

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
- Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

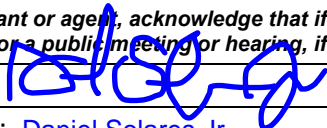

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ALTERNATIVE SIGNAGE PLAN

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- Required notices with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
 - Sign Posting Agreement

ALTERNATIVE LANDSCAPE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan

<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></p>	
<p>Signature: </p>	<p>Date: July 27, 2021</p>
<p>Printed Name: Daniel Solares Jr.</p>	<p><input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent</p>
<p>FOR OFFICIAL USE ONLY</p>	
<p>Project Number: PR-2018-001470</p>	<p>Case Numbers: SI-2021-01425</p>
<p>Staff Signature:</p>	
<p>Date:</p>	



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)	
<input type="checkbox"/> Major – Preliminary Plat (Form P1)	<input checked="" type="checkbox"/> Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Major - Final Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Amendment to Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
	<input type="checkbox"/> Sidewalk Waiver (Form V2)	
SITE PLANS	<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)

BRIEF DESCRIPTION OF REQUEST

We are requesting adding an ATM at a parking island, removing 2 exterior doors at a proposed bank TI at Building F. relocating two ADA parking stalls from the south to the north end. No change to building foot print, square footage and total parking stall count.

APPLICATION INFORMATION		
Applicant: IPMI 6 LLC	Phone: 505-724-3518	
Address: 2400 12TH STREET NW	Email: mthompson@indianpueblo.com	
City: ALBUQUERQUE	State: NM	Zip: 87104
Professional/Agent (if any): Daniel Solares Jr. (Studio Southwest Architects)	Phone: 505-853-9639	
Address: 2101 Mountain Rd. NW Suite B	Email:	
City: ALBUQUERQUE	State: NM	Zip: 87104
Proprietary Interest in Site: Represent and Manage	List all owners: IPMI 6 LLC / 19 Pueblos	

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.: Tract A	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s): H-13-Z	Existing Zoning: MX-M	Proposed Zoning:
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (Acres): 5

LOCATION OF PROPERTY BY STREETS		
Site Address/Street: 2500 12TH STREET	Between: 12TH STREET	and: MENAU

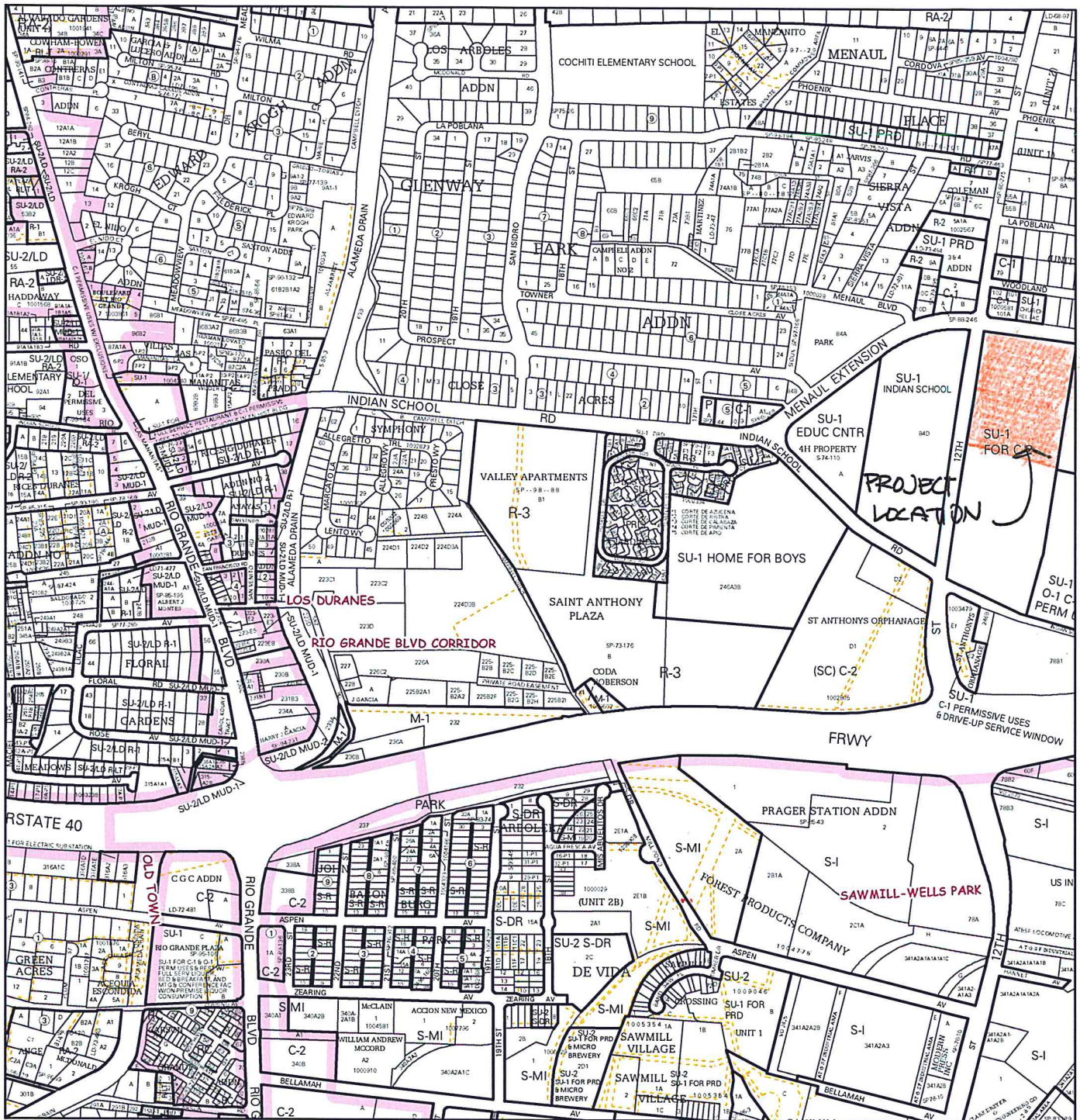
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

1000649, BP 2020-30554

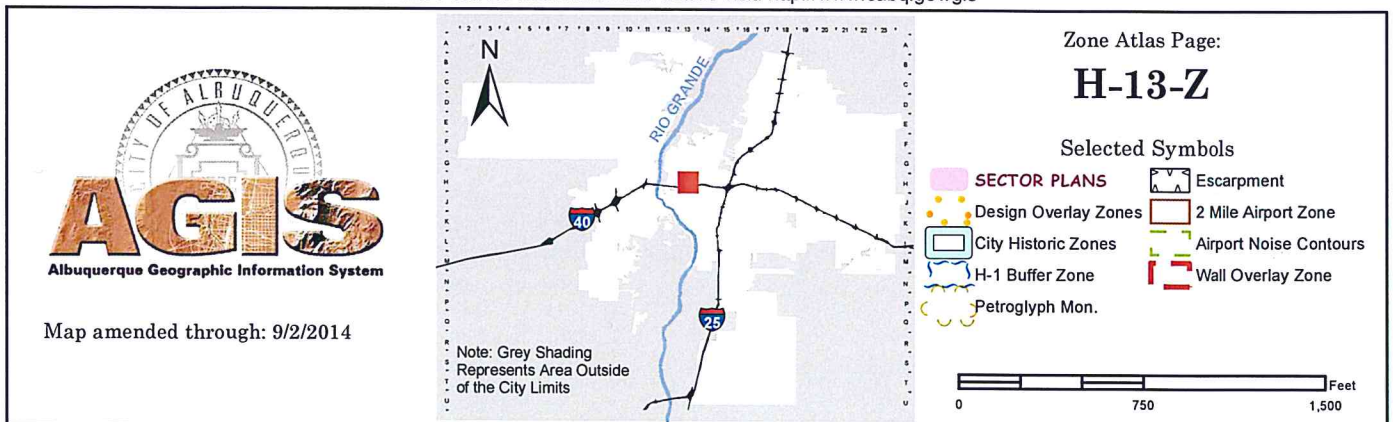
I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	Date: 07/23/2021
Printed Name: Daniel Solares Jr.	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY					
Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2021-01425	AA				
Meeting Date:				Fee Total:	
Staff Signature:	Date:			Project #PR-2018-001470	



For more current information and details visit: <http://www.cabq.gov/gis>





July 23, 2021

Jolene Wolfley, DRB Chair, Planning Department
Development Review Board
600 Second Street, NW
Albuquerque, NM 87102

Development Review Board – City of Albuquerque

Re: Request for a Minor Amendment to the approved Site Development Plan for Building Permit for the proposed new construction at 2500 12th Street NW

Dear Mrs. Wolfley:

As the authorized submitting agent for property owner IPMI 6, LLC (Indian Pueblo Cultural Center), Studio Southwest Architects requests your consideration for a Minor Amendment of an approved Site Development Plan located at 2500 12th Street in Albuquerque. Identified as PR-2018-001470_SI-2019-00421. We are requesting an approval for the removal of two exterior doors at Building F located on the west side of the proposed project boundaries. Building F has been leased to a new bank tenant who are proposing the removal of non-accessible back of house doors. The requested changes will not change or modify the buildings footprint nor add square footage. Please see the attached elevations showing the changes. The bank tenant has also requested an ATM within the parking lot. The location is centrally located and is identified and circled on the site plans. The proposed inclusion of an ATM does change or modify any curbs, walking paths nor number of total parking stalls. The final item is a request from the owner to relocate two ADA parking stalls from the south end in front of Building E to the north end where a large, proposed structure is in its early schematic design stage (Building H). The relocation of the ADA parking stalls does not change the overall number of approved parking stalls for the project.

Thank you for your time and consideration

A handwritten signature in blue ink, appearing to read 'Daniel Solares Jr.', is positioned above the typed name.

Daniel Solares Jr.
Senior Designer & Project Manager SSWA
(505) 843-9639



INDIAN PUEBLOS MARKETING, INC.

Acoma

Cochiti

Isleta

Jemez

Laguna

Nambe

Ohkay
Owingeh

Picuris

Pojoaque

Sandia

San
Felipe

San
Ildefonso

Santa
Ana

Santa
Clara

Santo
Domingo

Taos

Tesuque

Zia

Zuni

August 15, 2018

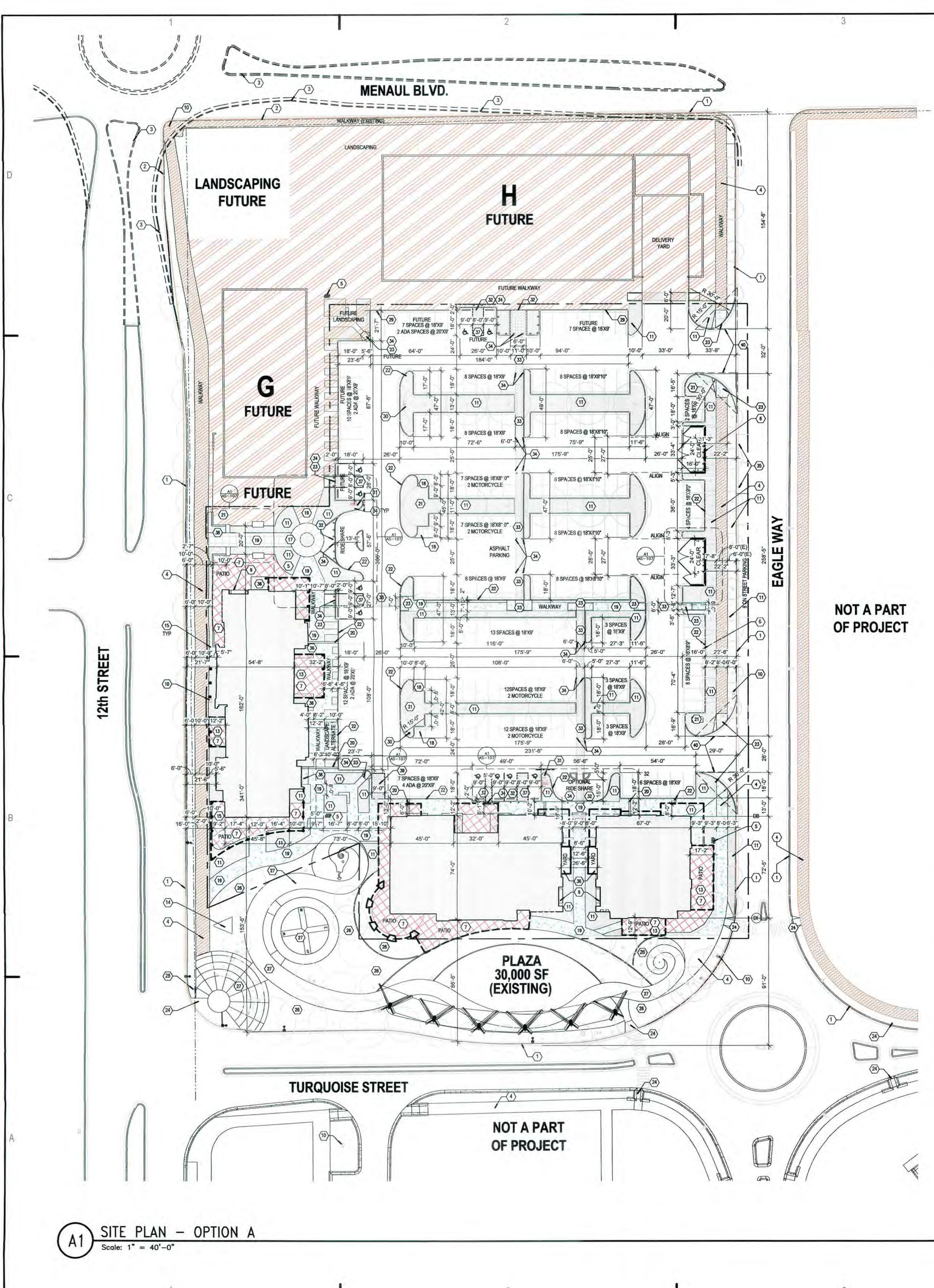
RE: IPMI 6, LLC
2401 12th Street NW
Albuquerque, NM 87104

To Whom It May Concern:

IPMI 6, LLC authorizes Danny Solares, of Studio Southwest Architects, to act as an authorized agent for the development project to be constructed at 2500 12th Street NW, Albuquerque, New Mexico. Mr. Solares shall be authorized to act on all matters regarding this property.

IPMI 6, LLC

Mark Thompson, Property Development Director



PROJECT NUMBER: PR-2018-001470
 APPLICATION NUMBER:
 Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.
 DRB SITE DEVELOPMENT PLAN APPROVAL:
 Traffic Engineer, Transportation Division: *Carl Garcia* (1-29-20) 1/29/20 Date
 Water Utility Development: *Carl Garcia* (1-29-20) 1/29/20 Date
 Parks & Recreation Department: *Carl Garcia* (1-29-20) 1-29-20 Date
 City Engineer: *Carl Garcia* (1-29-20) 1-29-20 Date
 N/A: 7/6/2020 Date
 * Environmental Health Department (conditional) See attached sheet Date
 Solid Waste Management: *Carl Garcia* (1-29-20) 1-29-20 Date
 DRB Chairperson, Planning Department: *Carl Garcia* (1-29-20) 1-29-20 Date
 * Environmental Health, if necessary

PARKING SPACE TABULATIONS

10 ACCESSIBLE SPACES AT 20' X 9'-0"
 119 SPACES AT 18' X 9'-0"
 54 SPACES AT 18' X 8'-10"
 14 SPACES AT 16' X 8'-9" (COMPACT)
 197 TOTAL OFF STREET PARKING SPACES

8 ON STREET PARKING
 205 TOTAL PARKING SPACES

ACCESSIBLE SPACES
 6 SPACES REQ. UNDER 200 (151-200) IBC TABLE 1106.1
 150 REQUIRED SPACES
 REQUIRED: 6 SPACES
 ACTUAL: 10 SPACES

IDO REQUIRED PARKING
 BUILDING D - 4,500SF
 E - 8,000SF
 F - 8,500SF
 PROPOSED SF: 21,000 SF (BLDGS D, E, F)

FUTURE H - 8,000SF
 FUTURE G - 20,000SF

PROPOSED + FUTURE SF: 49,000-50,000 SF (D,E,F,G,H)

PARKING CALCULATIONS:
 RETAIL: 4 SPACES/1000SF
 RESTAURANT: 8 SPACES/1000SF

PHASE 2 (PROPOSED)
 10,000 GSF: 40 SPACES
 11,000 GSF : 80 SPACES

PHASE 3 (FUTURE)
 24,000 GSF: 96 SPACES
 4,000 GSF : 32 SPACES

TOTAL 256 SPACES

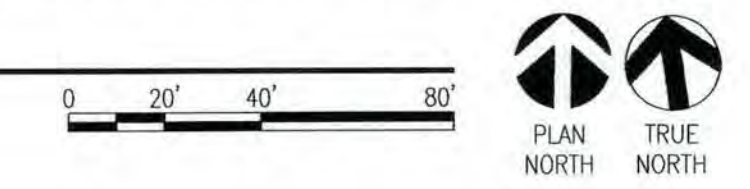
ORDINANCE 0-16-22: (PARKING REDUCTION)
 0-16-22: 25% PARKING (256 SPACES X 25% REDUCTION)
 REDUCTION - 64 SPACES
 REQUIRED: 192 TOTAL
 ACTUAL : 197 PARKING SPACES (OFF STREET)

SITE TABULATIONS:
 TOTAL ACREAGE OF PAD: 5.9 ACRES
 EXISTING PLAZA : .7 ACRES
 FUTURE STAGE OF WORK: 2.4 ACRES

TOTAL AREA OF PROPOSED WORK: 3.5 ACRES

LANDSCAPING: SEE LANDSCAPE DRAWINGS

- LEGEND**
- FUTURE BUILDING PAD
 - NEW CONCRETE WALKWAY
 - NEW SCORED SLAB AT PATIO WITH INTEGRATED COLOR
 - NEW LANDSCAPE
 - EXISTING CONCRETE WALKWAY
 - EXISTING CARRIAGE LANDSCAPE STRIP VERIFY TREE REQUIREMENTS



GENERAL NOTES

- 1) SEE SHEET G-001 FOR ADDITIONAL INFORMATION.
- 2) SEE SHEETS AS-105 & AS-106 FOR SITE DETAILS.
- 3) ALL LIGHTING WILL BE IN COMPLIANCE WITH ZONING CODE SECTION 14-16-3-9. AREA LIGHTING REGULATIONS SEE C3/AS-105 FOR TYPICAL PARKING LOT LIGHT FIXTURES. SEE SHEETS E-101 AND E-102.
- 4) ALL PEDESTRIAN SIDEWALKS U.N.O. WILL BE CONCRETE. SEE PLAN FOR WIDTH.
- 5) ALL VEHICULAR TRAFFIC AREAS WILL HAVE ASPHALTIC CONCRETE PAVING UNLESS NOTED OTHERWISE
- 6) IDENTIFY ALL COMPACT SPACES WITH "COMPACT" PAINTED ON THE PAVEMENT
- 7) ALL WHEELCHAIR RAMPS LOCATED WITHIN THE CITY RIGHT OF WAY MUST HAVE TRUNCATED DOMES. SEE DETAILS A1-A3/AS-105.
- 8) CRACKED SIDEWALK WILL NEED TO BE REPLACED IN KIND.

SHEET KEYED NOTES

1. EXISTING EDGE OF CURB.
2. EXISTING EDGE OF CURB TO REMAIN C.O.A. WILL DO FULL SIDEWALK AND STREET IMPROVEMENTS.
3. FUTURE LOCATION OF EDGE OF CURB SHOWN DASHED. REFER TO C.O.A. MENAU BLVD STREET IMPROVEMENT DRAWINGS.
4. EXISTING CONCRETE WALKWAY.
5. FUTURE BIKE RACK LOCATION. SEE C2/AS-105.
6. TRASH ENCLOSURE. CENTER ON DRIVE AISLE. SEE DETAIL A1/AS-106.
7. COLORED PATTERNED CONCRETE.
8. PROPOSED SITE SIGNAGE. NOT A PART OF THIS SUBMITTAL.
9. PROPOSED BUILDING UTILITY LOCATION.
10. EXISTING FIRE HYDRANT LOCATION.
11. NEW LANDSCAPING.
12. FUTURE 6" CARRIAGE STRIP. PROVIDE NECESSARY IRRIGATION PREP FOR FUTURE USE
13. WOOD TRELLIS SHADE STRUCTURE.SEE DASHED OUTLINE FOR EXTENTS.
14. PROPOSED ENTRY MONUMENT @ 12TH STREET.
15. 5'-6" MINIMUM CAFE SPACE.
16. NEW PATIO CONCRETE PAD.
17. PUBLIC OPEN SPACE. (PRIMARY ACTIVITY AREA). COLORED TEXTURED AND SCORED CONCRETE, LANDSCAPING AND ART YARD.
18. NEW MOTORCYCLE SPACES 4'X8' MIN. DIMENSION. SEE DETAIL B1/AS-105 FOR POSTED MOTORCYCLE PARKING SIGNAGE.
19. NEW CONCRETE WALKWAY.
20. NEW ROOF DRAIN CULVER. CONCRETE CULVERT FLUSH WITH CONCRETE WALKWAY.
21. NEW CONCRETE PAD AT ELECTRICAL TRANSFORMER LOCATION.
22. NEW CONCRETE CURB.
23. NEW CONCRETE ACCESSIBLE CURB RAMP. SEE A1-A3/AS-105.
24. EXISTING ACCESSIBLE CURB RAMP - NO CONSTRUCTION.
25. EXISTING BIKE RACK LOCATION.
26. EXISTING LANDSCAPING AT PLAZA. NO CONSTRUCTION.
27. EXISTING HARDSCAPE AT PLAZA. NO CONSTRUCTION.
28. EXISTING TRAFFIC SIGNAL.
29. TEMPORARY ASPHALT CURB. (FOR FUTURE CONSTRUCTION).
30. PROPOSED FIRE HYDRANT LOCATION.
31. REMOTE FDC LOCATION.
32. FLUSH CURB FOR PEDESTRIAN ACCESS.
33. ACCESSIBLE PEDESTRIAN INTEGRALLY COLORED CONCRETE.
34. BOLLARDS @ PATHWAY. SEE DETAIL C1/AS-105.
35. ON STREET PARKING.
36. OPTIONAL EMPLOYEE YARD T.B.D.
37. ACCESSIBLE PARKING STALLS 20'X9' MIN. DIMENSION. SEE DETAIL A4, B4, & B5/AS-105. ADA ACCESS AISLES SHALL PROVIDE THE WORDS "NO PARKING"
38. ENTRY ARCH
39. LOADING ZONE DESIGNATED AREA. 9'-0" WIDE X 18'-0" DEEP.
40. CLEAR SITE TRIANGLE. - LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



STUDIO SW ARCHITECTS
 2101 Mountain Road NW Suite B | Albuquerque NM 87104
 505-843-9639 | www.studioswarch.com

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CONSULTANTS

DRB SUBMITTAL

Architect: *Carl Garcia*
 Engineer: *Del Leroy Dixon*

STATE OF NEW MEXICO
 DEL LEROY DIXON
 12305
 Digitally signed by Del L. Dixon
 Date: 2020.08.30 15:08:27 -0500
 REGISTERED ARCHITECT

AVANYU RETAIL

2400 12TH STREET
 ALBUQUERQUE, NM 87104

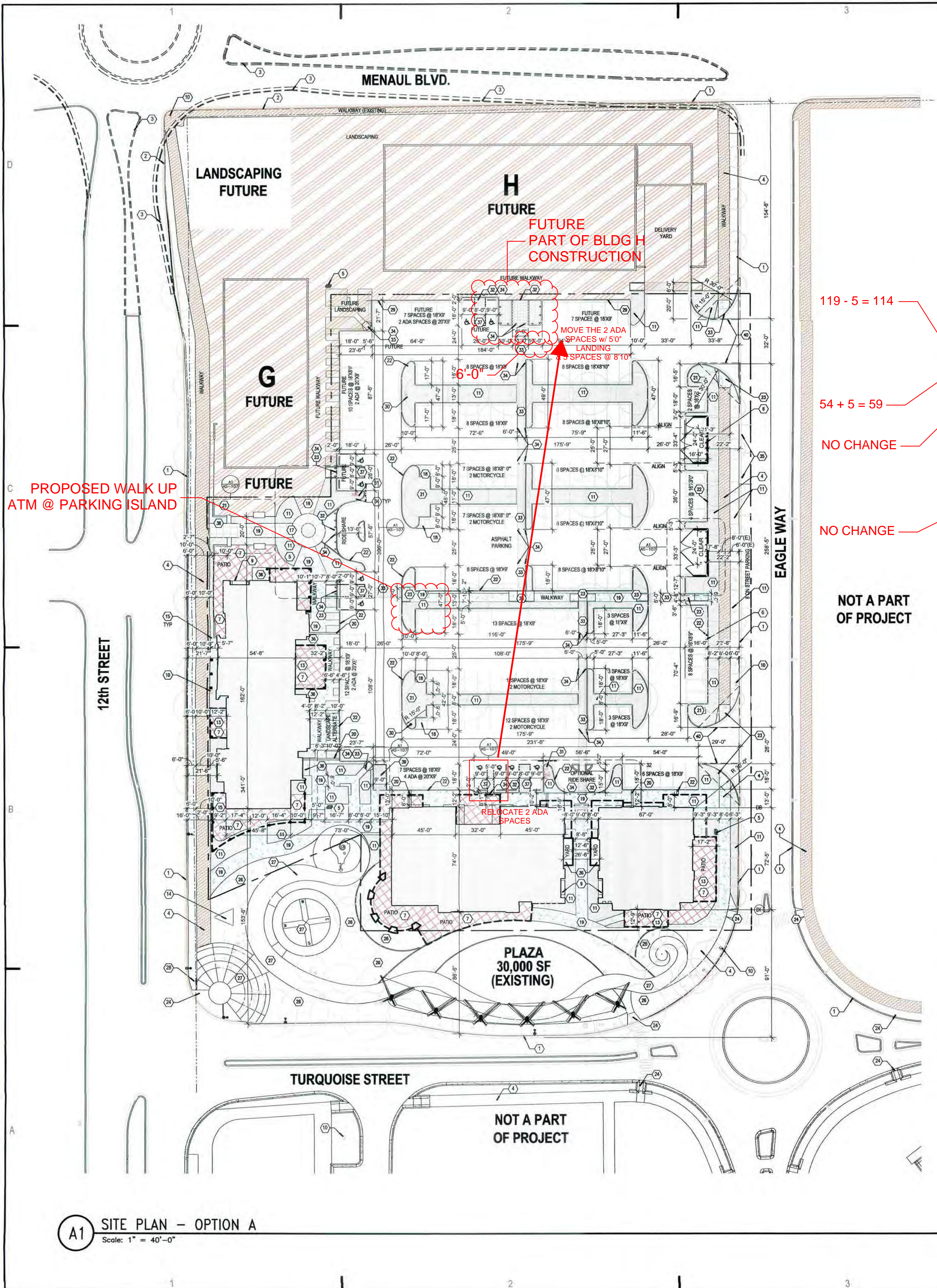
Key Plan
 NTS

No	Date	Description
Revision Schedule		
ISSUE:	DRB	
PROJECT NUMBER:	1836	
FILE:	1836 SP01.DWG	
DRAWN BY:	DS	
CHECKED BY:	RH	
DATE:	Project Issue Date	

SHEET TITLE
SITE PLAN FOR BUILDING PERMIT

AS-101

A1 SITE PLAN - OPTION A
 Scale: 1" = 40'-0"



PROJECT NUMBER: PR-2018-001470
 APPLICATION NUMBER:
 Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.
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 * Environmental Health Department (conditional)
 See attached sheet
 Solid Waste Management: *Carl Garcia* (1-29-20) 1-29-20
 Date: Jul 14, 2020
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 Carl Garcia (Jul 6, 2020 15:49 MDT)
 Jul 6, 2020
 Code Enforcement Date

- ### GENERAL NOTES
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ACCESSIBLE SPACES
 6 SPACES REQ. UNDER 200 (151-200) IBC TABLE 1106.1
 150 REQUIRED SPACES
 REQUIRED: 6 SPACES
 ACTUAL: 10 SPACES

MOTORCYCLE
 5 SPACES REQ. (151-300) IDO 5-5-D
 REQUIRED: 5 SPACES
 ACTUAL: 8 SPACES

BICYCLE SPACES
 12TH & MENAUL ORDINANCE:
 1 SPACE PER 20 SPACES
 REQUIRED: 10 SPACES
 ACTUAL: 16 SPACES

IDO REQUIRED PARKING

BUILDING D - 4,500SF
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 F - 8,500SF
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FUTURE H - 8,000SF
 FUTURE G - 20,000SF

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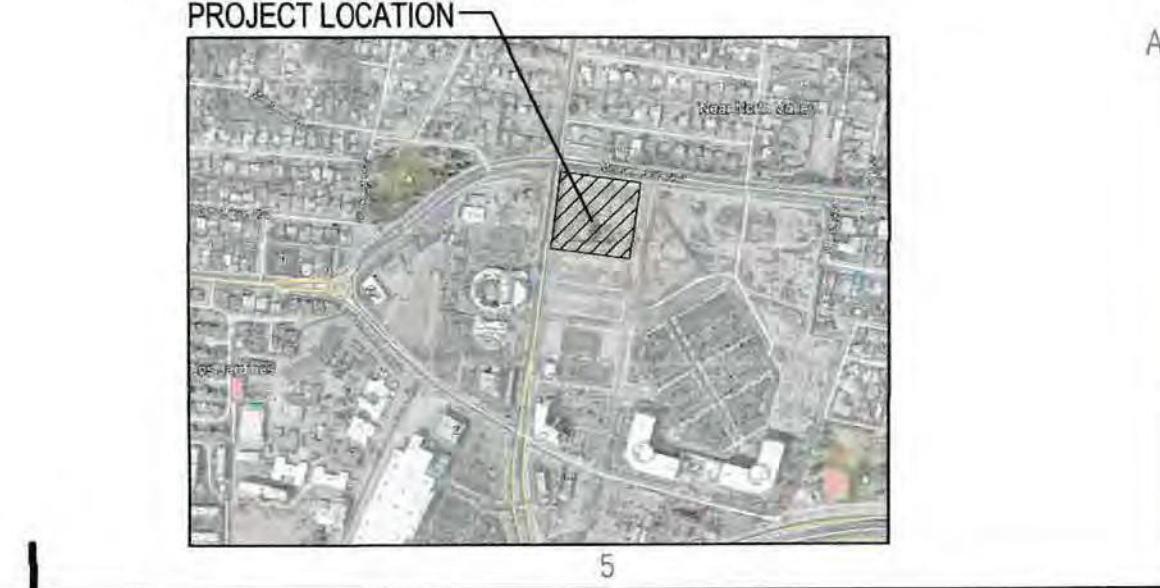
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 - COLOR PATTERNED CONCRETE.
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 - ACCESSIBLE PARKING STALLS 20'X9' MIN. DIMENSION. SEE DETAIL A4, B4, & B5/AS-105. ADA ACCESS AISLES SHALL PROVIDE THE WORDS "NO PARKING"
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 - LOADING ZONE DESIGNATED AREA. 9'-0" WIDE X 18'-0" DEEP. CLEAR SITE TRIANGLE. - LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



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 Carl Garcia (Jul 6, 2020 15:49 MDT)
 Jul 6, 2020
 Code Enforcement Date

CONSULTANTS

Architect: *Del Leroy Dixon*
 Engineer: *Del Leroy Dixon*
 STATE OF NEW MEXICO
 DEL LEROY DIXON
 03/2005
 Digitally signed by Del L. Dixon
 DN: cn=Del Leroy Dixon, o=Studio SW Architects, ou=Studio SW Architects, email=del@studioswarch.com, c=US

AVANYU RETAIL
 2400 12TH STREET
 ALBUQUERQUE, NM 87104

Key Plan
 NTS

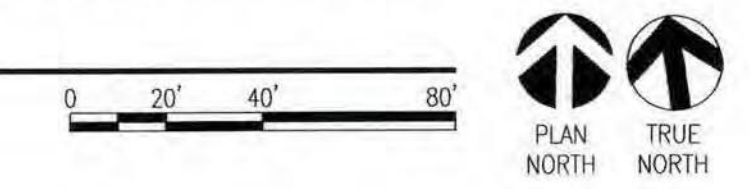
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Revision Schedule		
ISSUE:		DRB
PROJECT NUMBER:		1836
FILE:		1836 SP01.DWG
DRAWN BY:		DS
CHECKED BY:		RH
DATE:		Project Issue Date

SHEET TITLE
 SITE PLAN FOR BUILDING PERMIT

AS-101

DRB SUBMITTAL

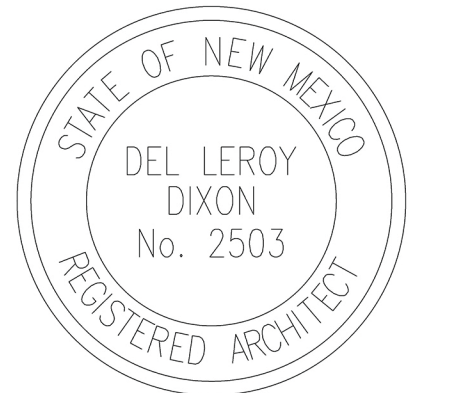
A1 SITE PLAN - OPTION A
 Scale: 1" = 40'-0"



CONSULTANTS

DRB SUBMITTAL

Architect Engineer



AVANYU NORTH - BUILDINGS D, E & F



2500 12th Street
ALBUQUERQUE, NM

Key Plan

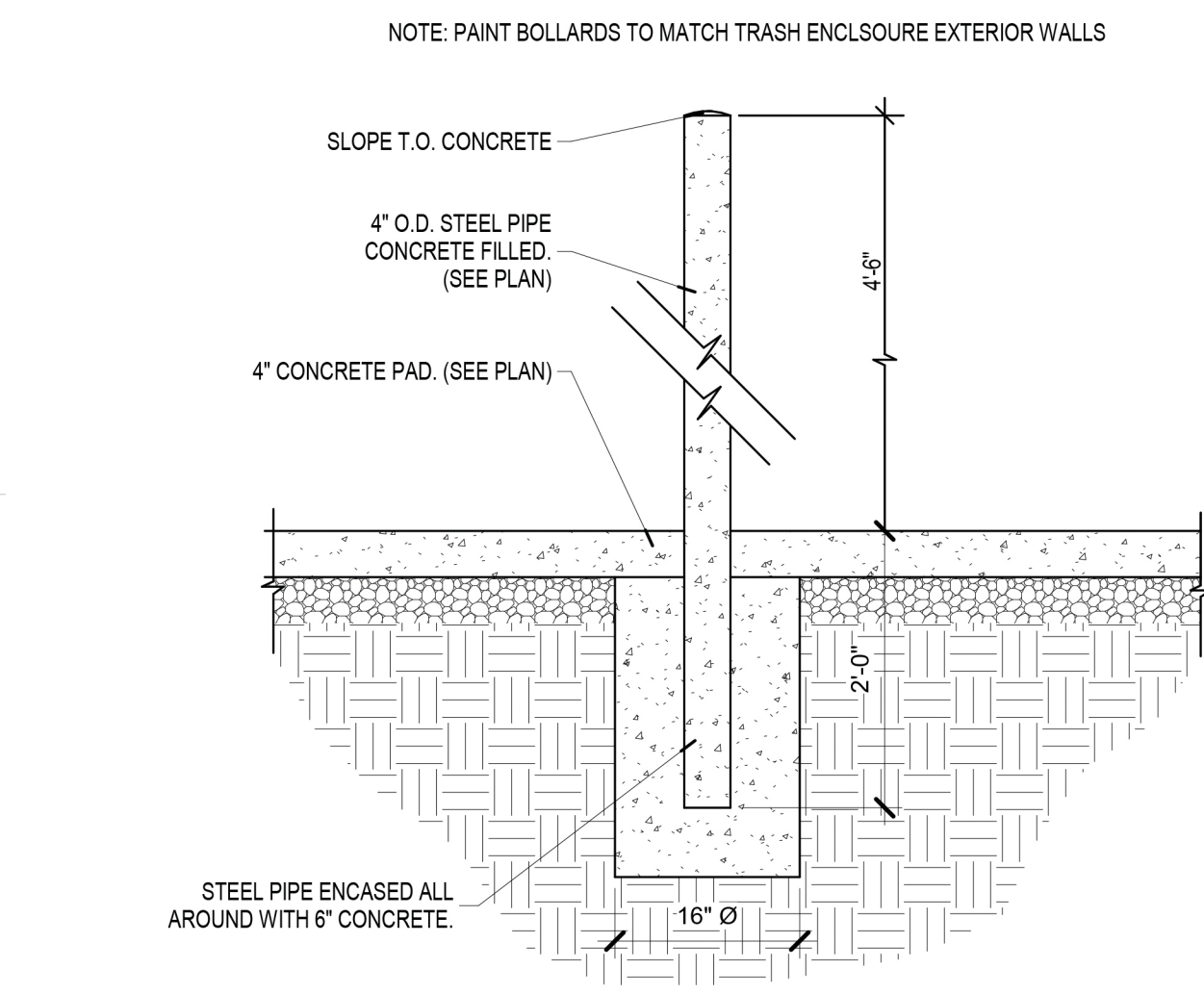
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No	Date	Description
Revision Schedule		
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PROJECT NUMBER:	1836	
FILE:	1836 Avanyu Bldg D R19	
DRAWN BY:	Author	
CHECKED BY:	Checker	
DATE:	12/01/2018	

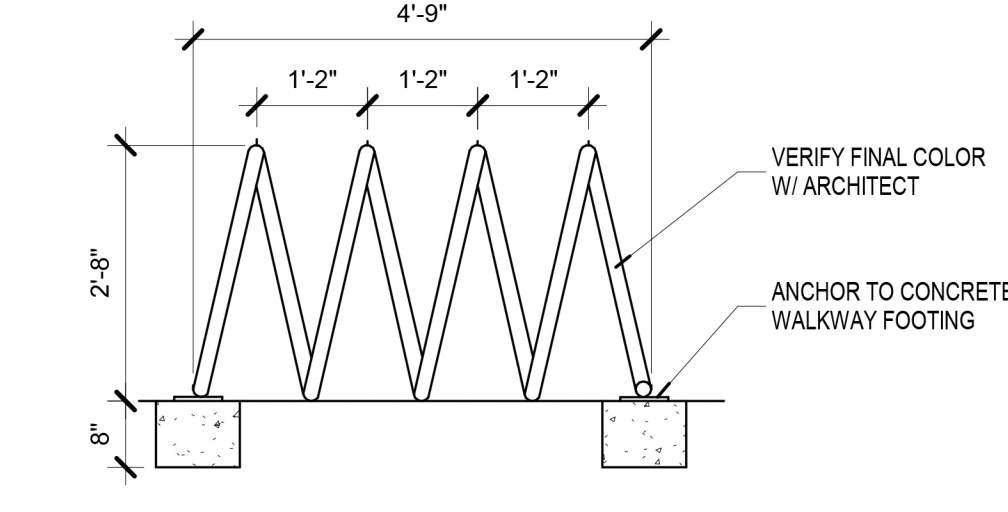
SHEET TITLE

SITE DETAILS

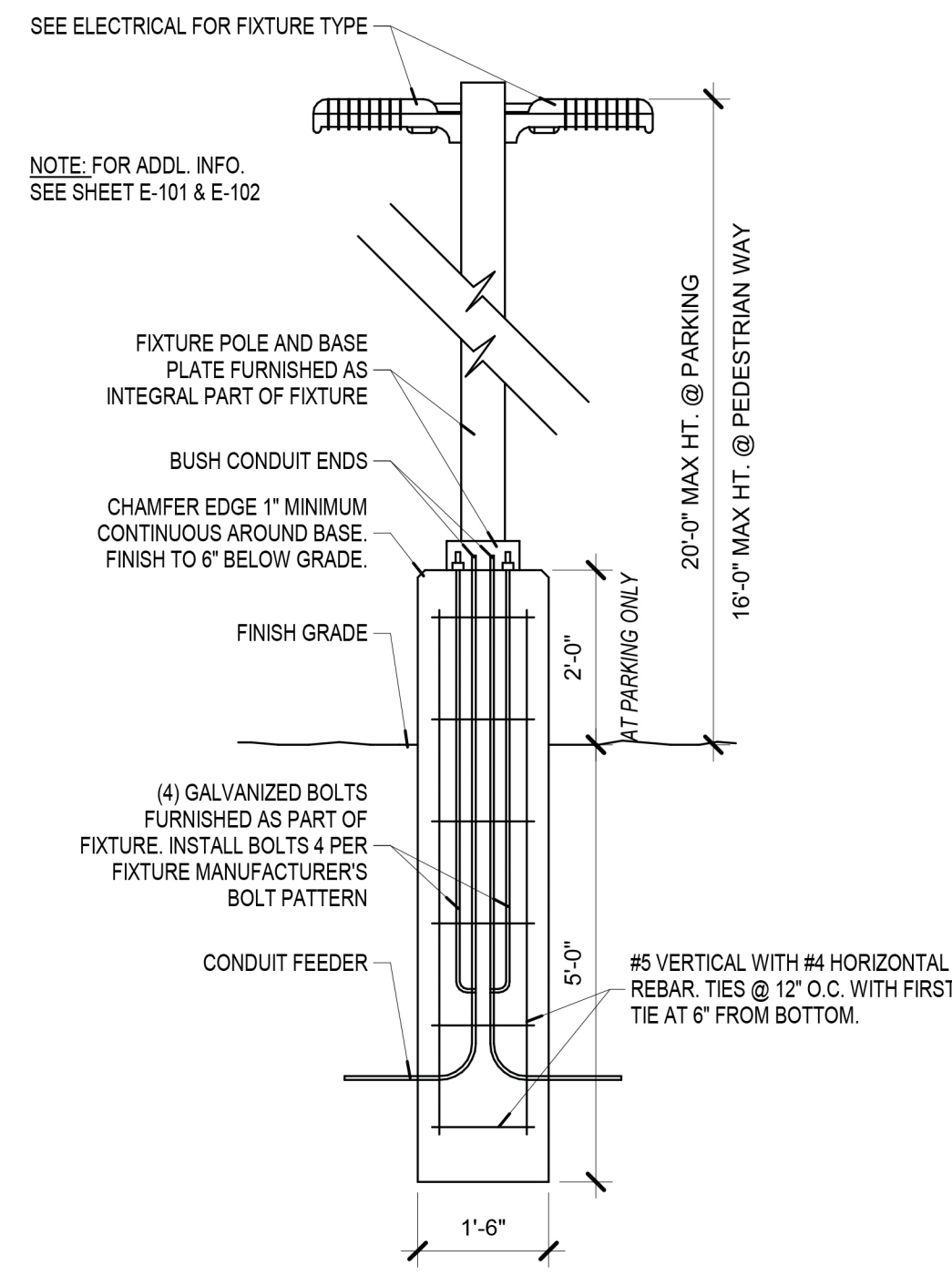
AS-105



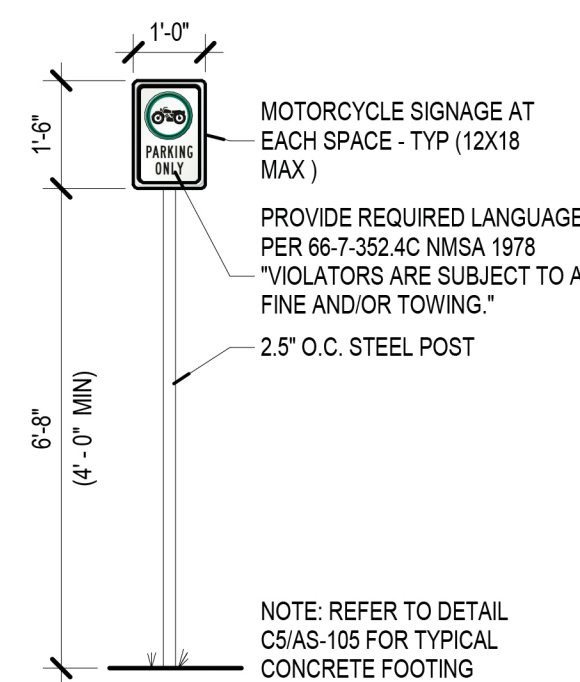
C1 BOLLARD
3/4" = 1'-0"



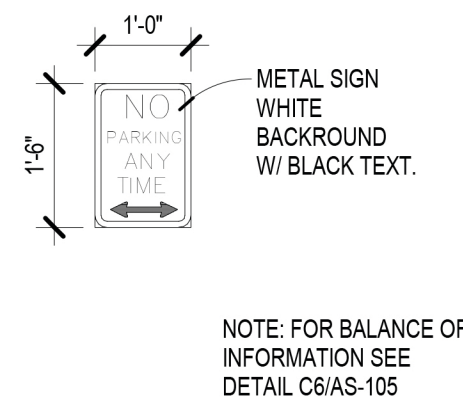
C2 COIL BIKE RACK
1/2" = 1'-0"



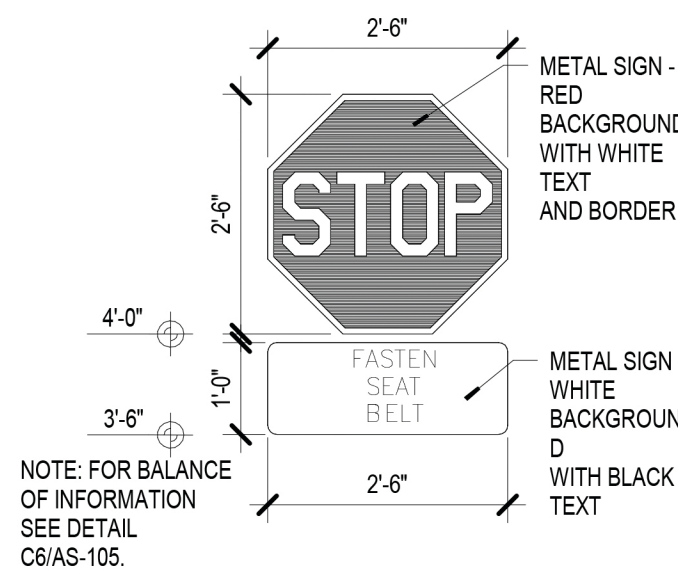
C3 LIGHTING
1/2" = 1'-0"



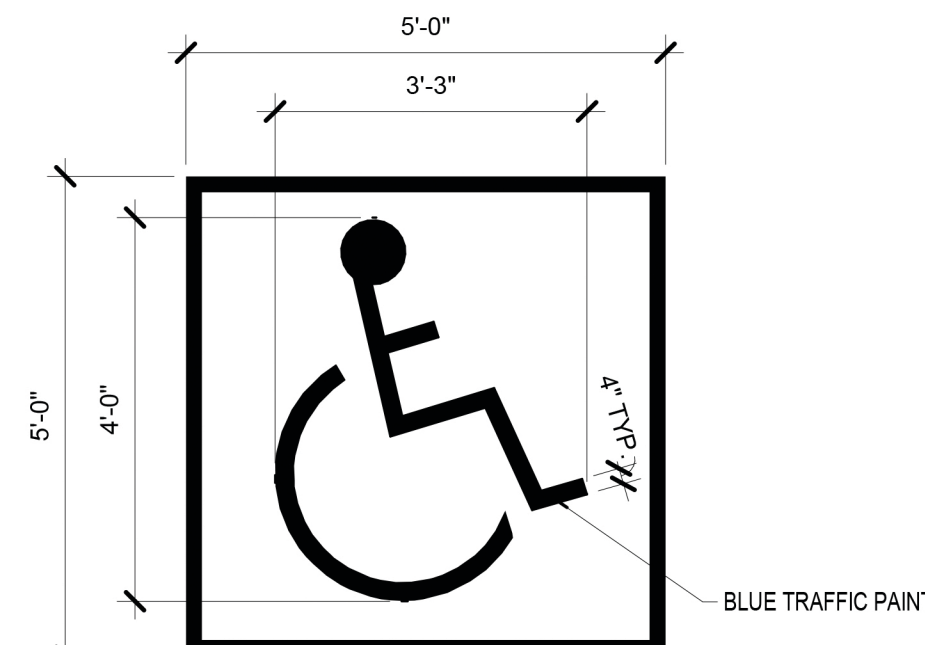
B1 MOTO SIGN
3/8" = 1'-0"



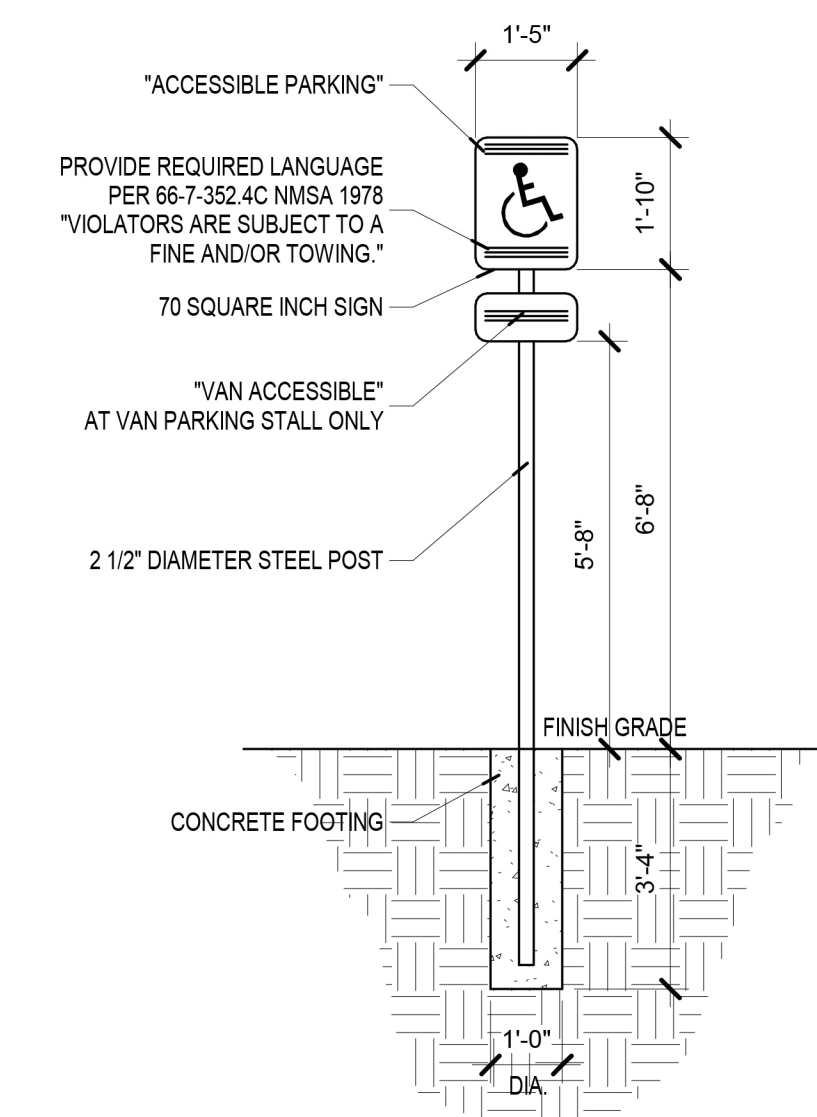
B2 NO PARKING SIGN 1
1/2" = 1'-0"



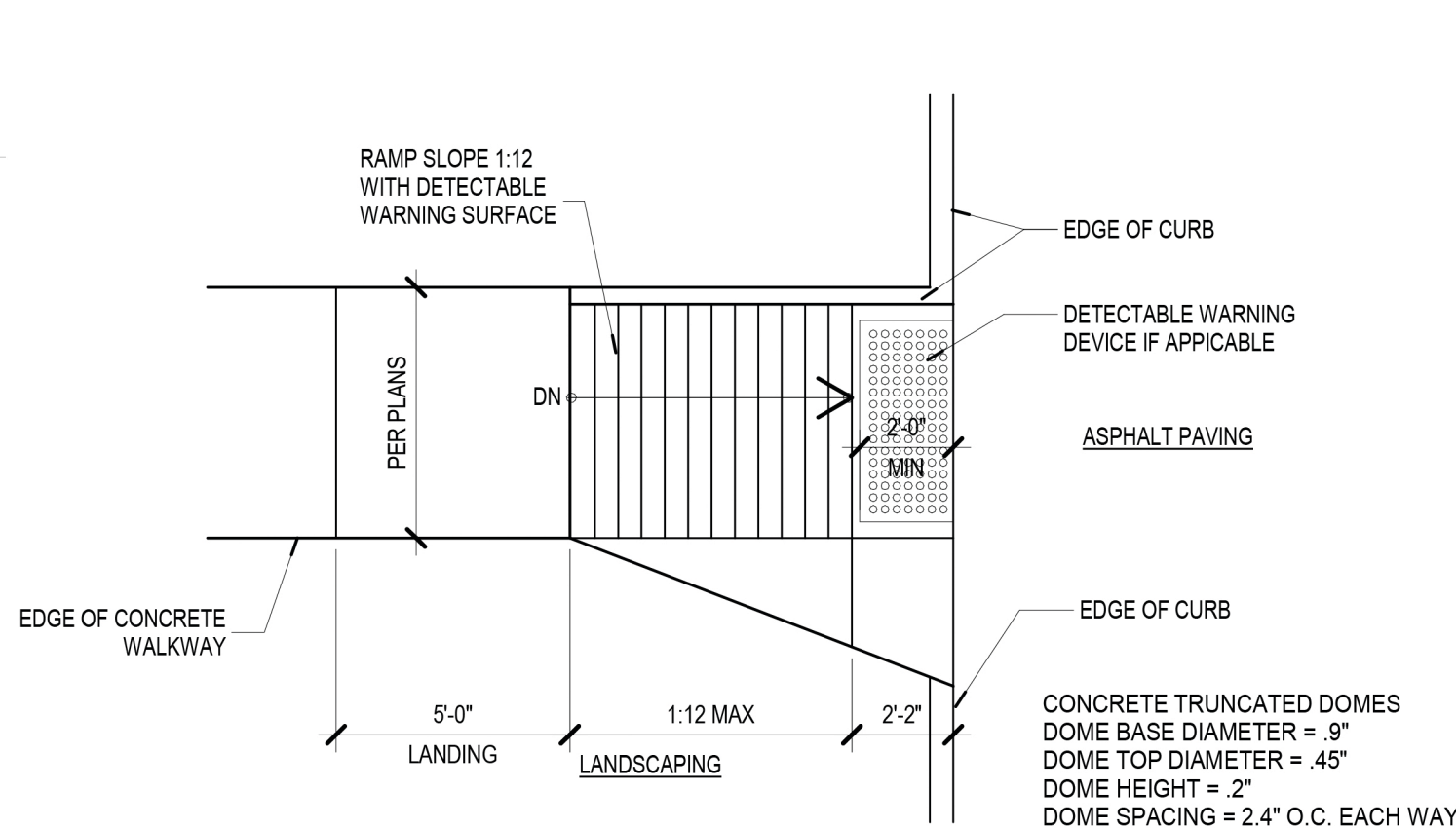
B3 STOP SIGN 1
1/2" = 1'-0"



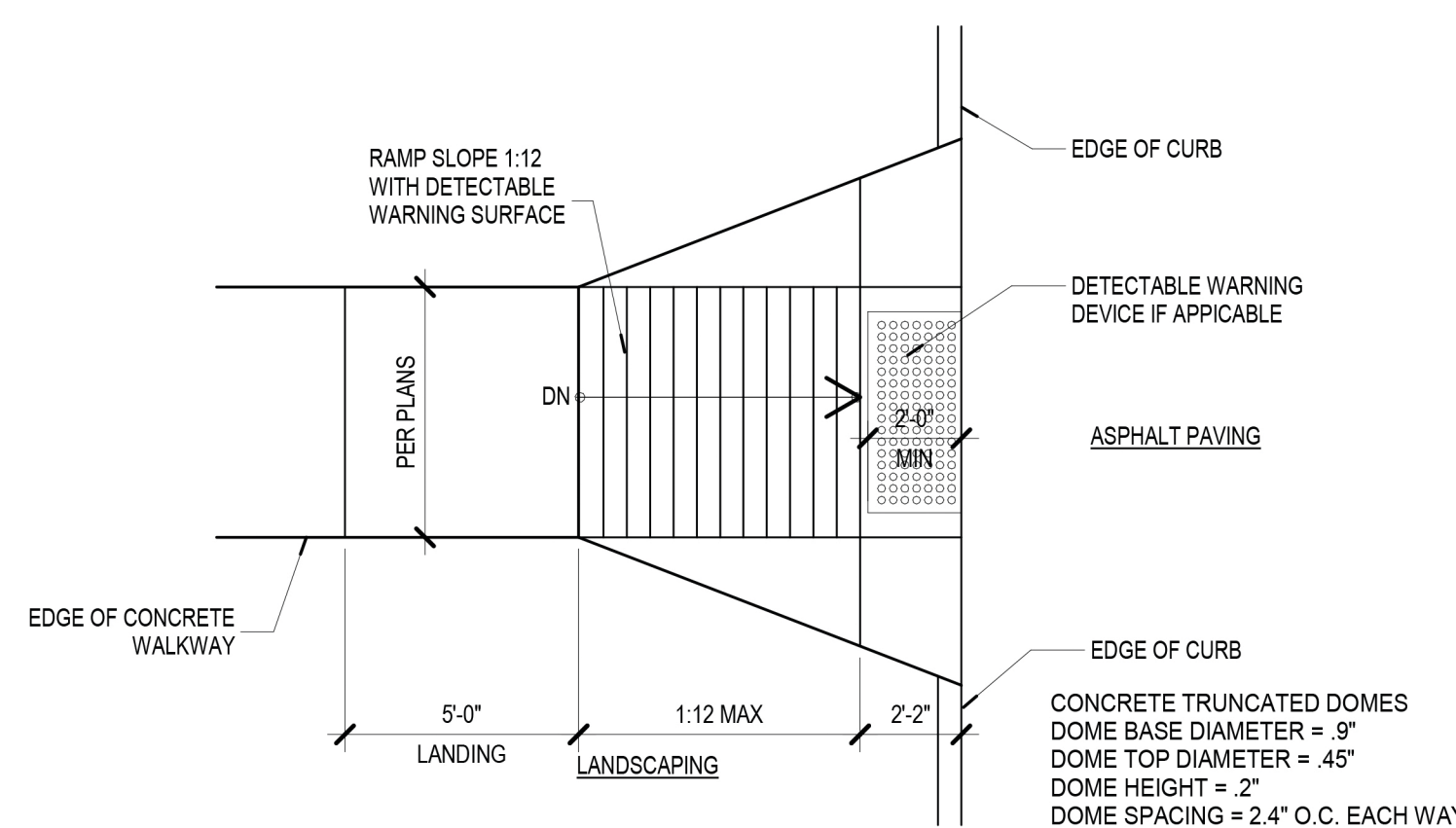
B4 ADA SIGNAGE AT STALL
1/2" = 1'-0"



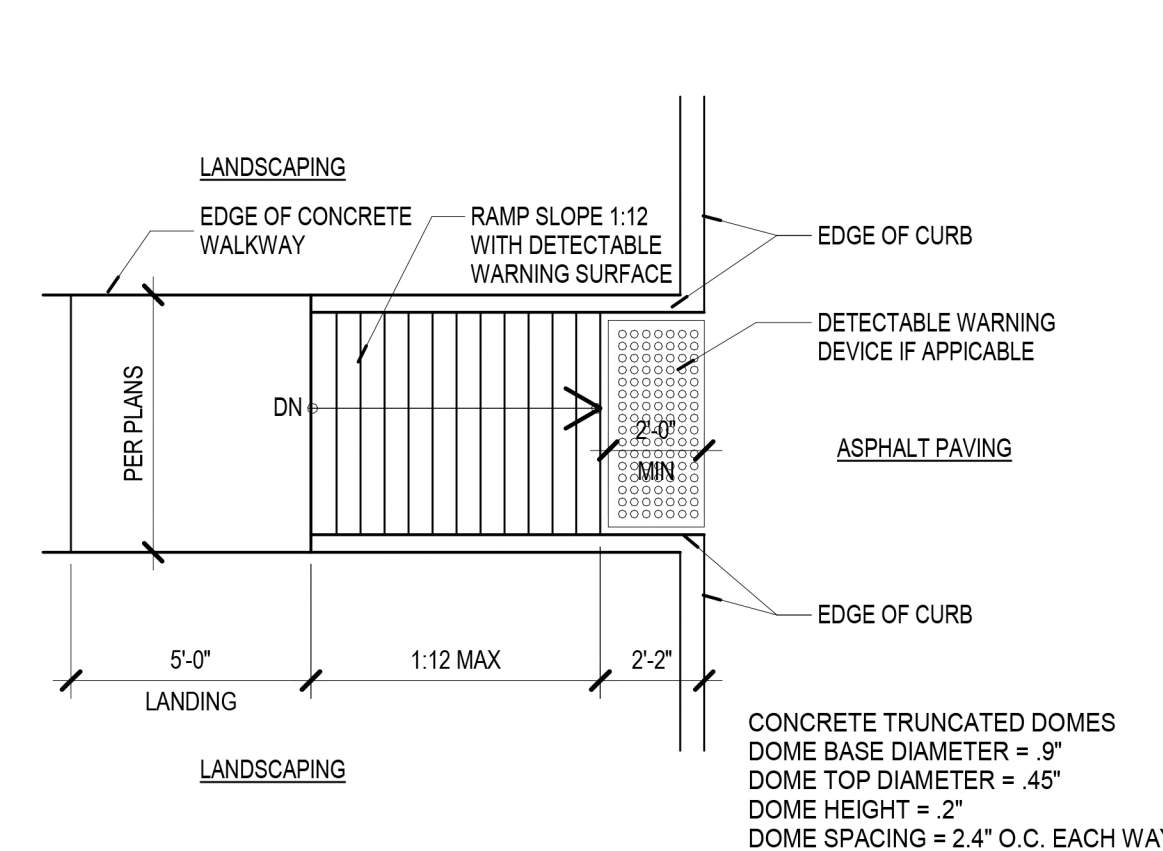
B5 ADA PARKING SIGNAGE
3/8" = 1'-0"



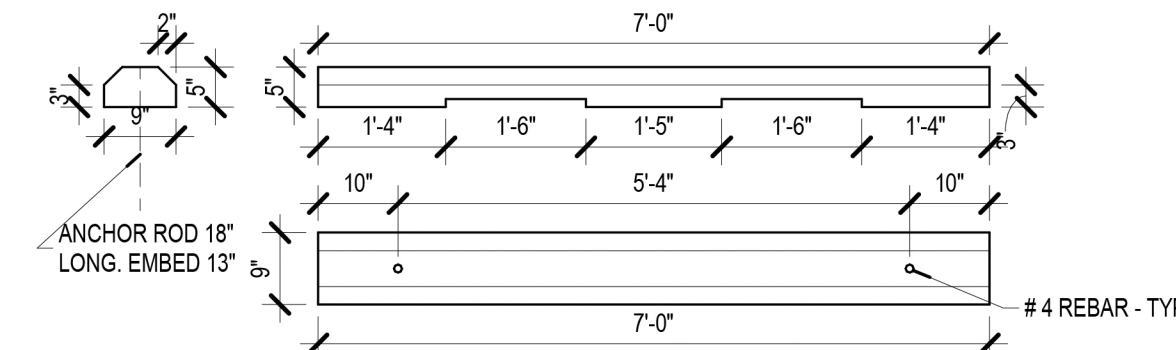
A1 CURB RAMP - 1
1/4" = 1'-0"



A2 CURB RAMP - 2
1/4" = 1'-0"



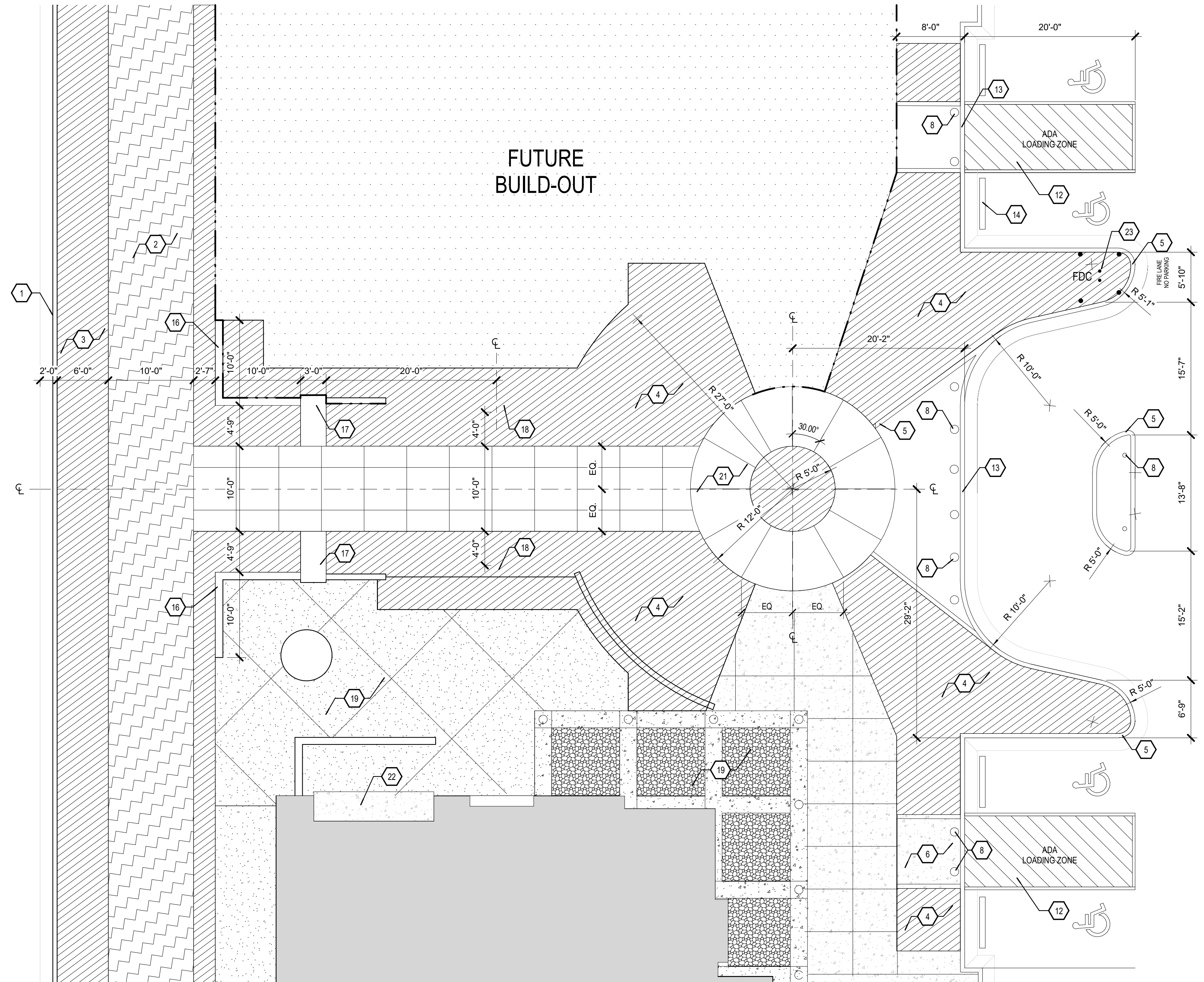
A3 CURB RAMP - 3
1/4" = 1'-0"



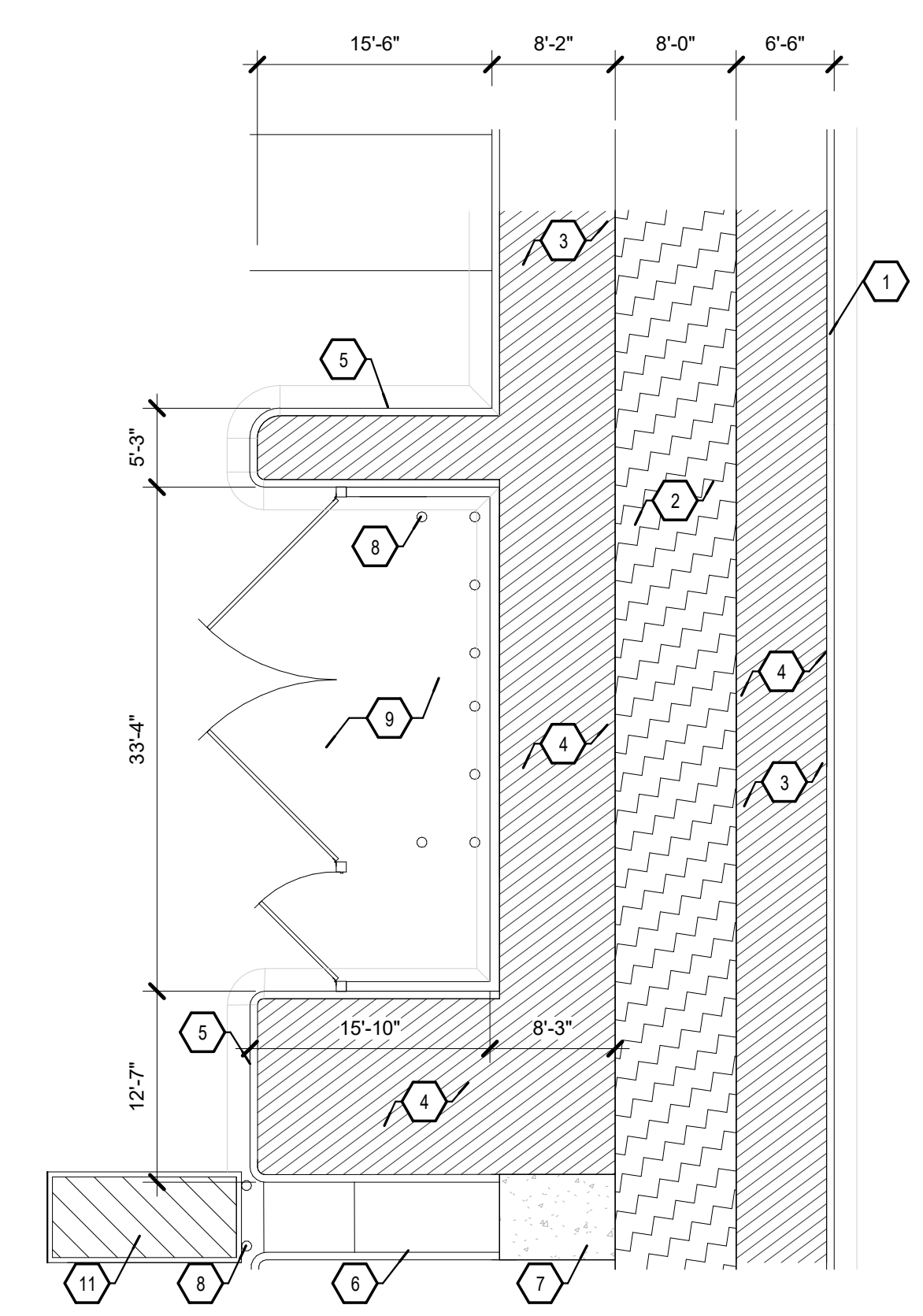
A4 CONCRETE WHEEL STOP
1/2" = 1'-0"

9/20/2021 2:58:01 PM

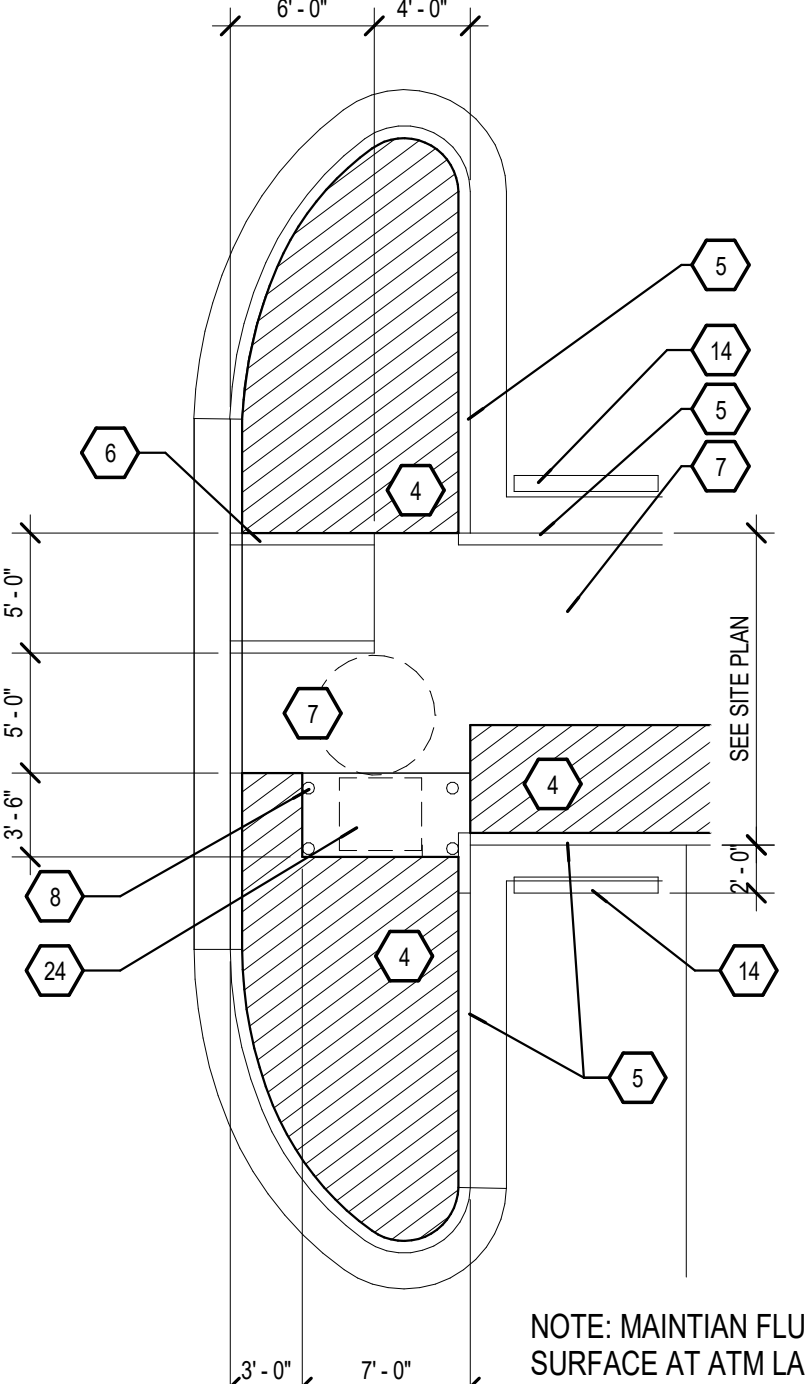
C:\Users\isolares\Documents\1836 Avanyu D - Central_isolares.rvt



C1 SITE PLAN CALLOUT 1
1/8" = 1'-0"



C4 SITE PLAN CALLOUT 4
1" = 10'-0"



B4 ATM at PARKING ISALND
1/8" = 1'-0"

GENERAL NOTES

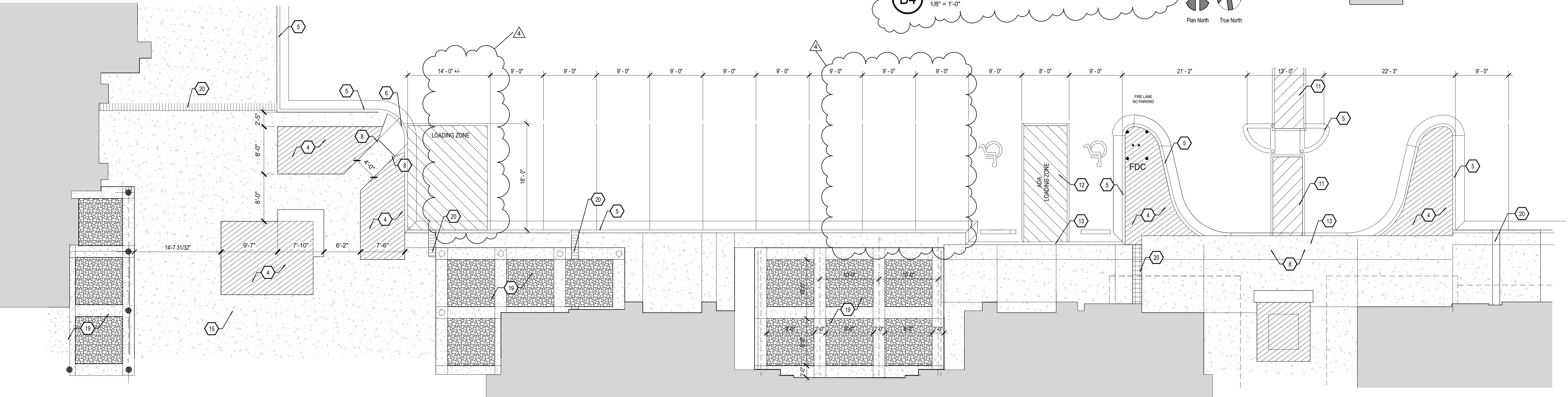
- A. COORDINATE WITH CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND LANDSCAPE
- B. VERIFY ALL SITE UTILITIES PRIOR TO CONSTRUCTION.
- C. PROVIDE VERTICAL AND HORIZONTAL DATA ON ALL CAPPED UTILITY LINES.
- D. FIRE DEPARTMENT ACCESS SHALL BE MAINTAINED THROUGHOUT ALL DEVELOPMENT CONSTRUCTION PHASES AS PER IFC SECTION 1410.1.
- E. REFER TO CIVIL FOR SITE SLOPES AND CONTOURS INCLUDING GRADING AND DRAINAGE AND SITE PAVING.
- F. SEE SHEET G-001 FOR ADDITIONAL INFORMATION.
- G. SEE SHEETS AS-105 AND AS-106 FOR SITE DETAILS.
- H. ALL LIGHTING WILL BE IN COMPLIANCE WITH ZONING CODE SECTION 14-16-3.8, AREA LIGHTING REGULATIONS SEE C3AS-105 FOR TYPICAL PARKING LOT LIGHT FIXTURES. SEE SHEETS E-101 AND E-102.
- I. ALL PEDESTRIAN SIDEWALKS U.N.O. WILL BE CONCRETE. SEE PLAN FOR WIDTH.
- J. ALL VEHICULAR TRAFFIC AREAS WILL HAVE ASPHALTIC CONCRETE PAVING UNLESS NOTED OTHERWISE.
- K. ALL ADA RAMPS LOCATED WITHIN THE CITY RIGHT-OF-WAY MUST HAVE TRUNCATED DOMES. SEE DETAILS A1-A3 / AS-105.
- L. CRACKED SIDEWALK WILL NEED TO BE REPLACED IN KIND.

KEYED NOTES

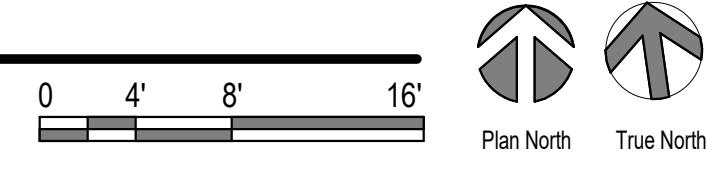
- 1. EXISTING EDGE OF CURB
- 2. EXISTING CONCRETE WALKWAY
- 3. EXISTING CARRIAGE WAY
- 4. NEW LANDSCAPING
- 5. NEW CONCRETE CURB
- 6. NEW CONCRETE ACCESSIBLE CURB RAMP, SEE A1-A3 / AS-105
- 7. NEW CONCRETE WALKWAY
- 8. BOLLARDS, SEE DETAIL A2 / AS-105
- 9. TRASH ENCLOSURE, SEE DETAIL D1, E1 / AS-105
- 10. CONCRETE WALKWAY
- 11. PEDESTRIAN WALK - STAMPED COLORED CONCRETE
- 12. DESIGNATED ADA LOADING ZONE, 9'-0" x 18'-0"
- 13. FLUSH CURB
- 14. CONCRETE CURB STOP, SEE CIVIL DRAWINGS.
- 15. BICYCLE RACK, SEE DETAIL B2 / AS-105
- 16. YARD WALL
- 17. ENTRY ARCH
- 18. ADA SIGNAGE
- 19. CONCRETE PATIO SCORED WITH INTEGRATED COLOR
- 20. NEW ROOF DRAIN CONCRETE CURB FLUSH WITH CONCRETE WALKWAY
- 21. PUBLIC OPEN SPACE (PRIMARY ACTIVITY AREA), COLORED, TEXTURED AND SCORED CONCRETE.
- 22. LANDSCAPING AREA AND ART YARD
- 23. PROPOSED BUILDING UTILITY LOCATION
- 24. REMOVED F.D.C. LOCATION
- 25. PROPOSED ATM LOCATION

LEGEND

- NEW CONCRETE WALKWAY
- NEW LANDSCAPING
- EXISTING WALKWAY
- CONCRETE PATIO SCORED WITH INTEGRATED COLOR
- FUTURE BUILD-OUT
- BUILDINGS (D, E OR F)



A1 SITE PLAN CALLOUT 5
1/8" = 1'-0"



Architect Engineer

AVANYU NORTH - BUILDING D

2500 12th Street
ALBUQUERQUE, NM

F **E** **D**

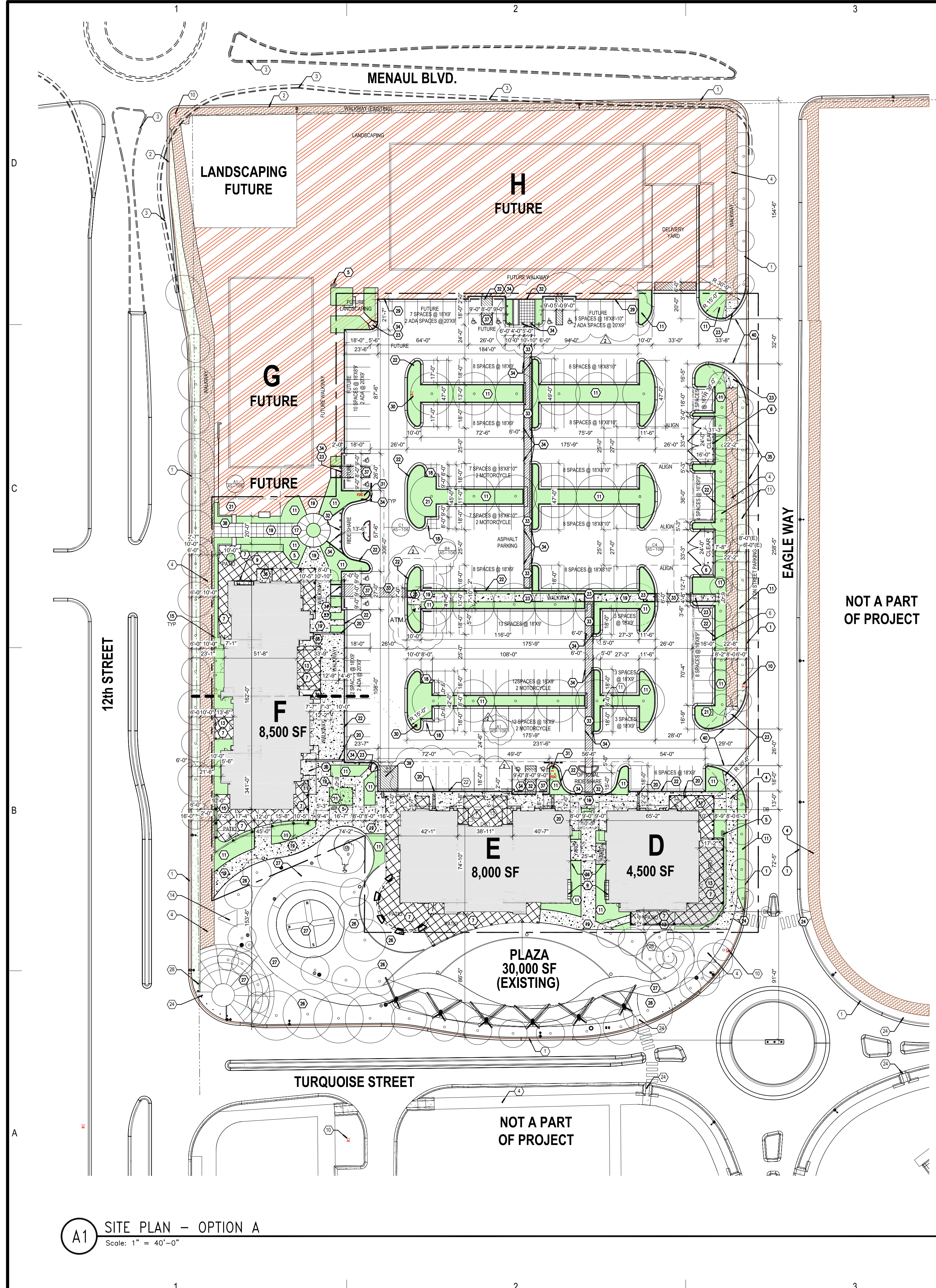
Key Plan

No	Date	AS/RB	Description
4	05/30/20	AS/RB	

ISSUE:	BID
PROJECT NUMBER:	1836
FILE:	1836 Avanyu Bldg D R19
DRAWN BY:	Author
CHECKED BY:	Checker
DATE:	07/08/2020

SHEET TITLE
SITE DETAILS

AS-106



PROJECT NUMBER: _____
 APPLICATION NUMBER: _____
 Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.
 DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

PARKING SPACE TABULATIONS

10	ACCESSIBLE SPACES AT 20' X 9'-0"
114	SPACES AT 18' X 9'-0"
59	SPACES AT 18' X 8'-10"
14	SPACES AT 16' X 8'-9" (COMPACT)
197	TOTAL OFF STREET PARKING SPACES

8	ON STREET PARKING	MOTORCYCLE
205	TOTAL PARKING SPACES	5 SPACES REQ. (151-300) IDO 5-5 D
		REQUIRED: 8 SPACES
		ACTUAL: 8 SPACES

6	SPACES REQ. UNDER 200 (151-200) IBC TABLE 1106.1	BICYCLE SPACES
150	REQUIRED SPACES	12TH & MENAUL ORDINANCE:
		1 SPACE PER 20 SPACES
		REQUIRED: 10 SPACES
		ACTUAL: 16 SPACES

IDO REQUIRED PARKING

BUILDING D - 4,500SF
 E - 8,000SF
 F - 8,500SF

PROPOSED SF: 21,000 SF (BLDGS D, E, F)

FUTURE H - 20,000SF
 FUTURE G - 8,000SF

PROPOSED + FUTURE SF: 49,000-50,000 SF (D,E,F,G,H)

PARKING CALCULATIONS:

RETAIL: 4 SPACES/1000SF	PHASE 2 (PROPOSED)
RESTAURANT: 8 SPACES/1000SF	10,000 GSF: 40 SPACES
	11,000 GSF : 80 SPACES

RETAIL: 4 SPACES/1000SF	PHASE 3 (FUTURE)
RESTAURANT: 8 SPACES/1000SF	24,000 GSF: 96 SPACES
	4,000 GSF : 32 SPACES

TOTAL 256 SPACES

ORDINANCE 0-16-22: (PARKING REDUCTION)

0-16-22: 25% PARKING (256 SPACES X 25% REDUCTION)
 REDUCTION - 64 SPACES

REQUIRED: 192 TOTAL
 ACTUAL : 197 PARKING SPACES (OFF STREET)

SITE TABULATIONS:

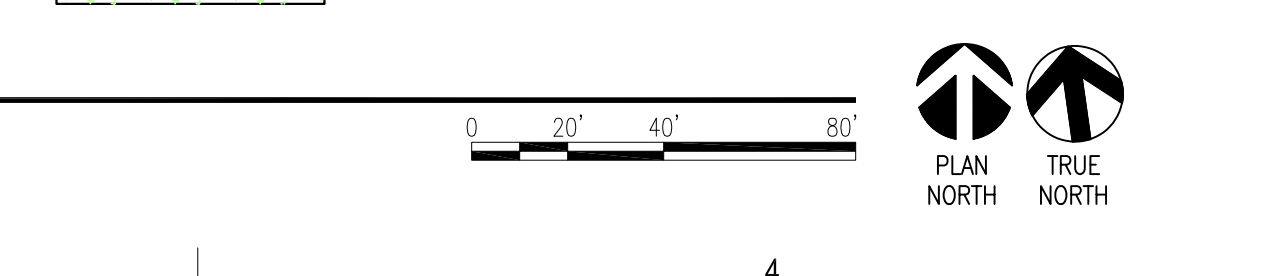
TOTAL ACREAGE OF PAD: 5.9 ACRES
 EXISTING PLAZA : .7 ACRES
 FUTURE STAGE OF WORK: 2.4 ACRES

TOTAL AREA OF PROPOSED WORK: 3.5 ACRES

LANDSCAPING: SEE LANDSCAPE DRAWINGS

LEGEND

	FUTURE BUILDING PAD
	NEW CONCRETE WALKWAY
	NEW SCORED SLAB AT PATIO WITH INTEGRATED COLOR
	NEW LANDSCAPE
	EXISTING CONCRETE WALKWAY
	EXISTING CARRIAGE LANDSCAPE STRIP VERIFY TREE REQUIREMENTS



A1 SITE PLAN - OPTION A
 Scale: 1" = 40'-0"

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GENERAL NOTES

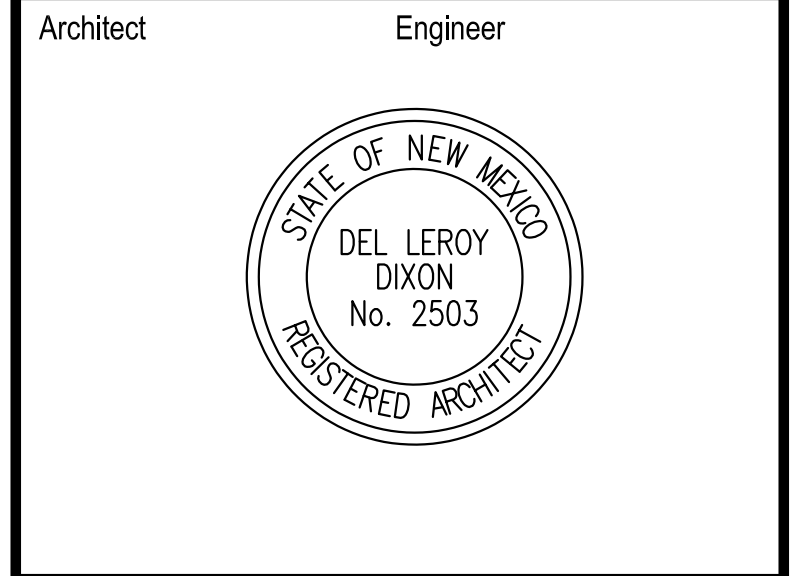
- SEE SHEET G-001 FOR ADDITIONAL INFORMATION.
- SEE SHEETS AS-105 & AS-106 FOR SITE DETAILS.
- ALL LIGHTING WILL BE IN COMPLIANCE WITH ZONING CODE SECTION 14-16-3-9. AREA LIGHTING REGULATIONS SEE C3/AS-105 FOR TYPICAL PARKING LOT LIGHT FIXTURES. SEE SHEETS E-101 AND E-102.
- ALL PEDESTRIAN SIDEWALKS U.N.O. WILL BE CONCRETE. SEE PLAN FOR WIDTH.
- ALL VEHICULAR TRAFFIC AREAS WILL HAVE ASPHALTIC CONCRETE PAVING UNLESS NOTED OTHERWISE
- IDENTIFY ALL COMPACT SPACES WITH "COMPACT" PAINTED ON THE PAVEMENT
- ALL WHEELCHAIR RAMPS LOCATED WITHIN THE CITY RIGHT OF WAY MUST HAVE TRUNCATED DOMES. SEE DETAILS A1-A3/AS-105.
- CRACKED SIDEWALK WILL NEED TO BE REPLACED IN KIND.

SHEET KEYED NOTES

- EXISTING EDGE OF CURB.
- EXISTING EDGE OF CURB TO REMAIN C.O.A. WILL DO FULL SIDEWALK AND STREET IMPROVEMENTS.
- FUTURE LOCATION OF EDGE OF CURB SHOWN DASHED. REFER TO C.O.A. MENAUL BLVD STREET IMPROVEMENT DRAWINGS.
- EXISTING CONCRETE WALKWAY.
- FUTURE BIKE RACK LOCATION. SEE C2/AS-105.
- TRASH ENCLOSURE. CENTER ON DRIVE AISLE. SEE DETAIL A1/AS-106.
- COLOR PATTERNED CONCRETE.
- PROPOSED SITE SIGNAGE. NOT A PART OF THIS SUBMITTAL.
- PROPOSED BUILDING UTILITY LOCATION.
- EXISTING FIRE HYDRANT LOCATION.
- NEW LANDSCAPING.
- FUTURE 6' CARRIAGE STRIP. PROVIDE NECESSARY IRRIGATION PREP FOR FUTURE USE
- WOOD TRELLIS SHADE STRUCTURE. SEE DASHED OUTLINE FOR EXTENTS.
- PROPOSED ENTRY MONUMENT @ 12TH STREET.
- 5'-6" MINIMUM CAFE SPACE.
- NEW PATIO CONCRETE PAD.
- PUBLIC OPEN SPACE. (PRIMARY ACTIVITY AREA). COLORED TEXTURED AND SCORED CONCRETE, LANDSCAPING AND ART YARD.
- NEW MOTORCYCLE SPACES 4'X8' MIN. DIMENSION. SEE DETAIL B1/AS-105 FOR POSTED MOTORCYCLE PARKING SIGNAGE.
- NEW CONCRETE WALKWAY.
- NEW CONCRETE PAD AT ELECTRICAL TRANSFORMER LOCATION.
- NEW CONCRETE CURB.
- NEW CONCRETE ACCESSIBLE CURB RAMP. SEE A1-A3/AS-105.
- EXISTING ACCESSIBLE CURB RAMP - NO CONSTRUCTION.
- EXISTING BIKE RACK LOCATION.
- EXISTING LANDSCAPING AT PLAZA. NO CONSTRUCTION.
- EXISTING HARDSCAPE AT PLAZA. NO CONSTRUCTION.
- EXISTING TRAFFIC SIGNAL.
- TEMPORARY ASPHALT CURB. (FOR FUTURE CONSTRUCTION).
- PROPOSED FIRE HYDRANT LOCATION.
- REMOTE FDC LOCATION.
- FLUSH CURB FOR PEDESTRIAN ACCESS.
- ACCESSIBLE PEDESTRIAN INTEGRALLY COLORED CONCRETE.
- BOLLARDS @ PATHWAY. SEE DETAIL C1/AS-105.
- ON STREET PARKING.
- OPTIONAL EMPLOYEE YARD T.B.D.
- ACCESSIBLE PARKING STALLS 20'X9' MIN. DIMENSION. SEE DETAIL A4, B4, & B5/AS-105. ADA ACCESS AISLES SHALL PROVIDE THE WORDS "NO PARKING".
- ENTRY ARCH
- LOADING ZONE DESIGNATED AREA. 9'-0" WIDE X 18'-0" DEEP. CLEAR SITE TRIANGLE. - LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

CONSULTANTS

Architect: _____
 Engineer: _____



AVANYU RETAIL

2400 12TH STREET
 ALBUQUERQUE, NM 87104

Key Plan

NTS

No	Date	Description
Revision Schedule		
ISSUE:	DRB	
PROJECT NUMBER:	1836	
FILE:	1836 SP01.DWG	
DRAWN BY:	DS	
CHECKED BY:	RH	
DATE:	Project Issue Date	

SHEET TITLE
SITE PLAN FOR BUILDING PERMIT

AS-101

DRB SUBMITTAL