERRA WEST, LLC

March 12, 2018

Ms. Brenda Gebler
Sandia Vista NA
PO Box 50219
Albuquerque NM 87181

**RE: MAVERIK CONVENIENCE STORE AND VEHICLE FUELING STATION
DRB FOR SITE PLAN FOR BUILDING PERMIT
650 JUAN TABO BLVD. AND 670 JUAN TABO BLVD NE, ALBUQUERQUE, NM
87123
LOT A & B, BLOCK 8 LA CUESTA SUBDIVISION
K-22-Z**

Dear Ms. Gebler:

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, we are providing you an opportunity to discuss a new convenience store for Maverik located at the north west corner of Juan Tabo Blvd. and Copper Ave. for Site plan for Building Permit, before we submit an application. The development will occur across the abandoned restaurant building and the existing strip mall building. The meeting, if requested, would be an information meeting where Tierra West LLC would present the proposal, and we could discuss any ideas or concerns you may have.

The City of Albuquerque Zoning Hearing Examiner (ZHE) approved a Conditional Use Permit pursuant to Subsection 14-16-6-6(A)(3) of the Integrated Development Ordinance (IDO) to allow a Maverik to be built on the subject referenced parcel. The submittal of this request to DRB is the next step in the process for approval of the site plan for building permit and establishment of an infrastructure list of required offsite improvements.

Per the IDO, you have 15 days from March 12, 2019 to respond, by either 1) requesting a meeting or 2) declining the meeting. If you do not respond within 15 days, you are waiving the opportunity for a Neighborhood Meeting, and we can submit our application anytime thereafter. We would like to submit our application on March 27, 2019.

If you would like to meet, please let us know when your next regular neighborhood meeting is scheduled or provide a few alternative dates that fall within 30 days of your response to this letter.

Before submitting our application, we will send Mailed and/or Emailed Public Notice as required by IDO Table 6-1-1 to make you aware of the public hearing at which the project will be reviewed and decided by the City.

Anyone may request, and the City may require, an applicant to attend a City-sponsored facilitated meeting with Neighborhood Associations, based on the complexity and potential impacts of a proposed project (IDO Section 14-16-6-4 (D)). Visit: <https://www.cabq.gov/planning/urban-design-development/facilitated-meetings-for-proposed-development/> to view and download the Facilitated Meetings Criteria. If you wish to request a

5571 Midway Park Pl. NE Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

Facilitated Meeting regarding this project, contact the Planning Department at devhelp@cabq.gov of 505-924-3955.

If you don't feel that facilitated meeting is needed but have questions, please call Richard Stevenson or myself.

Tierra West LLC Contact(s):
Ronald R. Bohannon, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com
505-858-3100

Richard Stevenson, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rstevenson@tierrawestllc.com
505-858-3100

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

cc: Elizabeth Sorenson, Maverik Inc.

JN: 2018046
RRB/rs/jg

Jaimie Garcia

From: Lucia Brown <lulumu1213@gmail.com>
Sent: Sunday, March 24, 2019 9:52 PM
To: Richard Stevenson
Subject: Re: Proposed Maverik at Juan Tabo / Copper

Good evening

Thank you so much for all the information you provided
We don't have any questions or concerns and feel we don't need to meet
Thank you again

Sent from my iPhone

On Mar 19, 2019, at 11:33 AM, Richard Stevenson <rstevenson@tierrawestllc.com> wrote:

Ms. Munoz,

Thank you for taking my call. Attached please find the letter that was mailed last week along with the proposed site plan. Maverik is a national gas station store based out of Utah, and this site is one of six new stores that are coming to the Albuquerque region. You can find out more about them on their website: <https://www.maverik.com/>, or if you have specific questions I can pass on a contact with the firm who you can call.

Can you please review the attachments and discuss with Ms. Gebler as to whether we need to arrange a neighborhood meeting? If you have minor questions I can certainly try and answer them or find out further information. We will be submitting for DRB Major which will be a public hearing some time in April, and I will confirm the date once the package is submitted.

Look forward to hearing from you.

Kind Regards,

Richard Stevenson, P.E.

Tierra West LLC
5571 Midway Park Pl., NE
Albuquerque, NM 87109
505-858-3100 ext. 232

PRIVILEGED AND CONFIDENTIAL

The information contained in this electronic mail message is confidential, may be privileged, and is intended only for the use of the individual(s) named above or their designee. If you are not the intended recipient of this message, you are hereby notified that any dissemination, distribution, or copying of this communication is strictly prohibited. Any unauthorized interception of this message is illegal under the law. If you have received this message in error, please immediately notify me by return message or by telephone and delete the original message from your email system. Thank you.

<2018046 Maverik Juan Tabo DRB Site Plan - Neighborhood 15day notice ltr.docx>

<2018046-Maverik Juan Tabo Site Plan 3.5.2019.pdf>

SIGN POSTING REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property, which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproofed signs will be provided at the time of application. If the application is mailed, you must still stop at the Planning Division to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Planning Division at a charge of \$3.00 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be two to seven feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign in order to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then in addition to a sign placed on the property a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.


4. TIME

Signs must be posted from _____ To _____.

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Planning Division staff. I understand (A) my obligation to keep the sign(s) posted for fifteen (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

 _____, 3/29/19 _____
(Applicant or Agent) (Date)

I issued _____ signs for this application, _____, _____
(Date) (Staff Member)

Jaimie Garcia

From: Quevedo, Vicente M. <vquevedo@cabq.gov>
Sent: Thursday, March 28, 2019 8:38 AM
To: Jaimie Garcia
Subject: Public Notice Inquiry_Juan Tablo & Copper_DRB
Attachments: K-22_Tierra West_Maverik Gas Station.pdf

Jaimie,

The purpose of this email is to confirm that as of today, March 28, 2019, there are no associations to notify regarding your DRB submittal. Thank you.

Respectfully,

Vicente M. Quevedo, MCRP
Neighborhood Liaison
Office of Neighborhood Coordination
City of Albuquerque – City Council
(505) 768-3332

Website: www.cabq.gov/neighborhoods



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From: webmaster=cabq.gov@mailgun.org [<mailto:webmaster=cabq.gov@mailgun.org>] On Behalf Of webmaster@cabq.gov
Sent: Wednesday, March 27, 2019 1:12 PM
To: Office of Neighborhood Coordination <jgarcia@tierrawestllc.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:

Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Jaimie Garcia

Telephone Number

505-858-3100

Email Address

jgarcia@tierrawestllc.com

Company Name

Tierra West, LLC

Company Address

5571 Midway Park Place NE

City

Albuquerque

State

NM

ZIP

87109

Legal description of the subject site for this project:

A 8 Redivision of BLK 8 La Cuesta Subdivision (EXC POR Out to R/W)

Physical address of subject site:

Subject site cross streets:

Juan Tablo & Copper

Other subject site identifiers:

This site is located on the following zone atlas page:

K-22-Z

=====
This message has been analyzed by Deep Discovery Email Inspector.

If this email is spam, report it to www.OnlyMyEmail.com



TIERRA WEST, LLC

March 29, 2018

**RE: PUBLIC NOTICE
MAVERIK CONVENIENCE STORE AND VEHICLE FUELING STATION
DRB FOR SITE PLAN FOR BUILDING PERMIT
650 JUAN TABO BLVD. AND 670 JUAN TABO BLVD NE, ALBUQUERQUE, NM
87123
LOT A & B, BLOCK 8 LA CUESTA SUBDIVISION
K-22-Z**

To Whom It May Concern:

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K)(2) Mailed Public Notice, we are notifying you as a Neighborhood Association Representative that Tierra West, LLC on behalf of Maverik, Inc. is submitting an application for approval of the Site Plan for Building Permit to be reviewed by the Development Review Board. The application is for a new convenience store for Maverik located at the south east corner of Juan Tabo Blvd. and Copper Ave.

The anticipated public hearing for this request will be on April 24, 2019 at 9:00am in the Hearing Room (Basement Level) of Plaza Del Sol 600 2nd St NW, Albuquerque NM 87102. You can check the agenda for DRB online here: <http://www.cabq.gov/planning/boards-commissions> or call the Planning Department at 505-924-3860.

Please contact me with any questions or concerns you or the Neighborhood Association may have with the application.

Ronald R. Bohannon, PE and/or Richard Stevenson, PE
5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com or rstevenson@tierrawestllc.com
505-858-3100

Sincerely,

Ronald R. Bohannon, P.E.

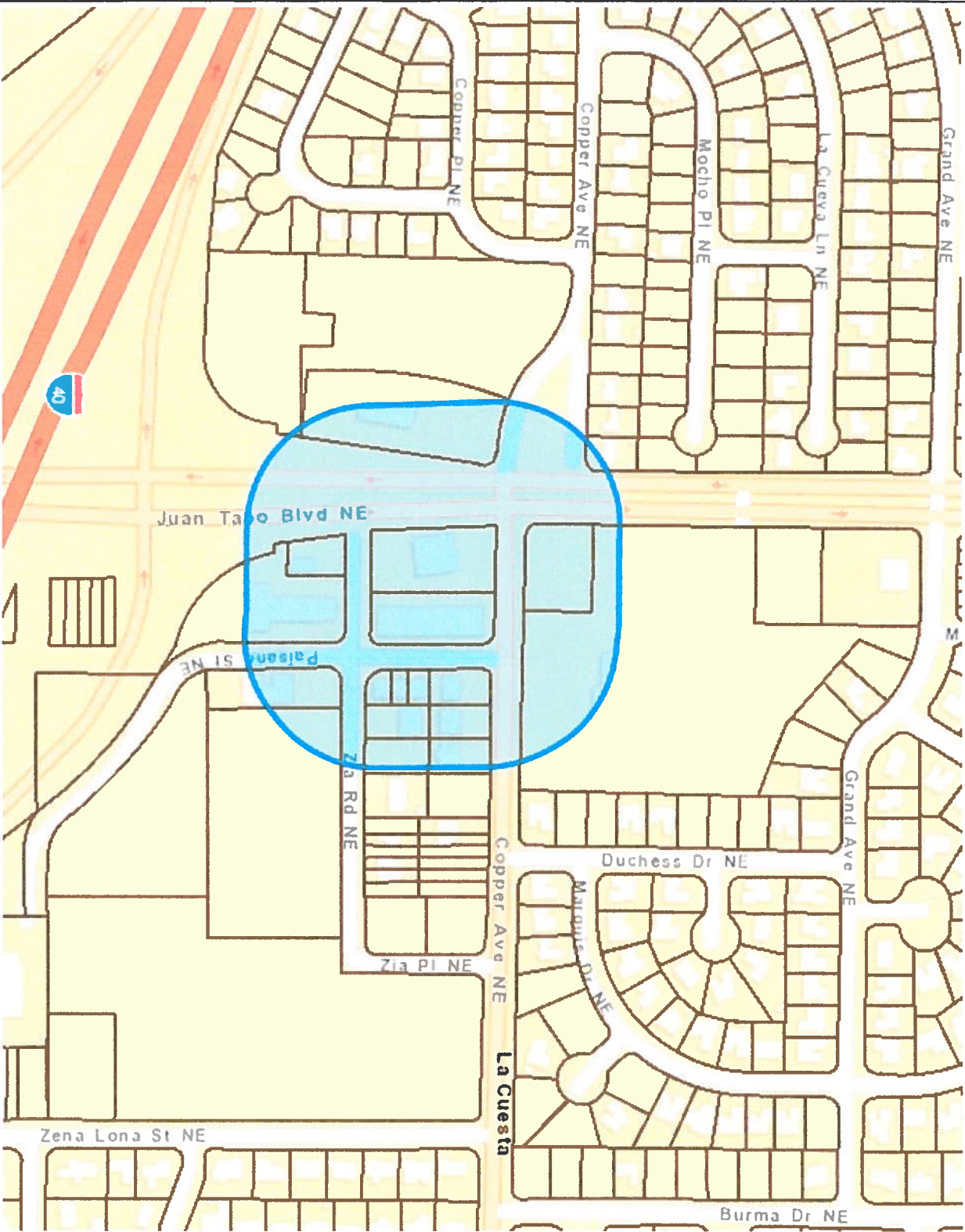
Enclosure/s

cc: Elizabeth Sorenson, Maverik Inc.
JN: 2018046
RRB/rs/jg

5571 Midway Park Pl. NE
(505) 858-3100
Albuquerque, NM 87109
fax (505) 858-1118
1-800-245-3102
tierrawestllc.com



Juan Tabo and Copper



- Legend**
- Bernalillo County Parcels
 - Municipal Limits**
 - Corrales
 - Edgewood
 - Los Ranchos
 - Rio Rancho
 - Tijeras
 - UNINCORPORATED
 - World Street Map

Notes

Buffer: 256ft.
 ROW: Juan Tabo Blvd: NE 156ft.



WGS_1984_Web_Mercator_Auxiliary_Sphere
 3/13/2019 © City of Albuquerque

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/arcq-data/arcq-data-disclaimer-1> for more information.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

M - F PARTNERSHIP
PO BOX 35280
ALBUQUERQUE NM 87176

PRUFROCK RESTAURANTS INC C/O TKG
ALBUQUERQUE CROSSROADS LLC
211 N STADIUM BLVD SUITE 201
COLUMBIA MO 65203-1161

SERNA ROLANDO
6118 BUENOS AIRES PL NW
ALBUQUERQUE NM 87120

MANOLE ATHANASIOS K
519 CENTRAL AVE NE
ALBUQUERQUE NM 87102-3113

FEISTEL LORI R
11725 COPPER AVE NE
ALBUQUERQUE NM 87123-1310

INVESTMENT ASSET MGNT INC C/O
KURZ GROUP INC
PO BOX 695019
ORLANDO FL 32869-9901

HAMMOND JASON F & THERESA M
2801 FLORAL RD NW
ALBUQUERQUE NM 87104-2739

HARLOW JAMES M TRUSTEE HARLOW
TRUST
14204 CUIDAD CT NE
ALBUQUERQUE NM 87123

HIRDMAN DESIREE R
650 PAISANO ST NE
ALBUQUERQUE NM 87123

MODY BHARAT & CHAMPA RVT
5817 SIGNAL AVE NE
ALBUQUERQUE NM 87113-1902

SERNA ROLANDO JR COPPER 1A
LIMITED PARTNERSHIP
6118 BUENOS AIRES PL NW
ALBUQUERQUE NM 87120-2211

SANTANGELO JOSEPH & ANNA
TRUSTEES SANTANGELO RVT
12409 CORONADO AVE NE
ALBUQUERQUE NM 87112-1061

AZAR PROPERTIES LLC
9516 ADMIRAL DEWEY AVE NE
ALBUQUERQUE NM 87111-1369

INVESTMENT ASSET MGNT INC C/O
KROENKE GROUP CENTRE 308
211 N STADIUM BLVD SUITE 201
COLUMBIA MO 65203-1161

SANTANGELO JOSEPH & ANNA
TRUSTEES SANTANGELO RVT
12409 CORONADO AVE NE
ALBUQUERQUE NM 87112-1061

GROFF RICHARD K TRUSTEE GROFF
TRUST
313 PERFECTO LOPEZ RD
CORRALES NM 87048-5109

LUNA ALBERT
13683 CAMILLA ST
WHITTIER CA 90601

WAREHOUSE X-ZIA C/O JOHN A
SHOECRAFT
4545 N 36TH ST SUITE 214
PHOENIX AZ 85018-3474

JT PROPERTY LLC C/O NELLIS
CORPORATION
7811 MONTROSE RD SUITE 420
POTOMAC MD 20854-3332

JT PROPERTY LLC C/O NELLIS
CORPORATION
7811 MONTROSE RD SUITE 420
POTOMAC MD 20854-3363

SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.

- N/A E. Off-Street Loading
 - N/A 1. Location and dimensions of all off-street loading areas

- N/A F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
 - N/A 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - N/A 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - N/A 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
 - 6. Location of street lights
 - 7. Show and dimension clear sight triangle at each site access point
 - 8. Show location of all existing driveways fronting and near the subject site.

- N/A B. Identify Alternate transportation facilities within site or adjacent to site
 - N/A 1. Bikeways and bike-related facilities
 - N/A 2. Pedestrian trails and linkages
 - N/A 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- N/A A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5 Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)

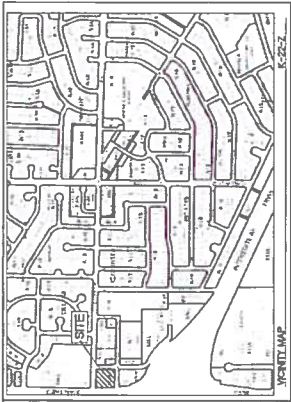
SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO



LEGAL DESCRIPTION
 LOT A AND B, BLOCK 8, LA CUESTA SUBDIVISION

SITE DATA
 PROPOSED USAGE: GAS CONVENIENCE STORE
 LIGHT VEHICLE FUELING STATION
 IDO CLASSIFICATION: 61,753.72 SF (1.41 ACRES)
 LOT AREA:
 BUILDING AREA: 4,300 SF
 ASPHALT AREA: 235 (20 UNITS)
 PARKING REQUIRED: 17 SPACES (4 SPACES PER 1,000 SF)
 PARKING PROVIDED: 26 SPACES
 HC PARKING REQUIRED: 2 SPACES
 HC PARKING PROVIDED: 2 SPACES
 MC PARKING PROVIDED: 1 SPACE VAN ACCESSIBLE
 MC PARKING REQUIRED: 2 SPACES
 MC PARKING PROVIDED: 2 SPACES
 BICYCLE PARKING REQUIRED: 2 SPACES
 BICYCLE PARKING PROVIDED: 2 SPACES
 LANDSCAPE AREA REQUIRED: 8,618 SF
 LANDSCAPE AREA PROVIDED: 12,125 SF

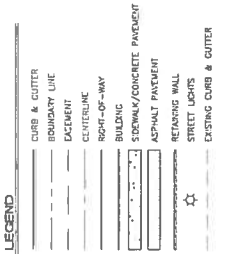
PROJECT NUMBER	DATE
APPLICATION NUMBER	DATE
DATE SITE DEVELOPMENT PLAN APPROVAL	DATE
Traffic Engineer, Transportation Division	DATE
Water Utility Development	DATE
Tourism & Recreation Department	DATE
City Engineer	DATE
Environmental Health Department (Conditional)	DATE
Solid Waste Management	DATE
DRB Encouragement, Planning Department	DATE
Code Enforcement	DATE
Environmental Health, if necessary	DATE

MAVERIK
 650 JUAN TABO BLVD. NE
 SITE PLAN FOR BUILDING PERMIT

APPROVED BY: [Signature]
 DATE: 1/27/2018
 P.L. # [Number]

PROJECT: MAVERIK
 DRAWING: 201804-01
 SHEET: C1
 DATE: 3-28-19

DESIGNED BY: ZESTER WEED, LLC
 5571 MADRID PARK PL. SE
 ALBUQUERQUE, NM 87105
 (505) 253-3100
 www.zesterweed.com



KEYED NOTES

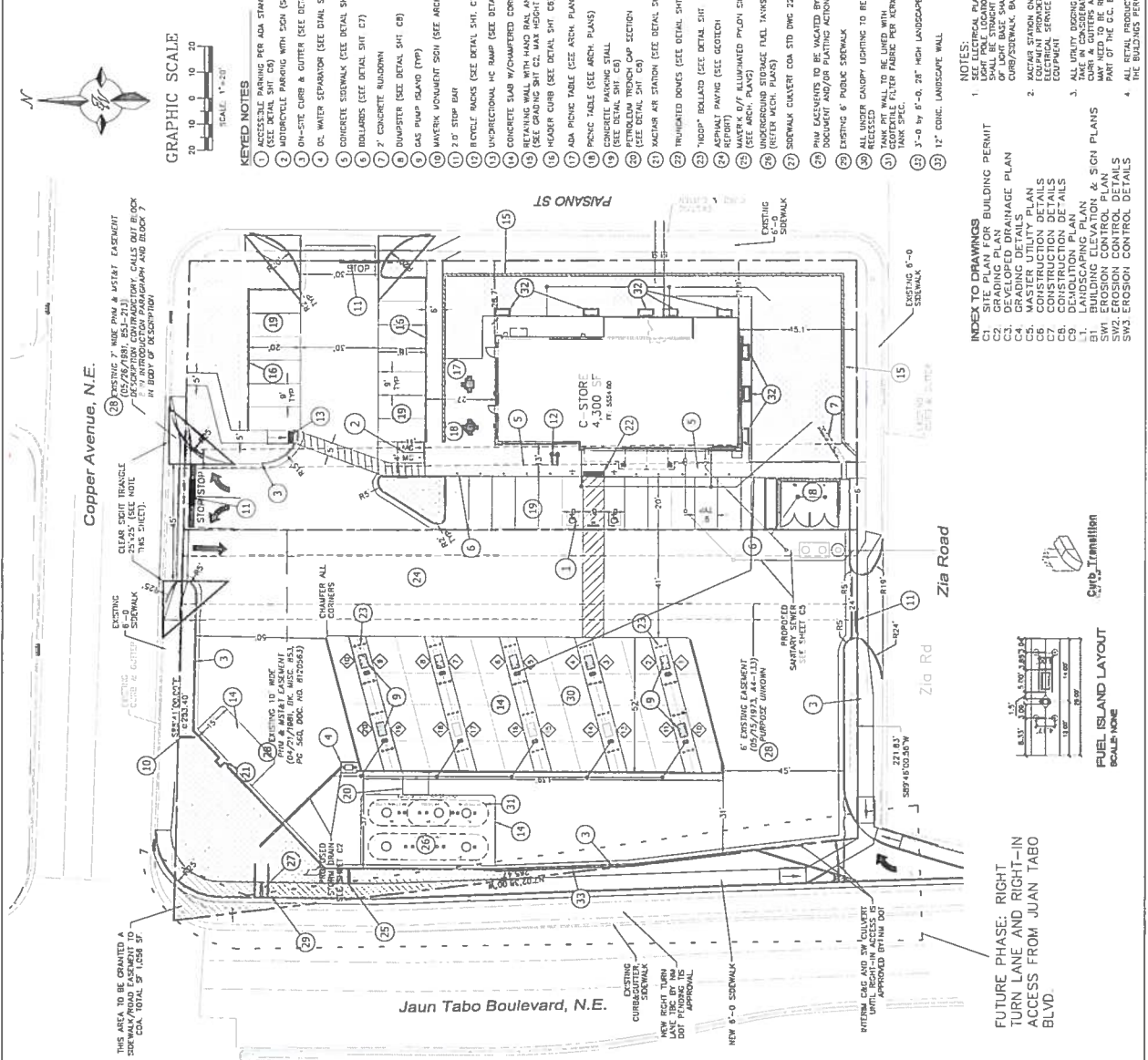
1. ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT C6)
2. MOTORCYCLE PARKING WITH SIGN (SEE DETAIL SHT C6)
3. ON-SITE CURB & GUTTER (SEE DETAIL SHT C6)
4. 0.5" WATER SEPARATOR (SEE DETAIL SHT C6)
5. CONCRETE SIDEWALK (SEE DETAIL SHT C7)
6. BOLLARDS (SEE DETAIL SHT C7)
7. CONCRETE RAILROAD
8. BUNSPSTER (SEE DETAIL SHT C6)
9. GAS PUMP ISLAND (TYP)
10. MAVERIK MOUNTMENT SDH (SEE ARCH. PLANS)
11. 2' STOP BAY
12. BICYCLE RACKS (SEE DETAIL SHT C7)
13. UNIDIRECTIONAL HC RAMP (SEE DETAIL SHT C6)
14. CONCRETE SLAB W/CHAMFERED CORNERS
15. RETAINING WALL WITH HAND RAIL AND ROOSTERBANK GUARD (SEE GRADING SHT C2, MAX HEIGHT 4'0" DETAIL SHT. 7)
16. HEAVY CURB (SEE DETAIL SHT C6)
17. 6"X6" PING TABLE (SEE ARCH. PLANS)
18. PING TABLE (SEE ARCH. PLANS)
19. CONCRETE PAVING SHALL (SEE DETAIL SHT C7)
20. PETROLEUM TRENCH CAP SECTION (SEE DETAIL SHT C6)
21. VACUUM AIR STATION (SEE DETAIL SHT C6)
22. PUNCTURED DOMES (SEE DETAIL SHT C6)
23. "HOSP" BOLLARD (SEE DETAIL SHT C7)
24. ASPHALT PAVING (SEE GEOTECH REPORT)
25. MAVERIK 0/7" ALUMINUM PLYOY SIGN (SEE ARCH. PLANS)
26. UNDERGROUND STORAGE TANK TANKS (REFER MECH. PLANS)
27. SIDEWALK CHAVER COA STD DMC 2236
28. PAVEMENTS TO BE VACATED BY DOCUMENT AND/OR PLATTING ACTION
29. EXISTING 6" PUBLIC SIDEWALK
30. ALL UNDER CANOPY LIGHTING TO BE RECESSED
31. GEOTECH FILTER PUBLIC PAVEMENTS TANK SPEC.
32. 2'-0" BY 6'-0" 20" HIGH LANDSCAPE PLANTER BOXES
33. 12" CONC. LANDSCAPE WALL

INDEX TO DRAWINGS

1. SITE PLAN FOR BUILDING PERMIT
2. DEVELOPED DRAINAGE PLAN
3. GRADING DETAILS
4. MASTER UTILITY PLAN
5. CONSTRUCTION DETAILS
6. CONSTRUCTION DETAILS
7. LANDSCAPING PLAN
8. BUILDING ELEVATION & SIGN PLANS
9. EROSION CONTROL PLAN
10. EROSION CONTROL DETAILS

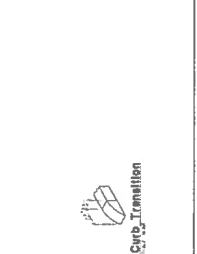
NOTES:

1. SEE ELECTRICAL PLANS FOR ALL LIGHT FIXTURES & WIRING. ALL LIGHT FIXTURES SHALL BE STRONG AND FLAESHED SMOOTH TOP OF LIGHT BASE SHALL BE 2'-0" ABOVE TOP OF CURB/SIDEWALK UNLESS PROVIDED BY G.C. TYP
2. SIDEWALKS SHALL BE CONFORMED TO ADA REQUIREMENTS FOR ACCESSIBILITY. SIDEWALKS SHALL BE 6'-0" WIDE MINIMUM UNLESS OTHERWISE SPECIFIED. SIDEWALKS SHALL BE 1/2" ABOVE FINISH GRADE UNLESS OTHERWISE SPECIFIED. SIDEWALKS SHALL BE 1/2" ABOVE FINISH GRADE UNLESS OTHERWISE SPECIFIED. SIDEWALKS SHALL BE 1/2" ABOVE FINISH GRADE UNLESS OTHERWISE SPECIFIED.
3. ALL UNDER CANOPY LIGHTING TO BE RECESSED
4. ALL RETAIL PRODUCT AREAS ARE TO BE UNDER THE BUILDING PERMANENT ROOF



INDEX TO DRAWINGS

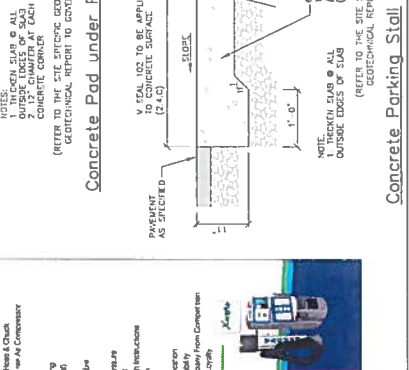
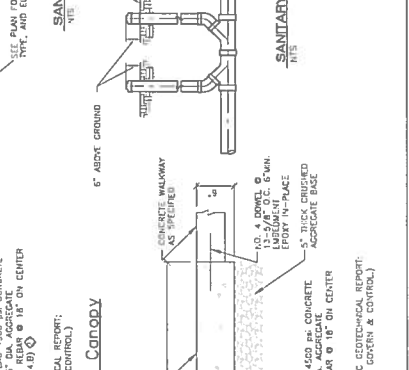
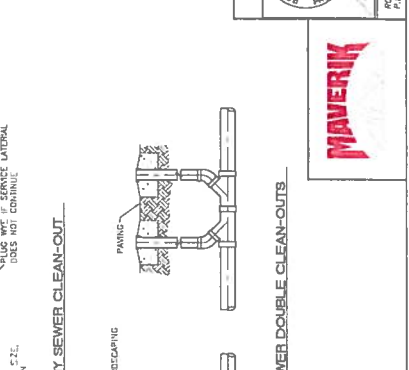
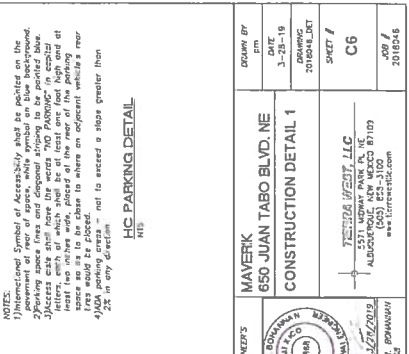
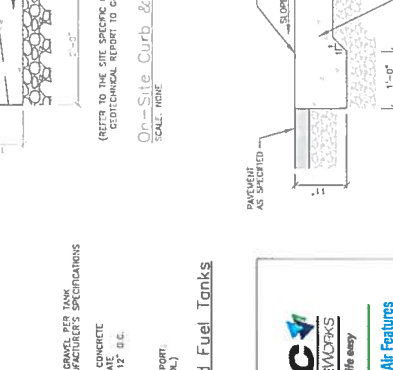
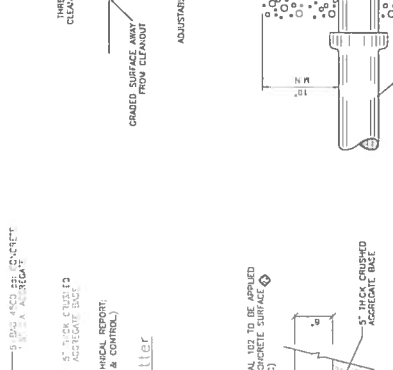
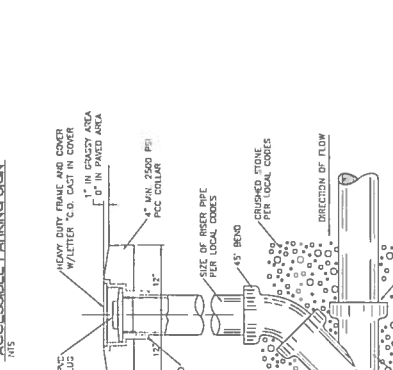
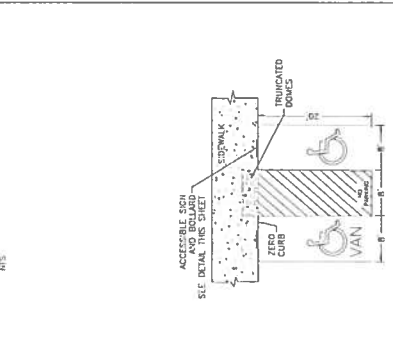
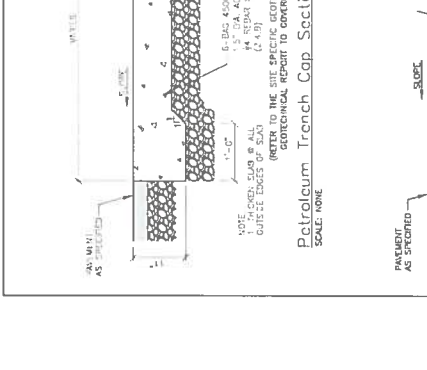
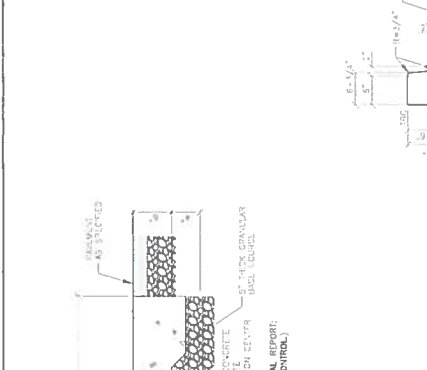
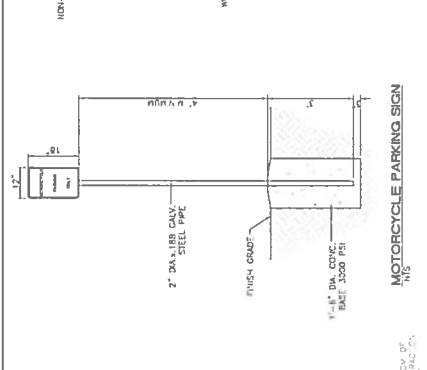
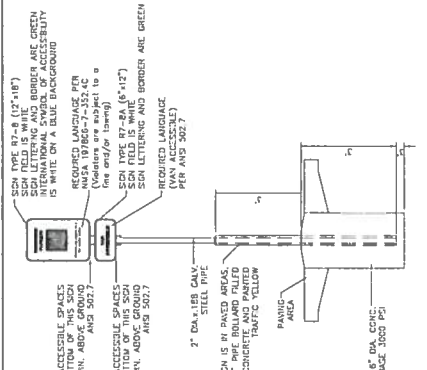
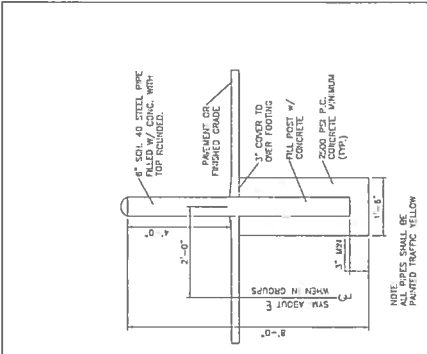
1. SITE PLAN FOR BUILDING PERMIT
2. DEVELOPED DRAINAGE PLAN
3. GRADING DETAILS
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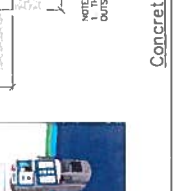
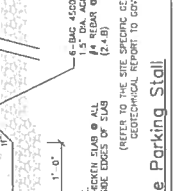
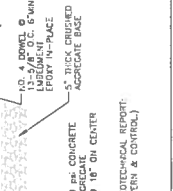
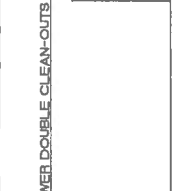
FUTURE PHASE: RIGHT TURN LANE AND RIGHT-IN ACCESS FROM JUAN TABO BLVD.

Curb Trimmings

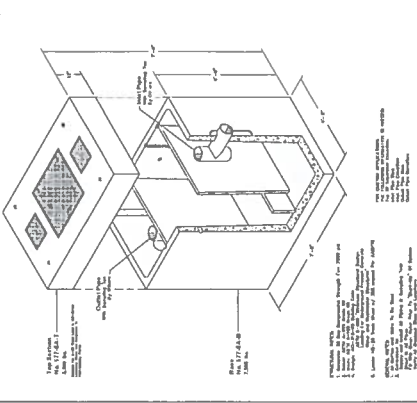
FUEL ISLAND LAYOUT
 SCALE: NONE



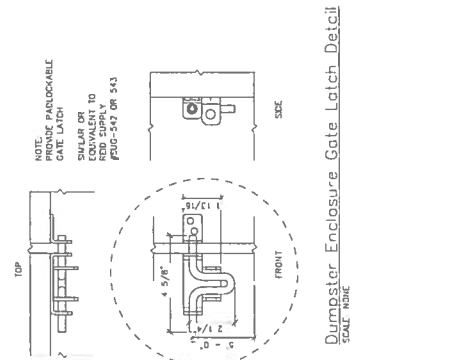
ENGINEER'S SEAL	MAVERIK 650 JUAN TABO BLVD. NE CONSTRUCTION DETAIL 1	DRAWN BY JPM
DATE 3-28-19		DATE 3-28-19
PROJECT NO. 19000000000000000000		DRAWING SCHEDULED
DATE 10/27/2019		SHEET # C6
PROJECT NAME 19000000000000000000		SCALE AS SHOWN
PROJECT ADDRESS 5371 MAVERIK PARK PL. NE ALBUQUERQUE, NM 87119		PROJECT NO. 19000000000000000000
PROJECT PHONE (505) 825-3100		PROJECT FAX (505) 825-3100
PROJECT WEBSITE www.cscsw.com		PROJECT EMAIL info@cscsw.com



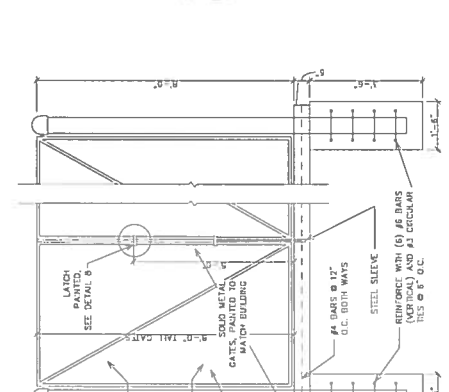
577-SA OIL WATER SEPARATOR
800 Gallon capacity



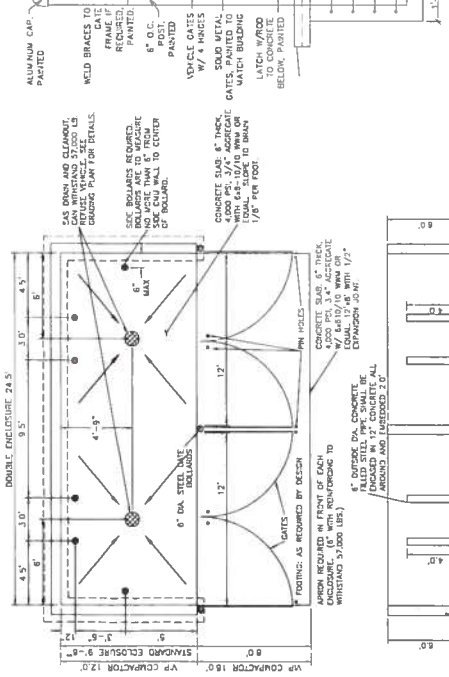
577-SA



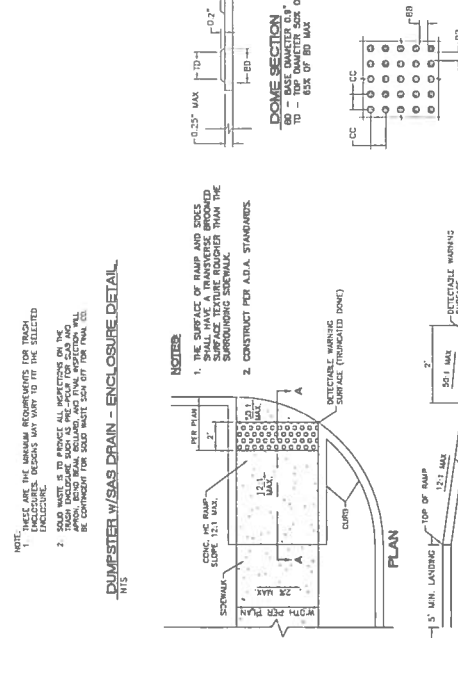
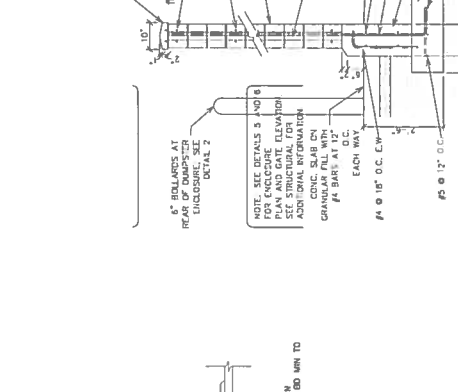
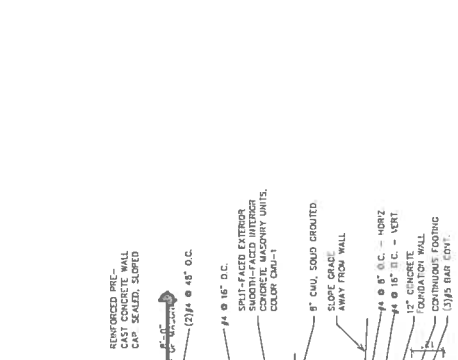
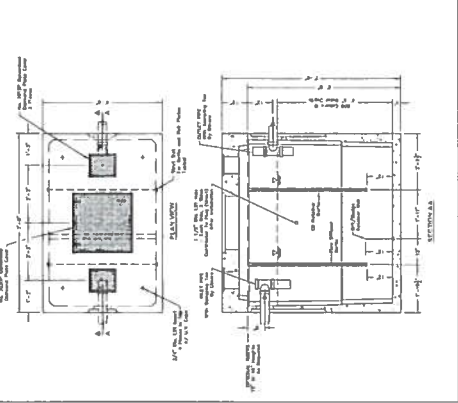
Dumpster Enclosure Gate Latch Detail
SCALE: NONE



Dumpster Enclosure Gate Detail
SCALE: NONE



Dumpster Enclosure Gate Detail
SCALE: NONE



577-SA

Dumpster Enclosure Gate Latch Detail
SCALE: NONE

Dumpster Enclosure Gate Detail
SCALE: NONE

Dumpster Enclosure Gate Detail
SCALE: NONE

PROJECT 3
SCALE

MAVERIK
650 JUAN TABO BLVD. NE
CONSTRUCTION DETAIL 3

DATE: 3-28-19
DRAWING: 2018A.DKT
SHEET: C8
JOB: 2018M46

MAVERIK WEST, LLC
5371 URBAN PARK PL. NE
ALBUQUERQUE, NM 87110
(505) 825-2100
www.maverikwest.com

REVISIONS
DATE: 1/2/2019
BY: P.L. FRAZ
APP: P.L. FRAZ

MAVERIK
CONSTRUCTION

NOTES:
1. THE SURFACE OF RAMP AND ROSS SHALL HAVE A TRANSVERSE BROOKED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SURFACING.
2. CONSTRUCT PER A.D.A. STANDARDS.

CONCRETE SLAB EN CHU BARS AT 12" O.C.

EACH WAY 4" O.C. E.W. 4" O.C. - HORIZ 4" O.C. - VERT 12" CONCRETE FOUNDATION WALLING (3) #5 BARS COY.

NOTES:
1. THESE ARE THE MINIMUM REQUIREMENTS FOR TRUCK ENCLOSURE. CHECK WITH VEH TO THE SELECTED MODEL.
2. SOLID WASTE IS TO BE PLACED IN THE APPROX. 10' DIA. BOLLARD AND THE WASTON WALL BE CONCRETE FOR SOLID WASTE SET OFF FOR TRUCK.

DUMPSTER W/ SAS DRAIN - ENCLOSURE DETAIL
NOTES

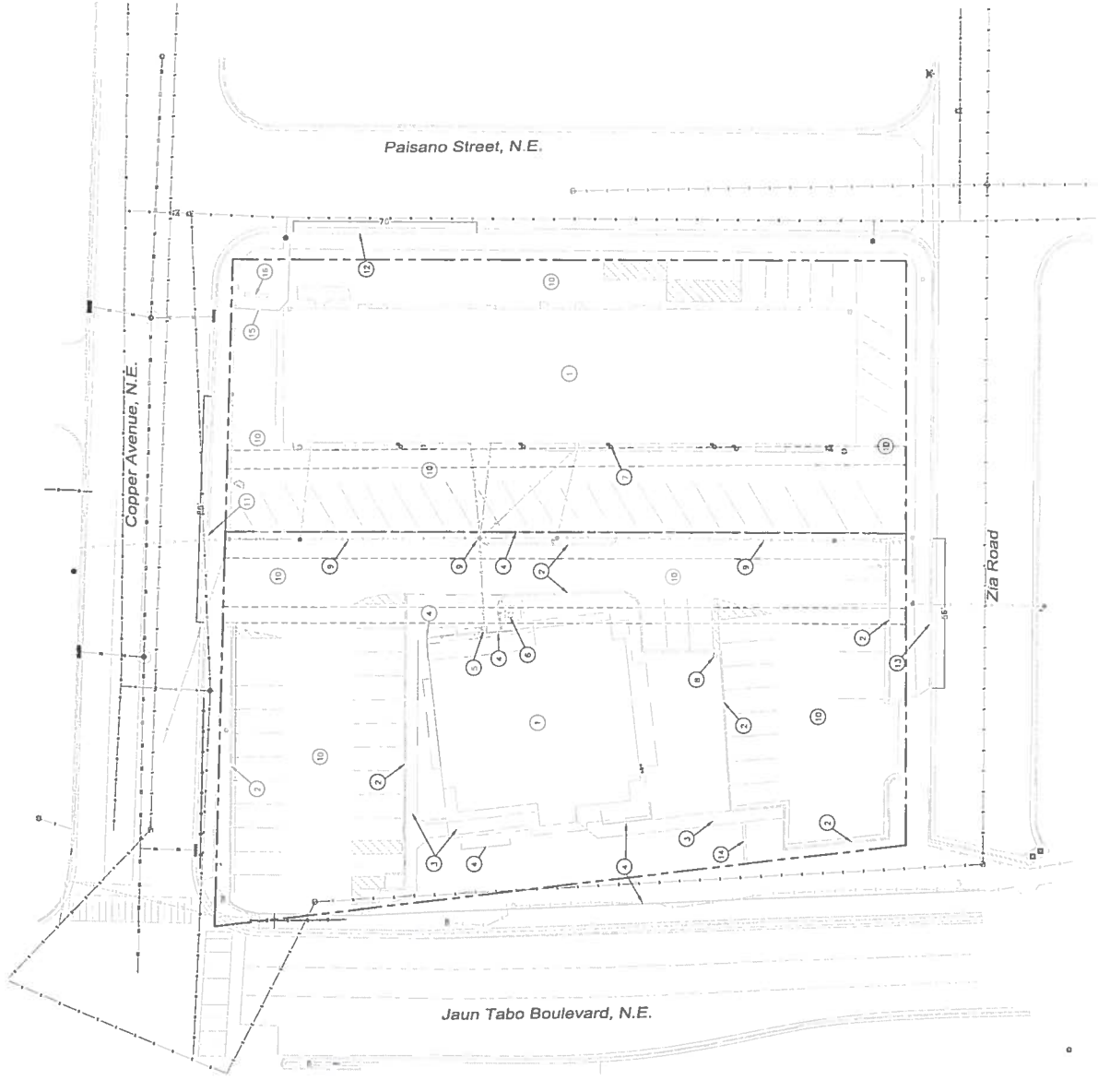
SECTION A-A
UNDIRECTIONAL HC RAMP
NOT TO SCALE

LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- PAVEMENT
- EXISTING SIDEWALK
- EXISTING WATER LINE
- EXISTING STORM LINE
- EXISTING STORM MANHOLE
- EXISTING STORM INLET
- EXISTING GAS MANHOLE
- EXISTING WATER LINE
- EXISTING WATER VALVE
- EXISTING OVERHEAD POWER LINE
- EXISTING POWER POLE
- EXISTING ELECTRICAL LINE
- EXISTING WALL
- EXISTING ELECTRICAL BOX
- EXISTING TRANSFORMER
- EXISTING LIGHT STANDARD
- EXISTING TELEPHONE PEDISTAL

KEYED NOTES

- 1 REMOVE AND DISPOSE EXISTING BUILDING AND FOUNDATION
- 2 REMOVE AND DISPOSE EXISTING CURB AND GUTTER
- 3 REMOVE AND DISPOSE EXISTING CONCRETE SIDEWALK
- 4 REMOVE AND DISPOSE EXISTING WALL
- 5 REMOVE AND DISPOSE EXISTING ELECTRICAL BOX
- 6 REMOVE EXISTING TRANSFORMER, RETURN TO PHM
- 7 REMOVE AND DISPOSE EXISTING GAS METER (TYP)
- 8 REMOVE AND DISPOSE EXISTING LIGHT STANDARD
- 9 REMOVE OVERHEAD POWER LINE AND POLES TO BE RELOCATED BY OTHERS
- 10 REMOVE AND DISPOSE ALL EXISTING ASPHALT
- 11 REMOVE AND DISPOSE 66 LF EXISTING CURB AND GUTTER AND SIDEWALK
- 12 REMOVE AND DISPOSE 70 LF EXISTING CURB AND GUTTER AND SIDEWALK
- 13 REMOVE AND DISPOSE 58 LF EXISTING CURB AND GUTTER AND SIDEWALK
- 14 REMOVE AND DISPOSE EXISTING SIGN
- 15 EXISTING WALL TO REMAIN
- 16 EXISTING SIGN TO REMAIN



	MAVERIK 650 JUAN TABO BLVD. NE DEMOLITION PLAN	DRAWN BY JAC 3-28-19
	STEPHEN WIGGERT, LLC 2571 WADWAY PARK, N.E. ALBUQUERQUE, NM 87106-8710 www.LifeWreck.com	SHEET # C9
ROAD # 8 SPANWAY 37727818 P.O. BOX	DATE 3/28/19	SCALE 1" = 10'-0"





DESIGN

1605 South Gremercy Rd.
Salt Lake City, UT 84104
801.487.8481

www.yesco.com

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The colors shown are only approximated on the computer monitor, inkjet printer print. The final product will vary in color from your computer monitor or print.

This sign will be installed in accordance with the National Electrical Code and / or other applicable local codes. This includes proper grounding and bonding at the sign.



Revisions

No.	Date / Description
1	
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Approvals

YESCO AE Signature / Date

Client Signature / Date

Landscape Signatory / Date

Maverik

Juan Tabo & Copper
Albuquerque, NM

Acct. Exec: Matt Wren

Designer: Justin Raymond

Date: 09.06.2018

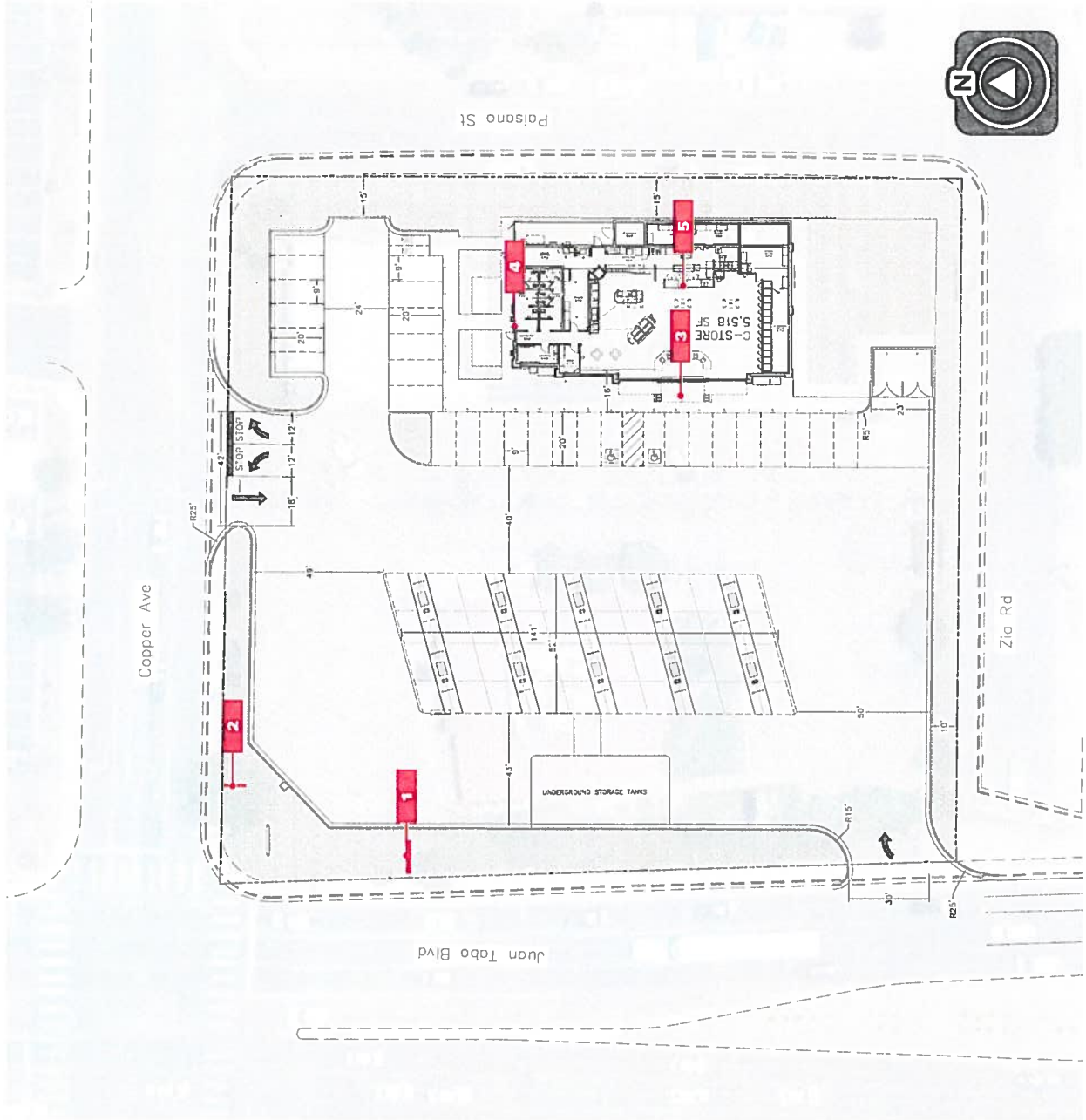
Site Map

17594 R1

Jo #

Scale as noted

ART 0.1



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The colors shown are only approximated on any computer monitor, tablet or laser print. The final product may vary slightly in color from your computer monitor or print.

This sign will be installed in accordance with requirements of the National Electrical Code and / or other applicable local codes. This includes proper grounding and bonding of the sign.

Revisions

No.	Date	Description
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Approvals

YESCO ME Signature / Date _____

Client Signature / Date _____

Landlord Signature / Date _____

Maverik

Juan Tabo & Copper
Albuquerque, NM
Asst. Exec: Matt Wien
Designer: Justin Raymond
Date: 09.08.2018

Front Sign

17594 R1

JO #

scale as noted
ART 3.0

- SCOPE OF WORK:**
- MANUFACTURE & INSTALL **ONE (1)** SET OF ILLUMINATED CHANNEL LETTER ON CUSTOMER PROVIDED STEEL PANEL W/ WIREMAN ON BACK.
 - MANUFACTURE & INSTALL **ONE (1)** LIGHTBOX FOR BEHIND CUTOUT MOUNTAINS.
 - PERMITTING SIGN AREA, BAY
 - FINAL ELECTRICAL CONNECTION BY: _____
 - COLOR KEY: MAVERIK STANDARDS - NEW LOGO
 - PAINT: SHERWIN WILLIAMS 7665 "BLACK FOX"
 - VINYL: AVERY UC 900 811 T "PANTONE 427C"

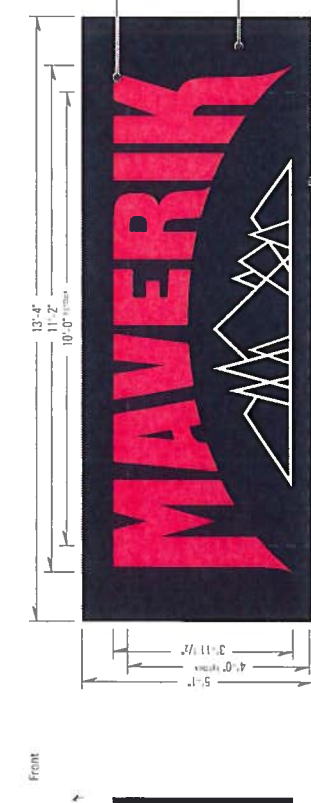
NOTE: UNLESS OTHERWISE NOTED, THE COLORS SHOWN ON THIS RENDERING MAY NOT MATCH ACTUAL COLORS ON FINISHED DISPLAY. PLEASE REFER TO COLOR CALLOUTS FOR SPECIFIC MATERIAL, WHICOR SAMPLED SAMPLES FOR APPROVED COLOR SPECIFICATIONS.

NOTE: FIELD SURVEY REQUIRED PRIOR TO FABRICATION. ENGINEERING TO DETERMINE ATTACHMENT POINTS.



5" deep aluminum channel letters w/ Red Acrylic faces. 1" painted trim **(see color key)**. Painted returns **(see color key)**. White LED illumination. Mounted to steel panel contained power supplies.

3" open face light box with (4000K) LEDs at bottom. Inside painted Pantone 427c. Outside painted aluminum **(see color key)**. On backside of steel panel.

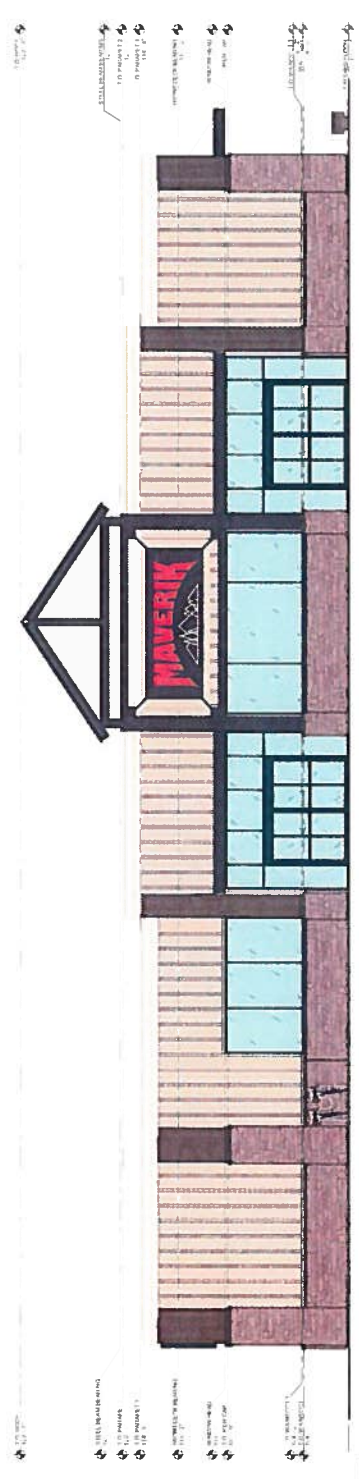


3 PAIR CHANNEL LETTERS OFF ALU:INHU:1 CABINET
SCALE: 3/8" = 1'-0"



Customer provided steel plate

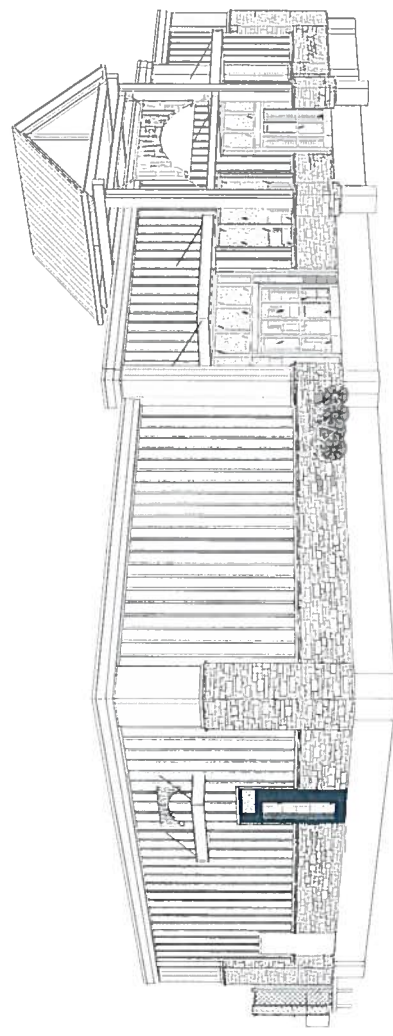
3" open face light box with (4000K) LEDs at bottom. Inside painted Pantone 427c. Outside painted aluminum **(see color key)**.



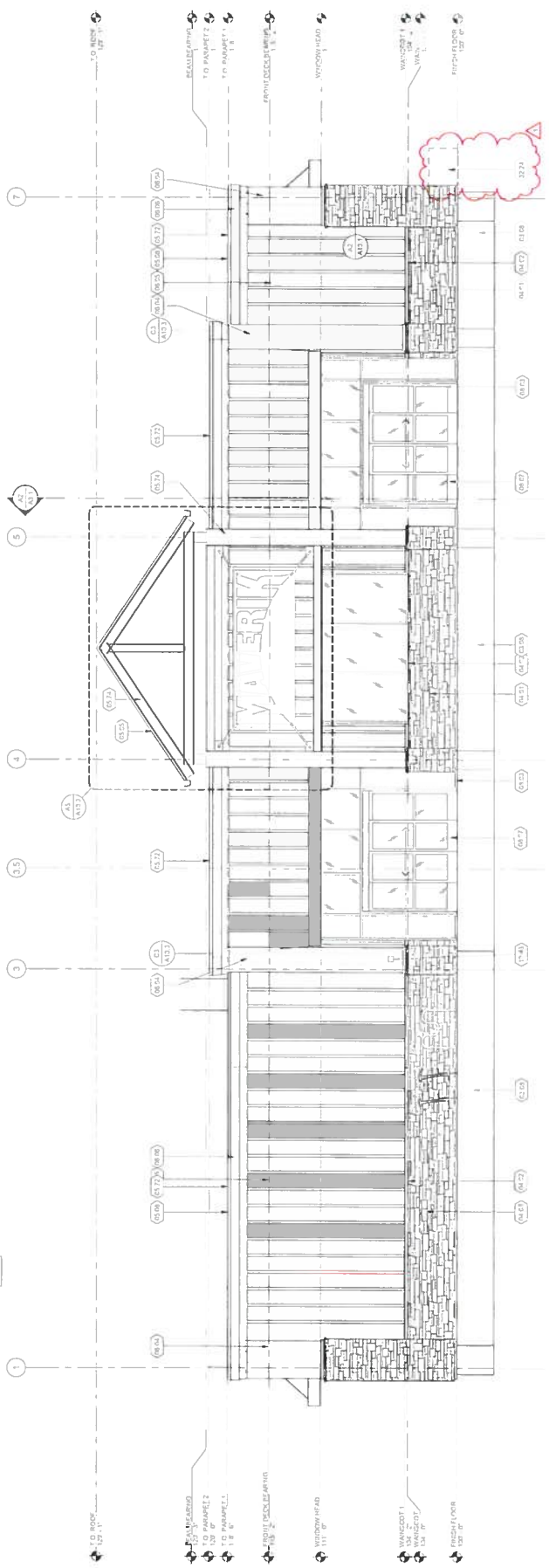
3-4 DETAIL ELEVATION
SCALE: 3/32" = 1'-0"

REFERENCE NOTES

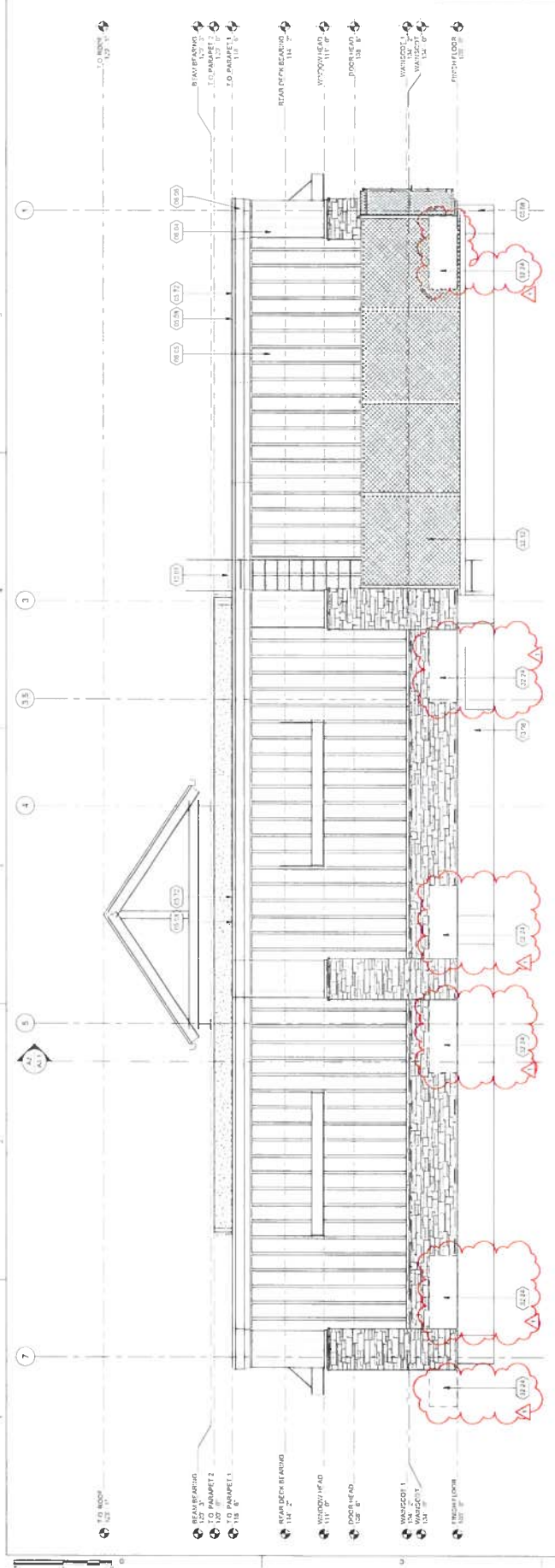
- 03.03 CONCRETE FOUNDATION
- 03.04 CONCRETE FOUNDATION
- 03.05 CONCRETE FOUNDATION
- 03.06 CONCRETE FOUNDATION
- 03.07 CONCRETE FOUNDATION
- 03.08 CONCRETE FOUNDATION
- 03.09 CONCRETE FOUNDATION
- 03.10 CONCRETE FOUNDATION
- 03.11 CONCRETE FOUNDATION
- 03.12 CONCRETE FOUNDATION
- 03.13 CONCRETE FOUNDATION
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- 03.35 CONCRETE FOUNDATION
- 03.36 CONCRETE FOUNDATION
- 03.37 CONCRETE FOUNDATION
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- 03.39 CONCRETE FOUNDATION
- 03.40 CONCRETE FOUNDATION
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- 03.97 CONCRETE FOUNDATION
- 03.98 CONCRETE FOUNDATION
- 03.99 CONCRETE FOUNDATION
- 04.00 CONCRETE FOUNDATION



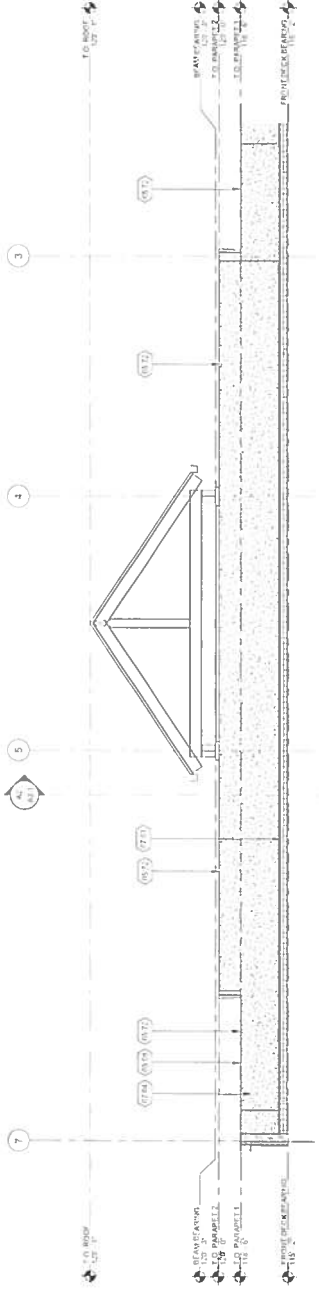
C1 BUILDING PERSPECTIVE
 SCALE



A1 FRONT ELEVATION
 SCALE 1/4" = 1'-0"



C1
 REAR ELEVATION
 SCALE: 1/4" = 1'-0"



A1
 PARTIAL FRONT WALL REAR VIEW ELEVATION
 SCALE: 1/4" = 1'-0"

REFERENCE NOTES

- C10M CONCRETE FOOTINGS AND FOUNDATIONS - SEE STRUCTURAL DRAWINGS
- C3.08 PRE-FINISHED CONCRETE CURBS TO 4' MAXIMUM HEIGHT AND CONTIGUOUS CONCRETE CLAD ON OUTSIDE OF BUILDING SHALL BE 3/4" THICK. FASTENING SHALL BE 1/2" DIA. ANCHORS WITH 6" EMBEDMENT. ALL CLADS TO BE STANDING SEAM. NO LAPS ALLOWED.
- C3.12 PRE-FINISHED METAL COPING, COLOR: C-4
- D1.05 INTERIOR FINISHES - SEE SCHEDULE
- D1.06 INTERIOR PARTITION BOARDS & BATTEN SHOWN IN 3 - SEE SCHEDULE
- D1.08 PREFABRICATED TRIMMER 3 - SEE SCHEDULE
- E1.01 SINGLE PLY ROOFING SYSTEMS - OVER STRUCTURAL SUBSTRATE. OVERLAP JOINTS - SEE SPECIFICATIONS AND CONTRACT DOCUMENTS
- E1.02 WEAPONS CRANK UP UNDER GAP - OVER WALL AND UNDER THE METAL ROOF ACCESS LADDER BY SECURITY GATE. COLOR TO MATCH Siding E1.1
- E1.11 METAL ACCESS LADDER - COLOR: 21451 OR EQUIV. WALL W/ FINISH - SEE CONTRACT DOCUMENTS
- E1.24 PAINTS - SEE CONTRACT DOCUMENTS

GENERAL NOTES

Blank area for general notes.

Current DRC
Project Number: _____

FIGURE 12

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Maverik inc. Gas & C-Store Development at 650 Juan Tabo Blvd. - SITE PLAN FOR BUILDING PERMIT
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Lot A & B, Block 8 La Cuesta Subdivision, Albuquerque, Bernalillo County, New Mexico
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Knowing is a summary of PUBLISHED infrastructure improvements for the above development. THIS LISTING IS NOT NECESSARILY A COMPLETE LISTING. DURING THE DRA PROCESS and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Inspector	P.E.	City Cnst Engineer
		11'-0	Northbound right turn lane on Juan Tabo Blvd. at Copper Ave.	650' on Juan Tabo Blvd	i-25 Off-Ramp	Copper Ave.	/	/	/
		Right-in Driveway	16' wide right-in only driveway on Juan Tabo Blvd.	290' south of Juan Tabo Blvd. / Copper Ave. intersection			/	/	/
		4' to 6"	Restripe east leg of Copper Ave. at Juan Tabo Blvd. for dual west bound left turn lanes plus thru / right turn lane.	260' along Copper Ave.	Copper/Juan Tabo	Paisano St.	/	/	/
		6'-0	350' of PCC Sidewalk	Juan Tabo Blvd.	Zia Rd.	Copper Ave.	/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		Approval of Creditable Items:	City User Dept. Signature	Date
							Inspector	City Cnst Engineer			
							/	/	/		
							/	/	/		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA. Street lights per City requirements.

- 1 _____
- 2 _____
- 3 _____

AGENT / OWNER _____ **DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

NAME (print) _____ DRB CHAIR - date _____ PARKS & RECREATION - date _____

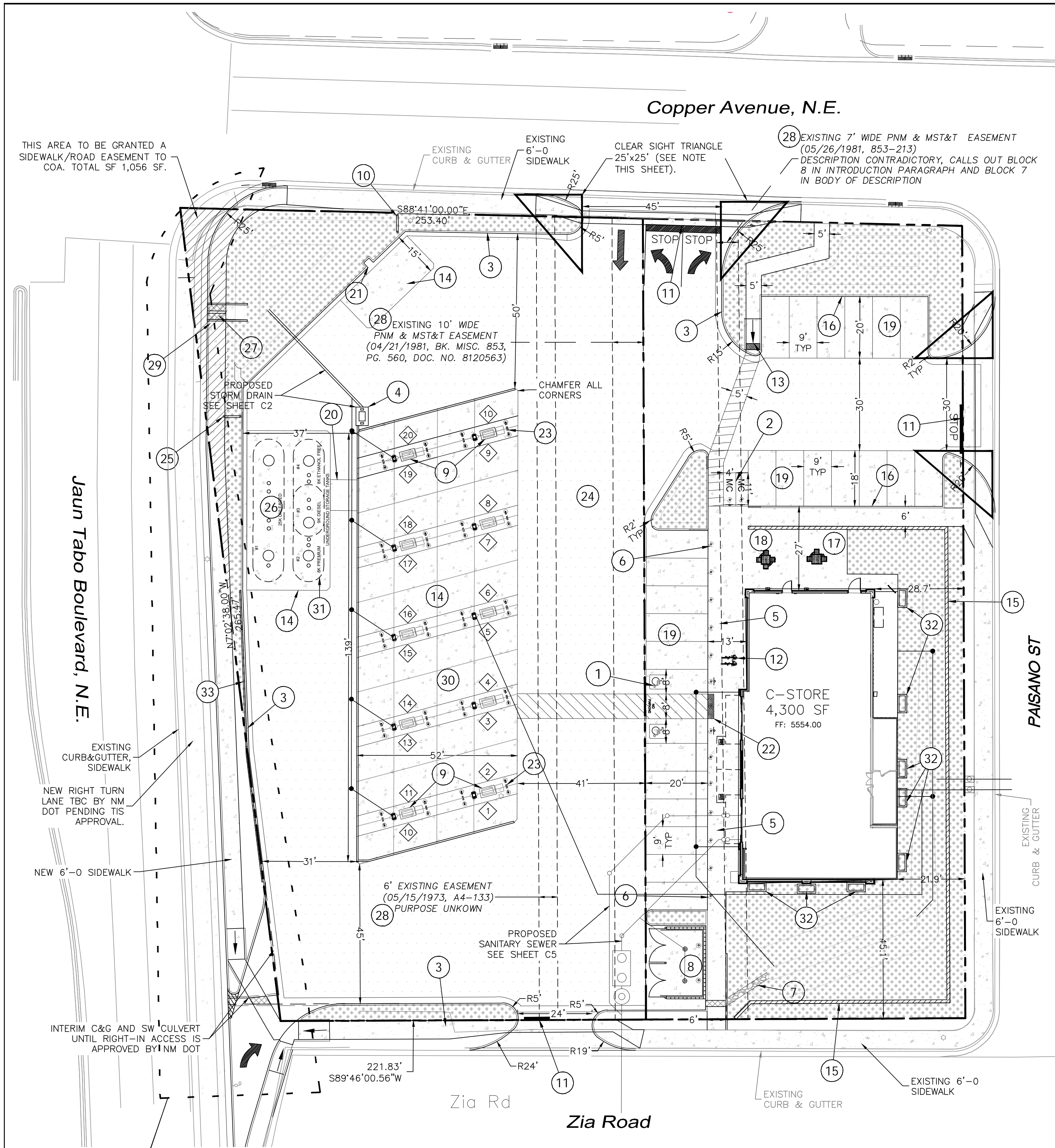
FIRM _____ TRANSPORTATION DEVELOPMENT - date _____ AMAFCA - date _____

SIGNATURE - date _____ UTILITY DEVELOPMENT - date _____ CODE ENFORCEMENT - date _____

CITY ENGINEER - date _____ - date _____

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



LEGEND

- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- - - RIGHT-OF-WAY
- ▭ BUILDING
- ▭ SIDEWALK/CONCRETE PAVEMENT
- ▭ ASPHALT PAVEMENT
- ▭ RETAINING WALL
- ☀ STREET LIGHTS
- - - EXISTING CURB & GUTTER

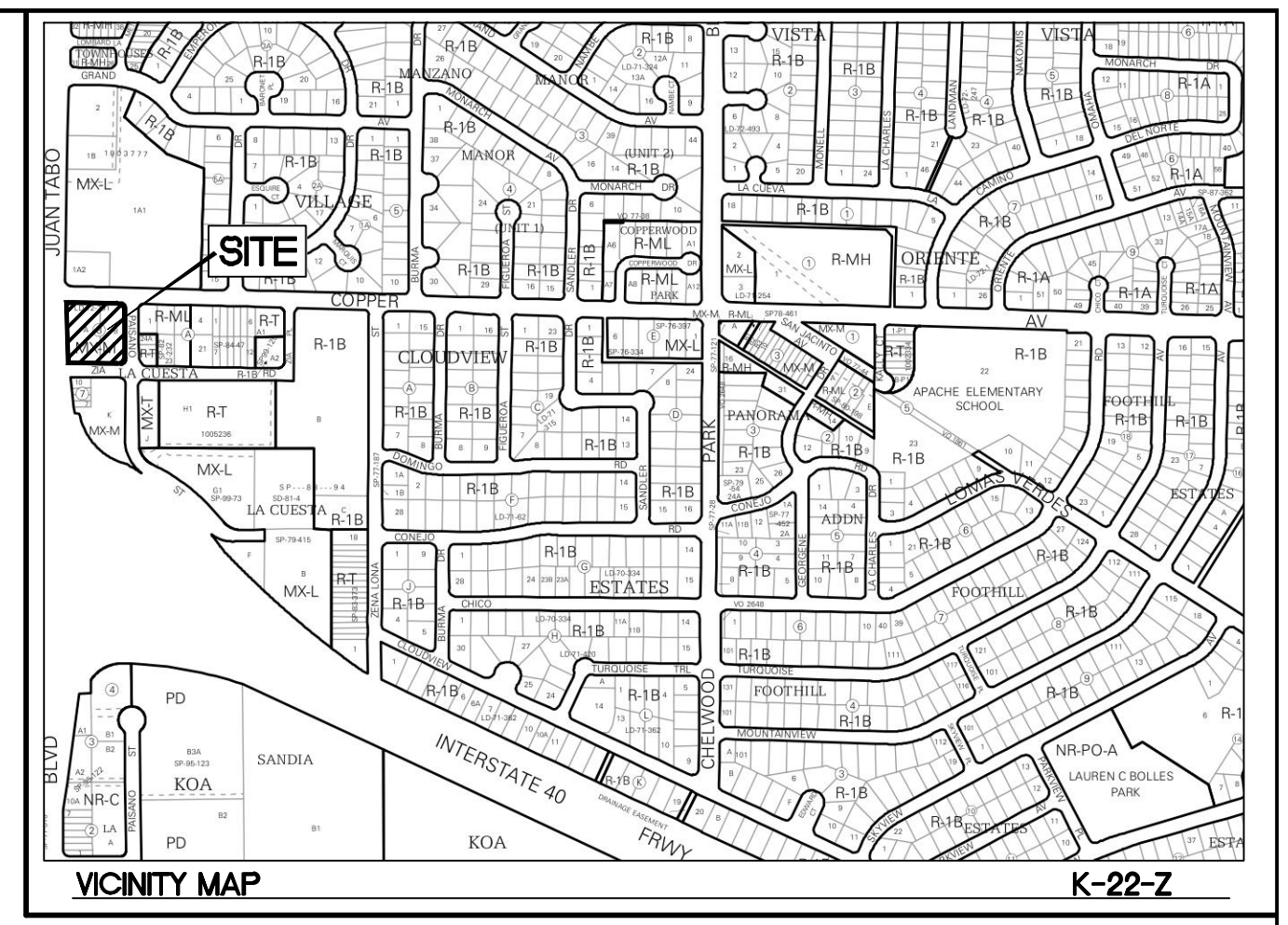
GRAPHIC SCALE

20 10 0 10 20

SCALE: 1"=20'

- KEYED NOTES**
- 1 ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. C6)
 - 2 MOTORCYCLE PARKING WITH SIGN (SEE DETAIL SHT. C6)
 - 3 ON-SITE CURB & GUTTER (SEE DETAIL SHT. C6)
 - 4 OIL WATER SEPARATOR (SEE DETAIL SHT. C8)
 - 5 CONCRETE SIDEWALK (SEE DETAIL SHT. C7)
 - 6 BOLLARDS (SEE DETAIL SHT. C7)
 - 7 2' CONCRETE RUNDOWN
 - 8 DUMPSTER (SEE DETAIL SHT. C8)
 - 9 GAS PUMP ISLAND (TYP)
 - 10 MAVERIK MONUMENT SIGN (SEE ARCH. PLANS)
 - 11 2.0' STOP BAR
 - 12 BICYCLE RACKS (SEE DETAIL SHT. C7)
 - 13 UNIDIRECTIONAL HC RAMP (SEE DETAIL SHT. C8)
 - 14 CONCRETE SLAB W/CHAMFERED CORNERS
 - 15 RETAINING WALL WITH HAND RAIL AND PEDESTRIAN GUARD (SEE GRADING SHT C2, MAX HEIGHT 4.0', DETAIL SHT. 7)
 - 16 HEADER CURB (SEE DETAIL SHT. C6)
 - 17 ADA PICNIC TABLE (SEE ARCH. PLANS)
 - 18 PICNIC TABLE (SEE ARCH. PLANS)
 - 19 CONCRETE PARKING STALL (SEE DETAIL SHT. C6)
 - 20 PETROLEUM TRENCH CAP SECTION (SEE DETAIL SHT. C6)
 - 21 XACTAIR AIR STATION (SEE DETAIL SHT. C6)
 - 22 TRUNCATED DOMES (SEE DETAIL SHT. C8)
 - 23 "HOOP" BOLLARD (SEE DETAIL SHT. C7)
 - 24 ASPHALT PAVING (SEE GEOTECH REPORT)
 - 25 MAVERIK D/F ILLUMINATED PYLON SIGN (SEE ARCH. PLANS)
 - 26 UNDERGROUND STORAGE FUEL TANKS (REFER MECH. PLANS)
 - 27 SIDEWALK CULVERT COA STD DWG 2236
 - 28 PNM EASEMENTS TO BE VACATED BY DOCUMENT AND/OR PLATTING ACTION
 - 29 EXISTING 6' PUBLIC SIDEWALK
 - 30 ALL UNDER CANOPY LIGHTING TO BE RECESSED
 - 31 TANK PIT WALL TO BE LINED WITH GEOTEXTILE FILTER FABRIC PER XERXES TANK SPEC.
 - 32 3'-0 by 6'-0, 28" HIGH LANDSCAPE PLANTER BOXES
 - 32 12" CONC. LANDSCAPE WALL

CLEAR SIGHT TRIANGLE NOTE:
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



LEGAL DESCRIPTION
LOT A AND B, BLOCK 8, LA CUESTA SUBDIVISION

SITE DATA

PROPOSED USAGE:	GAS CONVENIENCE STORE
IDO CLASSIFICATION:	LIGHT VEHICLE FUELING STATION
LOT AREA:	61,753.72 SF (1.41 ACRES)
BUILDING AREA:	4,300 SF
STACK:	2X5 (20 UNITS)
ASPHALT AREA:	
PARKING REQUIRED:	17 SPACES (4 SPACES PER 1,000 SF)
PARKING PROVIDED:	26 SPACES
HC PARKING REQUIRED:	2 SPACES
HC PARKING PROVIDED:	2 SPACES (1 SPACE VAN ACCESSIBLE)
MC PARKING REQUIRED:	2 SPACES
MC PARKING PROVIDED:	2 SPACES
BICYCLE PARKING REQUIRED:	2 SPACES
BICYCLE PARKING PROVIDED:	2 SPACES
LANDSCAPE AREA REQUIRED:	8,618 SF
LANDSCAPE AREA PROVIDED:	12,125 SF

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

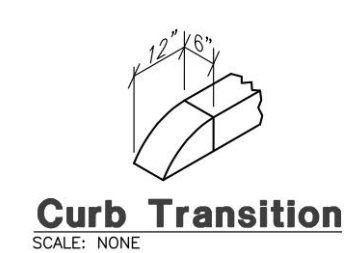
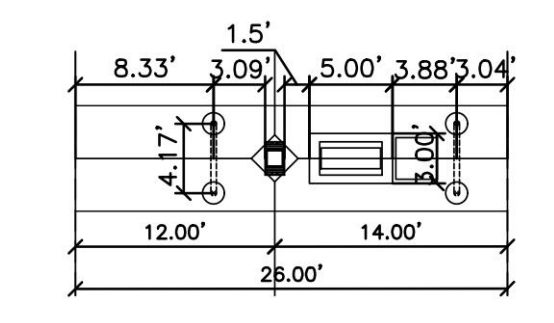
Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
Code Enforcement	Date

* Environmental Health, if necessary

FUTURE PHASE: RIGHT TURN LANE AND RIGHT-IN ACCESS FROM JUAN TABO BLVD.



- INDEX TO DRAWINGS**
- C1. SITE PLAN FOR BUILDING PERMIT
 - C2. GRADING PLAN
 - C3. DEVELOPED DRAINAGE PLAN
 - C4. GRADING DETAILS
 - C5. MASTER UTILITY PLAN
 - C6. CONSTRUCTION DETAILS
 - C7. CONSTRUCTION DETAILS
 - C8. CONSTRUCTION DETAILS
 - C9. DEMOLITION PLAN
 - L1. LANDSCAPING PLAN
 - B1. BUILDING ELEVATION & SIGN PLANS
 - SW1. EROSION CONTROL PLAN
 - SW2. EROSION CONTROL DETAILS
 - SW3. EROSION CONTROL DETAILS

- NOTES:**
1. SEE ELECTRICAL PLANS FOR ALL LIGHT POLES & LIGHT POLE LOCATIONS. ALL LIGHT POLES BASES SHALL BE STRAIGHT AND PLASTERED SMOOTH. TOP OF LIGHT BASE SHALL BE 2'-6" ABOVE TOP OF CURB/SIDEWALK. BASES PROVIDED BY G.C., TYP.
 2. XACTAIR STATION ON 30"x36" CONCRETE PAD. EQUIPMENT PROVIDED BY OWNER. G.C. TO PROVIDE ELECTRICAL SERVICE AND INSTALL AIR STATION EQUIPMENT.
 3. ALL UTILITY DIGGING OR OTHER EXCAVATION SHALL TAKE IN CONSIDERATION EXISTING SIDEWALKS, CURB & GUTTERS AND OTHER STRUCTURES THAT MAY NEED TO BE REMOVED AND/OR REPLACED AS PART OF THE G.C. BID.
 4. ALL RETAIL PRODUCT AREAS ARE TO BE UNDER THE BUILDINGS PERMANENT ROOF



ENGINEER'S SEAL

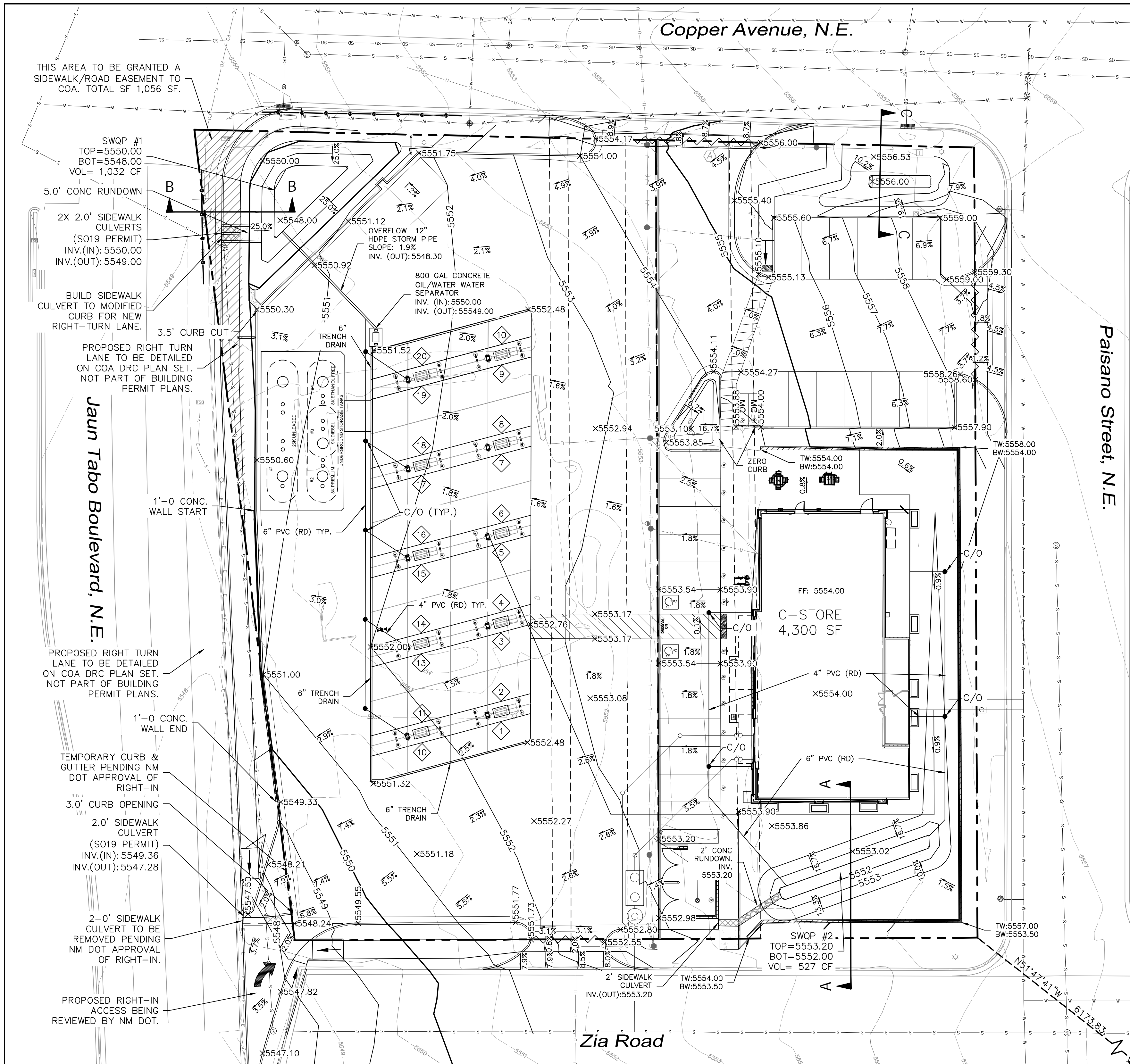
RONALD R. BOHANNAN
P.E. #7868

MAVERIK
650 JUAN TABO BLVD. NE

SITE PLAN FOR BUILDING PERMIT

TIERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY	pm
DATE	3-28-19
DRAWING	2018046-SP
SHEET #	C1
JOB #	2018046



THIS AREA TO BE GRANTED A SIDEWALK/ROAD EASEMENT TO COA. TOTAL SF 1,056 SF.

SWQP #1
TOP=5550.00
BOT=5548.00
VOL= 1,032 CF

5.0' CONC RUNDOWN
2X 2.0' SIDEWALK CULVERTS (S019 PERMIT)
INV.(IN): 5550.00
INV.(OUT): 5549.00

BUILD SIDEWALK CULVERT TO MODIFIED CURB FOR NEW RIGHT-TURN LANE.

PROPOSED RIGHT TURN LANE TO BE DETAILED ON COA DRC PLAN SET. NOT PART OF BUILDING PERMIT PLANS.

Juan Tabo Boulevard, N.E.

PROPOSED RIGHT TURN LANE TO BE DETAILED ON COA DRC PLAN SET. NOT PART OF BUILDING PERMIT PLANS.

1'-0 CONC. WALL END

TEMPORARY CURB & GUTTER PENDING NM DOT APPROVAL OF RIGHT-IN
3.0' CURB OPENING
2.0' SIDEWALK CULVERT (S019 PERMIT)
INV.(IN): 5549.36
INV.(OUT): 5547.28

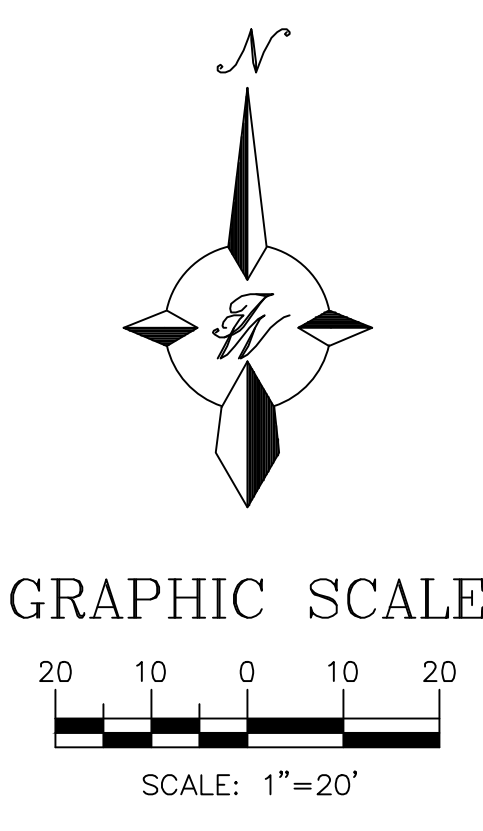
2'-0' SIDEWALK CULVERT TO BE REMOVED PENDING NM DOT APPROVAL OF RIGHT-IN.

PROPOSED RIGHT-IN ACCESS BEING REVIEWED BY NM DOT.

Copper Avenue, N.E.

Paisano Street, N.E.

Zia Road



LEGEND	
	EXISTING CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	EXISTING SIDEWALK
	EXISTING WATER LINE
	EXISTING STORM LINE
	EXISTING STORM MANHOLE
	EXISTING STORM INLET
	EXISTING SAS LINE
	EXISTING SAS MANHOLE
	EXISTING WATER LINE
	EXISTING WATER VALVE
	EXISTING OVERHEAD POWER LINE
	EXISTING POWER POLE
	EXISTING ELECTRIC LINE
	EXISTING WALL
	EXISTING ELECTRICAL BOX
	EXISTING TRANSFORMER
	EXISTING LIGHT STANDARD
	EXISTING TELEPHONE PEDESTAL
	SIDEWALK
	RETAINING WALL
	CONTOUR MAJOR
	CONTOUR MINOR
	SPOT ELEVATION (FLOWLINE)
	EXISTING BOUNDARY LINE
	EXISTING CONTOUR MAJOR
	EXISTING CONTOUR MINOR
	EXISTING SPOT ELEVATION

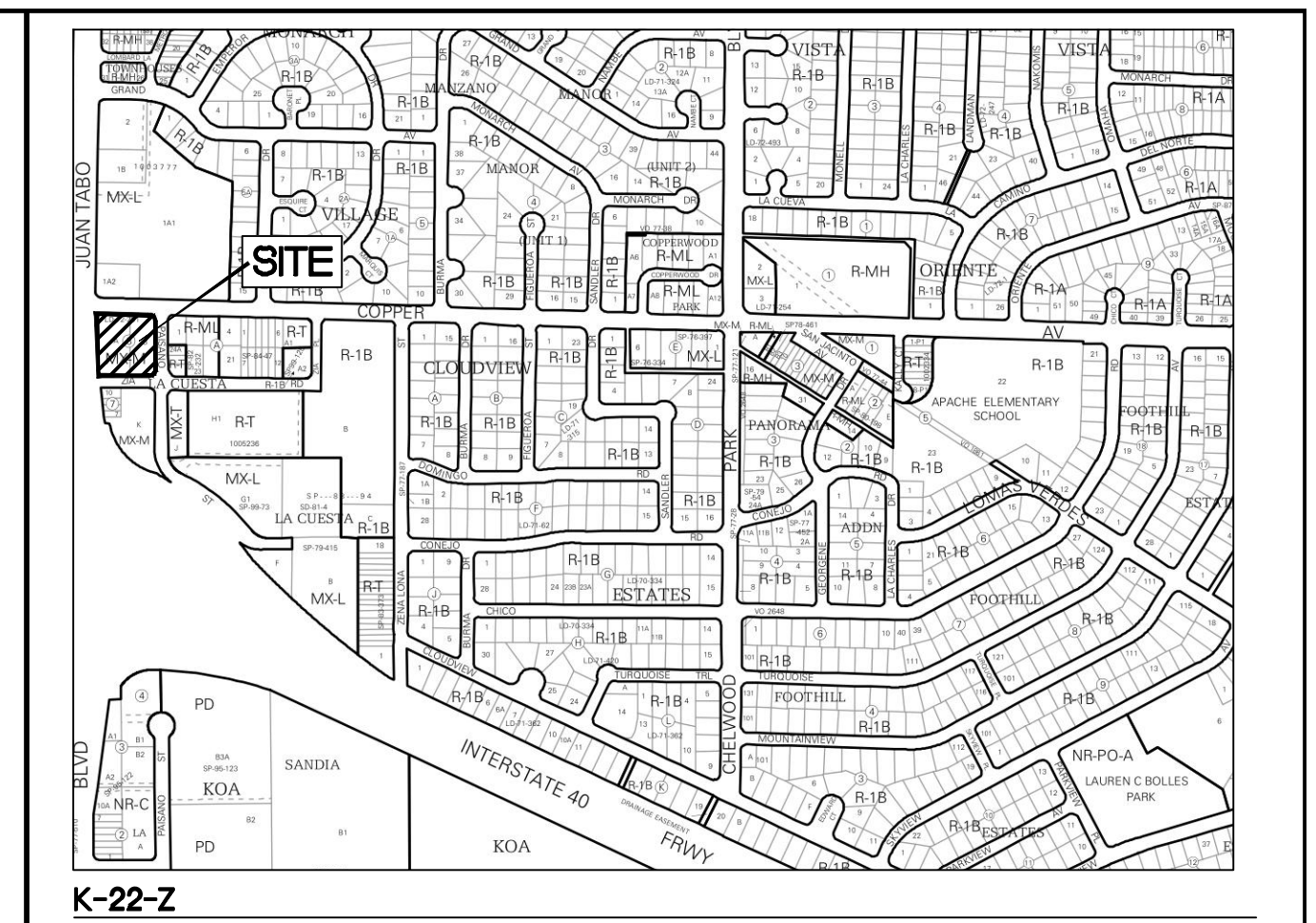
**PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY
NOTICE TO CONTRACTOR
(SPECIAL ORDER 19 '90-19')**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" OR (505) 260-1990 FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR MUST CONTACT JASON RODRIGUEZ AT 235-8016 AND CONSTRUCTION COORDINATION AT 924-3416 TO SCHEDULE AN INSPECTION.

EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

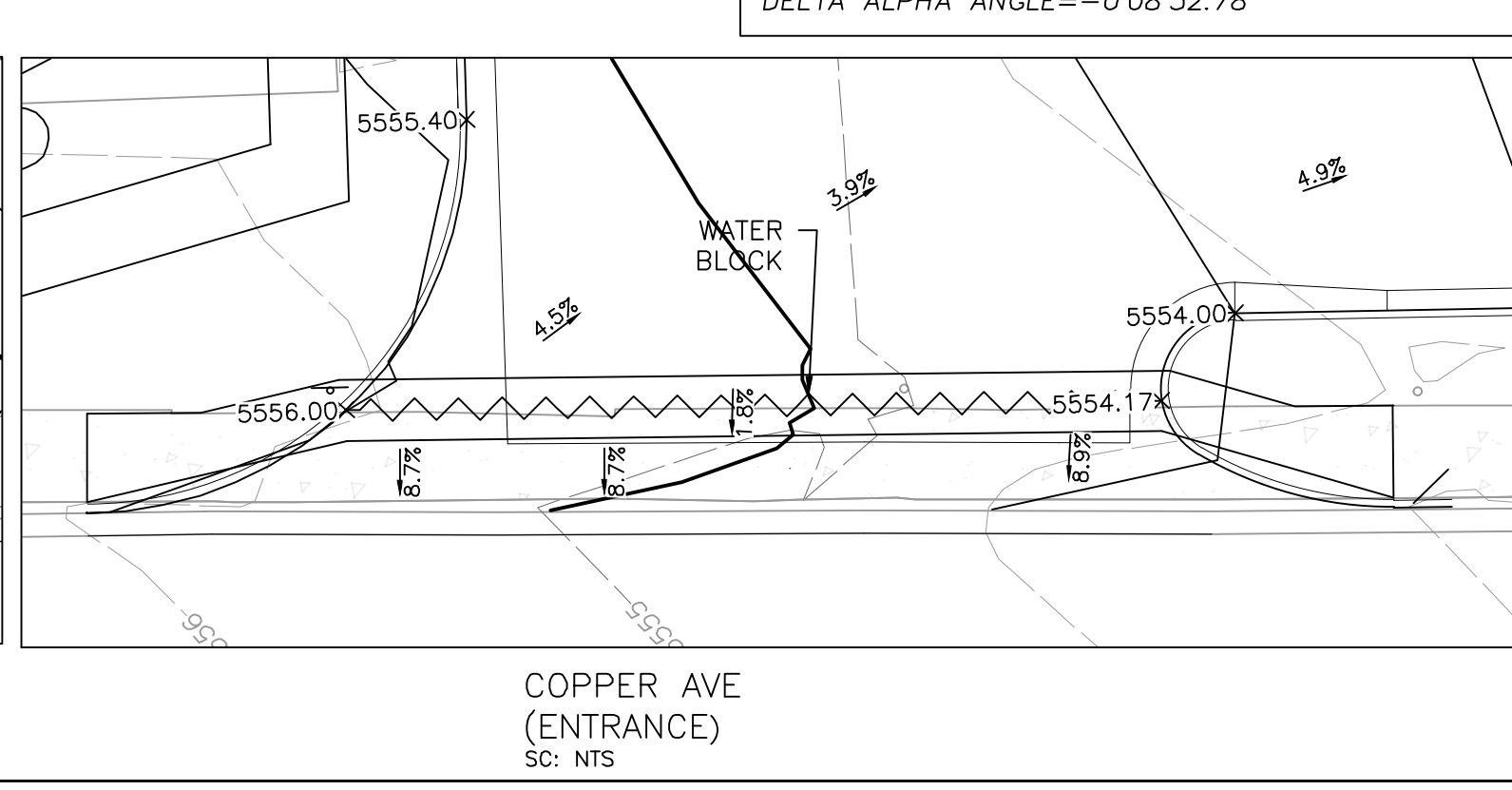
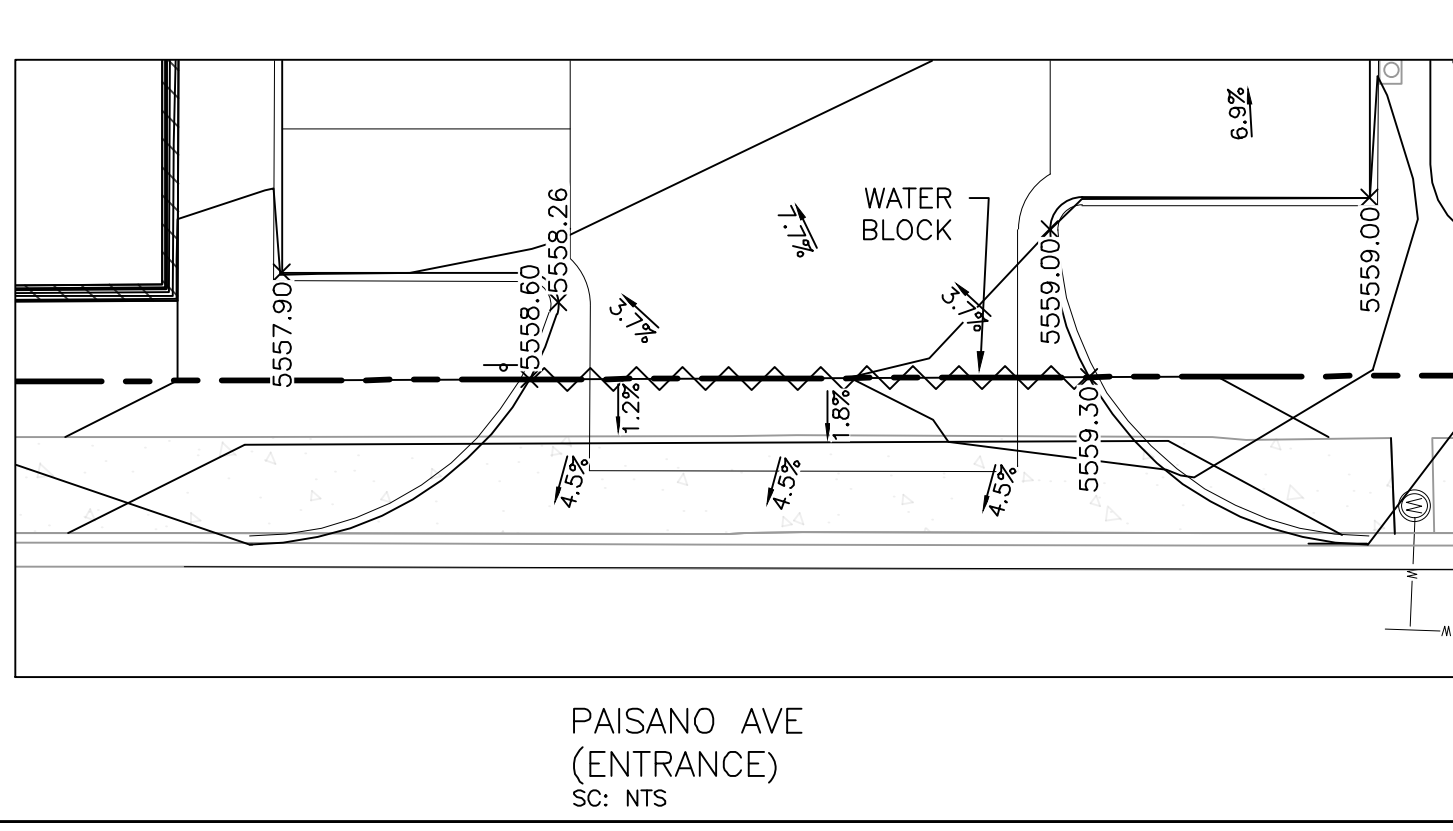
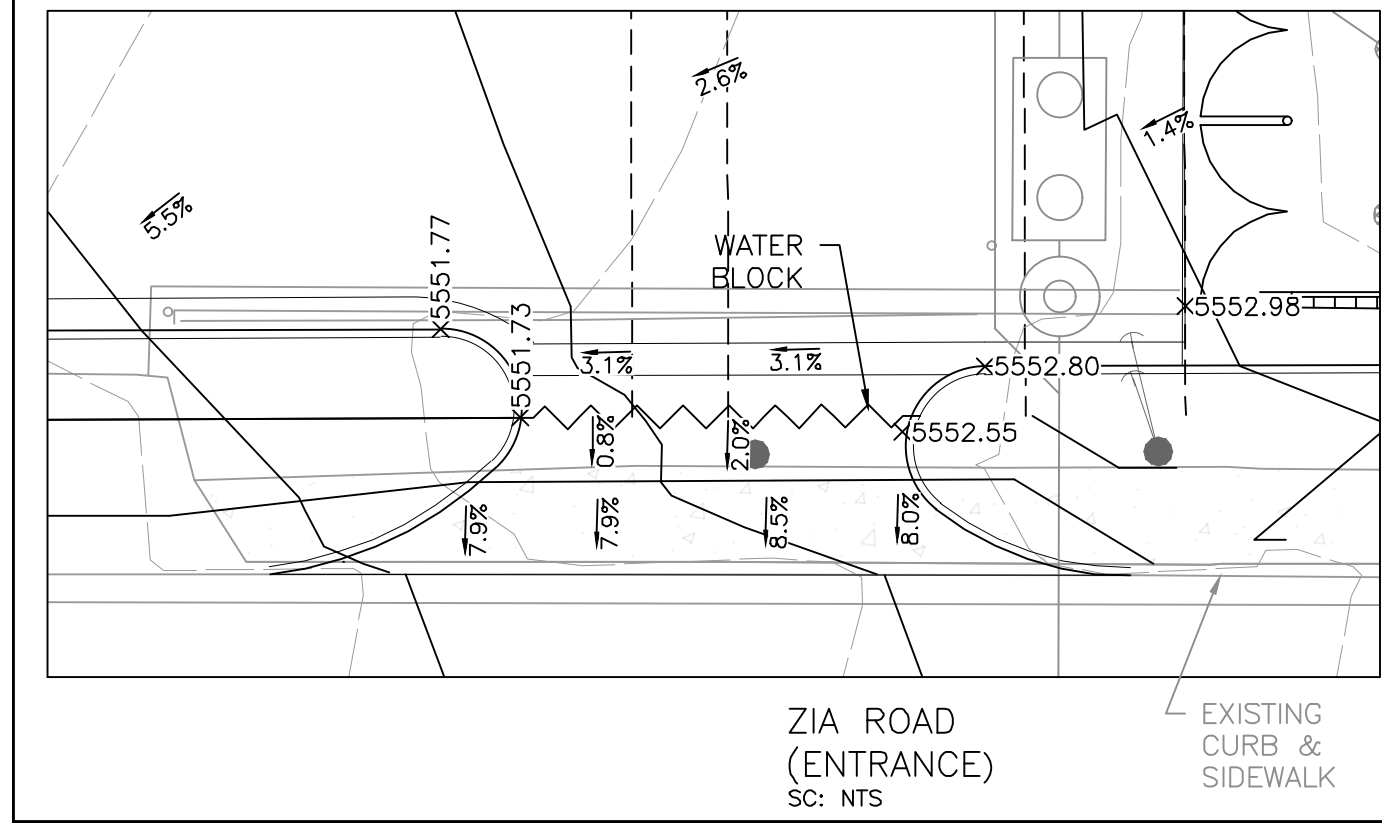
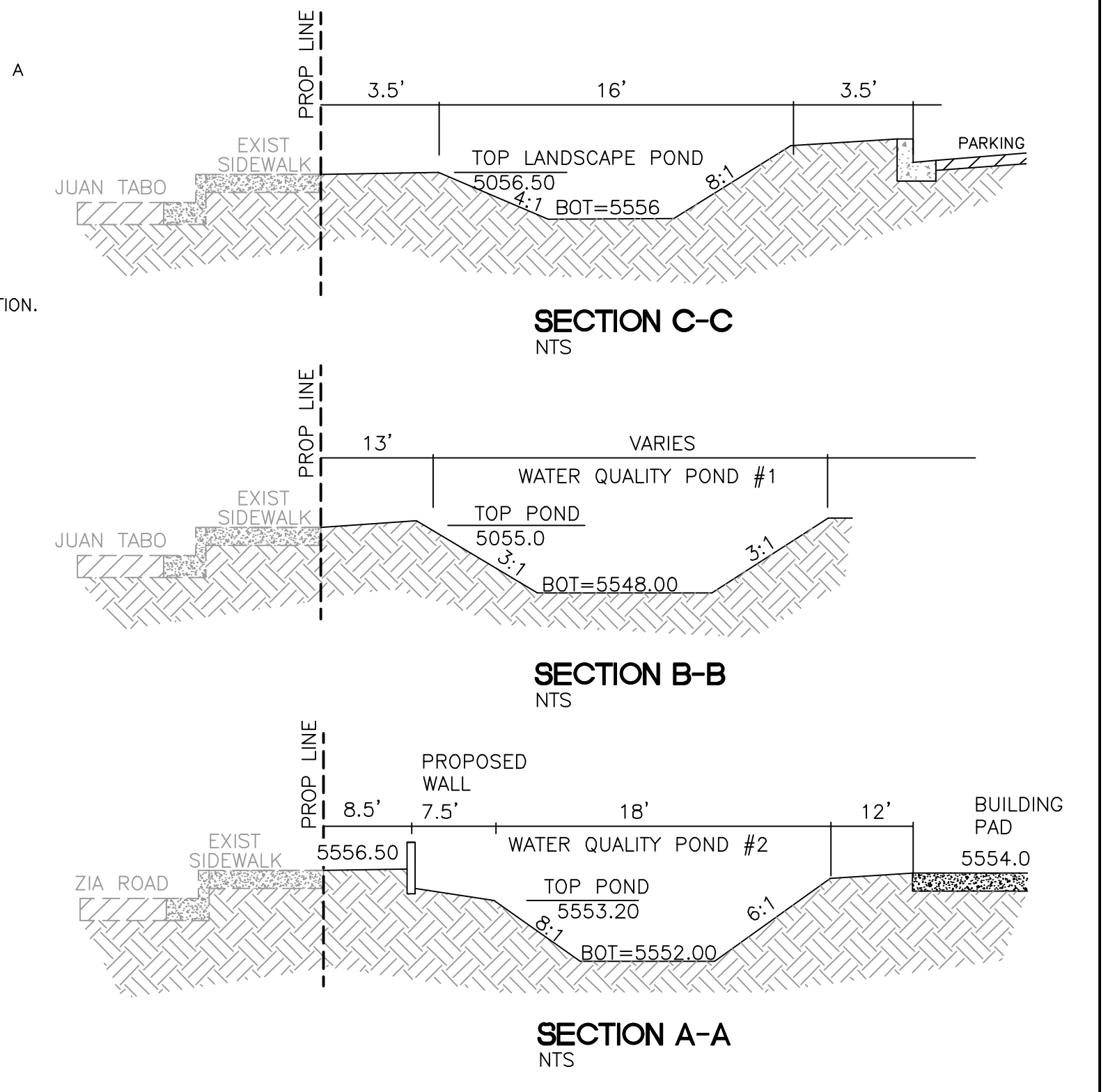
A.G.R.S. MONUMENT "2 L22"
STANDARD C.O.A. BRASS DISC
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,480,207.321 US SURVEY FEET
E=1,506,235.48 US SURVEY FEET
PUBLISHED EL=5222.09 US SURVEY FT (NAVD 1988)
GROUND TO GRID FACTOR=0.999639275
DELTA ALPHA ANGLE=-0'08'32.78"



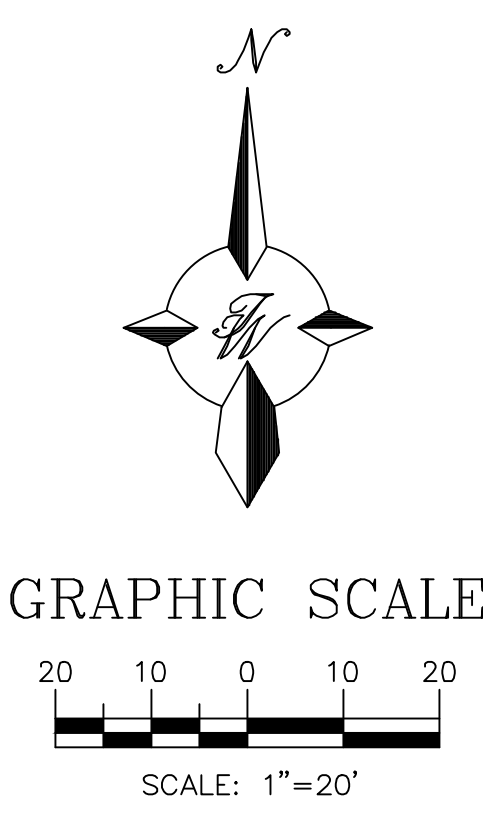
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NOTES:

1. ALL EXISTING EASEMENTS WILL BE VACATED BY DOCUMENT.
2. A DRAINAGE COVENANT FOR THE SWQP PONDS AND OIL/WATER SEPARATOR WILL BE SUBMITTED TO THE COA PRIOR TO CERTIFICATE OF OCCUPANCY.
3. REFER TO DRAINAGE PLAN SHEET C4 FOR BMP MAINTENANCE NOTES AND PROPERTY OWNER RESPONSIBILITIES.
4. ALL OFFSITE PAVING, CURB AND SIDEWALK MODIFICATIONS AND IMPROVEMENTS SHOWN ON THIS PLAN WILL BE DETAILED ON A DRB APPROVED INFRASTRUCTURE LIST WITH CONSTRUCTION DRAWINGS DETAILED ON A PUBLIC IMPROVEMENT WORK ORDER PLAN SET APPROVED BY NM DOT AND COA.
5. A RIGHT TURN INTO THE SITE FROM JUAN TABO IS PROPOSED AT THE SOUTH WEST CORNER OF THE PARCEL. IF THIS IS APPROVED BY THE NM DOT THE GRADING WILL BE MODIFIED PER GRADING PLAN C3 (GRADING PLAN - PHASE 3).



ENGINEER'S SEAL 	MAVERIK 650 JUAN TABO BLVD. NE GRADING PLAN	DRAWN BY pm DATE 3-28-19 DRAWING 2018046-GR SHEET # C2 JOB # 2018046
RONALD R. BOHANNAN P.E. #7868 3/28/2019	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierwestllc.com	

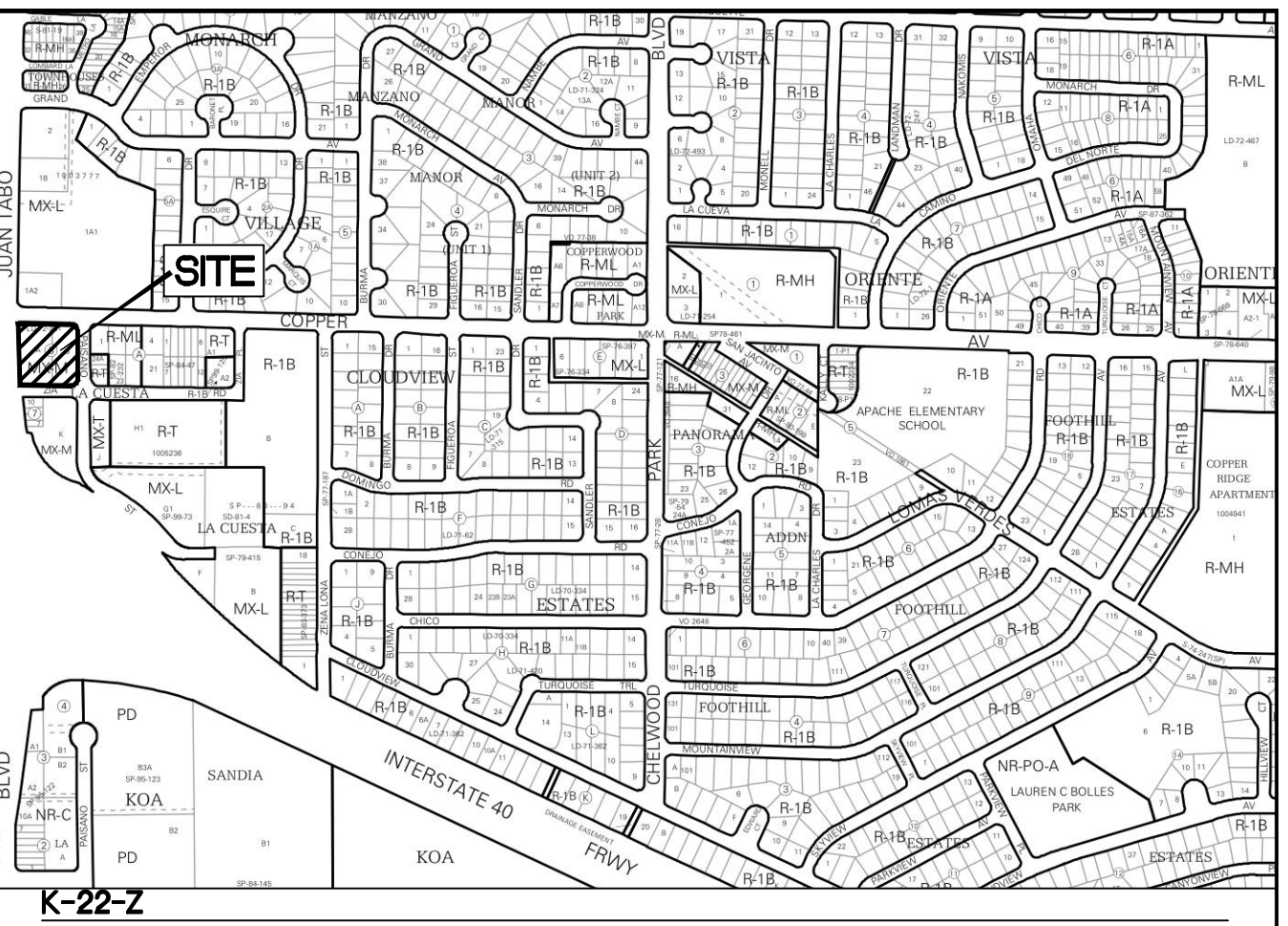


LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- RETAINING WALL
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- DRAINAGE BASIN BOUNDARY
- FLOW DIRECTION

MAINTENANCE OF BMPS
 RESPONSIBLE PARTY: PROPERTY OPERATOR
 MAINTENANCE REQUIREMENTS AND FREQUENCY: REFER TABLE THIS PAGE.
 ACCESS TO BMPS: ACCESS SHALL BE PROVIDED VIA SITE ACCESS DRIVES TO SURFACE SWQV POND. ALL REMOVAL AND DISPOSAL OF LANDSCAPING AND SEDIMENT SHALL BE COMPLETED BY CERTIFIED LANDSCAPE CONTRACTOR IN ACCORDANCE WITH THE LANDSCAPE MAINTENANCE SPECIFICATION. NO DEBRIS SHALL REMAIN ONSITE AFTER TRIMMING.
 SEDIMENTATION MONITORING SHALL BE COMPLETED BY THE PROPERTY OWNER YEARLY. IF SILT ACCUMULATION EXCEEDS 2 INCHES ON THE SWQV POND GAUGE THEN THE POND BOTTOM SHALL BE EXCAVATED AND STACKED WITHIN 2-FEET OF THE SWQV POND BERM.
 VISUAL INSPECT FOLLOWING STORM EVENTS SHALL BE COMPLETED AS REQUIRED TO ENSURE THE INFILTRATION OF THE SWQV IS ACHIEVED AT ACCEPTABLE RATES. THE SWQV, AT THE MAXIMUM 24" DEPTH, SHOULD INFILTRATE WITHIN 24 HOURS.

VECTOR CONTROL NOTES:
 ALLOWING CONDITIONS SUCH AS THE ACCUMULATION OF STANDING WATER THAT CAN CONTRIBUTE TO THE BREEDING OF MOSQUITOES IS A VIOLATION OF THE CITY OF ALBUQUERQUE'S INSECT AND RODENT CONTROL ORDINANCE. MAINTENANCE OF THE OIL WATER SEPARATOR AND SWQV PONDS ARE THE RESPONSIBILITY OF THE PROPERTY OPERATOR. IN ORDER TO PREVENT MOSQUITO BREEDING, VEGETATION SHOULD REGULARLY BE CLEARED FROM THE BASIN AND EDGES OF PONDS. THE SITE SHOULD BE MAINTAINED THROUGHOUT THE YEAR IN THIS MANNER. REMOVAL OF VEGETATION CREATES A LESS DESIRABLE SITE FOR MOSQUITO BREEDING. THIS WILL ALSO AID IN THE REDUCTION OF RODENT HARBORAGE. WHEN STANDING WATER EXISTS IT SHOULD BE TREATED WITH PUBLICLY AVAILABLE MOSQUITO PRODUCTS (E.G. MOSQUITO DUNKS) AT THE TREATMENT RATE DESIGNATED BY THE PRODUCT LABEL. SHOULD A SITE MAINTAIN PERMANENT STANDING WATER, MOSQUITO FISH (GAMBUSIA) CAN BE OBTAINED FROM THE CITY OF ALBUQUERQUE'S ENVIRONMENTAL HEALTH DEPARTMENT FREE OF CHARGE.



REGULAR MAINTENANCE	FREQUENCY
LITTER MANAGEMENT Pick up all litter at site and in Landscape areas and remove from site	Daily
INLETS AND OUTLETS Visual inspection for function. Remove silt from slab aprons and debris in pavement areas. Remove all fallen vegetation around inlet and outlet structures.	Monthly
HARD SURFACES Sweep all paving regularly. Maintain pavement in autumn after leaf fall. Coordinate with Landscape Contractor if additional maintenance is required.	As required
OCCASIONAL TASKS	FREQUENCY
INSPECTION AND INLETS, OUTLETS AND CONTROL CHAMBERS Inspect surface structures removing obstructions and silt as necessary. Check there is no physical damage. For below ground control chambers, remove cover and inspect ensuring water is flowing freely and that the exit route for water is unobstructed. Remove debris and silt.	Yearly
POND VEGETATION Ensure Pond vegetation is maintained by Landscape Contractor. All weeds and all cuttings removed from site.	As required
SILT MANAGEMENT Inspect swales and water quality pond for silt accumulation. Excavate silt, stack and dry within 2-feet of the water quality feature, but outside the design profile where water flows, spread, rake and overseed. Protect surface from siltation and manage main area of basin for design function or appearance.	Yearly
REMEDIAL WORK Inspect storm all water quality structures regularly to check for damage or failure. Undertake remedial work as required.	Yearly

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Basin Descriptions										100-Year, 6-Hr			10-Year, 6-Hr			SWQV			
Basin ID	Area (sf)	Area (acres)	Area (sq miles)	Treatment A %	Treatment B %	Treatment C %	Treatment D %	Weighted E (in)	Volume (ac-ft)	Flow (cfs)	Weighted E (in)	Volume (ac-ft)	Flow (cfs)	Required (cf)	Provided (cf)				
1	40,521	0.930	0.00145	0%	0.000	10%	0.093	0%	0.000	90%	0.837	2.484	0.193	4.67	1,567	0.121	3.12	790	1,032
2	10,390	0.239	0.00037	0%	0.000	0%	0.000	100%	0.239	2.640	0.052	1.25	1.690	0.034	0.85	225	-	-	-
3	10,843	0.249	0.00039	0%	0.000	50%	0.124	0%	0.000	50%	0.124	1.860	0.039	1.02	1,075	0.022	0.62	117	527
Total	61,754	1.418	0.00222	0%	0.000	50%	0.217	0%	0.000	50%	0.284	6.936	0.177	4.600	1,133	1,559			

Equations:
 Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)
 Volume = Weighted E * Total Area
 Flow = Qa*Aa + Qb*Ab + Qc*Ac + Qd*Ad
 WQV_{required} = 0.26*A*43560*(1/12)

Excess Precipitation, E (in.)

Zone 4	100-Year	10-Year
Ea	0.8	0.28
Eb	1.08	0.46
Ec	1.46	0.73
Ed	2.64	1.69

Peak Discharge (cfs/acre)

Zone 4	100-Year	10-Year
Qa	2.2	0.87
Qb	2.92	1.45
Qc	3.73	2.26
Qd	5.25	3.57

Water Quality Volume - "First Flush Pond" - Redevelopment Site
 Total Impervious Area = Σ Area in "Treatment D"
 Retainage depth = 0.28"
 Retention Volume = 0.0233 x area CF

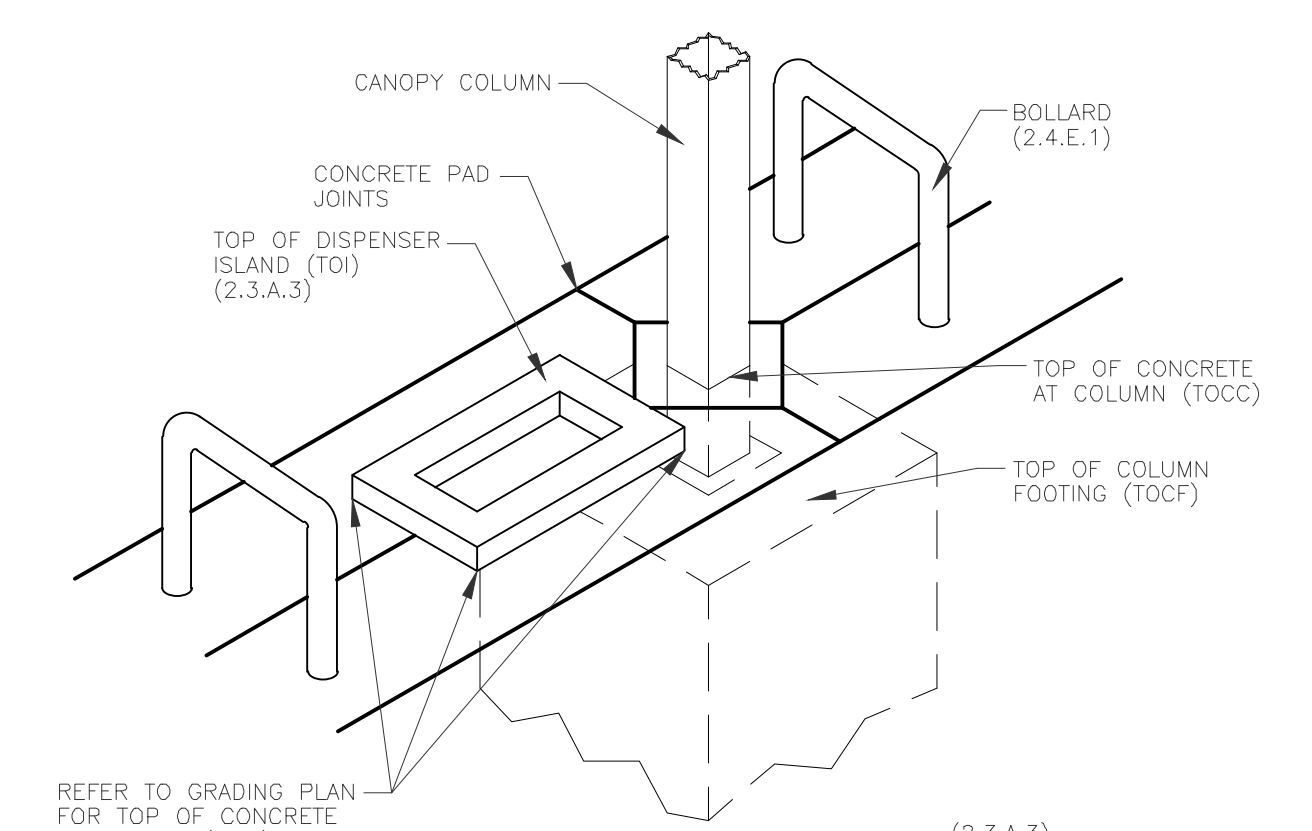
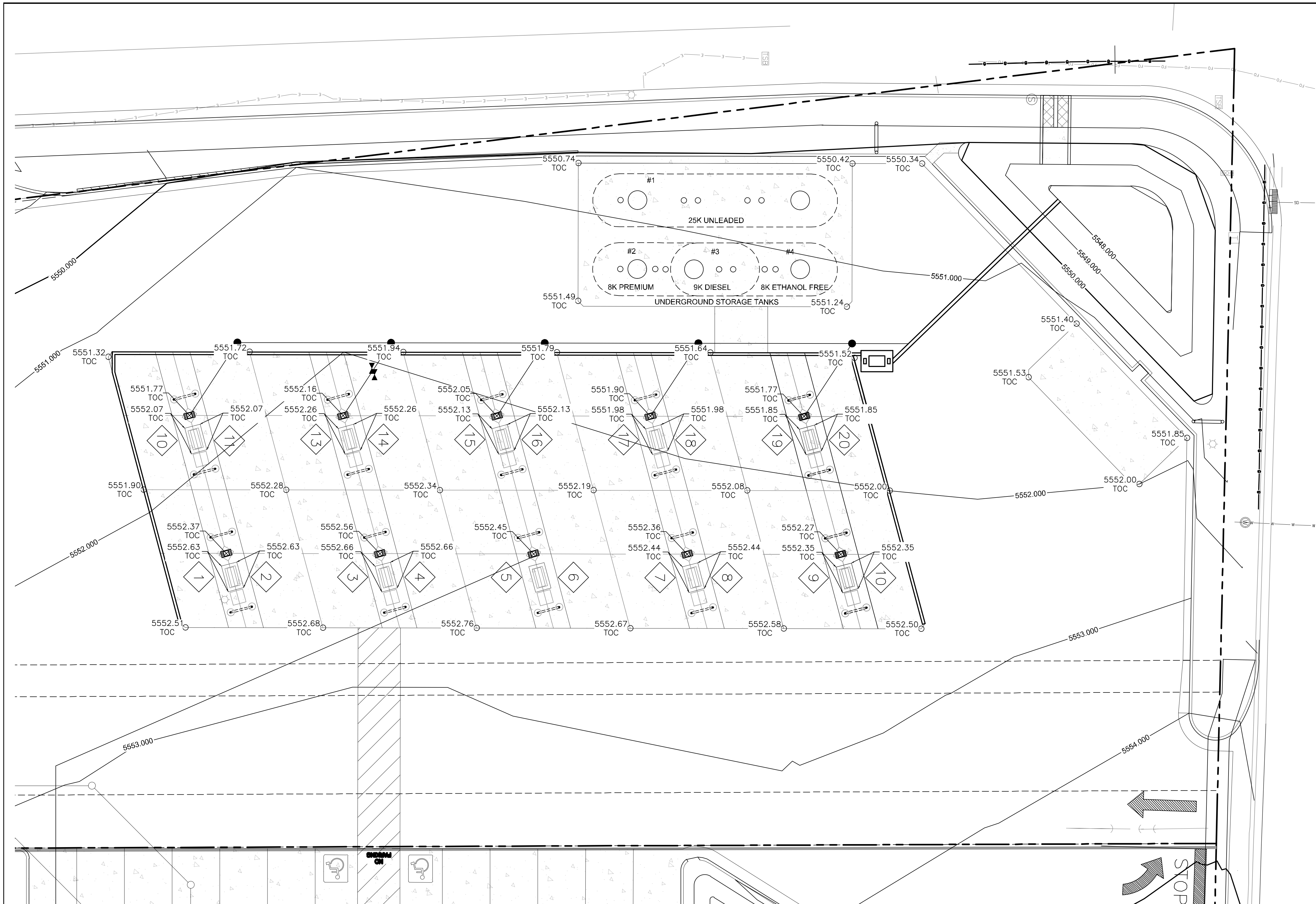


ENGINEER'S SEAL

 RONALD R. BOHANNAN
 P.E. #7868

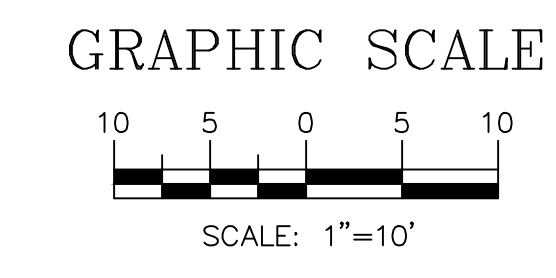
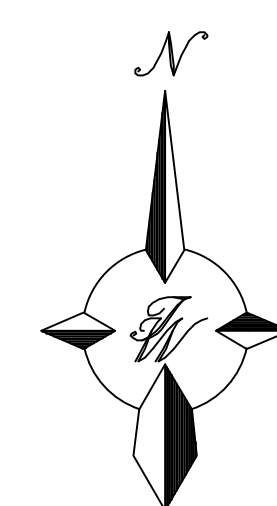
MAVERIK
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DRAINAGE PLAN
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 www.tierrawestllc.com

DRAWN BY
 pm
 DATE
 3-28-19
 DRAWING
 2018046-DR
 SHEET #
C3
 JOB #
 2018046



NOTE: TOP OF CONCRETE TO TOP OF SPOT & SPREAD FOOTING SEPARATION IS 36".

NOTE: 6" RAISED VERTICAL CONCRETE ISLAND WITH TOOLED EDGES AND CORNERS TO BE POURED FIRST 5'-0" x 3'-0" CONCRETE ISLAND (NO METAL FORM - VERIFY SIZE WITH DISPENSER MANUF.) AFTER THE 5'-0" x 3'-0" FUEL ISLAND HAS BEEN POURED, SLOPE CONCRETE AWAY FROM ISLAND IN ALL (4) DIRECTIONS. ALL DISPENSERS TO BE EQUIPPED WITH AN EXTINGUISHER.



Fuel Dispenser Elevations

FUEL DISPENSER	TOP OF ISLAND	T.O.C. @ COLUMN	TOP OF COL. FTP
1-2	5165.29		5164.71
3-4	5165.51		5164.93
5-6	5165.59		5165.01
7-8	5165.24		5164.66
9-10	5164.88		5164.30
11-12	5164.40		5163.82
13-14	5165.44		5164.86
15-16	5165.70		5165.12
17-18	5165.75		5165.17
19-20	5165.56		5164.98
21-22	5165.14		5164.56

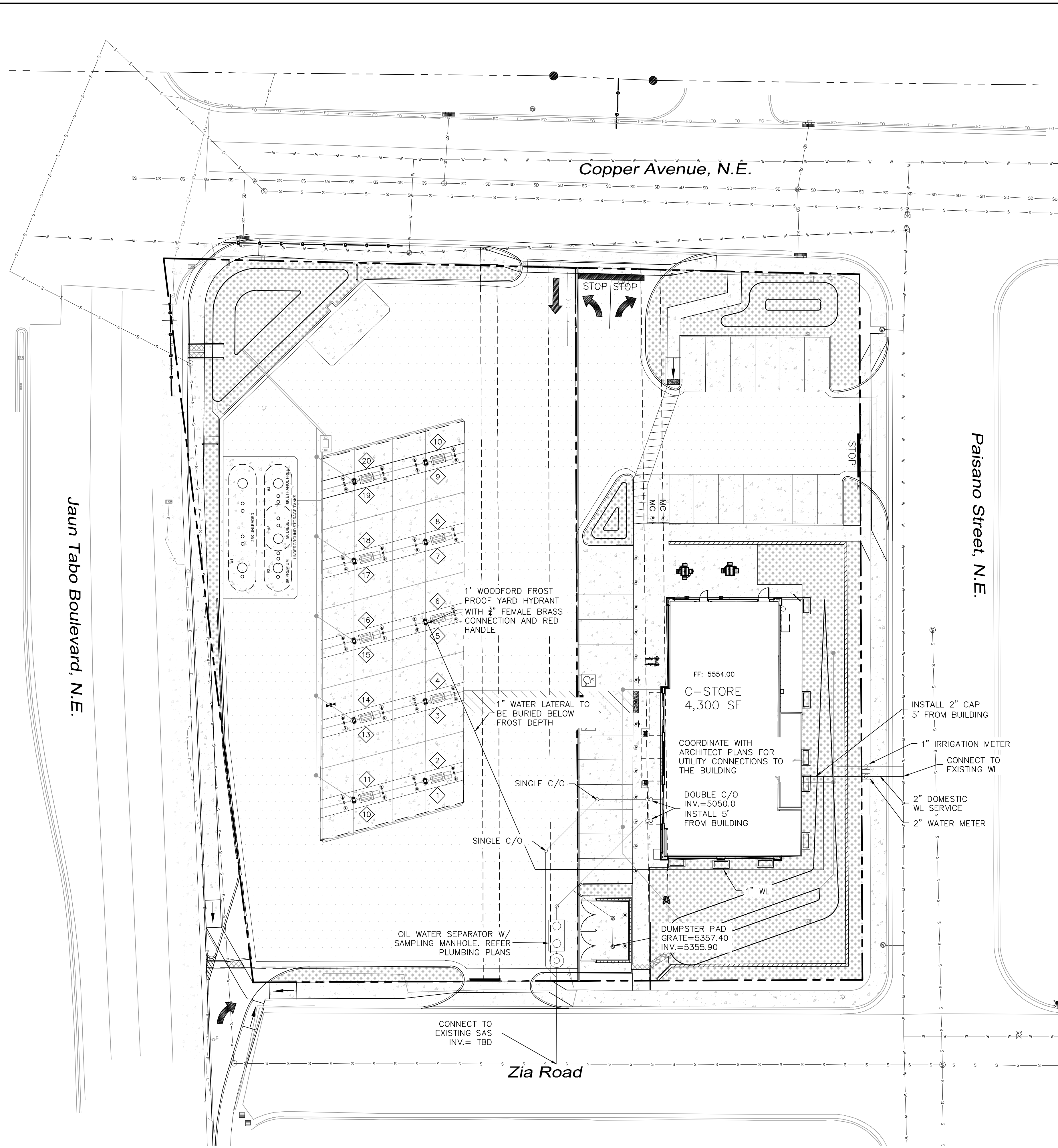


ENGINEER'S SEAL
RONALD R. BOHANNAN
NEW MEXICO
7868
PROFESSIONAL ENGINEER
3/28/2019
RONALD R. BOHANNAN
P.E. #7868

MAVERIK
650 JUAN TABO BLVD. NE
GRADING DETAILS

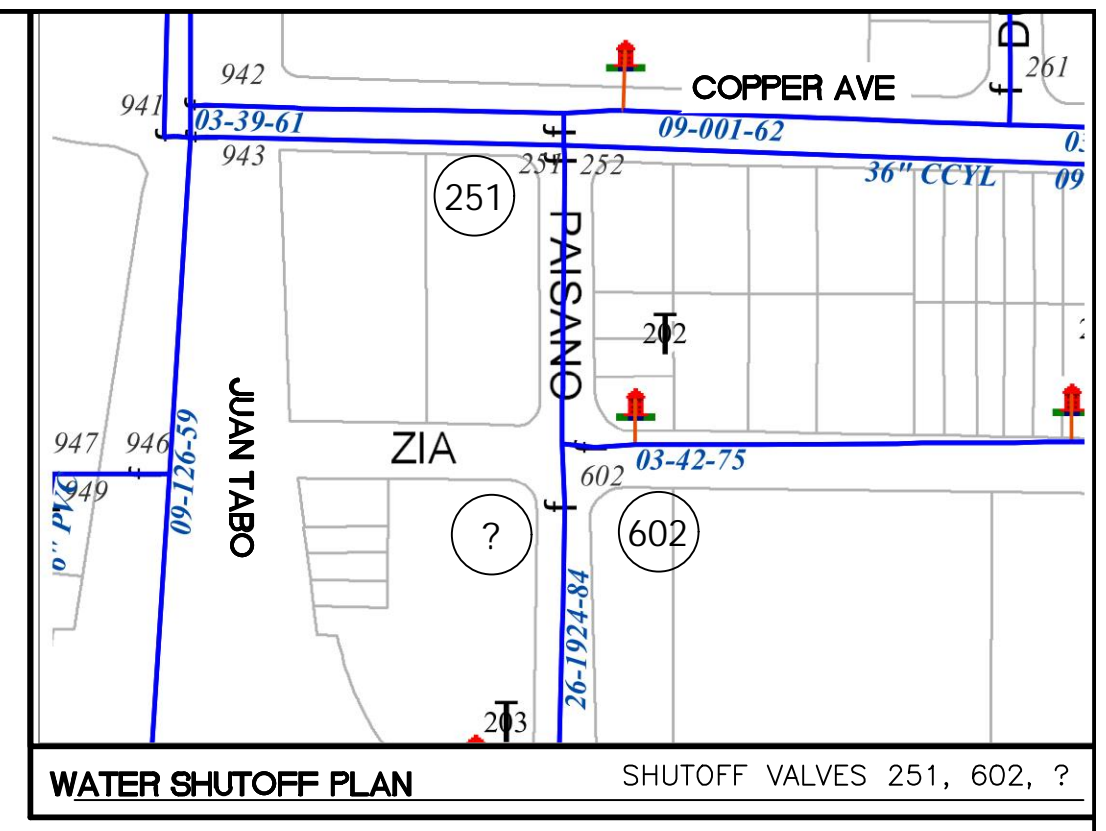
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SHEET #
C4
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LEGEND

---	EXISTING CURB & GUTTER
---	BOUNDARY LINE
---	EASEMENT
---	EXISTING SIDEWALK
W	EXISTING WATER LINE
SD	EXISTING STORM LINE
⊕	EXISTING STORM MANHOLE
⊕	EXISTING STORM INLET
S	EXISTING SAS LINE
⊕	EXISTING SAS MANHOLE
W	EXISTING WATER LINE
⊕	EXISTING WATER VALVE
U	EXISTING OVERHEAD POWER LINE
●	EXISTING POWER POLE
E	EXISTING ELECTRIC LINE
---	EXISTING WALL
⊕	EXISTING ELECTRICAL BOX
⊕	EXISTING TRANSFORMER
⊕	EXISTING LIGHT STANDARD
⊕	EXISTING TELEPHONE PEDESTAL
---	SIDEWALK
---	RETAINING WALL
5010	CONTOUR MAJOR
5011	CONTOUR MINOR
x 5048.25	SPOT ELEVATION (FLOWLINE)
---	EXISTING BOUNDARY LINE
5010	EXISTING CONTOUR MAJOR
x 5048.25	EXISTING CONTOUR MINOR
x 5048.25	EXISTING SPOT ELEVATION

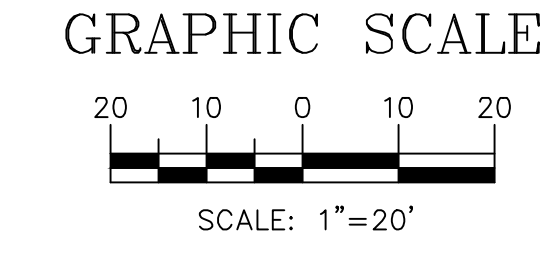
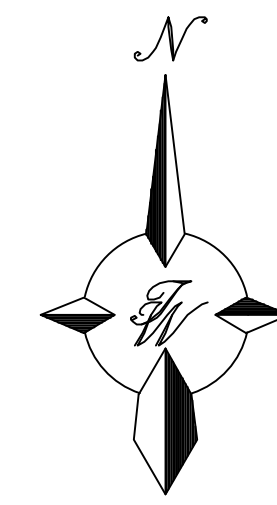


THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/463/729/](http://abcwua.org/content/view/463/729/).

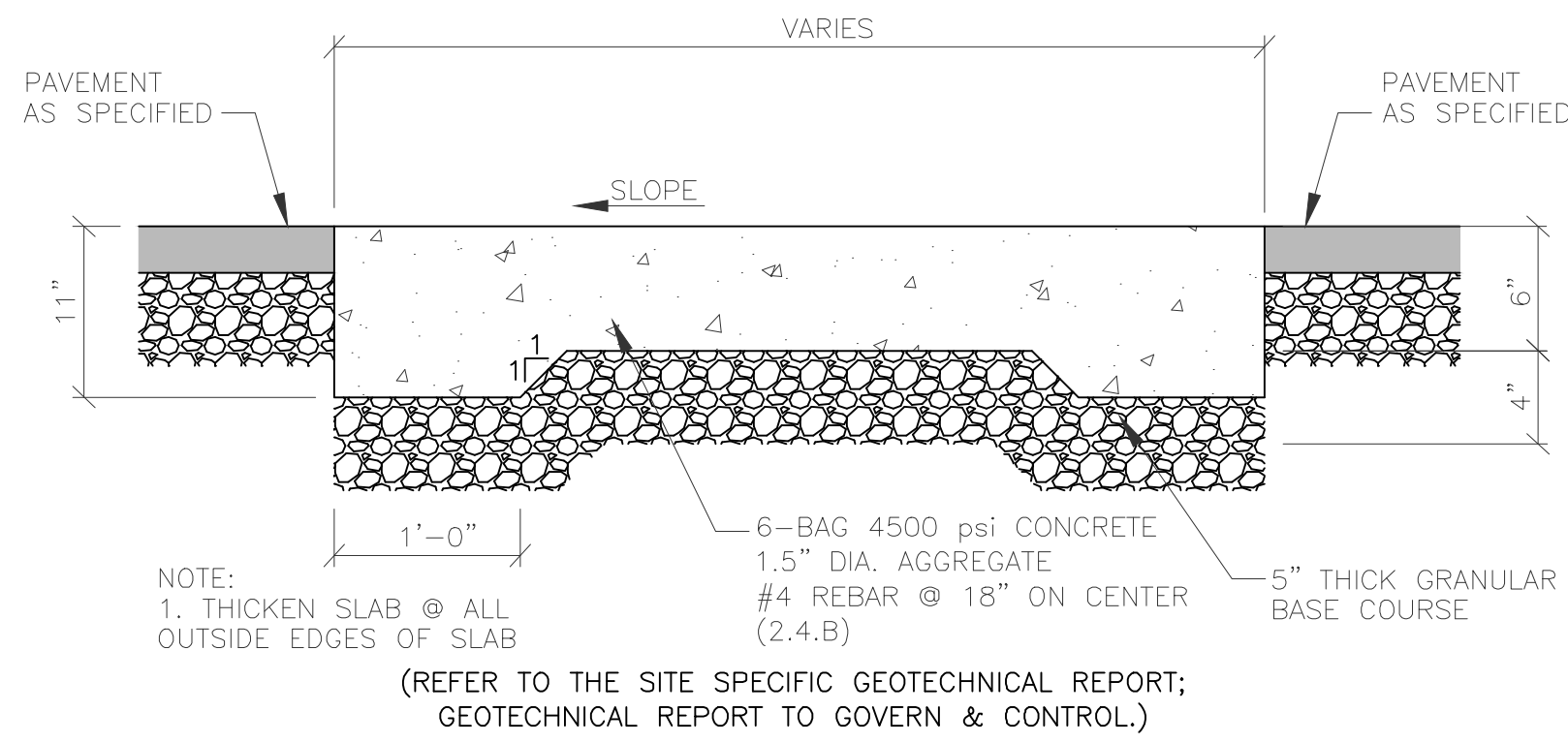
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GENERAL UTILITY NOTES:

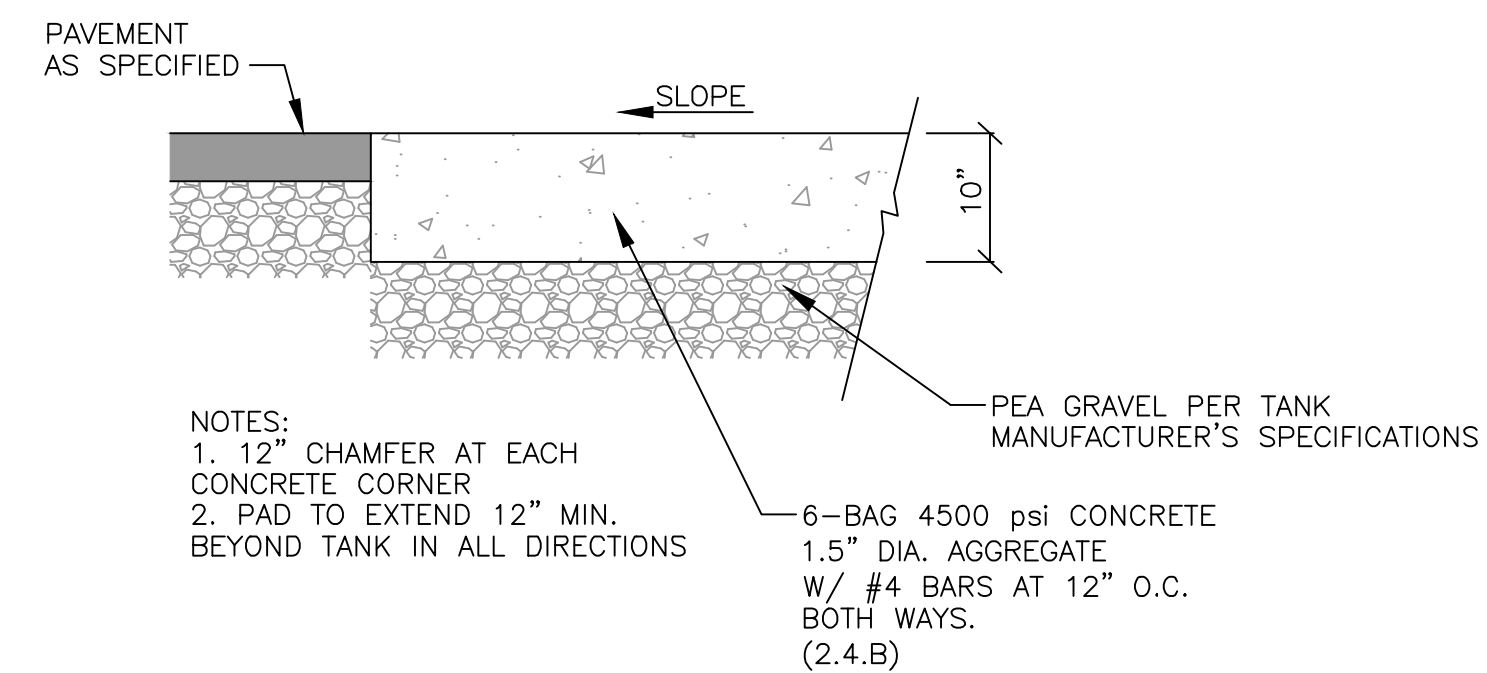
- ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
- 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
- REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
- CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
- ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
- FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
- ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART F.
- ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
- PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
- PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
- SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.
- ALL BUILDINGS - CONSTRUCTION TYPE IS II-B



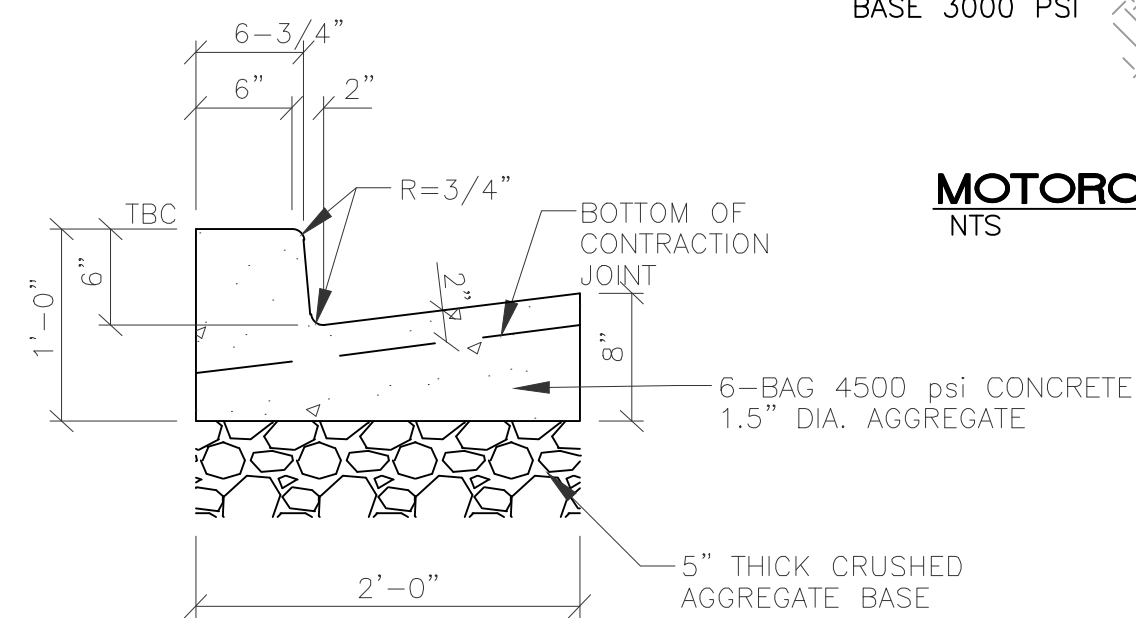
ENGINEER'S SEAL RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER 3/28/2019 RONALD R. BOHANNAN P.E. #7868	MAVERIK 650 JUAN TABO BLVD. NE UTILITY PLAN	DRAWN BY pm DATE 3-28-19 DRAWING 2018046-MU SHEET # C5 JOB # 2018046
TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com		



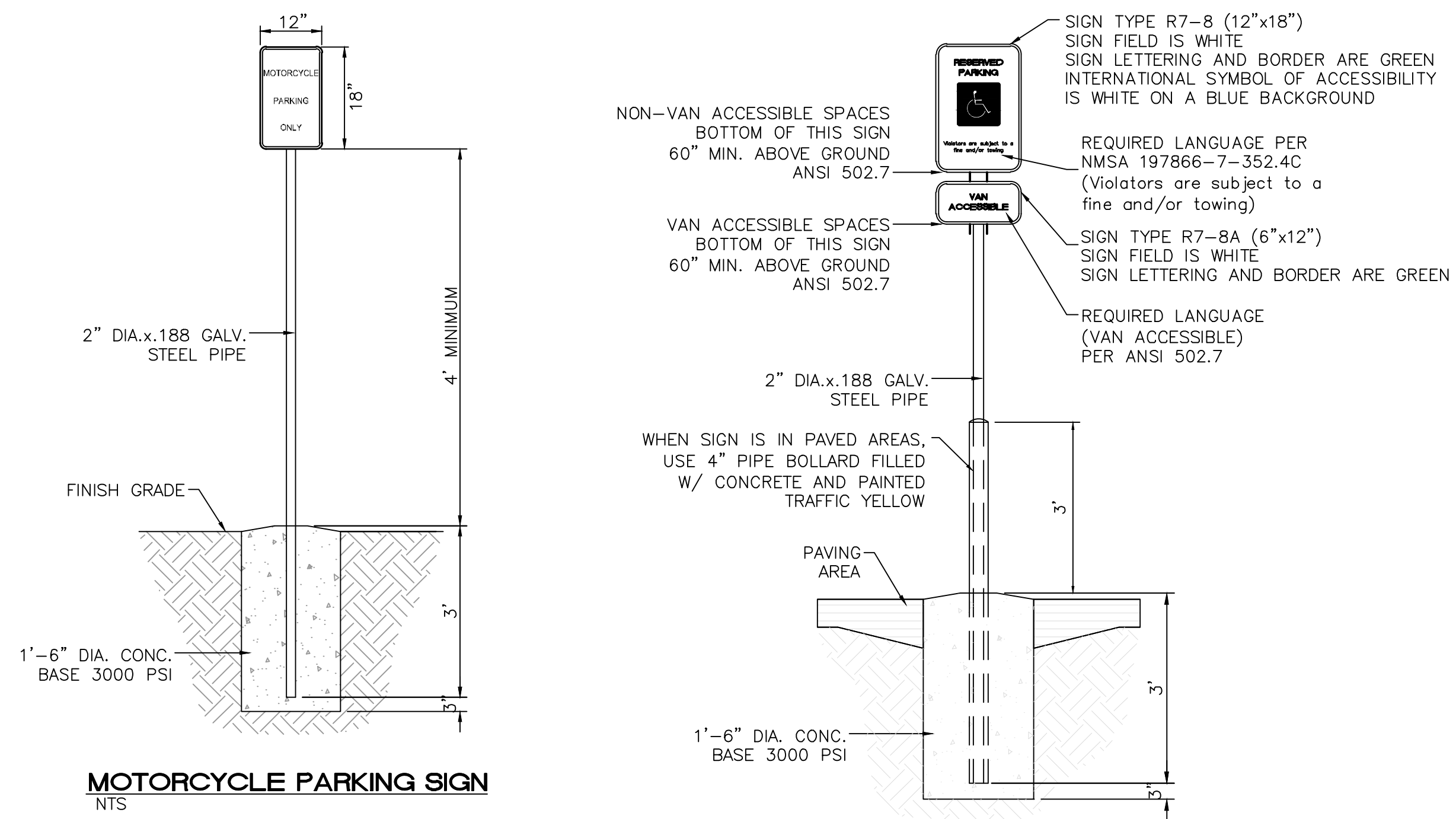
Petroleum Trench Cap Section
SCALE: NONE



Concrete Pad over Underground Fuel Tanks

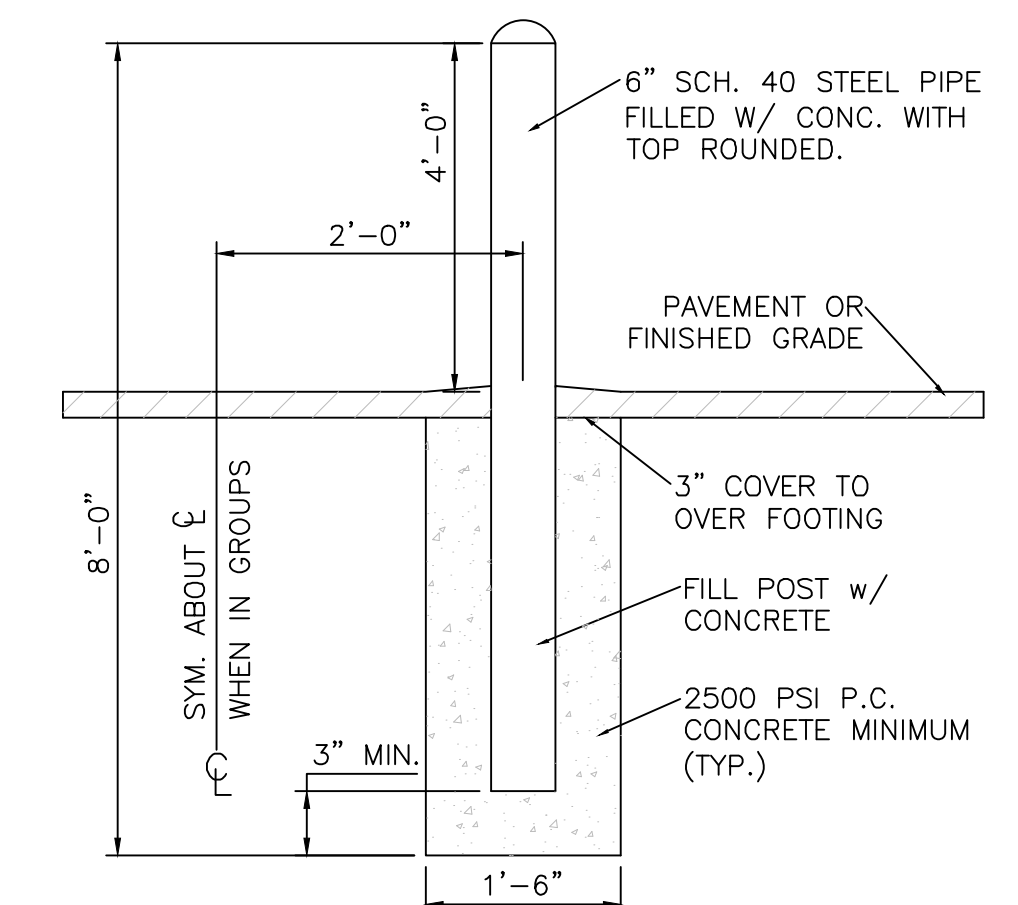


On-Site Curb & Gutter
SCALE: NONE

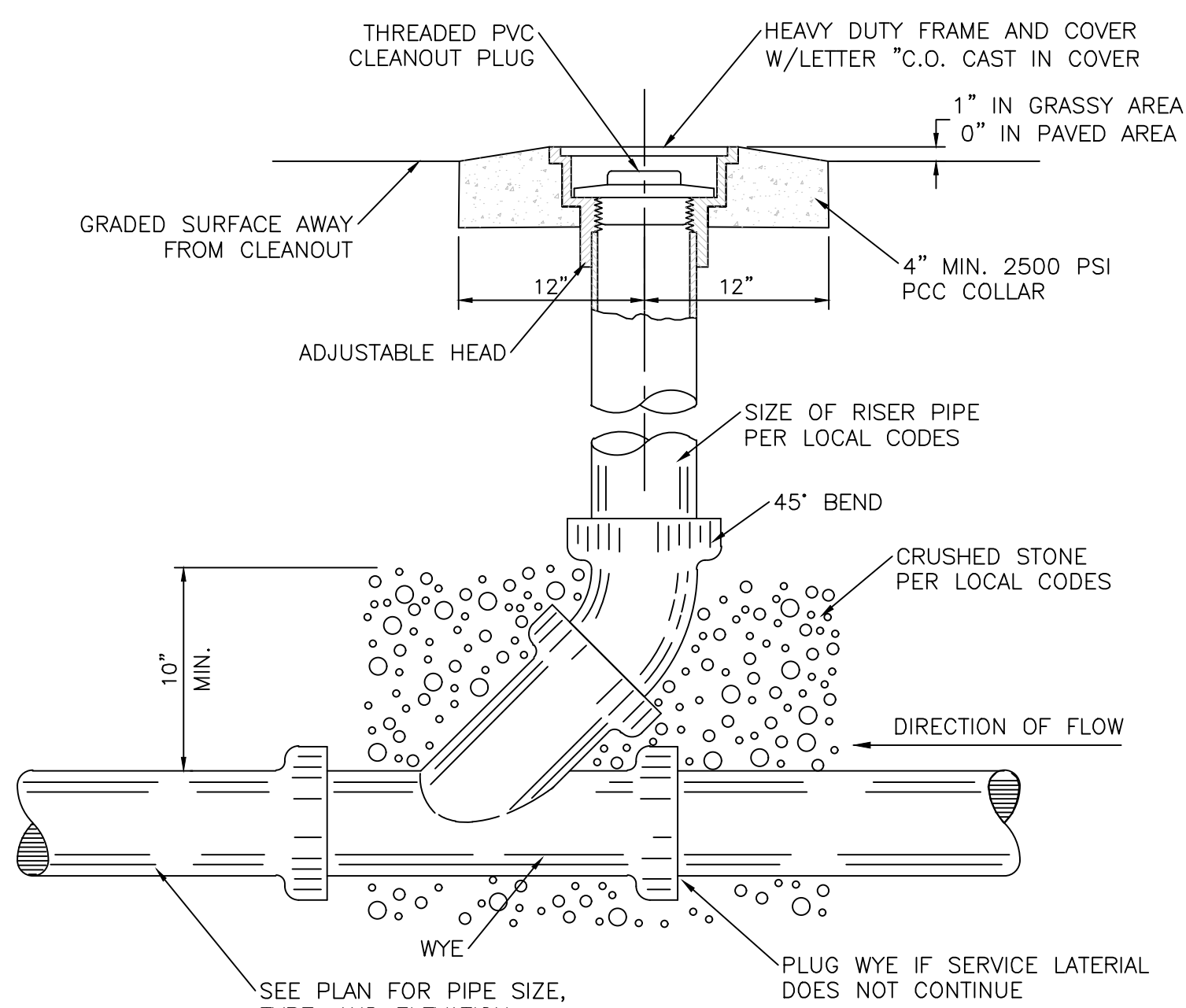


MOTORCYCLE PARKING SIGN
NTS

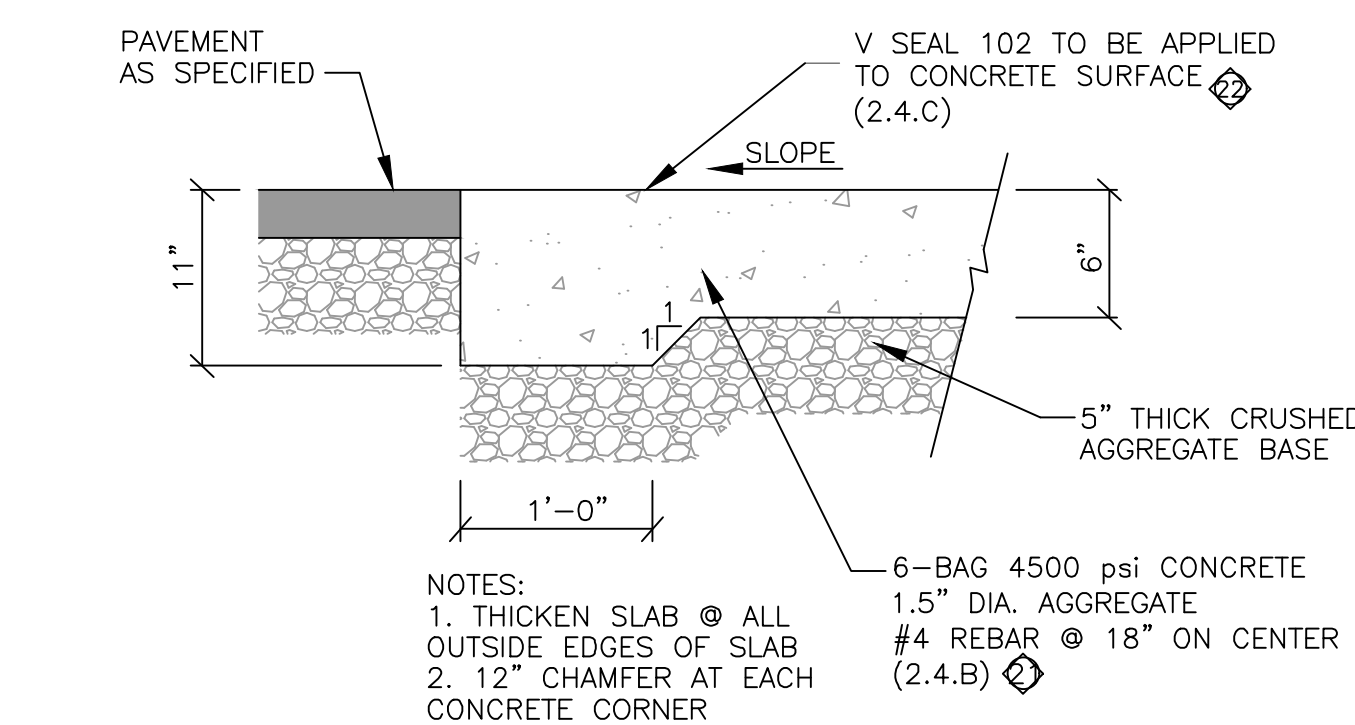
ACCESSIBLE PARKING SIGN
NTS



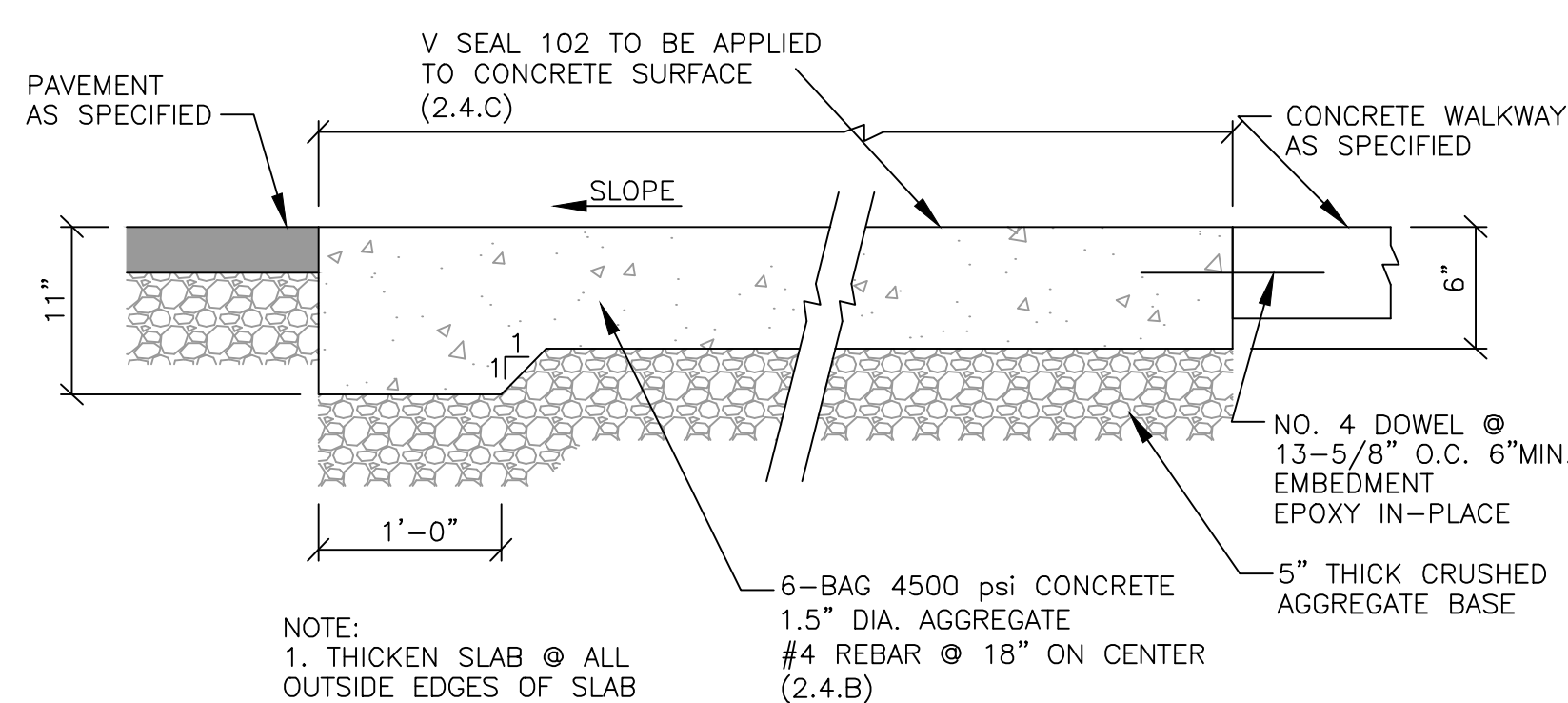
BOLLARD DETAIL
NTS



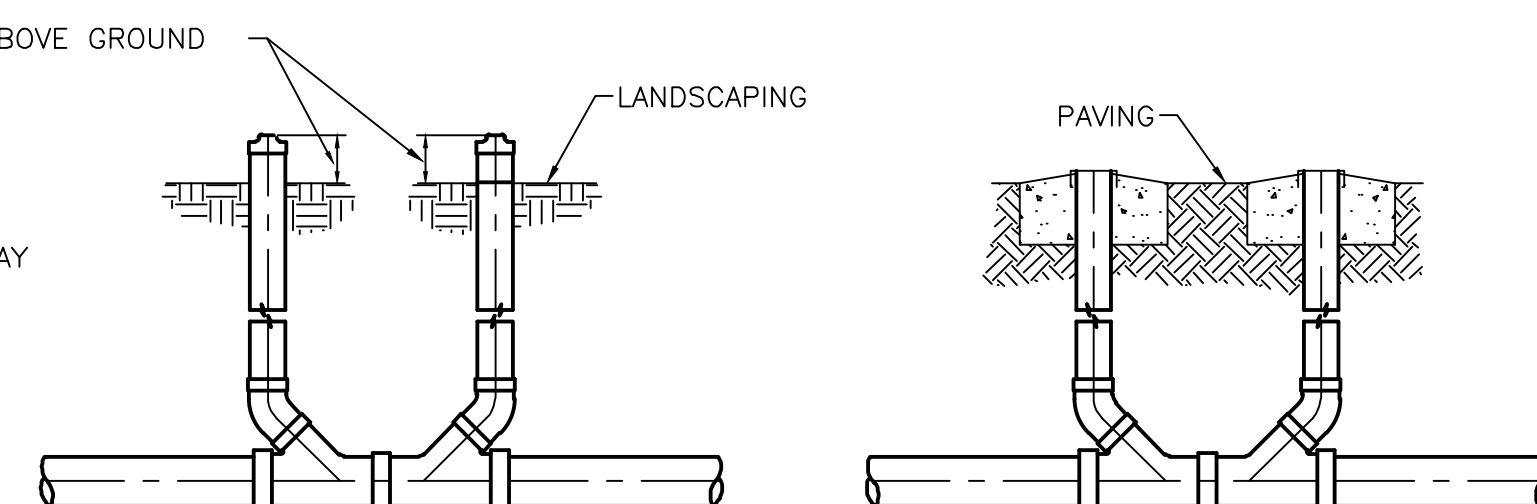
SANITARY SEWER CLEAN-OUT
NTS



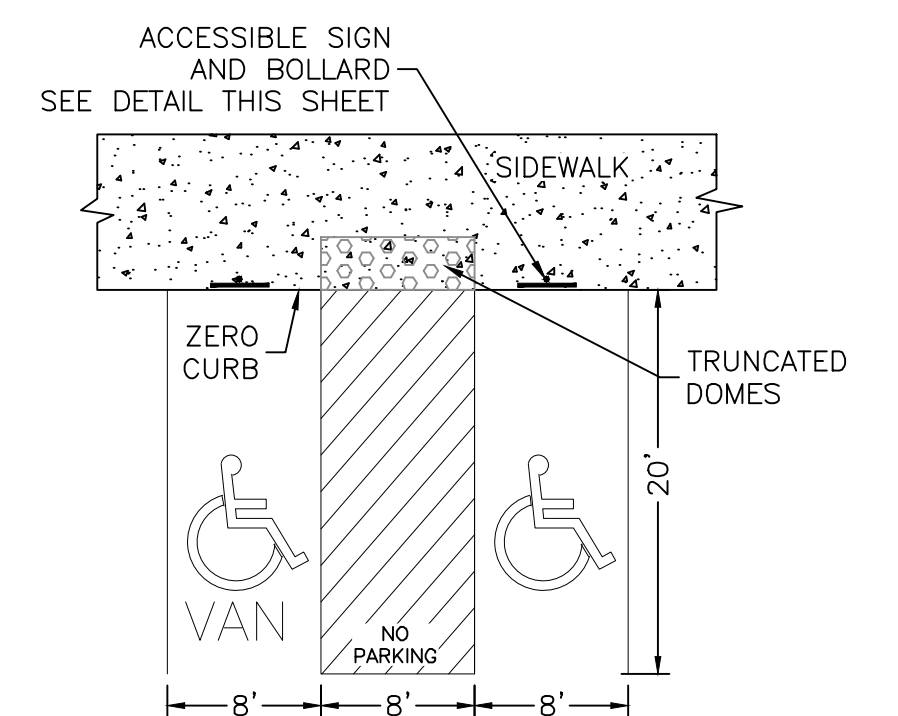
Concrete Pad under Fuel Canopy



Concrete Parking Stall



SANITARY SEWER DOUBLE CLEAN-OUTS
NTS



HC PARKING DETAIL
NTS

CSC SERVICEWORKS
Making life easy

AIR-Serv XactAir Features

- Heavy Duty Stainless Steel Cabinet
- 30' Top-Mounted Coil Hose & Chuck
- 3/4 HP High Flow Oil-Free Air Compressor
- Digital Air Gauge
- High Security Vault
- 24/7 Wireless Monitoring
- Built-In Heater (optional)
- Co-Branding Options
- Vacuum Feature Available

Consumer Benefits

- Auto-Calibrated Air Pressure
- Credit Cards Accepted
- Clear English & Spanish Instructions
- Highly Visible LED Sign

Proven Results

- Drive Traffic To Your Location
- Improve Customer Usability
- Differentiate Your Company From Competition
- Strengthen Customer Loyalty


800-247-8363
cscsw.com



ENGINEER'S SEAL	MAVERIK 650 JUAN TABO BLVD. NE	DRAWN BY pm
	CONSTRUCTION DETAIL 1	DATE 3-28-19
		DRAWING 2018046_DET
		SHEET # C6
RONALD R. BOHANNAN P.E. #7868	5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2018046

SPEC SHEET SLOW STOP BOLLARD

SlowStop® Rebounding Bollard – 6" (SS6Y-42)



Color: RAL 1023 Safety Yellow Bollard
RAL 9005 Black Base

Diameter: 6.63" (6" ANSI Schedule 40)
Height: 42"

Set Screws: 8 M16 x 2.00
8mm Hex

Cap: Black Plastic

MASS (LBS)	2500	5000	7500	10000	13000	20000	40000	80000
1.0								
2.0								
3.0								
4.0								
5.0								
6.0								
7.0								
8.0								
9.0								
10.0								
11.0								
12.0								

Installs with eight (8) 5/8" x 5-1/2" Concrete Screw Anchors

NO / Negligible Damage
Will Stop / Potential Damage to Guard

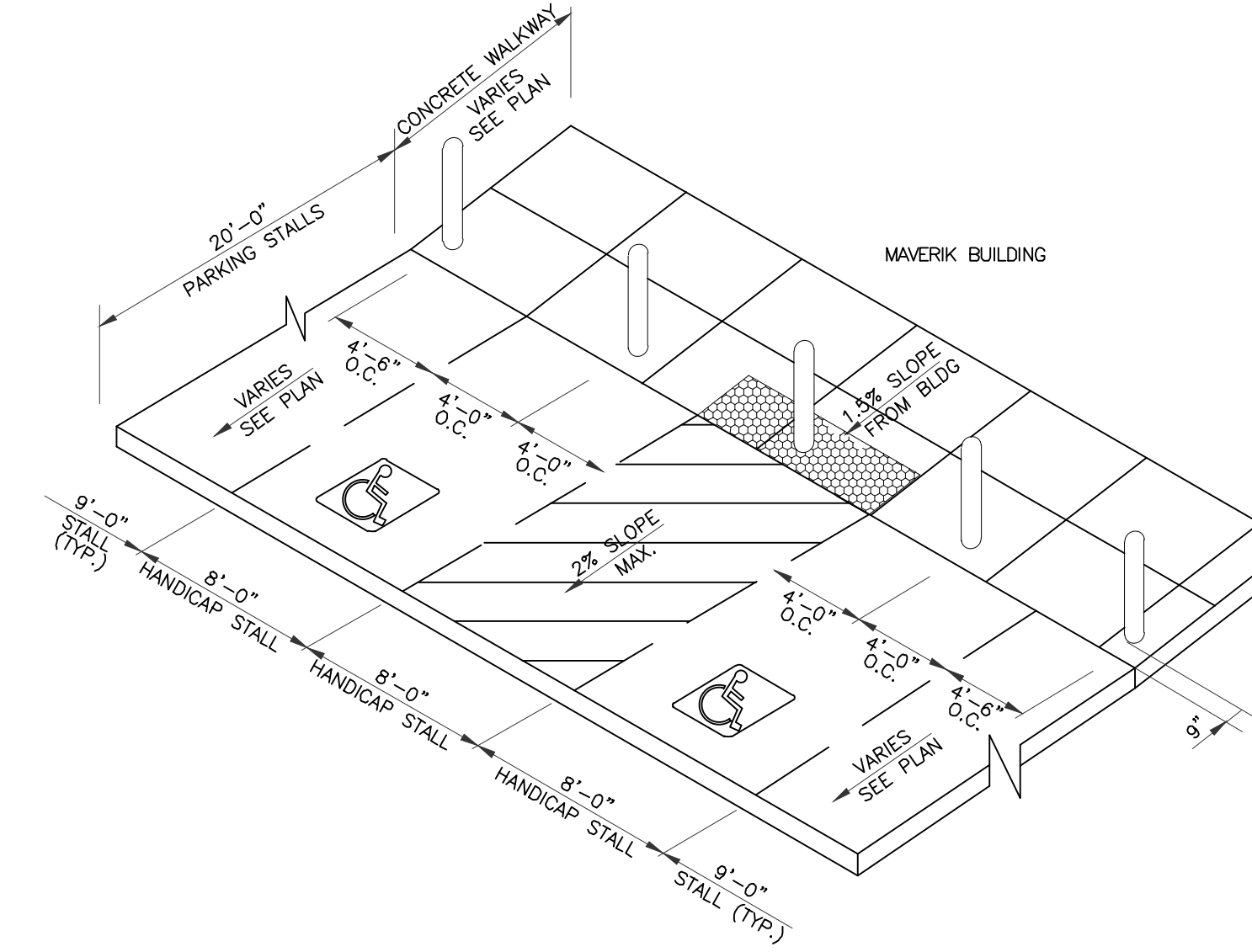
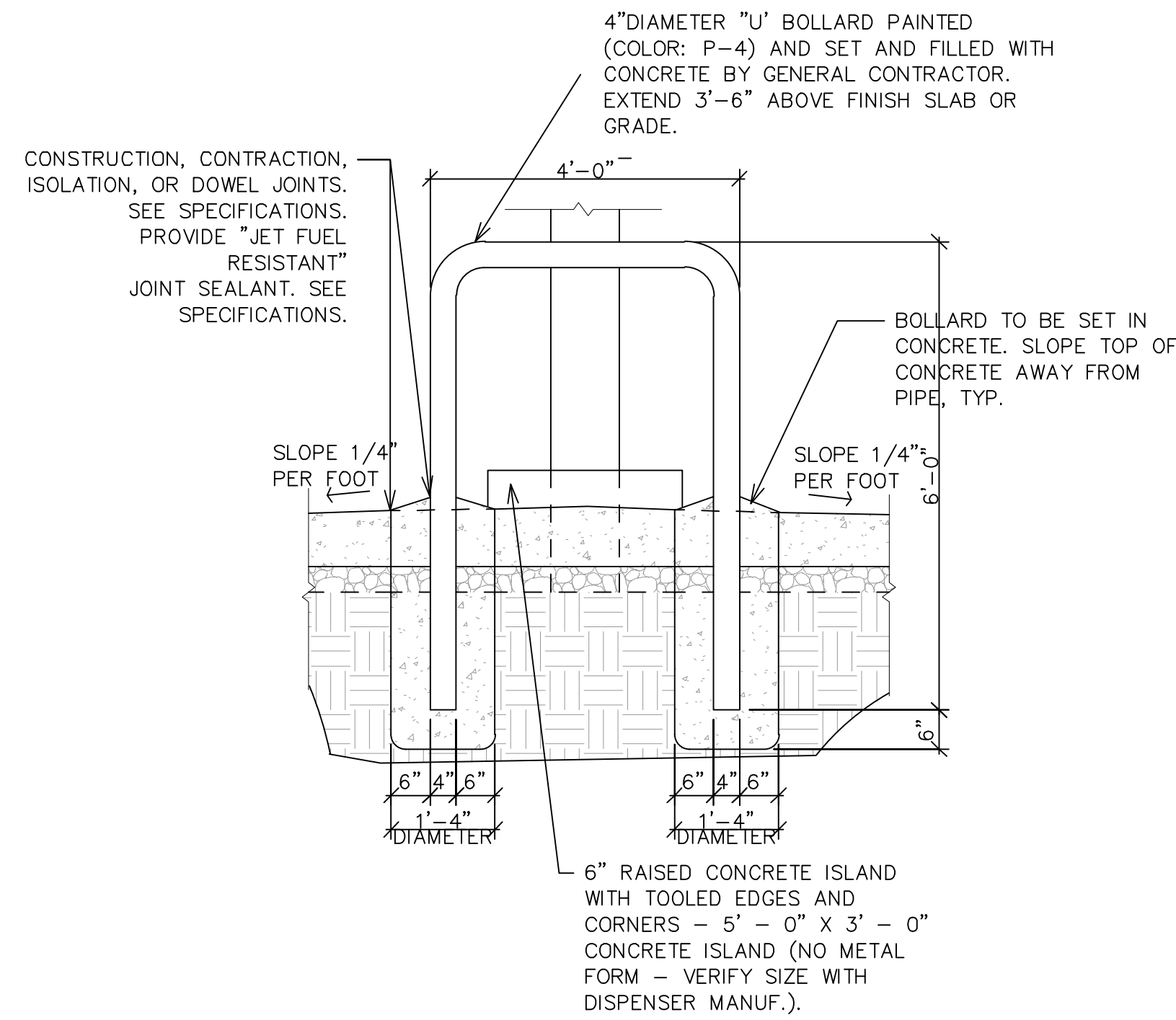
SPECIFICATIONS

- Energy Absorption: 12,934 Joules / 9,536 Ft-lb
- Impact Force: 37,387 pounds @ 36" height
- Temperature Rating: -40°
- Pipe Coating: 60µm Hot Dipped Galvanized + 60µm Polyester Outdoor Powder Coat
- Cast Iron Coating: Environmentally Friendly Water-Based KTL Coating + Powder Coat CSI Rated

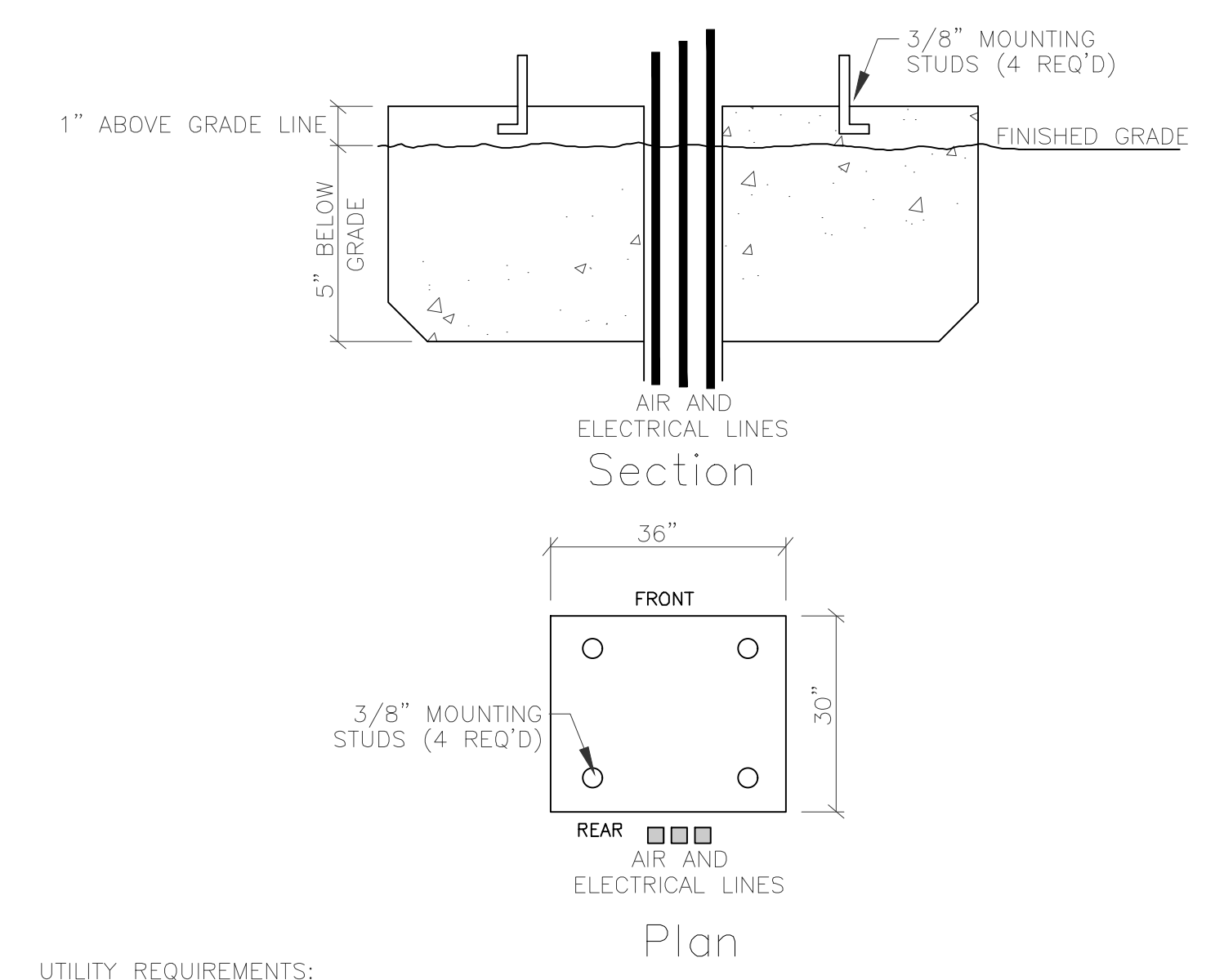
RECOMMENDED USES

- Heavy Duty
- Loading Docks and Warehouse Entrance Ramps
- Equipment and Storage Rack Guarding
- Utility Protection
- Pedestrian Safety
- Access Denial
- Post-tensioned Concrete
- Not for K-Rated Security Use

4955 Stout Dr. • San Antonio, TX 78219
210-736-4477 • 800-736-5256 • Fax 210-734-6448
Email: info@slowstop.com
www.slowstop.com



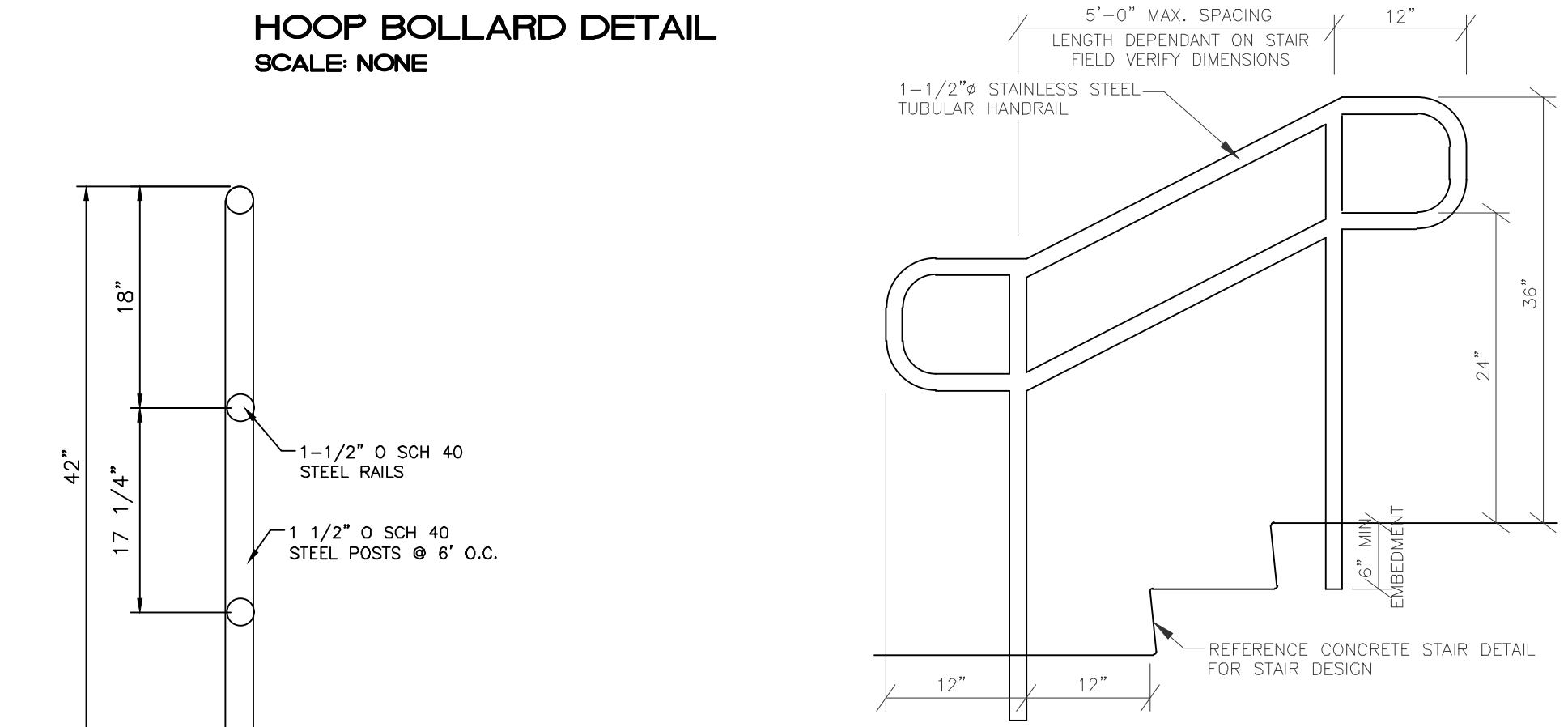
TYPICAL BOLLARD SPACING
SCALE: NONE



UTILITY REQUIREMENTS:
OUTDOOR APPROVED ELECTRICAL CONDUIT. REFER TO ELECTRICAL SPECIFICATIONS INFORMATION ON SPECIFIC MACHINE INSTALLATION REQUIREMENTS.

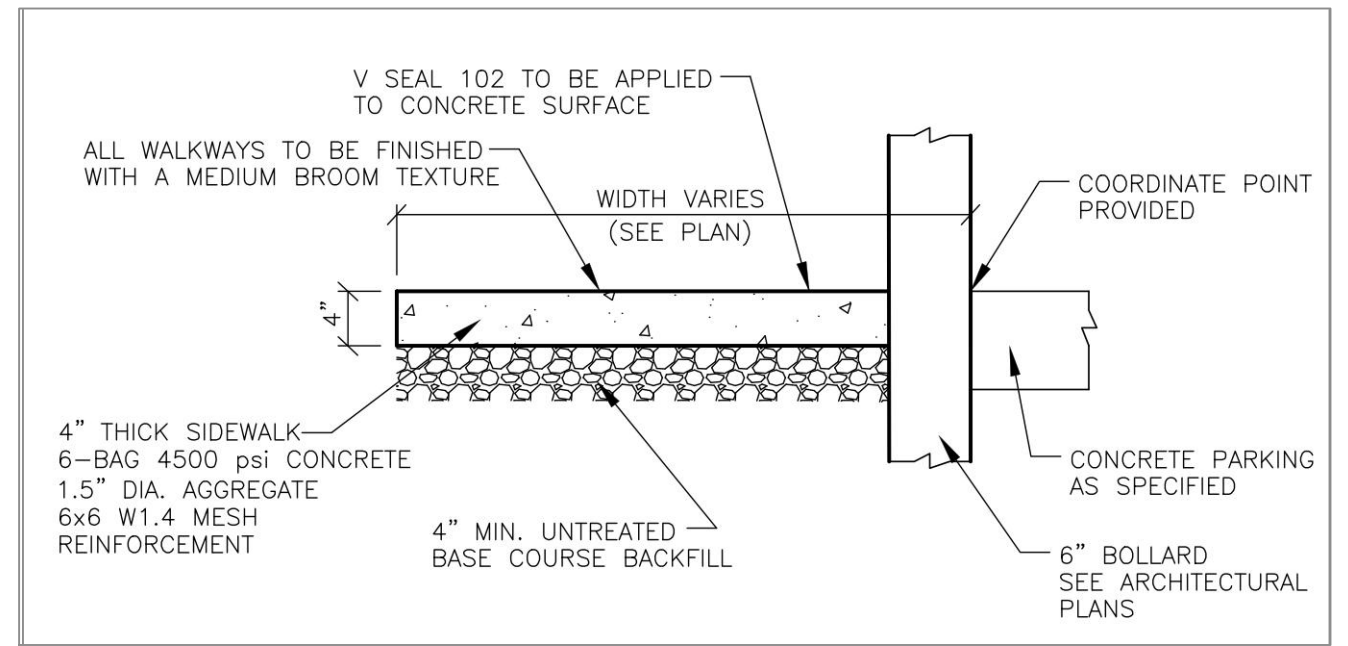
XACTAIR AIR STATION FOUNDATION
SCALE: NONE

HOOP BOLLARD DETAIL
SCALE: NONE



HAND RAIL DETAIL
SCALE: NONE

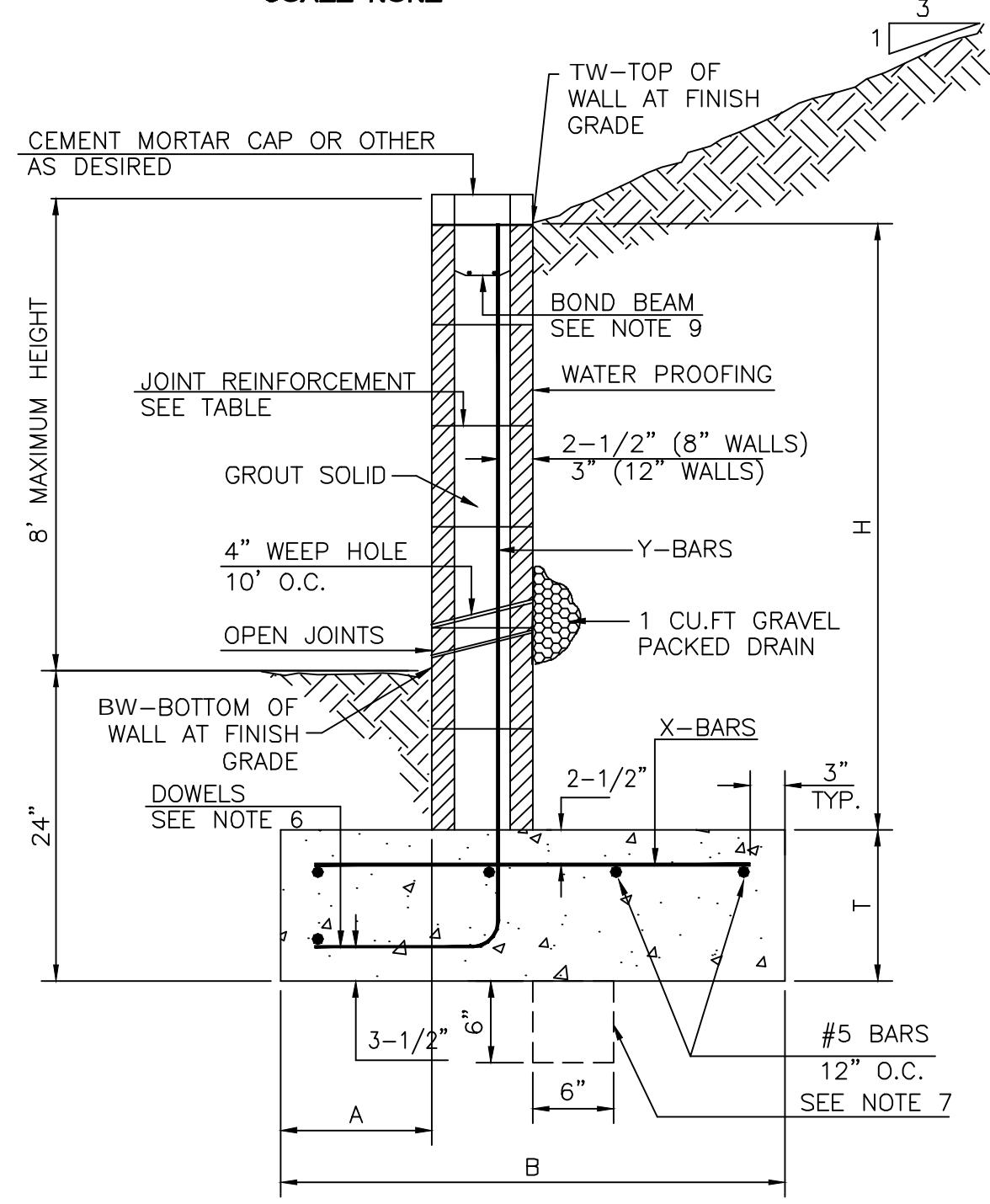
PIPE BOLLARD DETAIL
SCALE: NONE



(REFER TO THE SITE SPECIFIC GEOTECHNICAL REPORT; GEOTECHNICAL REPORT TO GOVERN & CONTROL.)

CONCRETE SIDEWALK DETAIL
SCALE: NONE

GUARD RAIL DETAILS



RETAINING WALL DETAIL
NTS

8 INCH REINFORCED CONCRETE MASONRY WALL

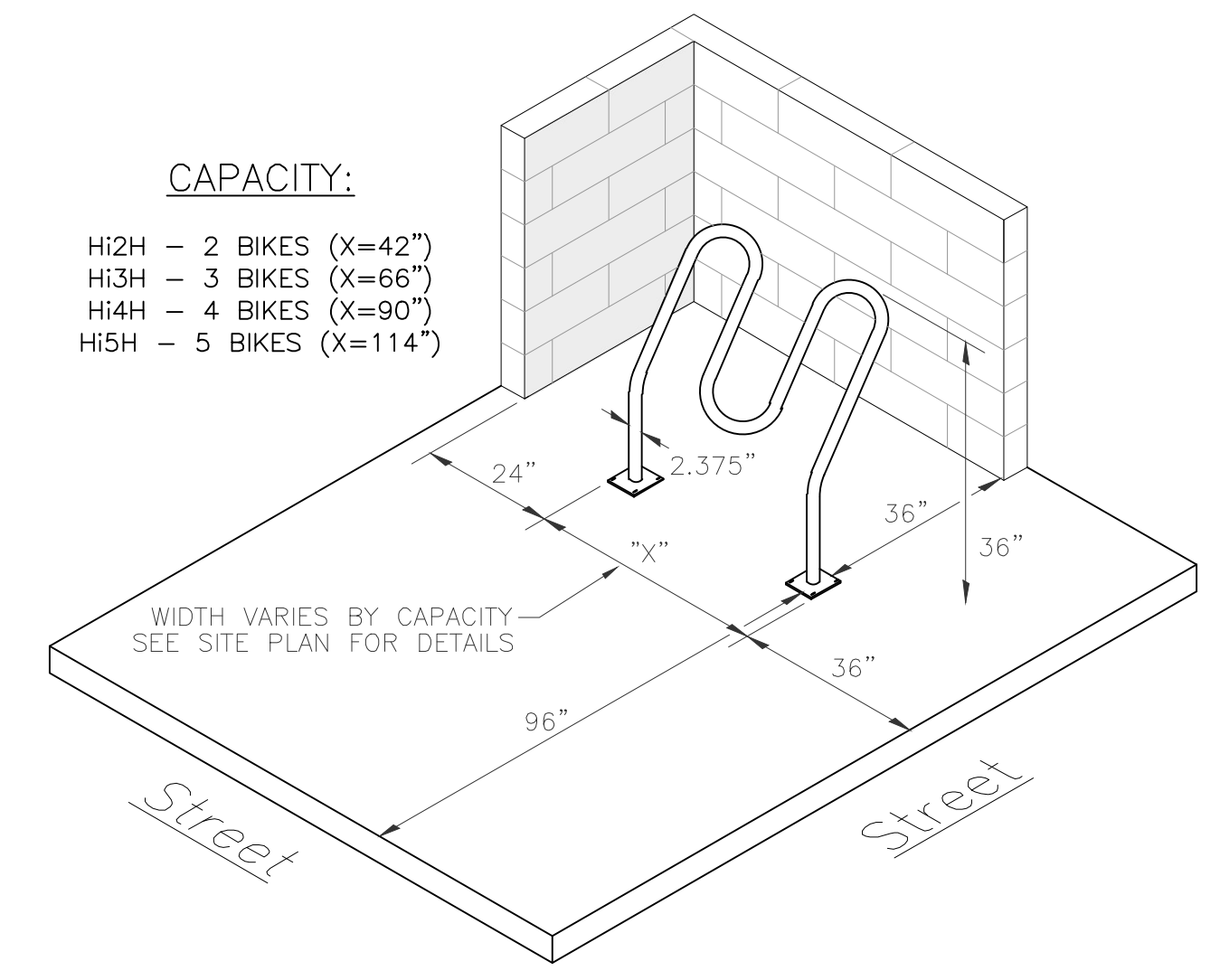
H	A	B	T	Y-BARS	X-BARS
2'-0"	8"	2'-0"	9"	#4 @32" O.C.	
2'-8"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-0"	10"	2'-8"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#4 @18" O.C.
5'-4"	14"	3'-10"	10"	#6 @16" O.C.	#4 @18" O.C.
6'-0"	16"	4'-8"	12"	#6 @8" O.C.	#4 @12" O.C.

12 INCH REINFORCED CONCRETE MASONRY WALL

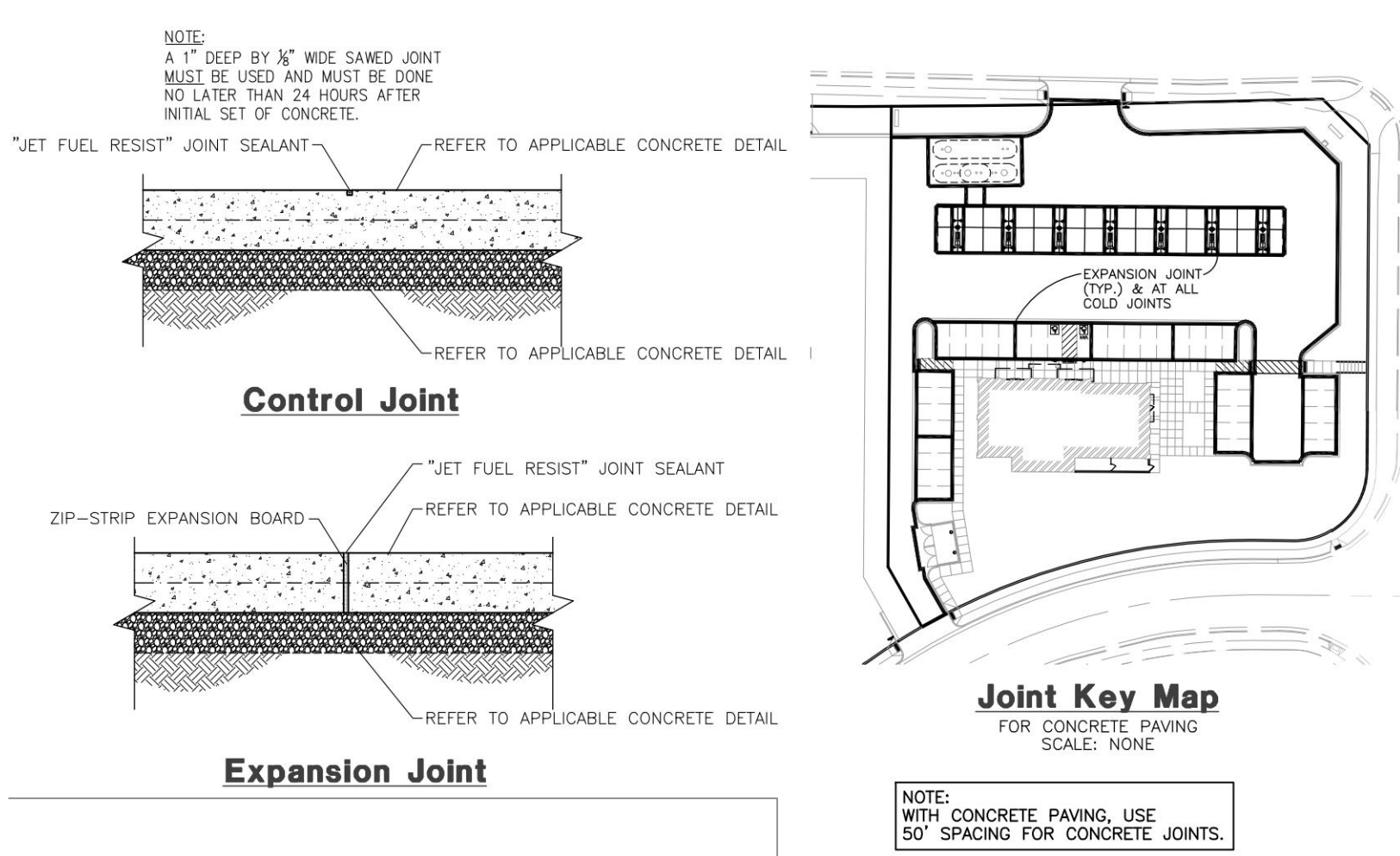
H	A	B	T	Y-BARS	X-BARS
5'-4"	14"	3'-8"	10"	#6 @18" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @18" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#5 @18" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#5 @18" O.C.
8'-0"	20"	5'-4"	12"	#7 @18" O.C.	#6 @12" O.C.
8'-8"	20"	5'-8"	12"	#7 @16" O.C.	#6 @12" O.C.

GENERAL NOTES:

- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
- MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
- BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
- ALL BARS ARE TO BE GRADE 60, ASTM 615.
- TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
- DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOP OF THE FOOTING.
- PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
- USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
- BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



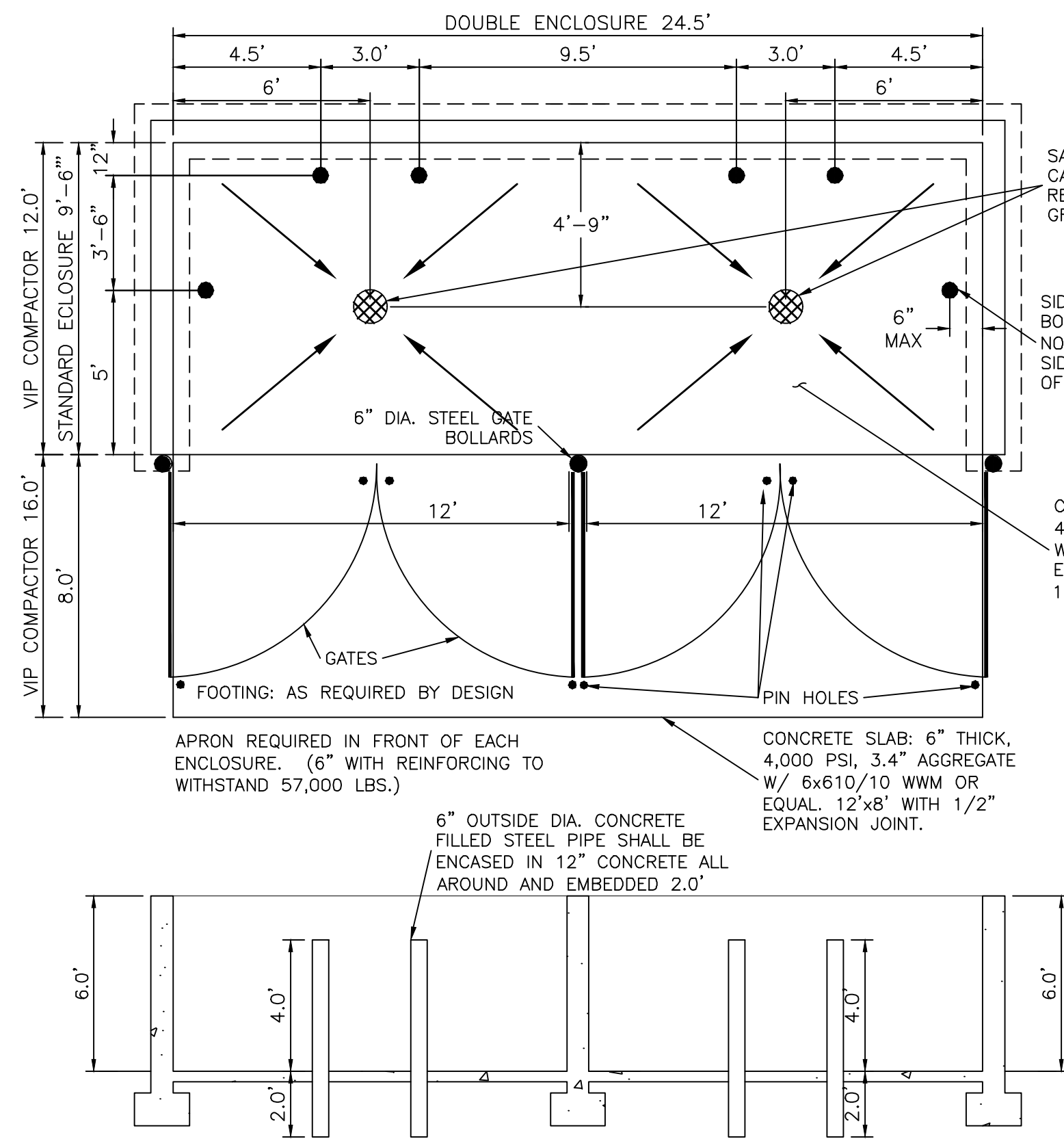
"HI-ROLLER" BIKE RACK DETAIL
SCALE: NONE



TYPICAL ON-SITE CONCRETE JOINTS
SCALE: NONE

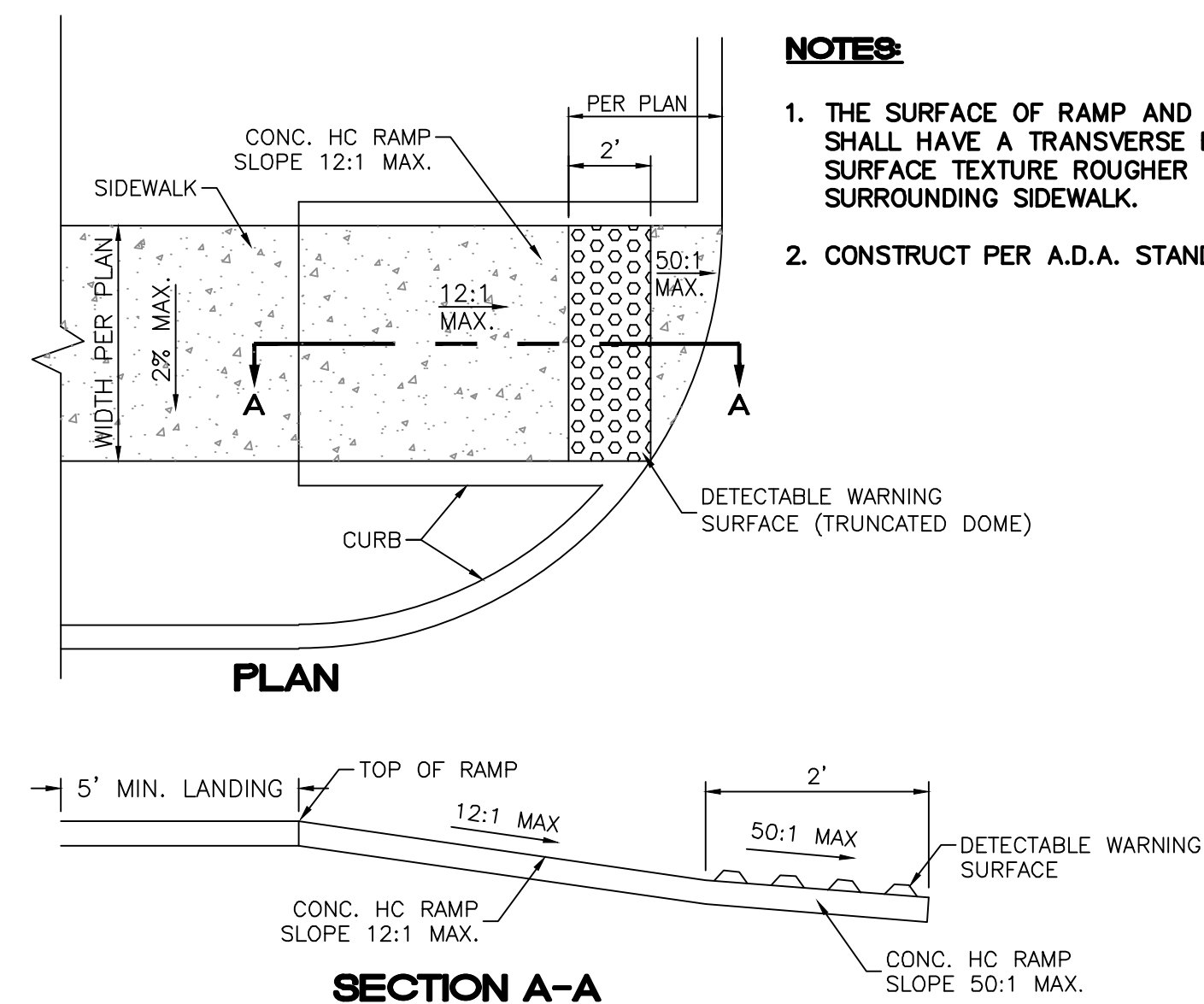


<p>ENGINEER'S SEAL</p>  <p>RONALD R. BOHANNAN P.E. #7868</p>	<p>MAVERIK 650 JUAN TABO BLVD. NE</p>	<p>DRAWN BY pm</p>
	<p>CONSTRUCTION DETAIL 2</p>	<p>DATE 3-28-19</p>
<p>TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</p>	<p>DRAWING 2018046_DET</p>	<p>SHEET # C7</p>
<p>3/28/2019</p>	<p>JOB # 2018046</p>	

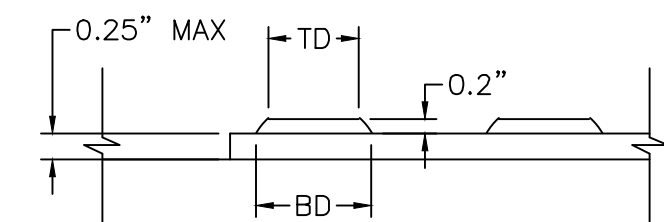


- NOTE:
1. THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.
 2. SOLID WASTE IS TO PROVIDE ALL INSPECTIONS ON THE TRASH ENCLOSURE SUCH AS PRE-POUR FOR SLAB AND APRON, BOND BEAM, BOLLARD, AND FINAL INSPECTION WILL BE CONTINGENT FOR SOLID WASTE SIGN OFF FOR FINAL CO.

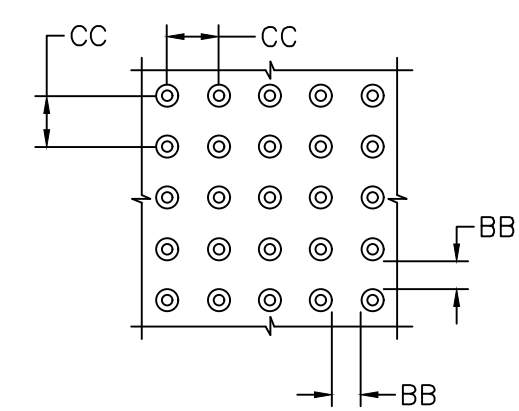
DUMPSTER w/SAS DRAIN - ENCLOSURE DETAIL
NTS



- NOTES:**
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
 2. CONSTRUCT PER A.D.A. STANDARDS.



CONC. SLAB ON GRANULAR FILL WITH #4 BARS AT 12" O.C. EACH WAY



REINFORCED PRE-CAST CONCRETE WALL CAP, SEALED, SLOPED

8'-0"

TOP OF MASONRY

(2)#4 @ 48" O.C.

#4 @ 16" O.C.

SPLIT-FACED EXTERIOR SMOOTH-FACED INTERIOR CONCRETE MASONRY UNITS, COLOR CMU-1

8" CMU, SOLID GROUTED.

SLOPE GRADE AWAY FROM WALL

#4 @ 8" O.C. - HORIZ.

#4 @ 16" O.C. - VERT.

12" CONCRETE FOUNDATION WALL

CONTINUOUS FOOTING (3)#5 BAR CONT.

#5 @ 12" O.C.

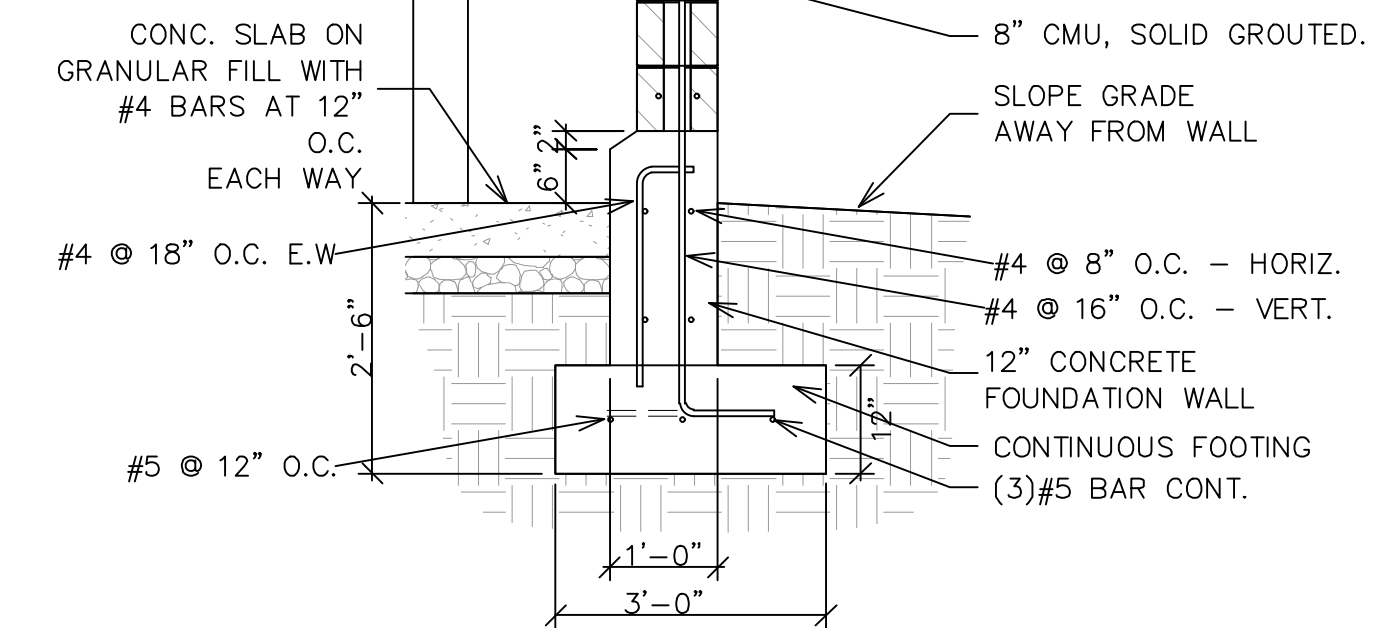
6'-0"

2'-6"

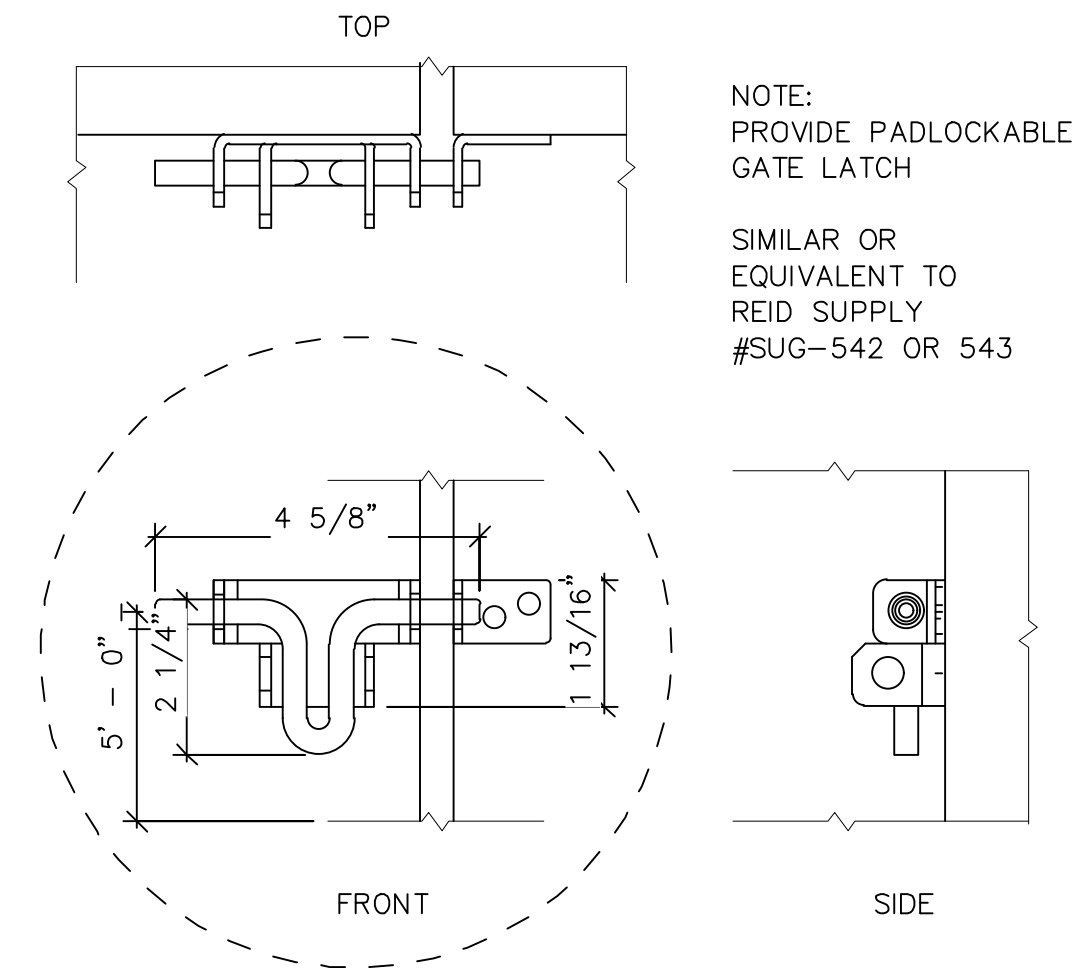
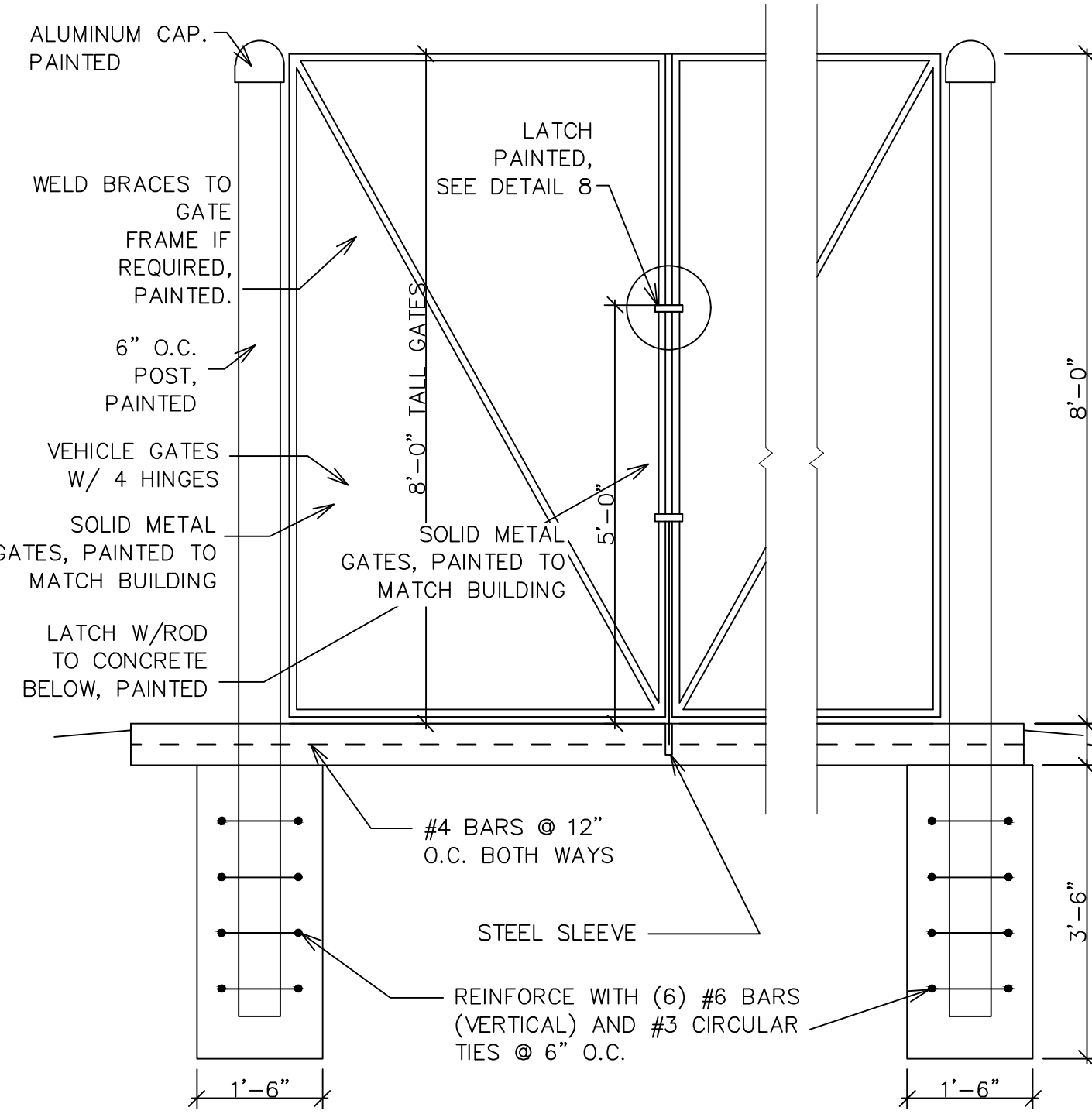
1'-0"

3'-0"

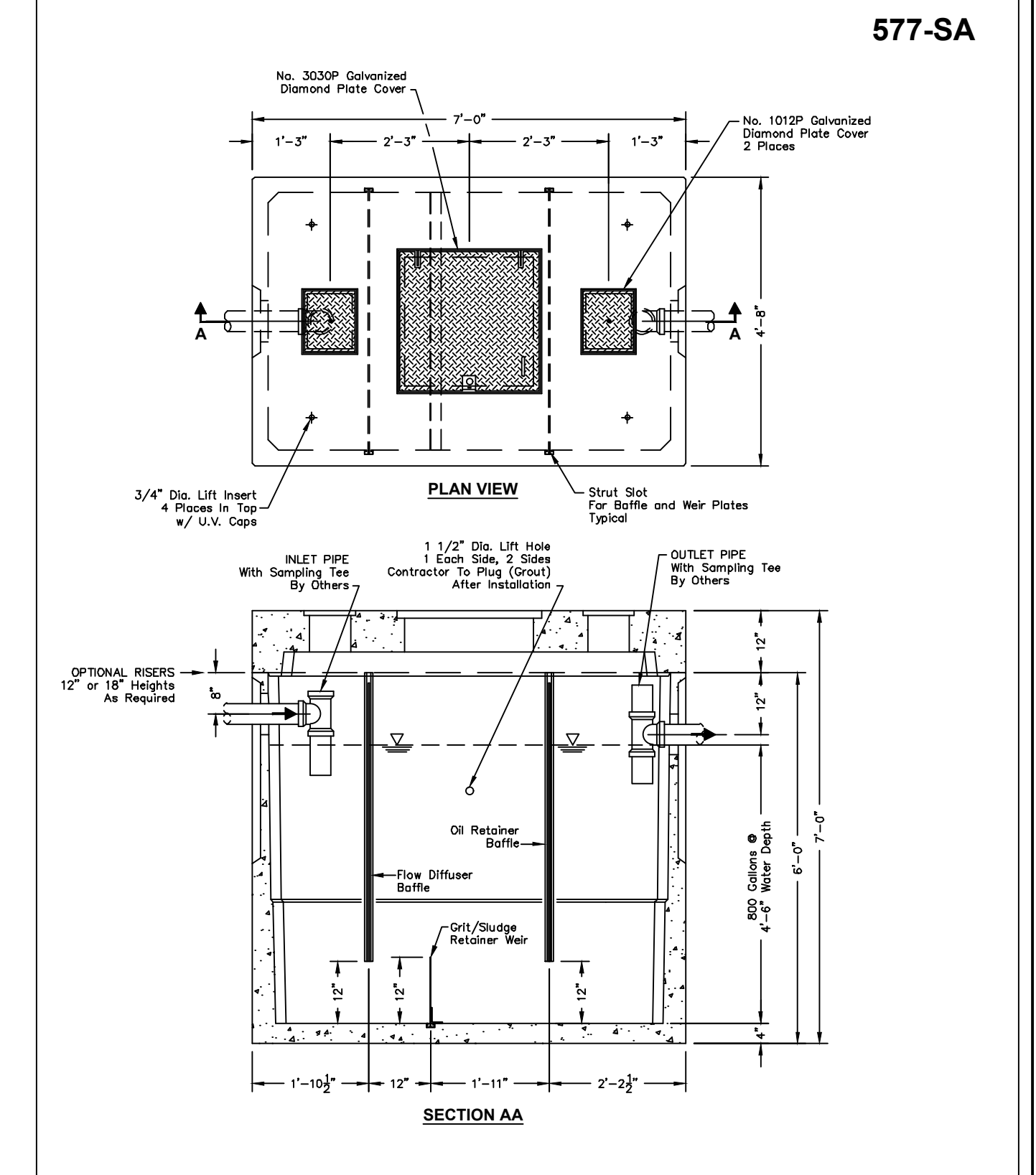
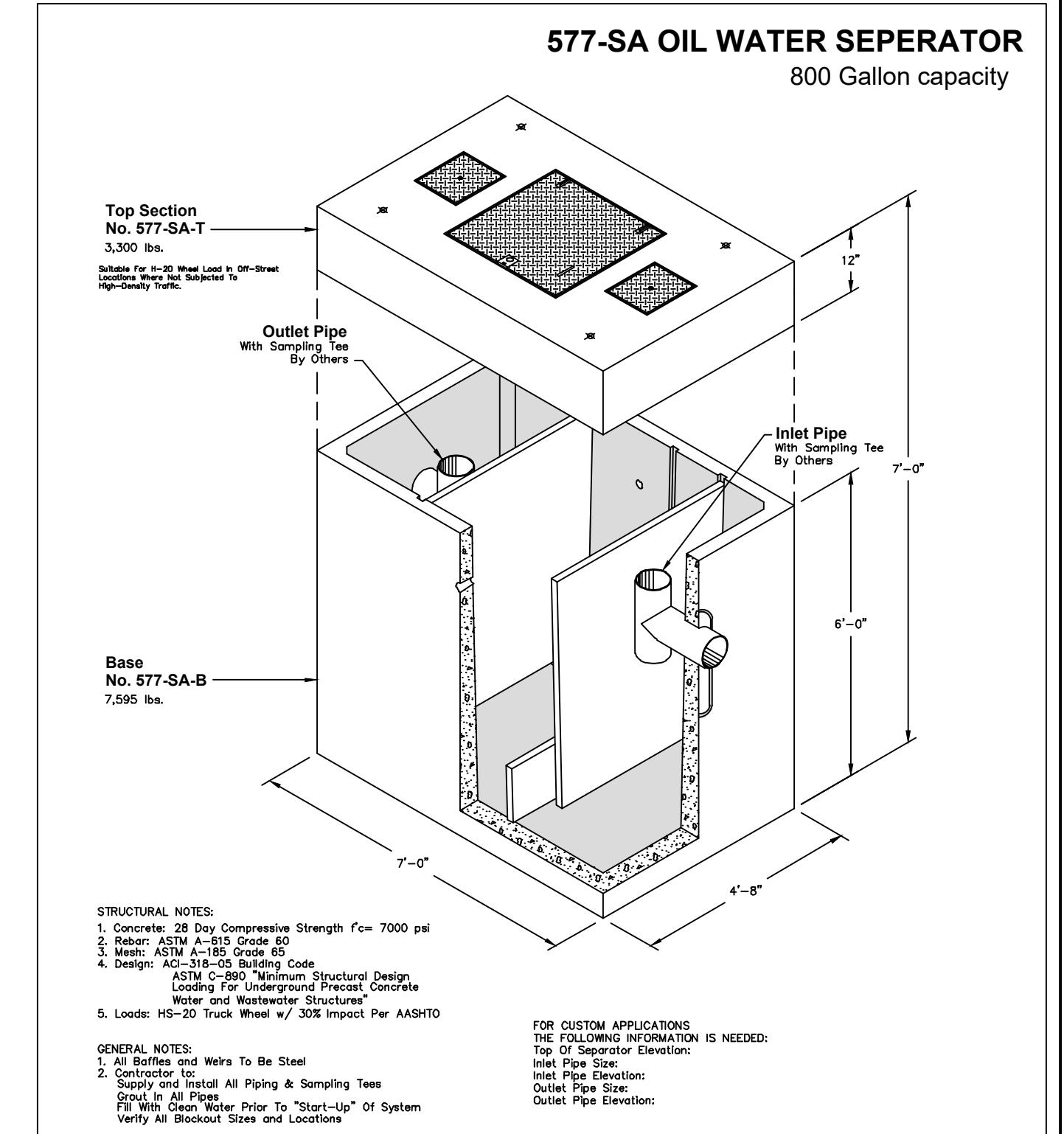
NOTE: SEE DETAILS 5 AND 6 FOR ENCLOSURE PLAN AND GATE ELEVATION. SEE STRUCTURAL FOR ADDITIONAL INFORMATION.



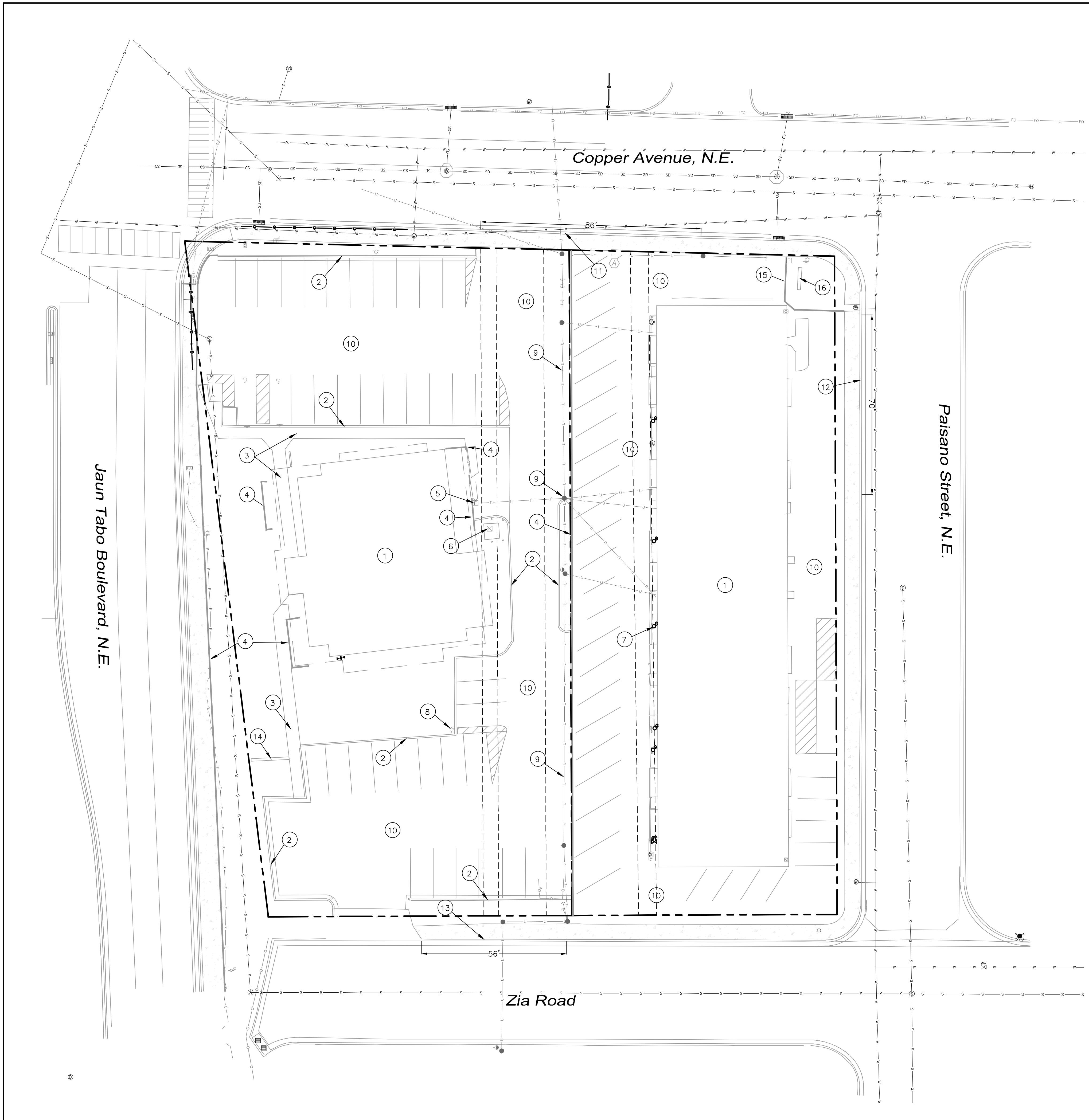
Dumpster Enclosure Gate Detail
SCALE: NONE



Dumpster Enclosure Gate Latch Detail
SCALE: NONE



ENGINEER'S SEAL	MAVERIK 650 JUAN TABO BLVD. NE CONSTRUCTION DETAIL 3	DRAWN BY pm
		DATE 3-28-19
		DRAWING 2018046_DET
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C8
		JOB # 2018046



LEGEND

	EXISTING CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	EXISTING SIDEWALK
	EXISTING WATER LINE
	EXISTING STORM LINE
	EXISTING STORM MANHOLE
	EXISTING STORM INLET
	EXISTING SAS LINE
	EXISTING SAS MANHOLE
	EXISTING WATER LINE
	EXISTING WATER VALVE
	EXISTING OVERHEAD POWER LINE
	EXISTING POWER POLE
	EXISTING ELECTRIC LINE
	EXISTING WALL
	EXISTING ELECTRICAL BOX
	EXISTING TRANSFORMER
	EXISTING LIGHT STANDARD
	EXISTING TELEPHONE PEDESTAL

- KEYED NOTES**
- 1 REMOVE AND DISPOSE EXISTING BUILDING AND FOUNDATION
 - 2 REMOVE AND DISPOSE EXISTING CURB AND GUTTER
 - 3 REMOVE AND DISPOSE EXISTING CONCRETE SIDEWALK
 - 4 REMOVE AND DISPOSE EXISTING WALL
 - 5 REMOVE AND DISPOSE EXISTING ELECTRICAL BOX
 - 6 REMOVE EXISTING TRANSFORMER, RETURN TO PNM
 - 7 REMOVE AND DISPOSE EXISTING GAS METER (TYP)
 - 8 REMOVE AND DISPOSE EXISTING LIGHT STANDARD
 - 9 EXISTING POWER LINE AND POLES TO BE RELOCATED (BY OTHERS)
 - 10 REMOVE AND DISPOSE ALL EXISTING ASPHALT
 - 11 REMOVE AND DISPOSE 86 LF EXISTING CURB AND GUTTER AND SIDEWALK
 - 12 REMOVE AND DISPOSE 70 LF EXISTING CURB AND GUTTER AND SIDEWALK
 - 13 REMOVE AND DISPOSE 56 LF EXISTING CURB AND GUTTER AND SIDEWALK
 - 14 REMOVE AND DISPOSE EXISTING SIGN
 - 15 EXISTING WALL TO REMAIN
 - 16 EXISTING SIGN TO REMAIN



ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	MAVERIK 650 JUAN TABO BLVD. NE DEMOLITION PLAN	DRAWN BY pm DATE 3-28-19 DRAWING 2018046-DEMO
	 TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C9 JOB # 2018046



DESIGN


1605 South Gramercy Rd.
Salt Lake City, UT 84104
801.487.8481

www.yesco.com

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The colors shown are only approximated on any computer monitor, inkjet or laser print. The final product may vary slightly in color from your computer monitor or print.

 This sign will be installed in accordance with the requirements of Article 600 of the National Electrical Code and / or other applicable local codes. This includes proper grounding and bonding of the sign.

Revisions

No.	Date / Description
Initial (RD)	09.05.2018
R1	09.06.2018
R2	
R3	
R4	
R5	
R6	
R7	
R8	
R9	
R10	
R11	
R12	
R13	
R14	
R15	

Approvals

YESCO A/E Signature / Date

Client Signature / Date

Landlord Signature / Date

Maverik

Juan Tabo & Copper
Albuquerque, NM

Acct. Exec: Matt Wren

Designer: Justin Raymond

Date: 09.06.2018

Site Map

17594

R1

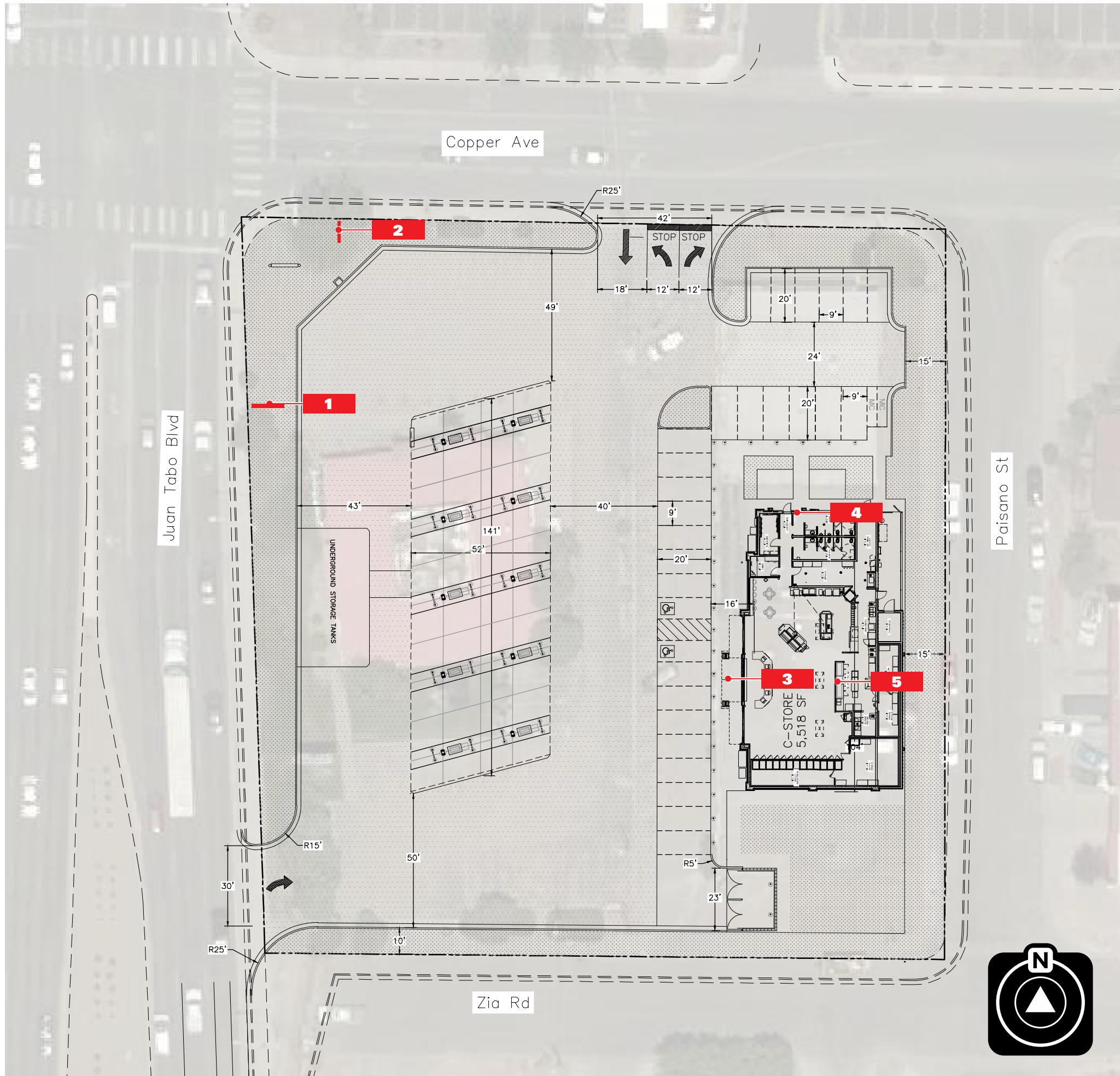
JO #

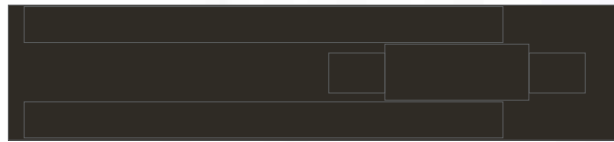
scale: as noted

ART

0.1

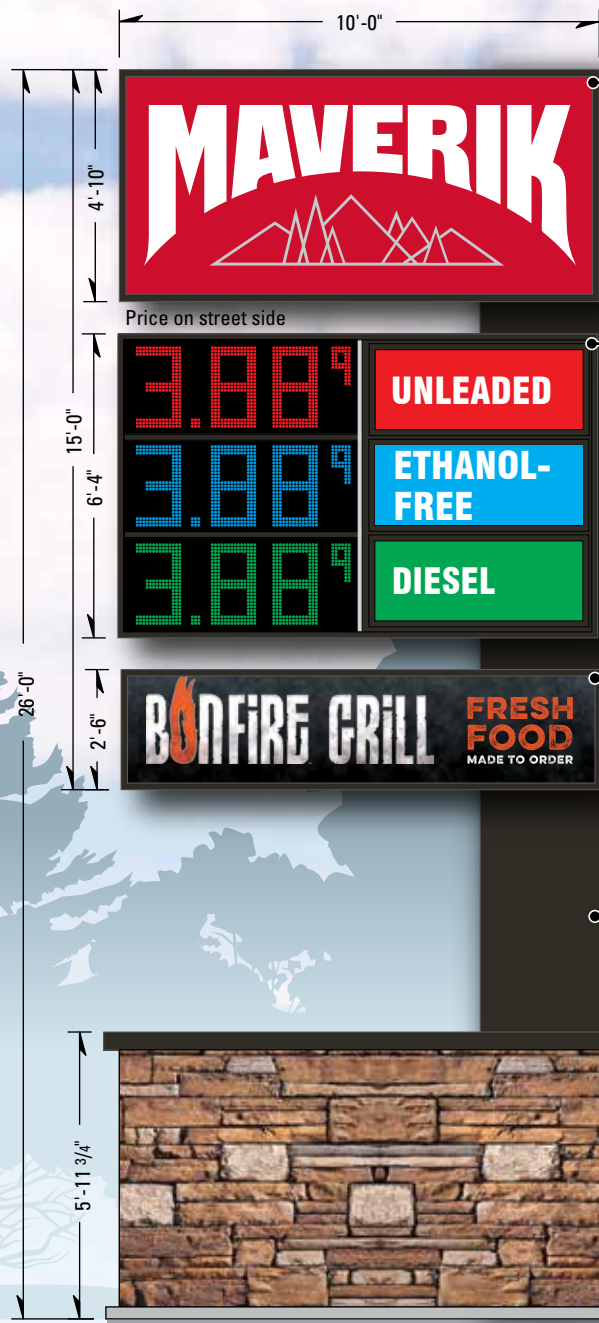
DSGN_17594_Maverik - Albuquerque_ART 0.1_Site Map.ai





1.3 TOP VIEW

All widths to be determined by pipe size & Led price cab.



1 D/F ILLUMINATED PYLON SIGN
SCALE: 1/4" = 1'-0"

Internally illuminated extruded aluminum cabinet w/ painted finish [see color key]. Retainer size as req. White polycarbonate face w/ 1st surface vinyl [see color key]. White L.E.D illumination.

L.E.D. price changer aluminum cabinets w/ painted finish [see color key]. Retainer size as req. White polycarbonate faces for products w/ 1st surface vinyl [see color key]. White L.E.D illumination.

Internally illuminated extruded aluminum cabinets w/ painted finish [see color key]. 1 5/8" retainer. White polycarbonate face w/ 1st surface, digitally printed graphics [color corrected]. White L.E.D illumination.

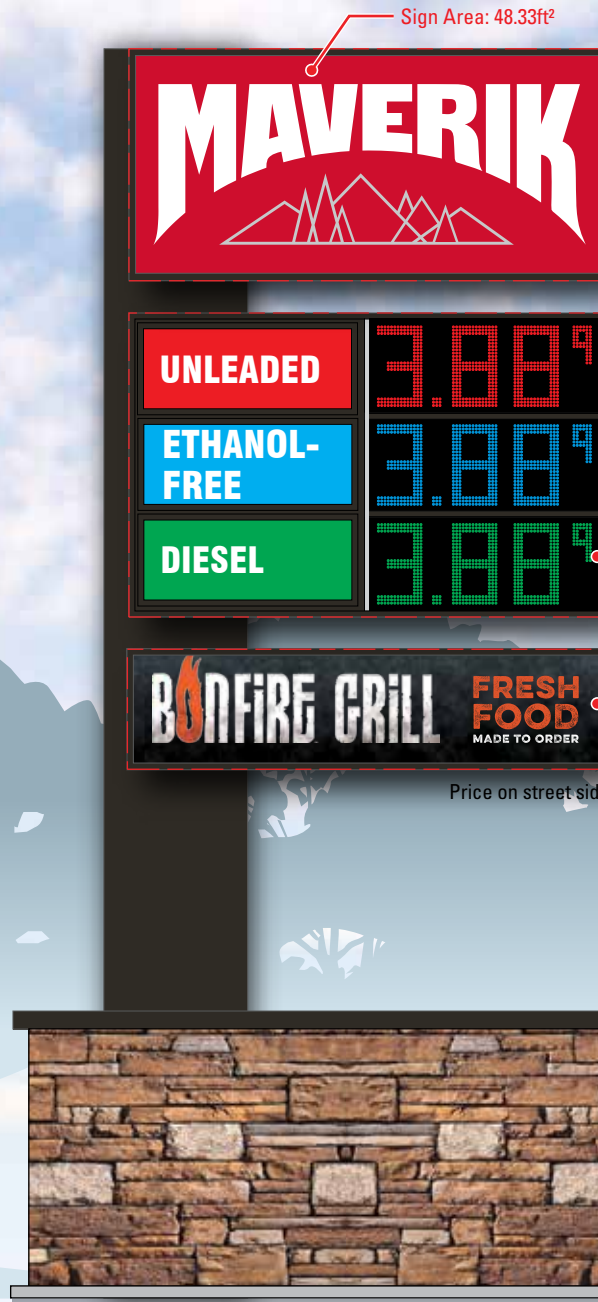
Painted aluminum pole covers to be painted to resemble wood. Pipe and pole cover widths to be determined by engineer.

Aluminum cap w/ no structure.

CMU block structure w/ stone vanveer. Stone vanveer provided by others.

3" mowpad provided by YESCO.

1.1 SIDE VIEW



1.2 REVERSE VIEW

SCOPE OF WORK:
MANUFACTURE & INSTALL *ONE (1)* POLE SIGNS WITH FLAG MOUNTED CABINETS.

ELECTRICAL
POWER TO DISPLAY LOCATION: BY OTHERS OR EXISTING
HOOKUP AT DISPLAY: BY YESCO

COLOR KEY - MAVERIK STANDARDS - NEW LOGO

1	PAINT	SHERWIN WILLIAMS# 7020 "BLACK FOX"
	VINYL	3M 3630-69 DURANODIC
2	PMS	PANTONE® 186c
	VINYL	3M 3630-33 "RED"
3	PAINT	MATCH PMS 348c/SW#LV5-5074896-389504-A
	VINYL	3M 3630-26 "GREEN"
4	PAINT	DUPONT #K 9441
	VINYL	3M 3630-26 "LT EUROPEAN BLUE"
5	PAINT	SHERWIN WILLIAMS TO MATCH "PMS 427c"
	VINYL	AVERY UC 900-811-T "PANTONE 427c"
6	PMS	PANTONE® 2945c
	VINYL	3M 3630-167 "BRIGHT BLUE"

NOTE: UNLESS OTHERWISE NOTED, THE COLORS DEPICTED ON THIS RENDERING MAY NOT MATCH ACTUAL COLORS ON FINISHED DISPLAY. PLEASE REFER TO COLOR-CALLOUTS AND THEIR APPROPRIATE VENDOR SPECIFIED SAMPLES FOR APPROVED COLOR SPECIFICATIONS

YESCO
DESIGN

1605 South Gramercy Rd.
Salt Lake City, UT 84104
801.487.8481

www.yesco.com

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Revisions

No.	Date / Description
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R1	05.06.2018
R2	
R3	
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R5	
R6	
R7	
R8	
R9	
R10	
R11	
R12	
R13	
R14	
R15	

Approvals

YESCO A/E Signature / Date

Client Signature / Date

Landlord Signature / Date

Maverik

Juan Tabo & Copper
Albuquerque, NM

Acct. Exec: Matt Wren

Designer: Justin Raymond

Date: 09.06.2018

Pylon Sign

17594 **R1**

JO #

scale: as noted

ART **1.0**



2.1 SIDE VIEW



2 D/F ILLUMINATED MONUMENT SIGN

SCALE: 1/2" = 1'-0"

Sign Area: 24.5ft²

Internally illuminated aluminum cabinet w/ painted finish [see color key]. Retainer size as req. Clear formed face w/ 2st surface decoration [see color key] (only copy is raised). White L.E.D illumination.

Sign Area: 40.25ft²

L.E.D. price changer aluminum cabinet w/ painted finish [see color key] Retainer size as req. White polycarbonate faces for products w/ 1st surface vinyl [see color key]. White L.E.D illumination.

Sign Area: 9.92ft²

Internally illuminated aluminum cabinet(s) w/ painted finish [see color key]. 1 5/8" retainer. White polycarbonate face w/ 1st surface digitally printed graphics [color corrected]. White L.E.D illumination.

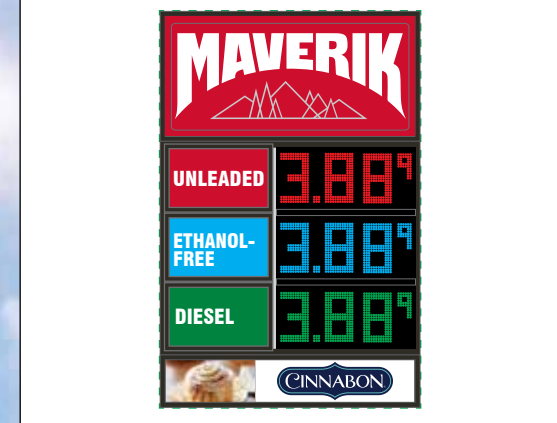
Painted aluminum cap.

CMU block structure w/ stone vanveer. Stone vanveer provided by others.

Concrete mow-pad.

SCOPE OF WORK:
MANUFACTURE & INSTALL *ONE (1)* MONUMENT SIGN.

AREA: 74.65 ft²



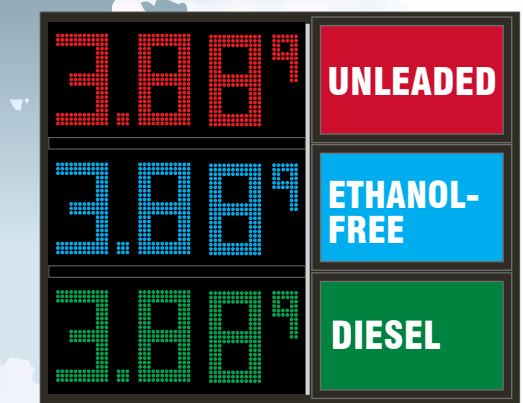
ELECTRICAL
POWER TO DISPLAY LOCATION: BY OTHERS OR EXISTING
HOOKUP AT DISPLAY: BY YESCO

COLOR KEY - MAVERIK STANDARDS - NEW LOGO

1	PAINT	SHERWIN WILLIAMS# 7020 "BLACK FOX"
	VINYL	3M 3630-69 DURANODIC
2	PMS	PANTONE® 186c
	VINYL	3M 3630-33 "RED"
3	PAINT	MATCH PMS 348c/SW#LV5-5074896-389504-A
	VINYL	3M 3630-26 "GREEN"
4	PAINT	DUPONT #K 9441
	VINYL	3M 3630-26 "LT EUROPEAN BLUE"
5	PAINT	SHERWIN WILLIAMS TO MATCH "PMS 427c"
	VINYL	AVERY UC 900-811-T "PANTONE 427c"
6	PMS	PANTONE® 2945c
	VINYL	3M 3630-167 "BRIGHT BLUE"

NOTE: UNLESS OTHERWISE NOTED, THE COLORS DEPICTED ON THIS RENDERING MAY NOT MATCH ACTUAL COLORS ON FINISHED DISPLAY. PLEASE REFER TO COLOR-CALLOUTS AND THEIR APPROPRIATE VENDOR SPECIFIED SAMPLES FOR APPROVED COLOR SPECIFICATIONS

REVERSE VIEW



YESCO
DESIGN

1605 South Gramercy Rd.
Salt Lake City, UT 84104
801.487.8481
www.yesco.com

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This sign will be installed in accordance with the requirements of Article 600 of the National Electrical Code and / or other applicable local codes. This includes proper grounding and bonding of the sign.

Revisions

No.	Date / Description
Initial (RD)	09.05.2018
R1	09.06.2018
R2	
R3	
R4	
R5	
R6	
R7	
R8	
R9	
R10	
R11	
R12	
R13	
R14	
R15	

Approvals

YESCO A/E Signature / Date

Client Signature / Date

Landlord Signature / Date

Maverik

Juan Tabo & Copper
Albuquerque, NM
Acct. Exec: Matt Wren
Designer: Justin Raymond

Date: 09.06.2018

Monument Sign

17594 **R1**

JO #

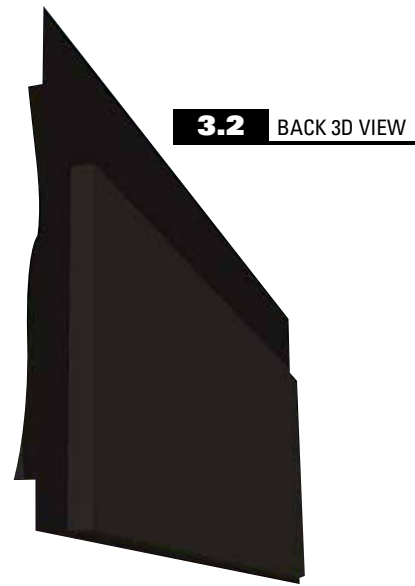
scale: as noted

ART **2.0**

DSGN_17594_Maverik - Albuquerque_ART 2.0_Monument Sign.ai



3.3 3D VIEW



3.2 BACK 3D VIEW

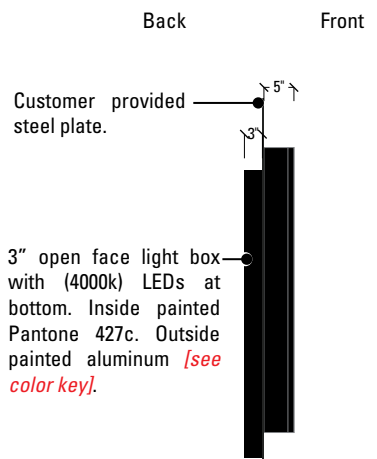
SCOPE OF WORK:
 MANUFACTURE & INSTALL **ONE (1)** SET OF ILLUMINATED CHANNEL LETTER ON CUSTOMER PROVIDED STEEL PANEL W/ WIREWAY ON BACK.
 MANUFACTURE & INSTALL **ONE (1)** LIGHTBOX FOR BEHIND CUTOUT MOUNTAINS.
 PERMITTING SIGN AREA: 84ft²
 FINAL ELECTRICAL CONNECTION BY: **YESCO**

COLOR KEY - MAVERIK STANDARDS - NEW LOGO

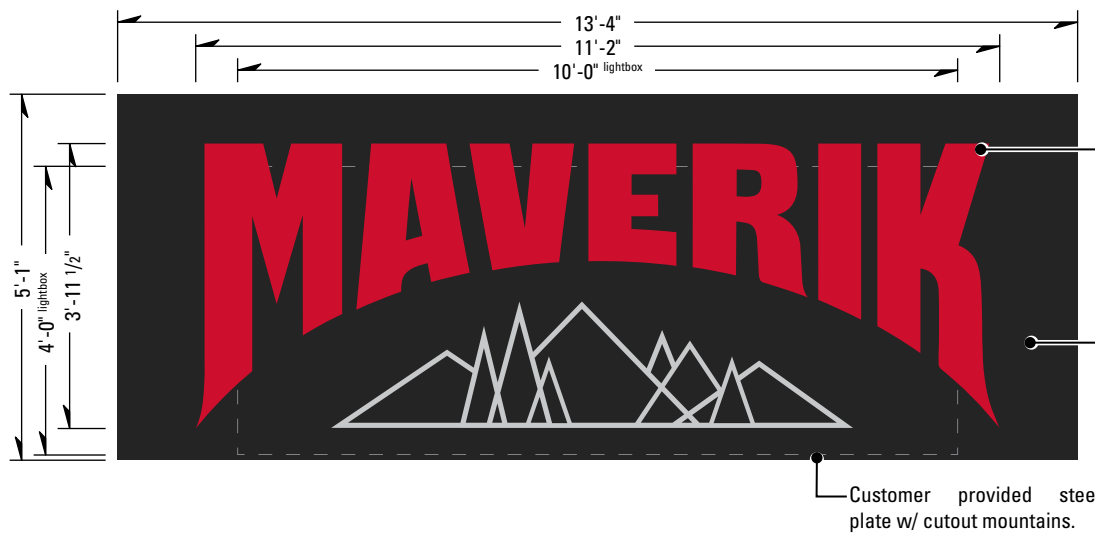
1	PAINT	SHERWIN WILLIAMS# 7069 "BLACK FOX"
	VINYL	3M 3630-22 "BLACK"
2	PAINT	PMS #186
	VINYL	3M 3630-33 "RED"
3	PAINT	MATCH PMS 348c/SW#LV5-5074896-389504-A
	VINYL	3M 3630-26 "GREEN"
4	PAINT	DUPONT #K 9441
	VINYL	3M 3630-26 "LT EUROPEAN BLUE"
5	VINYL	AVERY UC 900-811-T "PANTONE 427c"

NOTE: UNLESS OTHERWISE NOTED, THE COLORS DEPICTED ON THIS RENDERING MAY NOT MATCH ACTUAL COLORS ON FINISHED DISPLAY. PLEASE REFER TO COLOR-CALLOUTS AND THEIR APPROPRIATE VENDOR SPECIFIED SAMPLES FOR APPROVED COLOR SPECIFICATIONS

NOTE:
 FIELD SURVEY REQUIRED PRIOR TO FABRICATION.
 ENGINEERING TO DETERMINE ATTACHMENT POINTS.



Customer provided steel plate.
 3" open face light box with (4000k) LEDs at bottom. Inside painted Pantone 427c. Outside painted aluminum [see color key].



3.1 SIDE VIEW

3 PAN CHANNEL LETTERS ON ALUMINUM CABINET
 SCALE: 3/8" = 1'-0"

5" deep aluminum channel letter w/ Red Arcylic faces. 1" painted trim cap [see color key]. Painted returns [see color key]. White L.E.D illumination. Mounted to steel panel. Self contained power supplies.
 3" open face light box with (4000k) LEDs at bottom. Inside painted Pantone 427c. Outside painted aluminum [see color key]. On backside of steel panel.
 Customer provided steel plate w/ cutout mountains.



3.4 DETAIL ELEVATION
 SCALE: 3/32" = 1'-0"

YESCO
 DESIGN
 1605 South Gramercy Rd.
 Salt Lake City, UT 84104
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Revisions

No.	Date / Description
Initial (RD)	05.05.2018
R1	05.06.2018
R2	
R3	
R4	
R5	
R6	
R7	
R8	
R9	
R10	
R11	
R12	
R13	
R14	
R15	

Approvals

YESCO A/E Signature / Date

Client Signature / Date

Landlord Signature / Date

Maverik

Juan Tabo & Copper
 Albuquerque, NM
 Acct. Exec: Matt Wren
 Designer: Justin Raymond

Date: 09.06.2018

Front Sign

17594 R1

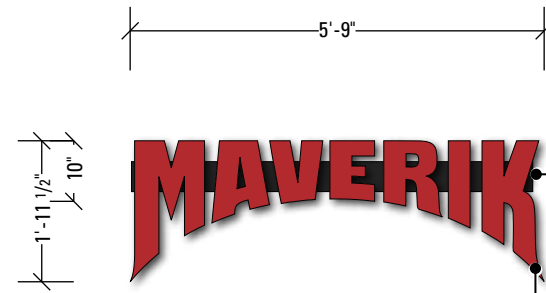
JO #

scale: as noted
ART 3.0

DSGN_17594_Maverik - Albuquerque_ART 3.0_Front Sign.ai



4.1 SIDE VIEW



4 PAN CHANNEL LETTERS 24" LETTER SET
SCALE: 3/8" = 1'-0"

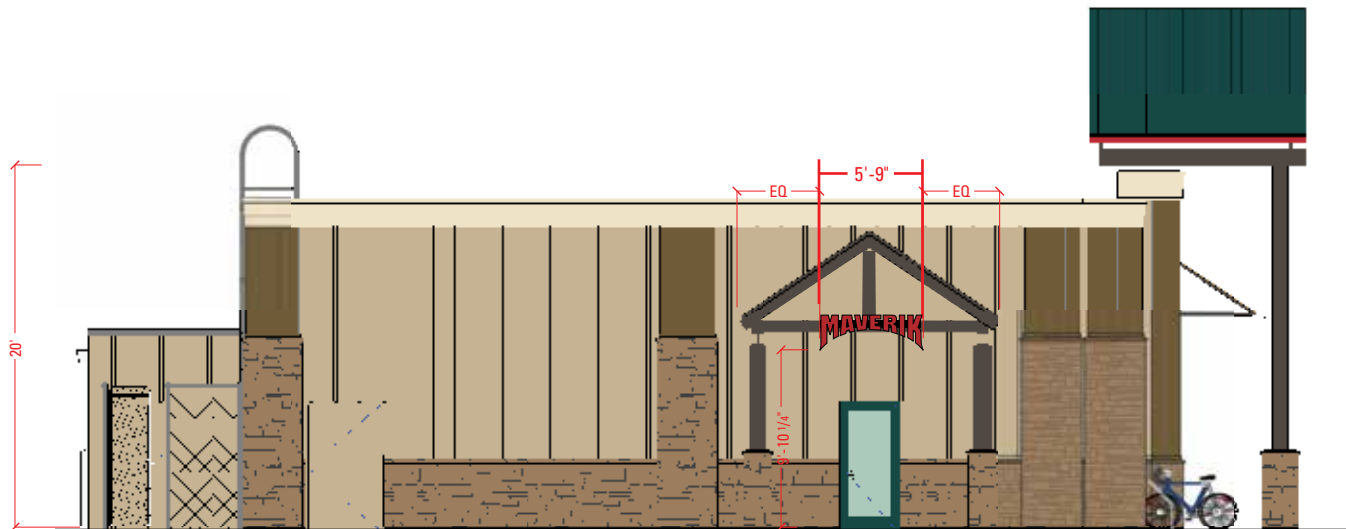
3" x 5" extruded aluminum raceway w/ painted finish [see color key].

5" deep aluminum channel letter w/ 3RK32 or 2282 Red Arcylic faces. 1" Black trim cap. Painted returns [see color key]. White L.E.D illumination. Mounted to raceway

SCOPE OF WORK:	
MANUFACTURE & INSTALL ONE (1) SET L.E.D. ILLUMINATED PAN CHANNEL LETTERS. MOUNT TO BUILDING ON RACEWAY.	
PERMITTING SIGN AREA: 11.5ft ²	ELECTRICAL: 2 Amps 120 V
FINAL ELECTRICAL CONNECTION BY:	YESCO

COLOR KEY - MAVERIK STANDARDS - NEW LOGO	
1 PAINT	SHERWIN WILLIAMS# 7020 "BLACK FOX"
VINYL	3M 3630-22 "BLACK"
2 PAINT	PMS #186
VINYL	3M 3630-33 "RED"
3 PAINT	SHERWIN WILLIAMS TO MATCH "PMS 427c"
VINYL	AVERY UC 900-811-T "PANTONE 427c"
NOTE: UNLESS OTHERWISE NOTED, THE COLORS DEPICTED ON THIS RENDERING MAY NOT MATCH ACTUAL COLORS ON FINISHED DISPLAY. PLEASE REFER TO COLOR-CALLOUTS AND THEIR APPROPRIATE VENDOR SPECIFIED SAMPLES FOR APPROVED COLOR SPECIFICATIONS	

NOTE:
FIELD SURVEY REQUIRED PRIOR TO FABRICATION.



4.2 DETAIL ELEVATION
SCALE: 3/32" = 1'-0"

YESCO
DESIGN
1605 South Gramercy Rd.
Salt Lake City, UT 84104
801.487.8481
www.yesco.com

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R12	
R13	
R14	
R15	

Approvals

YESCO A/E Signature / Date

Client Signature / Date

Landlord Signature / Date

Maverik

Juan Tabo & Copper
Albuquerque, NM
Acct. Exec: Matt Wren
Designer: Justin Raymond

Date: 09.06.2018

Side Sign

17594 R1
JO #

scale: as noted
ART 4.0

DSGN_17594_Maverik - Albuquerque_ART 4.0_Side Sign.ai

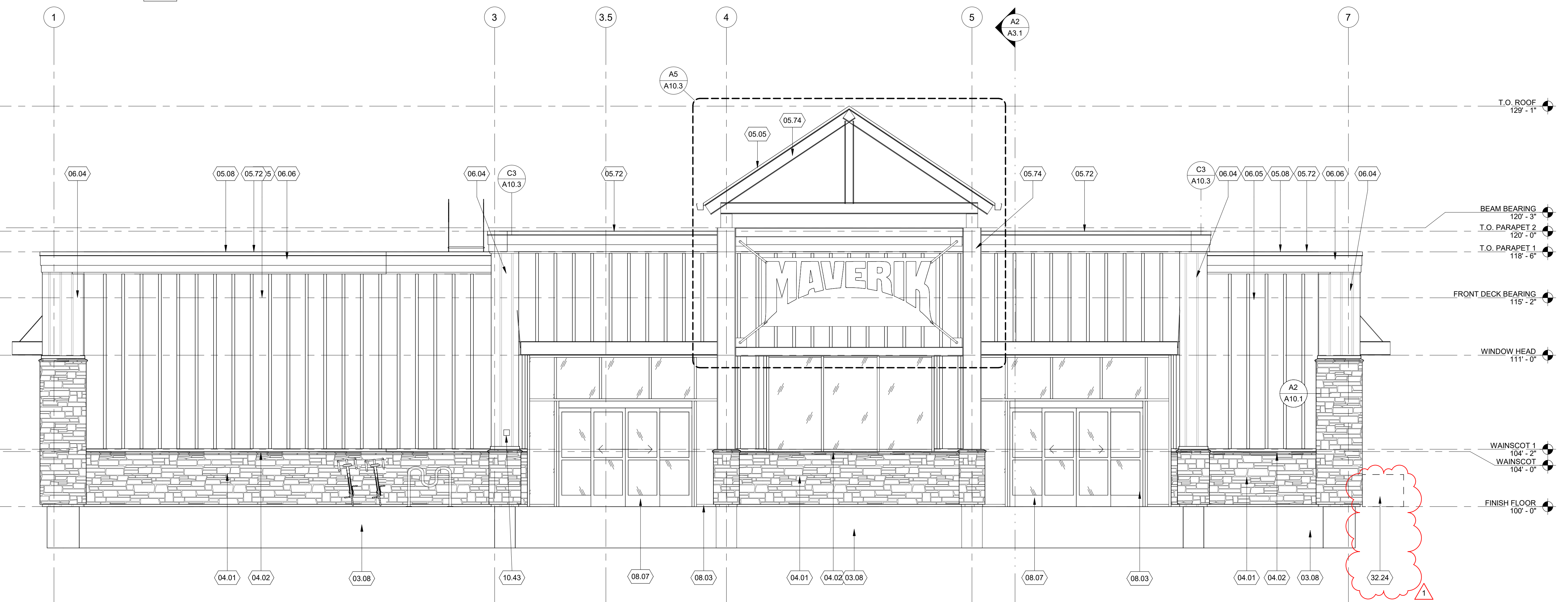
3/5/2019 10:26:50 AM



REFERENCE NOTES

- 03.08 CONCRETE FOOTINGS AND FOUNDATIONS. SEE STRUCTURAL DRAWINGS
- 04.01 STONE VENEER (BR-1 SEE SCHEDULE) INSTALL PER MANUFACTURERS GUIDELINES
- 04.02 STONE VENEER SILL CAP (BR-1)
- 05.05 MBCI PRE-FINISHED ROOF, 1-3/4" STANDING SEAM, COLOR C-1
- 05.08 24 GAUGE PRE-FINISHED COPING SECURED TO 24 GAUGE PRE-FINISHED CONTINUOUS CONCEALED CLEAT ON OUTSIDE OF PARAPET. FASTEN CLEAT ON OUTSIDE OF PARAPET W/ GALVANIZED ROOFING NAIL AT 6" O.C. FASTEN INSIDE LEG OF COPING TO PARAPET W/ NEOPRENE GASKETED FASTENERS. ALL SEAMS TO BE STANDING SEAM, NO LAPS ALLOWED.
- 05.72 PRE-FINISHED METAL COPING, COLOR C-4
- 05.74 STEEL COLUMNS/BEAMS, COLOR P-9. SEE STRUCTURAL DRAWINGS
- 06.04 FIBER CEMENT BOARD & BATTEN SIDING, BB-2, SEE SCHEDULE
- 06.05 FIBER CEMENT BOARD & BATTEN SIDING, BB-1, SEE SCHEDULE
- 06.06 FIBER CEMENT TRIM BB-3, SEE SCHEDULE
- 08.03 ALUMINUM STOREFRONT SYSTEM (AST-1), SEE SCHEDULES
- 08.07 DOOR, SEE SCHEDULE
- 10.43 KNOCK BOX, VERIFY LOCATION W/ FIRE DEPT.
- 32.24 PLANTERS, SEE CIVIL DRAWINGS.

C1 BUILDING PERSPECTIVE
SCALE:



A1 EAST - FRONT ELEVATION
SCALE: 1/4" = 1'-0"

MAVERIK 4300
JUAN TABO & COPPER
ALBUQUERQUE, NW 87123
PERMIT SET 01/16/19

DATE: 1/3/19
REVISION: CITY REVIEW

PROJECT NUMBER: 18128

EXTERIOR ELEVATIONS

