



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input checked="" type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Riverside West, LLC		Phone:
Address: 2911 Ervien LN SW		Email:
City: Albuquerque	State: NM	Zip: 87121
Professional/Agent (if any): Tierra West, LLC		Phone: 505-278-7088
Address: 5571 Midway Park Place NE		Email: slozoya@tierrawestllc.com
City: Albuquerque	State: NM	Zip: 87109
Proprietary Interest in Site: owner	List <u>all</u> owners:	

BRIEF DESCRIPTION OF REQUEST

Site Plan-EPC

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: <small>TR of Land East of Amole Del Norte Diversion Channel TR 1 of Summary Plat Land Division of Westland Development Co inc Together with a TR of Land within these 1/4 SE1/4 SEC 34</small>	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code: 101005440552820545 101005534207240110
Zone Atlas Page(s): M-10-Z	Existing Zoning: R-MC	Proposed Zoning: R-MC
# of Existing Lots: 2	# of Proposed Lots: 2	Total Area of Site (acres): 40.82 acres

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 2911 Ervien LN SW ABQ NM 87121	Between: Coors Blvd NW	and: Ervin LN SW
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

PR-2018-001482, 1000976

Signature:	Date: 12/7/2023
Printed Name: Sergio Lozoya	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date:
	Project #

FORM P1: SITE PLAN – EPC

Please refer to the EPC hearing schedule for public hearing dates and deadlines. Your attendance is required.

- SITE PLAN – EPC**
- MASTER DEVELOPMENT PLAN**
- MAJOR AMENDMENT TO SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN**
- EXTENSION OF SITE PLAN – EPC OR MASTER DEVELOPMENT PLAN**

N/A Interpreter Needed for Hearing? _____ if yes, indicate language: _____

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF *shall be organized* with the Development Review Application and this Form P1 at the front followed by the remaining documents *in the order provided on this form*.

- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)
- Signed Traffic Impact Study (TIS) Form
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Sections 14-16-6-6(J)(3) or 14-16-6-6(F)(3), as applicable

N/A Explanation of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P)

- Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)
- Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)
 - Office of Neighborhood Coordination neighborhood meeting inquiry response
 - Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
 - Completed neighborhood meeting request form(s)
 - If a meeting was requested/held, copy of sign-in sheet and meeting notes

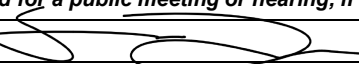

- Sign Posting Agreement
- Required notices with content per IDO Section 14-16-6-4(K)(1)
- Required notices with content per IDO Section 14-16-6-4(K)(1) (*not required for extension*)
 - Office of Neighborhood Coordination notice inquiry response
 - Copy of notification letter, completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing to affected Neighborhood Association representatives.
 - Proof of emailed notice to affected Neighborhood Association representatives
 - Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, completed notification forms(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing

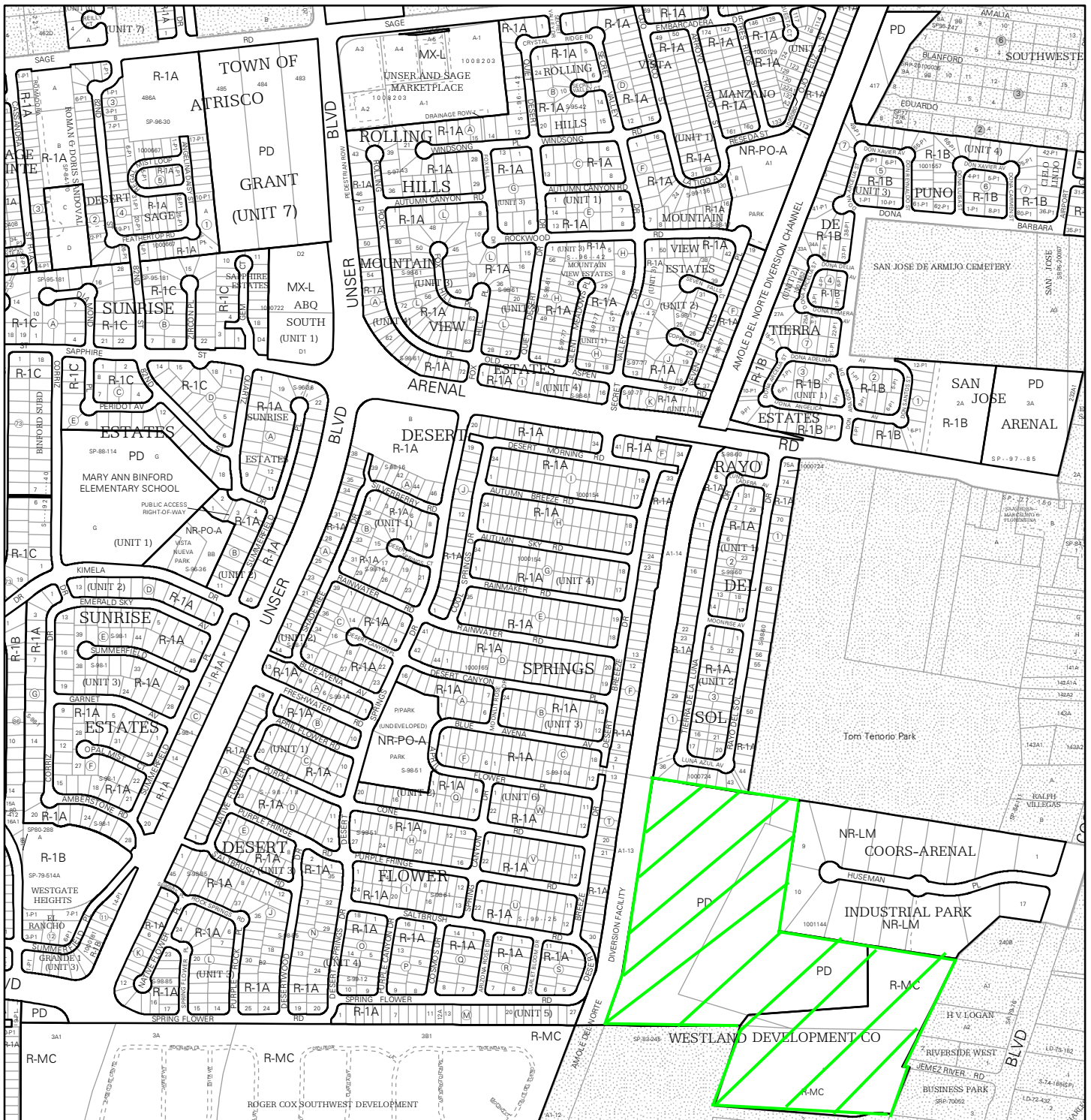
- Completed Site Plan Checklist
- Scaled Site Plan or Master Development Plan and related drawings
Master Development Plans should include general building and parking locations, as well as design requirements for buildings, landscaping, lighting, and signage.
- Copy of the original approved Site Plan or Master Development Plan (for amendments only)
- Site Plan or Master Development Plan
- Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C)
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for all commercial and multifamily site plans except if the development is industrial or the multifamily is less than 25 units.
- Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone

VARIANCE – EPC

___ In addition to the above requirements for the Site Plan – EPC or Master Development Plan the proposed variance request is related to, please describe, explain, and justify the variance per the criteria in IDO Section 14-16-6-6(N)(3).

Note: Any variance request from IDO Standards in Sections 14-16-5-3 (Access and Connectivity), 14-16-5-4 (Subdivision of Land), 14-16-5-5 (Parking and Loading), or DPM standards shall only be granted by the DRB per IDO Section 14-16-6-6(L) See Form V.

<i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i>	
Signature: 	Date: 12/7/2023
Printed Name: Sergio Lozoya	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Case Numbers:	Project Number:
Staff Signature:	
Date:	



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

Gray Shading
Represents Area Outside
of the City Limits

Zone Atlas Page:
M-10-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

Agent Authorization Form

November 1, 2023

Mr. David Shaffer, Chair
Environmental Planning Commission
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: SITE PLAN-EPC & SIDEWALK VARIANCE
TR 1 OF SUMMARY PLAT LAND DIVISION OF WESTLAND DEVELOPMENT CO INC
TOGETHER WITH A TR OF LAND WITHIN THESE ¼ SE ¼ SEC 34 T1 ON R2E TR OF
LAND EAST OF AMOLE DEL NORTE DIVERSION CHANNEL NORTH OF SECTION
LINE OF SECTIONS 34 & 3 For a * Unit Mobile Home Park**

ZONE ATLAS PAGE: M-10-Z

I/We, (property owner name) David H. Reynolds, as the owner(s) of the real property described as follows: TR 1 OF SUMMARY PLAT LAND DIVISION OF WESTLAND DEVELOPMENT CO INC TOGETHER WITH A TR OF LAND WITHIN THESE ¼ SE ¼ SEC 34 T1 ON R2E TR OF LAND EAST OF AMOLE DEL NORTE DIVERSION CHANNEL NORTH OF SECTION LINE OF SECTIONS 34 & 3 For a * Unit Mobile Home Park , do hereby authorize to act as my/our agent (Agents Name), **Tierra West, LLC**, to execute any and all documents necessary to affect the application approval requested to the Environmental Planning Commission, and to appear on my/our behalf before any administrative or legislative body in the county of Bernalillo considering this application and to act in all respects as our agent in matters pertaining to the application.

David H. Reynolds

Print Name



Signature

Manager

Title

11/2/2023

Date



City of Albuquerque
P.O. Box 1293 Albuquerque, NM 87103
Planning Department
Alan Varela, Interim Director

Tim Keller, Mayor
Sarita Nair, CAO

DATE: March 22, 2023

SUBJECT: Albuquerque Archaeological Ordinance - Compliance Documentation

Case Number(s): PR-2018-001482
Agent: Tierra West LLC
Applicant: Riverside West LLC
Legal Description: TR 1 OF SUMMARY PLAT LAND DIVISION OF WESTLAND DEVELOPMENT CO INC
Zoning: R-MC
Acreage: 38.95
Zone Atlas Page(s): M-10-Z

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

SUPPORTING DOCUMENTATION:

Historic Google Earth images, NMCRIIS records

SITE VISIT: N/A

RECOMMENDATIONS:

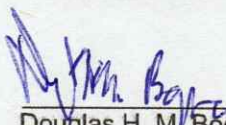
Most of the property was thoroughly disturbed by blading or bush removal by 2002.

Therefore: CERTIFICATE OF NO EFFECT ISSUED-under 6-5(A) (3)(a) criterion 2 "The property has been disturbed through previous land use"

SUBMITTED BY:

SUBMITTED TO:

Planning, Development Services



Douglas H. M. Boggess, MA, RPA Date
Senior Principal Investigator
Acting City Archaeologist
Lone Mountain Archaeological Services, Inc.

3-22-2023



City of Albuquerque

Planning Department
Development Review Services Division

Traffic Scoping Form (REV 12/2020)

Project Title: Riverside Mobile Home Park Building Permit #: _____ Hydrology File #: _____
Zone Atlas Page: M-10-Z N-10-Z DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: _____
City Address: 2911 ERVIEN LN SW UPC 101005440552820545 & 101005534207240110

Applicant: Tierra West LLC on behalf of Riverside West, LLC Contact: Amanda Herrera
Address: 5571 Midway Park Pl NE, Albuquerque NM 87109
Phone#: 505-858-3100 Fax#: _____ E-mail: aherrera@tierrawestllc.com

Development Information

Build out/Implementation Year: 2023 Current/Proposed Zoning: R-MC/R-MC

Project Type: New: () Change of Use: () Same Use/Unchanged: () Same Use/Increased Activity: (X)

Proposed Use (mark all that apply): Residential: (X) Office: () Retail: () Mixed-Use: ()

Describe development and Uses: 96-Unit residential mobile home park, to be added to the existing
82-Unit Riverside Mobile Home Park located at Coors Blvd SW and Ervien Ln SW

Days and Hours of Operation (if known): 24 hours a day, 7 days a week

Facility

Building Size (sq. ft.): _____

Number of Residential Units: 96 proposed units, 82 existing units

Number of Commercial Units: _____

Traffic Considerations

Expected Number of Daily Visitors/Patrons (if known):* _____

Expected Number of Employees (if known):* _____

Expected Number of Delivery Trucks/Buses per Day (if known):* _____

Trip Generations during PM/AM Peak Hour (if known):* ITE-11th ed. 240-Mobile Home Park (82/102)
AM-17Enter/65Exit PM-63Ent/39Exit

Driveway(s) Located on: Street Name Ervien Ln SW

Adjacent Roadway(s) Posted Speed: Street Name Coors Blvd SW Posted Speed 55 mph

Street Name Ervien Ln SW Posted Speed 15 mph

* If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required

Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation/Functional Classification: Principal Arterial
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: n/a
(urban center, employment center, activity center)

Jurisdiction of roadway (NMDOT, City, County): City

Adjacent Roadway(s) Traffic Volume: 24,498 (2021 TAQA) Volume-to-Capacity Ratio: _____
COG ID# 14622 (if applicable)

Adjacent Transit Service(s): Bus Route 155 Nearest Transit Stop(s): Bus Stop Route 155 on Coors near Ervien

Is site within 660 feet of Premium Transit?: NO

Current/Proposed Bicycle Infrastructure: Bicycle facility along Coors Blvd, Paved Multiple Use Trail along the Amole del Norte canal, and a proposed unpaved trail along Arenal Main Canal
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: No Sidewalk or Paved trail along adjacent roadways/Proposed on-site sidewalks running from East to West along mobile home frontages.

Relevant Web-sites for Filling out Roadway Information:

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: <https://abc-zone.com/document/abc-comp-plan-chapter-5-land-use> (map after Page 5-5)

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf (Map Pages 75 to 81)

TIS Determination

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes No Borderline

Thresholds Met? Yes No

Mitigating Reasons for Not Requiring TIS: _____ Previously Studied:

Notes:

M. P. E.

3/15/2023

TRAFFIC ENGINEER

DATE



Submittal

The Scoping Form must be submitted as part of any building permit application, DRB application, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to the City Traffic Engineer mgrush@cabq.gov . Call 924-3362 for information.

Site Plan/Traffic Scoping Checklist

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([check MRCOG Bikeways and Trails in the 2040 MTP map](#))
4. Location of nearby multi-use trails, if applicable ([check MRCOG Bikeways and Trails in the 2040 MTP map](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify v/c ratio on this form.

Land Use: 240

Mobile Home Park

Description

A mobile home park generally consists of manufactured homes that are sited and installed on permanent foundations. The mobile home park typically includes community facilities such as a recreation room, swimming pool, and laundry facilities.

Additional Data

The sites were surveyed in the 1980s, the 1990s, and the 2000s in Delaware, Indiana, Oregon, Virginia, and West Virginia.

Source Numbers

155, 169, 252, 936, 1066

December 7, 2023

Mr. David Shaffer, Chair
Environmental Planning Commission
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

RE: **SITE PLAN-EPC & SIDEWALK VARIANCE
TR 1 OF SUMMARY PLAT LAND DIVISION OF WESTLAND DEVELOPMENT CO
INC TOGETHER WITH A TR OF LAND WITHIN THESE ¼ SE ¼ SEC 34 T1 ON R2E
TR OF LAND EAST OF AMOLE DEL NORTE DIVERSION CHANNEL NORTH OF
SECTION LINE OF SECTIONS 34 & 3 For a * Unit Mobile Home Park
ZONE ATLAS PAGE: M-10-Z**

Dear Mr. Shaffer:

Site Location

The purpose of this letter is to request a Site Plan EPC for a property located at 2911 Ervin LN SW. The subject site is comprised of 40.82 acres and is currently zoned R-MC, Residential-Manufactured Home Community. This proposed development is comprised of two properties. The first, hereafter referred to as the “East Property”, is legally described as TR 1 of Summary Plat Land Division of Westland Development Co Inc Together With a TR of Land Within These ¼ SE ¼ Sec 34 T1 on R2E TR of Land East Of Amole Del Norte Diversion Channel North of Section Line of Sections 34 & 3 The second, hereafter referred to as the “West property”, is legally described as Tr of Land East of Amole Del Norte Diversion Channel North of Section Line of Sections 34 and 3 Cont. 8.4022 AC M/L. The intent is to expand an existing mobile home park on that site.

Figure 1. Subject Site Outlined in Red



Request

The applicant requests a Site Plan-EPC. The site is zoned R-MC. Riverside West, LLC proposes to expand the existing manufactured home community, adding an additional 96 new homes to the existing 82 units and situation on approximately 40.82 acres. The site is located off Coors Blvd. SW and Ervin Lane SW. There is an existing manufactured home community with 82 spaces, and the proposal is to expand this community by adding 96 additional spaces. There are two primary entrances to the site, one on Ervin Ln SW and the other on Jemez Rive Rd SW, and emergency access easement has been granted through the Rayo del Sol Subdivision to the north to serve as secondary fire access. To note, there are no proposed amenities for this development.

DHO Sidewalk Waiver

Concurrent to this submittal, we are requesting a waiver to the sidewalk requirements found in the Development Process Manual. We will submit this request prior to the December 15th deadline for the January 10th, 2024 DHO hearing. The relevant IDO provision is as follows:

IDO 5-3(D)(1)(a) Perimeter sidewalks shall be provided in accordance with the DPM. The relevant DPM citation is as follows (relevant portion is **bolded**):

Section 7-4(E)(1) Public Sidewalks 7-4(E)(1)(i)
 General Provisions

1. All roads in the City right-of-way or roadway easements shall include distinct and accessible pedestrian accommodations. Alleyways are exempt from the requirement for separate pedestrian accommodations.

2. All new roadway construction shall include sidewalks and landscape/buffer zones installed on both sides of the street.

The proposed site plan shows sidewalks only on one side of the street.

History

The existing portion of the manufactured home community was developed in 1996 over 14.4 acres of the East Property. Portions of both the East Property and West Property are within historic construction landfill areas that were in operation and then filled between 1991 and 1996. Both properties are owned by Riverside West, LLC.

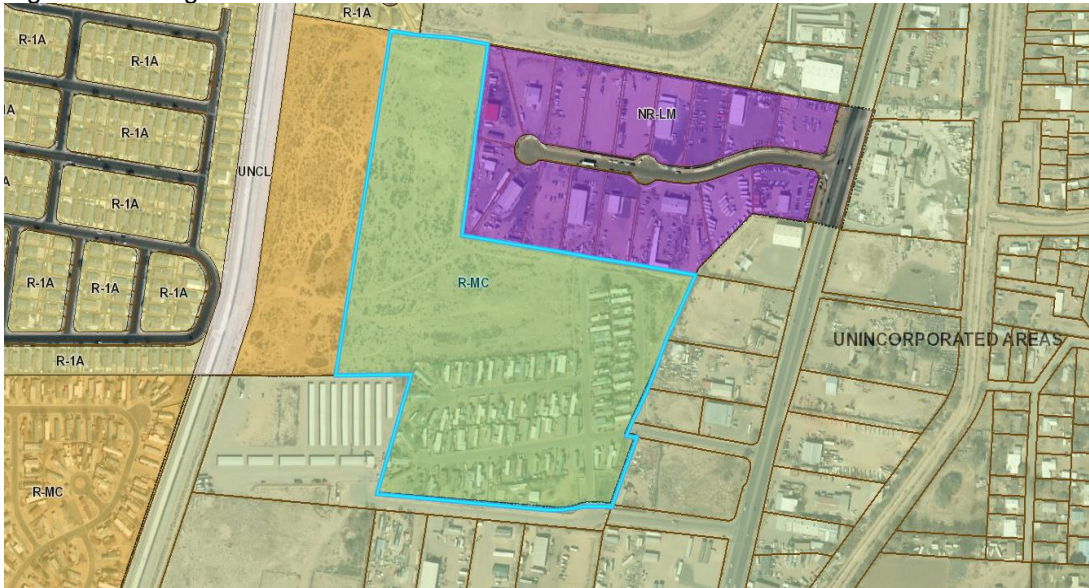
Existing Conditions

Surrounding land use and zoning: Nearby uses are primarily R-1A to the north, NR-LM east of the site. R-MC and Unincorporated Area (Bernalillo County) west and south.

Surrounding Zoning and Land Use		
NORTH	R-1A, Unincorporated Area	Rayo Del Sol Subdivision, Tom Tenorio Park
EAST	NR-LM	Desert Flower Subdivision
SOUTH	UNINCORPORATED AREA	Vacant Land
WEST	R-1A, R-MC	Duke City Fueling, OCD Rocky Mountain Food

		Distributor, Marathon Petroleum Corp, Oil Refinery
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Figure 2. Zoning



Proposed Site Plan

The proposed mobile home park expansion will be located over the undeveloped portions of the East Property and West Property excluding the bulk footprint of the historic landfill. Partner ESI is preparing a landfill gas report to determine which, if any, areas of the proposed development will require additional remediation measures. We are currently working with the City of Albuquerque, Bernalillo County and NMDOT on the requirements to maintain these access points.

Landfill Impacts

Per discussions with Paul Olsen, Principal Engineer at City Environmental Health, these mitigations measures will include excavation of landfill debris located beneath any proposed structures. This will include roadways, utility trenches and mobile home pads. Additionally, any ponding areas will be lined to prevent excess infiltration of stormwater into the landfill debris. This plan proposes leaving the landfill area undeveloped and doing as minimal mitigation as possible. Partner ESI, an environmental engineering firm, is preparing a landfill gas report to characterize the landfill waste and map its limits. This report has been submitted to City Environmental Health and will detail which, if any, areas of the proposed development will require additional remediation measures. Enclosed is a copy of the proposed mitigation plans that have also been submitted to Environmental Health.

Transportation System

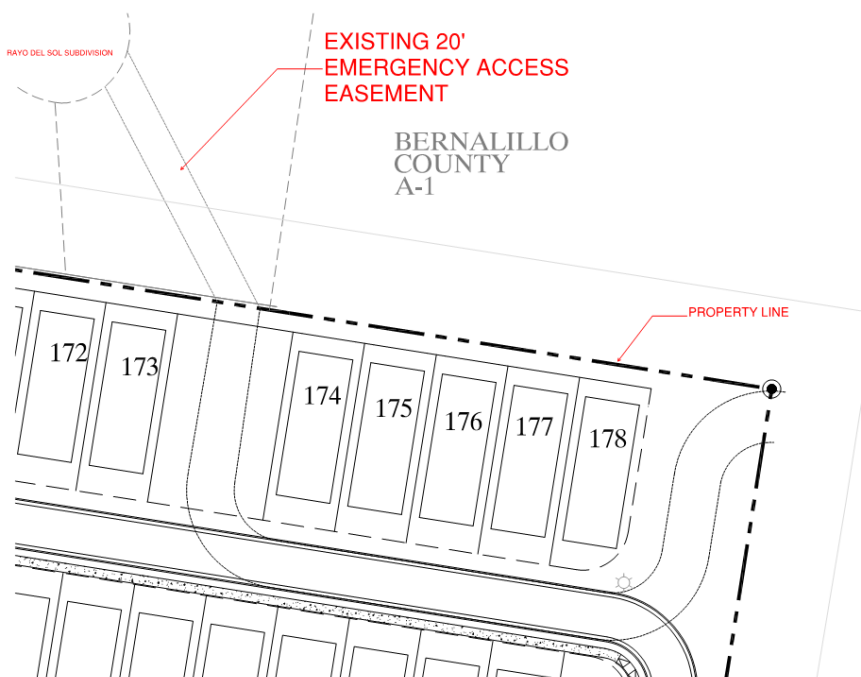
The proposed development will utilize the same primary entrance on Ervin Ln SW and will be accessed through the internal roadways of the existing manufactured home spaces. The secondary access on Jemez River Rd SW will also be utilized. Both roadways are in the jurisdiction of Bernalillo County, and we are currently working with eh City of Albuquerque,

Bernalillo County, and NMDOT to determine the requirements to maintain these access points. A Traffic Impact Study (TIS) will be required for this development, as determined in a scoping meeting with the City of Albuquerque and NMDOT. The existing private 40' internal roadway section will be extended to construct the proposed improvements. Any public infrastructure requirements to the public roadway system will be determined by the TIS. The proposed private roadway section will include curb, gutter, sidewalk on one side, and landscape strip. The proposed TIS is limited to the access points on the site and on Coors. The project will be responsible for implementing the recommended mitigation measures of the TIS.

Vehicle Access, Circulations and On-Site Parking

As mentioned above traffic will enter the site through existing driveway entrances on Ervin Ln SW and Jemez River Rd SW. Traffic circulation to the expanded area will be through the existing portion of the development. An emergency access easement exists for the project north through this site in the event that the proposed access is blocked.

Figure 3: Emergency Access Easement



Notice to Association and Neighboring Properties

Property owners within 100ft and the affected neighborhood associations, San Jose Neighborhood Association, were notified as required. As of the submittal date of the application, no neighborhood associations made a request for a meeting on the project.

Landscaping, Buffering and Screening

Proposed landscaping plan meets buffering requirements set in IDO 14-16-5 5-6(E).

There is an office building in the existing portion of the manufactured home community that will serve future tenants in the proposed expansion. Required open space will be provided in the undeveloped area to the southeast proposed expansion. The open space area is indicated on the EPC site plan.

Drainage

The existing site is required to retain all developed and undeveloped flows per City Hydrology. Currently, all site drainage is conveyed to a retention pond on the NE corner of the site. The proposed development will construct a new pond just south of the expansion to retain developed flows. Most of the landfill footprint will be left undisturbed and will continue to drain to the existing pond at the NE corner of the site.

Integrated Development Ordinance Justification Criteria

The following explanation below summarizes how the request for a Major Amendment to the existing Site Plan- EPC meets the IDO criteria pursuant to IDO Section 14-16-6-4 (Y)(3). As a Major Amendment it is subject to review and decision by the original decision-making body, the Environmental Planning Commission (EPC).

6-6 (I)(3)(a) The Site Plan is consistent with the ABC Comp Plan, as amended.

Response: The request for Site-Plan EPC is consistent with the ABC Comprehensive Plan as amended, and directly facilitates the policies and sub-policies identified below.

Goal 4.1 Character: Enhance, protect, and preserve distinct communities.

Policy 4.1.2 Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

Response: The request furthers Policy 4.1.2 because it will allow for the appropriate type of scale of uses to take advantage of the existing identity and character of the neighborhood which provides affordable housing in a location where it exists today within a transition zone between various residential uses and commercial uses. The request will allow the existing mobile home community to remain intact as it has for over 30 years. The area will not be disrupted by the removal and relocation of the existing community or the relocation of existing residents. This use also allows affordable housing opportunities within the community.

Policy 4.1.4 Neighborhoods: Enhance, protect, and preserve neighborhoods and traditional communities as key to our long- term health and vitality.

Response: The proposed site plan will enhance, protect, and preserve the existing mobile home park/neighborhood. Prior to this EPC submittal, the applicant worked extensively with the City's Environmental Health Department to determine the appropriate landfill gas buffers. This process ensures that current residents and future residents are protected. This process also enhances the quality of life for current residents.

Sub-policy 4.1.4 c) Support improvements that protect stable, thriving residential neighborhoods and enhance their attractiveness.

Response: The request furthers Policy 4.14 because it will protect an existing stable, thriving residential neighborhood and preserve the neighborhood by not requiring the existing mobile home community to be removed from the area and the residents displaced. The primary goal of the request is to do exactly what this policy requires: To keep the mobile home community

in place so that the neighborhood and its residents can preserve and protect what they have spent over 30 years building.

Goal 5.2 Complete Communities: Foster communities where residents can live, work, learn, shop, and play together.

Response: The request will foster a community where residents can live, work, learn, shop, and play together as the subject site is located within the Coors Blvd Major Transit Corridor as identified by the Comprehensive Plan. There is a bus stop just 400-500 feet from the subject site, this proximity to public transportation fosters access to surrounding amenities and provides opportunities for residents to live, work and play.

Policy 5.2.1 Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

Response: The request is consistent with Policy 5.2.1, Land Uses as it will create a healthy, sustainable community, that has access to public transit along Coors Blvd. a Major Transit Corridor. The proximity to transit will promote accessibility to nearby schools, parks, churches, and shopping centers.

Sub-policy 5.2.1 d) Encourage development that broadens housing options to meet a range of incomes and lifestyles.

Response: The goal of the request is to make the long established existing mobile home community a permissive use. This will allow the existing close-knit community to remain a sustainable mobile home development in an area with good street connectivity and convenient access to transit. It would also help to maintain and foster the broad housing options available in the area to meet the range of incomes and lifestyles needed within the community that offers a mix of uses that are conveniently accessible from the subject property.

Goal 5.6 City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

Response: The subject site has a unique condition of being within both an Area of Change and an Area of Consistency. The request is consistent with policies regarding both. The request encourages growth by expanding the mobile home park within the Area of Change, where development of this nature is expected and desired. The request also reinforces the character of the existing mobile home park, located within the Area of Consistency. The measures taken for landfill mitigation will protect the existing neighborhood.

Policy 5.6.2- Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

Response: This request furthers this policy by directing growth and redevelopment to an Area of Change that will help redevelop and utilize a portion of the subject site. The desired effect is to expand the existing manufactured homes to the existing surrounding residential manufactured home community use as well as the neighboring communities while preserving the character of the surrounding areas.

Policy 5.6.3- Areas of Consistency: Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, parks and Major Public Open Space.

Response: The goal of the requested Site Plan -EPC is to maintain the existing character mobile home community that is in an area that helps to align the appropriate land use. Though mobile home parks are not mentioned in the policy above, it is an equitable approach to support and give the same protections and enhancements to existing mobile home parks. The request will serve to protect the character of the existing community and allow it and its residents to remain.

Goal 9.1 Supply: Ensure a sufficient supply and range of high-quality housing types that meet current and future needs at a variety of price levels to ensure more balanced housing options.

Response: The request is consistent with Goal 9.1 Supply, as it will ensure a sufficient supply and range of housing types at an affordable price. Mobile homes are typically more affordable and thus ensure a balance in housing options within the City. The request will facilitate the development of 96 new mobile homes and will ensure a high quality of life for the existing 82 mobile home units.

Policy 9.1.1 Housing Options: Support the development, improvement, and conservation of housing for a variety of income levels and types of residents and households.

Response: The request is consistent with Policy 9.1.1 Housing Options as it will support the development, improvement, and conservation of housing. Mobile homes are typically more affordable than other housing types, thus providing housing options for a variety of income levels. Prior to submitting to EPC, we worked extensively with the Environmental Health Department to improve and conserve the existing 86 mobile home units.

Sub-Policy 9.1.1 a) Increase the supply of housing that is affordable for all income levels.

Response: The existing Riverside Mobile home community helps support diverse housing options within this area of the city. It ensures availability and affordability for not only the current residents within the existing park but for future residents as well. It provides lower income residents with an opportunity to own the unit within which they live rather than renting an apartment or single-family detached house. It does so within an area that is close to public transit and is within walking distance to numerous existing and future job opportunities, which contributes to its affordability of the housing.

6-6 (I)(3)(b) The Site Plan is consistent with any applicable terms and conditions in any previously approved NR-SU or PD zoning covering the subject property and any related development agreements and/ or regulations.

Response: The site is not located in a NR-SU or PD zoning district.

6-6 (I)(3)(c) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

Response: The future site plan will be required to meet applicable regulations and procedures contained in the IDO, and DPM.

6-6 (I)(3)(d) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the maximum extent practicable.

Response: The City's existing infrastructure in this location -streets, sidewalks, drainage, and infrastructure- has adequate capacity to serve the site that is within a fully developed area of Albuquerque.

6-6(l)(3)(e) The application mitigates any significant adverse impacts on the project site and the surrounding area to the maximum extent practicable.

Response: This application proposes to mitigate any adverse impacts to the project site and adjacent properties. The notable item impacting this site will be the existing landfill for which Tierra West and Partner ESI have already met with City Environmental Health. A landfill gas report will be submitted to Environmental Health for review.

6-6(l)(3)(f) If the subject property is within an approved Master Development Plan, the Site Plan meets any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

Response: The subject property is not within an approved Master Development Plan.

6-6(l)(3)(g) If a cumulative impact analysis is required in the Railroad and Spur Small Area pursuant to Subsections 14-16-5-2 (F) (Cumulative Impacts) and 14-16-6-4 (H) (Cumulative Impact Analysis Requirement), the Site Plan incorporates mitigation for all identified cumulative impacts. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances without sufficient mitigation or civic or environmental benefits that outweigh the expected impacts.

Response: A cumulative impact analysis is not required in this location.

Closing

We respectfully request approval of the EPC-Site Plan and the Sidewalk Variance. If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

Sergio Lozoya

Cc: Perry Burget
Kyndra Robidoux

JN: 2022056
sl/jg

PRE-APPLICATION REVIEW NOTES

PA#: 23-013 Notes Provided (date):

Site Address and/or Location: 2911 Ervien Ln SW, Albuquerque nm 87121 5018 (Coors Blvd 7 Ervien Lane.

Pre-application notes are for informational purposes only and are non-binding and do not constitute any type of approval and are not certificates of zoning. Additional research may be necessary to determine the exact type of process and/or application required. Factors unknown and/or thought of as minor at this time could become significant as a case progresses.

Request Expansion of an existing Manufactured Home Community comprised of 82 homes to 96 homes.

Basic Site Information

Current Use(s): Low-density Residential **Size (acreage):** 30 acres existing plus 10 additional =40
Dwelling, Mobile home.
Zoning: R-MC **Overlay Zone(s):** NA

Comprehensive Plan Designations

Development Area: Area of Change and **Corridor(s):** w/in 660' of Coors Major Transit
Consistency: **Corridor**
Center: NA **Near Major Public Open Space (MPOS)?:**

Integrated Development Ordinance (IDO)

Please refer to the IDO for requirements regarding dimensional standards, parking, landscaping, walls, signage, etc. <https://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

Proposed Use(s): Dwelling, Mobile Home (Manufactured Home)
Use Specific Standards: IDO 14-16-4-3(B)(2) see page 152

Applicable Definition(s):

Manufactured Home

A structure transportable in one or more sections that is built on a permanent chassis, is designed for use with or without a permanent foundation when connected to the required utilities, and meets the construction safety standards of the federal Manufactured Housing Act of 1974. Similar structures that do not meet the construction safety standards of that Act are referred to as mobile homes and are not allowed to be installed in the city. For the purposes of this IDO, manufactured homes are considered single-family detached dwellings. See also Dwelling Definitions for Dwelling, Mobile Home and Dwelling, Single-family Detached.

Sensitive Lands: *Please see IDO Section 14-16-5-2 for information about required analysis, development standards, and changes to process that may result if this Section applies.*

Notice

Neighborhood Meeting Offer Required? (see IDO Table 6-1-1). If yes, please refer to:

<https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

Process

Decision Type(s) (see IDO Table 6-1-1): Requires a public Hearing: Site Plan-EPC

Specific Procedure(s)*: 6-6(I)(2) or IDO page 481

**Please refer to specific procedures for relevant decision criteria required to be addressed.*

Decision Making Body/ies: EPC

Is this a PRT requirement? No

Handouts Provided

- | | | | |
|--|---|--|---|
| <input type="checkbox"/> Zoning Map Amendment | <input type="checkbox"/> Site Plan Amendments | <input checked="" type="checkbox"/> Site Plan- EPC | <input type="checkbox"/> Site Plan- DHO |
| <input type="checkbox"/> Site Plan- Administrative | <input type="checkbox"/> Variance-ZHE | <input type="checkbox"/> Conditional Use | <input type="checkbox"/> Subdivision |
| <input type="checkbox"/> Site History/Research | <input type="checkbox"/> Transportation | <input type="checkbox"/> Hydrology | <input type="checkbox"/> Fire |

If you have additional questions after reviewing these notes, or would like to schedule a follow up call or meeting, please contact Staff at planningprt@cabq.gov. Please include the PA# with your inquiry.

Additional Notes:

- Existing Site Development Plan for Subdivision: Riverside West Estates PR # 1000976 for Tracts 1 & 2 totaling 40.9 acres. For 243 single family detached homes and a private park. The site was never developed and has expired pursuant to IDO 14-16-6-4(X).
- PR-2018-001482: An Arch Ordinance was completed on 8-24-2018 & sketch plat in February 2023.
- Since the site is in an area of change next to an area of consistency specific development standards must be followed. Please see: 5-6(E)(5) Area of Change Next to Area of Consistency IDO page 308.
- See IDO 14-16-2-3(C) or page 17 for Use and Development Standards that must be followed for the R-MC zone district.

Applicant Question:

1. We would like process information for both the EPC submittal and the separate DHO submittal we'll make for the lot line elimination. Also, can you please confirm if a PRT meeting is a requirement to make an EPC submittal?
 - a. The applicant received a sketch plat on 2-1-2023 which satisfies Pre-application requirements for the DHO platting process. (PR-2018-001482)
 - b. The request requires Site Plan-EPC review and approval due to the presence of sensitive lands, the Riverside and Seay Brothers Landfill that is located in the center and south of the subject site. Additionally, Flood zone A, Amole Del Norte Div. Ch. Is adjacent to the site on the West (AMAFCA & City).
 - c. A Pre-application (PRT) meeting is not required for this request, but if it was, these notes would satisfy the requirement. A pre-application review satisfies the requirement and if any additional questions or clarification is needed after receiving your notes from City Staff, we can set up a follow up call or Zoom meeting.
 - d. See attached handout for process information about the EPC.
 - i. All required forms can be found through the links on the sheet.
 - ii. For specific application materials Please review the Development Review (EPC Application, form P1, and the site plan checklist forms, which can all be found under the Urban Design & Development Forms header: [Download Forms & Applications — City of Albuquerque \(cabq.gov\)](#)

From: [Office of Neighborhood Coordination](#)
To: [Donna Bohannan](#)
Subject: 2911 Ervien Ln SW_Public Notice Inquiry Sheet Submission_EPC
Date: Tuesday, December 5, 2023 12:16:58 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)

Dear Applicant:

As of Tuesday, December 5, 2023, there are **NO** neighborhood associations to notify. You will need to attach a copy of this e-mail from the Office of Neighborhood Coordination (ONC) to your application when you submit it to the Planning Department.

Please note that the ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Thank you.



Vanessa Baca

Manager

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque

(505) 768-3331 Office

E-mail: vanessabaca@cabq.gov

Website: www.cabq.gov/neighborhoods



From: webmaster@cabq.gov <webmaster@cabq.gov>

Sent: Tuesday, December 5, 2023 9:05 AM

To: Office of Neighborhood Coordination <djb@tierrawestllc.com>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Public Notice Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Public Notice Inquiry For:

Environmental Planning Commission

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Donna Bohannan

Telephone Number

505-858-3100

Email Address

djb@tierrawestllc.com

Company Name

Tierra West, LLC

Company Address

5571 Midway Park Pl NE

City

Albuquerque

State

NM

ZIP

87109

Legal description of the subject site for this project:

Tract 1 of Summary Plat Land Division of Westland Development Inc. Together with a Tract of Land Within Section 34 T10N R2E; and Tract of Land East of Amole Del Norte Diversion Channel North of Section Line of Section 34 & 3

Physical address of subject site:

2911 Ervien Ln SW

Subject site cross streets:

Coors Blvd SW & Arenal Rd SW

Other subject site identifiers:

This site is located on the following zone atlas page:

M-10-Z

Captcha

x

From: [PLNBufferMaps](#)
To: [Donna Bohannan](#)
Cc: [Sergio Lozoya](#); [Adam Johnstone](#)
Subject: RE: [#2022056] 2022056 Riverside MHP 100" Buffer Map & Property Owners Request
Date: Wednesday, December 6, 2023 7:58:59 AM
Attachments: [image001.png](#)
[2911 ERVIEN LN SW.pdf](#)
[2911 ERVIEN LN SW - Labels.docx](#)
[2911 ERVIEN LN SW - Labels.csv](#)
[2911 ERVIEN LN SW - 8.5x11 - Scale in Feet.pdf](#)

December 6, 2023

Ms. Bohannan:

Good morning. Attached is your Buffer Map with all associated documents for the subject matter.

If you have any questions, please let me know. Thank you and have a wonderful day.

Respectfully submitted,



MISA K. BLOOM

(she / hers)

associate planner

urban design & development

o 505.924.3662

e mbloom@cabq.gov

cabq.gov/planning

From: Donna Bohannan <djb@tierrawestllc.com>
Sent: Tuesday, December 5, 2023 9:16 AM
To: PLNBufferMaps <plnbuffermaps@cabq.gov>
Cc: Sergio Lozoya <SLozoya@tierrawestllc.com>; Adam Johnstone <AJohnstone@tierrawestllc.com>
Subject: [#2022056] 2022056 Riverside MHP 100' Buffer Map & Property Owners Request

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Good Morning,

Can you please provide the 100' buffer map and property owner's list for the attached highlighted property? Below is the legal description and physical address of the subject site. Please let us know if you have any questions.

Legal Description

TRACT 1 OF SUMMARY PLAT LAND DIVISION OF WESTLAND DEVELOPMENT INC. TOGETHER WITH A TRACT OF LAND WITHIN SECTION 34 T10N R2E; AND TRACT OF LAND EAST OF AMOLE DEL NORTE DIVERSION CHANNEL NORTH OF SECTION LINE OF SECTION 34 AND 3

Physical Address

2911 ERVIEN LN SW
ALBUQUERQUE, NM

Site Cross Streets

COORS BLVD SW & ARENAL RD SW

Zone Atlas Page

M-10-Z

Donna J. Bohannan

Owner

Tierra West LLC

5571 Midway Park Pl., NE

Albuquerque, NM 87109

505-858-3100

505-858-1118 (fax)

djb@tierrawestllc.com

www.tierrawestllc.com

PRIVILEGED AND CONFIDENTIAL

The information contained in this electronic mail message is confidential, may be privileged, and is intended only for the use of the individual(s) named above or their designee. If you are not the intended recipient of this message, you are hereby notified that any dissemination, distribution, or copying of this communication is strictly prohibited. Any unauthorized interception of this message is illegal under the law. If you have received this message in error, please immediately notify me by return message or by telephone and delete the original message from your email system. Thank you.

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

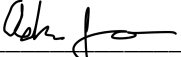
4. TIME

Signs must be posted from _____ To _____

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Adam Johnstone  12/7/2023

(Applicant or Agent) (Date)

I issued _____ signs for this application, _____, _____
(Date) (Staff Member)

PROJECT NUMBER: _____

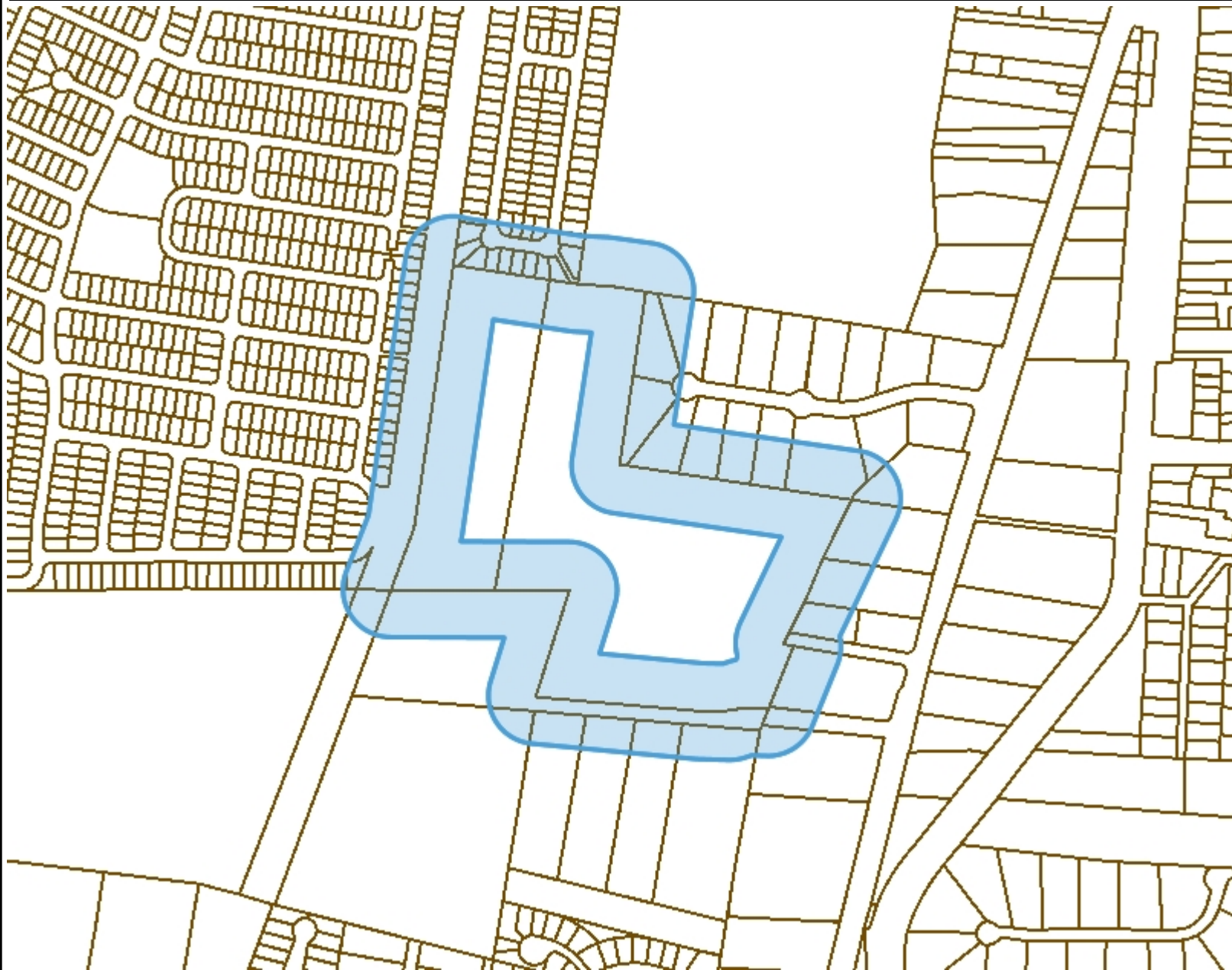


2911 ERVIEN LN SW



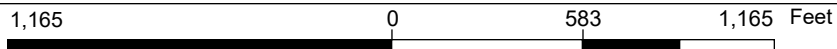
Legend

□ Bernalillo County Parcels



Notes

Buffer: 190 Ft.
ROW: Ervien Ln SW; 90 Ft.



WGS_1984_Web_Mercator_Auxiliary_Sphere
10/25/2023 © City of Albuquerque

1: 6,991

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

JUAREGUI JESUS CARLOS & ALMA
7200 LUNA AZUL AVE SW
ALBUQUERQUE NM 87121

LOPEZ FREDDIE C/O F & J HOME
BUILDERS
3312 RIO SECO DR SW
ALBUQUERQUE NM 87121-9365

ESPINOZA EVELIN SARAHI CASTILLO &
RODRIGUEZ JESUS ANTONIO
7300 SPRING FLOWER RD SW
ALBUQUERQUE NM 87121-6401

CHAVEZ CHRISTIAN R & VILLA ISABEL
1934 RAY DEL SOL DR SW
ALBUQUERQUE NM 87121-6299

CARRASCO DE SAENZ OLIVIA
7220 LUNA AZUL AVE SW
ALBUQUERQUE NM 87121

BAEZA-LOPEZ ESENA KARINA
7212 LUNA AZUL AVE SW
ALBUQUERQUE NM 87121-9108

SOTO-RASCON SERJIO & JIMENEZ DIANA
PONCE
2204 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121-6398

JIMENEZ TERESA
2008 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121

VAZQUEZ MIGUEL ANGEL
7209 LUNA AZUL AVE SW
ALBUQUERQUE NM 87121-9107

TRUJILLO DELILAH & GABRIEL
2208 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121-6398

RIVERSIDE WEST LLC
7008 2ND ST NW
ALBUQUERQUE NM 87107-6010

JM ENTERPRISES LLC
1815 CORTE FLORENTINO ST SW
ALBUQUERQUE NM 87105-6010

AGUILERA -CHACON ANN LAURA
7228 LUNA AZUL AVE SW
ALBUQUERQUE NM 87121-9108

ROMERO JACOB ESTEVAN PEDRO
7216 LUNA AZUL AVE SW
ALBUQUERQUE NM 87121-9108

JUAREZ DOMINIC
2212 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121

CAMBARA IRMA & CLAUDIA CAMBARA
7232 LUNA AZUL AVE SW
ALBUQUERQUE NM 87121-9108

ORTIZ GRACIELA Y
7223 LUNA AZUL AVE SW
ALBUQUERQUE NM 87121-9107

GOOD WELDON C & DEBORAH KELLY
6104 CAROUSAL AVE NW
ALBUQUERQUE NM 87120

MARTINEZ KENNETH
7304 SPRING FLOWER RD SW
ALBUQUERQUE NM 87121

DELGADO-QUINTANA ANGELICA
2024 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121-6417

GOOD WELDON C & DEBORAH K
6104 CAROUSAL AVE NW
ALBUQUERQUE NM 87120

LOPEZ ISABEL
2104 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121

CONTRERAS ALEJANDRO & MONSIVAIS
CARLA
2004 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121

WIEST JULIEANN
2100 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121-6397

CERA JOSE F & ELIZABETH
2309 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121

VEGA-ARREOLA EDGAR
10520 DUKE AVE SW
ALBUQUERQUE NM 87121

VALLES BOGAR
9020 SUNCREST AVE SW
ALBUQUERQUE NM 87121-8845

HOWARD LLOYD G
5513 CAMINO SOLEDAD NW
ALBUQUERQUE NM 87120-1903

WHITEHEAD ENTERPRISES LLC
6900 HUSEMAN PL SW
ALBUQUERQUE NM 87121-4238

SENA GEORGE & WANDA TRUSTEES
SENA RVT
3070 SAN YGNACIO RD SW
ALBUQUERQUE NM 87105-3545

RUBIO-MATA MARCO A & LOPEZ-MEJIA
BRENDA Y
7208 LUNA AZUL AVE SW
ALBUQUERQUE NM 87121-9108

GURULE LORETTA A & LESTER S &
EMORY P GURULE
4 HONCHO RD
ESPANOLA NM 87532-8161

SEDONA INVESTMENTS LLC
1070 NEPTUNE AVE
ENCINITAS CA 92024

HUNTER GARY R & RENATE M
1944 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121

ESCARCEGA YAMILET LOPEZ
2012 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121-6417

ZULUETA-BELTRAN MIGUEL A
7204 LUNA AZUL AVE SW
ALBUQUERQUE NM 87121

GREENIER MARY V
2000 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121

ROCHA-LOPEZ LORENZO E
1936 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121-6431

ARTESIA FIRE EQUIPMENT INC
PO BOX 1367
ARTESIA NM 88211

TELLES TOBY L & CATHERINE G
5620 DONNA MARLANE DR SW
ALBUQUERQUE NM 87121-6220

BORJAS ESPERANZA & BORJAS CARLOS
M
1940 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121-6431

COUNTY OF BERNALILLO C/O COUNTY
MANAGER
1 CIVIC PLAZA NW
ALBUQUERQUE NM 87102-2109

MORALES ROSALIO & ANA MICAELA
3025 AUBOL RD SW
ALBUQUERQUE NM 87105-6888

GUTIERREZ BLANCA ROCIO
2028 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121-6417

CORDERO AMANDA S
2401 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121

MANZANARES RONNIE J & LISA
10204 KEEPING DR NW
ALBUQUERQUE NM 87114-4601

RUIZ ROMAN TRUSTEE RUIZ TRUST
7021 HUSEMAN PL SW
ALBUQUERQUE NM 87121-4239

VILLEGAS-GUERECA BELEN C
7236 LUNA AZUL AVE SW
ALBUQUERQUE NM 87121-9108

GOOD WELDON C & DEBORAH K
7020 HUSEMAN PL SW
ALBUQUERQUE NM 87121-4240

MORENO EDMUNDO
2036 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121

ARAGON KRISTINE B
2305 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121-6399

NELSON DON OLOF & DEWITT
CATHERINE R
1160 6TH ST
HERMOSA BEACH CA 90254-4908

GROSSETETE AURORA TRUSTEE
GROSSETETE RVLT
2328 SHIPMAN RD SW
ALBUQUERQUE NM 87105-4424

LOZANO REANETTE ATTN: ANSON
STREET LLC
110 QUENTIN ROOSEVELT BLVD #204
GARDEN CITY NY 11530-0000

RIVERSIDE WEST LLC
7008 2ND ST NW
ALBUQUERQUE NM 87107-6010

MONTOYA HENRY R & DEBORAH M CO-
TRUSTEES MONTOYA FAMILY RVT
3608 SUNSTAR BLVD SW
ALBUQUERQUE NM 87105-5685

BACA MARIA CARMEN
7219 LUNA AZUL AVE SW
ALBUQUERQUE NM 87121-9107

RAMOS NORMA
2405 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121

MUNIZ ARMANDO
1939 TIERRA DE LA LUNA DR SW
ALBUQUERQUE NM 87121

MADRID ARMANDO AVILA & MARIA DEL
CARMAN AVILA LOPEZ
7215 LUNA AZUL AVE SW
ALBUQUERQUE NM 87121-9107

ANDERSON DONALD W
2200 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121

VHS HOLDINGS LLC ATTN: HAGGAR
GROUP LLC
31225 LA BAYA DR SUITE 206
WESTLAKE VILLAGE CA 91362-6326

NMAL RIVERSIDE MHP LLC
110 NW 2ND ST
CEDAREIDGE CO 81413-4304

CARRETE ALFONSO A & SYLVIA
9405 RIVERFRONT DR NW
ALBUQUERQUE NM 87114-4141

MORA LAWRENCE & DELTA
3812 ERVIEN LN SW A
ALBUQUERQUE NM 87121-2537

MORA LAWRENCE & DELTA
5712 PIEDRA RD NW
ALBUQUERQUE NM 87114-4735

RUIZ FIDEL & RUIZ GLORIA
2516 WILLIAM ST SE
ALBUQUERQUE NM 87102-5035

CITY OF ALBUQUERQUE
PO BOX 1293
ALBUQUERQUE NM 87103

VHS HOLDINGS LLC C/O HAGGAR GROUP
LLC
31225 LA BAYA DR SUITE 206
THOUSAND OAKS CA 91362-6326

TERRA WEST LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



MORA LAWRENCE & DELTA
3812 ERVIEN LN SW A
ALBUQUERQUE NM 87121-2537

TERRA WEST LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



CITY OF ALBUQUERQUE
PO BOX 1293
ALBUQUERQUE NM 87103

TERRA WEST LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



VHS HOLDINGS LLC ATTN: HAGGAR
GROUP LLC
31225 LA BAYA DR SUITE 206
WESTLAKE VILLAGE CA 91362-6326

TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



VHS HOLDINGS LLC C/O HAGGAR GROUP
LLC
31225 LA BAYA DR SUITE 206
THOUSAND OAKS CA 91362-6326

TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



NMAL RIVERSIDE MHP LLC
110 NW 2ND ST
CEDAREGGE CO 81413-4304

TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



MORA LAWRENCE & DELTA
5712 PIEDRA RD NW
ALBUQUERQUE NM 87114-4735

TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



RUIZ FIDEL & RUIZ GLORIA
2516 WILLIAM ST SE
ALBUQUERQUE NM 87102-5035

TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



CARRETE ALFONSO A & SYLVIA
9405 RIVERFRONT DR NW
ALBUQUERQUE NM 87114-4141

TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



ANDERSON DONALD W
2200 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121

TERRA WEST LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

COUNTY OF BERNALILLO C/O COUNTY
MANAGER
1 CIVIC PLAZA NW
ALBUQUERQUE NM 87102-2109



TERRA WEST LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

SEDONA INVESTMENTS LLC
1070 NEPTUNE AVE
ENCINITAS CA 92024



TERRA WEST LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

ZULUETA-BELTRAN MIGUEL A
7204 LUNA AZUL AVE SW
ALBUQUERQUE NM 87121



TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

CORDERO AMANDA S
2401 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121



TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

VILLEGAS-GUERRECA BELEN C
7236 LUNA AZUL AVE SW
ALBUQUERQUE NM 87121-9108



TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

ARTESIA FIRE EQUIPMENT INC
PO BOX 1367
ARTESIA NM 88211



TERRA WEST.LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

BACA MARIA CARMEN
7219 LUNA AZUL AVE SW
ALBUQUERQUE NM 87121-9107



TERRA WEST.LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

ARAGON KRISTINE B
2305 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121-6399



TERRA WEST.LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

LOZANO REANETTE ATTN: ANSON
STREET LLC
110 QUENTIN ROOSEVELT BLVD #204
GARDEN CITY NY 11530-0000



TIERRA WEST, LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

ROCHA-LOPEZ LORENZO E
1936 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121-6431



TIERRA WEST, LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

GURULE LORETTA A & LESTER S &
EMORY P GURULE
4 HONCHO RD
ESPANOLA NM 87532-8161



TIERRA WEST, LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

MADRID ARMANDO AVILA & MARIA DEL
CARMAN AVILA LOPEZ
7215 LUNA AZUL AVE SW
ALBUQUERQUE NM 87121-9107



TERRA WEST.LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

BORJAS ESPERANZA & BORJAS CARLOS
M
1940 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121-6431



TERRA WEST.LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

GUTIERREZ BLANCA ROCIO
2028 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121-6417



TERRA WEST.LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

ESCARCEGA YAMILET LOPEZ
2012 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121-6417



TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

MONTOYA HENRY R & DEBORAH M CO-
TRUSTEES MONTOYA FAMILY RVT
3608 SUNSTAR BLVD SW
ALBUQUERQUE NM 87105-5685



TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

RUIZ ROMAN TRUSTEE RUIZ TRUST
7021 HUSEMAN PL SW
ALBUQUERQUE NM 87121-4239



TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

MORENO EDMUNDO
2036 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121



TERRA WEST LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

RUBIO-MATA MARCO A & LOPEZ-MEJIA
BRENDA Y
7208 LUNA AZUL AVE SW
ALBUQUERQUE NM 87121-9108



TERRA WEST LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

MUNIZ ARMANDO
1939 TIERRA DE LA LUNA DR SW
ALBUQUERQUE NM 87121



TERRA WEST LLC

571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

GROSSETETE AURORA TRUSTEE
GROSSETETE RVLT
2328 SHIPMAN RD SW
ALBUQUERQUE NM 87105-4424



TERRA WEST LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

TELLES TOBY L & CATHERINE G
5620 DONNA MARLANE DR SW
ALBUQUERQUE NM 87121-6220



TERRA WEST LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

MORALES ROSALIO & ANA MICAELA
3025 AUBOL RD SW
ALBUQUERQUE NM 87105-6888



TERRA WEST LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

HUNTER GARY R & RENATE M
1944 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121



TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

MANZANARES RONNIE J & LISA
10204 KEEPING DR NW
ALBUQUERQUE NM 87114-4601



TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

NELSON DON OLOF & DEWITT
CATHERINE R
1160 6TH ST
HERMOSA BEACH CA 90254-4908



TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

GREENIER MARY V
2000 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121



TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

RIVERSIDE WEST LLC
7008 2ND ST NW
ALBUQUERQUE NM 87107-6010



TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

RAMOS NORMA
2405 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121



TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

GOOD WELDON C & DEBORAH K
7020 HUSEMAN PL SW
ALBUQUERQUE NM 87121-4240



TERRA WEST LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

JUAREZ DOMINIC
2212 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121



TERRA WEST LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

ESPINOZA EVELIN SARAHI CASTILLO &
RODRIGUEZ JESUS ANTONIO
7300 SPRING FLOWER RD SW
ALBUQUERQUE NM 87121-6401



TERRA WEST LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

BAEZA-LOPEZ ESENIA KARINA
7212 LUNA AZUL AVE SW
ALBUQUERQUE NM 87121-9108



TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

GOOD WELDON C & DEBORAH KELLY
6104 CAROUSAL AVE NW
ALBUQUERQUE NM 87120



TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

JM ENTERPRISES LLC
1815 CORTE FLORENTINO ST SW
ALBUQUERQUE NM 87105-6010



TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

VAZQUEZ MIGUEL ANGEL
7209 LUNA AZUL AVE SW
ALBUQUERQUE NM 87121-9107



TERRA WEST LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



SENA GEORGE & WANDA TRUSTEES
SENA RVT
3070 SAN YGNACIO RD SW
ALBUQUERQUE NM 87105-3545

TERRA WEST LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



WIEST JULIEANN
2100 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121-6397

TERRA WEST LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



GOOD WELDON C & DEBORAH K
6104 CAROUSAL AVE NW
ALBUQUERQUE NM 87120

TERRA WEST LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

RIVERSIDE WEST LLC
7008 2ND ST NW
ALBUQUERQUE NM 87107-6010



TERRA WEST LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

JIMENEZ TERESA
2008 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121



TERRA WEST LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

VALLES BOGAR
9020 SUNCREST AVE SW
ALBUQUERQUE NM 87121-8845



TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

ORTIZ GRACIELA Y
7223 LUNA AZUL AVE SW
ALBUQUERQUE NM 87121-9107



TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

DELGADO-QUINTANA ANGELICA
2024 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121-6417



TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

ROMERO JACOB ESTEVAN PEDRO
7216 LUNA AZUL AVE SW
ALBUQUERQUE NM 87121-9108



TERRA WEST LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



CONTRERAS ALEJANDRO & MONSIVAIS
CARLA
2004 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121

TERRA WEST LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



WHITEHEAD ENTERPRISES LLC
6900 HUSEMAN PL SW
ALBUQUERQUE NM 87121-4238

TERRA WEST LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



VEGA-ARREOLA EDGAR
10520 DUKE AVE SW
ALBUQUERQUE NM 87121

TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



HOWARD LLOYD G
5513 CAMINO SOLEDAD NW
ALBUQUERQUE NM 87120-1903

TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



LOPEZ FREDDIE C/O F & J HOME
BUILDERS
3312 RIO SECO DR SW
ALBUQUERQUE NM 87121-9365

TERRA WEST, LLC
571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



CARRASCO DE SAENZ OLIVIA
7220 LUNA AZUL AVE SW
ALBUQUERQUE NM 87121

TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

MARTINEZ KENNETH
7304 SPRING FLOWER RD SW
ALBUQUERQUE NM 87121



TERRA WEST, LLC

571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

LOPEZ ISABEL
2104 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121



TERRA WEST, LLC

571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

CERA JOSE F & ELIZABETH
2309 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121



TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



AGUILERA -CHACON ANN LAURA
7228 LUNA AZUL AVE SW
ALBUQUERQUE NM 87121-9108

TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



TRUJILLO DELILAH & GABRIEL
2208 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121-6398

TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109



CAMBARA IRMA & CLAUDIA CAMBARA
7232 LUNA AZUL AVE SW
ALBUQUERQUE NM 87121-9108

TERRA WEST, LLC

5571 MIDWAY PARK PLACE NE
ALBUQUERQUE NM 87109

JUAREGUI JESUS CARLOS & ALMA
7200 LUNA AZUL AVE SW
ALBUQUERQUE NM 87121



TERRA WEST, LLC

1 MIDWAY PARK PLACE NE
LBUQUERQUE NM 87109

CHAVEZ CHRISTIAN R & VILLA ISABEL
1934 RAY DEL SOL DR SW
ALBUQUERQUE NM 87121-6299



TERRA WEST, LLC

1 MIDWAY PARK PLACE NE
LBUQUERQUE NM 87109

SOTO-RASCON SERJIO & JIMENEZ DIANA
PONCE
2204 DESERT BREEZE DR SW
ALBUQUERQUE NM 87121-6398





OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



PART I - PROCESS
Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following:
Application Type:
Decision-making Body:
Pre-Application meeting required: [X] Yes [] No
Neighborhood meeting required: [X] Yes [] No No NAs within project boundaries
Mailed Notice required: [X] Yes [] No
Electronic Mail required: [X] Yes [] No
Is this a Site Plan Application: [X] Yes [] No Note: if yes, see second page
PART II - DETAILS OF REQUEST
Address of property listed in application: 9500 Montgomery Blvd NE
Name of property owner: RIVERSIDE, LLC
Name of applicant: Tierra West, LLC
Date, time, and place of public meeting or hearing, if applicable: Thursday, December 21, 2023 8:40AM, Zoom
Address, phone number, or website for additional information: SLozoya@tierrawestllc.com
PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE
[X] Zone Atlas page indicating subject property.
[X] Drawings, elevations, or other illustrations of this request.
[X] Summary of pre-submittal neighborhood meeting, if applicable.
[X] Summary of request, including explanations of deviations, variances, or waivers.
IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO SUBSECTION 14-16-6-4(K) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

[Signature] (Applicant signature) 11/2/2023 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

- a. Location of proposed buildings and landscape areas.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations.
- d. For residential development: Maximum number of proposed dwelling units.
- e. For non-residential development:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: _____

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: _____

Mailing Address*: _____

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* _____
Location Description _____
2. Property Owner* _____
3. Agent/Applicant* [if applicable] _____
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan**
 - Subdivision _____ (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*: _____

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Hearing Officer (DHO)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: _____

Location*²: _____

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*³:

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁴ _____

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project*:

- Deviation(s)
- Variance(s)
- Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] _____
 2. IDO Zone District _____
 3. Overlay Zone(s) [if applicable] _____
 4. Center or Corridor Area [if applicable] _____
- Current Land Use(s) [vacant, if none] _____
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinurl.com/idozoningmap>

SITE PLAN CHECKLIST

Project #: _____ Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

Assell 5-4-23
Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

- ✓ 1. Date of drawing and/or last revision
- ✓ 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- ✓ 3. Bar scale
- ✓ 4. North arrow
- ✓ 5. Legend
- ✓ 6. Scaled vicinity map
- ✓ 7. Property lines (clearly identify)
- ✓ 8. Existing and proposed easements (identify each)
- ~~N/A~~ 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- ✓ A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- ✓ B. Square footage of each structure
- ✓ C. Proposed use of each structure
- ~~N/A~~ D. Signs (freestanding) and other improvements
- ~~N/A~~ E. Walls, fences, and screening: indicate height, length, color and materials
- ✓ F. Dimensions of all principal site elements or typical dimensions
- ~~N/A~~ G. Loading facilities
- ✓ H. Site lighting (indicate height & fixture type)
- ✓ I. Indicate structures within 20 feet of site
- ~~N/A~~ J. Elevation drawing of refuse container and enclosure, if applicable.
- ✓ K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- ~~N/A~~ A. Parking layout with spaces numbered per aisle and totaled.
 - ___ 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - ___ 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - ___ 3. On street parking spaces
- ~~N/A~~ B. Bicycle parking & facilities
 - ___ 1. Bicycle racks – location and detail
 - ___ 2. Other bicycle facilities, if applicable
- ✓ C. Vehicular Circulation (Refer to DPM and IDO)
 - ✓ 1. Ingress and egress locations, including width and curve radii dimensions
 - ✓ 2. Drive aisle locations, including width and curve radii dimensions
 - ✓ 3. End aisle locations, including width and curve radii dimensions
 - ~~N/A~~ 4. Location & orientation of refuse enclosure, with dimensions
 - ~~N/A~~ 5. Loading, service area, and refuse service locations and dimensions
- ✓ D. Pedestrian Circulation
 - ✓ 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.

E. Off-Street Loading

- 1. Location and dimensions of all off-street loading areas

F. Vehicle Stacking and Drive-Through or Drive-Up Facilities

- 1. Location and dimensions of vehicle stacking spaces and queuing lanes
- 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
- 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

A. Locate and identify adjacent public and private streets and alleys.

- 1. Existing and proposed pavement widths, right-of-way widths and curve radii
- 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
- 3. Location of traffic signs and signals related to the functioning of the proposal
- 4. Identify existing and proposed medians and median cuts
- 5. Sidewalk widths and locations, existing and proposed
- 6. Location of street lights
- 7. Show and dimension clear sight triangle at each site access point
- 8. Show location of all existing driveways fronting and near the subject site.

B. Identify Alternate transportation facilities within site or adjacent to site

- 1. Bikeways and bike-related facilities
- 2. Pedestrian trails and linkages
- 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- ✓ 7. Identify type, location and size of plantings (common and/or botanical names).
 - ~~N/A~~ A. Existing, indicating whether it is to preserved or removed.
 - ✓ B. Proposed, to be established for general landscaping.
 - ✓ C. Proposed, to be established for screening/buffering.
- ~~NO~~ ✓ 8. Describe irrigation system – Phase I & II . . .
- ~~N/A~~ 9. Planting Beds, indicating square footage of each bed
- ~~N/A~~ 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- ✓ 11. Responsibility for Maintenance (statement)
- ✓ 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- ✓ 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- ✓ 14. Planting or tree well detail
- ✓ 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- ~~N/A~~ 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- ✓ 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- ✓ 1. Scale - must be same as Sheet #1 - Site Plan
- ✓ 2. Bar Scale
- ✓ 3. North Arrow
- ✓ 4. Property Lines
- ✓ 5. Existing and proposed easements
- ~~N/A~~ 6. Building footprints
- ~~N/A~~ 7. Location of Retaining walls

B. Grading Information

- ✓ 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- ✓ 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- ✓ 3. Identify ponding areas, erosion and sediment control facilities.
- ~~N/A~~ 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)

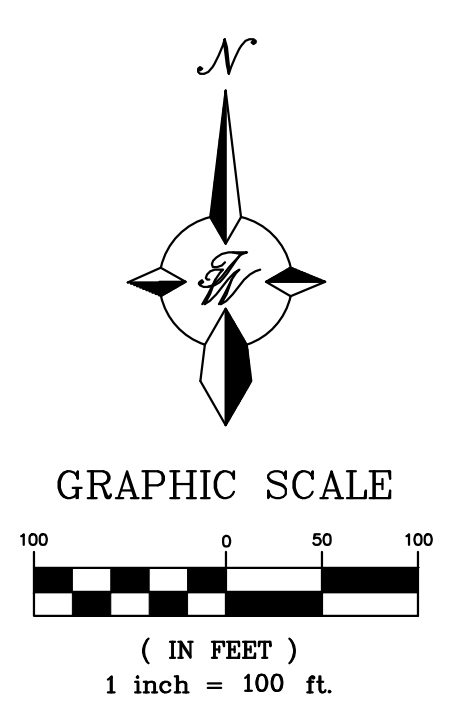
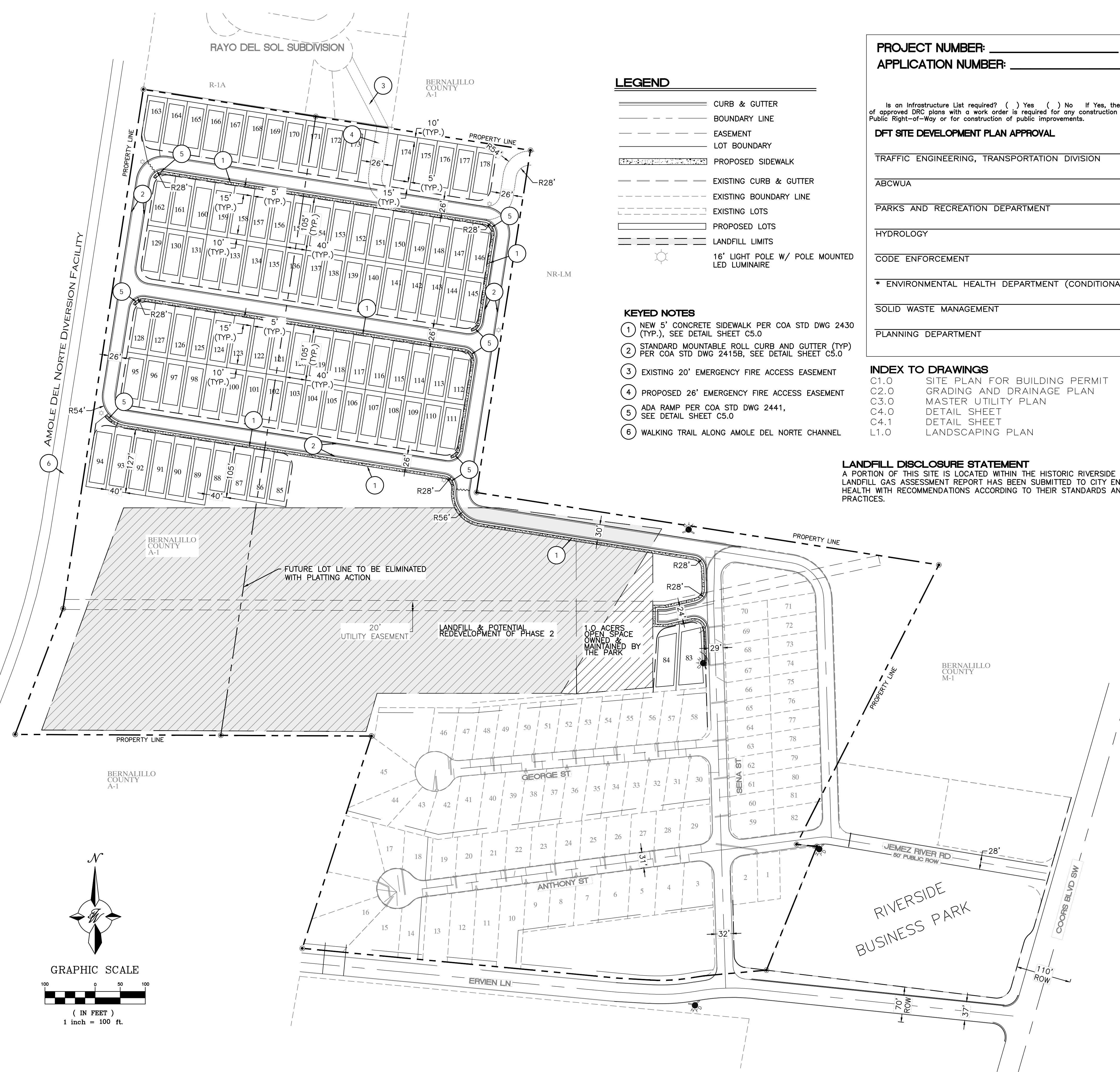
SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS *-N/A*

A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO



LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	LOT BOUNDARY
	PROPOSED SIDEWALK
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING LOTS
	PROPOSED LOTS
	LANDFILL LIMITS
	16' LIGHT POLE W/ POLE MOUNTED LED LUMINAIRE

- KEYED NOTES**
- 1 NEW 5' CONCRETE SIDEWALK PER COA STD DWG 2430 (TYP.), SEE DETAIL SHEET C5.0
 - 2 STANDARD MOUNTABLE ROLL CURB AND GUTTER (TYP) PER COA STD DWG 2415B, SEE DETAIL SHEET C5.0
 - 3 EXISTING 20' EMERGENCY FIRE ACCESS EASEMENT
 - 4 PROPOSED 26' EMERGENCY FIRE ACCESS EASEMENT
 - 5 ADA RAMP PER COA STD DWG 2441, SEE DETAIL SHEET C5.0
 - 6 WALKING TRAIL ALONG AMOLE DEL NORTE CHANNEL

LANDFILL DISCLOSURE STATEMENT
 A PORTION OF THIS SITE IS LOCATED WITHIN THE HISTORIC RIVERSIDE LANDFILL. A LANDFILL GAS ASSESSMENT REPORT HAS BEEN SUBMITTED TO CITY ENVIRONMENTAL HEALTH WITH RECOMMENDATIONS ACCORDING TO THEIR STANDARDS AND BEST PRACTICES.

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

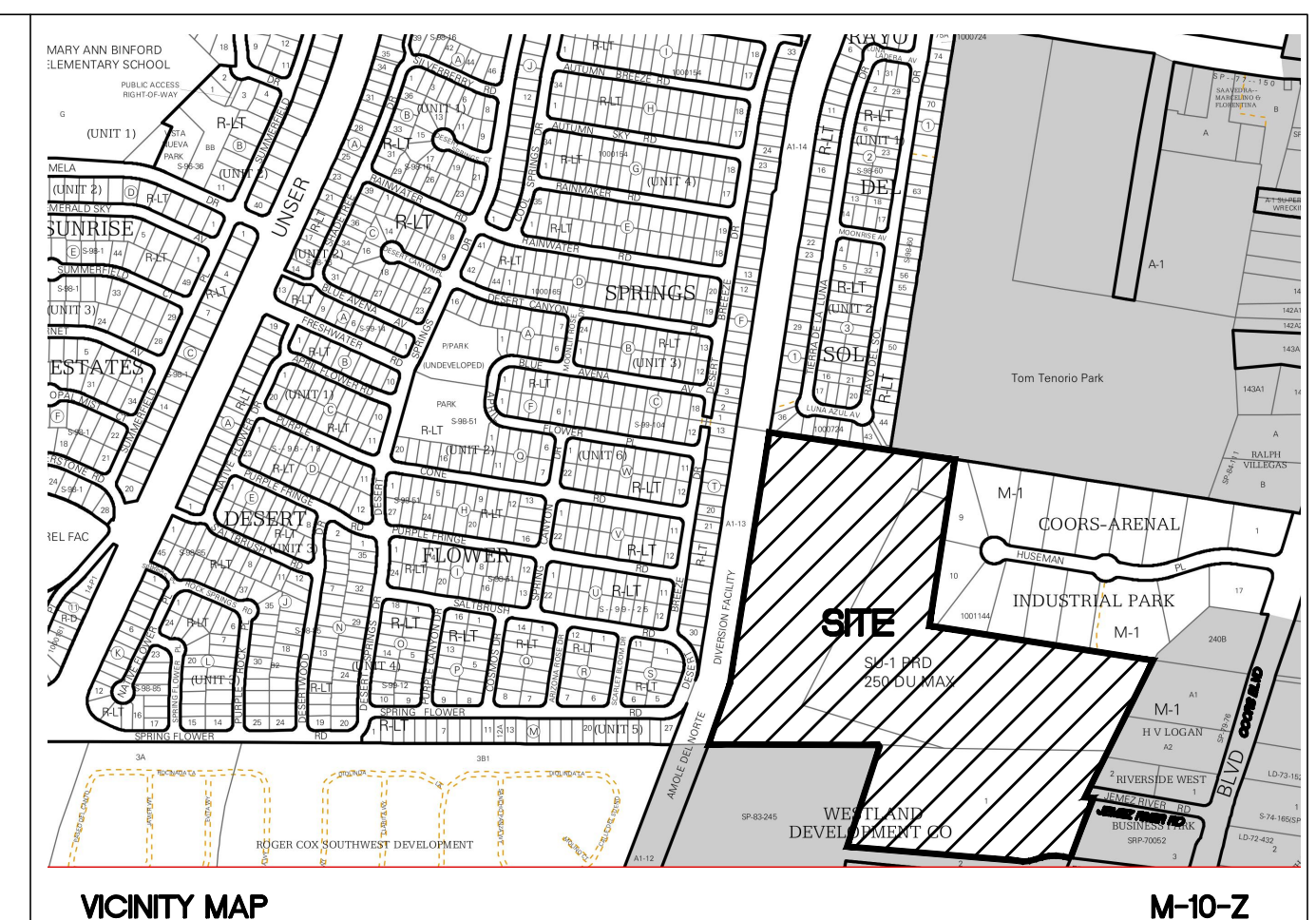
Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	Date
ABCWUA	Date
PARKS AND RECREATION DEPARTMENT	Date
HYDROLOGY	Date
CODE ENFORCEMENT	Date
* ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	Date
SOLID WASTE MANAGEMENT	Date
PLANNING DEPARTMENT	Date

INDEX TO DRAWINGS

C1.0	SITE PLAN FOR BUILDING PERMIT
C2.0	GRADING AND DRAINAGE PLAN
C3.0	MASTER UTILITY PLAN
C4.0	DETAIL SHEET
C4.1	DETAIL SHEET
L1.0	LANDSCAPING PLAN



VICINITY MAP **M-10-Z**

LEGAL DESCRIPTION:
 TR OF LAND EAST OF AMOLE DEL NORTE DIVERSION CHANNEL NORTH OF SECTION LINE OF SECTIONS 34 & 3 TOGETHER WITH TRACT 1 OF SUMMARY PLAT LAND DIVISION OF WESTLAND DEVELOPMENT CO INC TOGETHER WITH A TRACT OF LAND WITHIN THESE 1/4 SE 1/4 SEC 34 T10N R2E
 UPC - 101005440552820545 AND 101005534207240110

RIVERSIDE MOBILE HOME PARK
 2911 ERVIEN LN SW
 ALBUQUERQUE, NM 87121

TOTAL AREA:	40.82 AC
EXIST AREA:	14.41 AC
PROPOSED AREA:	26.41 AC

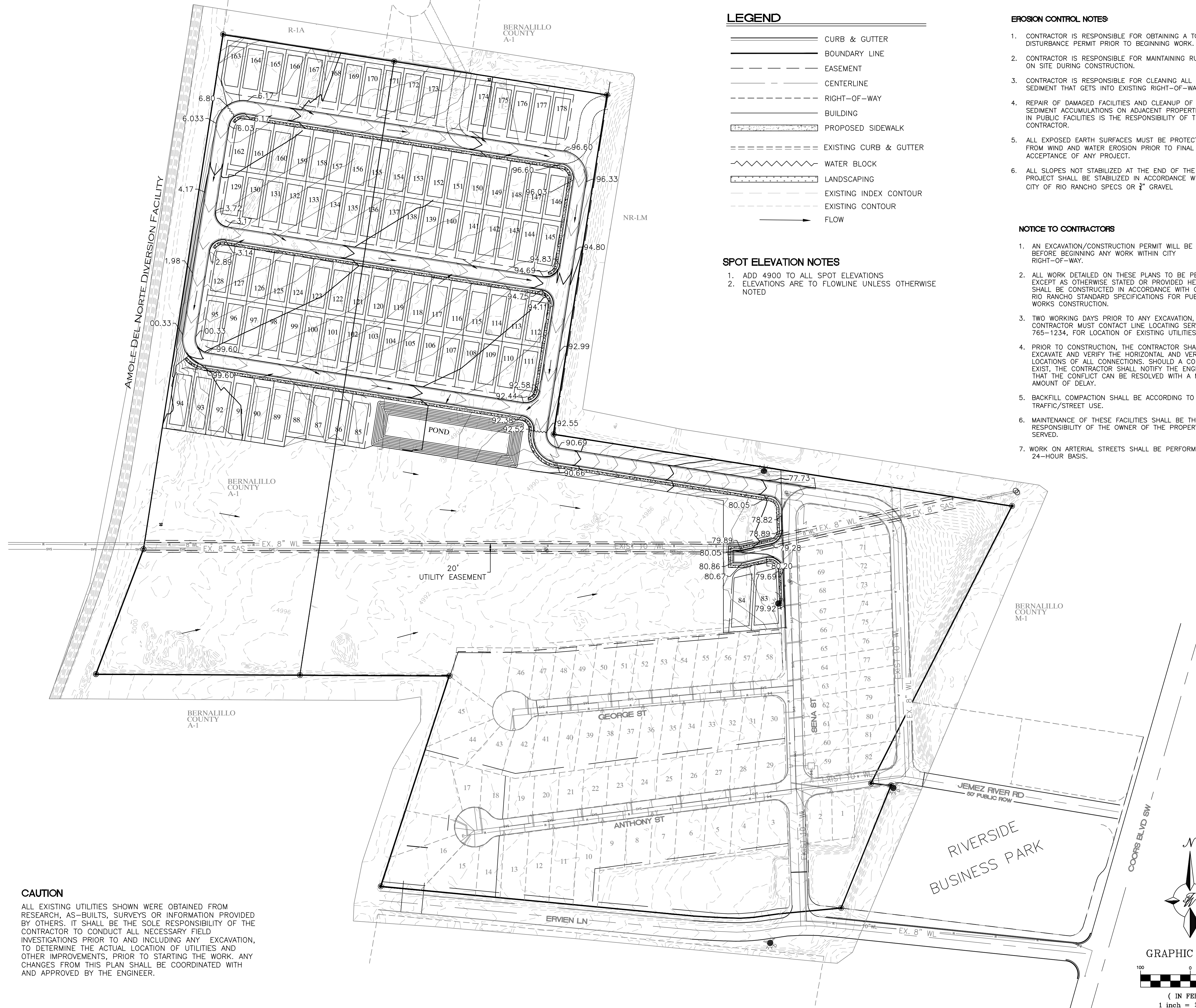
EXISTING LOTS:	82
40'x105' PROPOSED LOTS:	88
(MAX MOBILE HOME LENGTH:	80 FT)
5,000SF+ PROPOSED LOTS:	8
(MAX MOBILE HOME LENGTH:	102 FT)
TOTAL LOTS:	186

- NOTES:**
1. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 2. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 3. LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH.
 4. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
 5. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.

- GENERAL NOTES - SITE PLANS:**
1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING THIS WORK. IN CASE OF ANY DISCREPANCIES, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT COMMENCE WITHOUT APPROVAL FROM THE ARCHITECT.
 2. WRITTEN DIMENSIONS OF DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AT THE BUILDING SITE, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
 3. GC AND LIGHTING CONTRACTOR TO ENSURE SITE LIGHTING FIXTURE HEADS HAVE THE CORRECT ORIENTATION. REFER TO PHOTOMETRIC DRAWINGS FOR HEAD PLACEMENT.
 4. GC TO COORDINATE SITE SECURITY LAYOUT AND CONDUIT SIZE & LOCATION WITH THE OWNER.
 5. GC TO ENSURE PAVING AT ALL EXITS SHALL NOT EXCEED A 2% MAX SLOPE IN ALL DIRECTIONS.
 6. PAVING SHALL BE LOWER THAN THE BUILDING SLAB BY THE FOLLOWING AMOUNTS UNO:
 1/2" @ ALL EXIT DOORS
 1/2" @ ALL SHOWROOM GLAZING LOCATIONS
 1 1/2" @ OVERHEAD DOORS
 1 1/2" @ PRE-FAB METAL WALL PANELS

	SOUTH VALLEY MHP ALBUQUERQUE, NM	DRAWN BY JL
	SITE DEVELOPMENT PLAN	DATE 4/27/2023
TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2022056-SP	SHEET # C1.0
ASSAD A. RIZVI P.E. #27632	JOB # 2022056	

RAYO DEL SOL SUBDIVISION



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- PROPOSED SIDEWALK
- EXISTING CURB & GUTTER
- WATER BLOCK
- LANDSCAPING
- EXISTING INDEX CONTOUR
- EXISTING CONTOUR
- FLOW

SPOT ELEVATION NOTES

1. ADD 4900 TO ALL SPOT ELEVATIONS
2. ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED

EROSION CONTROL NOTES

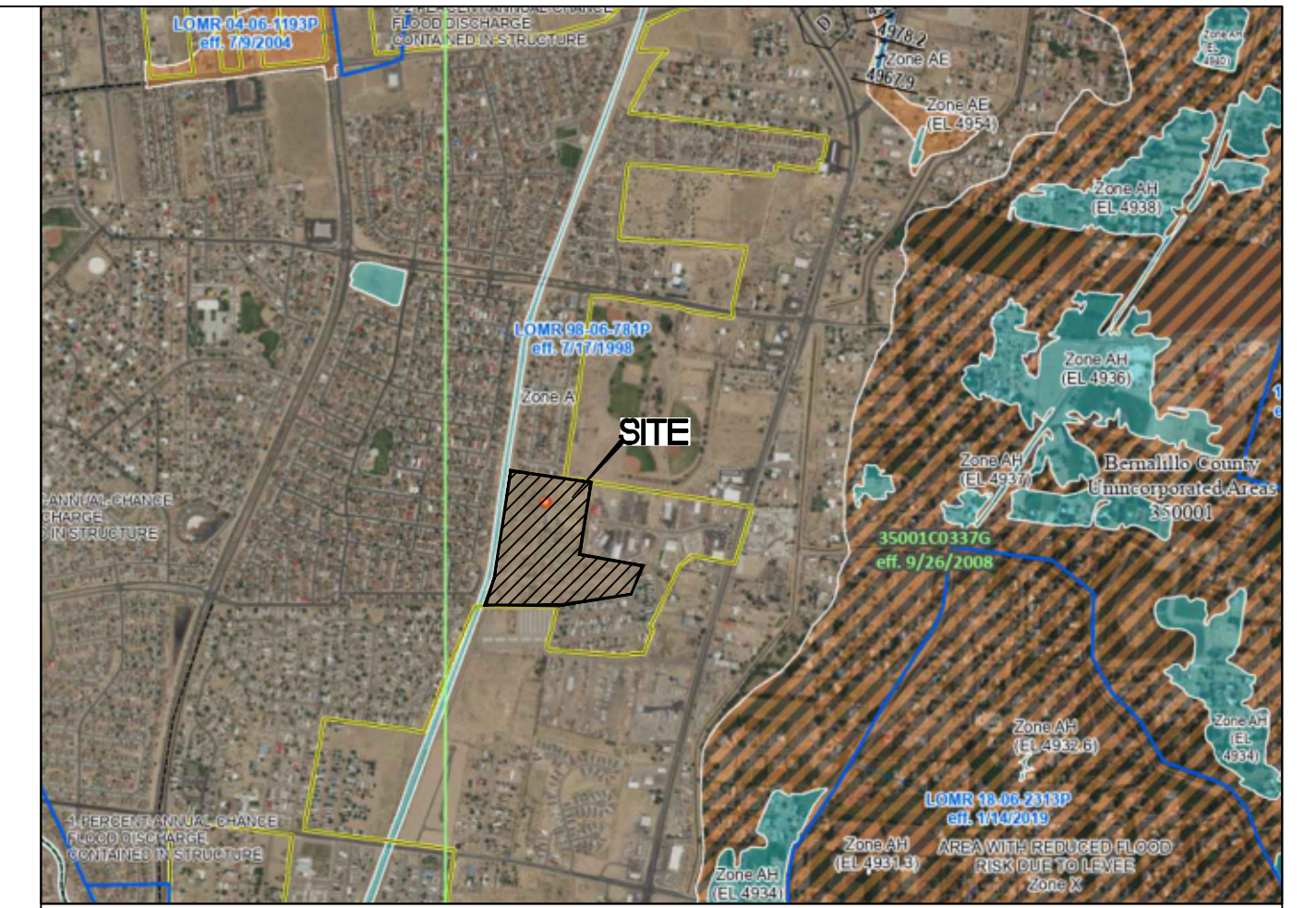
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH THE CITY OF RIO RANCHO SPECS OR 2" GRAVEL

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF RIO RANCHO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

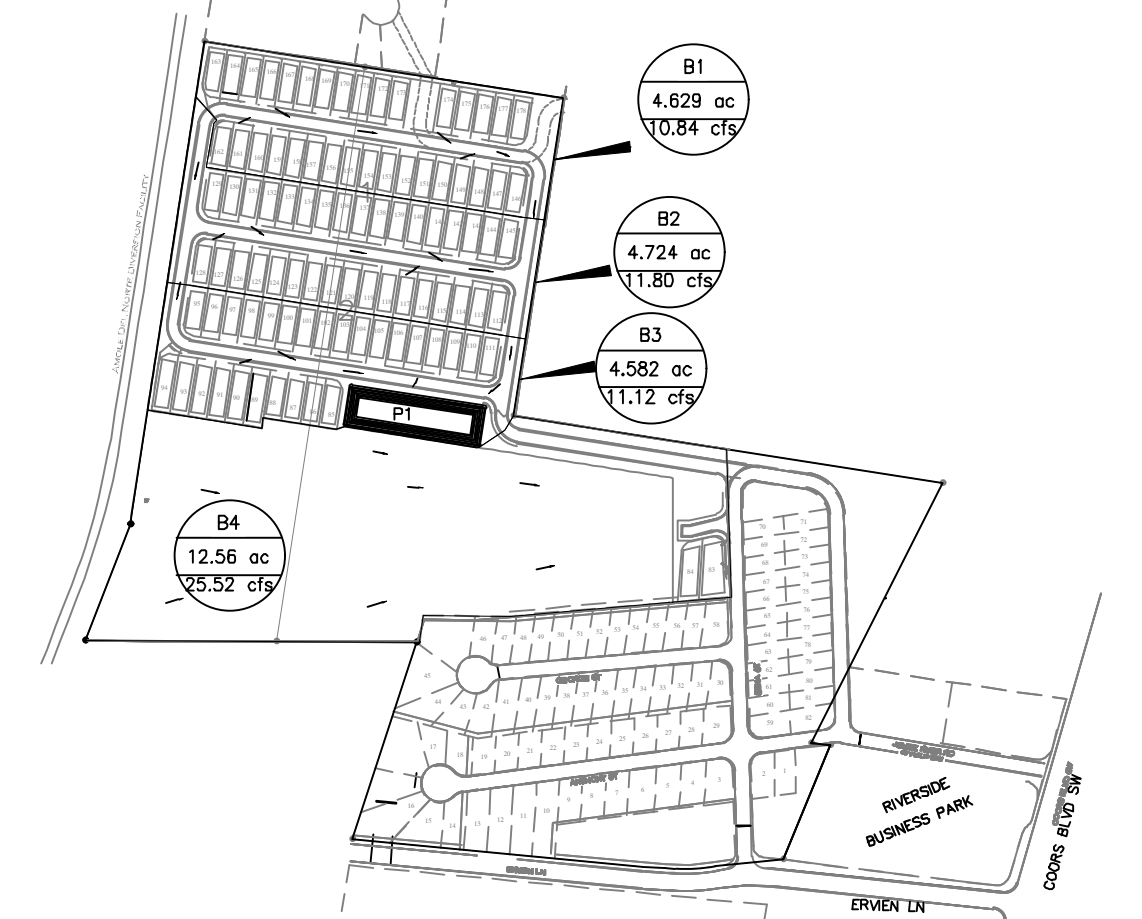
CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

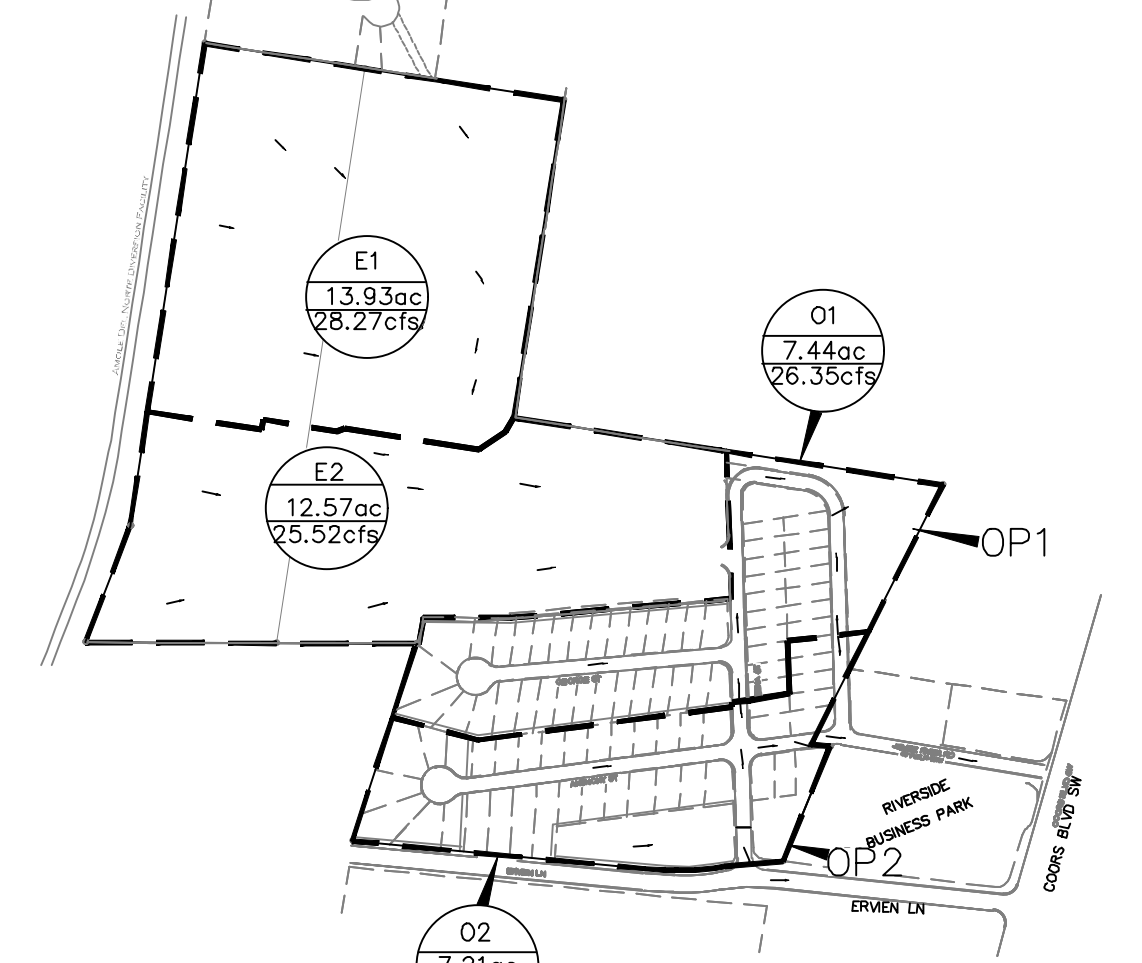


FIRM MAP

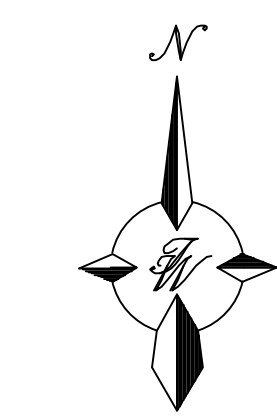
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PROPOSED BASIN MAP



EXISTING BASIN MAP

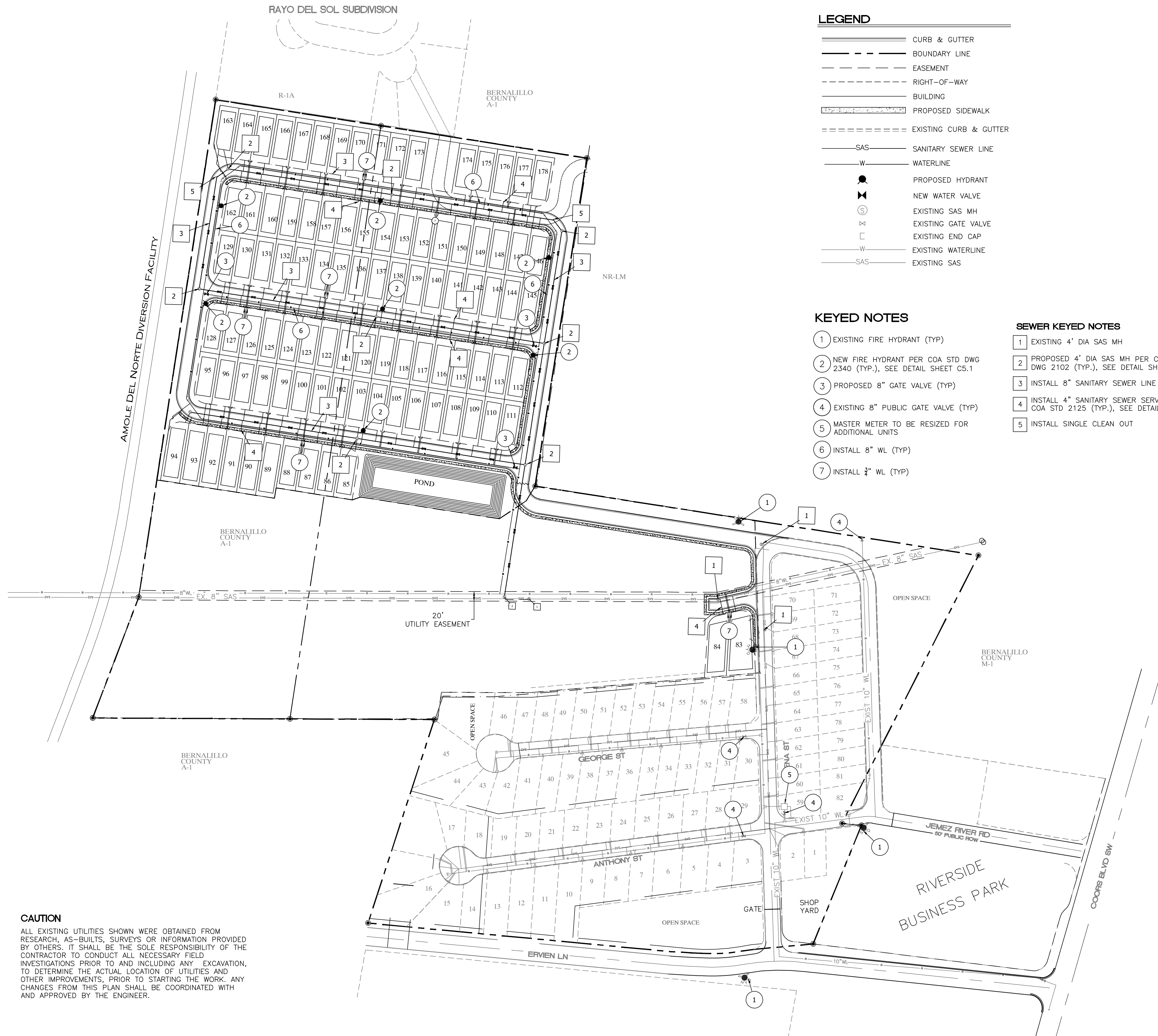


GRAPHIC SCALE



(IN FEET)
1 inch = 100 ft.

	SOUTH VALLEY MHP ALBUQUERQUE, NM	DRAWN BY JL
	CONCEPTUAL GRADING AND DRAINAGE PLAN	DATE 4/27/2023
ASSAD A. RIZVI P.E. #27632	TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	DRAWING 2022056-GR
		SHEET # C2.0
		JOB # 2022056



LEGEND

- C— CURB & GUTTER
- B— BOUNDARY LINE
- - - EASEMENT
- - - RIGHT-OF-WAY
- B— BUILDING
- P— PROPOSED SIDEWALK
- E— EXISTING CURB & GUTTER
- SAS— SANITARY SEWER LINE
- W— WATERLINE
- PROPOSED HYDRANT
- ⊕ NEW WATER VALVE
- ⊙ EXISTING SAS MH
- ⊕ EXISTING GATE VALVE
- ⊕ EXISTING END CAP
- W— EXISTING WATERLINE
- SAS— EXISTING SAS

KEYED NOTES

- 1 EXISTING FIRE HYDRANT (TYP)
- 2 NEW FIRE HYDRANT PER COA STD DWG 2340 (TYP.), SEE DETAIL SHEET C5.1
- 3 PROPOSED 8" GATE VALVE (TYP)
- 4 EXISTING 8" PUBLIC GATE VALVE (TYP)
- 5 MASTER METER TO BE RESIZED FOR ADDITIONAL UNITS
- 6 INSTALL 8" WL (TYP)
- 7 INSTALL 3/4" WL (TYP)

SEWER KEYED NOTES

- 1 EXISTING 4' DIA SAS MH
- 2 PROPOSED 4' DIA SAS MH PER COA STD DWG 2102 (TYP.), SEE DETAIL SHEET C5.1
- 3 INSTALL 8" SANITARY SEWER LINE
- 4 INSTALL 4" SANITARY SEWER SERVICE LINE PER COA STD 2125 (TYP.), SEE DETAIL SHEET C5.1
- 5 INSTALL SINGLE CLEAN OUT



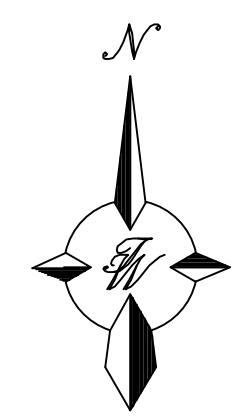
LEGAL DESCRIPTION:

TR OF LAND EAST OF AMOLE DEL NORTE DIVERSION CHANNEL NORTH OF SECTION LINE OF SECTIONS 34 & 3 TOGETHER WITH TRACT 1 OF SUMMARY PLAT LAND DIVISION OF WESTLAND DEVELOPMENT CO INC TOGETHER WITH A TRACT OF LAND WITHIN THESE 1/4 SE 1/4 SEC 34 T10N R2E

UPC - 101005440552820545 AND 101005534207240110

GENERAL UTILITY NOTES:

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH CITY OF RIO RANCHO STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE PLUMBING PLANS FOR WATER LINE RISER LOCATIONS. BACKFLOW PREVENTOR LOCATED INSIDE BUILDING
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS AT LOCATIONS INDICATED AND AT MID RUN IF LONGER THAN 100'
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. TO BE PROVIDED IN THE BUILDING
7. ALL EX. SD INLETS AND MH'S SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.

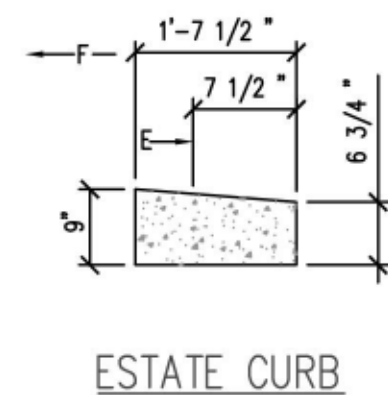
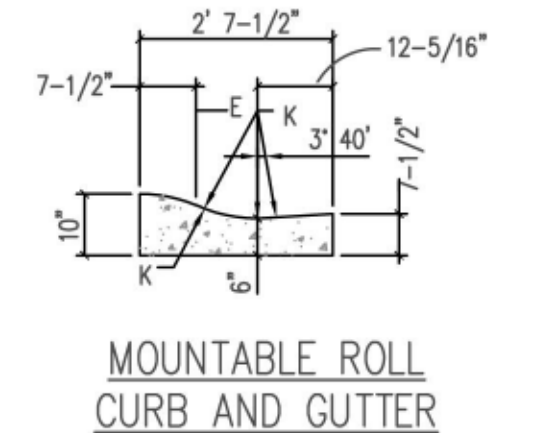
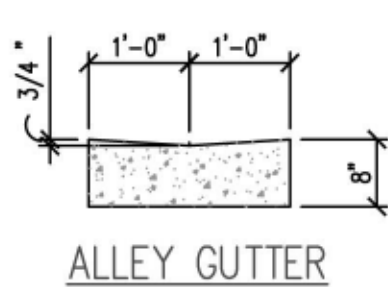
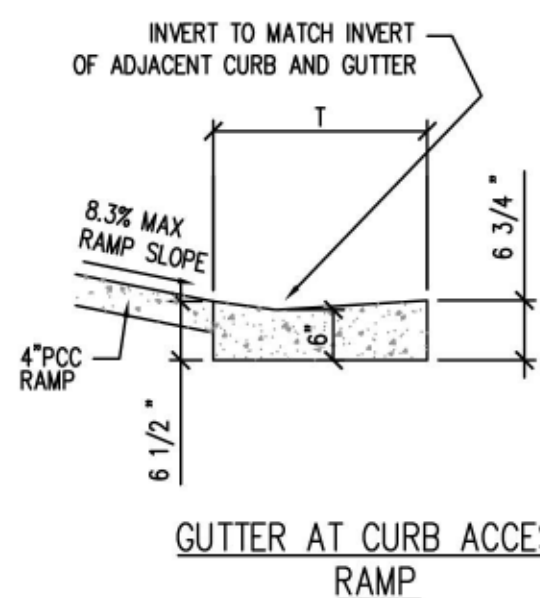


GRAPHIC SCALE
 (IN FEET)
 1 inch = 100 ft.

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

ENGINEER'S SEAL ASSAD A. RIZVI P.E. #27632	SOUTH VALLEY MHP ALBUQUERQUE, NM	DRAWN BY JL
	CONCEPTUAL MASTER UTILITY PLAN	DATE 4/27/2023
4/27/2023	TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.terrawestllc.com	SHEET # C3.0
		JOB # 2022056

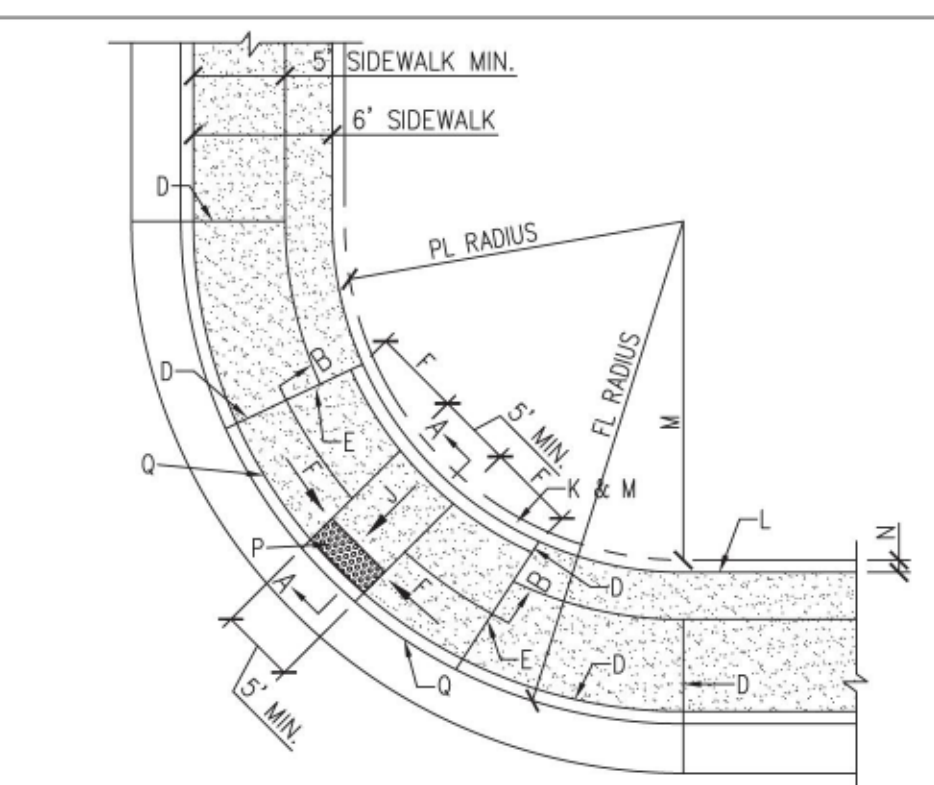


GENERAL NOTES
SEE COA DRAWING 2415A

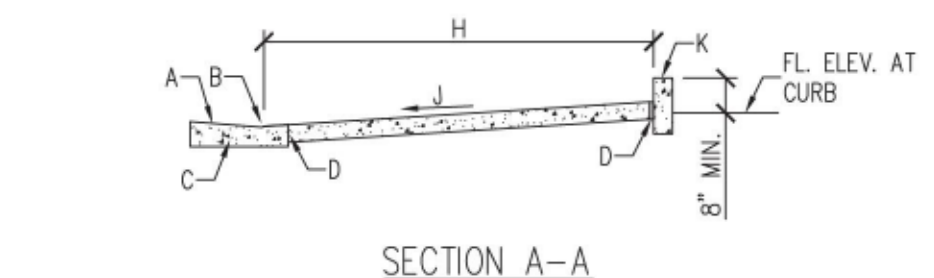
CONSTRUCTION NOTES

- REQ. CONC. CHANNEL LINING, OR CUT-OFF WALL. PROVIDE 1/4" EXP JOINT BETWEEN BACK OF CURB & CHANNEL LINING AND/OR WALL.
- VARIABLE, DEPRESS AS NEEDED.
- DRIVE NO. 4 PINS 18" DEEP IN HOLES DRILLED @ 2" O.C. IN EXISTING PAVEMENT, SEAL WITH EPOXY.
- EXISTING ASPHALT CONCRETE (AC) OR PORTLAND CEMENT CONCRETE (PCC) PAVEMENT.
- FACE OF CURB/FLOW LINE.
- TRAFFIC SIDE.
- 3/4" RADIUS.
- 1-1/2" RADIUS.
- 2" RADIUS.
- 24" RADIUS.
- TACK COAT.
- DIMENSIONS AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES.
- NOT USED.
- 8" SCARIFIED AND COMPACTED SUBGRADE. 95% MINIMUM COMPACTION PER SECTION 301.
- NOT USED.
- #4 CONT. BETWEEN JOINTS 3" COVER AT JOINTS.
- #3 PINS @ 3'-0" O.C. W/STD. HOOK.
- MATCH ADJACENT GUTTER PAN WIDTH AND FLOWLINE.

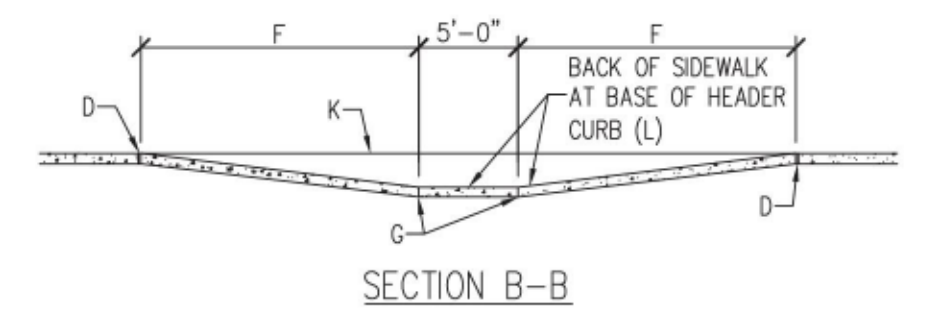
REVISIONS	CITY OF ALBUQUERQUE
	PAVING CURB AND GUTTER DETAILS DWG. 2415B FEBRUARY 2021



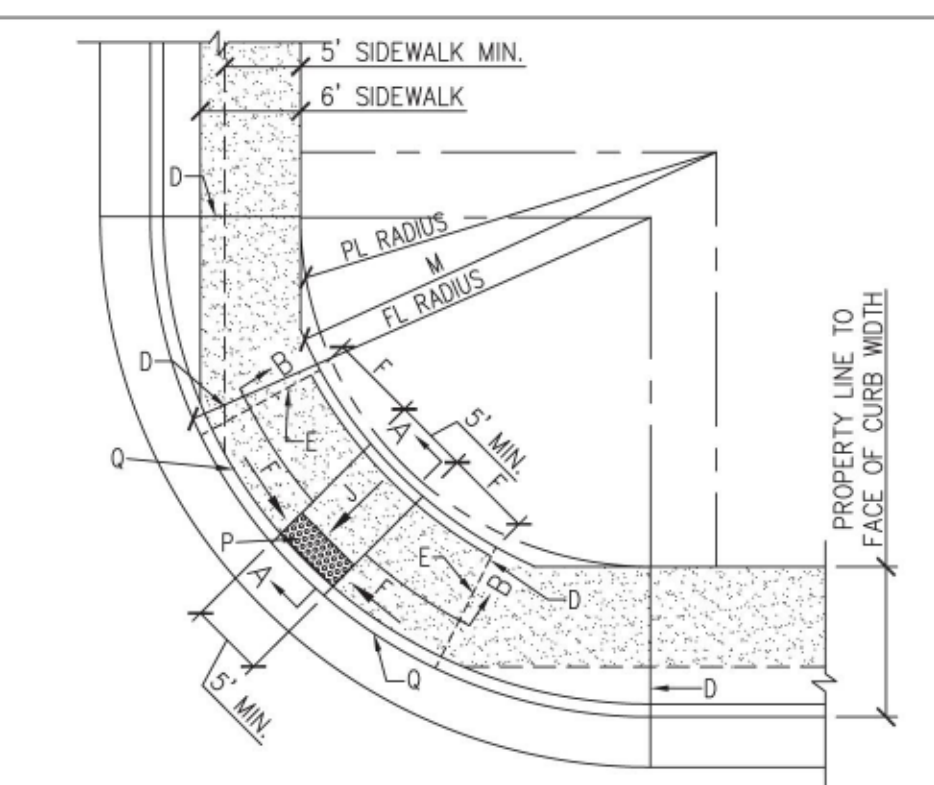
DETAIL A MINIMAL R.O.W. FOR SIDEWALK AT BACK OF CURB PERPENDICULAR RAMP



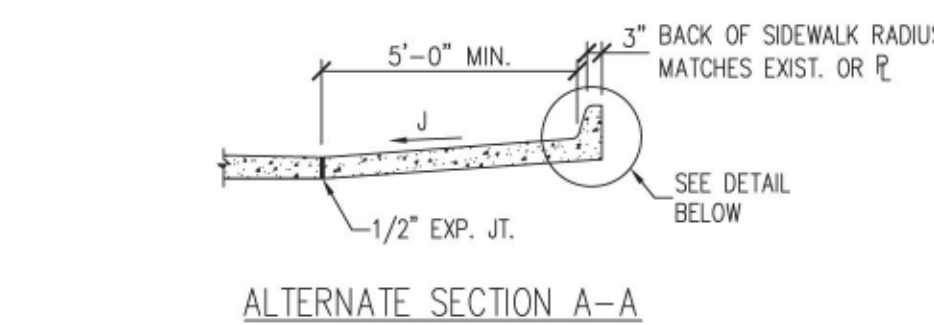
SECTION A-A



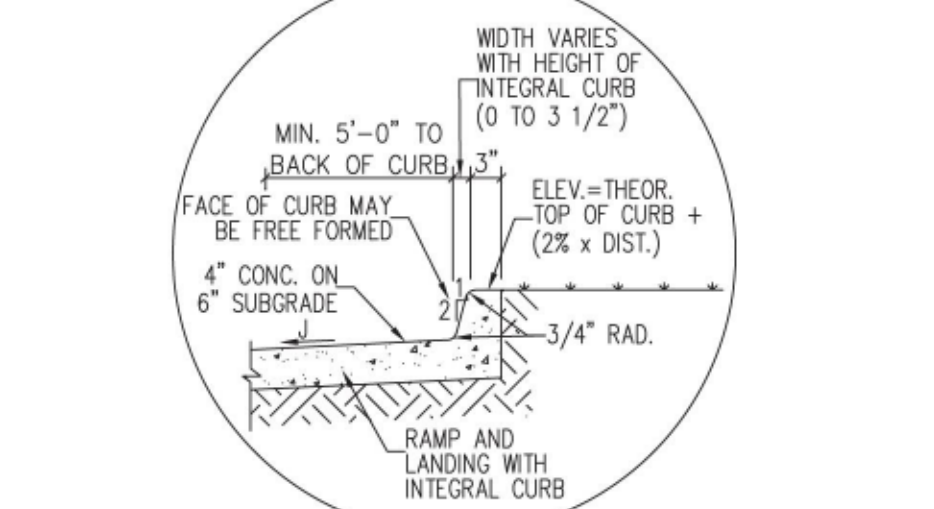
SECTION B-B



DETAIL B ADEQUATE R.O.W. FOR SETBACK SIDEWALK ADJACENT TO P PERPENDICULAR RAMP



ALTERNATE SECTION A-A



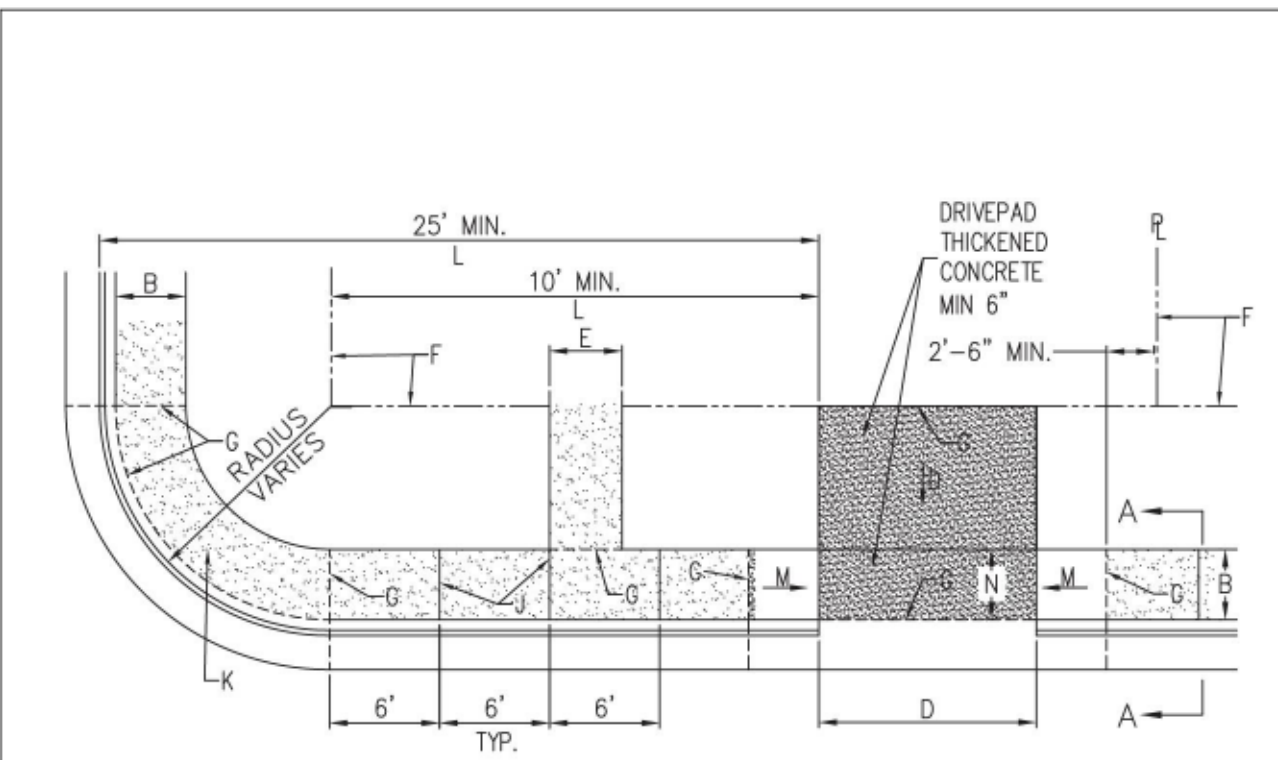
GENERAL NOTES

- CURB ACCESS RAMPS ARE NORMALLY TO BE LOCATED AT THE CENTER OF THE RETURN OR AS DIRECTED BY THE CITY TRAFFIC ENGINEER.
- WHEN MODIFYING ONE QUADRANT OF AN INTERSECTION TO IMPROVE ACCESSIBILITY, MODIFY THE REMAINING QUADRANTS SO THAT ALL QUADRANTS OF THE INTERSECTION COMPLY WITH ADA (PROWAG) REGULATIONS AS SHOWN ON PLANS.
- SURFACE TEXTURE OF CURB ACCESS RAMPS SHALL BE OBTAINED BY HEAVY BROOMING (TEXTURE DEPTH .0625"), TRANSVERSE TO THE SLOPE OF THE RAMP.
- GUTTER FLOW-LINE PROFILE SHALL BE MAINTAINED THROUGHOUT THE AREA OF THE RAMP. DRAINAGE CATCH BASIN STRUCTURES SHALL NOT BE PLACED IN LINE WITH RAMPS.
- WIDTH OF SIDEWALK AND RAMP MUST BE MAINTAINED AT A MINIMUM OF 5'-0" THROUGH ENTIRE RAMP LENGTH.

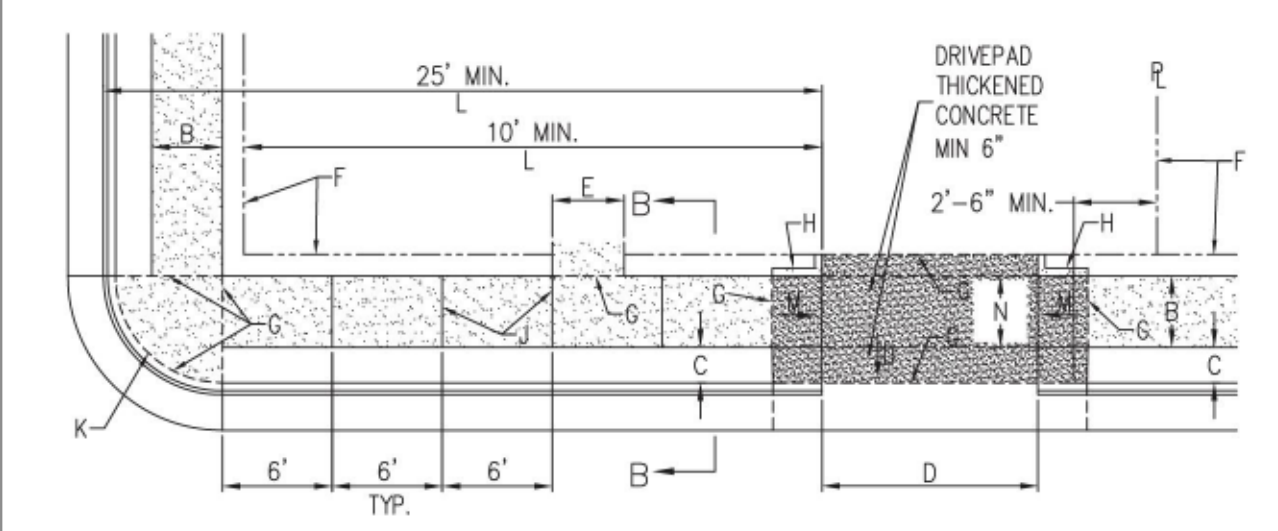
CONSTRUCTION NOTES

- SLOPE OF GUTTER NOT TO EXCEED 2% ADJACENT TO RAMP. 1.5% PREFERRED.
- FLUSH WITH RAMP AND GUTTER.
- CURB AND GUTTER (SEE STD. DWG. 2415 - GUTTER AT CURB ACCESS RAMP).
- 1/2" EXPANSION JOINT.
- RADIAL LINES - TOP AND BOTTOM OF RAMP.
- 8.3% MAX. SLOPE OF RAMP, 7% PREFERABLE SLOPE OF RAMP.
- CONTRACTION JOINT.
- VARIABLE WITH AVAILABLE R.O.W.
- 2% MAXIMUM CROSS-SLOPE. 1.5% PREFERRED CROSS-SLOPE.
- HEADER CURB, SEE DWG. 2415C.
- BACK OF SIDEWALK.
- BACK OF SIDEWALK RADIUS TO BE ESTABLISHED SO AS TO MAINTAIN A 5'-0" RAMP WIDTH (MINIMUM) THROUGHOUT. SEE STD. DWG. 2440 (NOTE 6) IF LESS THAN 5'-0" IS AVAILABLE DUE TO UNRESOLVABLE CONSTRAINTS.
- 4-1/2" MAX.
- DETECTABLE WARNINGS (SEE STD. DWG. 2446).
- CURB TO MATCH SLOPE OF SIDEWALK.

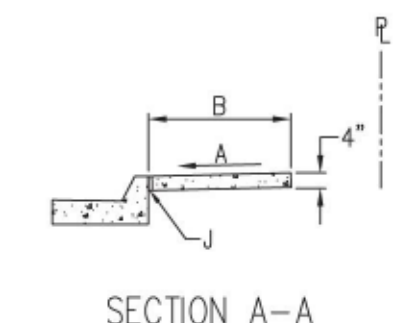
REVISIONS	CITY OF ALBUQUERQUE
	PAVING CORNER ACCESS RAMP DWG. 2441 JUNE 2019



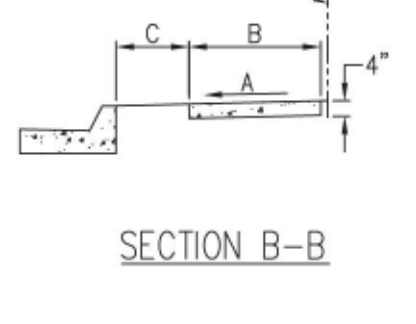
PLAN CURB TYPE SIDEWALK



PLAN OFFSET TYPE SIDEWALK



SECTION A-A



SECTION B-B

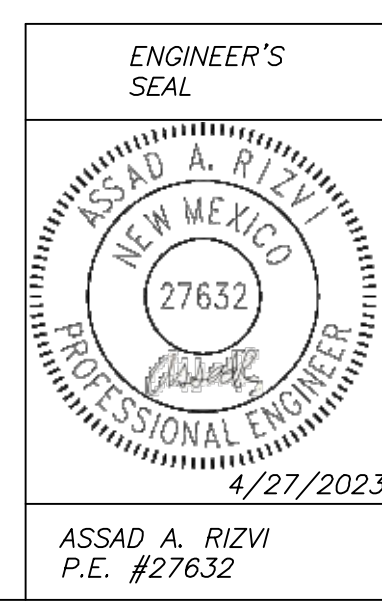
GENERAL NOTES

- DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR CITY TRAFFIC ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
- SUBGRADE UNDER SIDEWALKS AND DRIVEPADS SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 301.
- FOR SIDEWALKS LESS THAN 60" WIDE ON ACCESSIBLE ROUTE, PASSING SPACE AT LEAST 60" X 60" SHALL BE PROVIDED AT LEAST EVERY 200 FT.
- GRATINGS LOCATED IN WALKING SURFACE SHALL HAVE SPACES NO GREATER THAN 1/2" WIDE IN DIRECTION OF TRAVEL. IF OPENINGS ARE ELONGATED, LONG DIMENSION SHALL BE PLACED PERPENDICULAR TO DIRECTION OF TRAVEL.
- ALONG THE ACCESSIBLE ROUTE, CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 2H:1V. CHANGES IN LEVEL GREATER THAN 1/2" REQUIRE A RAMP.
- PROVIDE A MINIMUM SIDEWALK WIDTH OF 4' AROUND OBSTACLES FOR ADA ACCESS.
- SEE COA STD DWG 2425A AND 2425B FOR DRIVEPAD DETAILS.

CONSTRUCTION NOTES

- SLOPE 2% MAX. 1.5% PREFERRED SLOPE.
- 5' MIN. SIDEWALK WIDTH. SIDEWALK WIDTH SHALL BE IN ACCORDANCE WITH CHAPTER 23 OF DEVELOPMENT PROCESS MANUAL.
- SETBACK TO BE DETERMINED BY AVAILABLE RIGHT-OF-WAY. SEE CHAPTER 7 OF DEVELOPMENT PROCESS MANUAL. ALSO SEE COA STD. DWG. 2414 FOR LANDSCAPE BUFFER.
- SEE DRIVEPAD DETAILS, DWG. 2425A AND 2425B.
- WALKWAY VARIABLE (4" MINIMUM).
- PROPERTY LINE.
- 1/2" EXPANSION JOINTS WHERE SIDEWALK OR DRIVEPAD ABUTS BUILDINGS, FENCES, WALLS OR OTHER IMMOVABLE OBJECTS.
- HEADER CURB OR INTEGRAL CURB AS REQUIRED TO MEET GRADE AT BACK OF SIDEWALK. SEE STD. DWG. 2415.
- CONTRACTION JOINTS.
- FOR CURB ACCESS RAMPS, SEE DWGS. 2440 THROUGH 2445.
- CHECK DIMENSION FROM BOTH PROPERTY LINE AND FLOW LINE. USE IN AREAS WHERE DRIVEPAD IS FARTHEST FROM INTERSECTION.
- RAMP AS REQUIRED TO MEET DRIVEPAD GRADE. 8.3% MAX. SLOPE, 7% PREFERRED SLOPE.
- ADA ACCESSIBLE PATHWAY. 2% MAX. CROSS-SLOPE. 1.5% PREFERABLE CROSS-SLOPE.

REVISIONS	CITY OF ALBUQUERQUE
	PAVING SIDEWALK DETAILS DWG. 2430 JUNE 2019



**SOUTH VALLEY MHP
ALBUQUERQUE, NM**

DETAIL SHEET

TERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrowestllc.com

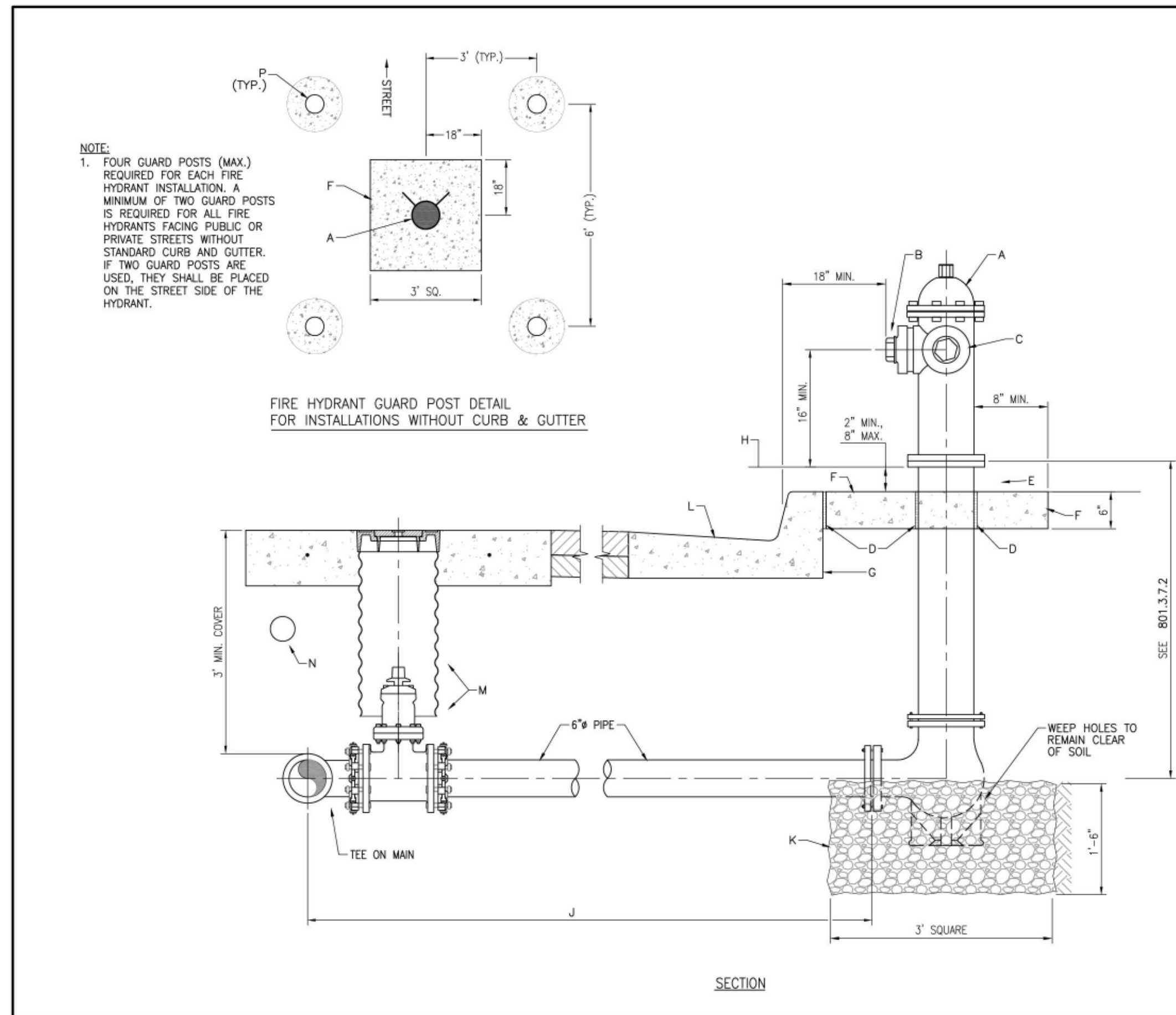
DRAWN BY
JL

DATE
4/27/2023

DRAWING
2022056-DET

SHEET #
C4.0

JOB #
2022056



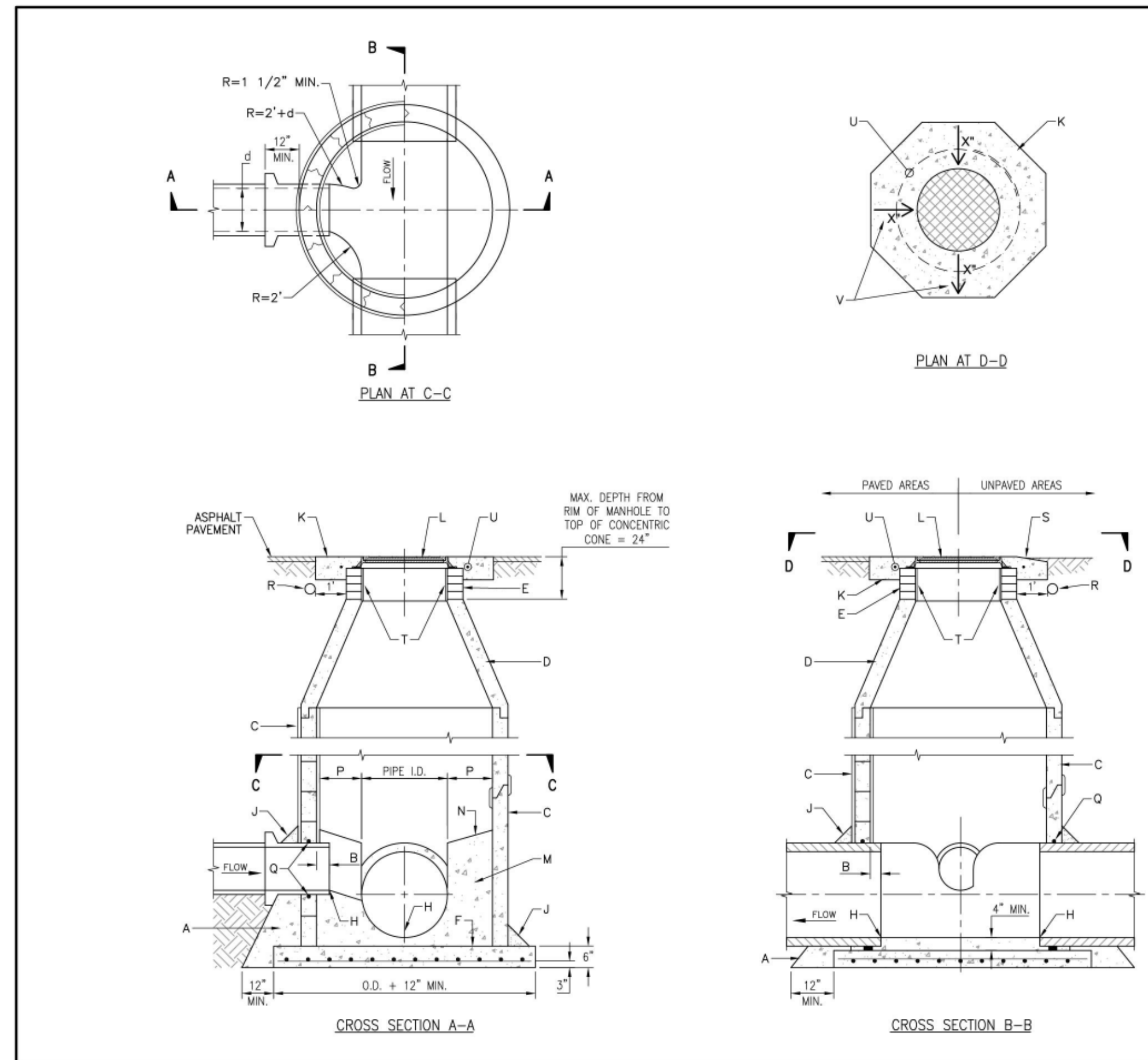
GENERAL NOTES

- NO OBSTRUCTIONS WILL BE PERMITTED WITHIN 3'-0" OF FIRE HYDRANT.
- HYDRANT LEAD SHALL BE VALVED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING THE TOP FLANGE OF THE FIRE HYDRANT TO THE CONTROLLED ELEVATION LINE.
- FOR FIRE HYDRANT LOCATIONS, SEE STANDARD DRAWING 2347.
- WHEN NEW OR EXISTING SIDEWALK ABUTS CURB, RECONSTRUCT SIDEWALK PER STANDARD DRAWINGS 2430 AND 2431.
- PUMPER NOZZLE TO BE SET FACING THE TRAVELED WAY, UNLESS OTHERWISE NOTED ON PLANS.
- HYDRANTS INSTALLED IN SIDEWALK AREAS SHALL MAINTAIN A FIVE FOOT CLEAR PEDESTRIAN PATH PER ADA STANDARD.
- BEFORE THE WORK WILL BE ACCEPTED, FIRE HYDRANT GPS COORDINATES SHALL BE PROVIDED ON THE RECORD DRAWINGS. GPS COORDINATES OBTAINED BY A PROFESSIONAL SURVEYOR LICENSED IN THE STATE OF NEW MEXICO SHALL BE TAKEN AT THE FLANGE. USE THE NAD 1983 NM STATE PLANE CENTRAL ZONE FOR X AND Y COORDINATES AND NAVD 1988 FOR Z COORDINATE.
- HYDRANTS INSTALLED WITHOUT STANDARD CURB AND GUTTER SHALL BE PROTECTED WITH STATIONARY POSTS/BOLLARDS. SEE DETAIL ON THIS SHEET.

CONSTRUCTION NOTES

- FIRE HYDRANT PER SPECIFICATIONS
- PUMPER NOZZLE 4 1/2"
- HOSE NOZZLE 1 1/2"
- 1/2" EXPANSION JOINT MATERIAL
- MATCH SIDEWALK SLOPE, OR SLOPE 1/4" PER FOOT.
- 3'x3'x6" SQUARE CONCRETE PAD, TO BE CONSTRUCTED AROUND FIRE HYDRANT'S CENTER LINE WHEN NOT LOCATED WITHIN SIDEWALK OR CONCRETE AREA. CONCRETE PER SEC. 101 EXTERIOR CONCRETE, f'c=3000 psi @ 28 DAYS.
- BACK OF CURB
- CONTROLLED ELEVATION LINE, LEVEL IN ALL DIRECTIONS.
- USE OF RESTRAINED JOINTS IS MANDATORY. ALL FIRE HYDRANT LEG PIPING AND FITTINGS INCLUDING TEE ON MAIN SHALL BE RESTRAINED JOINT.
- 3"x3"x18" GRAVEL DRAIN POCKET WITH CLEAN GRAVEL, ASTM C33, NO. 57. LINE DRAIN POCKET WITH GEOTEXTILE FABRIC NM007 CLASS 3.
- STANDARD CURB AND GUTTER. IF NO CURB AND GUTTER IS PRESENT, BOLLARDS ARE REQUIRED. FOR OTHER TYPES OF CURB AND GUTTER, SPECIAL DESIGN IS REQUIRED.
- INSTALL FIRE HYDRANT ISOLATION GATE VALVE AT TEE ON MAIN. INSTALL VALVE BOX PER STANDARD DRAWING 2326.
- ELECTRONIC MARKER DEVICE (EMD), SEE STANDARD SPECIFICATION SECTION 170.
- STATIONARY GUARD POST PER STANDARD DRAWING 2322

REVISIONS	WATER AUTHORITY
DEC. 2014 MAY 2013	WATER FIRE HYDRANT INSTALLATION DWG. 2340 APR. 2019



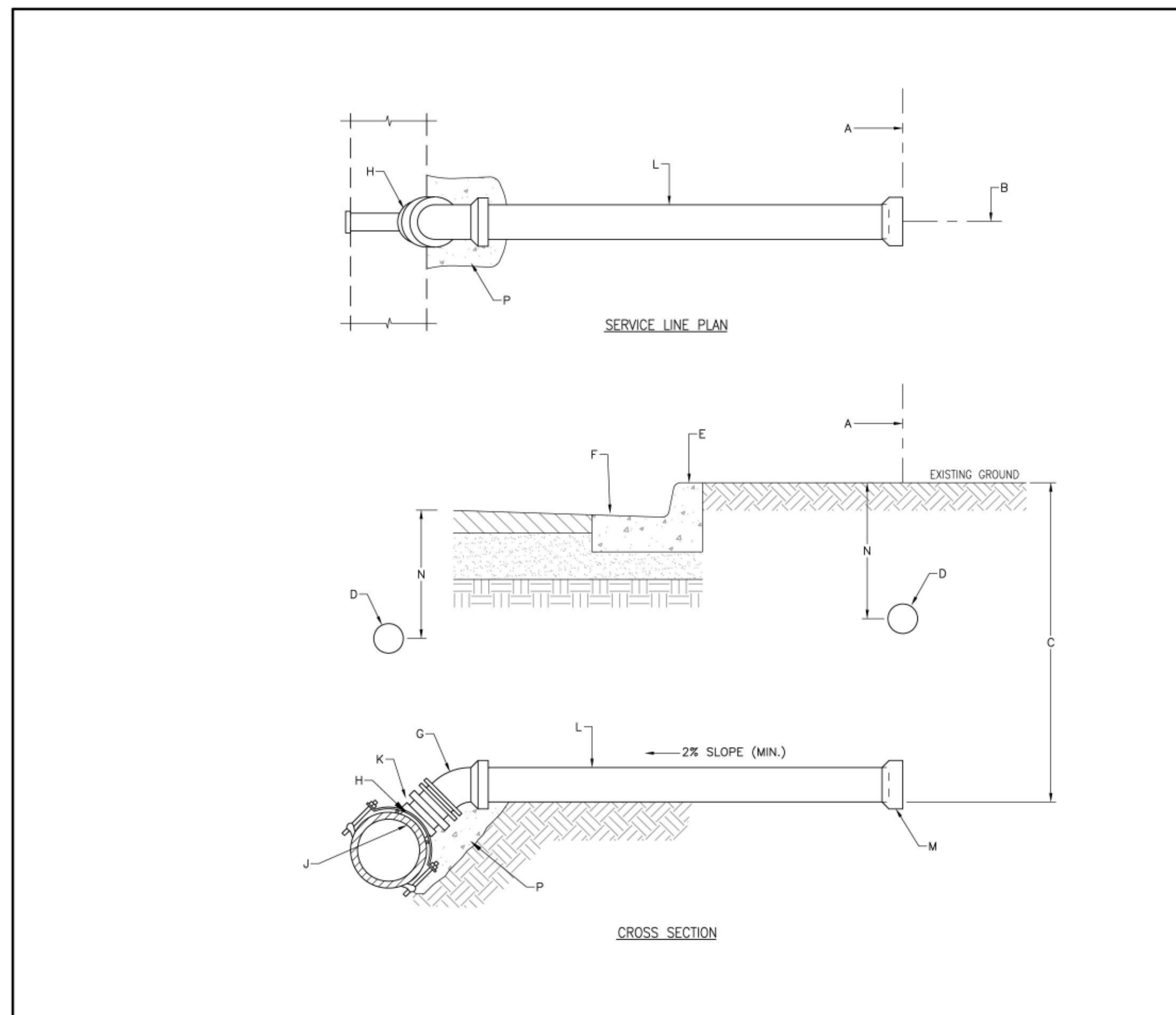
GENERAL NOTES

- USE TYPE "E" MANHOLE FOR DEPTHS OF 2'-6" MEASURED FROM INVERT TO RIM.
- CONTRACTOR HAS OPTION TO CONSTRUCT TYPE "C" MANHOLE IN LIEU OF TYPE "E" MANHOLE FOR DEPTHS 2'-6".
- MANHOLES > 6' IN DEPTH SHALL BE CONSTRUCTED OF PRECAST CONCRETE SECTIONS ONLY.
- DESIGN APPLIES TO 4' TO 6' I.D. MANHOLES.
- COMPACT ALL BACKFILL AROUND MANHOLE TO 95% (ASTM).
- USE NON-SHRINK GROUT FOR JOINTS, FILLETS AND PIPE PENETRATIONS.
- APPLY WATERPROOFING COATING TO EXTERIOR OF MANHOLE IN AREAS WHERE GROUNDWATER IS PRESENT.
- AN INTERIOR COATING, WITH A WATER AUTHORITY APPROVED EPOXY RESIN-TYPE MATERIAL, SHALL BE APPLIED TO MANHOLES ON MAINS LARGER THAN 24" IN DIAMETER.
- POSITION MANHOLE OPENING OVER THE CENTER OF MANHOLE.

CONSTRUCTION NOTES

- CONCRETE PIPE SUPPORTS SHALL EXTEND OUTSIDE OF MANHOLE TO BELL OF FIRST JOINT AND SHALL CRADLE PIPE TO SPRING LINE. NOT APPLICABLE FOR FLEXIBLE PIPE.
- PIPE PENETRATION INTO MANHOLE SHALL BE FLUSH TO 2" MAX., MEASURED AT SPRINGLINE OF PIPE.
- MANHOLE MAY BE CONSTRUCTED OF CONCRETE BLOCK, POURED CONCRETE, OR PRECAST REINFORCED CONCRETE. IF PRECAST CONCRETE IS USED, USE MASTIC GASKETS AND APPLY NON-SHRINK GROUT TO EXTERIOR AND INTERIOR OF EXPANSION JOINTS. IF BLOCK IS USED, APPLY 1/2" THICK MORTAR COATING TO EXTERIOR AND INTERIOR OF MANHOLE.
- PRECAST REINFORCED CONCRETE CONCENTRIC CONE. THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR APPROVAL.
- USE MAX. 4 COURSES GRADE MS BRICK ON UNPAVED STREET FOR FUTURE ADJUSTMENT OF MANHOLE FRAME TO PAVEMENT GRADE.
- CONCRETE BASE TO BE POURED IN PLACE USING NO. 4 BARS AT 6" O.C. EA. WAY FOR MANHOLE DEPTH OF 2'-16". NO. 4 BARS AT 12" O.C. EA. WAY FOR MANHOLE DEPTH OF <16".
- INVERT ELEVATION OF STUB OR LATERAL AS SHOWN ON PLANS.
- 6" GROUT FILLET ON UPPER HALF OF PIPE AND AROUND BASE.
- OCTAGONAL CONCRETE PAD, SEE STANDARD DWG. 2461 FOR REFERENCE.
- MANHOLE FRAME AND COVER, SEE DRAWING 2109. INSTALL A 24" COVER FOR SEWER LINE <24", AND A 32" COVER FOR SEWER LINE >24".
- CONCRETE, SEE SPECIFICATION SECTION 101.
- SLOPE 1" PER FT. FROM PIPE CROWN.
- SHELF TO BE 9" WIDE MIN.
- APPROVED WATERSTOP TO BE COMPATIBLE WITH TYPE OF PIPE.
- ELECTRONIC MARKER DEVICE (EMD), SEE STANDARD SPECIFICATION SECTION 170.
- CONCRETE COLLAR IN UNPAVED AREAS, SEE STANDARD DRAWING 2461.
- APPLY 1/2" THICK MORTAR COATING TO INTERIOR OF OPENING.
- #4 REBAR PER STANDARD DRAWING 2461.
- TOP OF CONCRETE COLLAR SHALL BE STAMPED WITH LINE SIZE AND FLOW DIRECTION ARROWS. MINIMUM LETTER SIZE SHALL BE 3" IN HEIGHT.

REVISIONS	WATER AUTHORITY
JAN. 2013	SANITARY SEWER MANHOLE TYPE "E" DWG. 2102 OCT. 2017



GENERAL NOTES

- ALL SERVICE LINES SHALL CONFORM TO THE PLUMBING CODE OF THE CITY OF ALBUQUERQUE.
- THE SANITARY SEWER SERVICE LATERAL IS CONSIDERED 75% WATER FROM THE MAIN LINE, INCLUDING THE SERVICE TEE TO THE PROPERTY LINE AND BEYOND. ALL MAINTENANCE AND/OR REPLACEMENT IS THE RESPONSIBILITY OF THE PROPERTY OWNER FOR WHICH IT IS PROVIDING THE SERVICE.

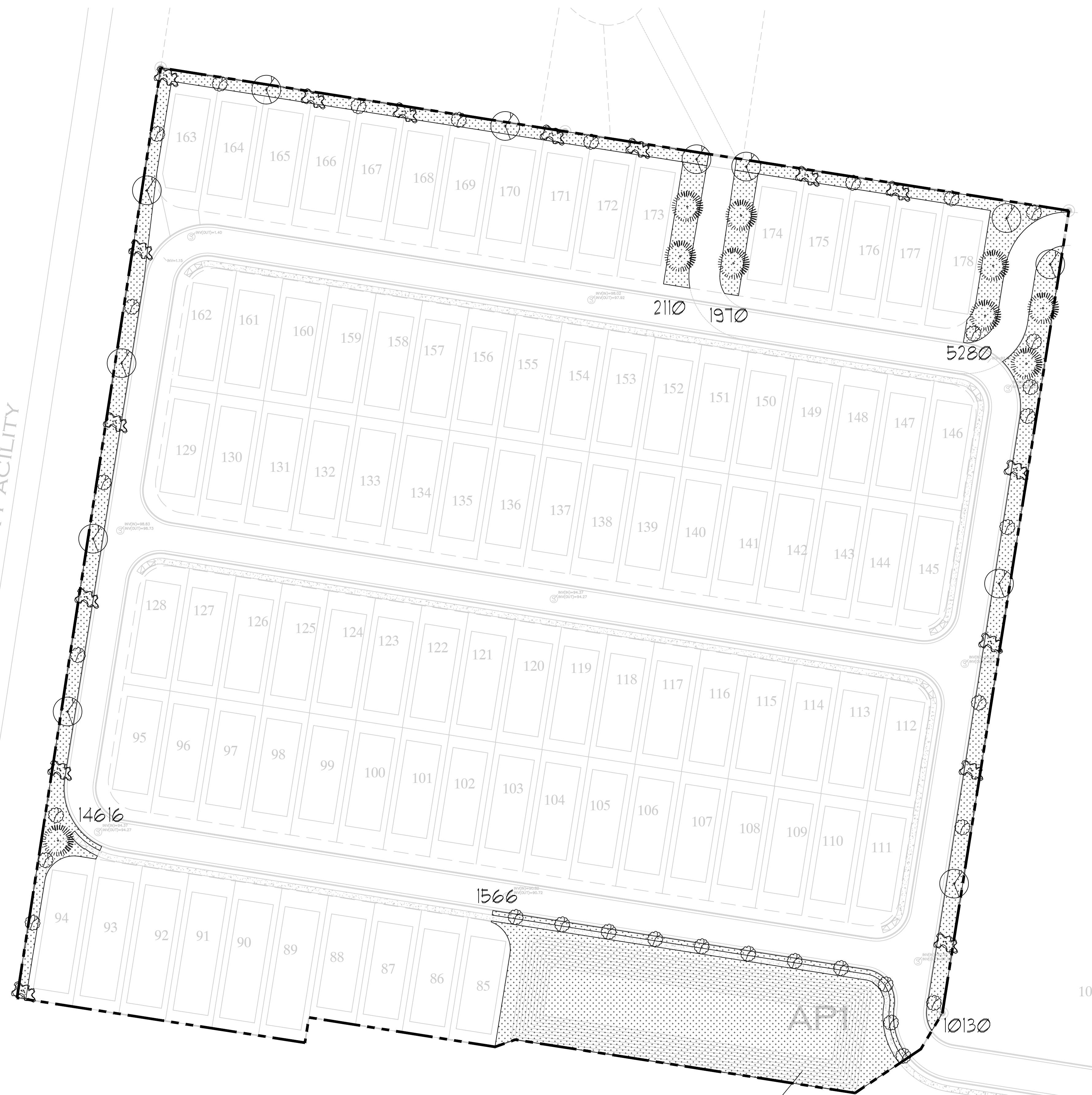
CONSTRUCTION NOTES

- RIGHT-OF-WAY LINE.
- CENTER LINE OF SERVICE LINE.
- MINIMUM OF 4' TO 6' FROM INVERT TO TOP OF CURB AT RIGHT-OF-WAY LINE. MINIMUM DEPTH WILL DEPEND ON THE DEPTH OF THE MAIN SEWER LINE, THE MINIMUM SERVICE LINE SLOPE, THE DEPTH OF THE LOT BEING SERVED, LOCATION OF THE HOUSE ON THE LOT, AND THE GRADE OF THE LOT.
- ELECTRONIC MARKER DEVICE (EMD), SEE STANDARD SPECIFICATION SECTION 170.
- STAMP OR CHISEL PIPE DIAMETER, AND "S" ON TOP OF CURB OVER LOCATION OF SERVICE LINE. MINIMUM 1/4" DEEP.
- CURB & GUTTER.
- 22.5' OR 45' BEND.
- CORE DRILL.
- SERVICE LINE SHALL NOT PROTRUDE INTO SEWER MAIN.
- SANITARY SEWER TAPPING TEE PER WATER AUTHORITY APPROVED PRODUCTS LIST. DO NOT OVER TIGHTEN SADDLE BOLTS WHICH WOULD PREVENT FREE PASSAGE OF REQUIRED MANDREL. IN-LINE WYE CONNECTIONS ARE ALSO ACCEPTABLE FOR NEW CONSTRUCTION.
- SERVICE LINE, AND NEW SERVICE CONNECTIONS TO EXISTING SEWER MAINS.
- PLUG OR CAP UNTIL LATERAL IS PLACED IN SERVICE.
- DEPTH PLACEMENT PER SECTION 170, AND MANUFACTURER'S RECOMMENDATIONS.
- BACKFILL UNDER SERVICE WITH MINIMUM 1 CUBIC FOOT OF CONCRETE.

REVISIONS	WATER AUTHORITY
JAN. 2013 JAN. 2018	SANITARY SEWER SERVICE LINE DETAILS DWG. 2125 MAY 2019

	SOUTH VALLEY MHP ALBUQUERQUE, NM	DRAWN BY JL
	DETAIL SHEET	DATE 4/27/2023
	5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	DRAWING 2022056-DET
ASSAD A. RIZVI P.E. #27632	C4.1	SHEET # 2022056

SOUTH VALLEY NORTH DIVERSION FACILITY



LANDSCAPE LEGEND

QTY	SIZE	COMMON/BOTANICAL	H2O USE
Trees			
9	6 - 8'	Austrian Pine <i>Pinus nigra</i>	M
12	3" cal	Netleaf Hackberry <i>Celtis reticulata</i>	M+
16	6-8'	Crimson Oak <i>Quercus robur x alba</i>	M
33	15 Gal.	Oklahoma Redbud <i>Cercis reniformis</i>	M
70	Total Trees		
67136	Drainage Basin Treatment, (See Notes) Native Seeding Mix Per COA		
67136	Total Landscape Provided		

LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	606251
TOTAL ON-SITE LANDSCAPE PROVIDED	67136

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Nonresidential Development, Revised 6/24. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Nonresidential Development, Revised 6/24.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Landscape areas in excess of 36 square feet shall be planted so as to achieve 75% Live Ground Cover at maturity.

Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed, or other treatment.

Landscape shall be watered by a complete underground irrigation system operated by automatic timer. Trees shall have bubblers and shrubs shall have a minimum of 2 emitters per shrub. Trees and shrubs shall be zoned separately. Point of connection for irrigation system is unknown at current and shall be coordinate Landscaping shall be installed according to the approved plan; installation shall be completed within 60 days of the related building's occupancy.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the property owner. d between the Landscape Contractor and the General Contractor of the project prior to construction.

No substitutions, or alterations shall be made to this plan without the express written authorization of the Landscape Architect, and changes approved by the City of Albuquerque.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 45' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 10 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for Irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

Drainage Basin Treatments
Per City of Albuquerque
Drainage Basin Treatments

The bottom and sides must be seeded with a native mix per City Standard specification 102.2 depending on soil type for that City area. Please reference this native seed selection and the section on plan sheet.

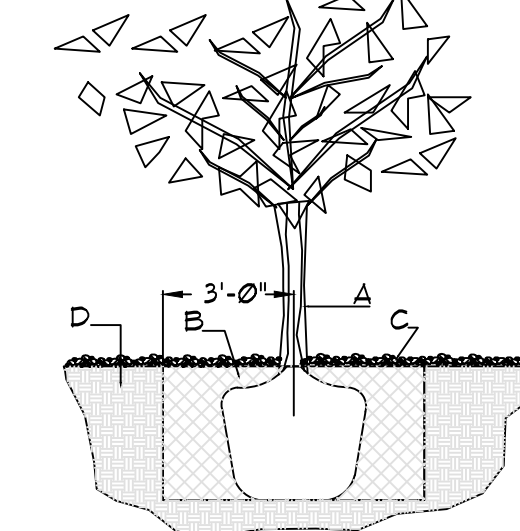
For pond bottoms: Gravel 3/4 to 1 inch mulch. One layer thick, not stacked

Native grass establishment must be achieved by the contractor within a 3 year time frame. Temporary irrigation or water trucks must be used when rain is lacking. Seeds must germinate in one year or reseeding will likely be needed.

Maintenance will be per City of Albuquerque Specification 102.3.3.1 and 102.3.3.2.

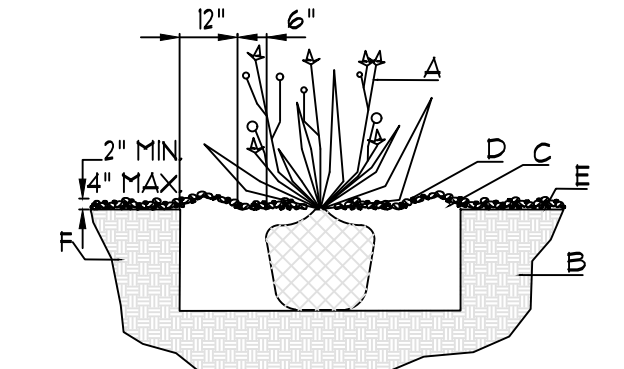
Contractor must weed the basin during/after the first growing season.

Needs city inspection, Stormwater Quality Ordinance-final stabilization must be accepted by the City.



TREE PLANTING DETAIL

NTS



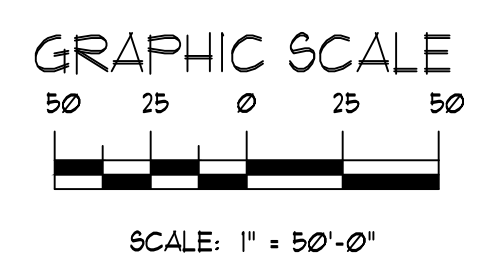
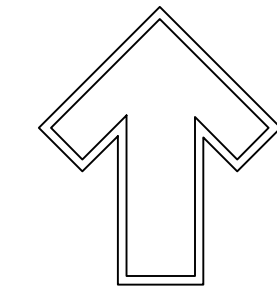
SHRUB PLANTING DETAIL

NTS

GENERAL NOTES:
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
CONSTRUCTION NOTES:
A. TREE
B. BACKFILL WITH EXISTING SOIL.
C. 3" DEPTH OF GRAVEL MULCH.
D. UNDISTURBED SOIL.

GENERAL NOTES:
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
CONSTRUCTION NOTES:
A. SHRUB.
B. BACKFILL WITH EXISTING SOIL.
C. EARTH BERM AROUND WATER RETENTION BASIN.
D. 3" DEPTH OF GRAVEL MULCH.
E. FINISH GRADE.
F. UNDISTURBED SOIL.

DRAINAGE BASIN TREATMENT (SEE NOTES)
PER CITY OF ALBUQUERQUE
31464



danny@mitchellassociatesinc.com 505.639.9583



2019011 SOUTH VALLEY MHP (RIVERSIDE)
ENCROACHMENT EASEMENT EXHIBIT

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.tierrawestllc.com

May 4, 2023

Ms. Jolene Wolfley
 City of Albuquerque – DFT
 600 2nd Street NW
 Albuquerque NM 87102

**RE: RIVERSIDE MOBILE HOME PARK
 2911 ERVIEN LN, SW
 TRACT 1 OF SUMMARY PLAT & ADJACENT TRACT TO THE WEST
 SENSITIVE LANDS ANALYSIS**

Dear Ms. Wolfley:

Tierra West, LLC has performed a Sensitive Lands Analysis Report as required under the Integrated Development Ordinance (IDO) Section 5-2(C) for new subdivisions of land, documenting the following:

Item:	Presence:	Commentary:
Floodplains and Flood Hazard	None	No floodplains are present on the site.
Steep Slopes	None	No steep slopes are present on the site.
Unstable Soils	None	No unstable soils are present on the site.
Wetlands (Constant supply of water)	None	No wetlands are present on the site.
Arroyo	None	The site does not drain into the drainage channel to the west. No arroyos are within the site.
Irrigation Facilities	None	No irrigation facilities are present on the site.
Escarpment	None	No escarpments are present on the site.
Rock outcroppings	None	No rock outcroppings are present on the site.
Large stands of mature trees	None	No large trees are present on the site.
Archeological sites	None	No archeological sites.
Historic Landfills	Yes	A portion of site is located within the historic Riverside Landfill. The landfill was known only include construction debris and not any domestic waste. A landfill gas assessment report has been submitted to City Environmental Health with recommendations for required mitigations. No proposed lots are to be located within the identified footprint of the historic landfill.



Site looking North along east property line.



Looking southeast towards existing portion of the mobile home park.



Looking north toward the Rayo del Sol Subdivision.



Looking east toward existing mobile home park.



Looking west toward Amole del Norte channel and residential subdivision.

In conclusion, the Historic Landfill is the only feature that was found to present on the site. Best practices and due process have been followed to address this item in accordance with City Environmental Health requirements. The above photos of the site support our findings.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read "V. Carrica".

Vince Carrica, P.E

JN: 2022056
RRB/ar/ye

CITY OF ALBUQUERQUE



October 17, 2023

Riverside Landfill Development
South Valley MHP
2503 Coors Boulevard Southwest, Albuquerque, New
Mexico, 87121

To Jacob Liberman, Tierra West Inc;

The assessment and mitigations are approved for landfill gas mitigation requirements for the referenced Riverside Landfill Development at 2503 Coors Boulevard Southwest, Albuquerque, New Mexico, 87121. Please include this approval with all submittals to the Planning Department.

PO Box 1293

The proposed mitigations and assessment for the Riverside Landfill is acceptable for EPC approval and the additional construction notes are acceptable for building permit. Please provide me copies of submittals to the Planning Department.

Albuquerque

NM 87103

Thank you,

www.cabq.gov

A handwritten signature in black ink, appearing to read "Paul Olson".

Paul Olson, PE
Environmental Health ESD
505/331-6677