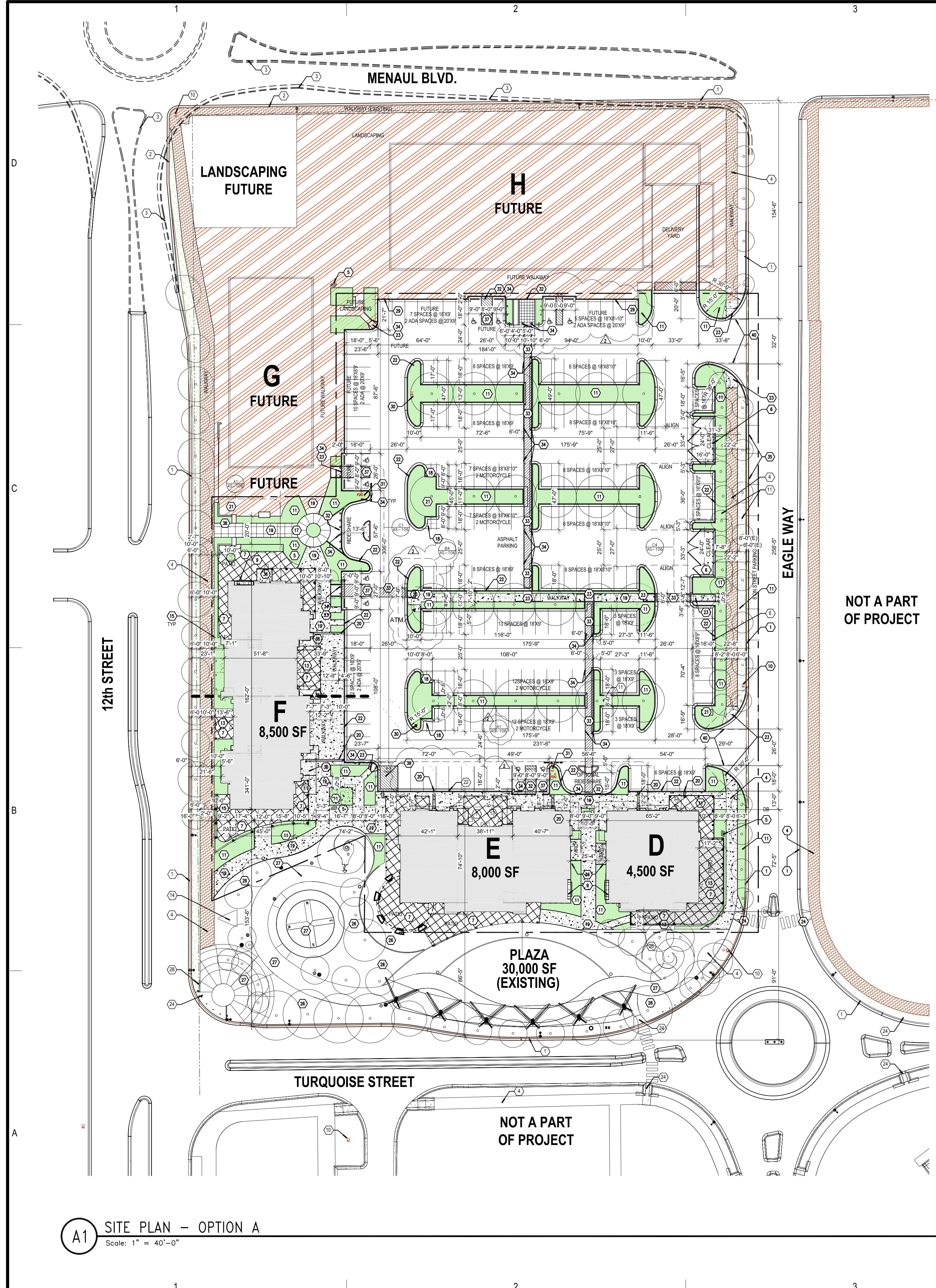


ADMINISTRATIVE AMENDMENT

FILE #: _____ PROJECT #: _____

APPROVED BY

DATE



PROJECT NUMBER: _____
 APPLICATION NUMBER: _____
 Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.
 DRB SITE DEVELOPMENT PLAN APPROVAL:

| | |
|---|------|
| Traffic Engineer, Transportation Division | Date |
| Water Utility Development | Date |
| Parks & Recreation Department | Date |
| City Engineer | Date |
| * Environmental Health Department (conditional) | Date |
| Solid Waste Management | Date |
| DRB Chairperson, Planning Department | Date |

PARKING SPACE TABULATIONS

| | |
|-----|----------------------------------|
| 10 | ACCESSIBLE SPACES AT 20' X 9'-0" |
| 114 | SPACES AT 18' X 9'-0" |
| 59 | SPACES AT 18' X 8'-10" |
| 14 | SPACES AT 16' X 8'-9" (COMPACT) |
| 197 | TOTAL OFF STREET PARKING SPACES |

| | | |
|-----|----------------------|-----------------------------------|
| 8 | ON STREET PARKING | MOTORCYCLE |
| 205 | TOTAL PARKING SPACES | 5 SPACES REQ. (151-300) IDO 5-5 D |
| | | REQUIRED: 8 SPACES |
| | | ACTUAL: 8 SPACES |

| | | |
|-----|--|--------------------------|
| 6 | SPACES REQ. UNDER 200 (151-200) IBC TABLE 1106.1 | BICYCLE SPACES |
| 150 | REQUIRED SPACES | 12TH & MENAUL ORDINANCE: |
| | | 1 SPACE PER 20 SPACES |
| | | REQUIRED: 10 SPACES |
| | | ACTUAL: 16 SPACES |

IDO REQUIRED PARKING

BUILDING D - 4,500SF
 E - 8,000SF
 F - 8,500SF

PROPOSED SF: 21,000 SF (BLDGS D, E, F)

FUTURE H - 20,000SF
 FUTURE G - 8,000SF

PROPOSED + FUTURE SF: 49,000-50,000 SF (D,E,F,G,H)

PARKING CALCULATIONS:

| | |
|-----------------------------|------------------------|
| RETAIL: 4 SPACES/1000SF | PHASE 2 (PROPOSED) |
| RESTAURANT: 8 SPACES/1000SF | 10,000 GSF: 40 SPACES |
| | 11,000 GSF : 80 SPACES |

| | |
|-----------------------------|-----------------------|
| RETAIL: 4 SPACES/1000SF | PHASE 3 (FUTURE) |
| RESTAURANT: 8 SPACES/1000SF | 24,000 GSF: 96 SPACES |
| | 4,000 GSF : 32 SPACES |

TOTAL 256 SPACES

ORDINANCE 0-16-22: (PARKING REDUCTION)

0-16-22: 25% PARKING (256 SPACES X 25% REDUCTION)
 REDUCTION - 64 SPACES

REQUIRED: 192 TOTAL
 ACTUAL : 197 PARKING SPACES (OFF STREET)

SITE TABULATIONS:

TOTAL ACREAGE OF PAD: 5.9 ACRES
 EXISTING PLAZA : .7 ACRES
 FUTURE STAGE OF WORK: 2.4 ACRES

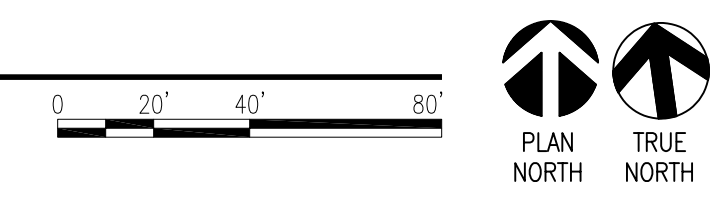
TOTAL AREA OF PROPOSED WORK: 3.5 ACRES

LANDSCAPING: SEE LANDSCAPE DRAWINGS

LEGEND

| | |
|--|--|
| | FUTURE BUILDING PAD |
| | NEW CONCRETE WALKWAY |
| | NEW SCORED SLAB AT PATIO WITH INTEGRATED COLOR |
| | NEW LANDSCAPE |
| | EXISTING CONCRETE WALKWAY |
| | EXISTING CARRIAGE LANDSCAPE STRIP VERIFY TREE REQUIREMENTS |

A1 SITE PLAN - OPTION A
 Scale: 1" = 40'-0"

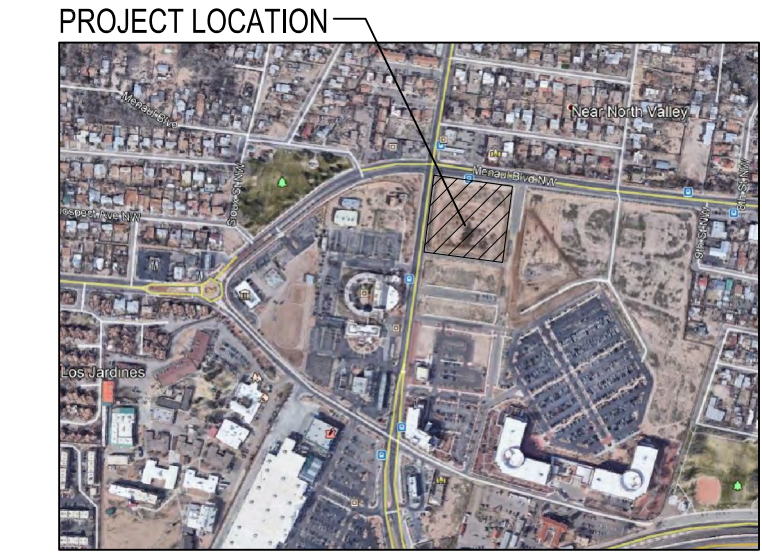


GENERAL NOTES

- SEE SHEET G-001 FOR ADDITIONAL INFORMATION.
- SEE SHEETS AS-105 & AS-106 FOR SITE DETAILS.
- ALL LIGHTING WILL BE IN COMPLIANCE WITH ZONING CODE SECTION 14-16-3-9. AREA LIGHTING REGULATIONS SEE C3/AS-105 FOR TYPICAL PARKING LOT LIGHT FIXTURES. SEE SHEETS E-101 AND E-102.
- ALL PEDESTRIAN SIDEWALKS U.N.O. WILL BE CONCRETE. SEE PLAN FOR WIDTH.
- ALL VEHICULAR TRAFFIC AREAS WILL HAVE ASPHALTIC CONCRETE PAVING UNLESS NOTED OTHERWISE
- IDENTIFY ALL COMPACT SPACES WITH "COMPACT" PAINTED ON THE PAVEMENT
- ALL WHEELCHAIR RAMPS LOCATED WITHIN THE CITY RIGHT OF WAY MUST HAVE TRUNCATED DOMES. SEE DETAILS A1-A3/AS-105.
- CRACKED SIDEWALK WILL NEED TO BE REPLACED IN KIND.

SHEET KEYED NOTES

- EXISTING EDGE OF CURB.
- EXISTING EDGE OF CURB TO REMAIN C.O.A. WILL DO FULL SIDEWALK AND STREET IMPROVEMENTS.
- FUTURE LOCATION OF EDGE OF CURB SHOWN DASHED. REFER TO C.O.A. MENAUL BLVD STREET IMPROVEMENT DRAWINGS.
- EXISTING CONCRETE WALKWAY.
- FUTURE BIKE RACK LOCATION. SEE C2/AS-105.
- TRASH ENCLOSURE. CENTER ON DRIVE AISLE. SEE DETAIL A1/AS-106.
- COLOR PATTERNED CONCRETE.
- PROPOSED SITE SIGNAGE. NOT A PART OF THIS SUBMITTAL.
- PROPOSED BUILDING UTILITY LOCATION.
- EXISTING FIRE HYDRANT LOCATION.
- NEW LANDSCAPING.
- FUTURE 6' CARRIAGE STRIP. PROVIDE NECESSARY IRRIGATION PREP FOR FUTURE USE
- WOOD TRELLIS SHADE STRUCTURE. SEE DASHED OUTLINE FOR EXTENTS.
- PROPOSED ENTRY MONUMENT @ 12TH STREET.
- 5'-6" MINIMUM CAFE SPACE.
- NEW PATIO CONCRETE PAD.
- PUBLIC OPEN SPACE. (PRIMARY ACTIVITY AREA). COLORED TEXTURED AND SCORED CONCRETE, LANDSCAPING AND ART YARD.
- NEW MOTORCYCLE SPACES 4'X8' MIN. DIMENSION. SEE DETAIL B1/AS-105 FOR POSTED MOTORCYCLE PARKING SIGNAGE.
- NEW CONCRETE WALKWAY.
- NEW CONCRETE PAD AT ELECTRICAL TRANSFORMER LOCATION.
- NEW CONCRETE CURB.
- NEW CONCRETE ACCESSIBLE CURB RAMP. SEE A1-A3/AS-105.
- EXISTING ACCESSIBLE CURB RAMP - NO CONSTRUCTION.
- EXISTING BIKE RACK LOCATION.
- EXISTING LANDSCAPING AT PLAZA. NO CONSTRUCTION.
- EXISTING HARDSCAPE AT PLAZA. NO CONSTRUCTION.
- EXISTING TRAFFIC SIGNAL.
- TEMPORARY ASPHALT CURB. (FOR FUTURE CONSTRUCTION).
- PROPOSED FIRE HYDRANT LOCATION.
- REMOTE FDC LOCATION.
- FLUSH CURB FOR PEDESTRIAN ACCESS.
- ACCESSIBLE PEDESTRIAN INTEGRALLY COLORED CONCRETE.
- BOLLARDS @ PATHWAY. SEE DETAIL C1/AS-105.
- ON STREET PARKING.
- OPTIONAL EMPLOYEE YARD T.B.D.
- ACCESSIBLE PARKING STALLS 20'X9' MIN. DIMENSION. SEE DETAIL A4, B4, & B5/AS-105. ADA ACCESS AISLES SHALL PROVIDE THE WORDS "NO PARKING".
- ENTRY ARCH
- LOADING ZONE DESIGNATED AREA. 9'-0" WIDE X 18'-0" DEEP. CLEAR SITE TRIANGLE. - LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



STUDIO SW ARCHITECTS
 2101 Mountain Road NW Suite B | Albuquerque NM 87104
 505-843-9639 | www.studioswarch.com

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CONSULTANTS

DRB SUBMITTAL

Architect: _____ Engineer: _____

STATE OF NEW MEXICO
 DEL LEROY DIXON
 No. 2503
 REGISTERED ARCHITECT

AVANYU RETAIL

2400 12TH STREET
 ALBUQUERQUE, NM 87104

Key Plan

NTS

| No | Date | Description |
|-------------------|--------------------|-------------|
| Revision Schedule | | |
| ISSUE: | DRB | |
| PROJECT NUMBER: | 1836 | |
| FILE: | 1836 SP01.DWG | |
| DRAWN BY: | DS | |
| CHECKED BY: | RH | |
| DATE: | Project Issue Date | |

SHEET TITLE
SITE PLAN FOR BUILDING PERMIT

AS-101

CONSULTANTS

DRB SUBMITTAL

Architect Engineer



AVANYU NORTH -
BUILDINGS D, E & F



2500 12th Street
ALBUQUERQUE, NM

Key Plan

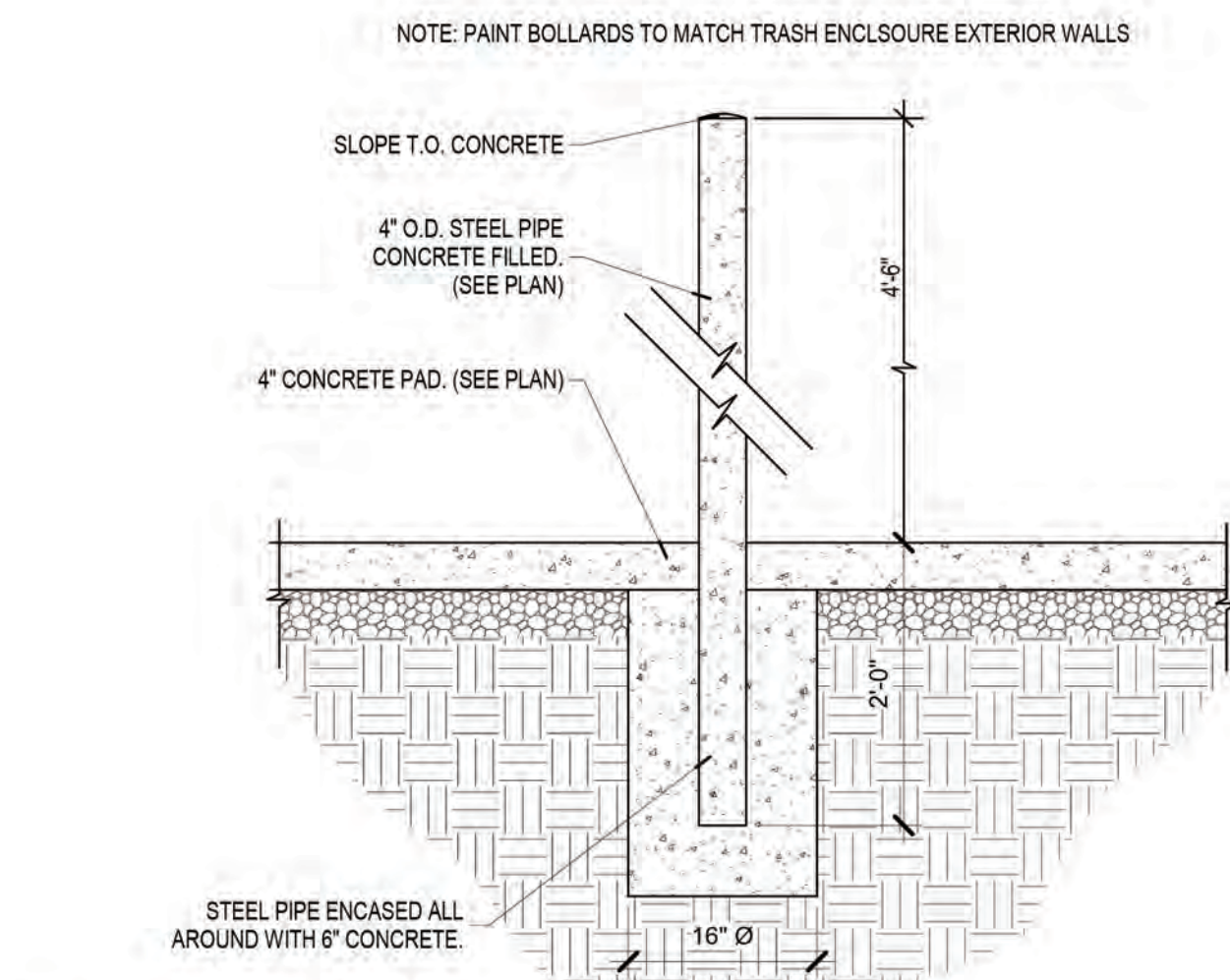
NTS

| No | Date | Description |
|-------------------|------------------------|-------------|
| Revision Schedule | | |
| ISSUE: | DESIGN DEVELOPMENT | |
| PROJECT NUMBER: | 1836 | |
| FILE: | 1836 Avanyu Bldg D R19 | |
| DRAWN BY: | Author | |
| CHECKED BY: | Checker | |
| DATE: | 12/01/2018 | |

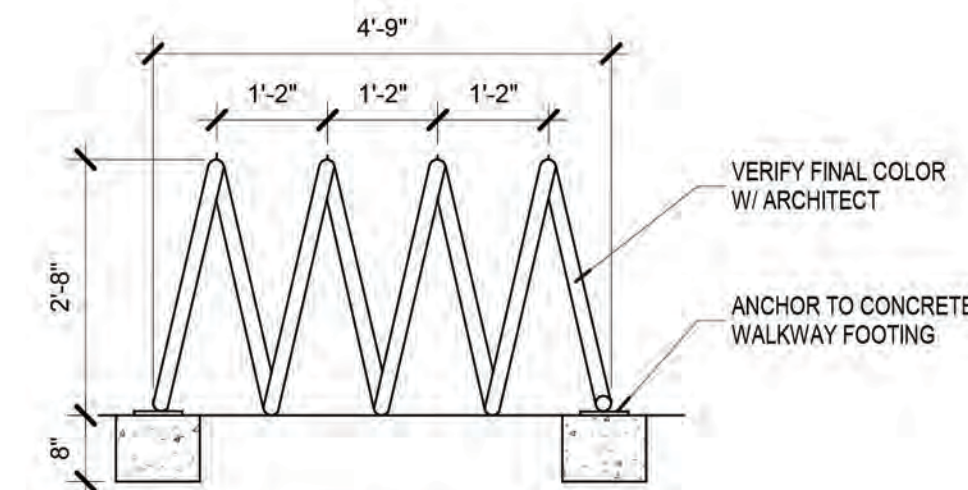
SHEET TITLE

SITE DETAILS

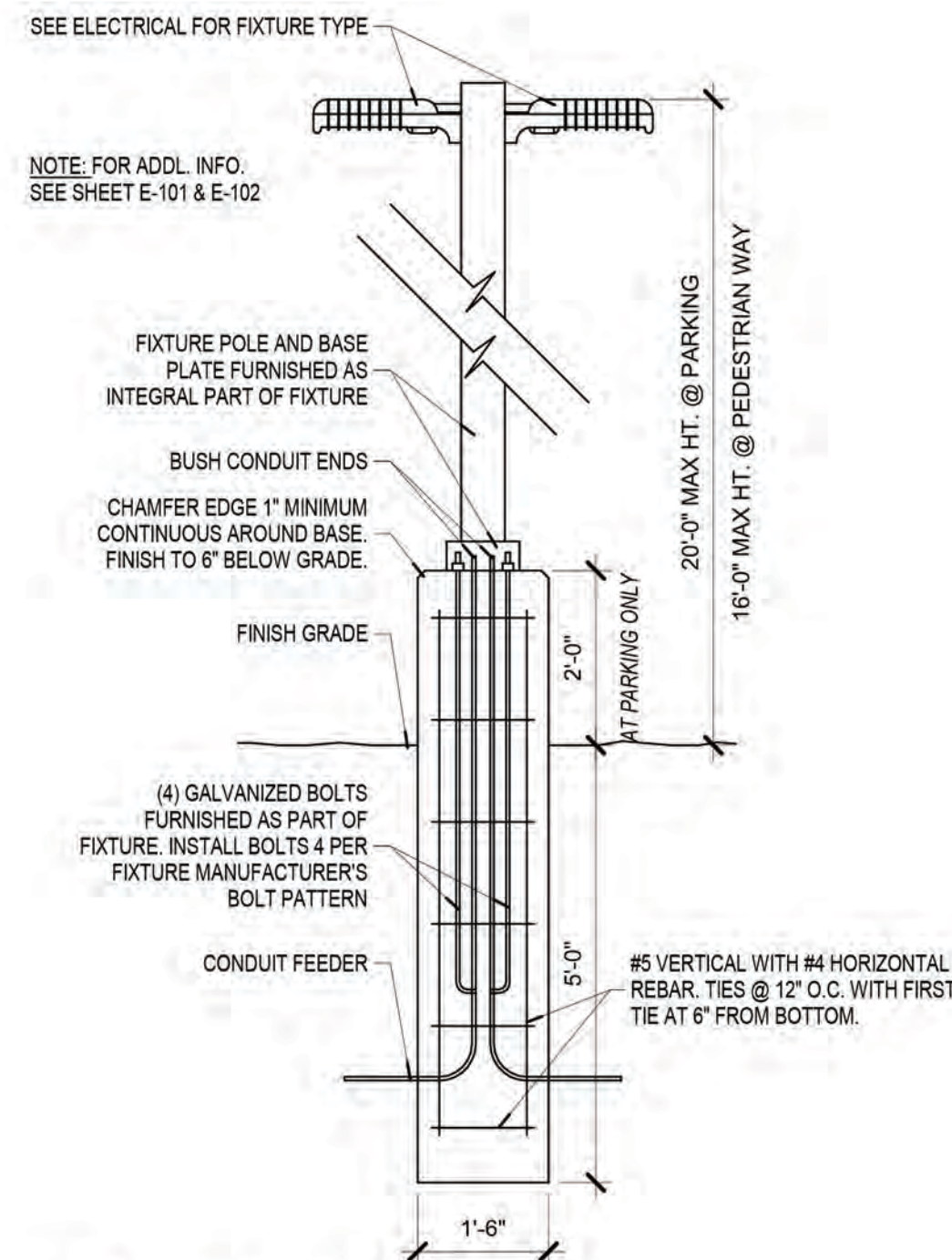
AS-105



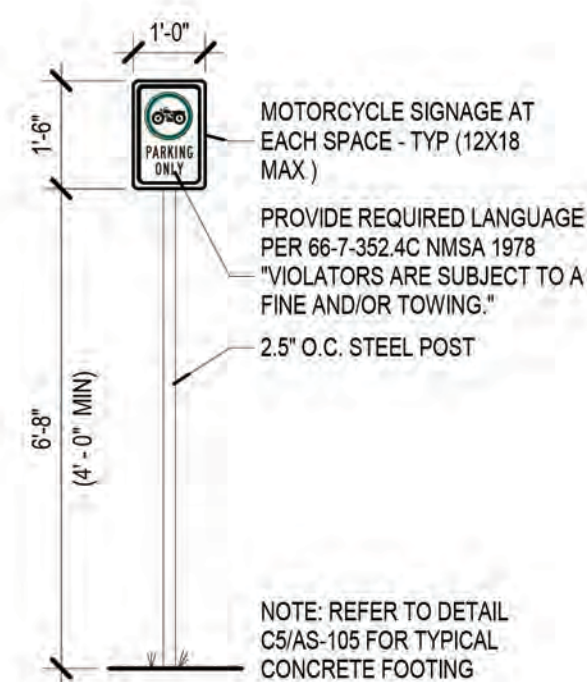
C1 BOLLARD
3/4" = 1'-0"



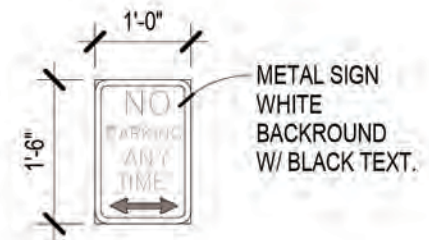
C2 COIL BIKE RACK
1/2" = 1'-0"



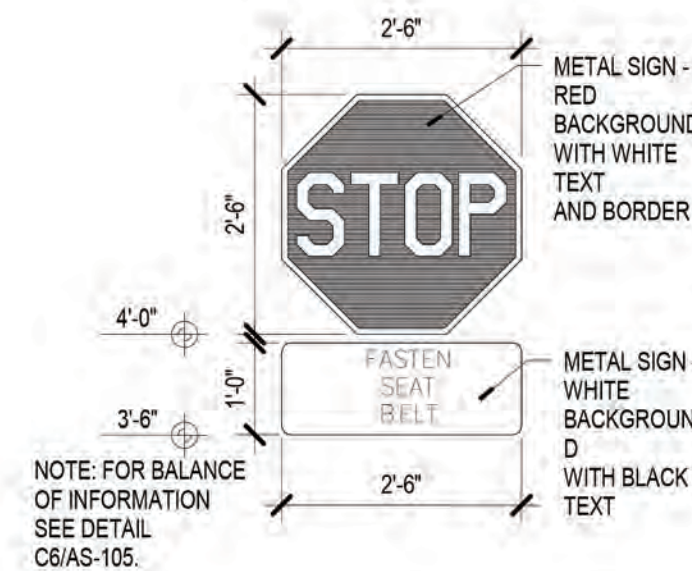
C3 LIGHTING
1/2" = 1'-0"



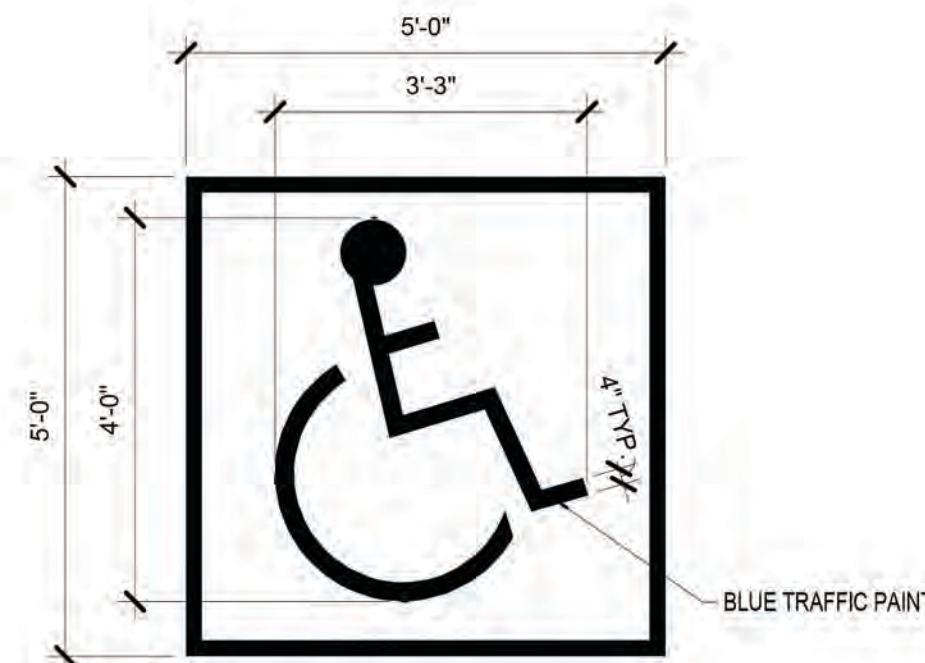
B1 MOTO SIGN
3/8" = 1'-0"



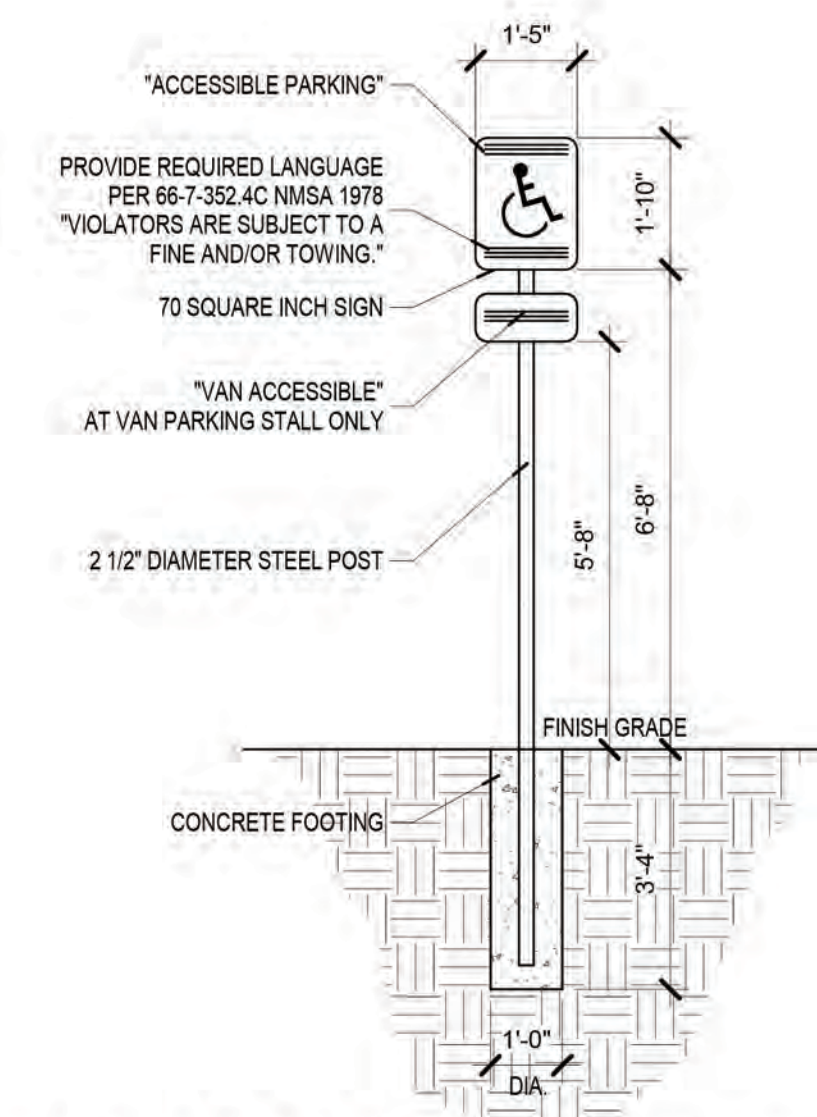
B2 NO PARKING SIGN 1
1/2" = 1'-0"



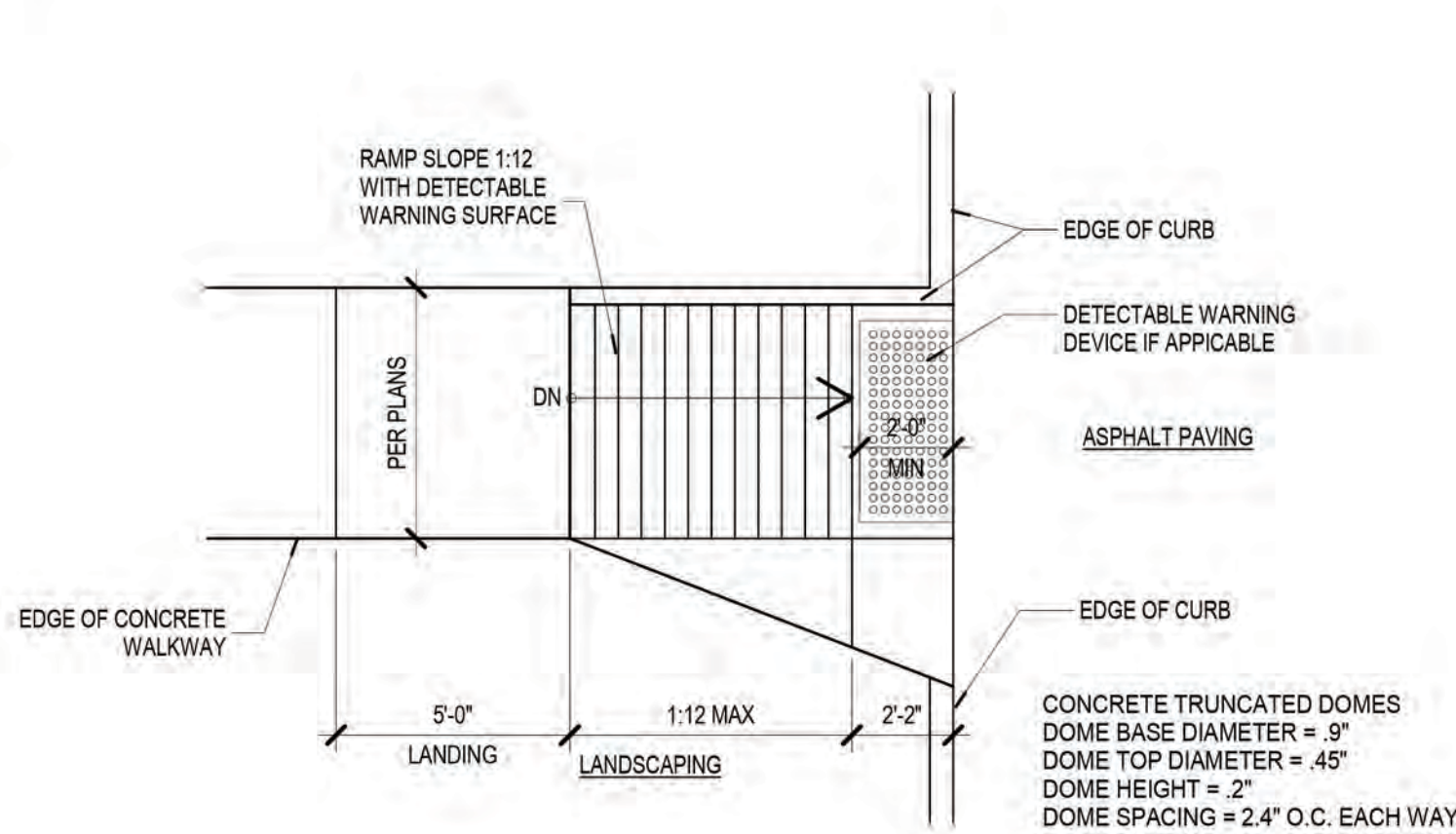
B3 STOP SIGN 1
1/2" = 1'-0"



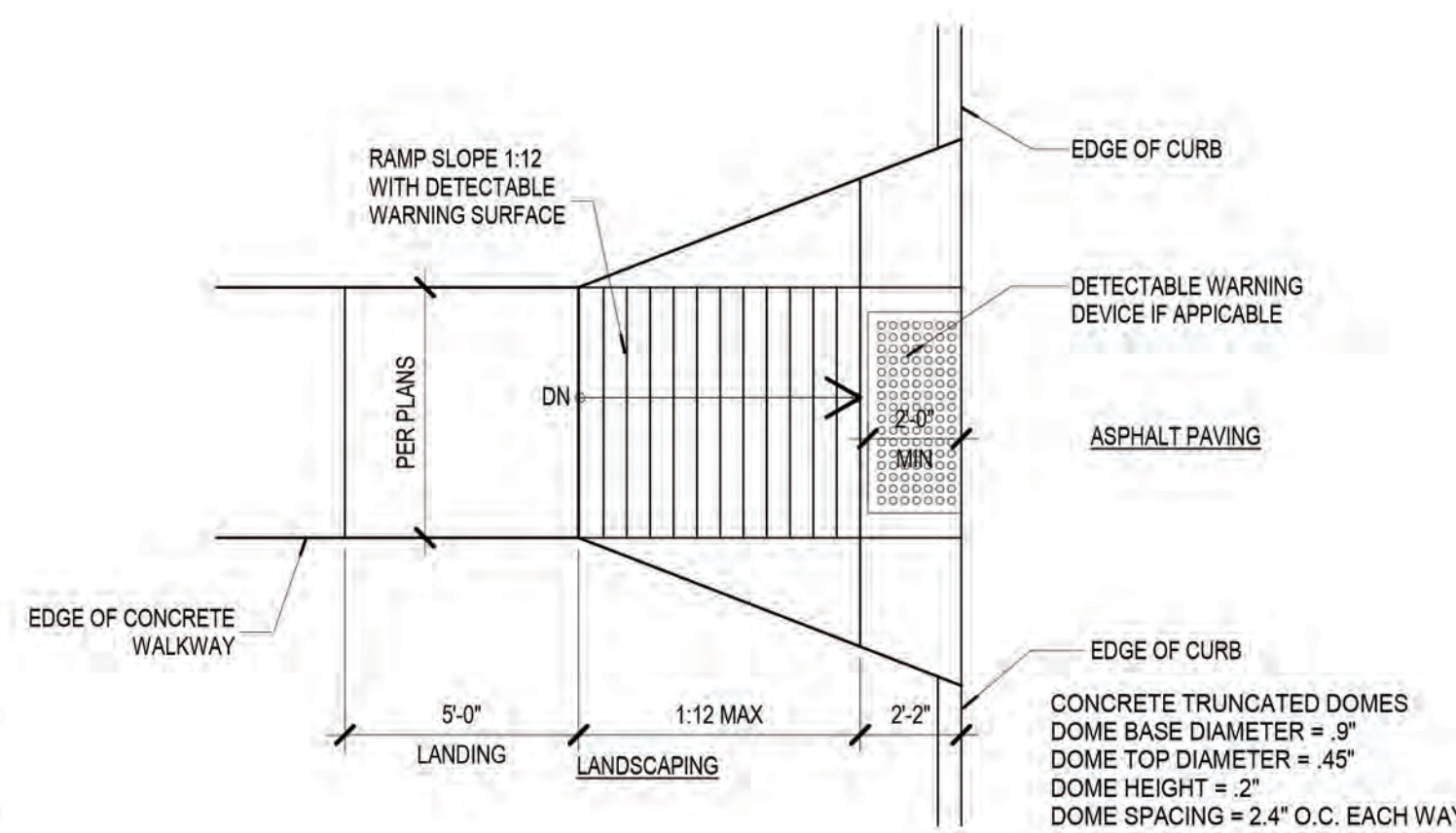
B4 ADA SIGNAGE AT STALL
1/2" = 1'-0"



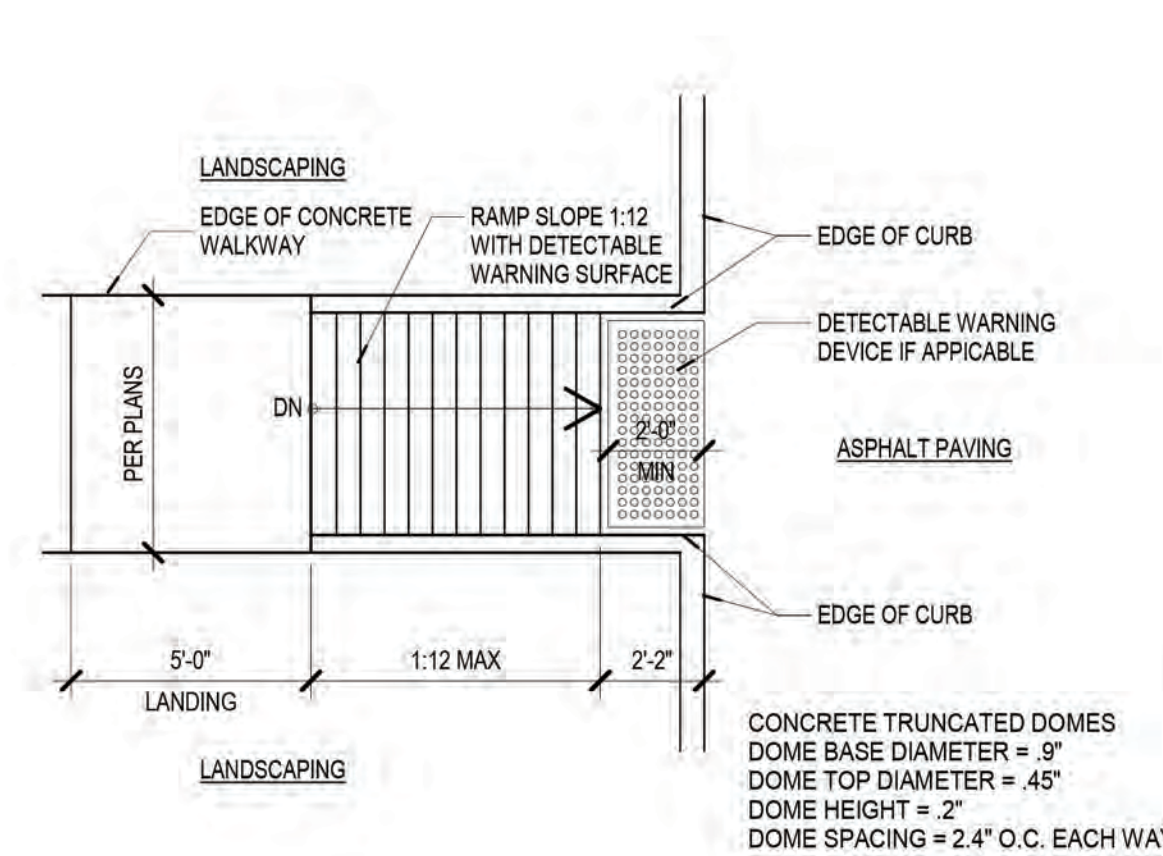
B5 ADA PARKING SIGNAGE
3/8" = 1'-0"



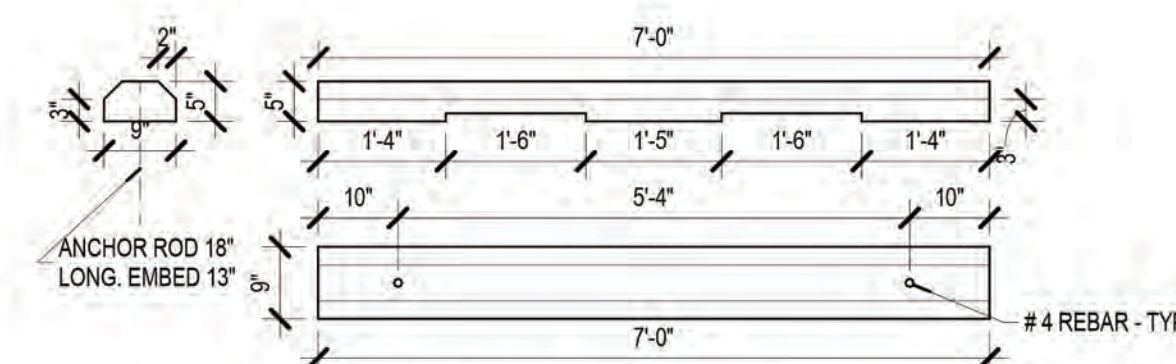
A1 CURB RAMP - 1
1/4" = 1'-0"



A2 CURB RAMP - 2
1/4" = 1'-0"



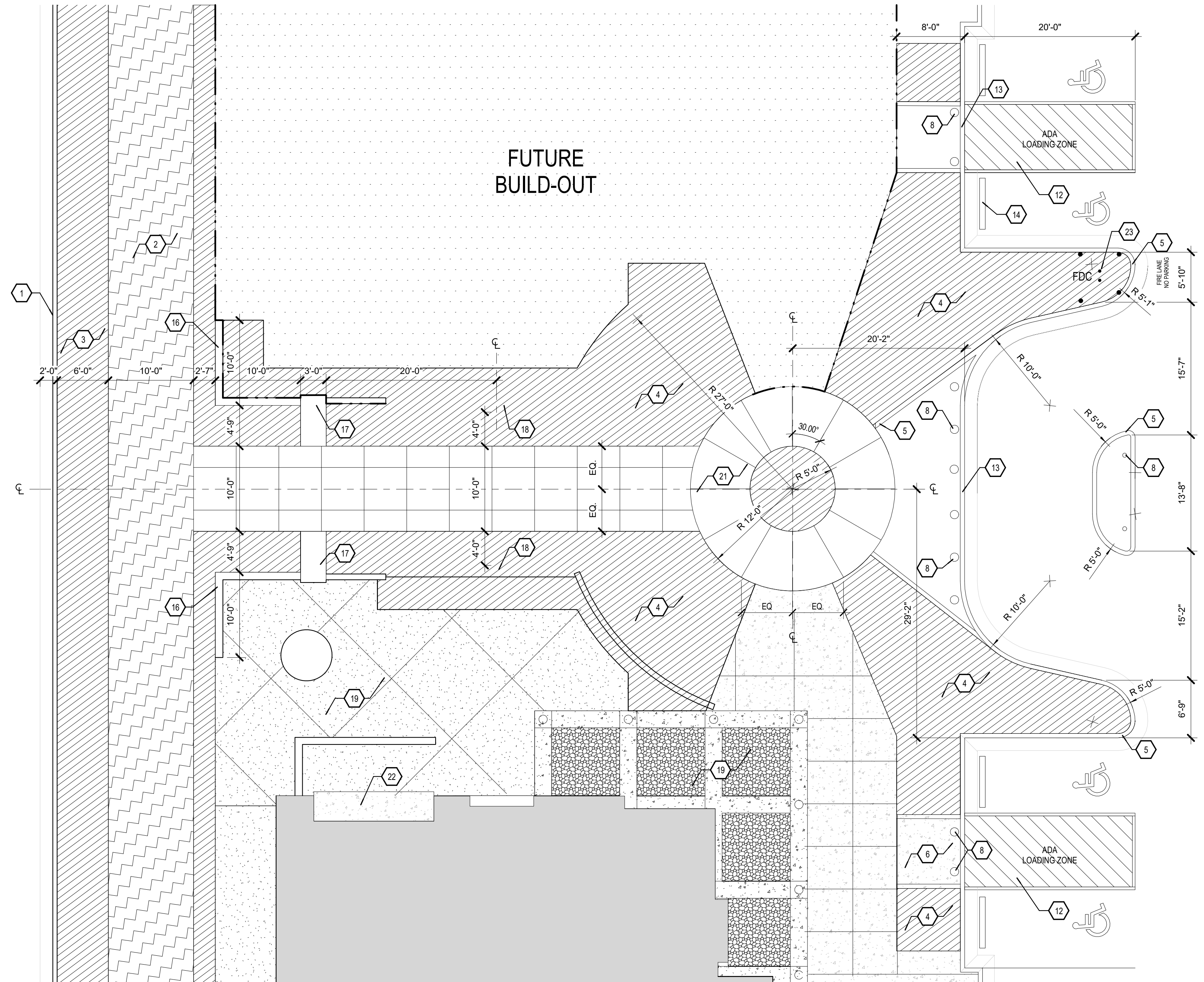
A3 CURB RAMP - 3
1/4" = 1'-0"



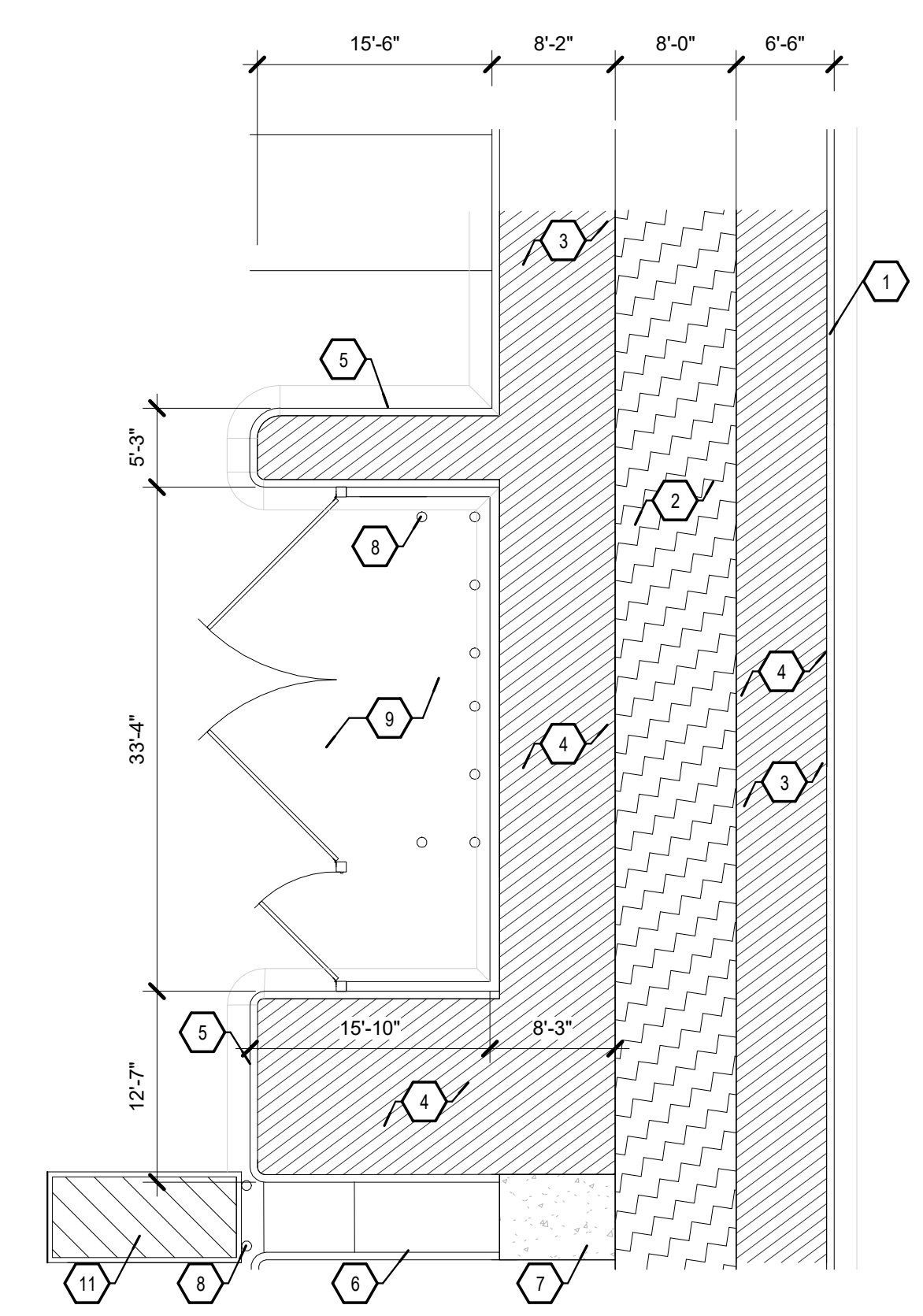
A4 CONCRETE WHEEL STOP
1/2" = 1'-0"

9/20/2021 2:58:01 PM

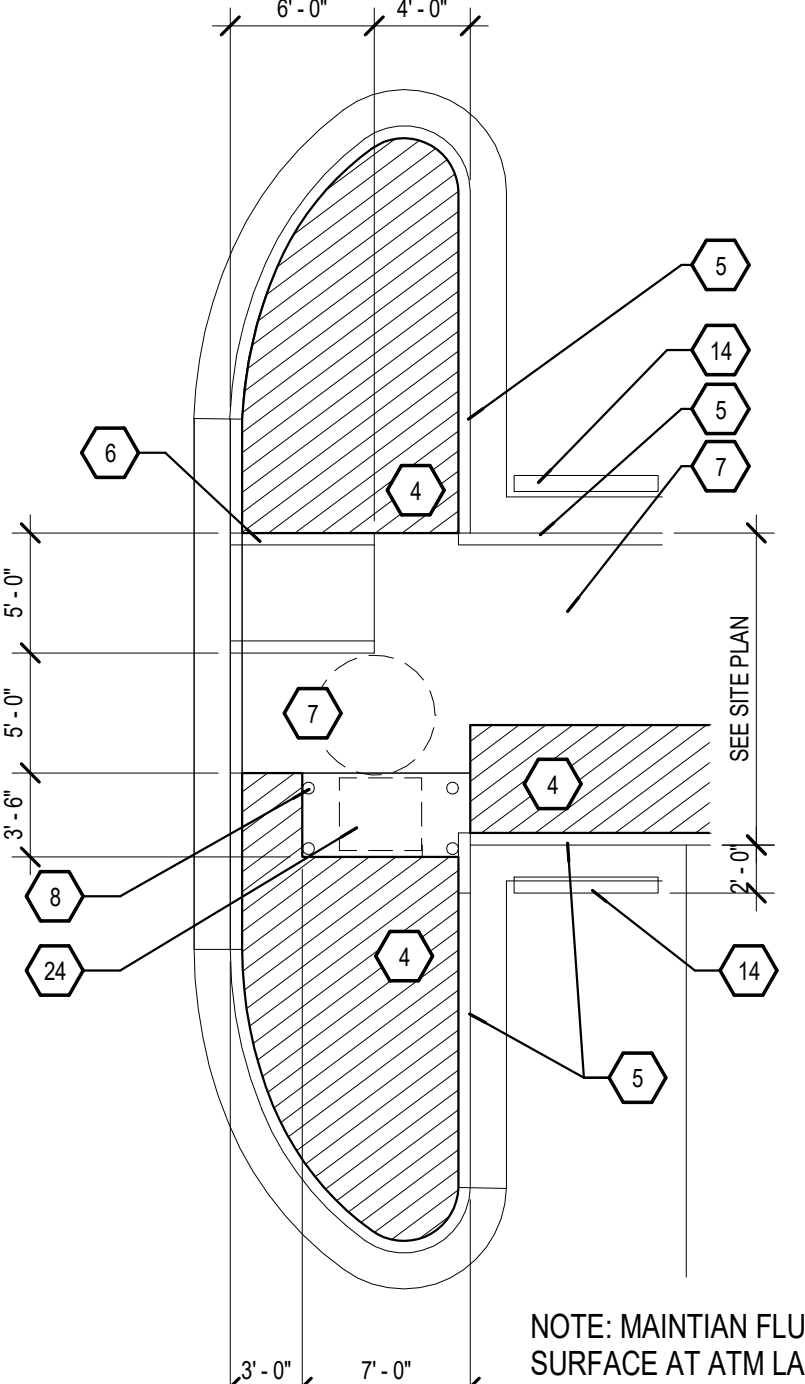
C:\Users\isolares\Documents\1836 Avanyu D - Central_isolares.rvt



C1 SITE PLAN CALLOUT 1
1/8" = 1'-0"



C4 SITE PLAN CALLOUT 4
1" = 10'-0"



B4 ATM at PARKING ISALND
1/8" = 1'-0"

GENERAL NOTES

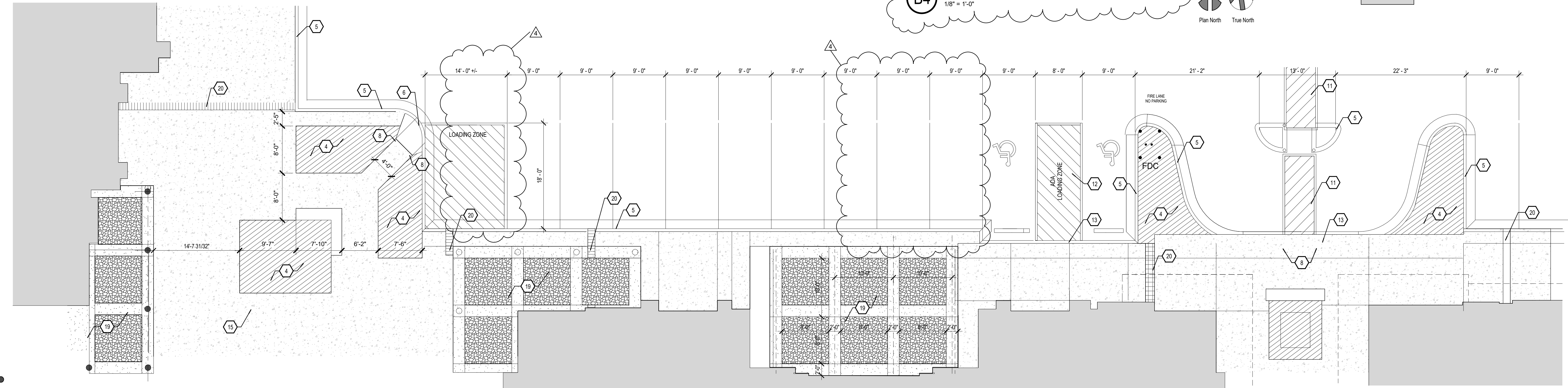
- A. COORDINATE WITH CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND LANDSCAPE
- B. VERIFY ALL SITE UTILITIES PRIOR TO CONSTRUCTION.
- C. PROVIDE VERTICAL AND HORIZONTAL DATA ON ALL CAPPED UTILITY LINES.
- D. FIRE DEPARTMENT ACCESS SHALL BE MAINTAINED THROUGHOUT ALL DEVELOPMENT CONSTRUCTION PHASES AS PER IFC SECTION 1410.1.
- E. REFER TO CIVIL FOR SITE SLOPES AND CONTOURS INCLUDING GRADING AND DRAINAGE AND SITE PAVING.
- F. SEE SHEET G-001 FOR ADDITIONAL INFORMATION.
- G. SEE SHEETS AS-105 AND AS-106 FOR SITE DETAILS.
- H. ALL LIGHTING WILL BE IN COMPLIANCE WITH ZONING CODE SECTION 14-16-3.8, AREA LIGHTING REGULATIONS SEE C3AS-105 FOR TYPICAL PARKING LOT LIGHT FIXTURES. SEE SHEETS E-101 AND E-102.
- I. ALL PEDESTRIAN SIDEWALKS U.N.O. WILL BE CONCRETE. SEE PLAN FOR WIDTH.
- J. ALL VEHICULAR TRAFFIC AREAS WILL HAVE ASPHALTIC CONCRETE PAVING UNLESS NOTED OTHERWISE.
- K. ALL ADA RAMPS LOCATED WITHIN THE CITY RIGHT-OF-WAY MUST HAVE TRUNCATED DOMES. SEE DETAILS A1-A3 / AS-105.
- L. CRACKED SIDEWALK WILL NEED TO BE REPLACED IN KIND.

KEYED NOTES

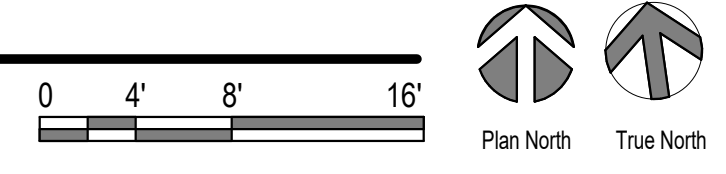
- 1. EXISTING EDGE OF CURB
- 2. EXISTING CONCRETE WALKWAY
- 3. EXISTING CARRIAGE WAY
- 4. NEW LANDSCAPING
- 5. NEW CONCRETE CURB
- 6. NEW CONCRETE ACCESSIBLE CURB RAMP, SEE A1-A3 / AS-105
- 7. NEW CONCRETE WALKWAY
- 8. BOLLARDS, SEE DETAIL A2 / AS-105
- 9. TRASH ENCLOSURE, SEE DETAIL D1, E1 / AS-105
- 10. CONCRETE WALKWAY
- 11. PEDESTRIAN WALK - STAMPED COLORED CONCRETE
- 12. DESIGNATED ADA LOADING ZONE, 9'-0" x 18'-0"
- 13. FLUSH CURB
- 14. CONCRETE CURB STOP, SEE CIVIL DRAWINGS.
- 15. BICYCLE RACK, SEE DETAIL B2 / AS-105
- 16. YARD WALL
- 17. ENTRY ARCH
- 18. ADA SIGNAGE
- 19. CONCRETE PATIO SCORED WITH INTEGRATED COLOR
- 20. NEW ROOF DRAIN CONCRETE CURB FLUSH WITH CONCRETE WALKWAY
- 21. PUBLIC OPEN SPACE (PRIMARY ACTIVITY AREA), COLORED, TEXTURED AND SCORED CONCRETE, LANDSCAPING AREA AND ART YARD
- 22. PROPOSED BUILDING UTILITY LOCATION
- 23. REMOVED F.D.C. LOCATION
- 24. PROPOSED ATM LOCATION

LEGEND

- NEW CONCRETE WALKWAY
- NEW LANDSCAPING
- EXISTING WALKWAY
- CONCRETE PATIO SCORED WITH INTEGRATED COLOR
- FUTURE BUILD-OUT
- BUILDINGS (D, E OR F)



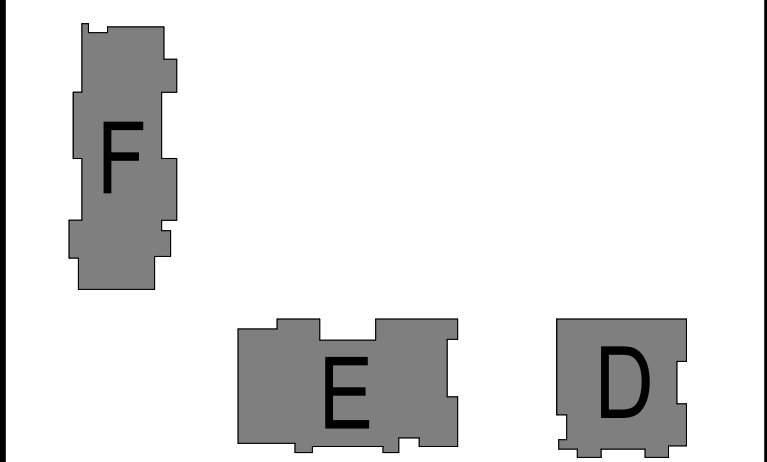
A1 SITE PLAN CALLOUT 5
1/8" = 1'-0"



Architect Engineer

AVANYU NORTH - BUILDING D

2500 12th Street
ALBUQUERQUE, NM



Key Plan

NTS

| No | Date | AS/R | Description |
|----|----------|------|-------------|
| 4 | 05/30/20 | AS/R | |

Revision Schedule

| | |
|-----------------|------------------------|
| ISSUE: | BID |
| PROJECT NUMBER: | 1836 |
| FILE: | 1836 Avanyu Bldg D R19 |
| DRAWN BY: | Author |
| CHECKED BY: | Checker |
| DATE: | 07/08/2020 |

SHEET TITLE
SITE DETAILS

AS-106