

FIRE DATA:

CONSTRUCTION TYPE:	SEE PLAN
BUILDING AREAS:	SEE PLAN
FIRE FLOW REQUIREMENT:	2375 GPM
	IFC TABLE B105.1(2)
BUILDING 1	1500 X .25 = 375 GPM
BUILDING 2	2750 X .25 = 687.5 GPM
BUILDING 3	3500 X .25 = 875 GPM
BUILDING 4	1750 X .25 = 437.5 GPM
FIRE HYDRANTS REQUIRED:	3 FOR FIRE FLOW-3 FOR DISTANCE
	IFC TABLE C102.1
AVERAGE SPACING BTWN HYDRANTS:	450 FT
	IFC TABLE C102.1
FIRE HYDRANTS PROVIDED:	3 NEW
ALLOWABLE DISTANCE FROM HYDRANT TO FARTHEST POINT ON BLDG:	400 FT
	IFC 507.5.1

FIRE NOTES:

- ALL APPROVED FIRE APPARATUS ACCESS ROADS SHALL HAVE AN ASPHALT, CONCRETE OR OTHER APPROVED DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 LBS.
- FIRE APPARATUS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE

SITE DATA

SITE LOCATION	SE CORNER SAN PEDRO AND ALAMEDA NE ALBUQUERQUE, NM
LEGAL DESCRIPTION:	REPLANTED LOTS 1-A, 2-A, 4-A, 6-A NORTH ALBUQUERQUE ACRES
UPC NUMBER:	TBD PENDING REPLAT
ZONING:	NR-BP
ZONE ATLAS PAGE:	C18
PREVIOUS DRB APPROVAL:	NONE
TOTAL LOT AREA:	228,371.658 SF (5.24 AC)
LOT 1-A	43,564.08 SF (1.0001 AC)
LOT 2-A	67,294.9 SF (1,544.9 AC)
LOT 4-A	83,122.59 SF (1,908.2 AC)
LOT 6-A	34,390.0883 SF (0.7895 AC)
GROSS BUILDING AREA:	44,524 SF
BUILDING 1: RESTAURANT	3000 SF
BUILDING 2: CONTAINER DEVELOPMENT	10,820 SF
BUILDING 3: CLIMBING GYM	26,204 SF
BUILDING 4: PAD SITE	4500 SF
BUILDING FOOTPRINT AREA:	36,900 SF
BUILDING 1: RESTAURANT	3000 SF
BUILDING 2: CONTAINER DEVELOPMENT	10,820 SF
BUILDING 3: CLIMBING GYM	18,580 SF
BUILDING 4: PAD SITE	4500 SF
NET LOT AREA (LOT AREA-BLD. FOOTPRINT):	191,471 SF
FLOOR AREA RATIO (GROSS BLDG AREA/LOT AREA):	19.5 %

PARKING CALCULATIONS:

BUILDING 1: RESTAURANT: 8 PER 1000 SF	SPACES PROVIDED: 70
3000 SF = 24 SPACES REQUIRED	
BUILDING 2: CONTAINER DEVELOPMENT (RESTAURANTS & TAPROOM)	SPACES PROVIDED: 121
RESTAURANT & TAPROOM: 8 PER 1000 SF REQ'D.	
10,820 SF = 87 SPACES REQUIRED	
BUILDING 3: CLIMBING GYM (HEALTH CLUB) 2.5 SP. PER 1000 SF. REQUIRED	SPACES PROVIDED: 134
26,204 SF = 66 SPACES REQUIRED	
BUILDING 4: PAD SITE (RESTAURANT) 8 PER 1000	SPACES PROVIDED: 61
4500 SF = 36 SPACES REQUIRED	
ACCESSIBLE PARKING REQUIRED: 8 INCL. 2 VAN	TOTAL SPACES PROVIDED: 8
MOTORCYCLE PARKING REQUIRED: 6 SPACES	TOTAL SPACES PROVIDED: 8
BICYCLE PARKING REQUIRED: 10% OF PARKING REQ.=22	TOTAL SPACES PROVIDED: 30

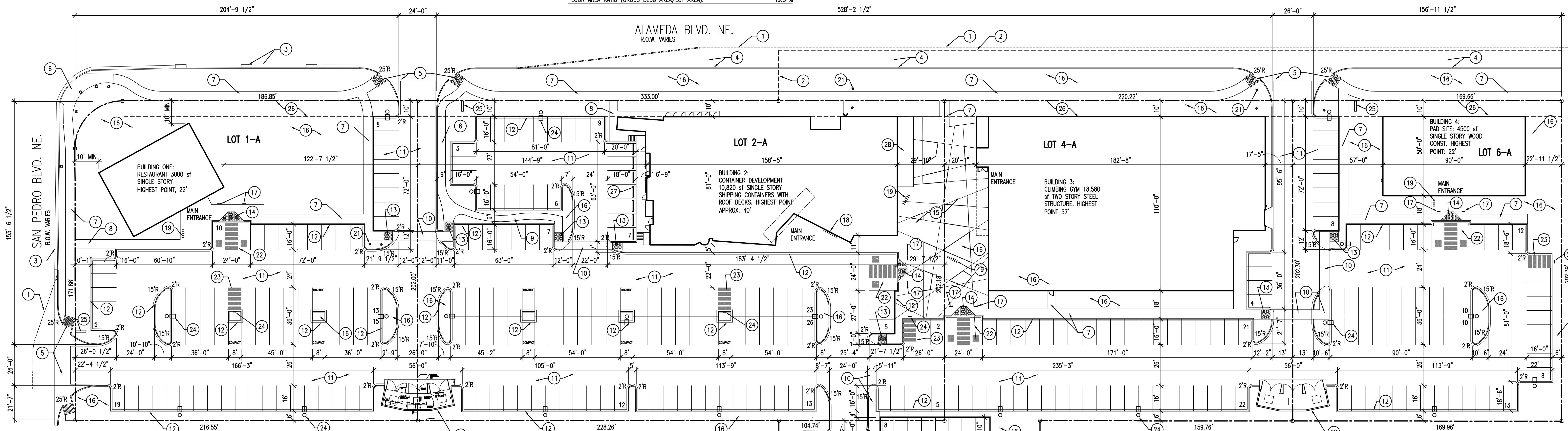
NOTE: REFER TO SKETCH PLAT PROJECT NUMBER 1000682.

VICINITY MAP



joe slagle architect
413 2nd st sw
albuq nm 87102
505 244 0870

A MIXED USE DEVELOPMENT
at alameda and
san pedro ne.
abq, nm



KEYED NOTES:

- EXISTING ASPHALT PAVING AND TEMPORARY ASPHALT CURB. FOR ROAD WIDENING AND IMPROVEMENTS, SEE CIVIL DRAWINGS
- PROPERTY LINE TO BE ELIMINATED BY PLATTING ACTION TO INCREASE R.O.W.
- EXISTING STREET IMPROVEMENTS TO REMAIN. ASPHALT PAVING, STORM SEWER INLETS, CURB AND GUTTER
- NEW STREET IMPROVEMENTS INCLUDING PAVING SECTION AND CURB AND GUTTER TO BE INSTALLED AS PART OF THIS PROJECT. SEE CIVIL DRAWINGS.
- NEW CONCRETE DRIVE, CURB RETURNS, AND HCP RAMPS PER CITY OF ABQ. STD AS SHOWN IN DPM
- EXISTING HCP. RAMP TO REMAIN
- NEW 6' WIDE CONCRETE WALK W/ CONTROL JOINTS @ 6'-0"
- NEW 5' WIDE CONCRETE WALK W/ CONTROL JOINTS @ 6'-0"
- NEW 4' WIDE CONCRETE WALK W/ CONTROL JOINTS @ 5'-0"
- CONC. PAVING FLUSH W/ ASPHALT W/ CONTROL JOINTS @ 5'-0". SEE 17
- ASPHALT PAVING IN ACCORDANCE WITH SOILS REPORT
- CONCRETE CURB AND GUTTER: SEE 15
- HANDICAP RAMP: SEE 16
- HANDICAP RAMP: SEE 14
- COLORED CONCRETE PAVING
- LANDSCAPE BED, TYP.
- HCP. PARKING SIGN: SEE
- BIKE RACK ATTACHED TO BLDG
- BIKE RACK: SEE 11
- DUMPSTER ENCLOSURE: SEE 11
- NEW FIRE HYDRANT
- ACCESSIBLE PARKING SPACES AND AISLE: SEE
- MOTORCYCLE PARKING SPACES (2 SPACES)
- POLE MOUNT PARKING LOT LIGHTING: SEE 18
- MONUMENT SIGN: SEE 10
- 10' EASEMENT
- CONCRETE BUMPER STOP
- RECESSED PATIO

LIST OF SHEETS:

SHEET 1	SITE PLAN, SITE DATA
SHEET 2	SITE DETAILS
SHEET 3	CONCEPTUAL GRADING PLAN
SHEET 4	SITE UTILITY PLAN
SHEET 5	LANDSCAPE PLAN
SHEET 5.1	LANDSCAPE MATERIALS
SHEET 6	OVERALL ELEVATIONS
SHEET 7	BUILDING ONE & FOUR ELEVATIONS
SHEET 8	BUILDING TWO (CONTAINER) ELEVATIONS
SHEET 9	BUILDING THREE (CLIMBING GYM) ELEVATIONS
SHEET 10	BUILDING THREE (CLIMBING GYM) ELEVATIONS
SHEET 11	IMAGES

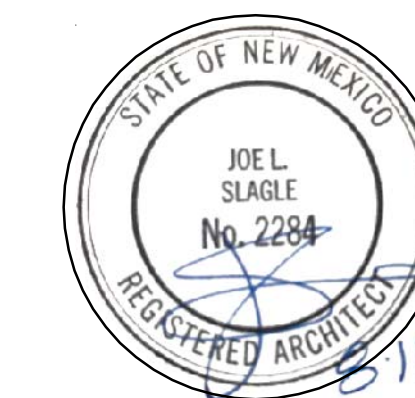
PROJECT NUMBER:

APPLICATION NUMBER:

Is an infrastructure list required? () yes () no. If yes, then a set of approved DRC plans with a work order is required for any construction within public right-of-way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
ABCWUA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPT. (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

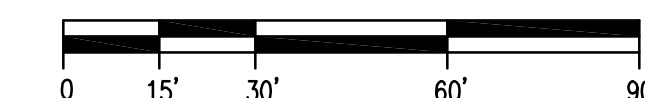
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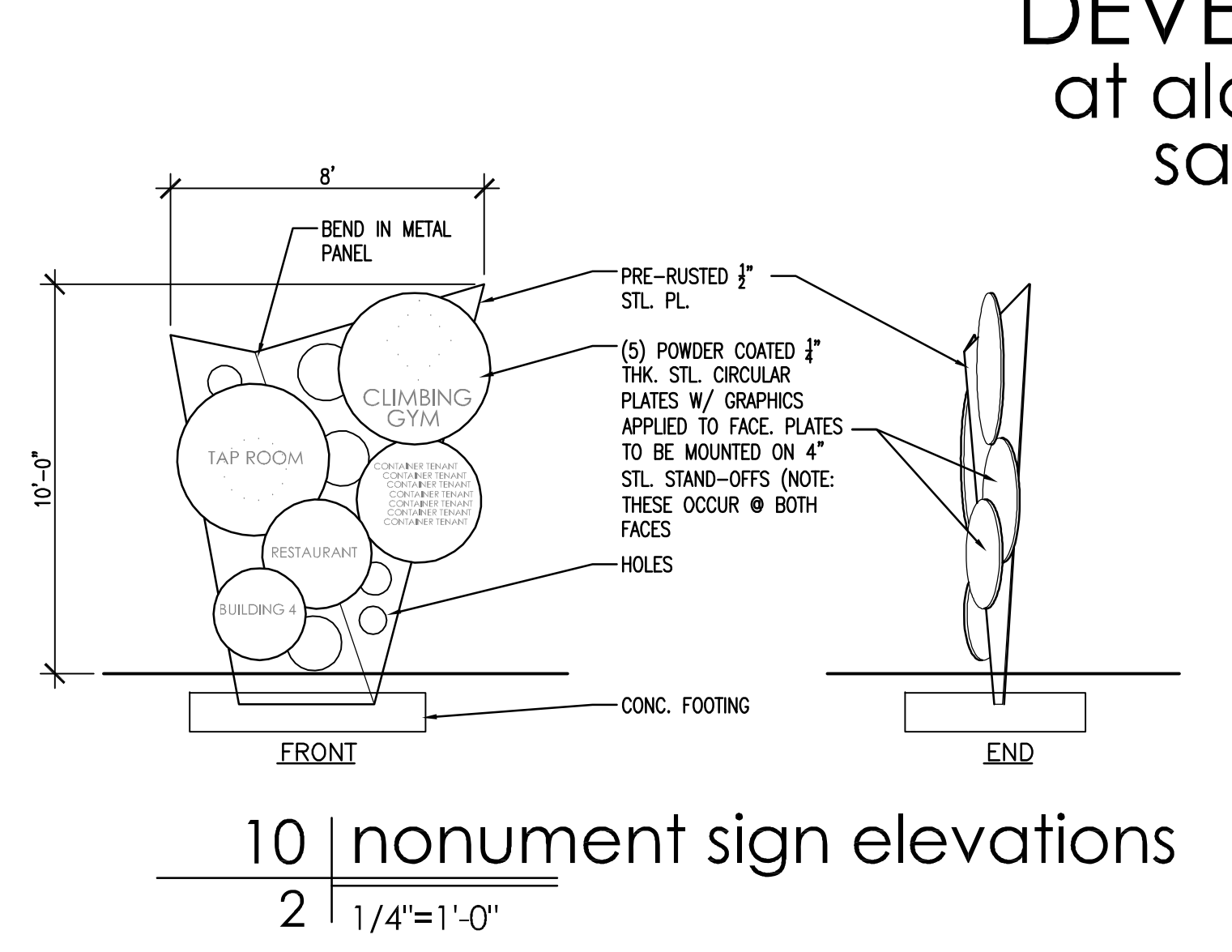
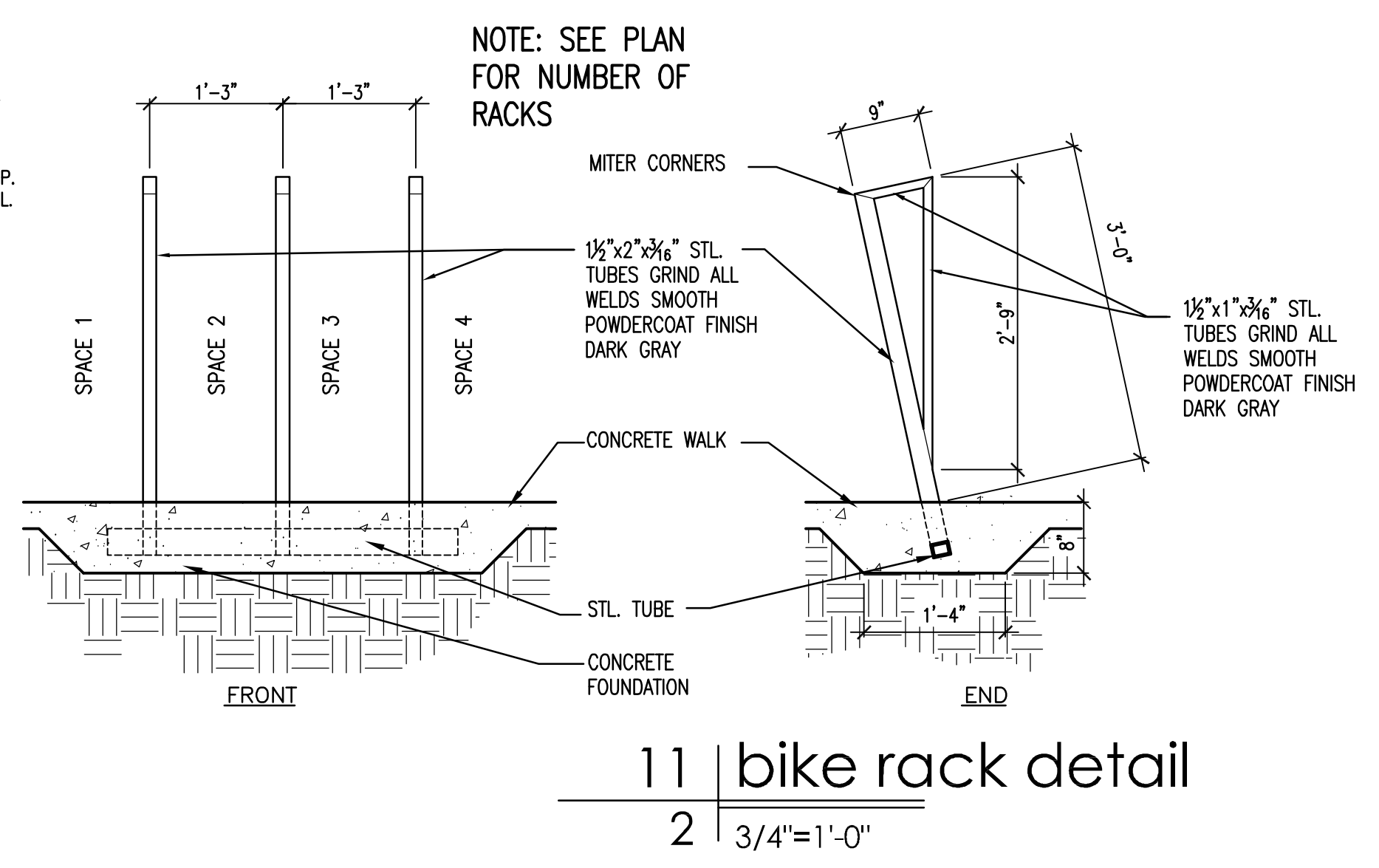
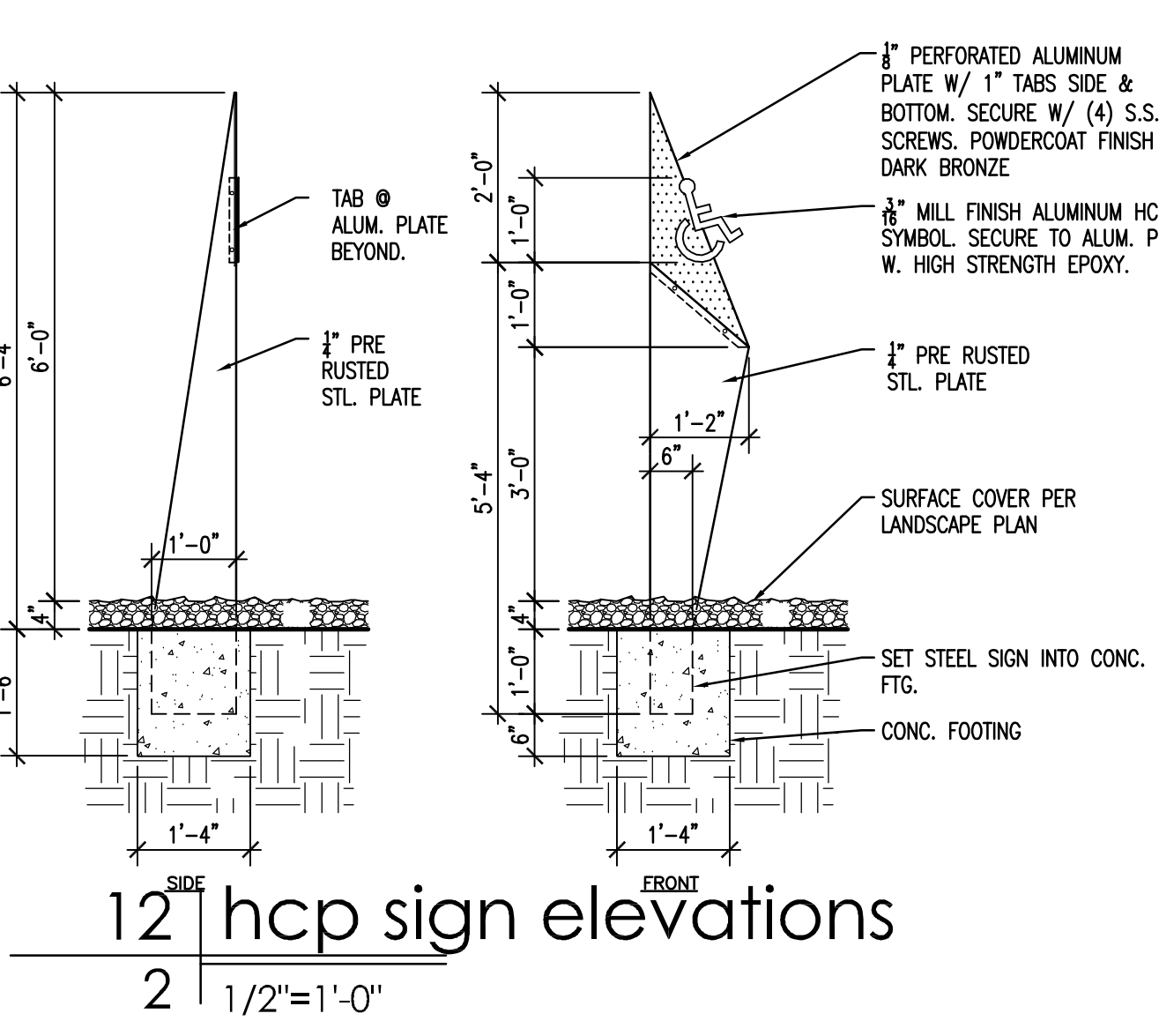
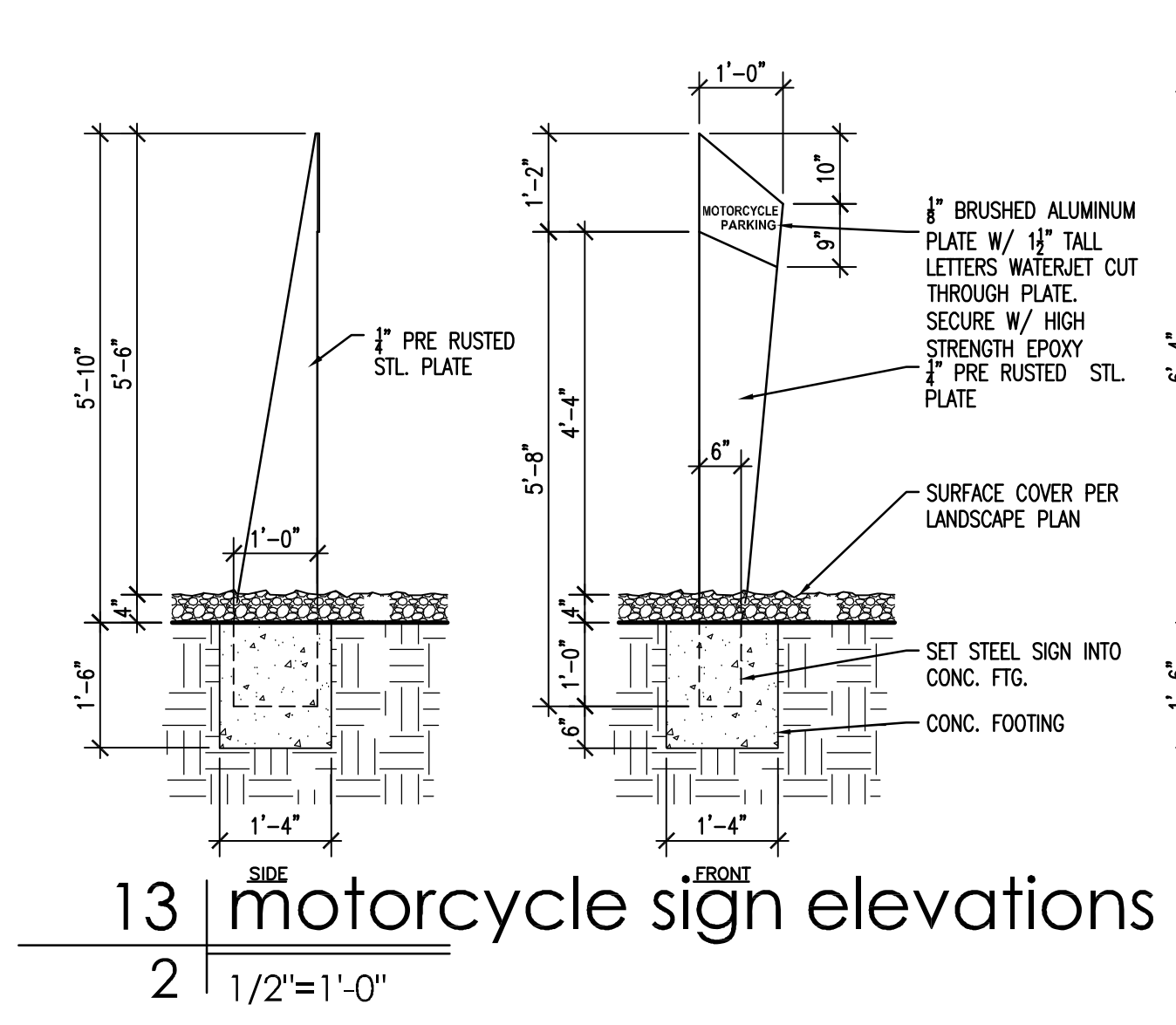
Overall Site Plan

date:
8-17-18
sheet:

1 | site plan
1 | 1"=30'



A MIXED USE
 DEVELOPMENT
 at alameda and
 san pedro ne.
 abq, nm

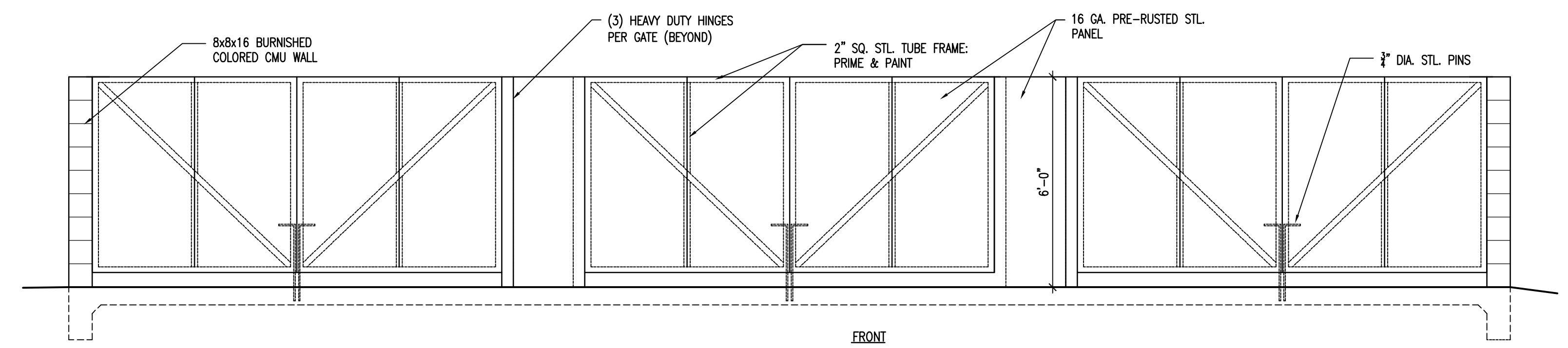
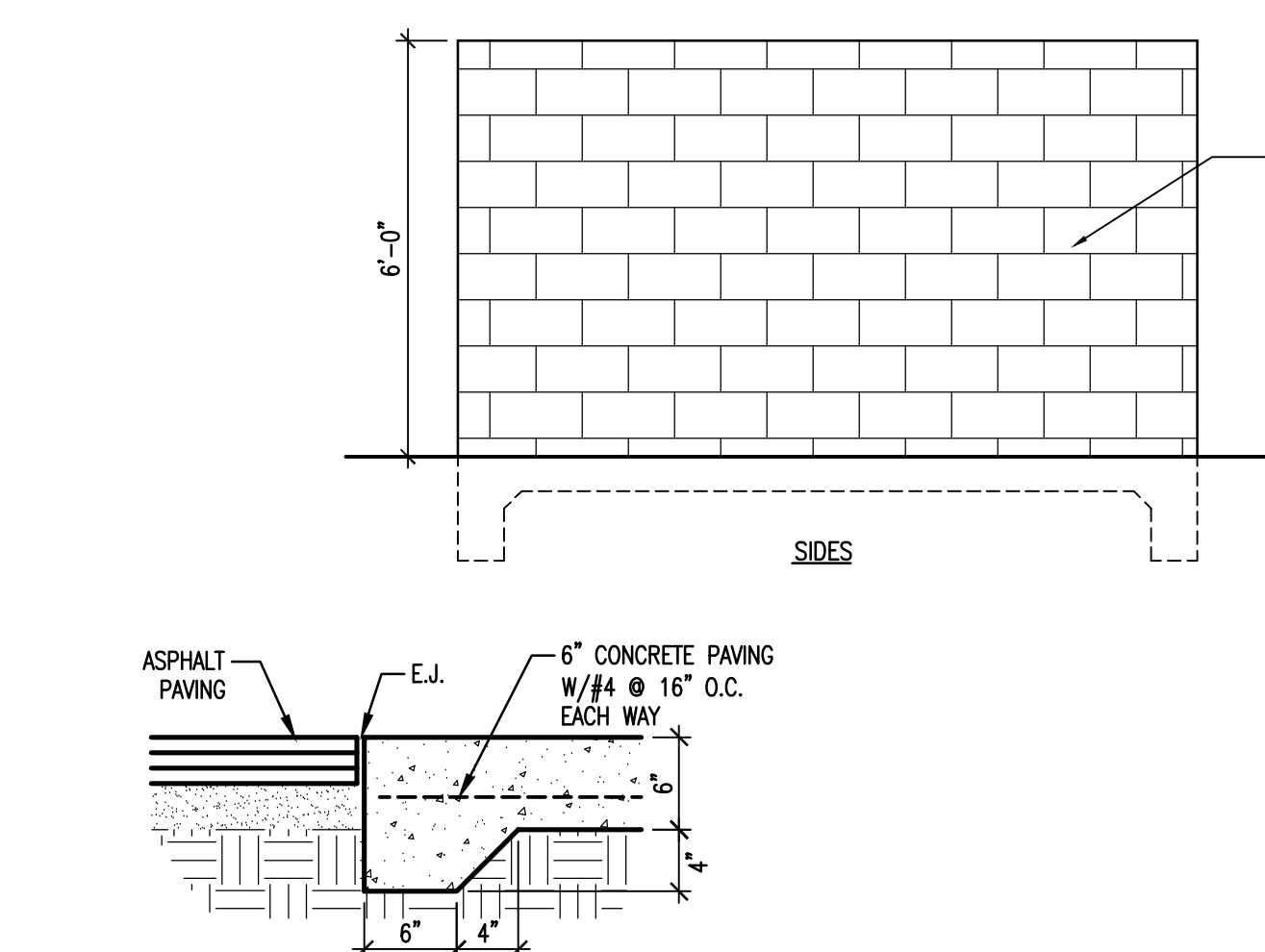
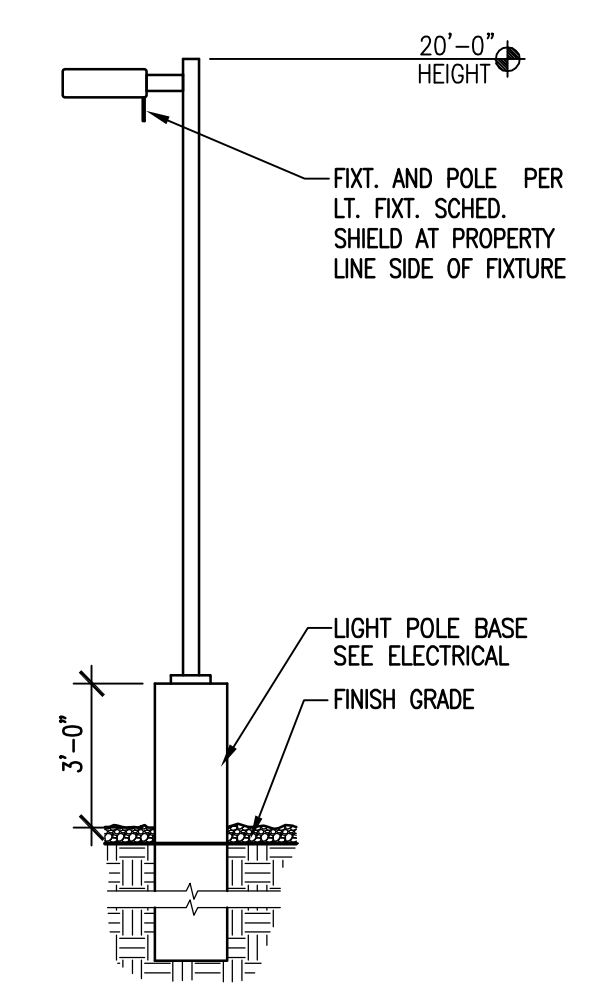


13 motorcycle sign elevations
 2 | 1/2"=1'-0"

12 hcp sign elevations
 2 | 1/2"=1'-0"

11 bike rack detail
 2 | 3/4"=1'-0"

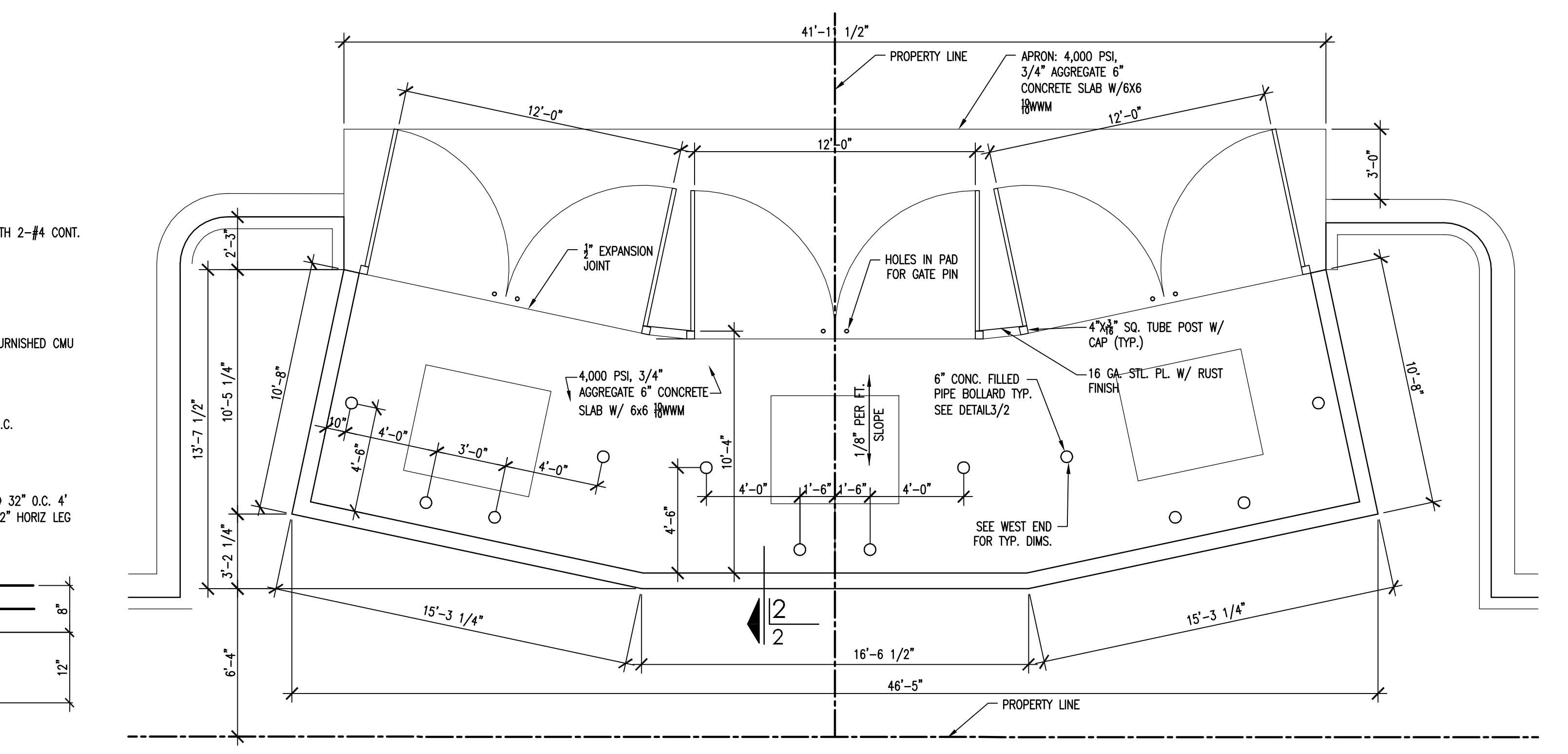
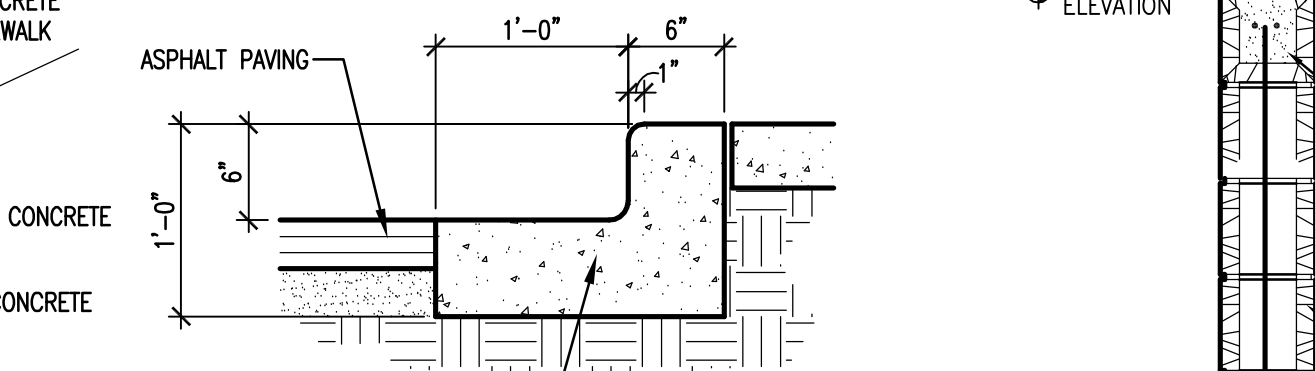
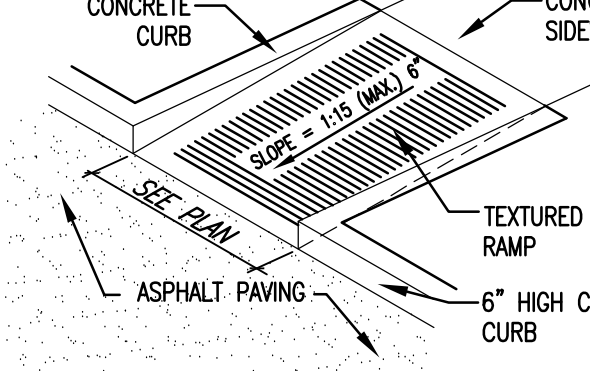
10 nonument sign elevations
 2 | 1/4"=1'-0"



8 light pole detail
 2 | 1/4"=1'-0"

7 paving detail
 2 | 1"=1'-0"

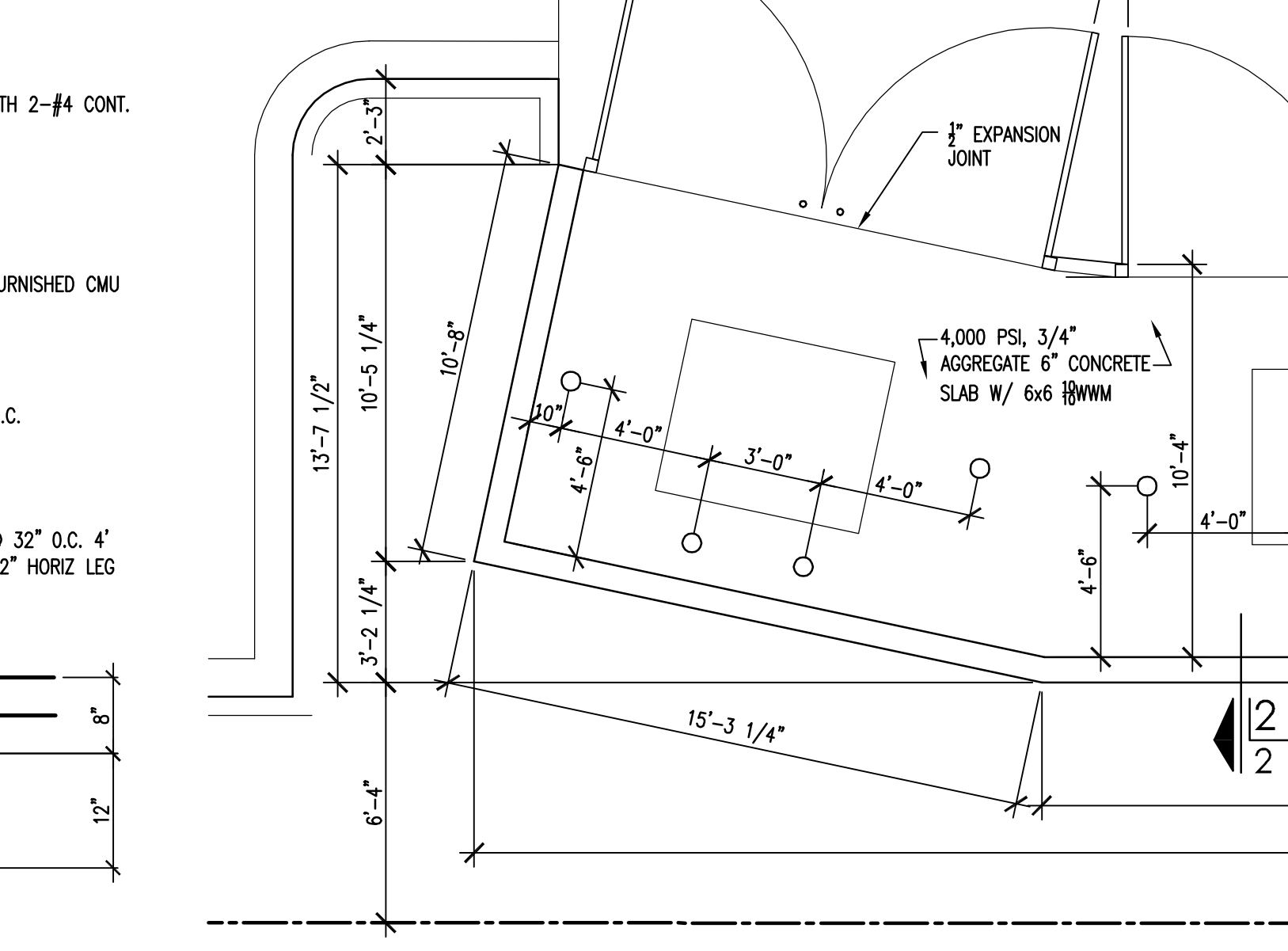
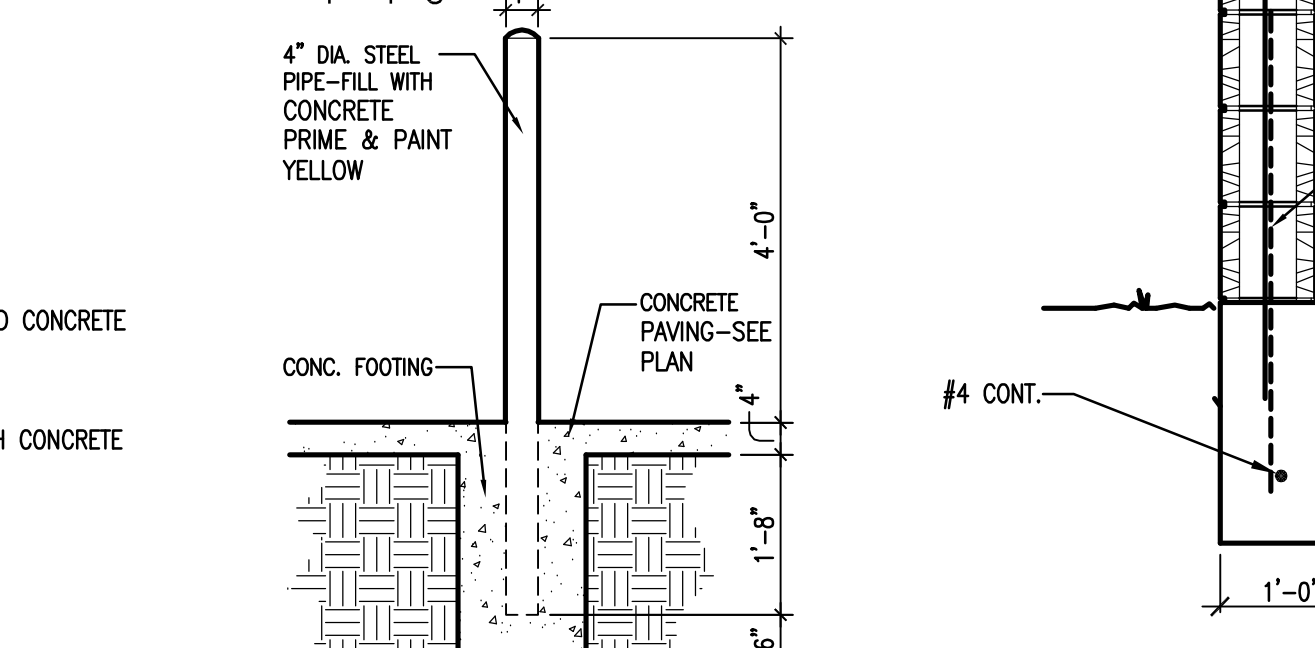
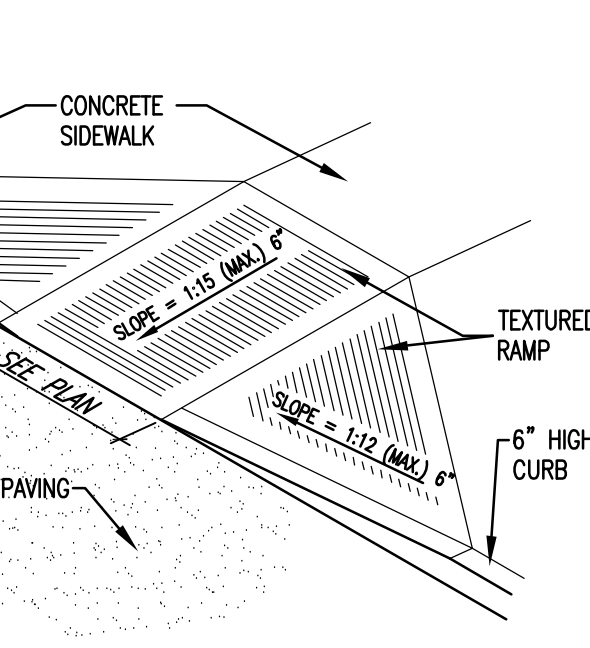
9 dumpster enclosure elevations
 2 | 1/4"=1'-0"



6 hcp ramp detail
 2 nts

5 curb detail
 2 | 1"=1'-0"

1 dumpster enclosure plan
 2 | 1/4"=1'-0"

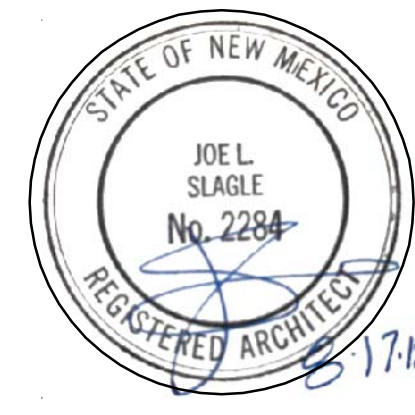


4 hcp ramp detail
 2 nts

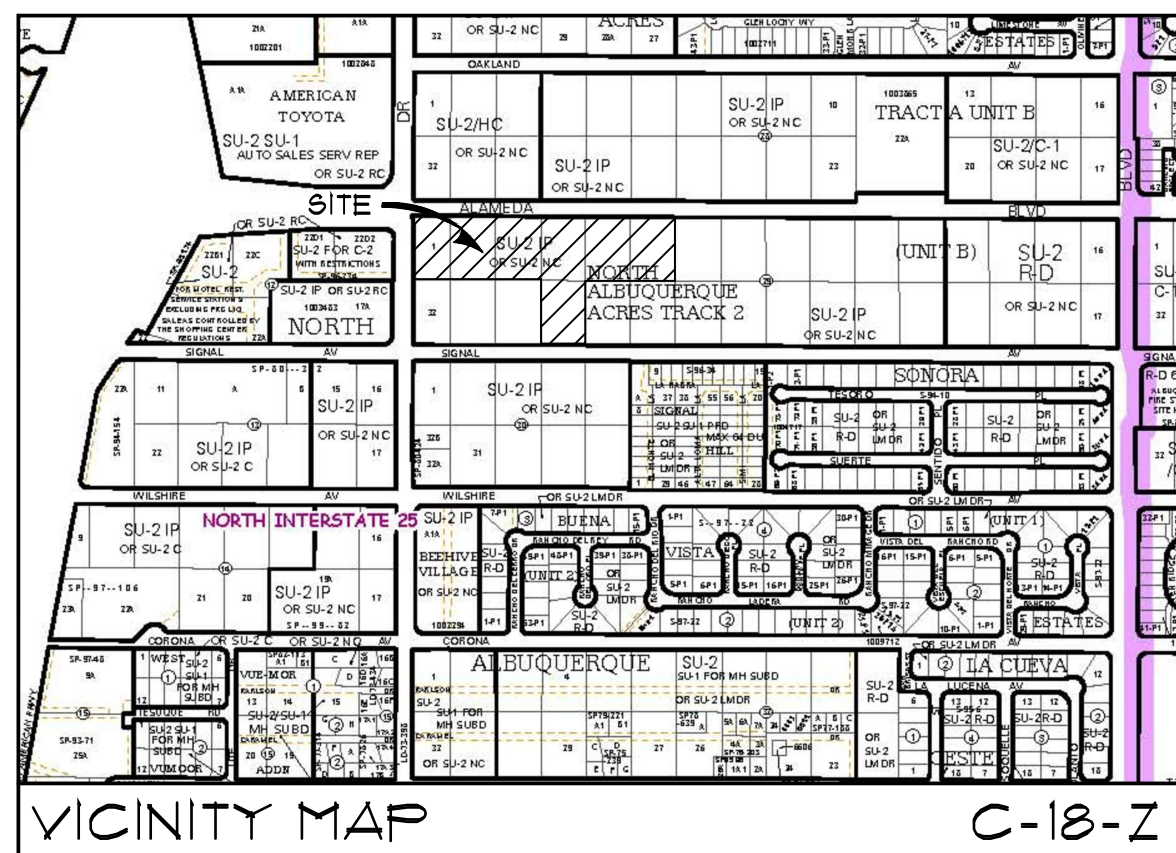
3 bollard detail
 2 | 1/2"=1'-0"

2 wall section
 2 | 3/4"=1'-0"

revisions:



date:
 8-17-18
 sheet:
 2



HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 3
DESIGN STORM: (1N)

EXISTING CONDITIONS	LAND TRMTNT	AREA (ACRE)	AREA %	F6	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.66	1.81	0.00	0.00	0.00	0.00	0.00	0.00
B	5.251	100%	0.52	2.60	13.61	17.556	17.556	17.556	17.556	17.556
C	0.000	0%	1.29	3.45	0.41	0.00	0.00	0.00	0.00	0.00
D	0.000	0%	2.36	5.02	0.00	0.00	0.00	0.00	0.00	0.00
TOTALS	5.251	100%			13.61	17.556	17.556	17.556	17.556	17.556

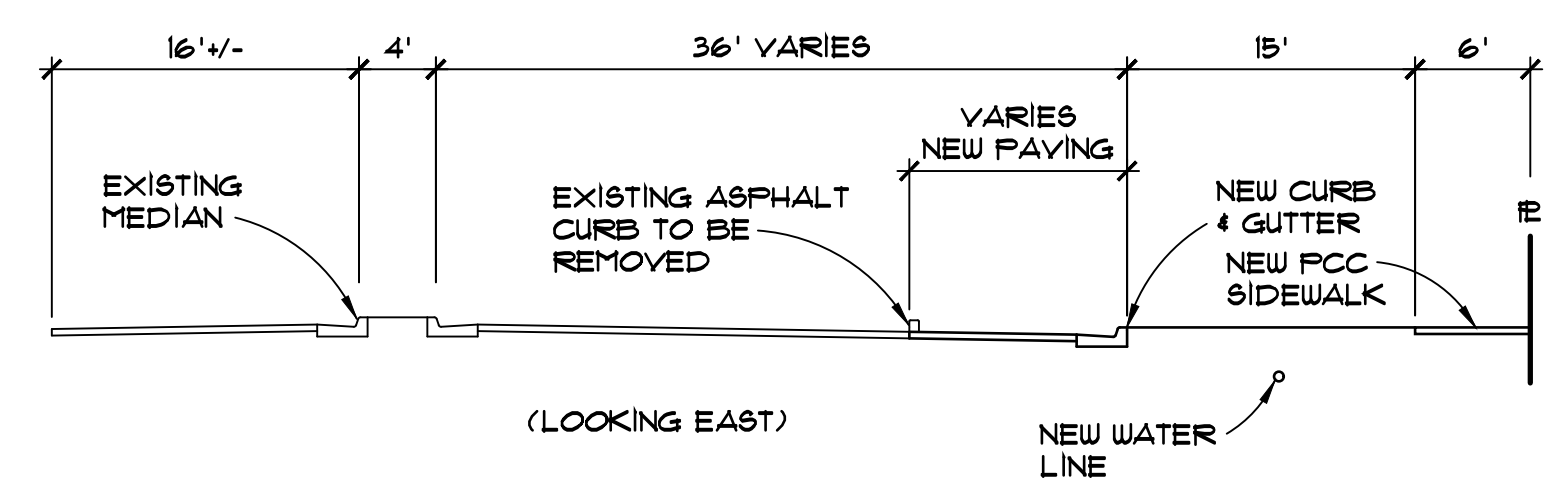
DEVELOPED CONDITIONS	LAND TRMTNT	AREA (ACRE)	AREA %	F6	Q (CFS/AC)	Q (CFS)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.66	1.81	0.00	0.00	0.00	0.00	0.00	0.00
B	1.026	20%	0.52	2.60	2.61	3.426	3.426	3.426	3.426	3.426
C	0.000	0%	1.29	3.45	0.00	0.00	0.00	0.00	0.00	0.00
D	4.231	80%	2.36	5.02	21.24	36.246	43.925	49.301	50.931	50.931
TOTALS	5.251	100%			23.91	39.673	47.673	52.727	54.263	54.263

FIRST FLUSH PONDING REQUIRED: TREATMENT D AREA = 4.321 AC x 0.34 IN = 5222 CF

POND 1 CAPACITY: CONTOUR AREA VOLUME
 47 3000 SF 2333 CF
 46 1665 SF 1058 CF
 45 450 SF 298 CF
TOTAL VOLUME = 3390 CF

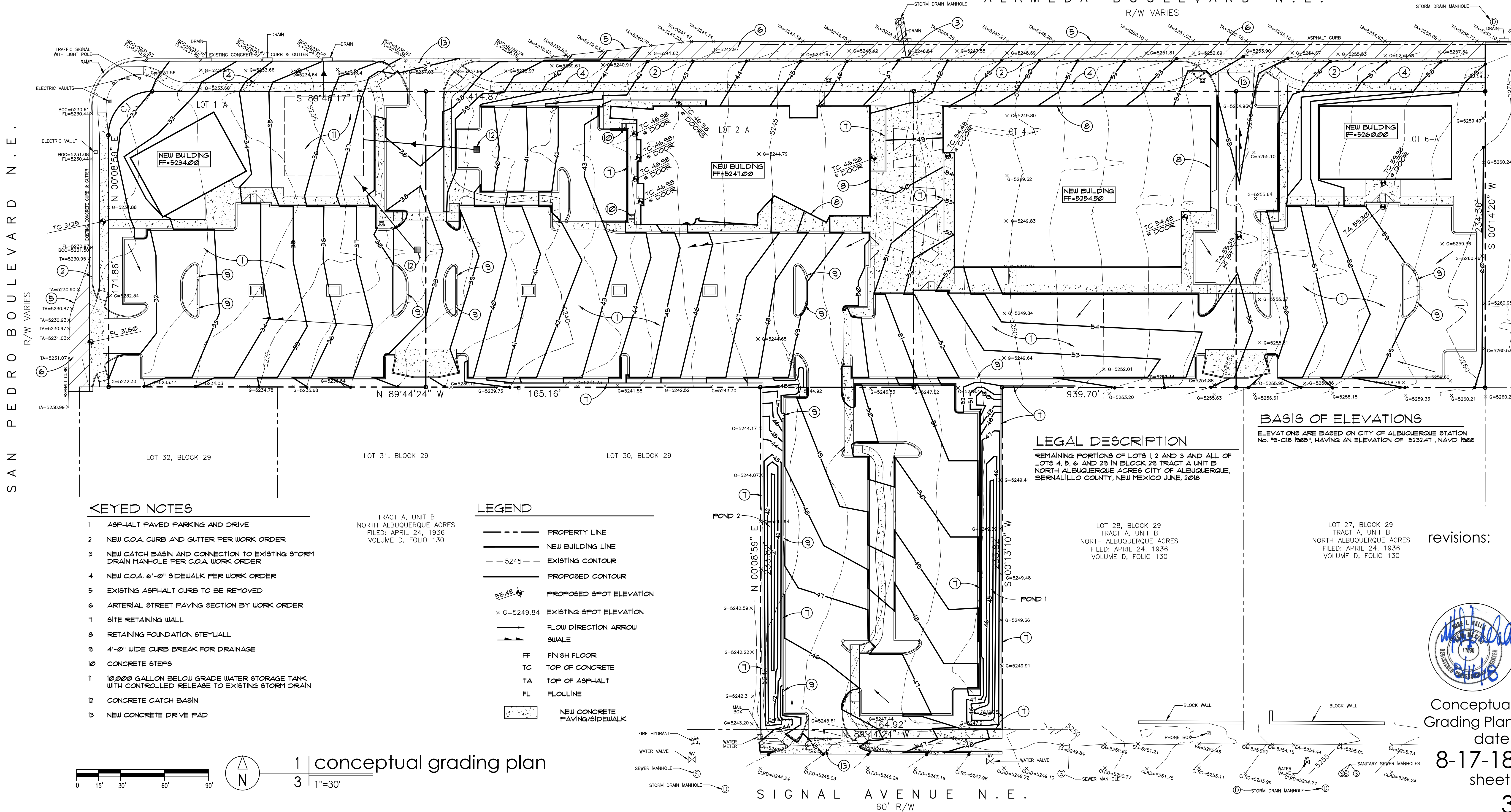
POND 2 CAPACITY: CONTOUR AREA VOLUME
 43 3000 SF 2355 CF
 42 1710 SF 1125 CF
 41 540 SF 350 CF
TOTAL VOLUME = 3480 CF

UNDERGROUND TANK CAPACITY: TOTAL VOLUME = 10,000 GALLONS (1336 CF)
TOTAL FIRST FLUSH CAPACITY = 8201 CF > 5222 CF OK



2 | section alameda blvd. w/ turn lane
 3 | 1"=10'
 ALAMEDA BOULEVARD N.E.
 R/W VARIES

A MIXED USE DEVELOPMENT
 at alameda and san pedro ne.
 abq, nm



BASIS OF ELEVATIONS
 ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "9-C10 1995", HAVING AN ELEVATION OF 5232.41, NAVD 1988

LEGAL DESCRIPTION
 REMAINING PORTIONS OF LOTS 1, 2 AND 3 AND ALL OF LOTS 4, 5, 6 AND 29 IN BLOCK 29 TRACT A UNIT B NORTH ALBUQUERQUE ACRES CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO JUNE, 2018

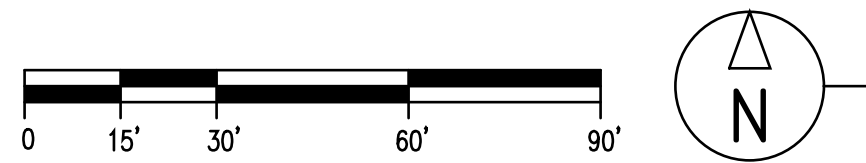
- KEYED NOTES**
- 1 ASPHALT PAVED PARKING AND DRIVE
 - 2 NEW C.O.A. CURB AND GUTTER PER WORK ORDER
 - 3 NEW CATCH BASIN AND CONNECTION TO EXISTING STORM DRAIN MANHOLE PER C.O.A. WORK ORDER
 - 4 NEW C.O.A. 6'-0" SIDEWALK PER WORK ORDER
 - 5 EXISTING ASPHALT CURB TO BE REMOVED
 - 6 ARTERIAL STREET PAVING SECTION BY WORK ORDER
 - 7 SITE RETAINING WALL
 - 8 RETAINING FOUNDATION STEM WALL
 - 9 4'-0" WIDE CURB BREAK FOR DRAINAGE
 - 10 CONCRETE STEPS
 - 11 10,000 GALLON BELOW GRADE WATER STORAGE TANK WITH CONTROLLED RELEASE TO EXISTING STORM DRAIN
 - 12 CONCRETE CATCH BASIN
 - 13 NEW CONCRETE DRIVE PAD

- LEGEND**
- PROPERTY LINE
 - NEW BUILDING LINE
 - - - 5245 - - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - 55.48' PROPOSED SPOT ELEVATION
 - x G=5249.84 EXISTING SPOT ELEVATION
 - FLOW DIRECTION ARROW
 - SWALE
 - FF FINISH FLOOR
 - TC TOP OF CONCRETE
 - TA TOP OF ASPHALT
 - FL FLOWLINE
 - NEW CONCRETE PAVING/SIDEWALK

revisions:



Conceptual Grading Plan
 date: 8-17-18
 sheet: 3



1 | conceptual grading plan
 3 | 1"=30'

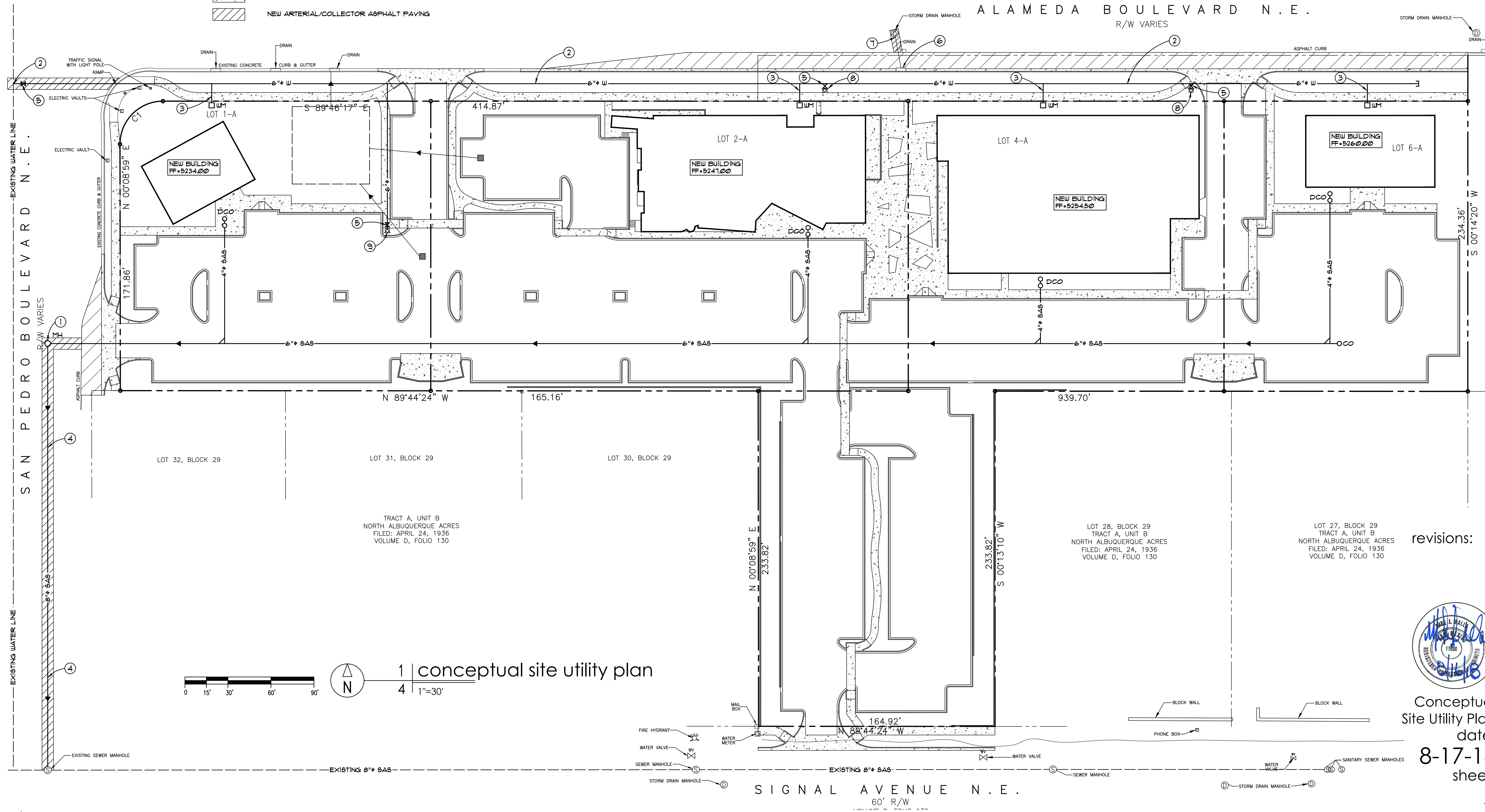
A MIXED USE
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LEGEND

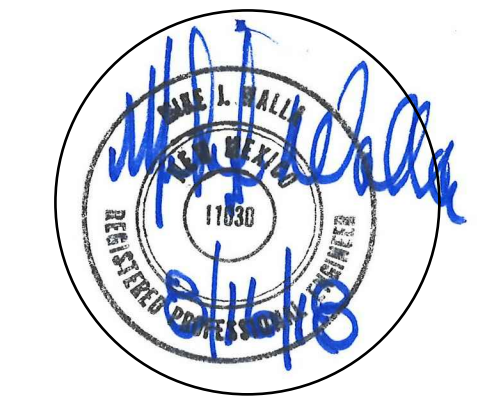
- PROPERTY LINE
- NEW BUILDING LINE
- SAS --- EXISTING SANITARY SEWER LINE
- W --- EXISTING WATER LINE
- W — NEW WATER LINE
- SAS --- NEW SEWER LINE
- MH NEW MANHOLE
- WM NEW WATER METER
- CO SEWER CLEANOUT
- DCO DOUBLE CLEANOUT
- NEW CONCRETE PAVING/SIDEWALK
- NEW ARTERIAL/COLLECTOR ASPHALT PAVING

KEYED NOTES

- 1 NEW 4" SAS MANHOLE PER C.O.A. WORK ORDER
- 2 NEW WATER MAIN CONNECTION AND EXTENSION PER C.O.A. WORK ORDER
- 3 NEW WATER SERVICE PER C.O.A. WORK ORDER
- 4 NEW 8" SAS MAIN PER C.O.A. WORK ORDER
- 5 NEW 6" GATE VALVE PER C.O.A. WORK ORDER
- 6 NEW CATCH BASIN PER C.O.A. WORK ORDER
- 7 18" RCP STORM DRAIN LATERAL PER C.O.A. WORK ORDER
- 8 PUBLIC FIRE HYDRANT PER C.O.A. WORK ORDER
- 9 PRIVATE FIRE HYDRANT PER C.O.A. WORK ORDER



revisions:



Conceptual
 Site Utility Plan
 date:
 8-17-18
 sheet:

SITE DATA

GROSS LOT AREA (5.24 ac)	228,371 SF
LESS BUILDING(S)	36,900 SF
NET LOT AREA	191,471 SF
REQUIRED LANDSCAPE 15% OF NET LOT AREA	28,720 SF
PROPOSED LANDSCAPE	60,600 SF
PERCENT OF NET LOT AREA	32 %
HIGH WATER USE TURF MAX. 20% OF LANDSCAPE AREA	0 SF
PROPOSED HIGH WATER USE TURF	0 SF
PERCENT OF LANDSCAPE AREA	0 %
REQUIRED STREET TREES 1 PER 30 L.F. OF STREET FRONTAGE	42
PROVIDED STREET TREES	42
REQUIRED PARKING LOT TREES 1 PER 10 SPACES	39
386 SPACES/10	39
PROVIDED PARKING LOT TREES	39
TOTAL TREE REQUIRED/PROVIDED (2" cal or 6" ht.)	81/106

REQUIRED LANDSCAPE COVERAGE
 75% LIVE VEGETATIVE MATERIAL (60,600 SF PROPOSED LANDSCAPE X 75%)
 PROVIDED GROUND COVER COVERAGE 46,240 SF
 PERCENT GROUND COVER COVERAGE OF REQUIRED LANDSCAPE AREAS 76%

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.

STREETSCAPE LANDSCAPING SHALL CONSIST PRIMARILY OF SHRUBS AND DECIDUOUS TREES IN A SETBACK AREA BETWEEN THE RIGHT-OF-WAY OF THE STREET AND THE FACE OF THE CURB OF AN ADJACENT PARKING AREA. CLEAR-SIGHT TRIANGLE REQUIREMENTS MUST BE MET.
 TREES IN PROXIMITY OF DUMPSTER TO BE MAINTAINED TO ALLC FOR TRUCK ACCESS WITHOUT DAMAGE TO TRUCK OR TREES

NOTE

MAINTENANCE OF LANDSCAPE (ONSITE AND WITHIN ROW) TO BE MAINTAINED BY PROPERTY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1. PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10 (SEE CALCULATIONS PROVIDED ABOVE)

NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.

STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-6-2.

LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-3-10.

LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 6 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA.

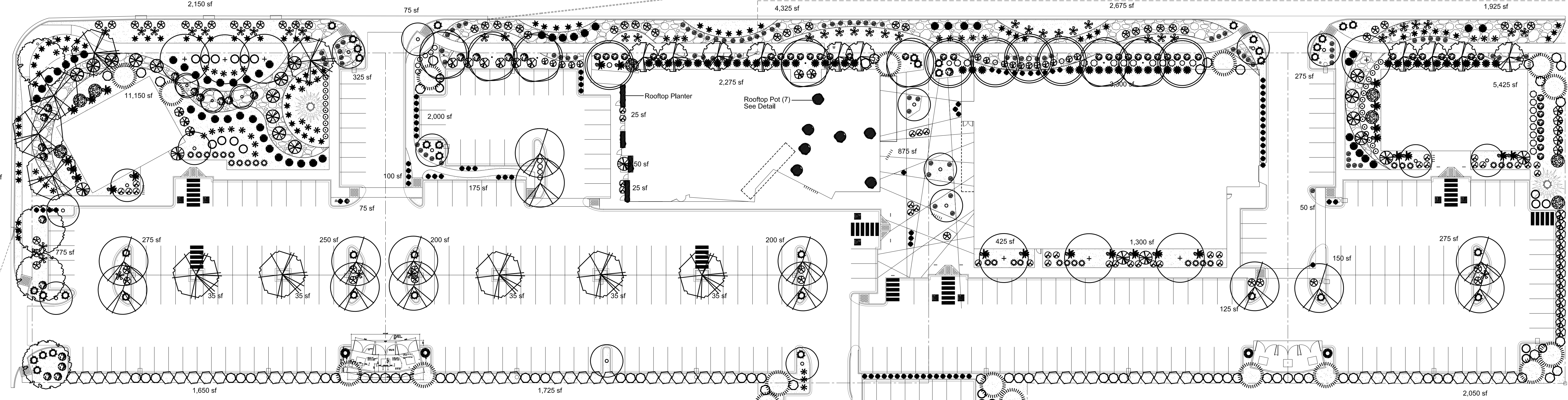
IRRIGATION SYSTEM: AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WILL BE UTILIZED TO PROVIDE EVEN AND ADEQUATE WATER LEVELS TO ALL PLANT MATERIAL. WATER USE SHALL BE DONE IN SUCH A MANNER AS TO CONSERVE ITS USE AND PREVENT ANY AND ALL RUNOFF FROM LANDSCAPE MATERIALS. IRRIGATION SHALL BE RESTRICTED TO EARLY MORNING HOURS TO CONSERVE THIS LIMITED RESOURCE.

IRRIGATION NOTE

DRIP SYSTEM RUN CYCLES:
 ESTABLISHMENT AND SUMMER:
 1 HOUR/4 DAYS A WEEK
 SPRING:
 1 HOUR/2-3 DAYS A WEEK
 FALL:
 1 HOUR/2-3 DAYS A WEEK
 WINTER:
 1 HOUR/2 DAYS PER MONTH

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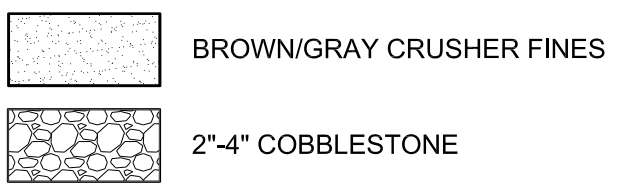
A MIXED USE DEVELOPMENT
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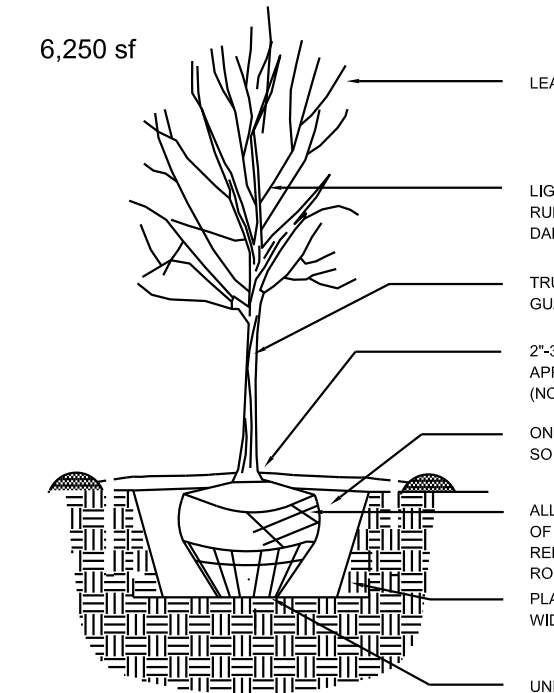
PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Installed Size	Mature Height/Spread	Landscape Coverage	Water Use	Drip Emitters
Trees							
6	(Symbol)	Fraxinus Autumn Purple Ash	2" B&B	40'/40'	30 sf=180 sf	Medium	+6-2 gph
10	(Symbol)	Ulmus Lacebark Elm	2" B&B	50'/20'	40 sf=400 sf	Medium	6-2 gph
18	(Symbol)	Pyrus Flowering Pear	2" B&B	25'/15'	20 sf=360 sf	Medium	+6-2 gph
4	(Symbol)	Pistacia chinensis Chinese Pistache	2" B&B	60'/60'	45 sf=180 sf	Medium	+6-2 gph
7	(Symbol)	Gleditsia triacanthos inermis Honeylocust	2" B&B	80'/80'	30 sf=210 sf	Medium	6-2 gph
3	(Symbol)	Quercus Texas red Oak	2" B&B	40'/35'	35 sf=105 sf	Medium	6-2 gph
16	(Symbol)	Fraxinus Modesto Ash	2" B&B	30'/30'	35 sf=560 sf	Medium	6-2 gph
10	(Symbol)	Celtis Hackberry	2" B&B	40'/40'	35 sf=350 sf	Medium	6-2 gph
10	(Symbol)	Cercis Western Redbud	2" B&B	10'/12'	30 sf=455 sf	Medium	6-2 gph
8	(Symbol)	Forestiera NM Olive	5-Gal	15'/15'	100 sf=800 sf	Medium	6-2 gph
6	(Symbol)	Vitex Agnus-Castus Chaste Tree	5-Gal	20'/20'	100 sf=600 sf	Medium	6-2 gph
2	(Symbol)	Cedrus Deodar Cedar	6' HT.	40'/20'	35 sf=70 sf	Medium	6-2 gph
20	(Symbol)	Pinus nigra Austrian Pine	6' HT.	30'/20'	35 sf=700 sf	Medium	6-2 gph
Shrubs/Groundcovers							
78	(Symbol)	Buddleia davidii Butterfly Bush	1-Gal	6'/6'	64 sf=4992 sf	Medium	2-2 gph
31	(Symbol)	Caryopteris clandonensis Blue Mist	1-Gal	4'/4'	25 sf=775 sf	Medium	2-2 gph
29	(Symbol)	Cotoneaster parneyi Clusterberry	5-Gal	10'/10'	70 sf=2030 sf	Medium	2-2 gph
31	(Symbol)	Rhus aromatica Gro Low Sumac	5-Gal	2'/6'	64 sf=1984 sf	Low+	2-2 gph
64	(Symbol)	Ericameria laricifolia 'Aguirre' Turpentine Bush	5-Gal	3'/4'	25 sf=1600 sf	Low	2-1 gph
19	(Symbol)	Ilex Burford Holly	5-Gal	4'/4'	16 sf=304 sf	Medium+	2-1 gph
25	(Symbol)	Salvia greggii Cherry Sage	1-Gal	3'/3'	15 sf=375 sf	Medium	2-1 gph
49	(Symbol)	Hesperaloe parviflora Red Yucca	5-Gal	3'/4'	35 sf=1715 sf	Low	2-2 gph
46	(Symbol)	Juniperus sabina 'Buffalo' Buffalo Juniper (female)	5-Gal	2'/6'	64 sf=2944 sf	Low+	2-2 gph
Grasses							
42	(Symbol)	Muhlenbergia Deer Grass	1-Gal	4'/4'	20 sf=840 sf	Low+	2-2 gph
94	(Symbol)	Muhlenbergia Regal Mist Grass	1-Gal	3'/3'	15 sf=1410 sf	Medium	2-2 gph
41	(Symbol)	Panicum Switch Grass	1-Gal	8'/6'	36 sf=1476 sf	Medium	2-2 gph
121	(Symbol)	Calamagrotis Karl Foerster Grass	5-Gal	3'/2'	10 sf=1210 sf	Medium	2-2 gph

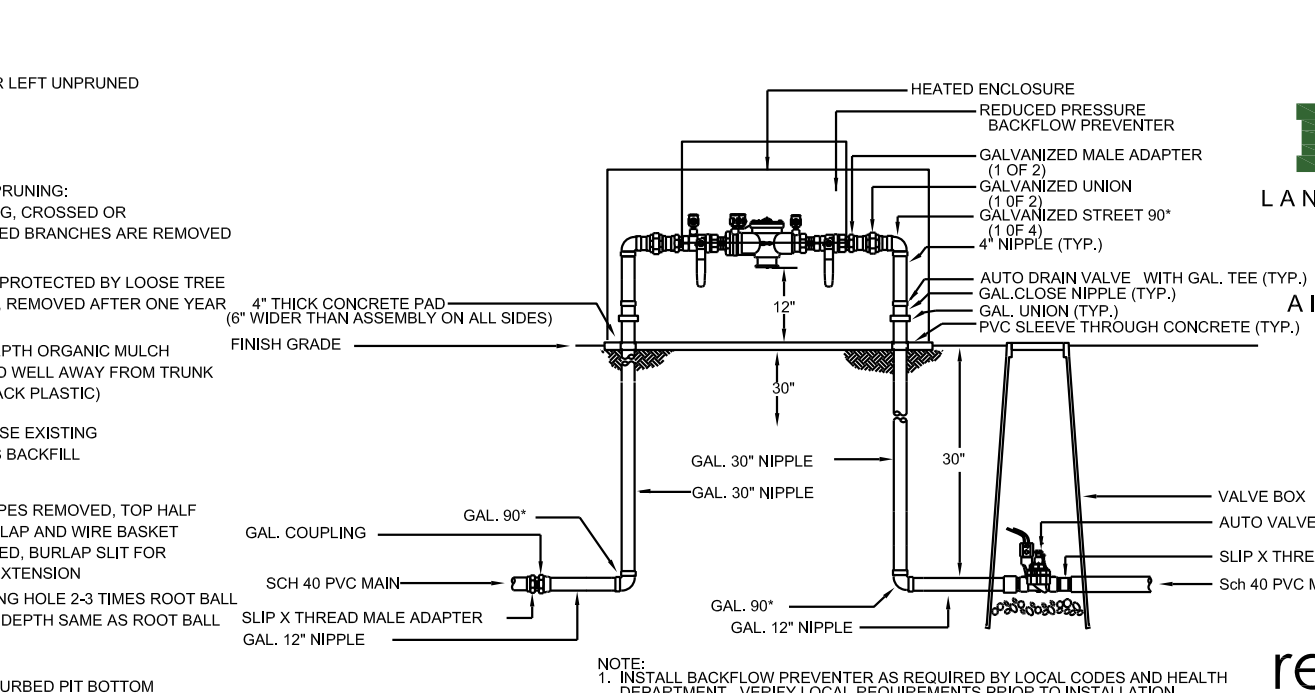
MATERIALS LEGEND



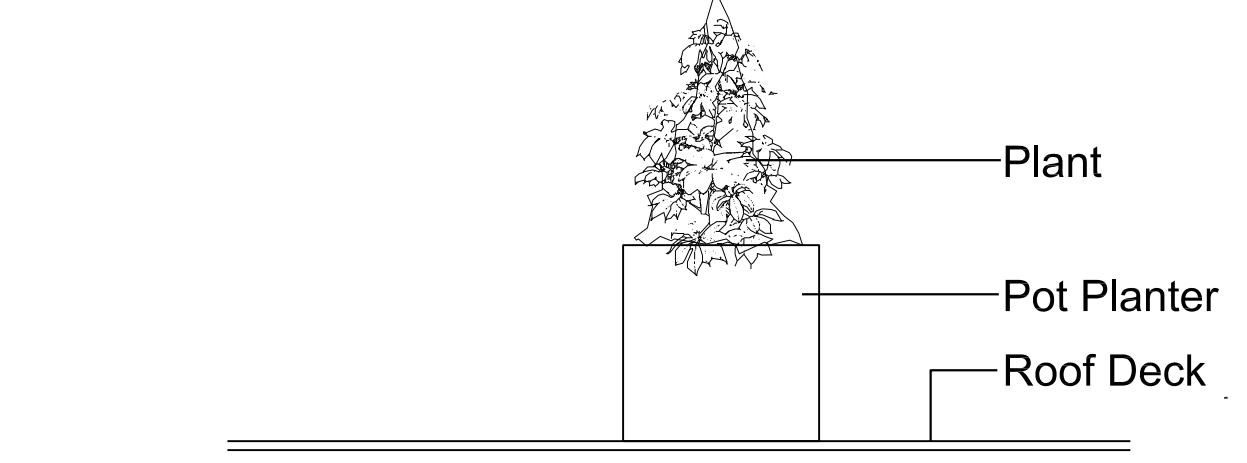
Total Landscape Coverage=46,240 sf



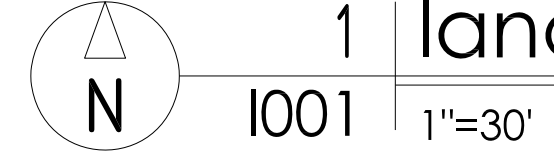
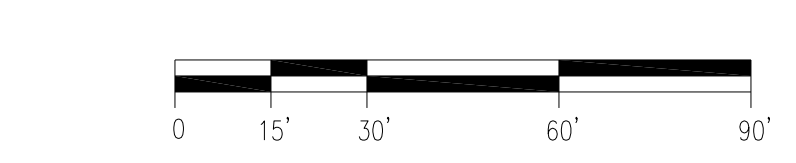
TREE PLANTING DETAIL



RP BACKFLOW/MASTER VALVE DETAIL

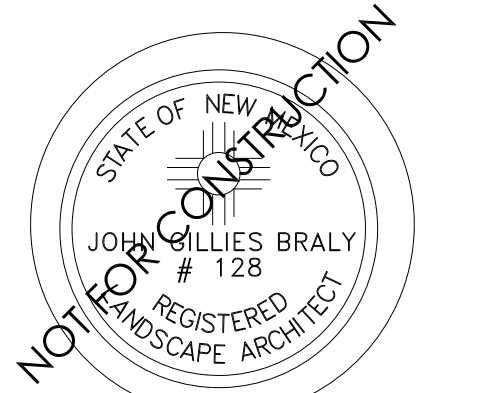


Pot Planter Detail



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 505.898.9615
 505.898.2105 (fax)
 design@hulc.com

revisions:



Overall Landscape Plan
 date:
8-17-18
 sheet:
5

S:\BIDDING\ACTIVE\BIDDING\Age 50m - Alameda and San Pedro\001 - Standard\2.22\2.22\Landscaping\Site Development\Alameda Landscaping\8.11.18\0218.LS.DWG, 8/16/2018, 8:58:36 AM, Aducci, PDP

A MIXED USE DEVELOPMENT at Alameda and San Pedro Ne.



Autumn Purple Ash Lacebark Elm Flowering Pear Chinese Pistache Honey Locust Texas Red Oak Modesto Ash Hackberry Redbud NM Olive



Chaste Tree/Vitex Deodar Cedar Austrian Pine Butterfly Bush Clusterberry Crape Myrtle Rose of Sharon Gro Low Sumac



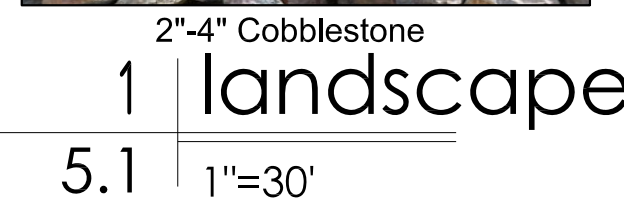
Blue Mist Spirea Turpentine Bush Burford Holly Cherry Sage Red Yucca Sotol Burkwood Viburnum Burning Bush



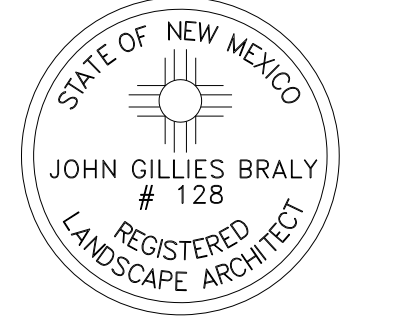
Buffalo Juniper Russian Sage Nandina/Heavenly Bamboo Knockout Rose Bird of Paradise India Hawthorn Switch Grass



Rosewood Potentilla Dwarf Red Spirea Rosemary Three Leaf Sumac Yucca Baccata Deer Grass Karl Foerster Grass Regal Mist Grass

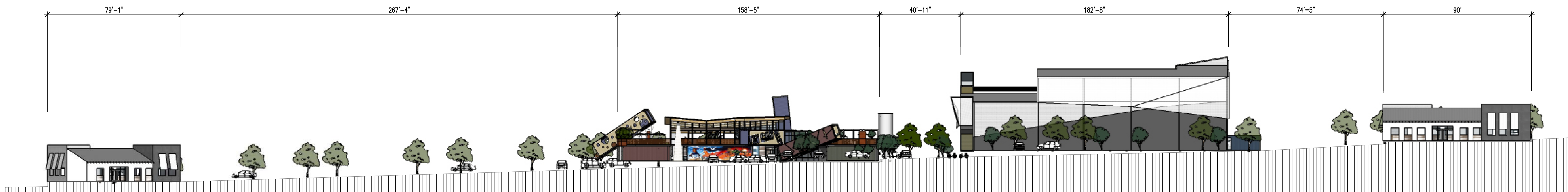


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landscape materials
 5.1 | 1"=30'
 5.1

A MIXED USE
 DEVELOPMENT
 at alameda and
 san pedro ne.
 abq, nm

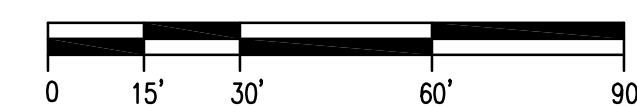


BUILDING 1
 RESTAURANT

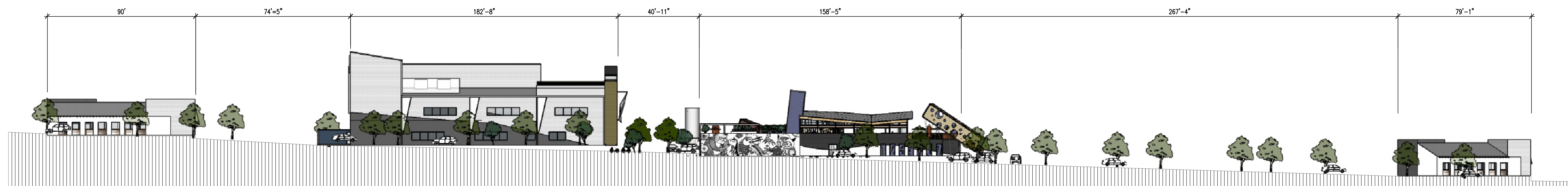
BUILDING 2
 CONTAINER DEVELOPMENT

BUILDING 3
 CLIMBING GYM

BUILDING 4
 TBD



2 | overall south elevation
 6 | 1"=30'

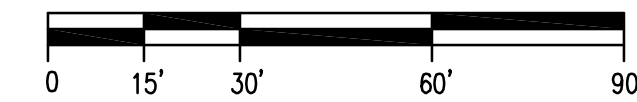


BUILDING 4
 TBD

BUILDING 3
 CLIMBING GYM

BUILDING 2
 CONTAINER DEVELOPMENT

BUILDING 1
 RESTAURANT



1 | overall north elevation
 6 | 1"=30'

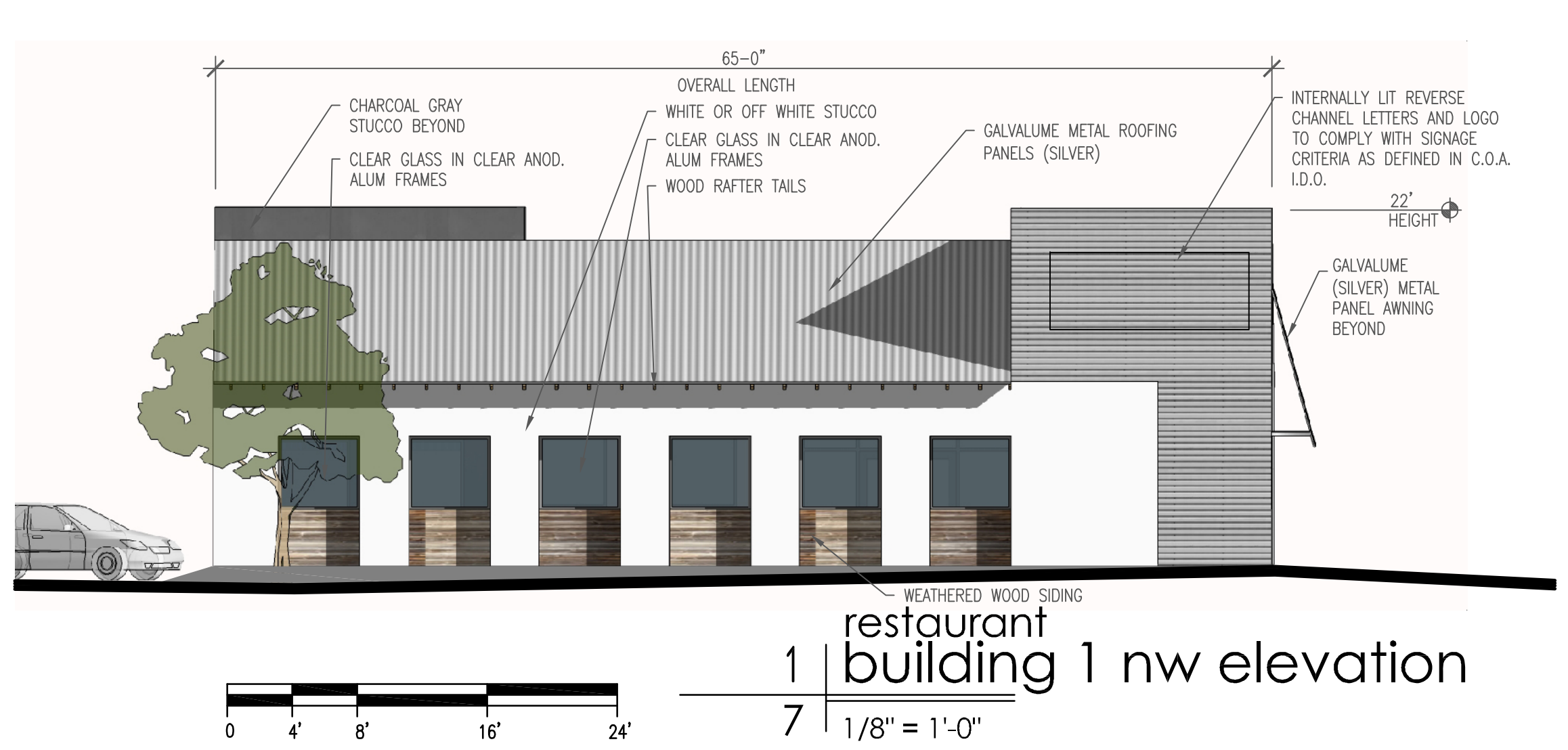
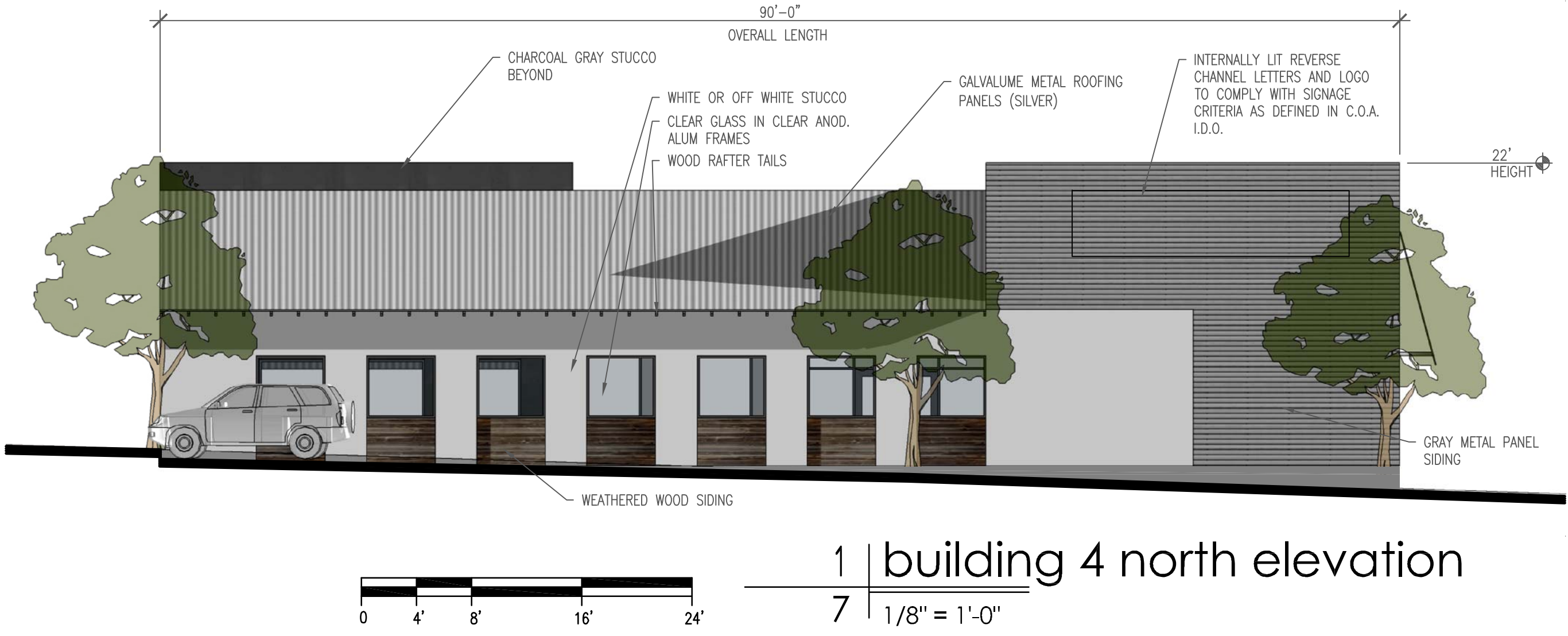
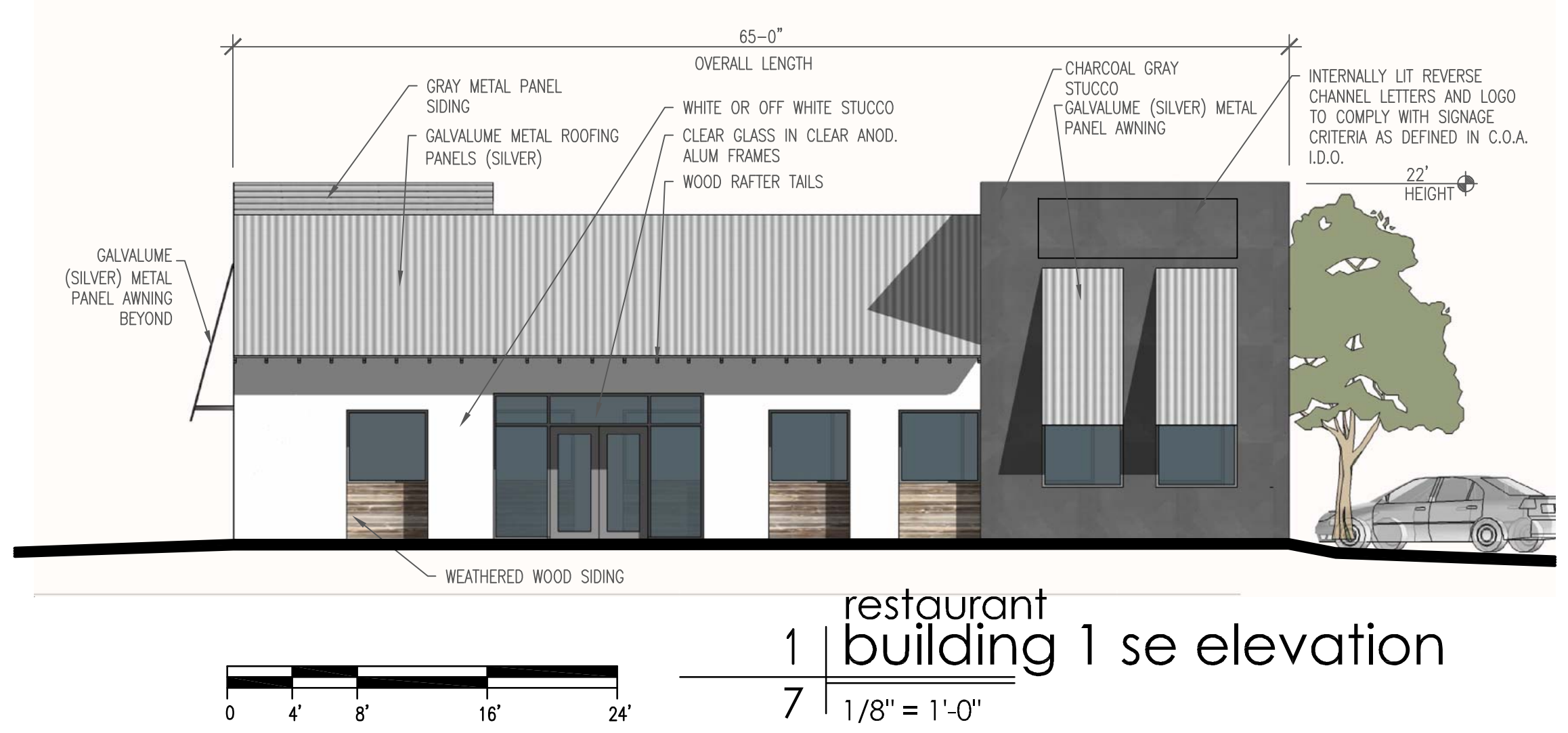
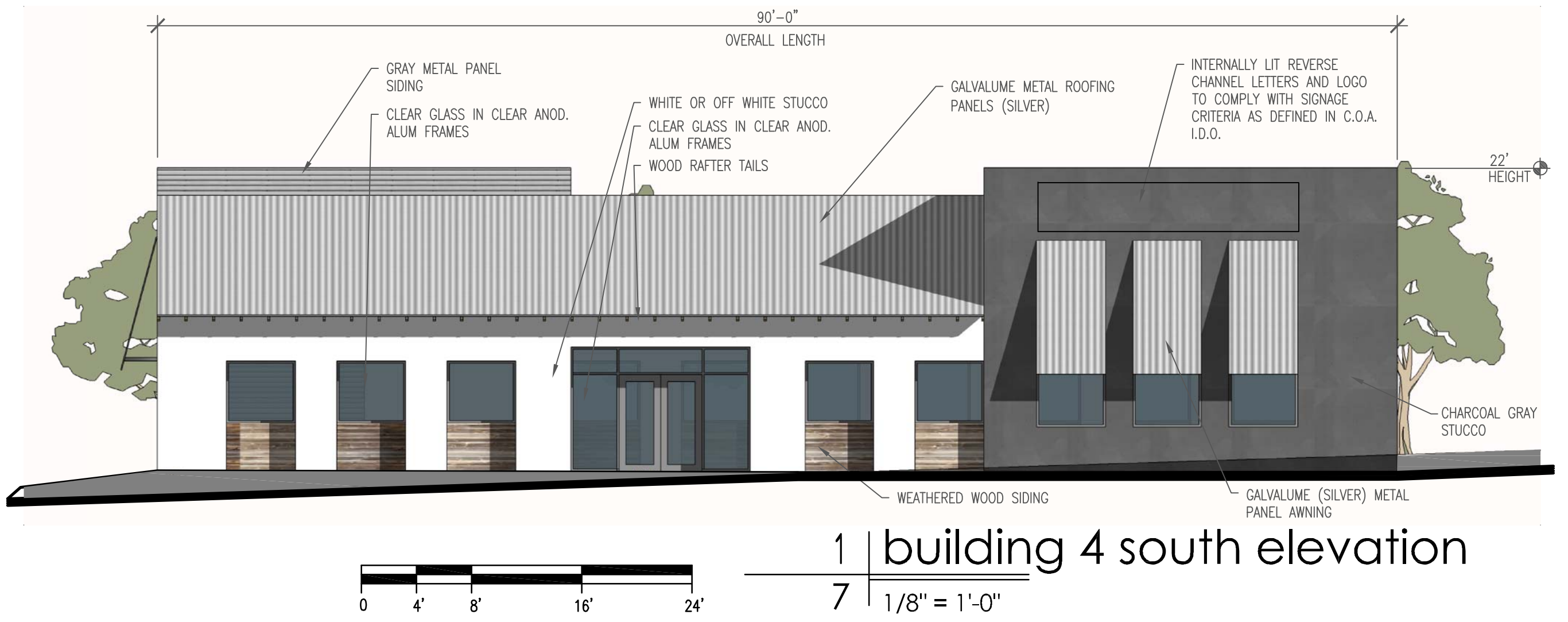
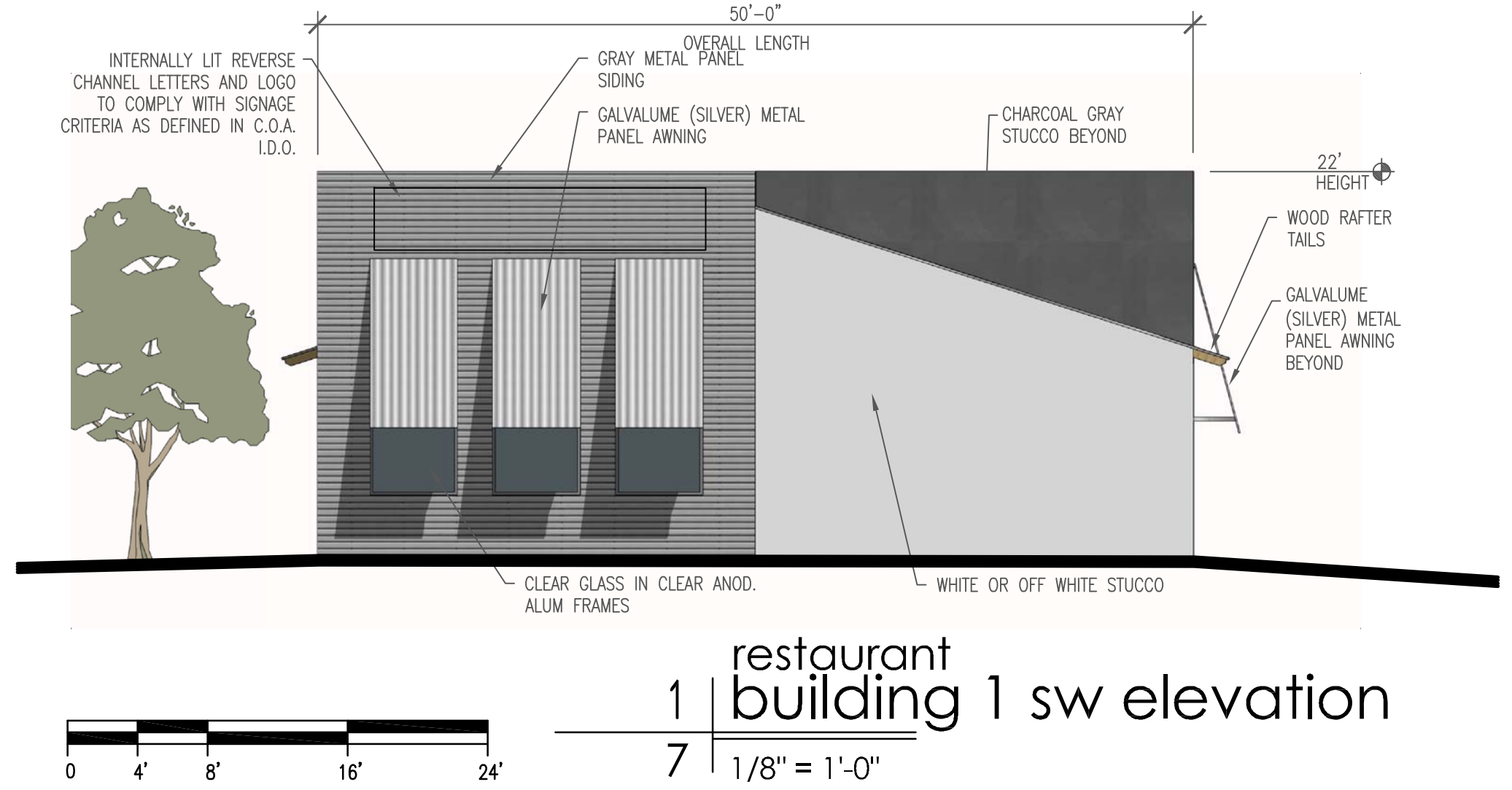
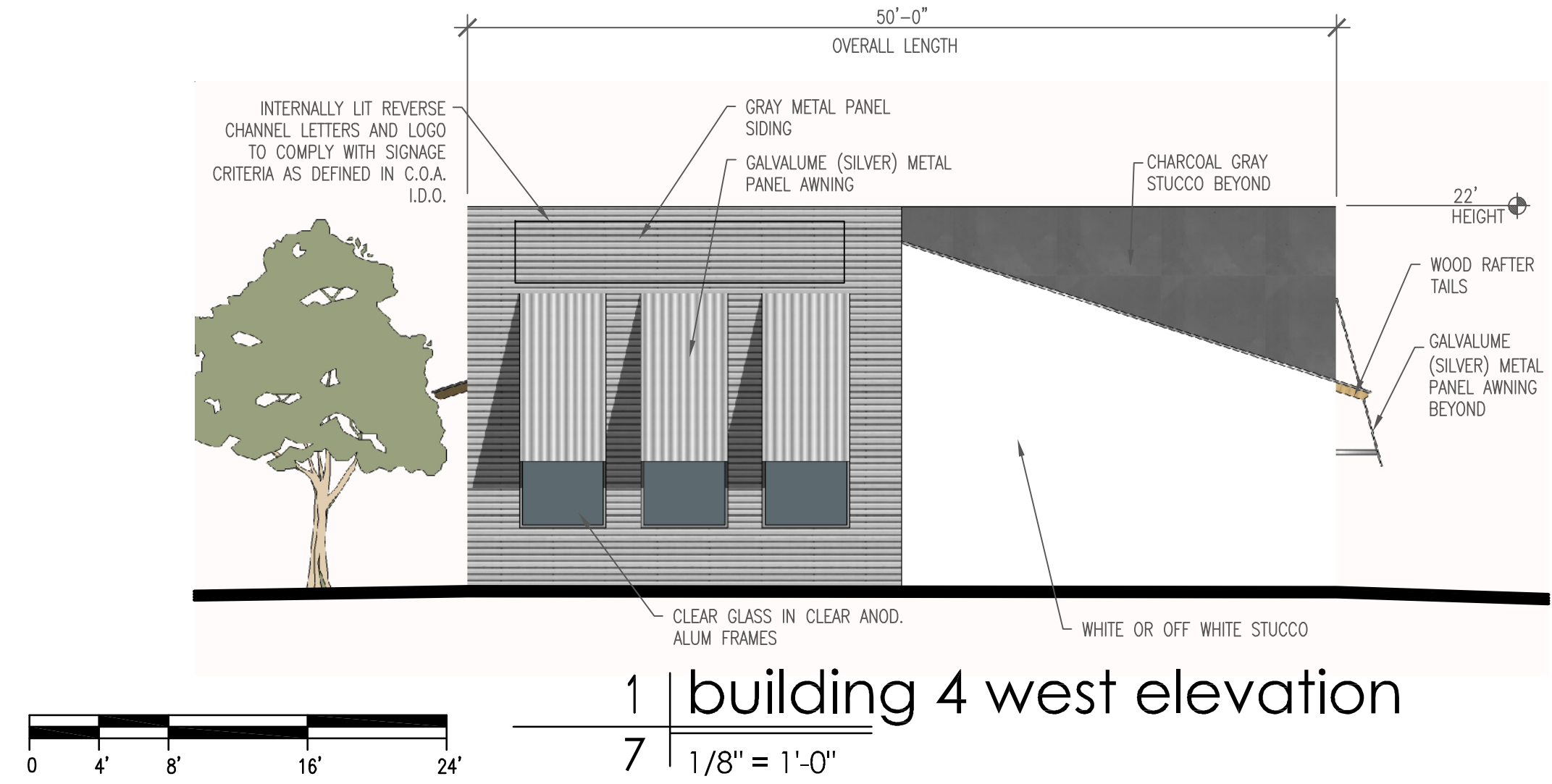
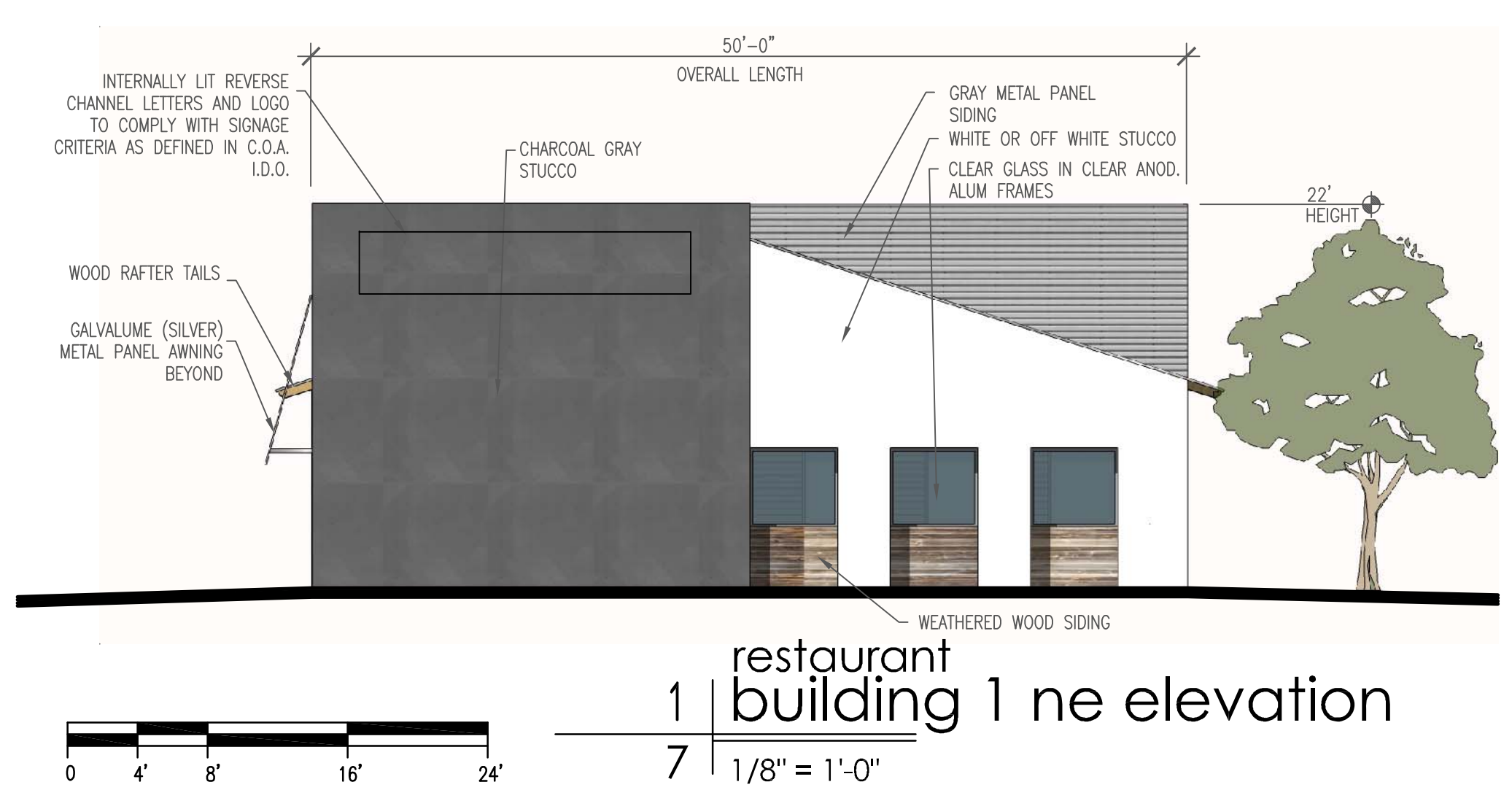
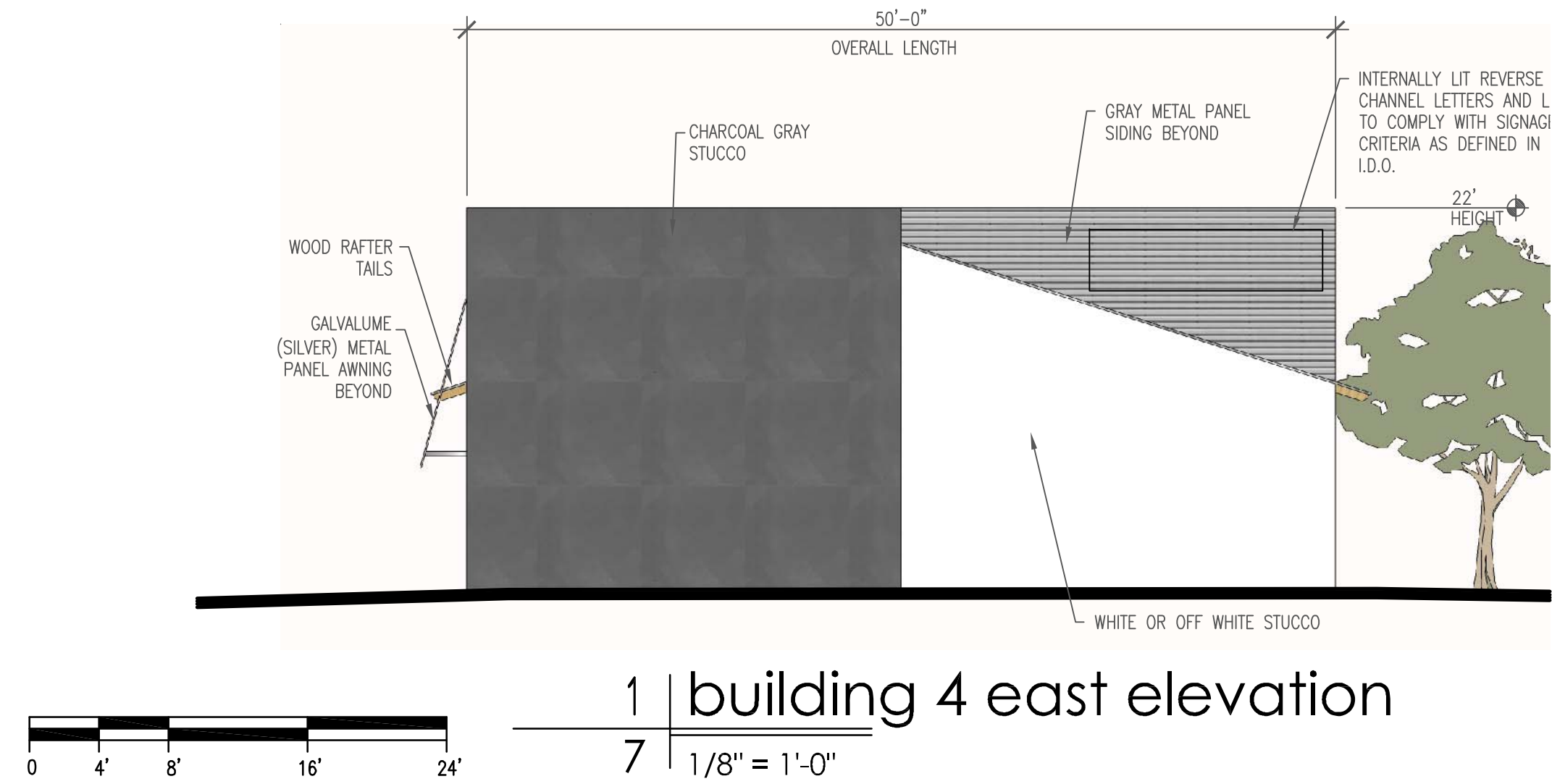
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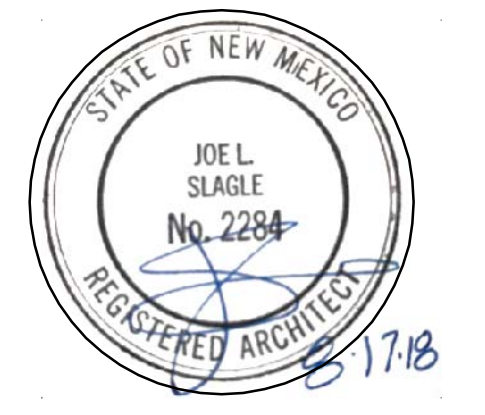
overall elevations

date:
 8-17-18
 sheet:

A MIXED USE
 DEVELOPMENT
 at alameda and
 san pedro ne.
 abq, nm



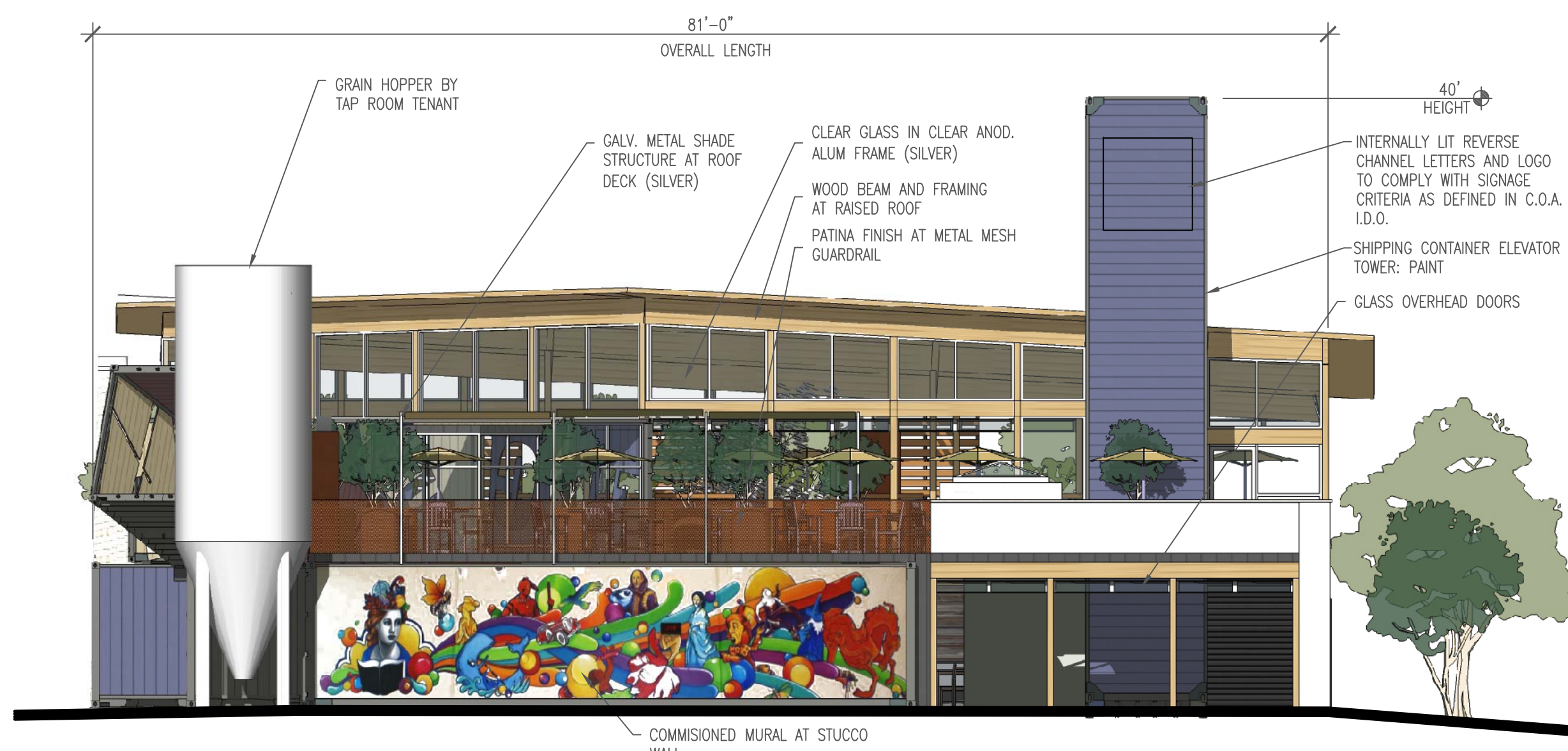
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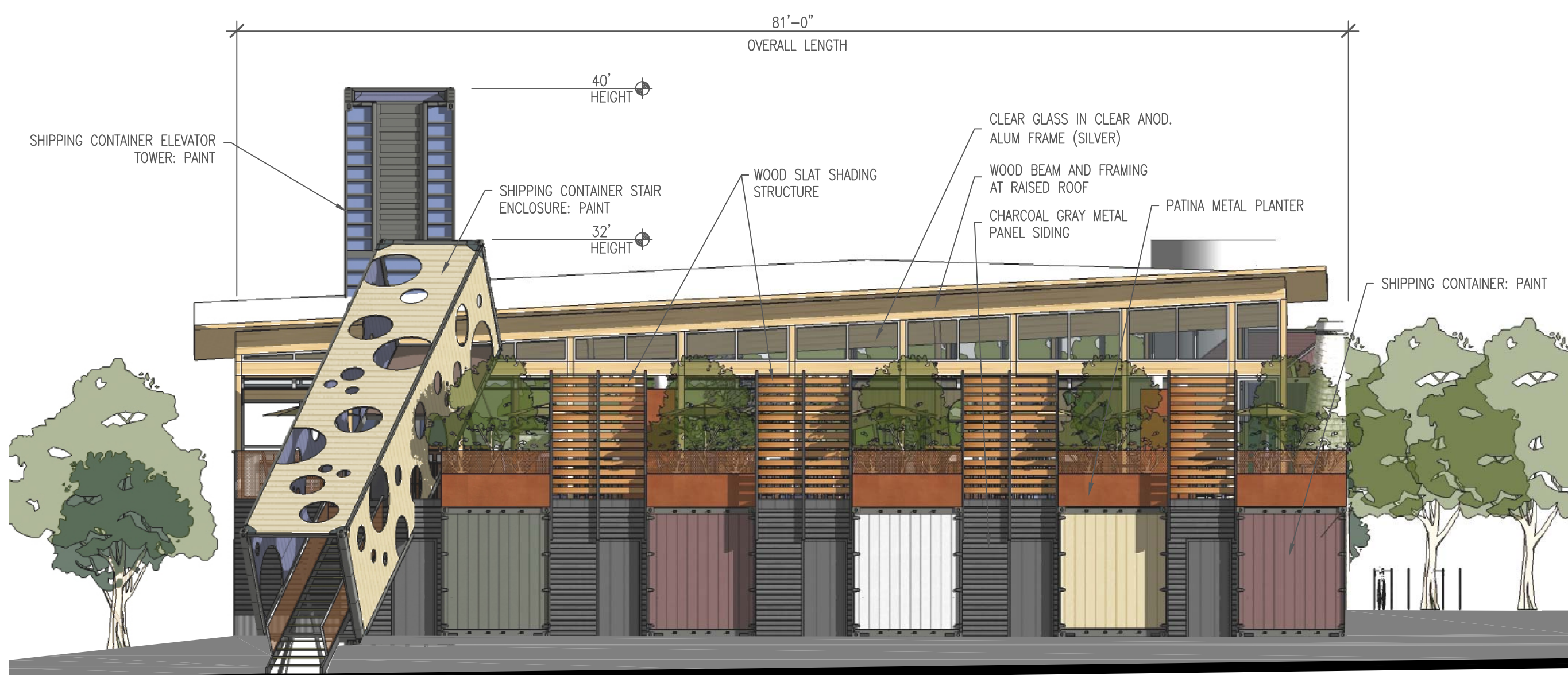
building 1 elevations
 building 4 elevations

date:
 8-17-18
 sheet:

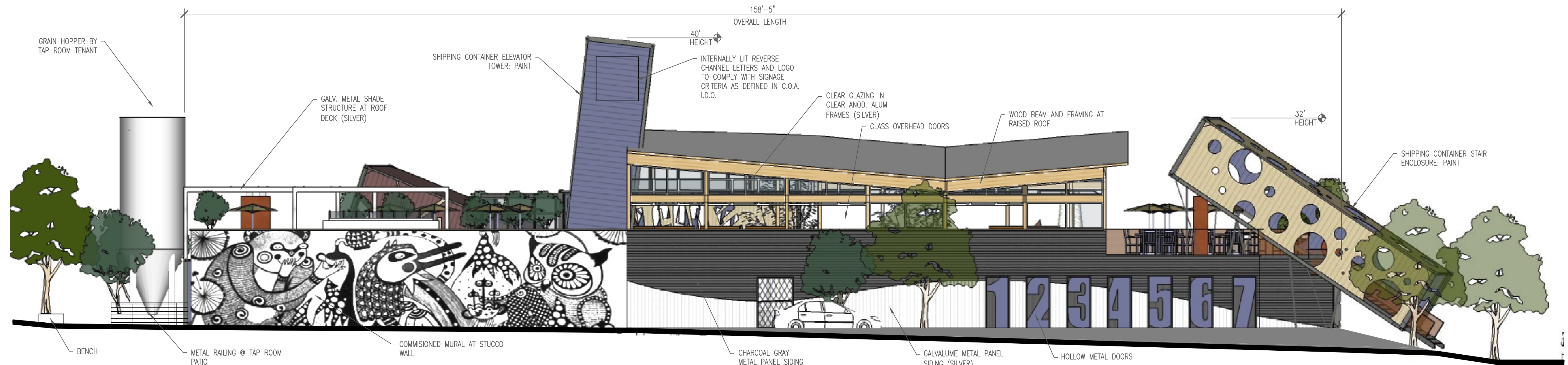
A MIXED USE
 DEVELOPMENT
 at alameda and
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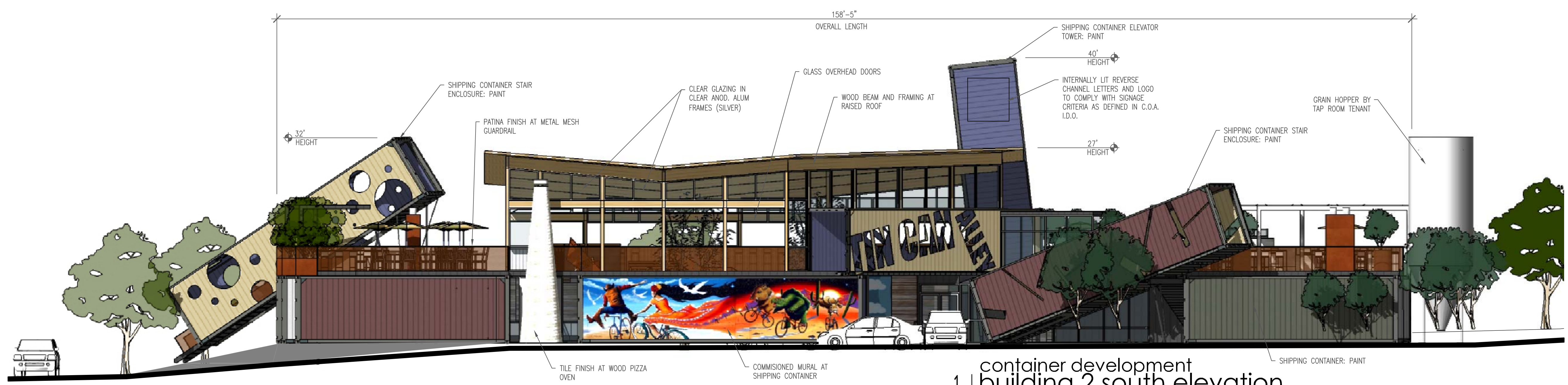
1 | container development
 building 2 east elevation
 8 | 1/8" = 1'-0"



1 | container development
 building 2 west elevation
 8 | 1/8" = 1'-0"

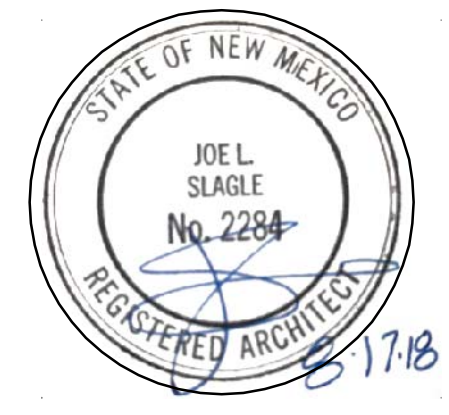


1 | container development
 building 2 north elevation
 8 | 1/8" = 1'-0"



1 | container development
 building 2 south elevation
 8 | 1/8" = 1'-0"

revisions:

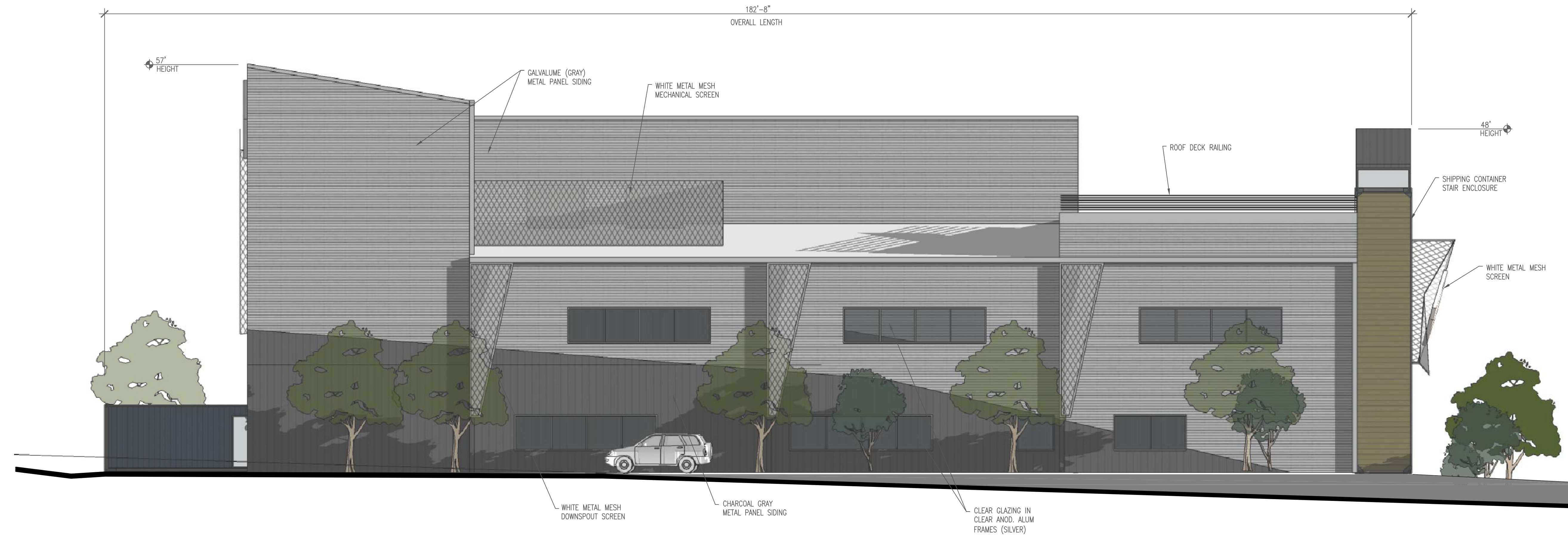
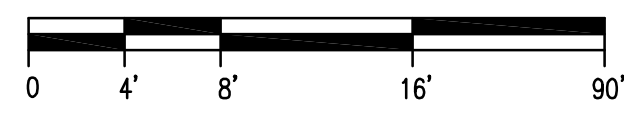


building 2
 elevations
 date:
 8-17-18
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 8

**A MIXED USE
 DEVELOPMENT**
 at alameda and
 san pedro ne.
 abq, nm



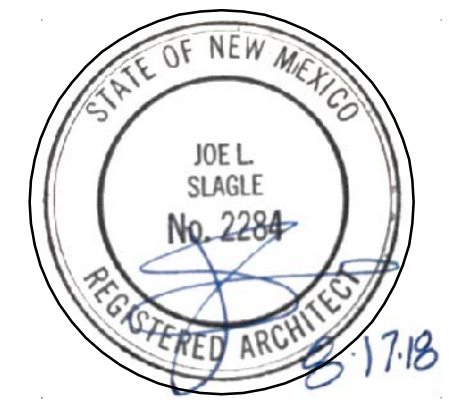
climbing gym
 1 | building 3 south elevation
 9 | 1/8" = 1'-0"



climbing gym
 1 | building 3 north elevation
 9 | 1/8" = 1'-0"

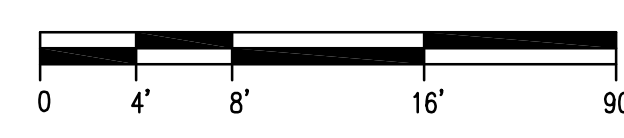
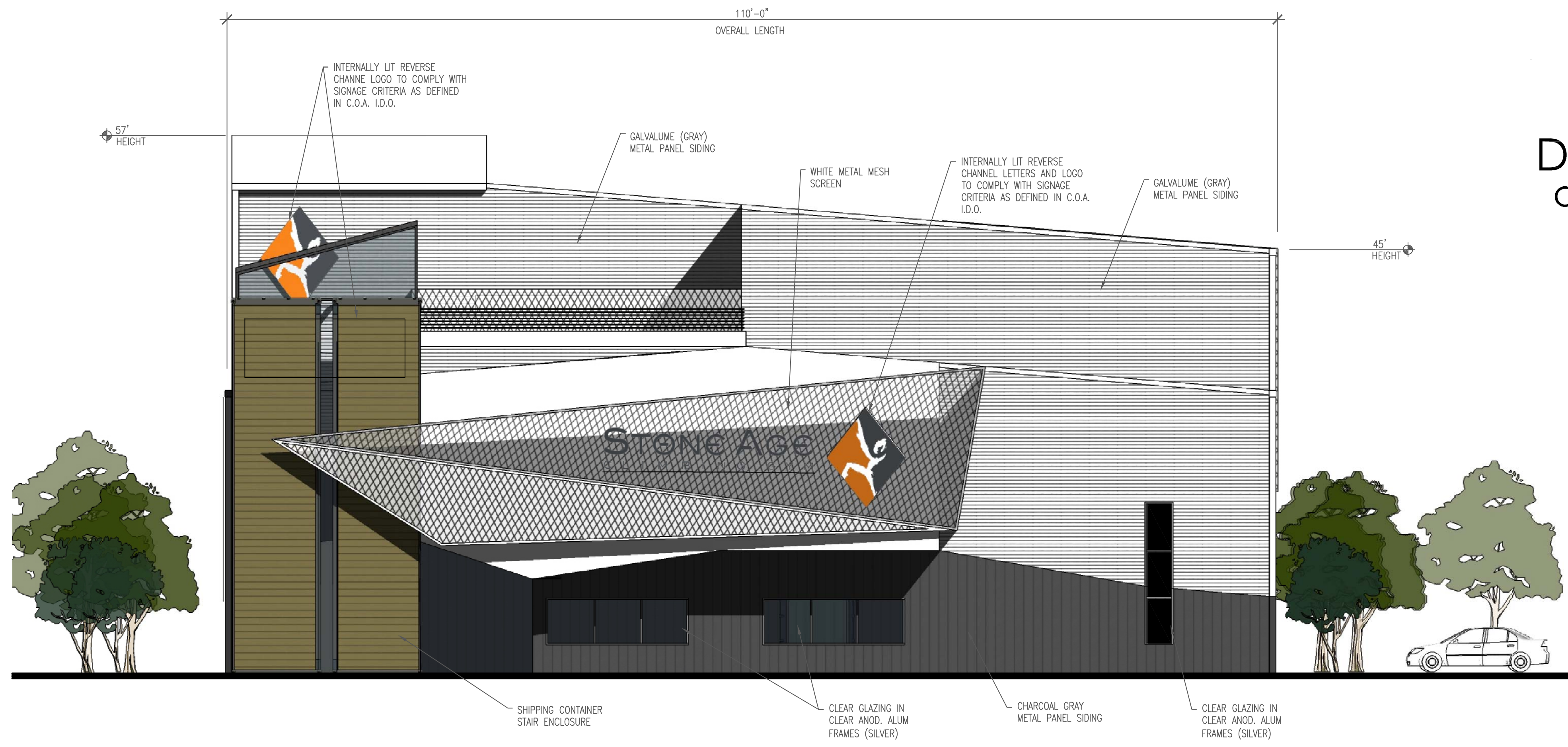


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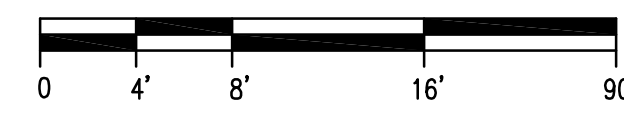


building 3
 elevations
 date:
 8-17-18
 sheet:
 9

A MIXED USE
 DEVELOPMENT
 at alameda and
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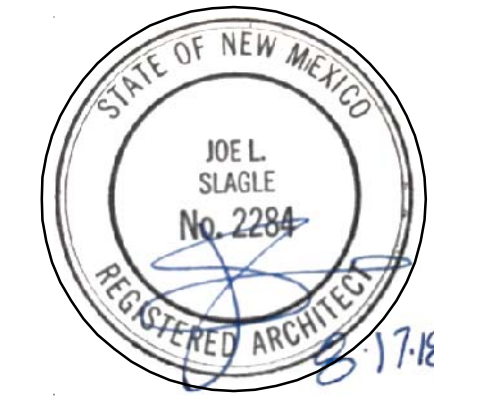


climbing gym
 1 | building 3 west elevation
 10 | 1/8" = 1'-0"



climbing gym
 1 | building 3 east elevation
 10 | 1/8" = 1'-0"

revisions:



building 3
 elevations
 date:
 8-17-18
 sheet:
 10

A MIXED USE
 DEVELOPMENT
 at alameda and
 san pedro ne.
 abq, nm



Tin Can Alley entry



looking east from intersection



east bound view from Alameda



Tin Can Alley west roof deck

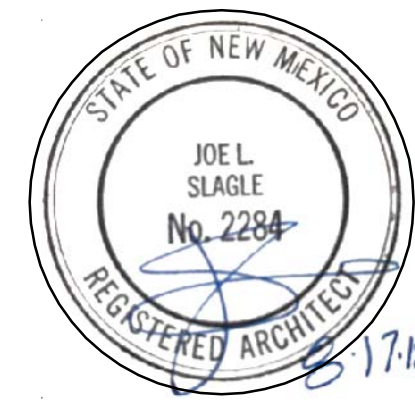


Stone Age Climbing Gym



Tin Can Alley interior

revisions:



images

date:

8-17-18

sheet:

11