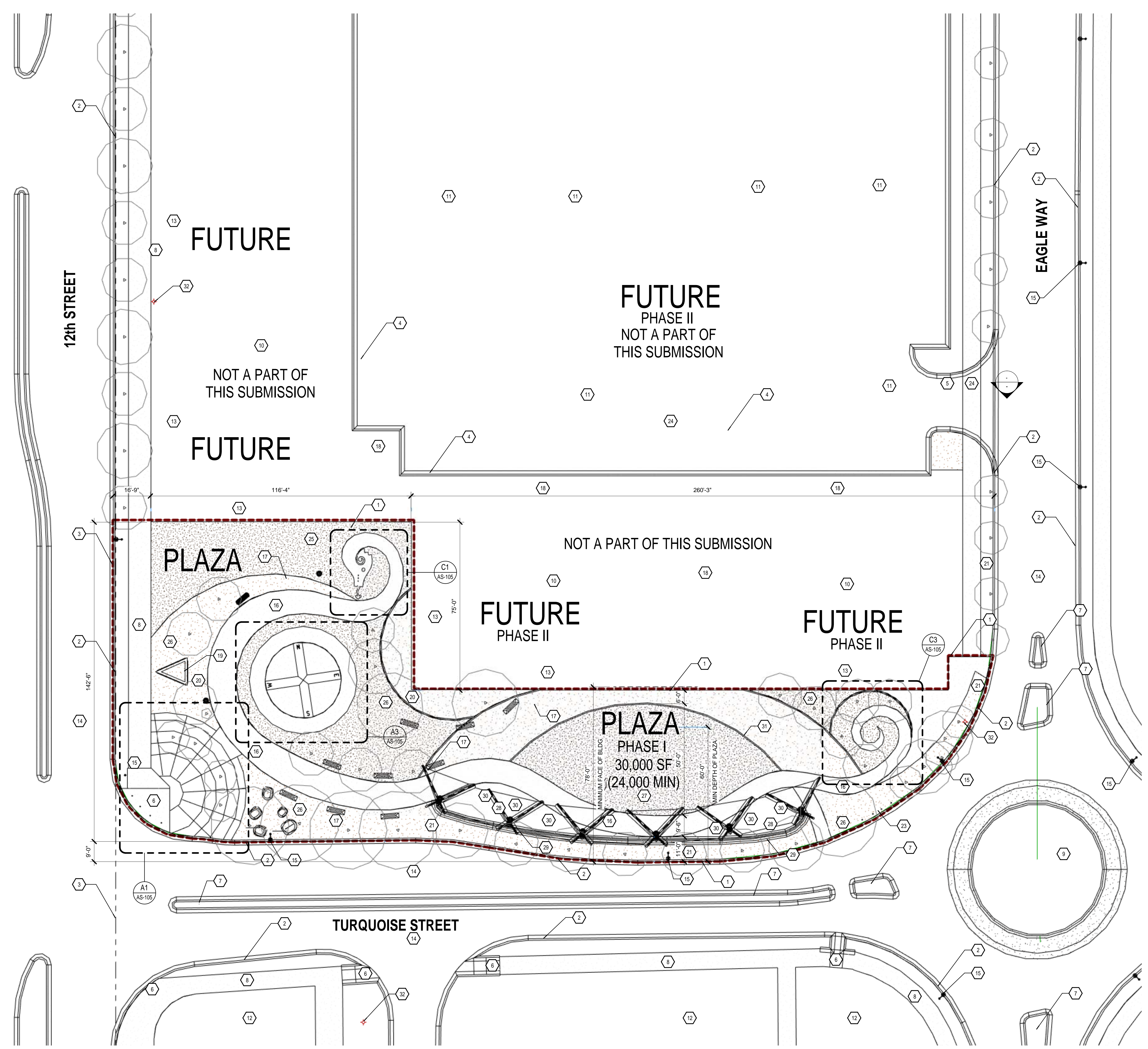


8/17/2018 9:12:15 AM

C:\Users\jlores\Documents\1727 Avanyu Plaza R18\_Central\_Schedule.rvt



# PROJECT DATA

**ADDRESS:**  
2500 12TH STREET

**USE:**  
CENTRAL PLAZA ON THE CORNER OF 12TH AND TURQUOISE STREET ACROSS FROM THE INDIAN PUEBLO CULTURAL CENTER. THE PLAZA WILL INCLUDE PERFORMANCE SPACES, AVANYU - WALKING PATH, DEDICATED LANDSCAPING AREAS, TREE LINED & PLANTINGS AT CARRIAGE STRIP, GRASS BERMS, SHADE STRUCTURES - STEEL STRUCTURES WITH FABRIC SHADE AWNINGS, AND MEMORIALS.

**ZONING:** XXXXXX

**LOT SIZE:**  
PAD II: 258,272 SF  
5.9 ACRES

**PLAZA PHASE:** 30,000 SF  
.69 ACRES

**OPEN SPACE PLAZA:**  
REQUIRED: 30,000 SF

**SHADE REQUIREMENTS:**  
25% - 50%  
7,500 - 15,000 SF

**PARKING:**  
NOT A PART OF THIS PHASE

**BICYCLE SPACES:**  
REQUIRED: 1 PER 20 PARKING SPACES  
PROVIDED: 8 SPACES

**HEIGHT:**  
ALLOWED: 44'-0"  
3 STORY  
PROPOSED: NOT A PART OF THIS PHASE

## KEYED NOTES

- EXTENT OF PHASE ONE
- EDGE OF EXISTING CONCRETE CURB
- PROPERTY LINE
- EDGE OF FUTURE CONCRETE CURB
- NEW CURB CUT DRIVEWAY LOCATION
- EXISTING CURB RAMP, BOLLARDS & TRAFFIC SIGNAL
- EXISTING CONCRETE MEDIAN
- EXISTING CONCRETE CURB
- EXISTING TRAFFIC CIRCLE PHASE II
- FUTURE CONSTRUCTION
- FUTURE CONSTRUCTION ASPHALT PARKING
- EXISTING LANDSCAPE NO CONSTRUCTION
- FUTURE CAPE SPACE
- EXISTING ASPHALT ROADWAY
- EXISTING LIGHT FIXTURE
- AVANYU PATHWAY - COLORED CONCRETE W/ PATTERN, SEE DETAILS
- CONCRETE BENCH - NON SLEEP FRIENDLY
- FUTURE CONCRETE WALKWAY
- 15' TALL MONUMENT SIGN W/ PROJECTOR & SPEAKER
- LANDSCAPE AREA - SEE LANDSCAPE DRAWINGS
- CARRIAGE STRIP
- NEW CONCRETE CURB RAMP
- NEW VEHICULAR ACCESS W/ REMOVABLE PAINTED STEEL BOLLARDS
- FUTURE COLORED CONCRETE PATHWAY AT PARKING LOT
- NEW BIKE RACK, TYPICAL
- NEW TREE - PER LANDSCAPE DRAWINGS
- COMPACTED DIRT - ENTERTAINMENT AREA
- GRASS BERM - SEE DETAILS
- RETAINING WALL W/ POTTERY CHARD ON THE STREET SIDE
- OPTIONAL PAINTED STEEL SHADE STRUCTURE W/ FABRIC SHADE
- 4" CONCRETE CURB BOUNDARY FLUSH W/ FINISHED GRADE
- EXISTING FIRE HYDRANT

## LEGEND

----- OUTLINE OF WORK (PHASE ONE)

## DESIGN DATA

SHADE STRUCTURE - 2600 GSF - 25'-0" TALL  
TYPE 2B CONSTRUCTION  
NON SPRINKLERED - OPEN ON ALL SIDES  
STEEL STRUCTURAL SUPPORT WITH TENSILE FABRIC AS SHADE COMPONENT.

ALL STRUCTURES ARE SHOWN DASHED INDICATING THE CONSTRUCTION IS PART OF THE FUTURE PHASES OF THIS PROJECT.

**SITE:**  
PLAZA: 30,000 SQ FT (25,000 MIN REQUIRED) (0.69 ACRES)  
NORTH PAD: 5.9 ACRES  
PARKING: 2.1 ACRES (230 - 245 PARKING SPACES)

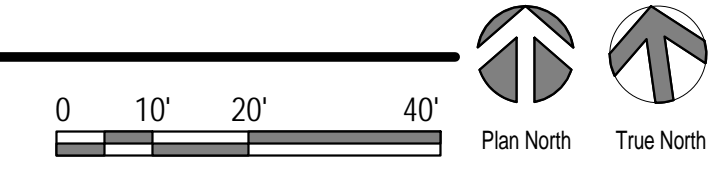
**FUTURE STRUCTURES (TYPE 2B CONSTRUCTION)**  
BUILDING D: 6000 SF  
BUILDING E: 6000 SF  
BUILDING F: 8000 SF  
BUILDING G: 8000 SF  
BUILDING H: 20000 SF

ALL BUILDINGS ARE TO BE FULLY SPRINKLERED.  
ALL BUILDINGS ARE TO BE LESS THAN 30'-0".

### PROJECT LOCATION



**A1 SITE PLAN - PROJECT NORTH**  
1" = 20'-0"



STUDIO SOUTHWEST ARCHITECTS, INC.  
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Web Site: www.studioswarch.com  
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CONSULTANTS

Architect: \_\_\_\_\_  
Engineer: \_\_\_\_\_

**DRB SUBMITTAL**



**AVANYU PLAZA**  
2500 12th STREET  
ALBUQUERQUE NM 87104

### Key Plan

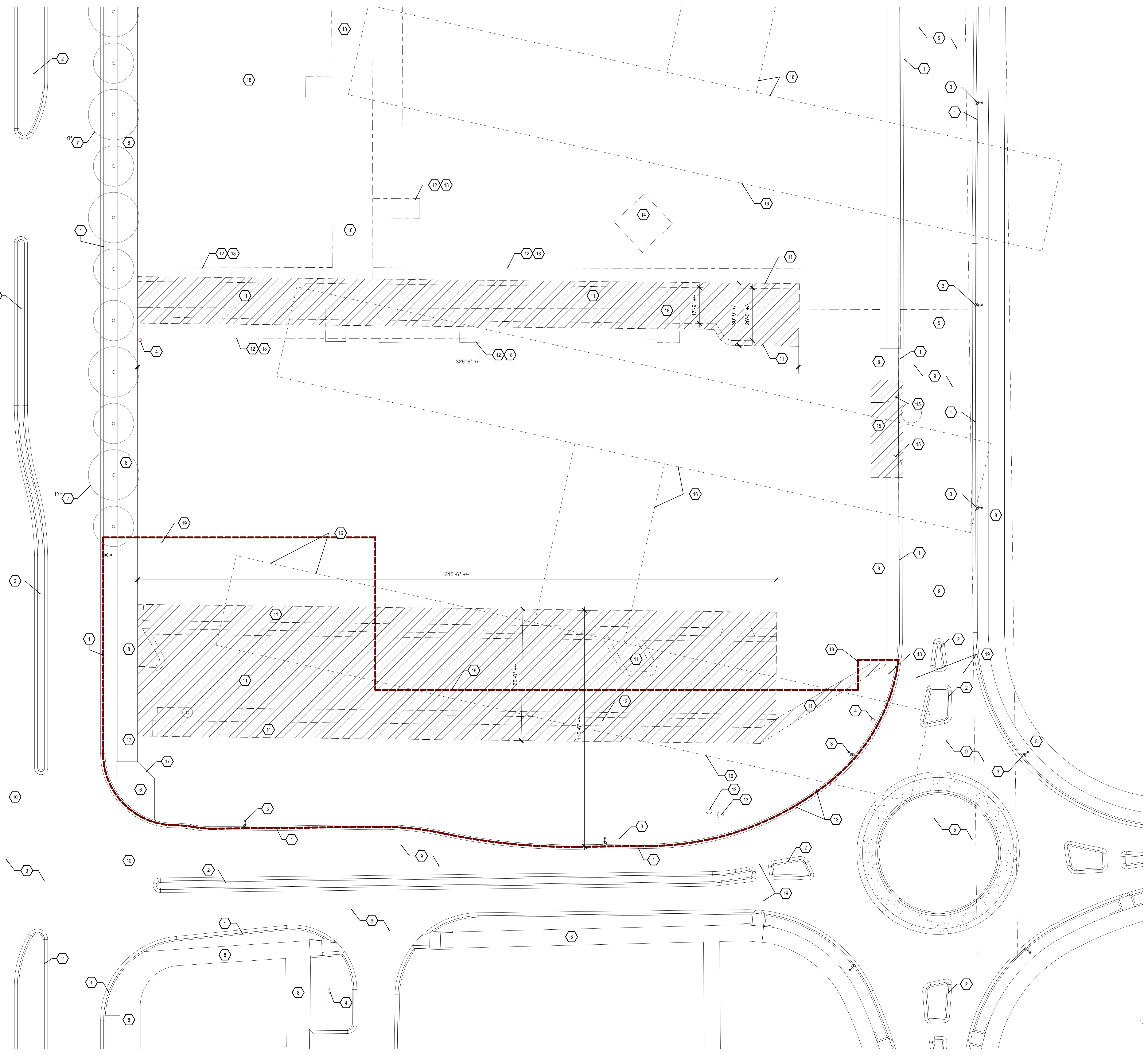
No	Date	Description
Revision Schedule		

ISSUE:	DES DEV
PROJECT NUMBER:	1727
FILE:	SSWA_Inc_2018_Template.rvt
DRAWN BY:	Author
CHECKED BY:	Checker
DATE:	JUNE 30, 2018

SHEET TITLE  
**SITE PLAN - OVERALL**

**AS-101**





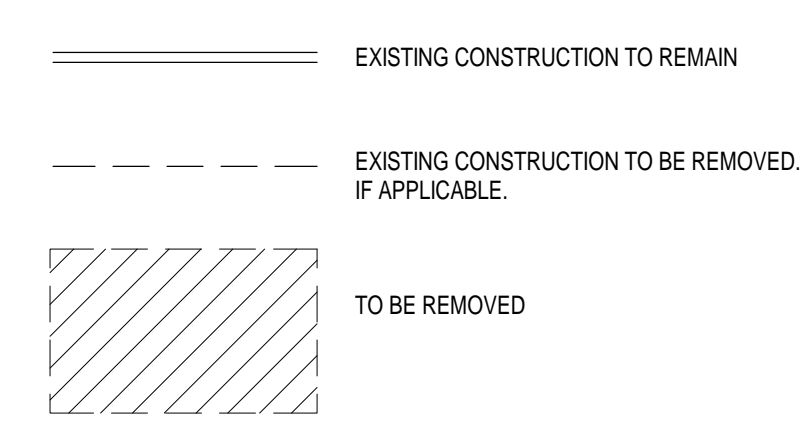
**GENERAL NOTES**

- A. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL STATE AND LOCAL BUILDING CODES AND AMENDMENTS THAT APPLY TO THIS PROJECT. NOTIFY ARCHITECT IF DISCREPANCIES ARE FOUND.
- B. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND NOTIFY ARCHITECT IF DISCREPANCIES ARE FOUND.
- C. DIMENSIONS ARE APPROXIMATE, TYPICAL.
- D. CONTRACTOR SHALL REMOVE ALL HATCHED ITEMS ON SITE INCLUDING, BUT NOT LIMITED TO: CONCRETE SLABS, ASPHALT PAVING, FENCINGS, DRIVEWAYS, SIDEWALK, CURB & GUTTER WHERE IDENTIFIED, UTILITIES, LANDSCAPING, ETC. AS REQUIRED FOR NEW CONSTRUCTION. NOT ALL ITEMS TO BE DEMOLISHED ARE SHOWN ON DEMOLITION PLAN (I.E. PLUMBING, UNDERGROUND UTILITIES, CONCRETE FOOTINGS, ETC.). CONTRACTOR SHALL FIELD VERIFY ALL EXISTING ITEMS TO BE DEMOLISHED AND WALK FACILITY PRIOR TO PROVIDING DEMOLITION PRICING.

**KEYED NOTES**

- 1. EXISTING CONCRETE CURB, NO CONSTRUCTION U.N.O.
- 2. EXISTING CONCRETE MEDIAN, NO CONSTRUCTION
- 3. EXISTING LT. FUTURE TO REMAIN
- 4. EXISTING FIRE HYDRANT TO REMAIN
- 5. EXISTING TRAFFIC CIRCLE TO REMAIN
- 6. EXISTING CURB RAMP, BOLLARDS & TRAFFIC LIGHTS, NO CONSTRUCTION
- 7. EXISTING TREE AT CARRIAGE STRIP, NO CONSTRUCTION
- 8. EXISTING CONCRETE WALKWAY, NO CONSTRUCTION U.N.O.
- 9. EXISTING ASPHALT ROADWAY, NO CONSTRUCTION
- 10. EXISTING RAISED CROSSWALK, NO CONSTRUCTION
- 11. REMOVE EXISTING ASPHALT ROADWAY, CURB & CONCRETE WALKWAY WHERE INDICATED.
- 12. REMOVE EXISTING WATER METER & WATER LINE BELOW GRADE AND CAP LINE. COORDINATE WITH ENGINEERS & ARCHITECT FINAL LOCATION.
- 13. EXISTING STORM DRAIN MANHOLE TO BE MODIFIED AND DROPPED TO ACCOMMODATE NEW FINISHED GRADE.
- 14. REMOVE EXISTING FENCE & LIFT STATION, COORDINATE WITH CIVIL ENGINEER FOR MANHOLE AND GRATE MODIFICATION.
- 15. REMOVE EXISTING CONCRETE WALKWAY & CURB FOR A NEW CURB & CURB RAMPS. COORDINATE FINAL LOCATION IN DEMOLITION PLAN.
- 16. REMOVE EXISTING BUILDING FOUNDATION, WHERE APPLICABLE APPROXIMATE LOCATION SHOWN DASHED.
- 17. REMOVE EXISTING CURB & CURBRAMP AND MODIFY FOR FLUSH NEW PLAZA ENTRY.
- 18. EXISTING WATER LINE AND SANITARY SEWER EASEMENT TO BE VACATED AND RELOCATED. FINAL LOCATION TBD.
- 19. OUTLINE OF PROPOSED PLAZA SCOPE.

**LEGEND**



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**CONSULTANTS**

Architect	Engineer
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**DRB  
SUBMITTAL**



AVANYU PLAZA  
 2500 12th STREET  
 ALBUQUERQUE NM 87104

**Key Plan**

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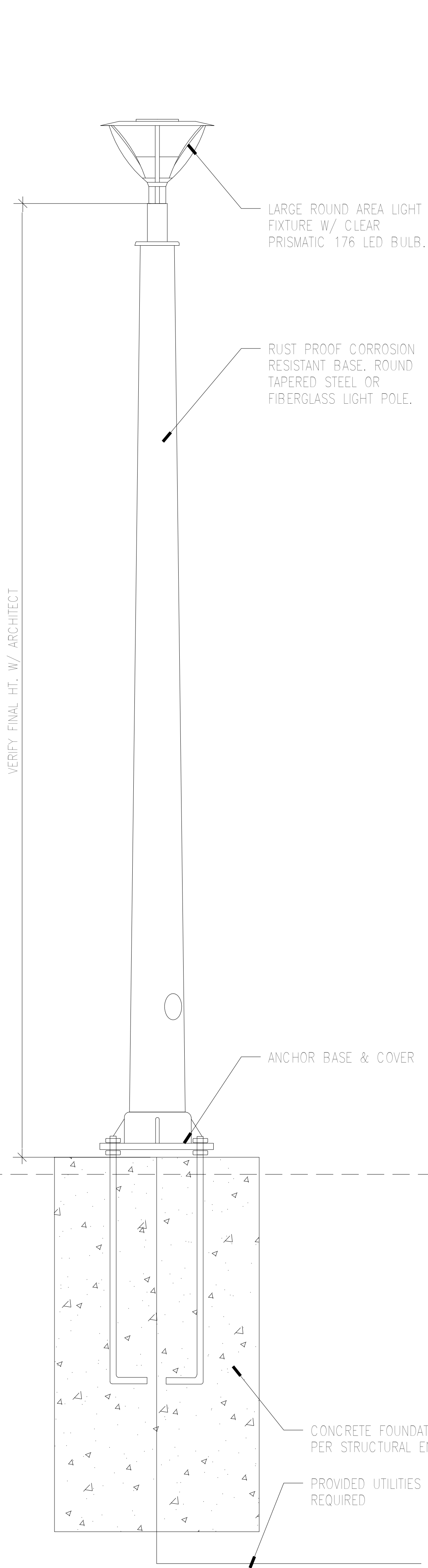
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**SITE DEMOLITION PLAN**

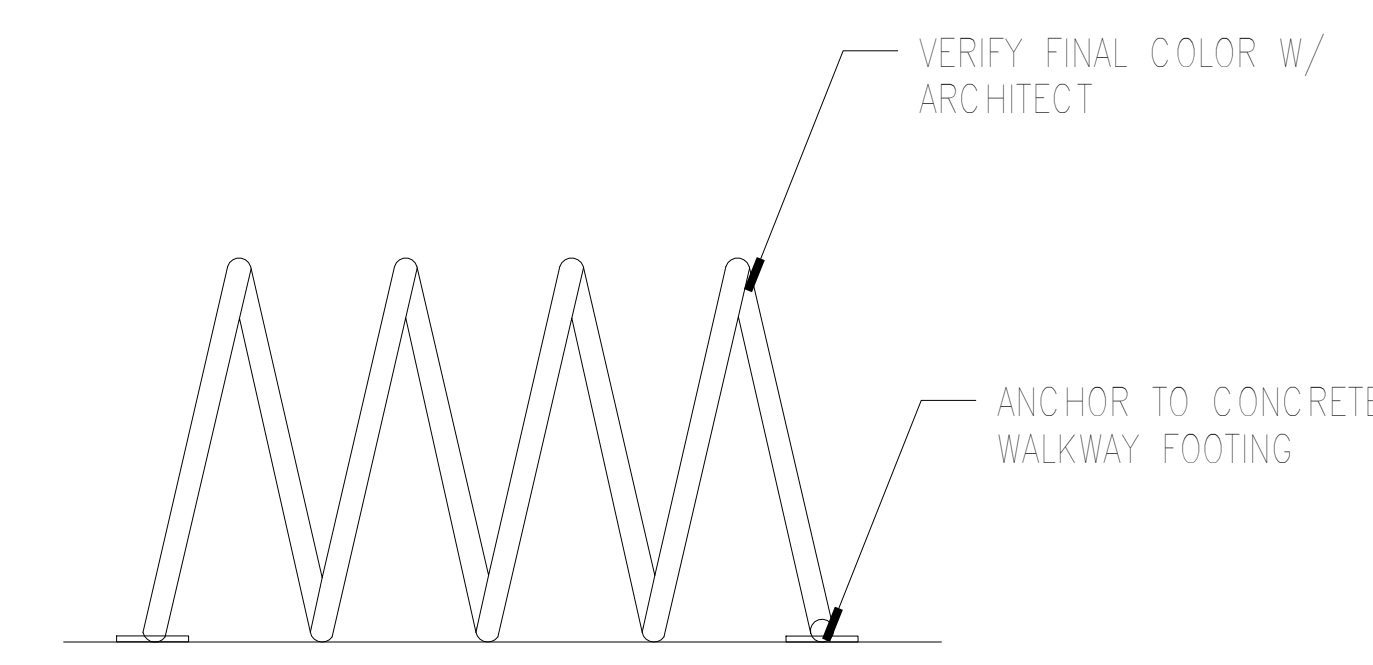
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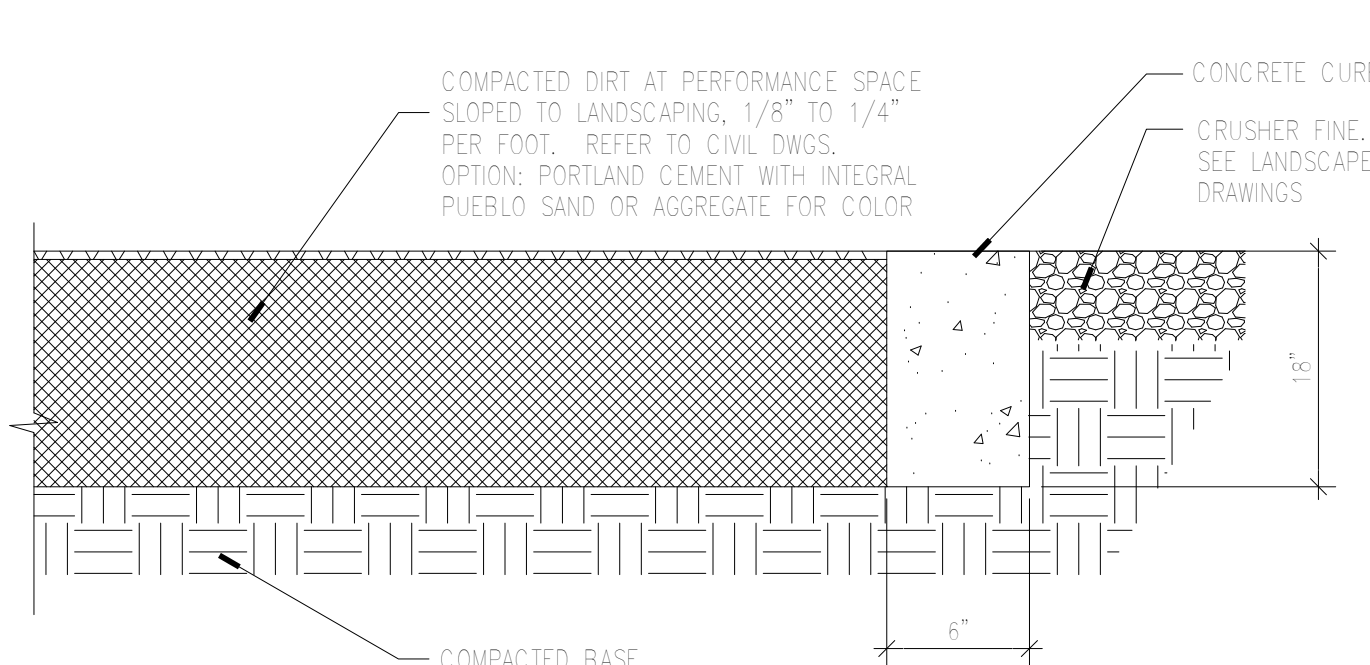
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ISSUE:	DES DEV	
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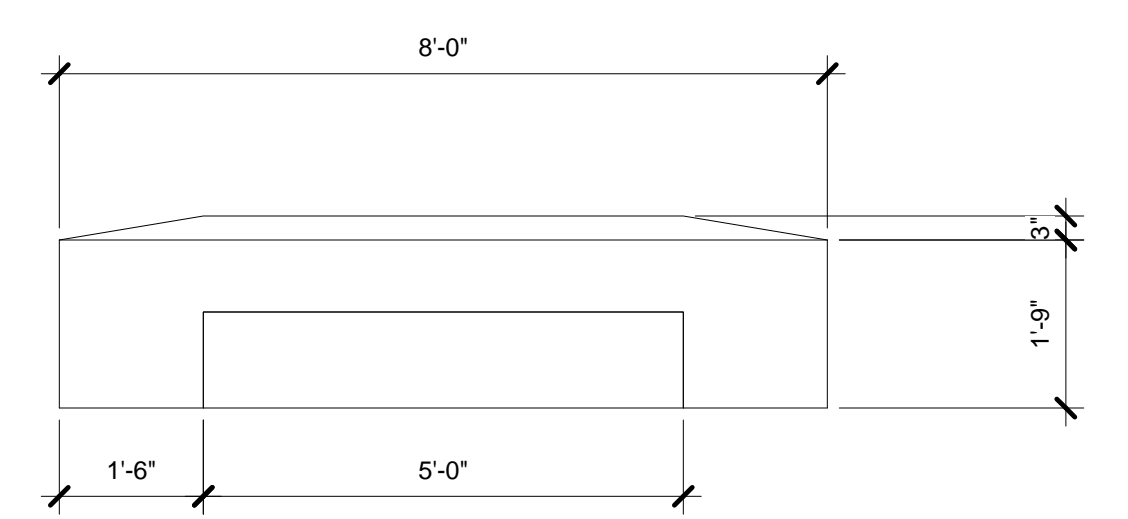
**A1** LIGHT FIXTURE  
3/4" = 1'-0"



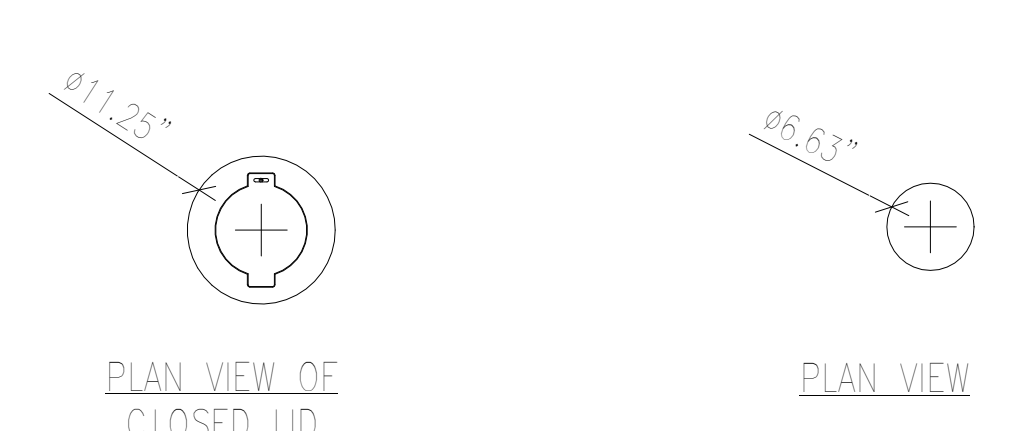
**D2** COIL BIKE RACK  
3/4" = 1'-0"



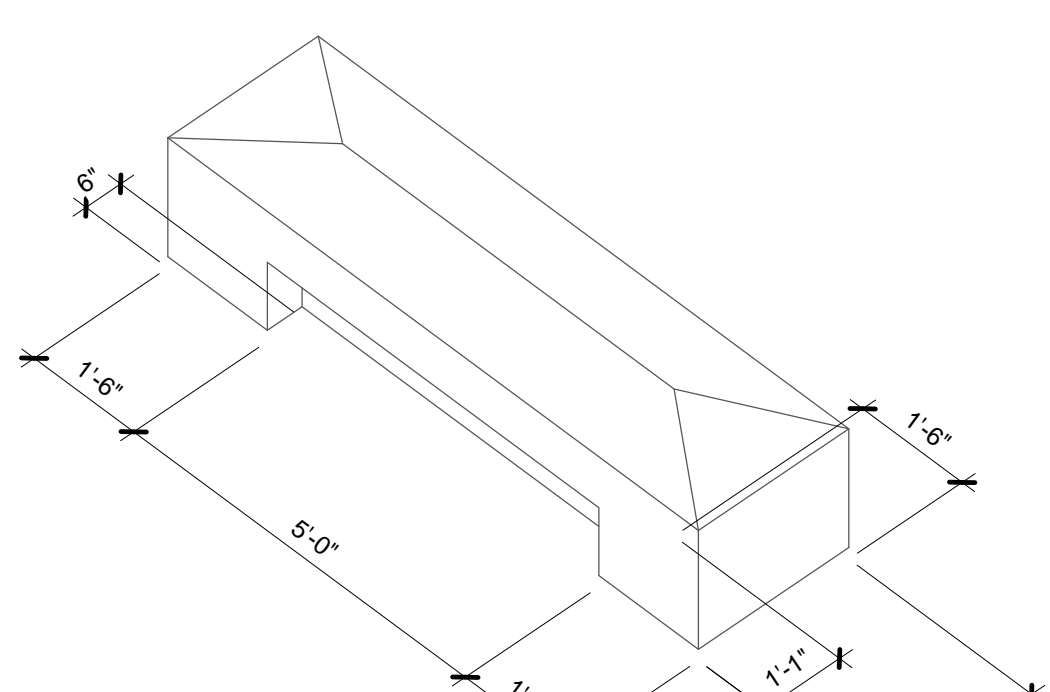
**D3** CURB AT PERFORMANCE AREA  
1/2" = 1'-0"



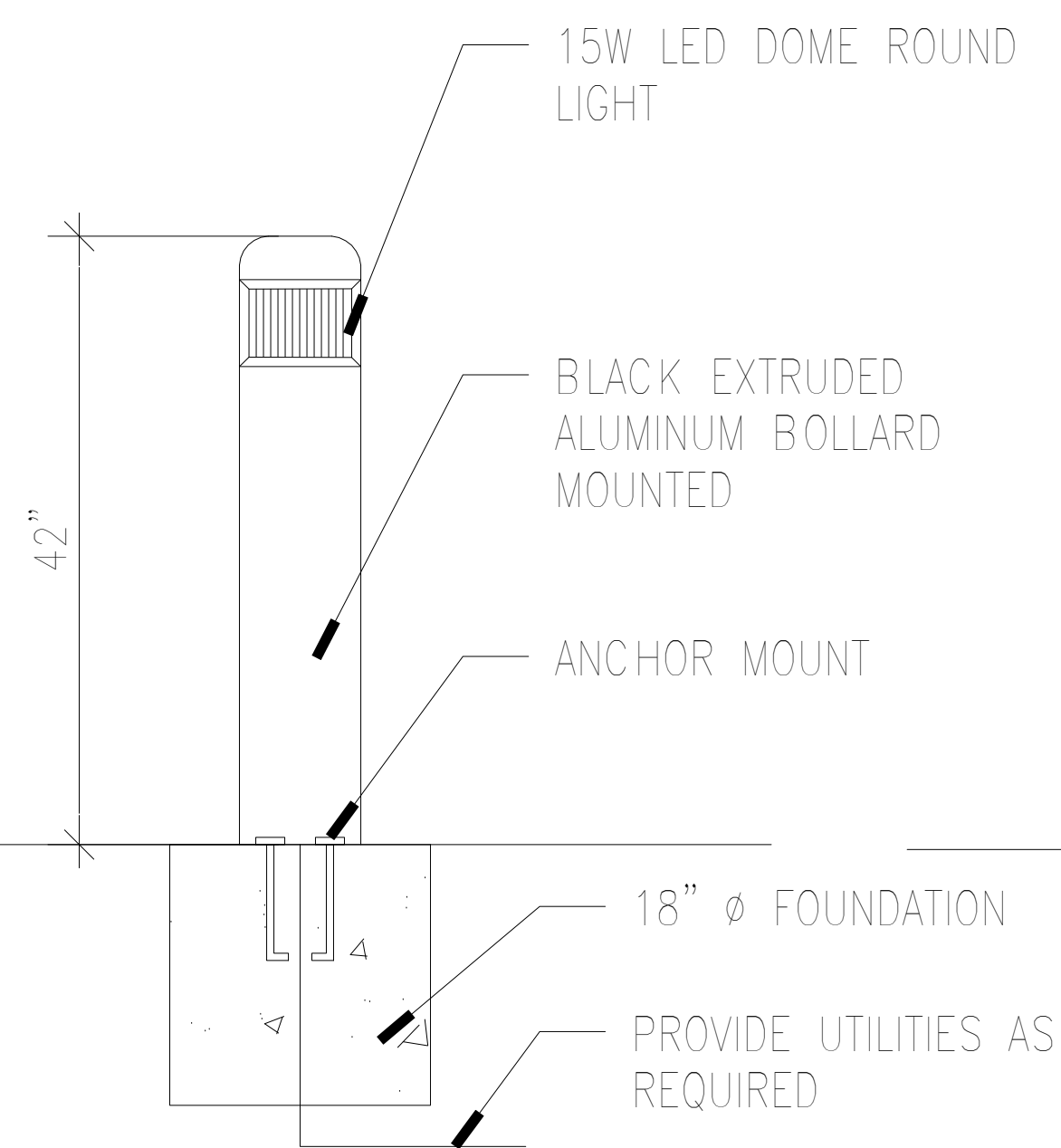
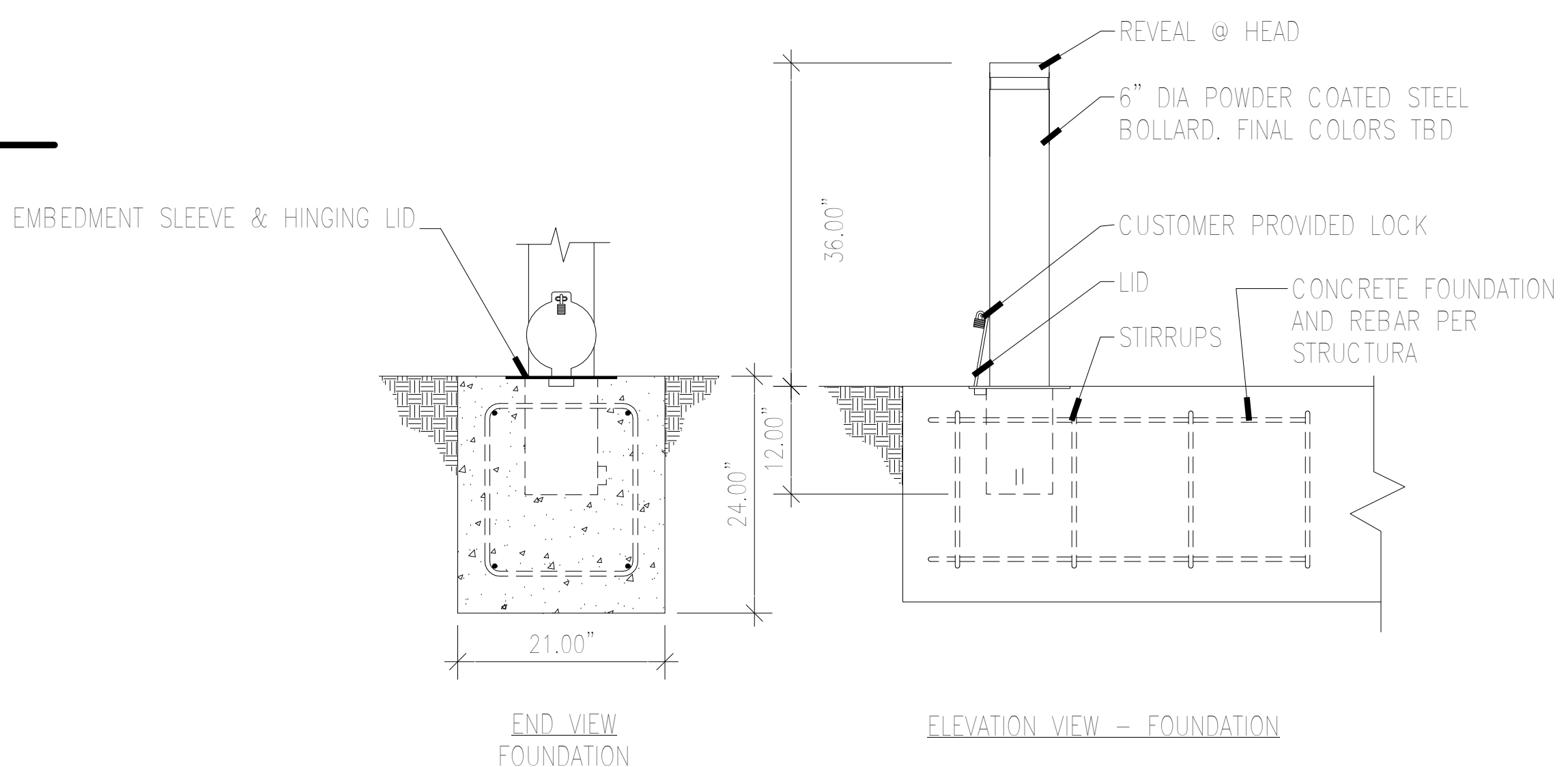
**C2** BENCH DETAIL  
1/2" = 1'-0"



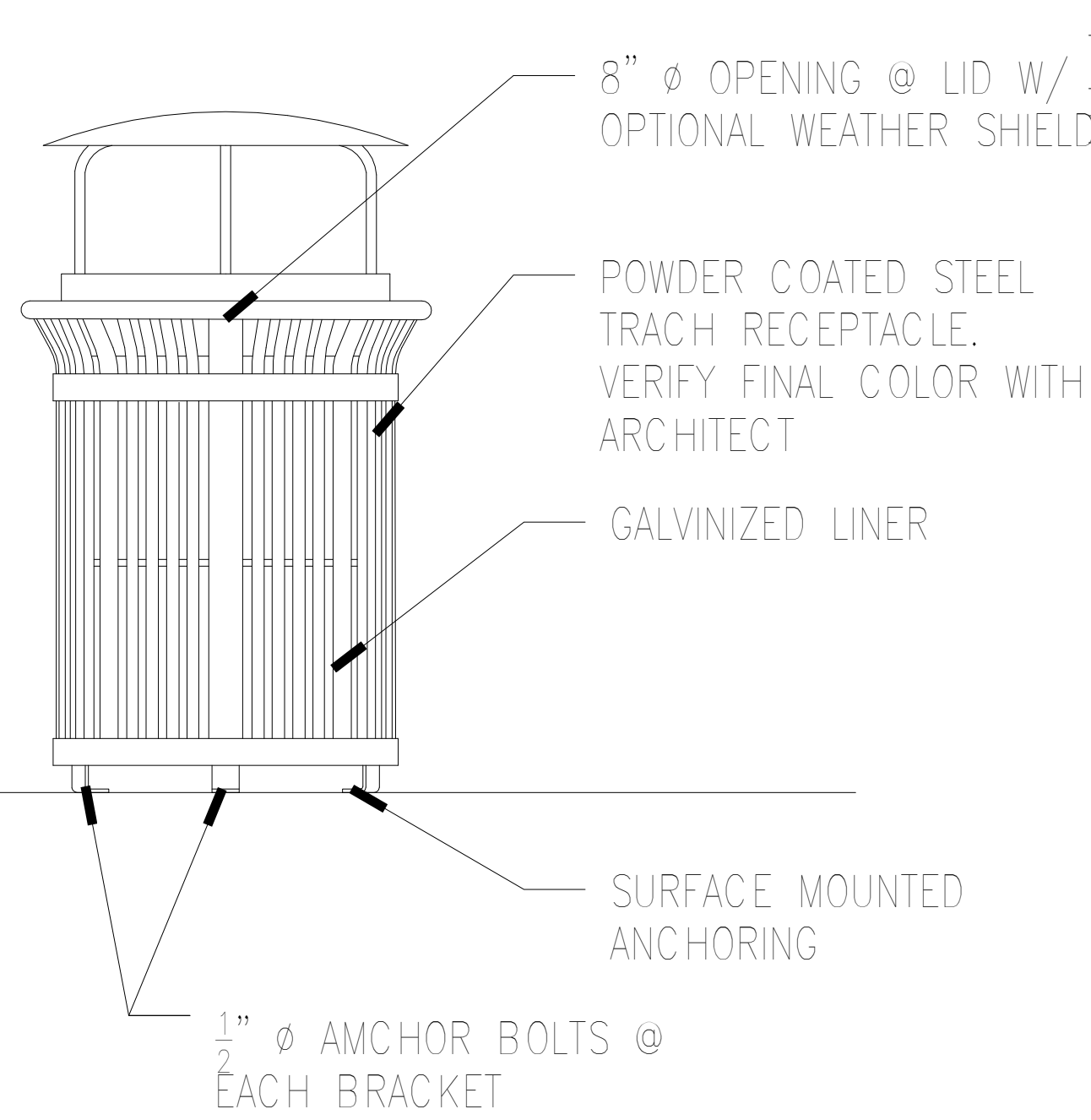
**B3** PAD LOCK REMOVABLE BOLLARD  
3/4" = 1'-0"



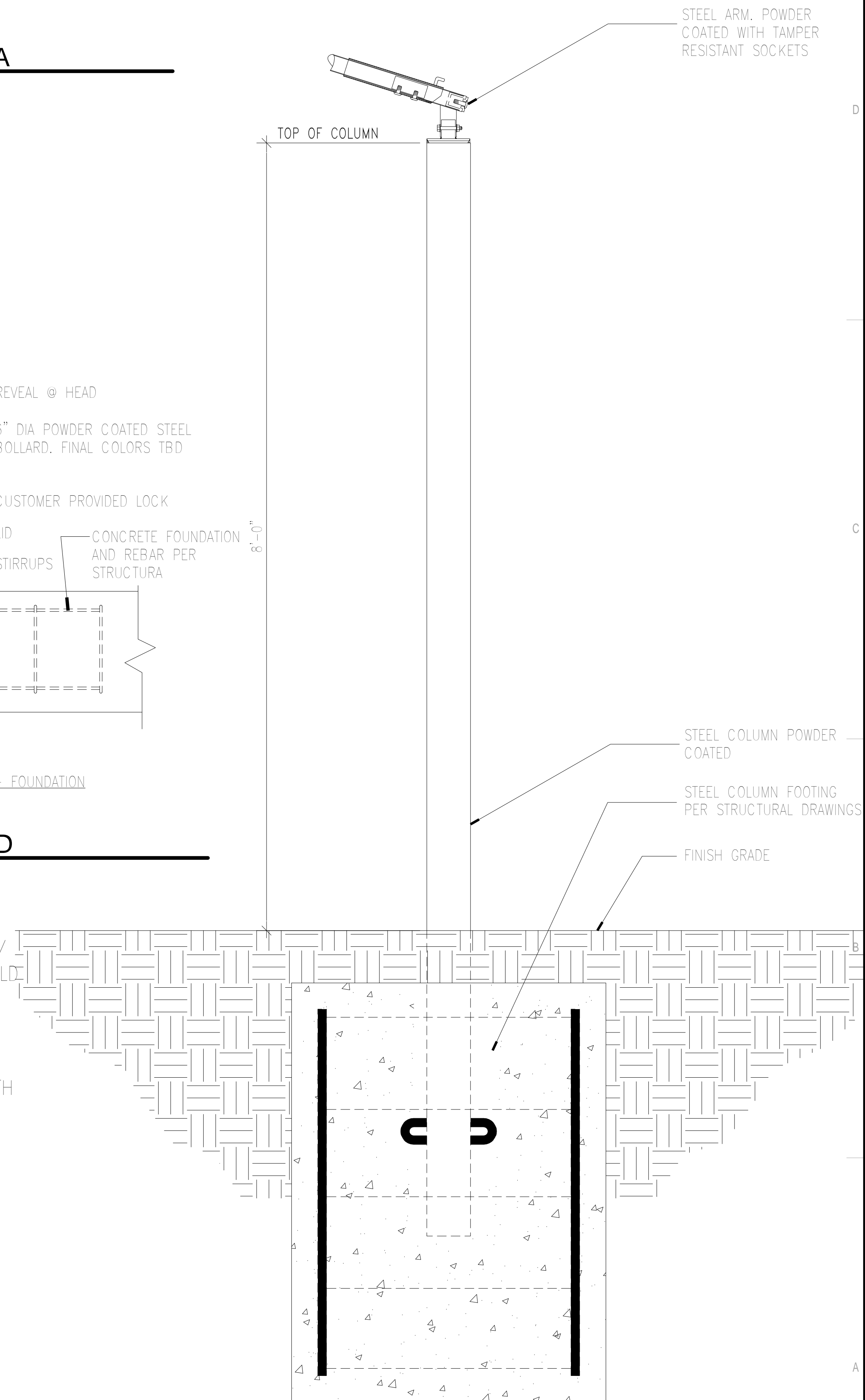
**B2** BENCH DETAIL 3D  
1/2" = 1'-0"



**A2** BOLLARD W/FIXTURE  
1" = 1'-0"



**A3** TRASH RECEPTACLE  
1" = 1'-0"



**A4** SHADE STRUCTURE SUPPORT  
3/4" = 1'-0"

CONSULTANTS

Architect

Engineer

**DRB  
SUBMITTAL**



AVANYU PLAZA  
 2500 12th STREET  
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Key Plan

NTS

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SHEET TITLE

ENLARGED PLANS

AS-105

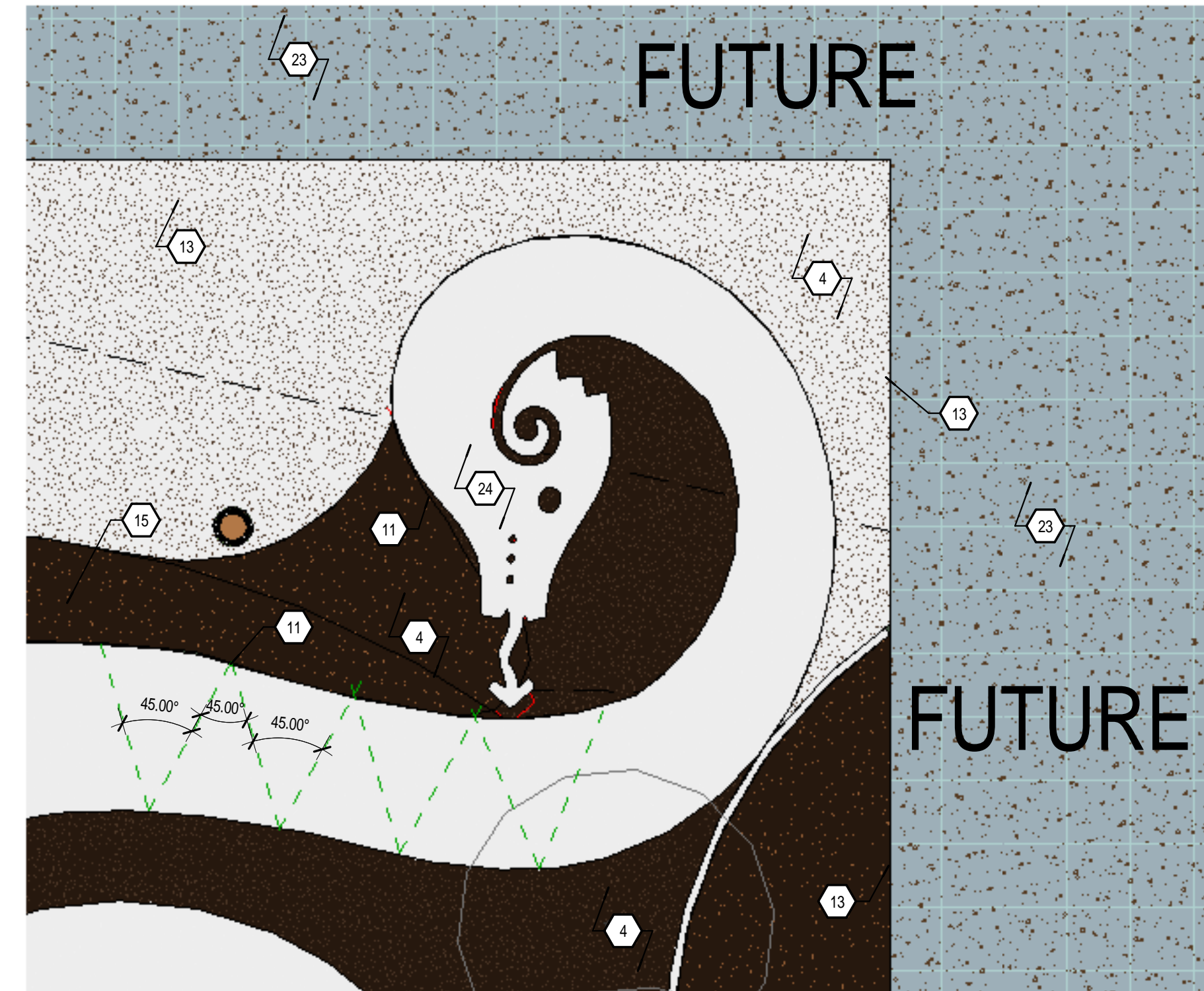
GENERAL NOTES

- A) COORDINATE WITH MECHANICAL, ELECTRICAL & PLUMBING.
- B) UNLESS NOTED OTHERWISE, ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- C) UNLESS NOTED OTHERWISE, ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUD.
- D) REFER TO ENLARGED PLANS FOR WALL TYPES AND DIMENSIONS WITHIN DETAILED AREAS
- F) ALL WALLS ARE TYPE \_\_\_\_ UNLESS NOTED OTHERWISE. REFER TO A-621 FOR PARTITION TYPES.
- G) COORDINATE FINAL LOCATION OF FIRE EXTINGUISHERS WITH FIRE MARSHAL.

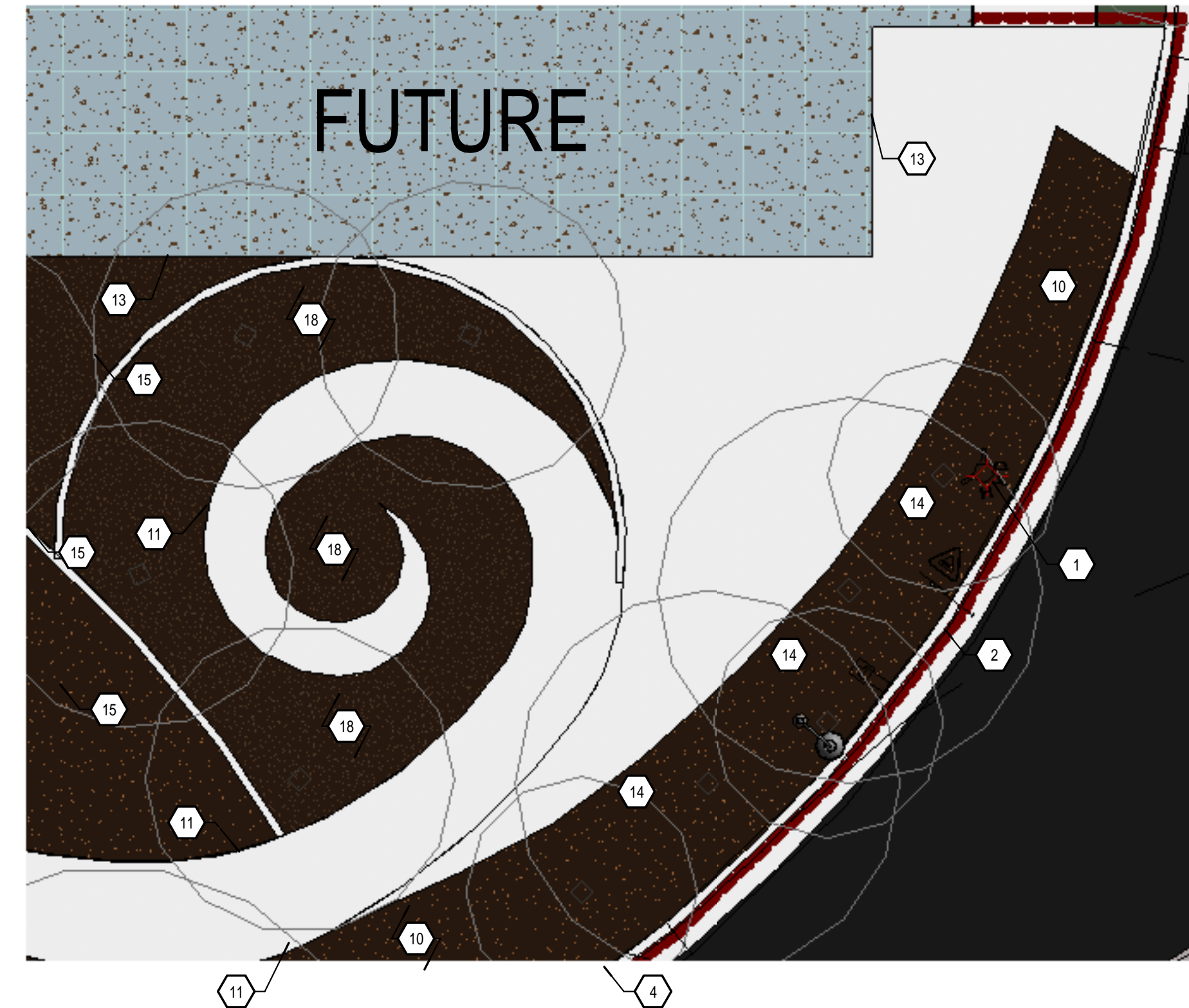
KEYED NOTES

- 1. EXISTING HYDRANT. NO CONSTRUCTION.
- 2. EXISTING EDGE OF CURB. PATCH AND REPAIR WHERE NECESSARY.
- 3. EXISTING CURB RAMP, BOLLARDS & TRAFFIC SIGNAL. MODIFY EDGE OF RAMP. REMOVE CURB & PROVIDE FLUSH FINISH @ PLAZA ENTRY.
- 4. EXISTING STREET LIGHT FIXTURE. NO CONSTRUCTION.
- 5. EXISTING RAISED CROSSWALK. NO CONSTRUCTION. PATCH AND REPAIR IF APPLICABLE.
- 6. EXISTING CARRIAGE STRIP (EXISTING TREES & LANDSCAPING. VERIFY WATERING REQUIREMENTS AND COORDINATE
- 7. EXISTING EDGE OF CONCRETE WALKWAY.
- 8. CRUSHER FINES WITH LANDSCAPING. FINAL COLORS TBD.
- 9. NEW LIGHT FIXTURE, POLE & BASE. SEE DETAIL A1AS-501.
- 10. LANDSCAPE: SEE LANDSCAPE SITE PLAN LS-100. FOR BALANCE OF INFORMATION.
- 11. EDGE OF AVANYU PATHWAY.
- 12. EDGE OF CONCRETE WALKWAY.
- 13. EDGE OF PATIO PAVING. NOT APART OF THIS PHASE. REFER TO OUTLINE TO DETERMINE AREA OF WORK.
- 14. AIS MEMORIAL. FINAL DESIGN TBD
- 15. BENCH: NON SLEEP FRIENDLY CONCRETE BENCH. OPTION 4' LONG STEEL CONTOUR FLAT BENCH W/ SLA PATTERN COLOR. TBD
- 16. EDGE OF WALL. FUTURE CONSTRUCTION NOT A PART OF THIS PHASE.
- 17. COLORED CONCRETE PAVING W/ RADIAL PATTERN.
- 18. COLORED PORTLAND CEMENT W/ PUEBLO SAND & AGGREGATE TO MATCH DESIRED TINT OF PUEBLO LAND.
- 19. COLORED CONCRETE - YELLOW
- 20. COLORED CONCRETE - GREEN
- 21. COLORED CONCRETE - RED
- 22. COLORED CONCRETE - WHITE
- 23. FUTURE PATIO - NOT A PART OF THIS PHASE
- 24. SNAKE HEAD. OPTION SEE DETAIL -

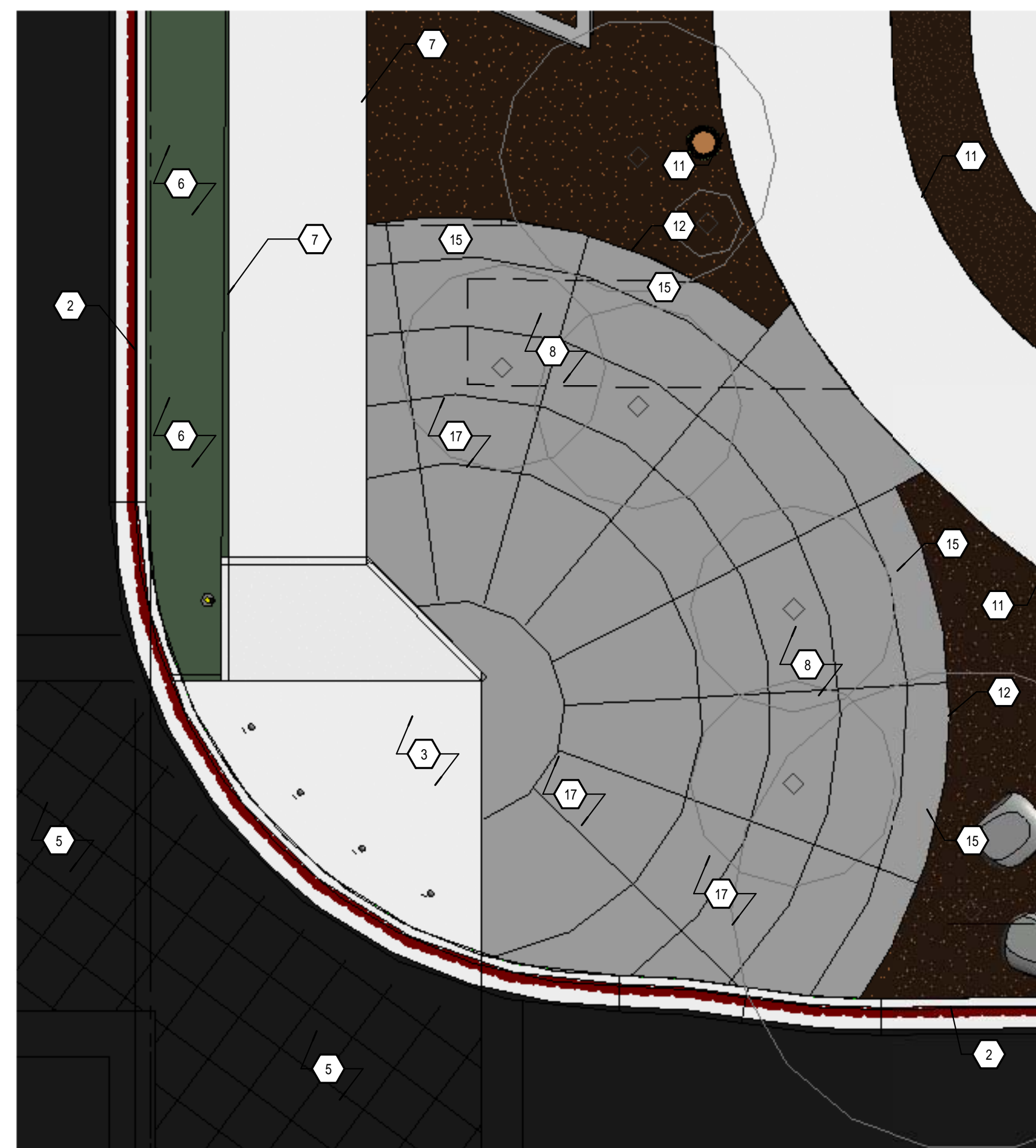
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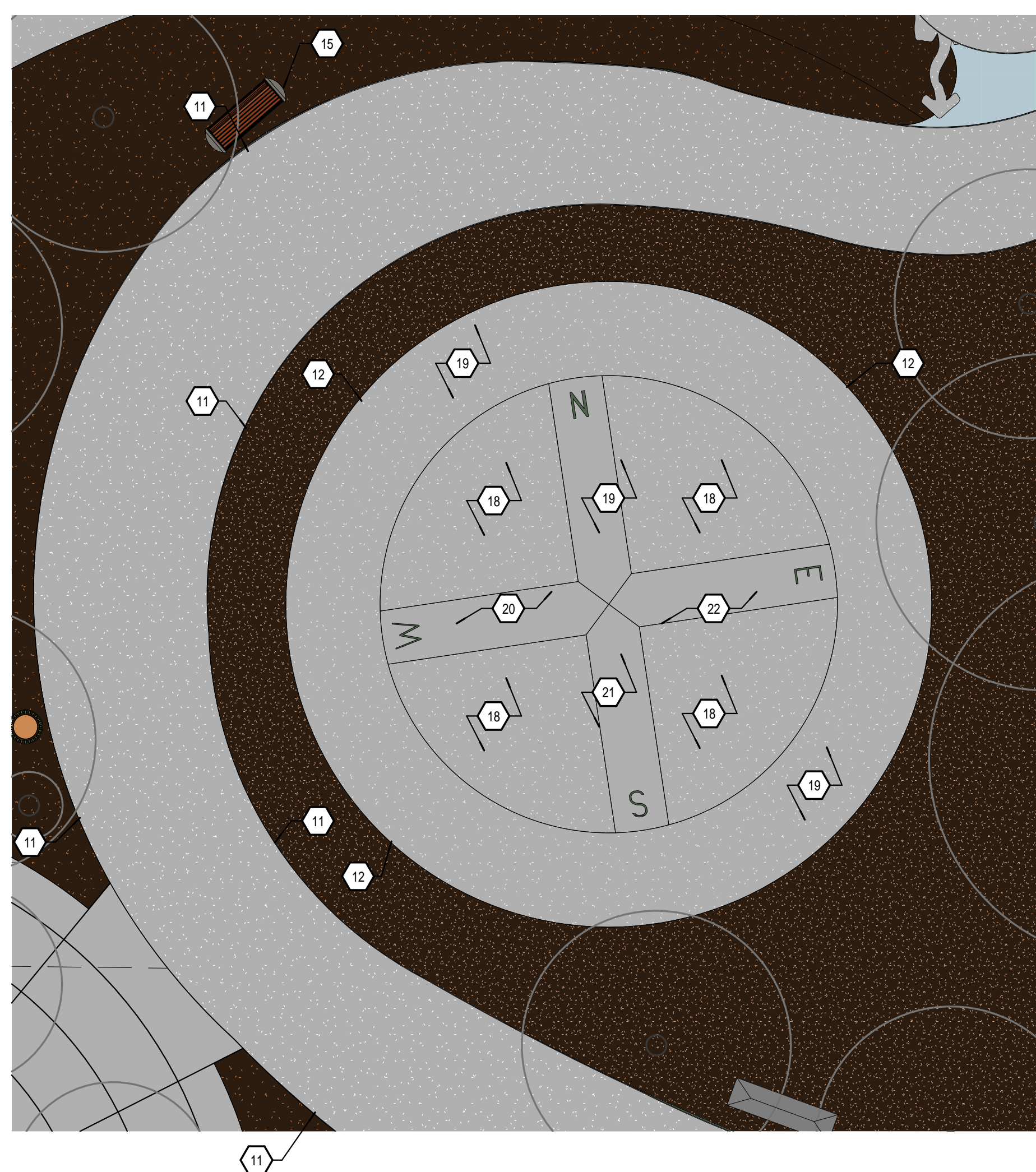
**C1** AVANYU - HEAD  
1/8" = 1'-0"



**C3** AVANYU - TAIL  
1/8" = 1'-0"



**A1** PLAZA ENTRY @ CORNER  
1/8" = 1'-0"



**A3** 19 PUEBLO STORY BOARD W/ CARDINAL DIRECTIONS  
1/8" = 1'-0"