



**Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.**

<b>MISCELLANEOUS APPLICATIONS</b>		<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)	
<input type="checkbox"/> Site Plan Administrative DFT (Forms SP & P2)		<b>PRE-APPLICATIONS</b>	
<input checked="" type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)		<input type="checkbox"/> Sketch Plat Review and Comment (Form S3)	
<input type="checkbox"/> Infrastructure List or Amendment to Infrastructure List (Form S3)		<input type="checkbox"/> Sketch Plan Review and Comment (Form S3)	
<input type="checkbox"/> Temporary Deferral of S/W (Form S3)		<b>APPEAL</b>	
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)		<input type="checkbox"/> Decision of Site Plan Administrative DFT (Form A)	
<b>BRIEF DESCRIPTION OF REQUEST</b>			
Final EPC Sign-off for Site Plan - EPC			
<b>APPLICATION INFORMATION</b>			
Applicant/Owner: Riverside West, LLC		Phone:	
Address: 2911 Ervien LN SW		Email:	
City: Albuquerque	State: NM	Zip: 87121	
Professional/Agent (if any): Tierra West, LLC		Phone: 505-858-3100	
Address: 5571 Midway Park Place NE		Email: dsandoval@tierrawestllc.com	
City: Albuquerque	State: NM	Zip: 87109	
Proprietary Interest in Site: owner		List <u>all</u> owners:	
<b>SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)</b>			
Lot or Tract No.:		Block:	Unit:
Subdivision/Addition:		MRGCD Map No.:	UPC Code: 101005440552820545, 101005534207240110
Zone Atlas Page(s): M-10-Z	Existing Zoning: R-MC		Proposed Zoning: R-MC
# of Existing Lots: 2	# of Proposed Lots: 2		Total Area of Site (Acres): 40.82 acres
<b>LOCATION OF PROPERTY BY STREETS</b>			
Site Address/Street: 2911 Ervien LN SW ABQ NM 87121		Between: Coors Blvd NW and: Ervin LN SW	
<b>CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)</b>			
PR-2018-001482, 1000976			
I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.			
Signature:		Date: 1/23/25	
Printed Name: Donna Sandoval		<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent	



**FORM P2: SITE PLAN ADMINISTRATIVE – Development Facilitation Team (DFT) as of 12/25/2022**☐ **SITE PLAN ADMINISTRATIVE – DFT**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov). Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below. Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

**SITE PLAN DOCUMENTATION**

- \_\_\_ 1) DFT Application form completed, signed, and dated
- \_\_\_ 2) Form P2 with all the submittal items checked/marked
- \_\_\_ 3) Form SP with signatures from Hydrology, Transportation, and ABCWUA
- \_\_\_ 4) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 5) Site Plan and related drawings (include a Site Plan key of the sheets submitted)
- \_\_\_ 6) Copy of the original approved Site Plan or Master Development Plan (for amendments to or Extensions of the Site Plan)
- \_\_\_ 7) Infrastructure List, if required for building of public infrastructure
- \_\_\_ 8) Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C) (The Sensitive Lands Site Analysis form can be obtained online at):  
[https://documents.cabq.gov/planning/development-review-board/Sensitive lands analysis form.pdf](https://documents.cabq.gov/planning/development-review-board/Sensitive%20lands%20analysis%20form.pdf)
- \_\_\_ 9) Responses to climatic and geographic responsive design considerations (Recommended to promote sustainability, but not required. The Climatic and Geographic Responsiveness form can be obtained online at): [https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2\(D\)ClimaticGeographic Responsiveness.pdf](https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2(D)ClimaticGeographic%20Responsiveness.pdf)

**SUPPORTIVE DOCUMENTATION**

- \_\_\_ 10) Completed Site Plan Checklist
- \_\_\_ 11) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 12) Justification letter describing and justifying the request per the criteria in IDO Section 16-6-5(G)(3)
- \_\_\_ 13) Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P). *Note: If requesting more than allowed by deviation, a Variance – ZHE or Waiver –DHO will be required, as applicable*
- \_\_\_ 14) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) *(not required for Extension)*



\_\_\_\_ 15) Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2)(d) if site is within a designated landfill buffer zone

\_\_\_\_ 16) Architectural Review Committee approval letter if the site is located within a Master Development Plan area or a Framework Plan area

**PUBLIC NOTICE DOCUMENTATION**

\_\_\_\_ 17) Sign Posting Agreement

\_\_\_\_ 18) Proof of a Pre-Submittal Neighborhood Meeting per IDO 6-4(C)(1)(b) for new building or multiple new buildings that include a total of more than 100 multi-family residential dwelling units or more than 50,000 square feet of non-residential development

\_\_\_ Office of Neighborhood Coordination neighborhood meeting inquiry response

\_\_\_ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

\_\_\_ Completed neighborhood meeting request form(s)

\_\_\_ If a meeting was requested or held, copy of sign-in sheet and meeting notes

\_\_\_\_ 19) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)

\_\_\_ Office of Neighborhood Coordination notice inquiry response

\_\_\_ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

\_\_\_ Proof of emailed notice to affected Neighborhood Association representatives

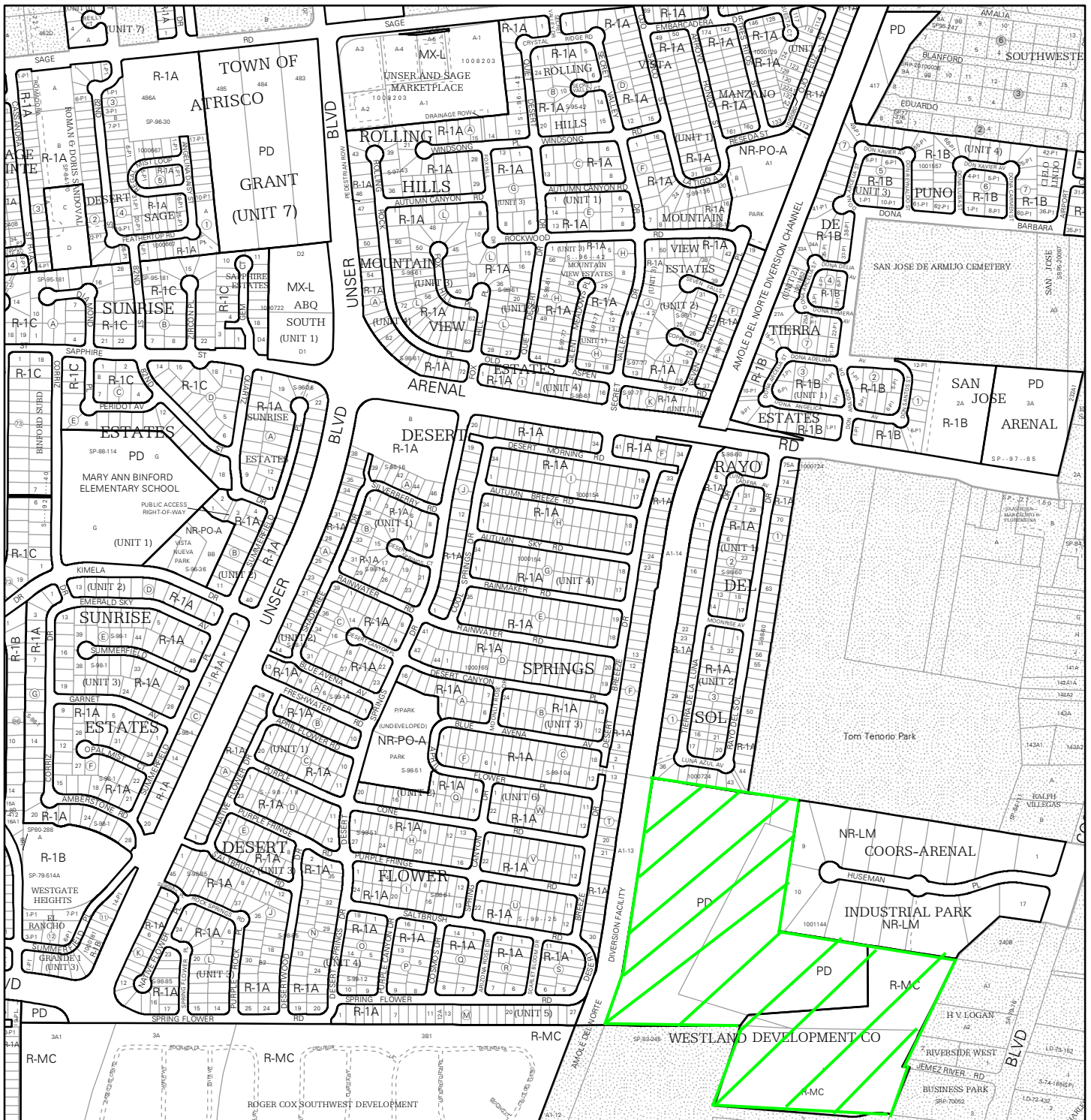


**X FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

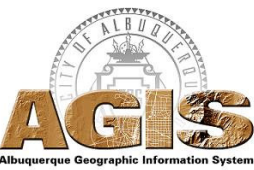
- ☐ 1) DFT Application form completed, signed, and dated
- ☐ 2) Form P2 with all the submittal items checked/marked
- ☒ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ☒ 4) Site Plan and related drawings
- ☐ 5) Infrastructure List, if require
- ☒ 6) Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- ☒ 7) Letter of authorization from the property owner if application is submitted by an agent
- ☒ 8) Solid Waste Department signature on Site Plan
- ☒ 9) Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- ☒ 10) Approved Grading and Drainage Plan
- ☒ 11) Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (*not required for Master Development Plans*)



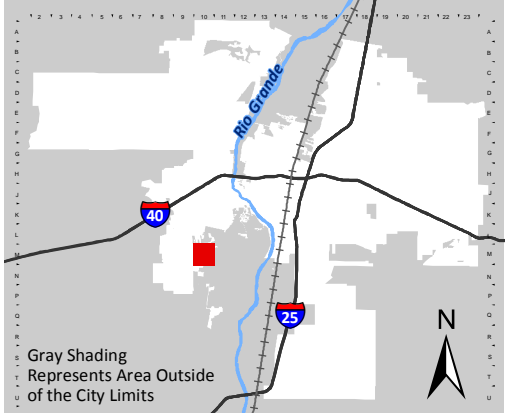


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

## IDO Zone Atlas May 2018



**IDO Zoning information as of May 17, 2018**  
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).



Gray Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**M-10-Z**

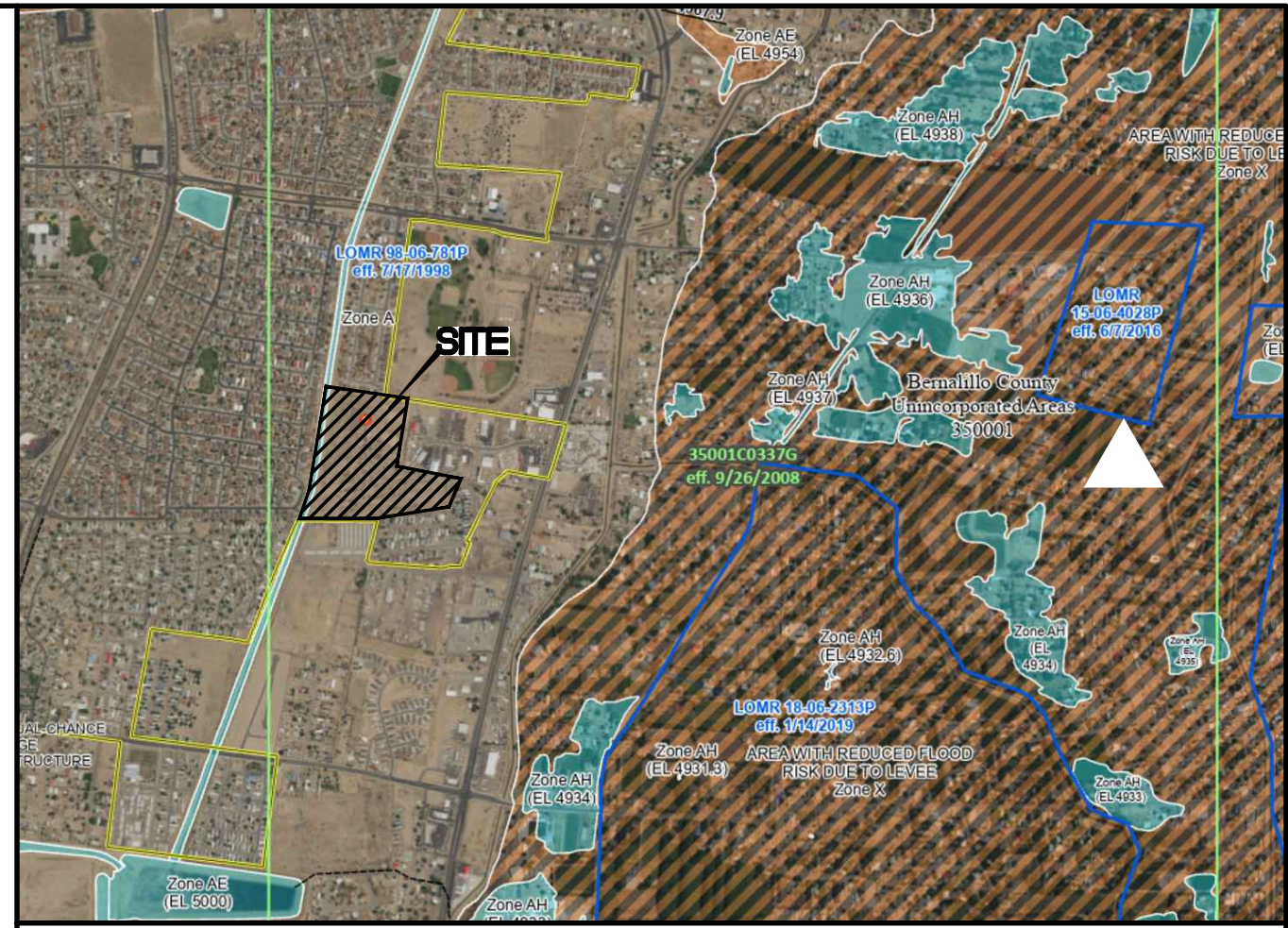
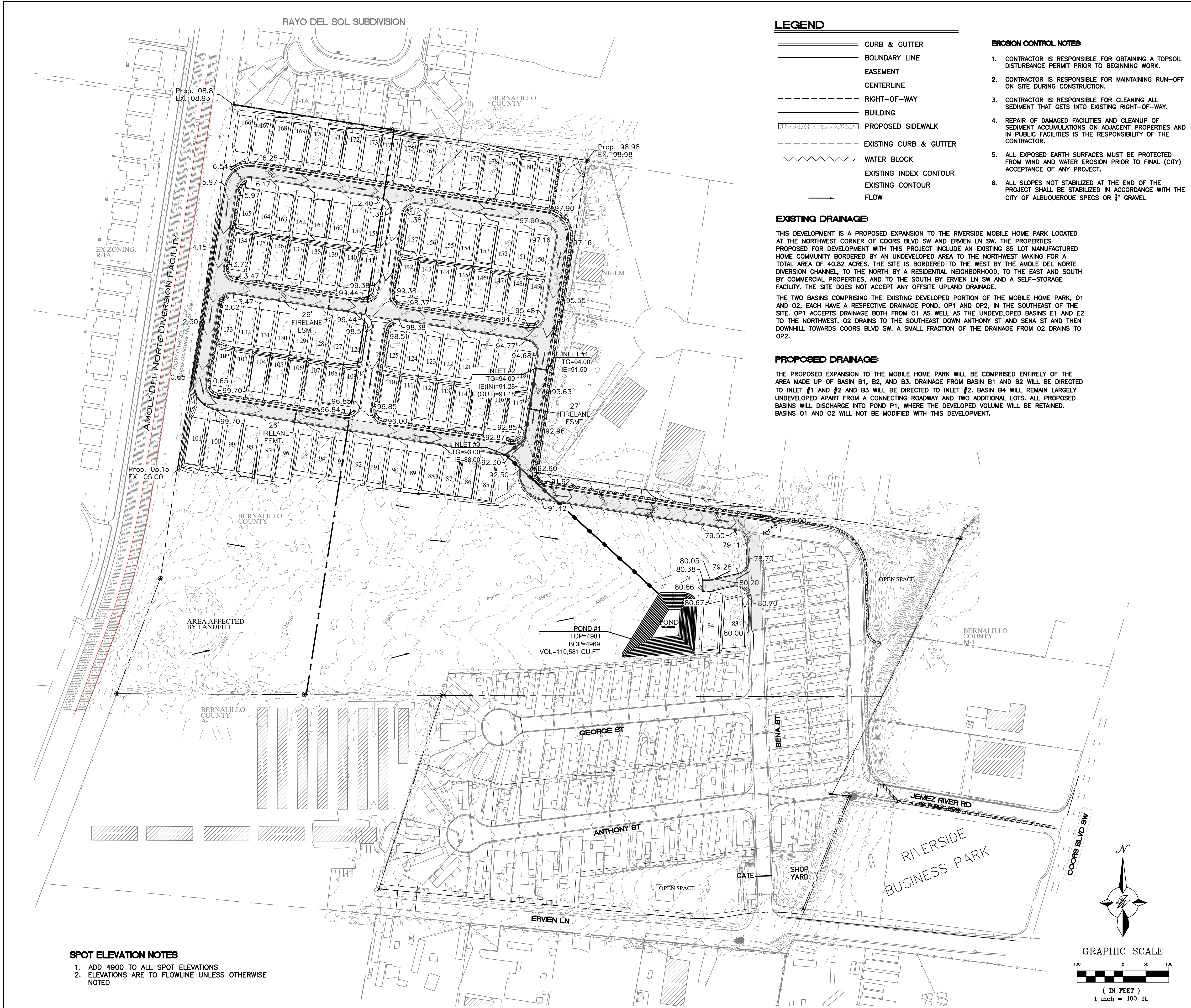
- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

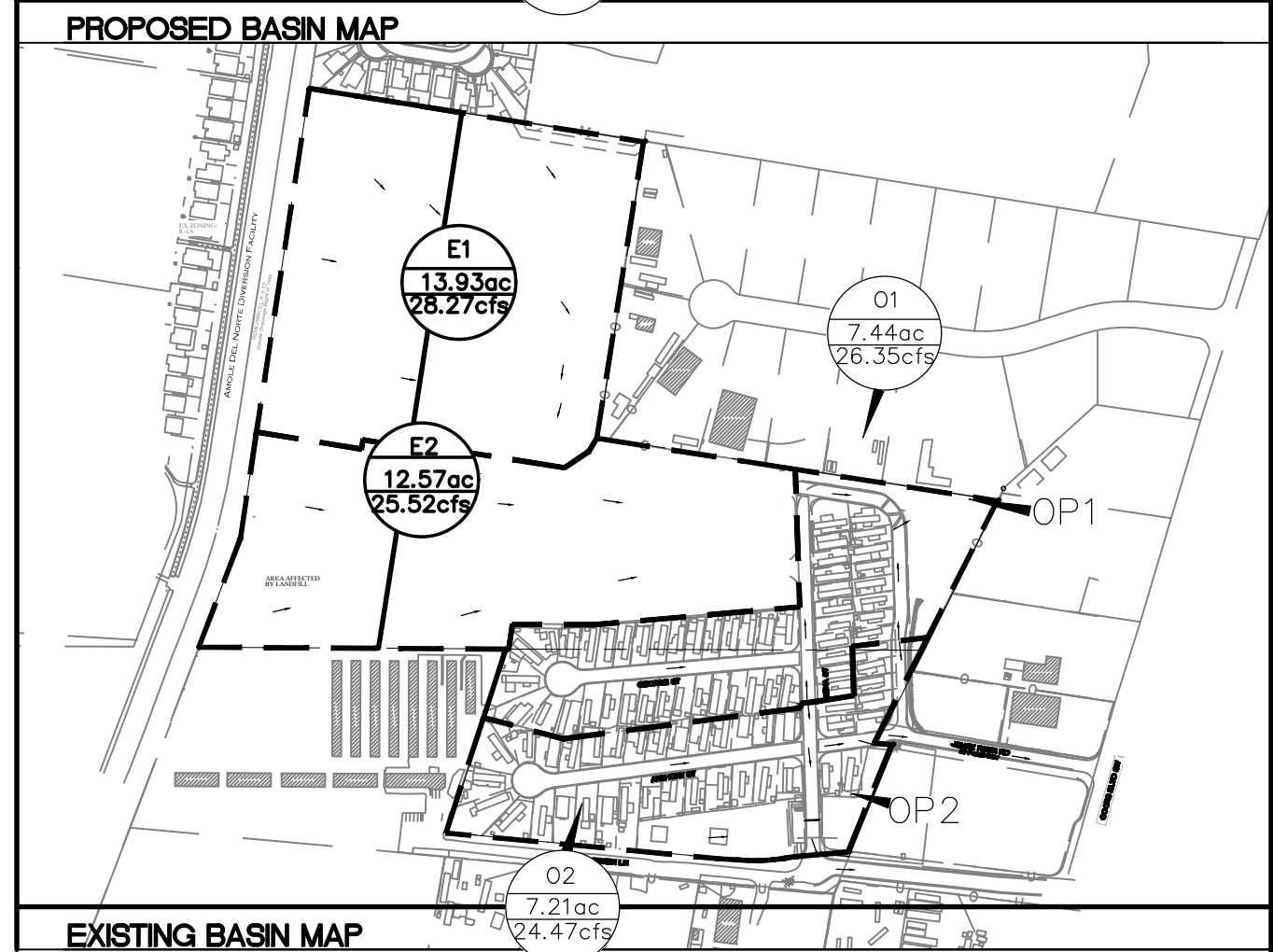
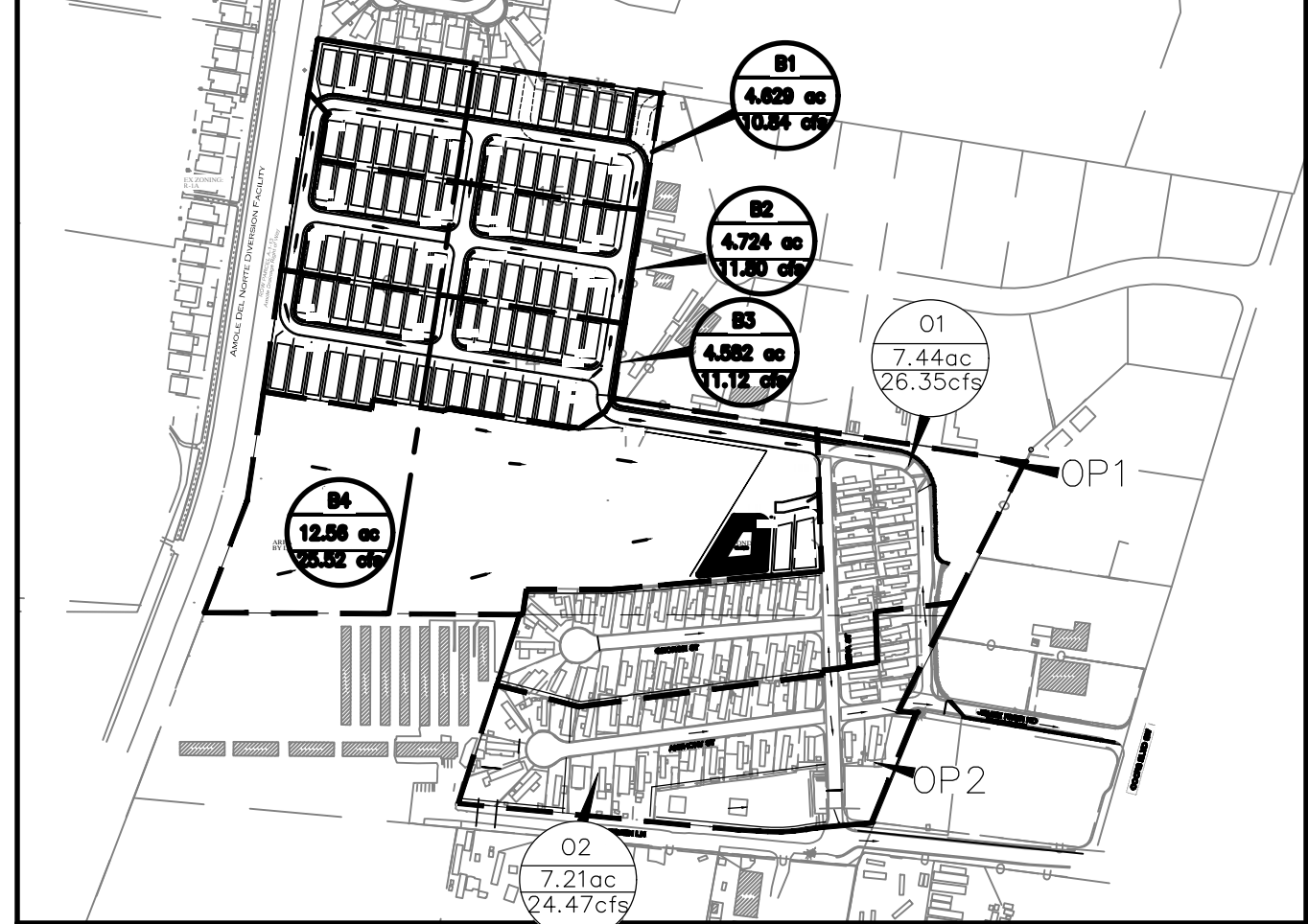








FIRM MAP 35001C0337G

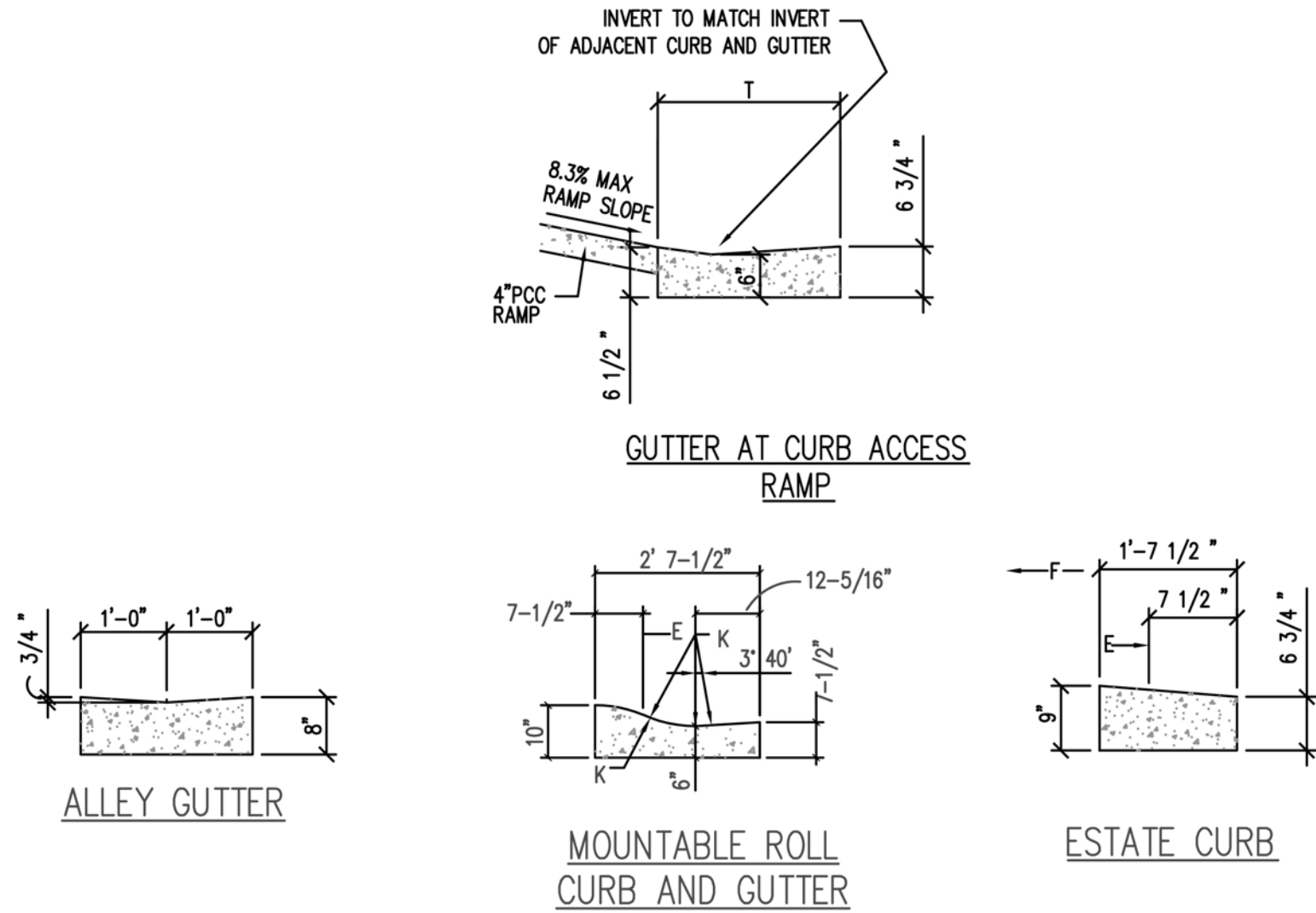


ENGINEER'S SEAL	RIVERSIDE MHP ALBUQUERQUE, NM	DRAWN BY JL
RONALD R. BOHANNON NEW MEXICO 7868	CONCEPTUAL GRADING AND DRAINAGE PLAN	DATE 9/10/2024
9/10/2024	TIERRA WEST, LLC 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2022056-GR
P.E. # 7868		SHEET # C2.0
		JOB # 2022056



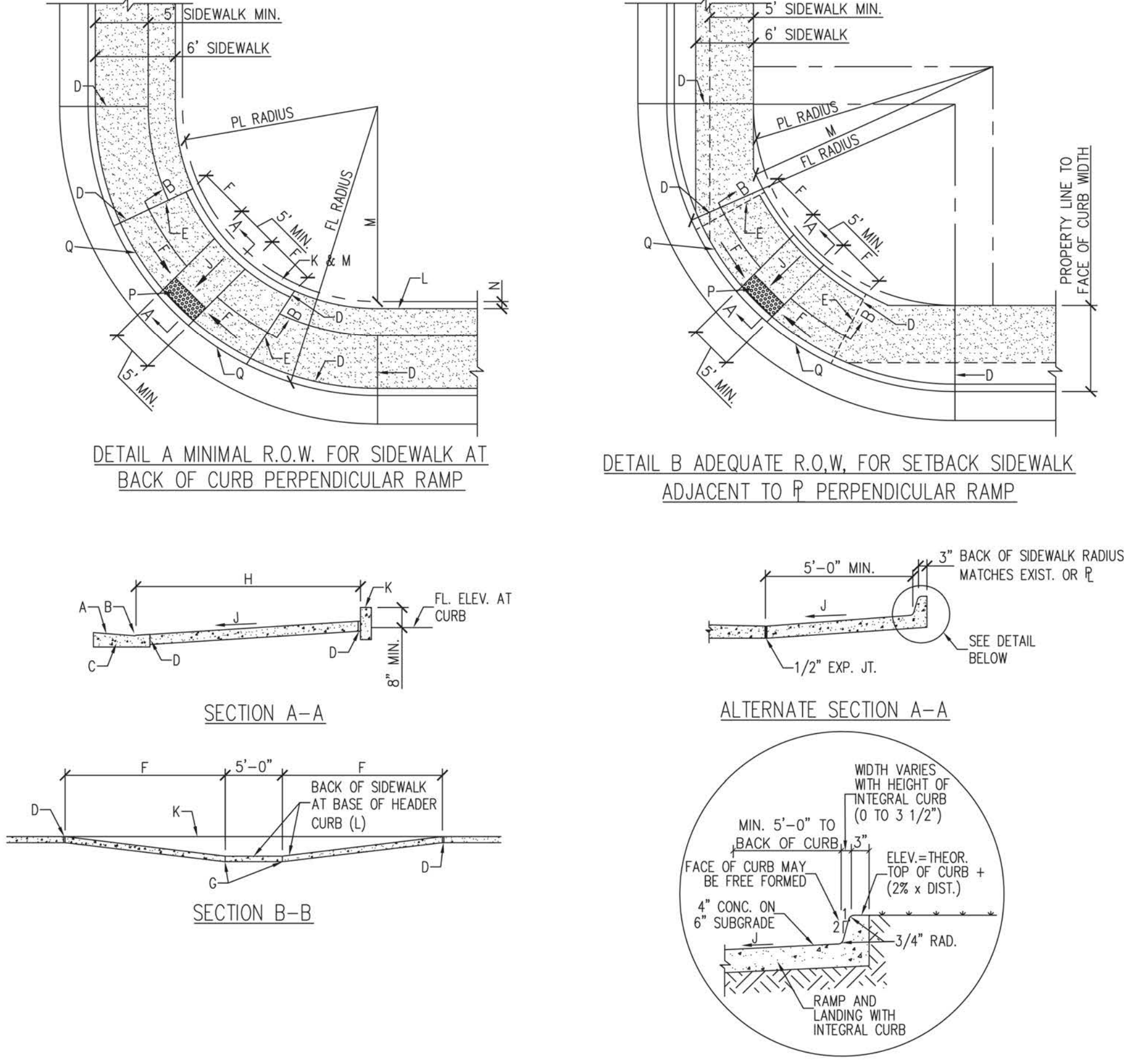






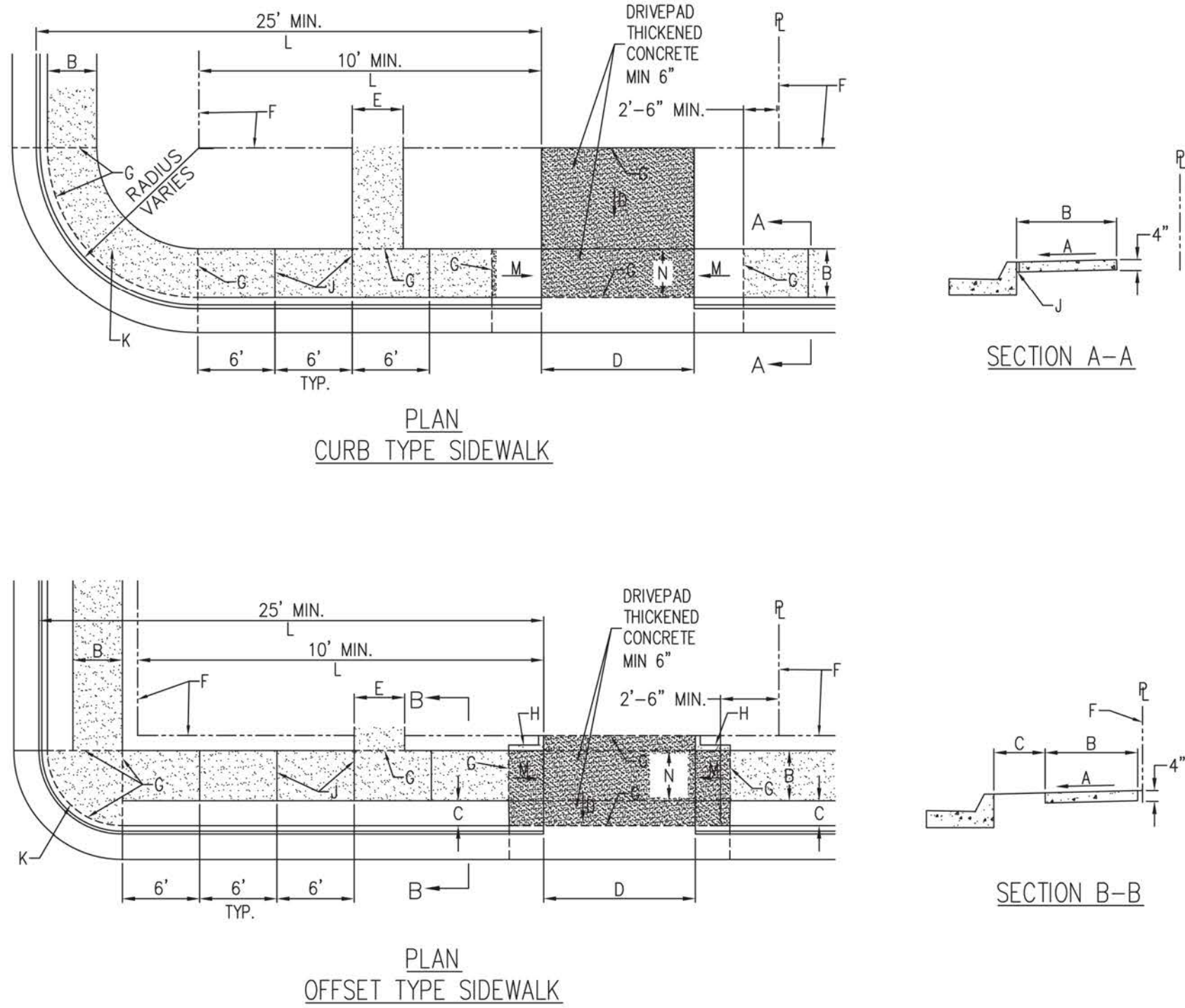
- GENERAL NOTES**  
SEE COA DRAWING 2415A
- CONSTRUCTION NOTES**
- REQ. CONC. CHANNEL LINING, OR CUT-OFF WALL, PROVIDE 1/4" EXP JOINT BETWEEN BACK OF CURB & CHANNEL LINING AND/OR WALL.
  - VARIABLE, DEPRESS AS NEEDED.
  - DRIVE NO. 4 PINS 18" DEEP IN HOLES DRILLED @ 2" O.C. IN EXISTING PAVEMENT, SEAL WITH EPOXY.
  - EXISTING ASPHALT CONCRETE (AC) OR PORTLAND CEMENT CONCRETE (PCC) PAVEMENT.
  - FACE OF CURB/FLOW LINE.
  - TRAFFIC SIDE.
  - 3/4" RADIUS.
  - 1-1/2" RADIUS.
  - 2" RADIUS.
  - 24" RADIUS.
  - TACK COAT.
  - DIMENSIONS AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES.
  - NOT USED.
  - 8" SCARIFIED AND COMPACTED SUBGRADE. 95% MINIMUM COMPACTION PER SECTION 301.
  - NOT USED.
  - #4 CONT. BETWEEN JOINTS 3" COVER AT JOINTS.
  - #3 PINS @ 3'-0" O.C. W/STD. HOOK.
  - MATCH ADJACENT GUTTER PAN WIDTH AND FLOWLINE.

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	CURB AND GUTTER DETAILS
	DWG. 2415B FEBRUARY 2021



- GENERAL NOTES**
- CURB ACCESS RAMPS ARE NORMALLY TO BE LOCATED AT THE CENTER OF THE RETURN OR AS DIRECTED BY THE CITY TRAFFIC ENGINEER.
  - WHEN MODIFYING ONE QUADRANT OF AN INTERSECTION TO IMPROVE ACCESSIBILITY, MODIFY THE REMAINING QUADRANTS SO THAT ALL QUADRANTS OF THE INTERSECTION COMPLY WITH ADA (PROWAG) REGULATIONS AS SHOWN ON PLANS.
  - SURFACE TEXTURE OF CURB ACCESS RAMPS SHALL BE OBTAINED BY HEAVY BROOMING (TEXTURE DEPTH .0625"), TRANSVERSE TO THE SLOPE OF THE RAMP.
  - GUTTER FLOW-LINE PROFILE SHALL BE MAINTAINED THROUGH THE AREA OF THE RAMP. DRAINAGE CATCH BASIN STRUCTURES SHALL NOT BE PLACED IN LINE WITH RAMPS.
  - WIDTH OF SIDEWALK AND RAMP MUST BE MAINTAINED AT A MINIMUM OF 5'-0" THROUGH ENTIRE RAMP LENGTH.
- CONSTRUCTION NOTES**
- SLOPE OF GUTTER NOT TO EXCEED 2% ADJACENT TO RAMP. 1.5 % PREFERRED.
  - FLUSH WITH RAMP AND GUTTER.
  - CURB AND GUTTER (SEE STD. DWG. 2415 - GUTTER AT CURB ACCESS RAMP).
  - 1/2" EXPANSION JOINT.
  - RADIAL LINES - TOP AND BOTTOM OF RAMP.
  - 8.3% MAX. SLOPE OF RAMP, 7% PREFERABLE SLOPE OF RAMP.
  - CONTRACTION JOINT.
  - VARIES WITH AVAILABLE R.O.W.
  - 2% MAXIMUM CROSS-SLOPE. 1.5% PREFERRED CROSS-SLOPE.
  - HEADER CURB, SEE DWG. 2415C.
  - BACK OF SIDEWALK.
  - BACK OF SIDEWALK RADIUS TO BE ESTABLISHED SO AS TO MAINTAIN A 5'-0" RAMP WIDTH (MINIMUM) THROUGHOUT. SEE STD. DWG. 2440 (NOTE 6) IF LESS THAN 5'-0" IS AVAILABLE DUE TO UNRESOLVABLE CONSTRAINTS.
  - 4-1/2" MAX.
  - DETECTABLE WARNINGS (SEE STD. DWG. 2446).
  - CURB TO MATCH SLOPE OF SIDEWALK.

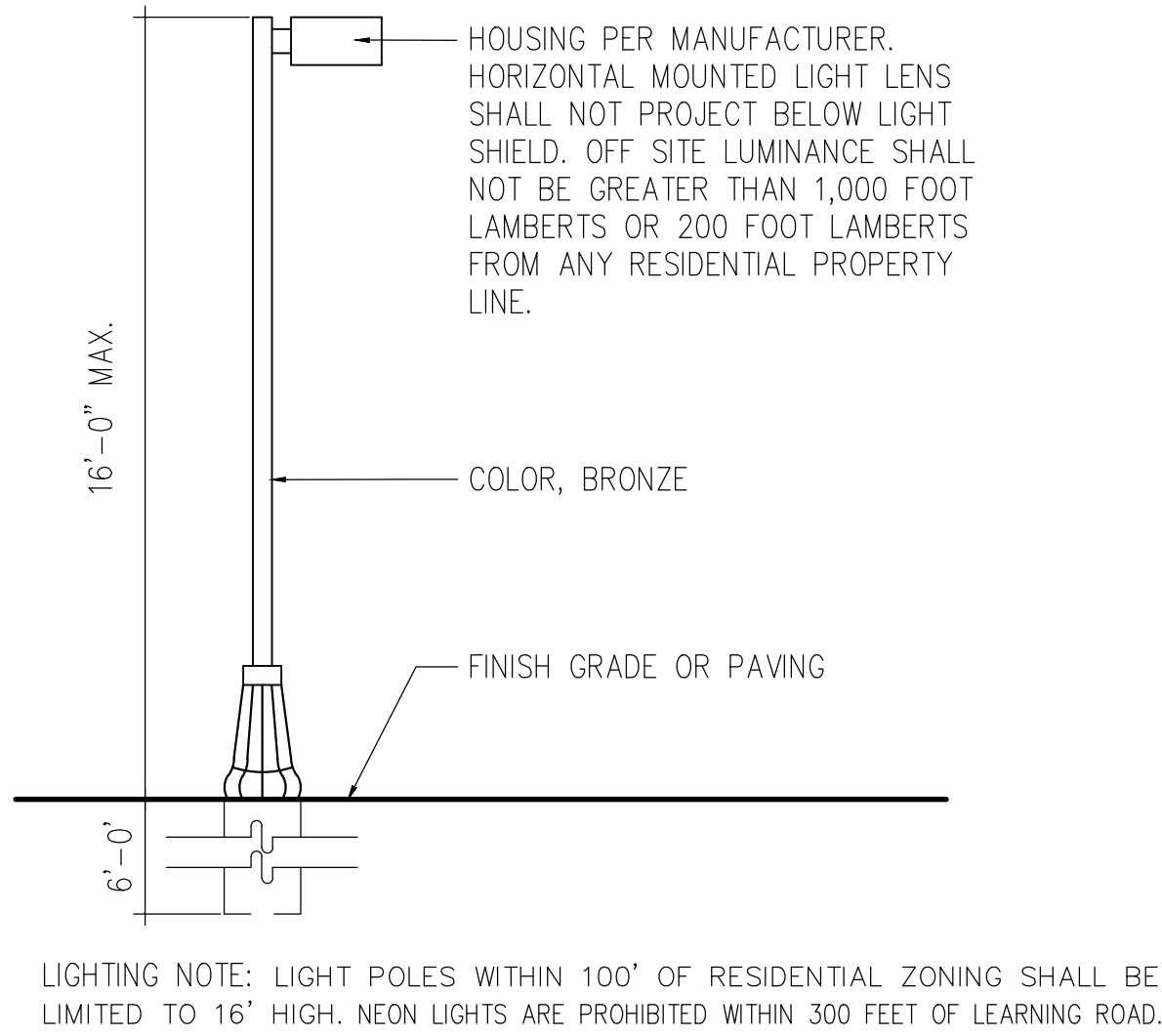
REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	CORNER ACCESS RAMP
	DWG. 2441 JUNE 2019



- GENERAL NOTES**
- DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR CITY TRAFFIC ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
  - SUBGRADE UNDER SIDEWALKS AND DRIVEPADS SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 301.
  - FOR SIDEWALKS LESS THAN 60" WIDE ON ACCESSIBLE ROUTE, PASSING SPACE AT LEAST 60" X 60" SHALL BE PROVIDED AT LEAST EVERY 200 FT.
  - GRATINGS LOCATED IN WALKING SURFACE SHALL HAVE SPACES NO GREATER THAN 1/2" WIDE IN DIRECTION OF TRAVEL. IF OPENINGS ARE ELONGATED, LONG DIMENSION SHALL BE PLACED PERPENDICULAR TO DIRECTION OF TRAVEL.
  - ALONG THE ACCESSIBLE ROUTE, CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 2H:1V. CHANGES IN LEVEL GREATER THAN 1/2" REQUIRE A RAMP.
  - PROVIDE A MINIMUM SIDEWALK WIDTH OF 4' AROUND OBSTACLES FOR ADA ACCESS.
  - SEE COA STD DWG 2425A AND 2425B FOR DRIVEPAD DETAILS.

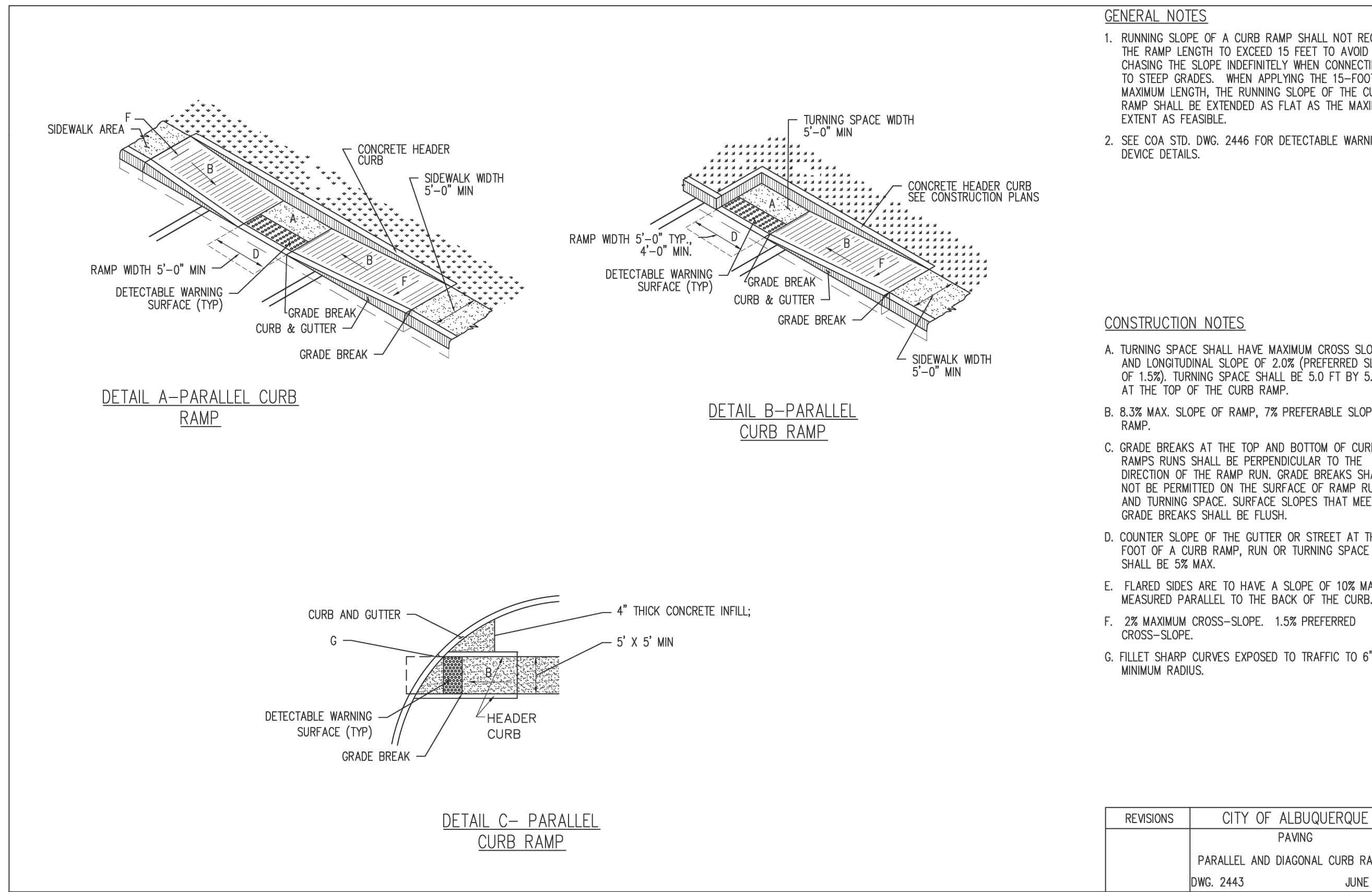
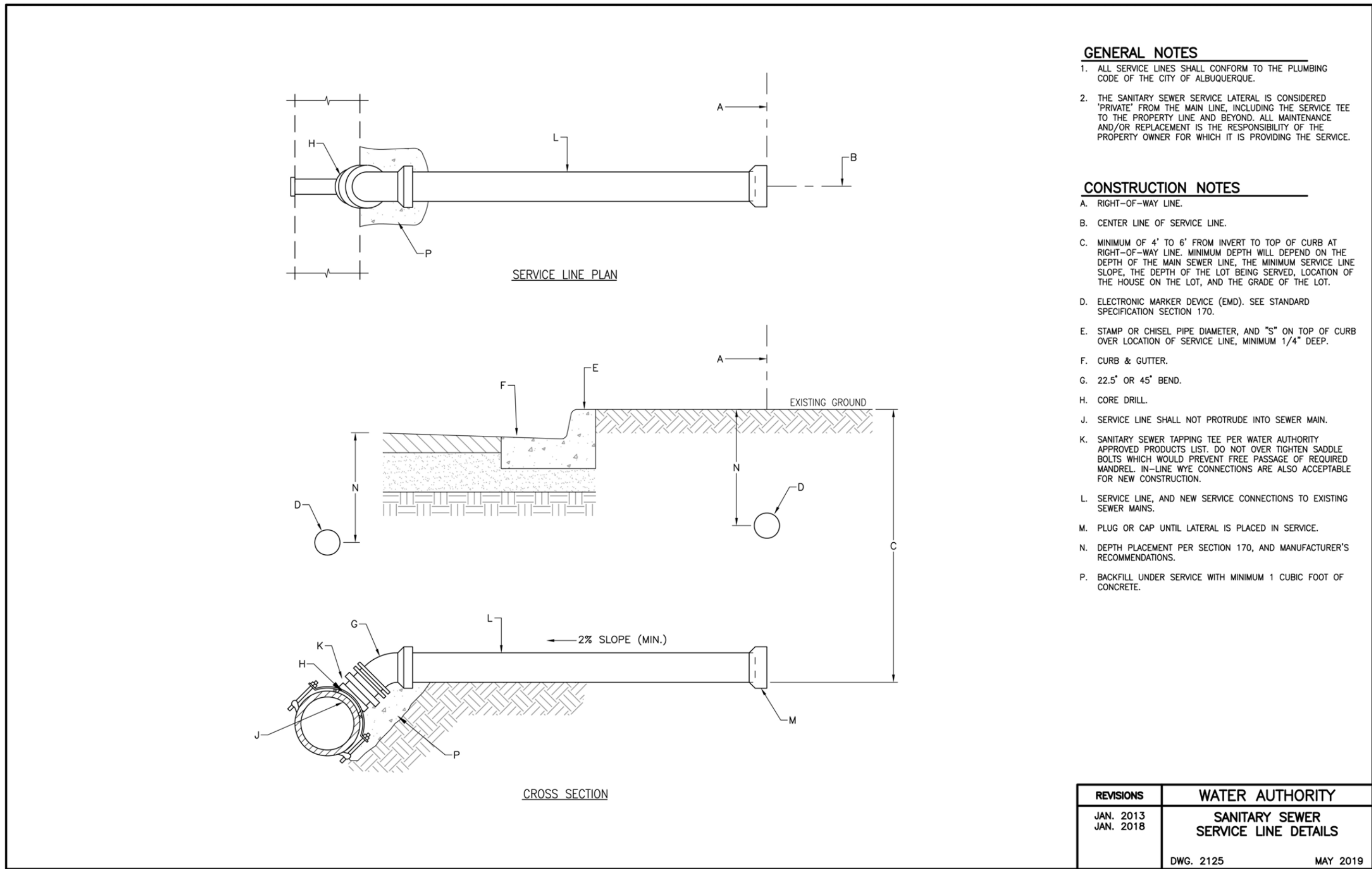
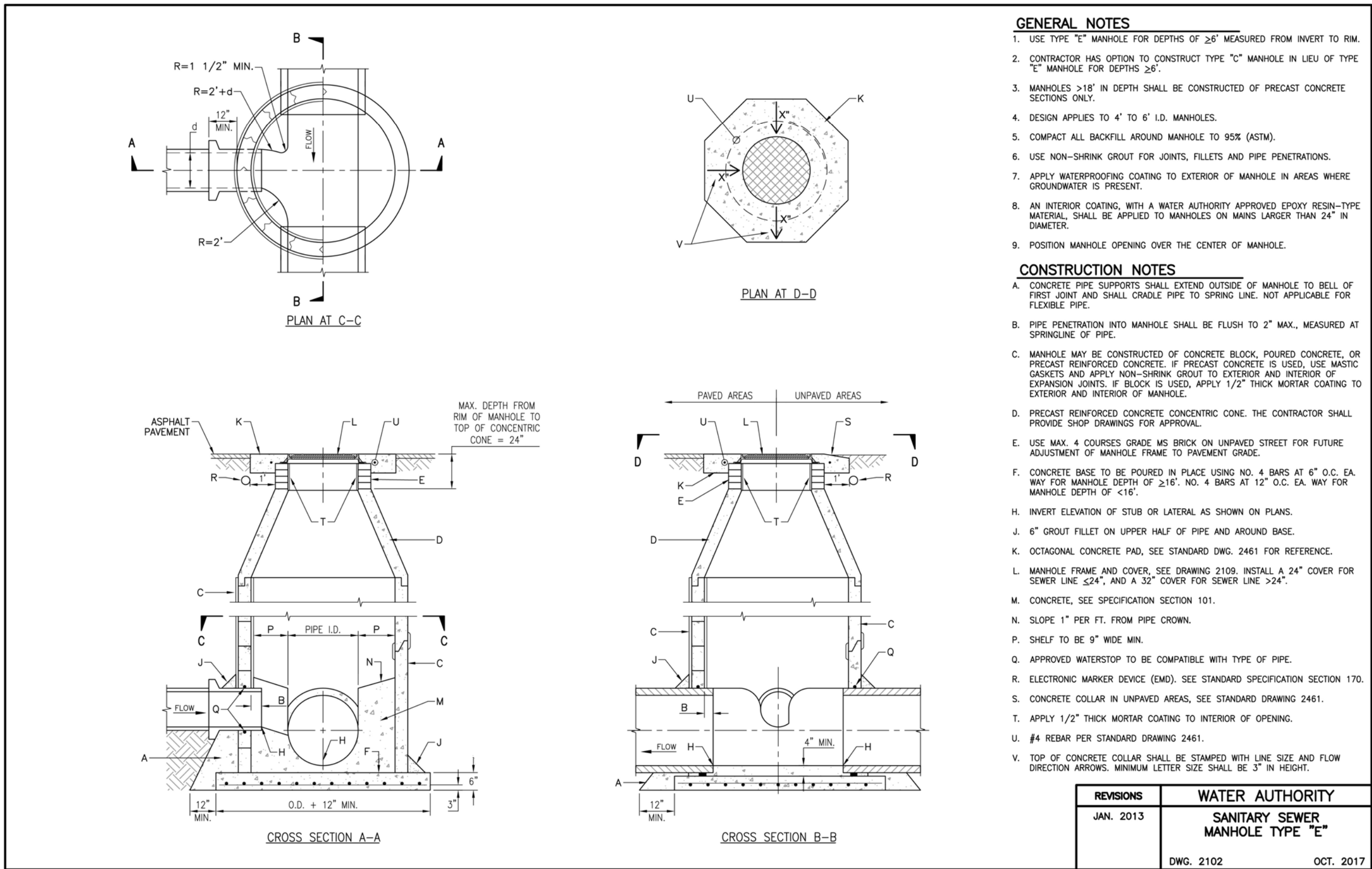
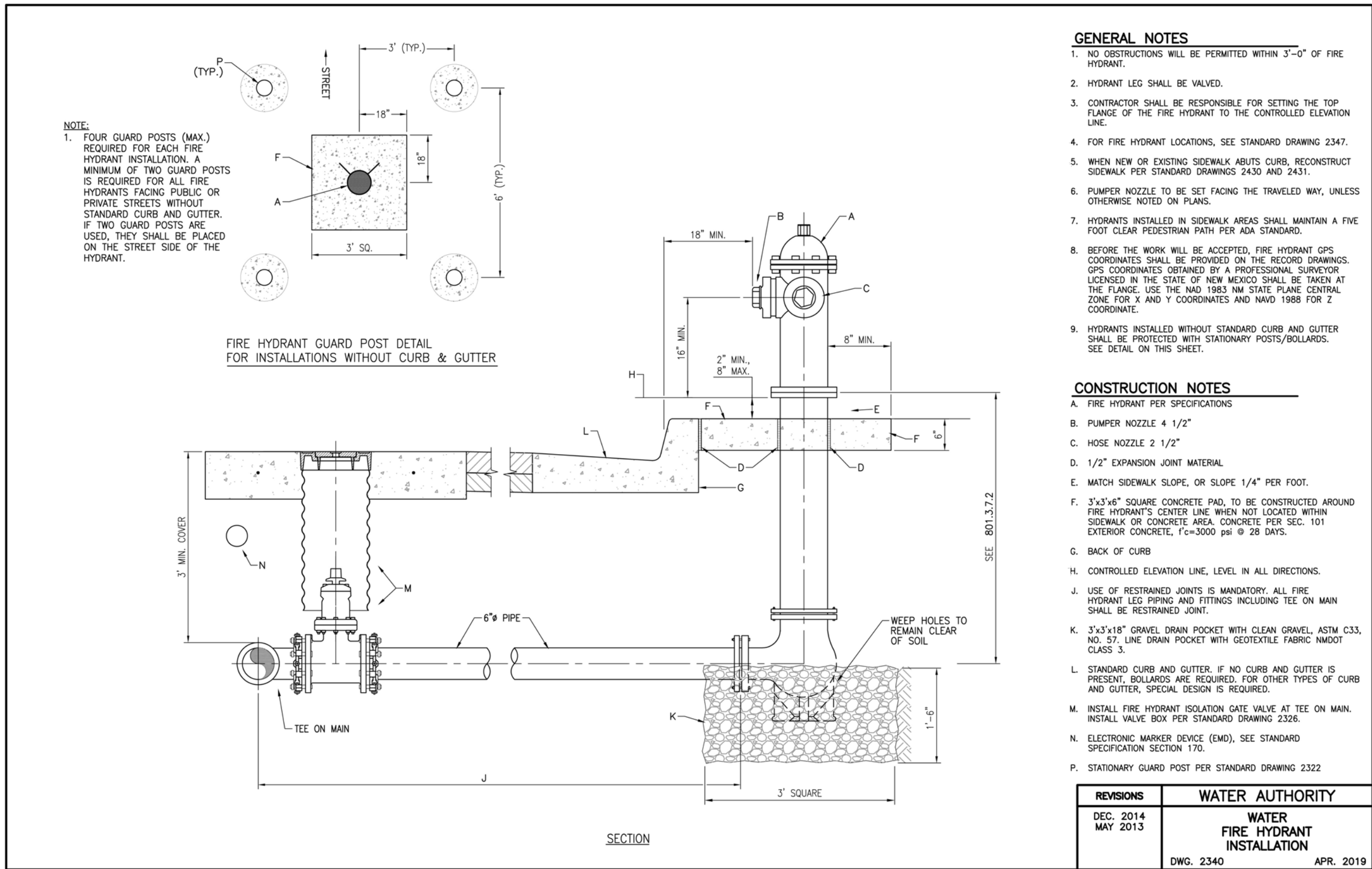
- CONSTRUCTION NOTES**
- SLOPE 2% MAX. 1.5% PREFERRED SLOPE.
  - 5' MIN. SIDEWALK WIDTH. SIDEWALK WIDTH SHALL BE IN ACCORDANCE WITH CHAPTER 23 OF DEVELOPMENT PROCESS MANUAL.
  - SETBACK TO BE DETERMINED BY AVAILABLE RIGHT-OF-WAY. SEE CHAPTER 7 OF DEVELOPMENT PROCESS MANUAL. ALSO SEE COA STD. DWG. 2414 FOR LANDSCAPE BUFFER.
  - SEE DRIVEPAD DETAILS, DWG. 2425A AND 2425B.
  - WALKWAY VARIABLE (4' MINIMUM).
  - PROPERTY LINE.
  - 1/2" EXPANSION JOINTS WHERE SIDEWALK OR DRIVEPAD ABUTS BUILDINGS, FENCES, WALLS OR OTHER IMMOVABLE OBJECTS.
  - HEADER CURB OR INTEGRAL CURB AS REQUIRED TO MEET GRADE AT BACK OF SIDEWALK. SEE STD. DWG. 2415.
  - CONTRACTION JOINTS.
  - FOR CURB ACCESS RAMPS, SEE DWGS. 2440 THROUGH 2445.
  - CHECK DIMENSION FROM BOTH PROPERTY LINE AND FLOW LINE. USE IN AREAS WHERE DRIVEPAD IS FARTHEST FROM INTERSECTION.
  - RAMP AS REQUIRED TO MEET DRIVEPAD GRADE. 8.3% MAX. SLOPE, 7% PREFERRED SLOPE.
  - ADA ACCESSIBLE PATHWAY. 2% MAX. CROSS-SLOPE. 1.5% PREFERABLE CROSS-SLOPE.

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	SIDEWALK DETAILS
	DWG. 2430 JUNE 2019



<b>ENGINEER'S SEAL</b>  9/10/2024 P.E. # 7868	<b>RIVERSIDE MHP</b>	<b>DRAWN BY</b> JL
	<b>ALBUQUERQUE, NM</b>	<b>DATE</b> 9/10/2024
	<b>DETAIL SHEET</b>	<b>DRAWING</b> 2022056-DET
	 <b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	<b>SHEET #</b> <b>C5.0</b> <b>JOB #</b> 2022056





ENGINEER'S SEAL

RONALD R. BOHANNON  
NEW MEXICO  
7868

9/10/2024

P.E. # 7868

RIVERSIDE MHP  
ALBUQUERQUE, NM

DETAIL SHEET

TIERRA WEST, LLC

5571 MIDWAY PARK PL. NE  
ALBUQUERQUE, NEW MEXICO 87109  
(505) 858-3100  
www.tierrawestllc.com

DRAWN BY  
JL

DATE  
9/10/2024

DRAWING  
2022056-DET

SHEET #  
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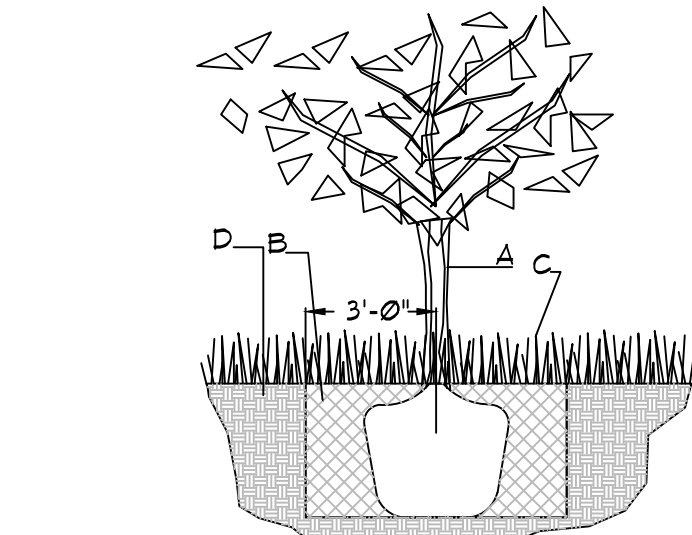
JOB #  
2022056





LANDSCAPE LEGEND				
QTY	SIZE	COMMON/BOTANICAL	H2O USE	
<b>Trees</b>				
3	6 - 8'	Austrian Pine <i>Pinus nigra</i>	35x25	M
16	3" cal	Netleaf Hackberry <i>Celtis reticulata</i>	30x25	M+
16	6-8'	Crimson Oak <i>Quercus robur x alba</i>	40x20	M
40	15 Gal.	Oklahoma Redbud <i>Cercis reniformis</i>	15x12	M
7	4 - 6'	Desert Willow <i>Chilopsis linearis</i>	20x25	M
82	Total Trees			
46861	Native Seeding Mix			
46861	Total Landscape Provided			

LANDSCAPE CALCULATIONS	
TOTAL LOT AREA (sf)	606251
TOTAL ON-SITE LANDSCAPE PROVIDED	46861



**TREE PLANTING DETAIL**  
NTS

GENERAL NOTES:  
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.  
2. TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.  
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.  
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:  
A. TREE  
B. BACKFILL WITH EXISTING SOIL.  
C. NATIVE GRASS  
D. UNDISTURBED SOIL.

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Residential Manufactured Home Community, Revised 6/24.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Landscape areas in excess of 36 square feet shall be planted so as to achieve 75% Live Ground Cover at maturity.

Landscape shall be watered by a complete underground irrigation system operated by automatic timer. Trees shall have bubblers and shrubs shall have a minimum of 2 emitters per shrub. Trees and shrubs shall be zoned separately. Point of connection for irrigation system is unknown at current and shall be coordinate landscaping shall be installed according to the approved plan; Installation shall be completed within 60 days of the related building's occupancy.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the property owner.

No substitutions, or alterations shall be made to this plan without the express written authorization of the Landscape Architect, and changes approved by the City of Albuquerque.

**POLLEN CONTROL**  
5-6(C)(4)(g) All vegetation shall comply with Article 9-12 and Parts 6-1-1 and 6-6-2 of ROA 1994 (Pollen Control, Water Conservation Landscaping and Water Waste, and Street Trees) and Section 4 of the Albuquerque Bernalillo County Water Authority (ABCWA) Legislation and Ordinances (Water Waste Reduction Ordinance) as applicable.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 45' from tree trunk, pinned in place. Netafim shall have emitters 12' o.c. with a flow of 16 gph. Shrubs to receive (2) 10 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

**Drainage Basin Treatments**  
Per City of Albuquerque  
Drainage Basin Treatments

The bottom and sides must be seeded with a native mix per City Standard specification 10/22 depending on soil type for that City area. Please reference this native seed selection and the section on plan sheet.

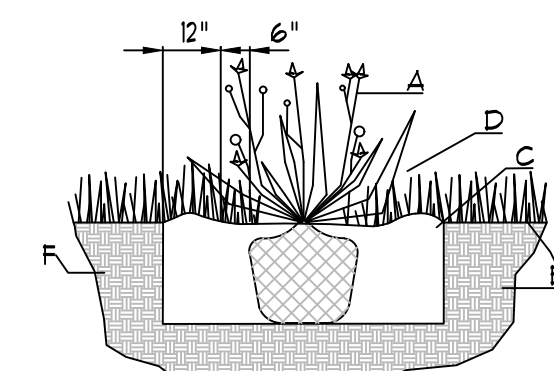
For pond bottoms: Gravel 3/4 to 1 inch mulch. One layer thick, not stacked.

Native grass establishment must be achieved by the contractor within a 3 year time frame. Temporary irrigation or water trucks must be used when rain is lacking. Seeds must germinate in one year or reseeded will likely be needed.

Maintenance will be per City of Albuquerque Specification 10/23.9.1 and 10/23.9.2.

Contractor must weed the basin during/after the first growing season.

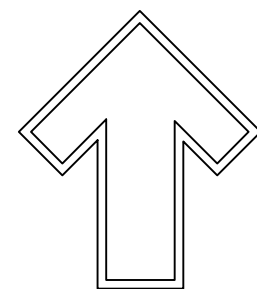
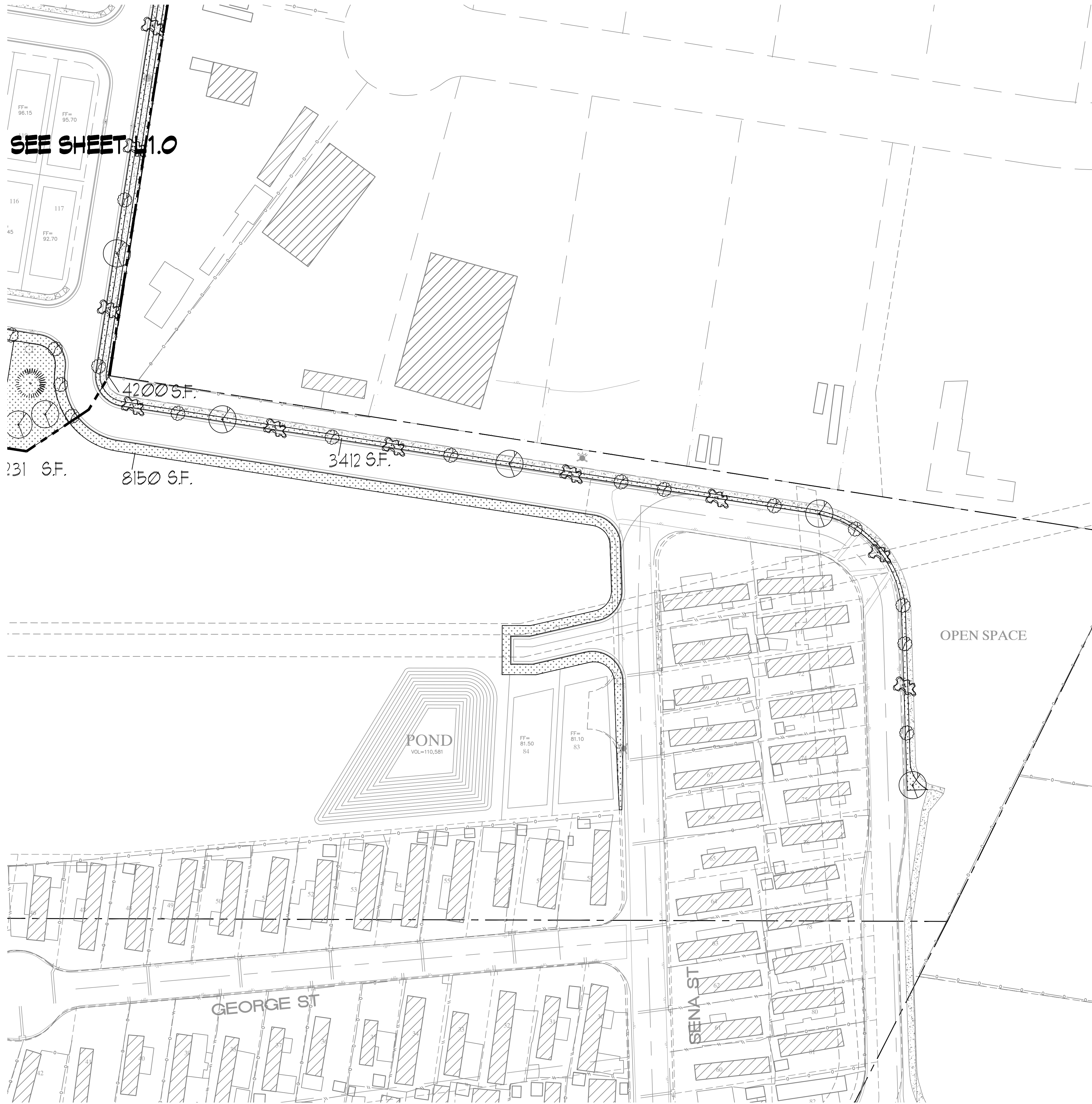
Needs city inspection. Stormwater Quality Ordinance-final stabilization must be accepted by the City.



**SHRUB PLANTING DETAIL**  
NTS

GENERAL NOTES:  
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.  
2. CONSTRUCTION NOTES:  
A. SHRUB  
B. BACKFILL WITH EXISTING SOIL.  
C. EARTH BERM AROUND WATER RETENTION BASIN.  
D. NATIVE GRASS  
E. FINISH GRADE  
F. UNDISTURBED SOIL.





GRAPHIC SCALE  
50 25 0 25 50  
SCALE: 1" = 50'-0"



danny@mitchellassociatesinc.com

505.639.9583



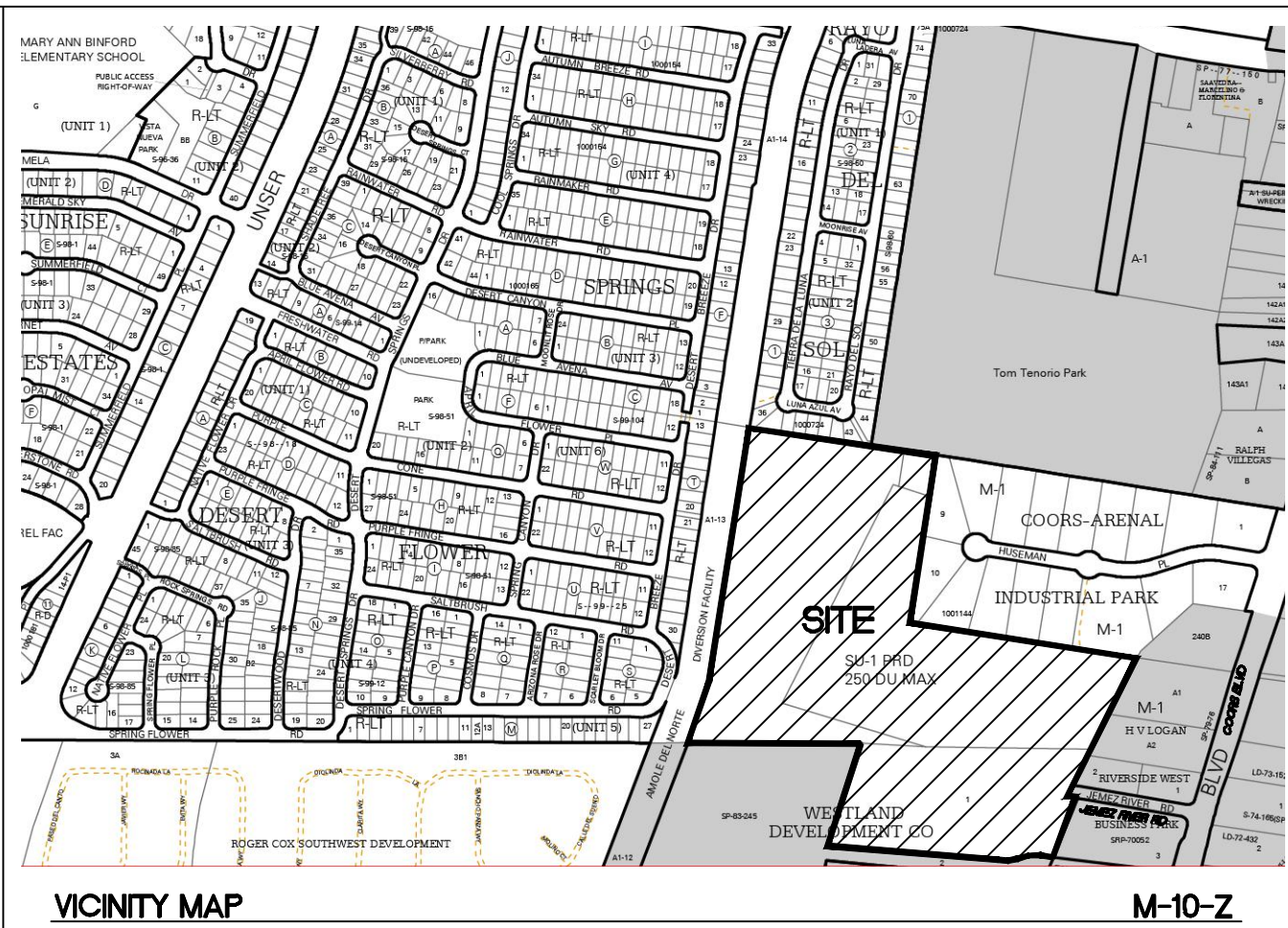
Feb. 28, 2025

LANDSCAPE PLAN

L2.0

**TIERRA WEST, LLC**  
 5571 MIDWAY PARK PLACE NE  
 ALBUQUERQUE, NM 87109  
 (505) 858-3100  
 www.tierrawestllc.com





**VICINITY MAP**

**M-10-Z**

**LEGAL DESCRIPTION:**

TR OF LAND EAST OF AMOLE DEL NORTE DIVERSION CHANNEL NORTH OF SECTION 34 & 3 TOGETHER WITH TRACT 1 OF SUMMARY PLAT LAND DIVISION OF WESTLAND DEVELOPMENT CO INC TOGETHER WITH A TRACT OF LAND WITHIN THESE 1/4 SE 1/4 SEC 34 T10N R2E

UPC — 101005440552820545 AND 101005534207240110

- LEGEND**
- CURB & GUTTER
  - BOUNDARY LINE
  - EASEMENT
  - LOT BOUNDARY
  - PROPOSED SIDEWALK
  - EXISTING CURB & GUTTER
  - EXISTING BOUNDARY LINE
  - EXISTING LOTS
  - VAPOR MITIGATION TRENCH
  - LANDFILL LIMITS
  - MITIGATION AREA, SEE EXCAVATION NOTE
  - PROPOSED LFG NESTED WELL LOCATION



- KEYED NOTES**
- VAPOR MITIGATION TRENCH, SEE DETAIL SHEET C5.2
  - BENTONITE PLUG
  - EXISTING 4' DIA SAS MH
  - PROPOSED 4' DIA SAS MH
  - EXISTING 8" SANITARY SEWER LINE
  - PROPOSED 8" SANITARY SEWER LINE
  - EXISTING 8" WL
  - PROPOSED 8" WL

**NOTE**

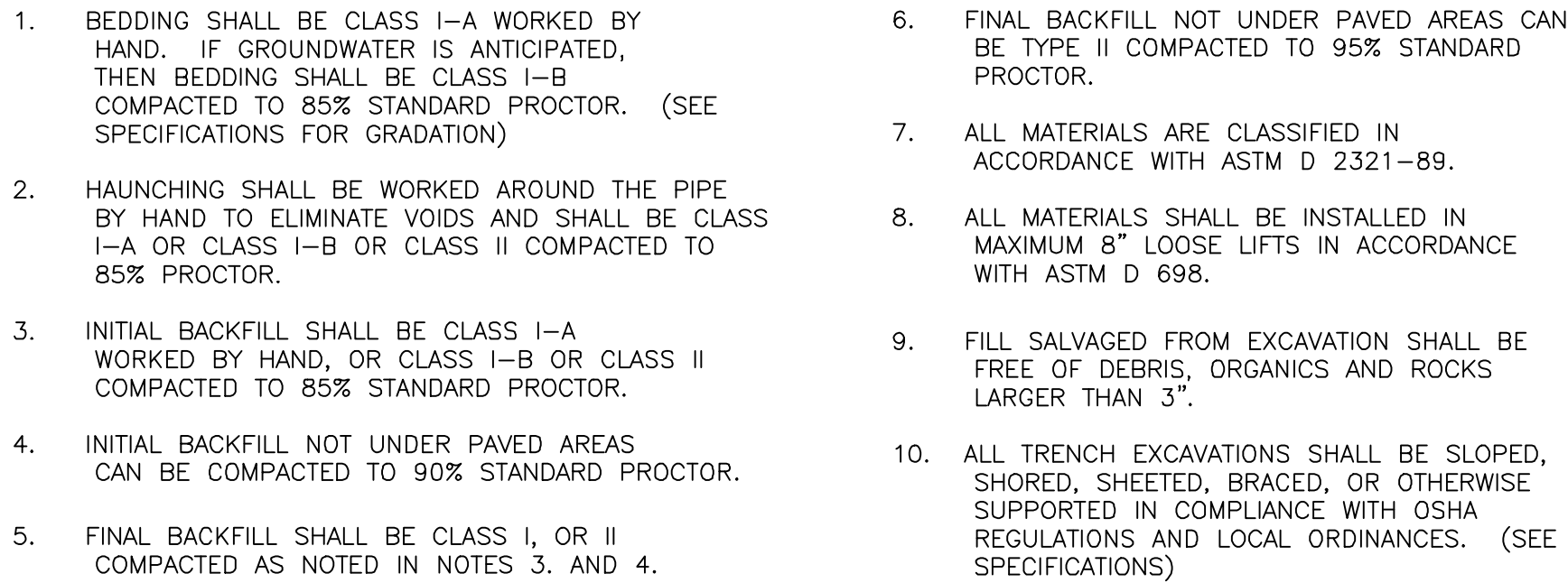
CONSTRUCTION DEBRIS/MUNICIPAL WASTE ENCOUNTERED OUTSIDE OF MAPPED AREA SHALL BE EXCAVATED VERTICALLY AND Laterally TO NATIVE MATERIAL AND BACKFILLED WITH ENGINEERED FILL PER GEOTECHNICAL SPECIFICATION

**EXCAVATION NOTE**

WHEN WORKING IN LANDFILL AREA, ALL MATERIAL TO THE DEPTH OF LANDFILL MUST BE TAKEN OUT AND REPLACED WITH SELECTED ENGINEERED FILL OR WHAT IS RECOMMENDED ON THE GEOTECHNICAL REPORT.

  1/3/2024  RONALD R. BOHANNAN P.E. #7868	ENGINEER'S SEAL	SOUTH VALLEY MHP ALBUQUERQUE, NM	LANDFILL MITIGATION PLAN	DRAWN BY JL
				DATE 1/3/2024
		DRAWING 2022056-LM		
		SHEET # <b>C4.0</b>		
		 <i>TIERRA WEST, LLC</i> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com		JOB # 2022056





NOTE: TRENCH SHALL BE 10'. IF DEPTH IS NOT ACCEPTED BY THE CITY, THEN TRENCH DEPTH TO BE DETERMINED IN THE FIELD BUT SHALL BE NO LESS THAN 20' BELOW GRADE OR 5' INTO NATIVE AS DETERMINED BY FIELD GEOLOGIST.



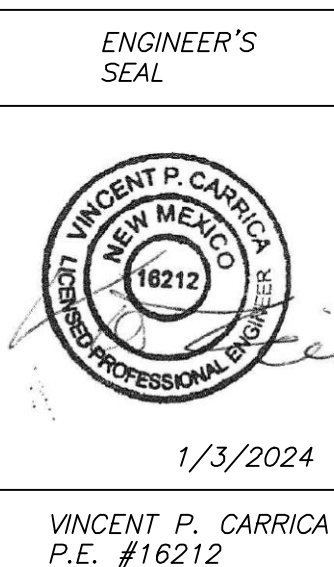
\*\*\*RESTRAINTS ONLY PLACED ON LARGE SIDE



NTS

THESE LENGTHS WILL BE AFFECTED IF THE TYPE OF MATERIAL, GREATER DEPTH OF BURY, ETC. CHANGES. THESE MUST BE RECALCULATED BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.

RESTRAINED JOINT LENGTHS FOR VERTICAL OFFSETS/BENDS (EACH SIDE)				
SIZE	HORIZONTAL BENDS			
	90°	45°	22-1/2°	11-1/4°
12 UPPER LOWER	DON'T USE	42 10	20 5	10 2
10 UPPER LOWER	DON'T USE	36 8	17 4	8 2
8 UPPER LOWER	DON'T USE	7 3	14 2	7 2
6 UPPER LOWER	DON'T USE	23 5	11 3	5 1
4 UPPER LOWER	DON'T USE	16 8	8 4	4 1



**TIERRA WEST, LLC**  
5571 MIDWAY PARK PL NE  
ALBUQUERQUE, NEW MEXICO 8710  
(505) 858-3100  
[www.tierrowestllc.com](http://www.tierrowestllc.com)

JOB #  
2022056



Current DRC

Project Number: **PR-2018-001482****FIGURE 12****INFRASTRUCTURE LIST**

(Rev. 2-16-18)

**EXHIBIT "A"**

**TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT FACILITATION TEAM (DFT) REQUIRED INFRASTRUCTURE LIST**

Date Submitted: **N/A**Date Site Plan Approved: **N/A**Date Preliminary Plat Approved: **N/A**Date Preliminary Plat Expires: **N/A**DFT Project No.: **PR-2018-001482**DFT Application No.: **N/A****RIVERSIDE MHP****PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN****TRACT 1 OF SUMMARY PLAT LAND DIVISION OF WESTLAND DEVELOPMENT CO INC TOGETHER WITH A TR OF LAND WITHIN THESE 1/4 SE 1/4 SEC 34 T10N R2E CONT 30.5432 AC****TR OF LAND EAST OF AMOLE DEL NORTE DIVERSION CHANNEL NORTH OF SECTION LINE OF SECTIONS 34 & 3 CONT 8.4022 AC M/L****EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		VARIES 10' TO 0'	Right Turn Lane Paving Curb & Gutter (West Side)	COORS BLVD SW	JEMEZ RIVER RD	91' NORTH OF JEMEZ RIVER RD	/	/	/
		6'	Sidewalk (West Side) ADA Ramps	COORS BLVD	JEMEZ RIVER RD	ERVEN LN	/	/	/
		5'	Sidewalk (South Side) ADA Ramps (West Side)	JEMEZ RIVER RD	377' WEST OF COORS BLVD	COORS BLVD	/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/



The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>	Engineer's Certification for Grading & Drainage is required for release of Financial Guarantee					<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>						<input type="text"/>	<input type="text"/>	<input type="text"/>
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature      Date							City User Dept. Signature      Date		

#### NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

Street lights per City requirements.

- 1 Pavement will include all necessary striping
- 2
- 3

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

**RONALD R. BOHANNAN, PE**

NAME (print)

**TIERRA WEST LLC**

FIRM



SIGNATURE - date

PLANNING- date

PARKS & RECREATION - date

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

UTILITY DEVELOPMENT - date

CODE ENFORCEMENT - date

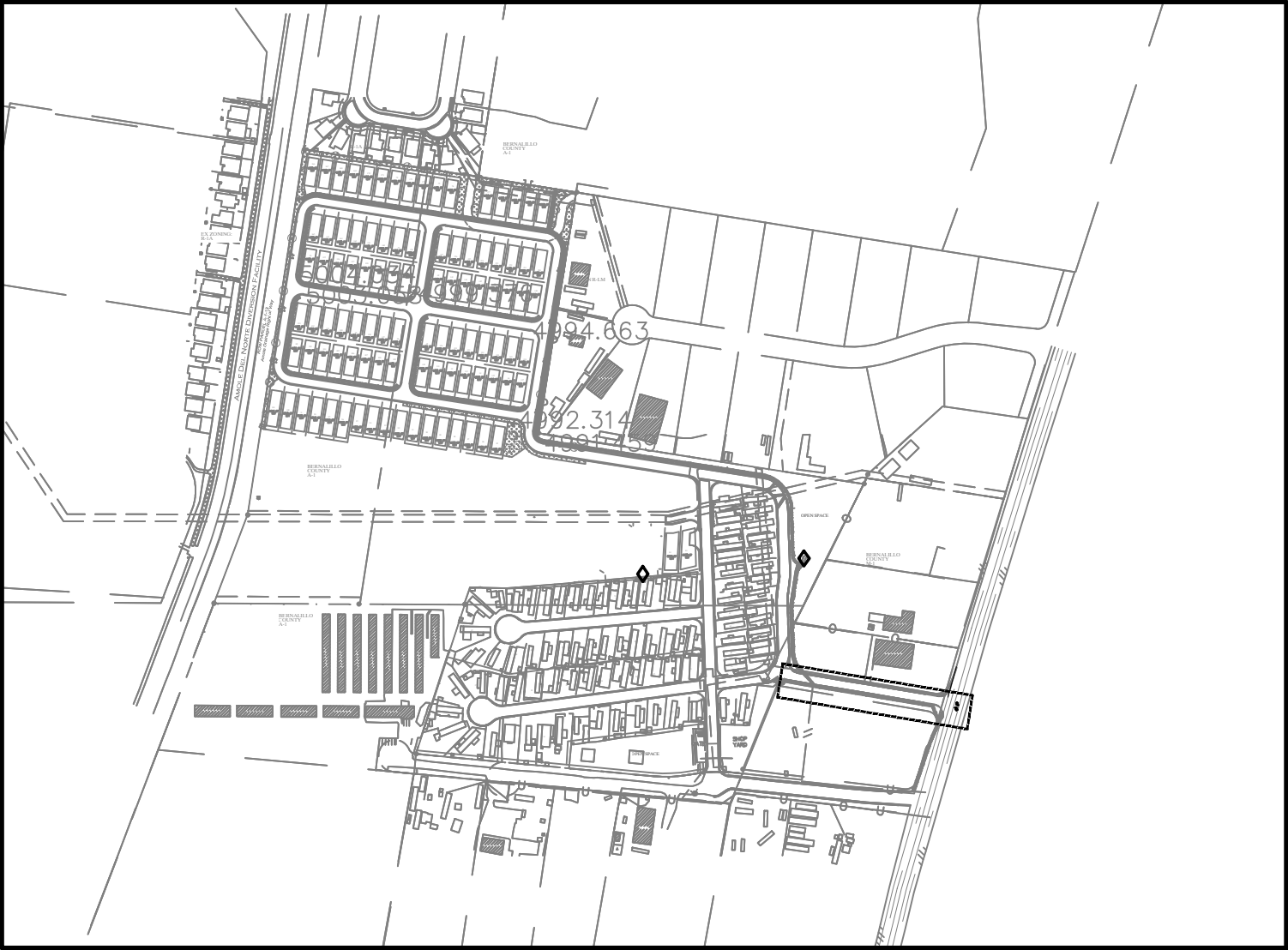
CITY ENGINEER - date

HYDROLOGY-date

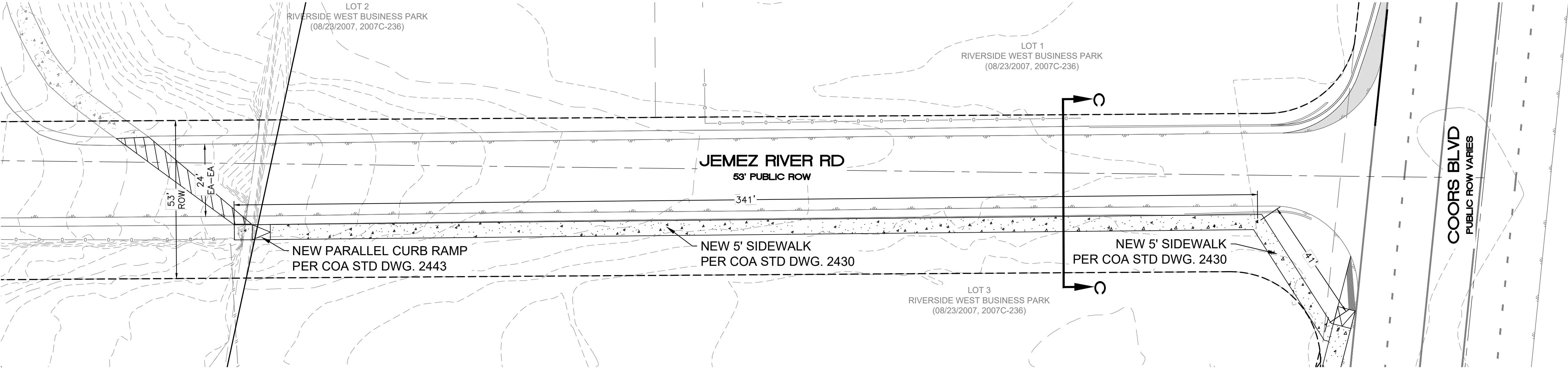
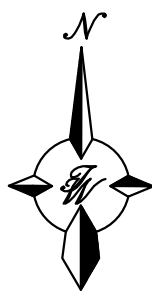
DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



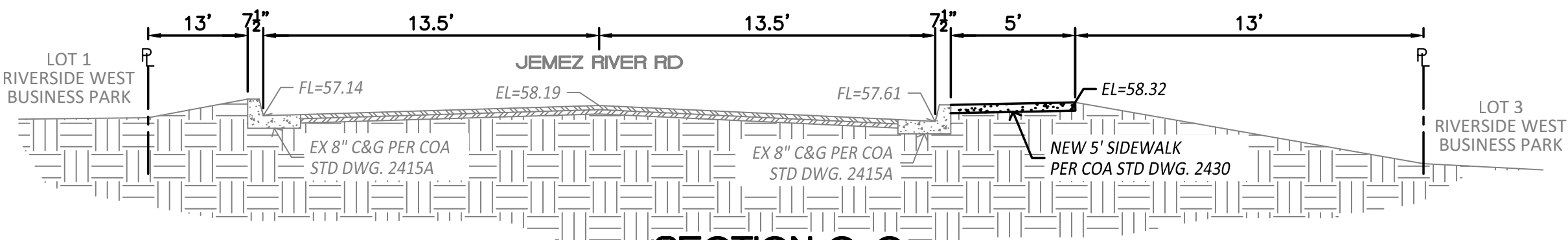


KEY MAP  
NTS



PROPOSED JEMEZ RIVER RD IMPROVEMENTS

1:20



SECTION C-C

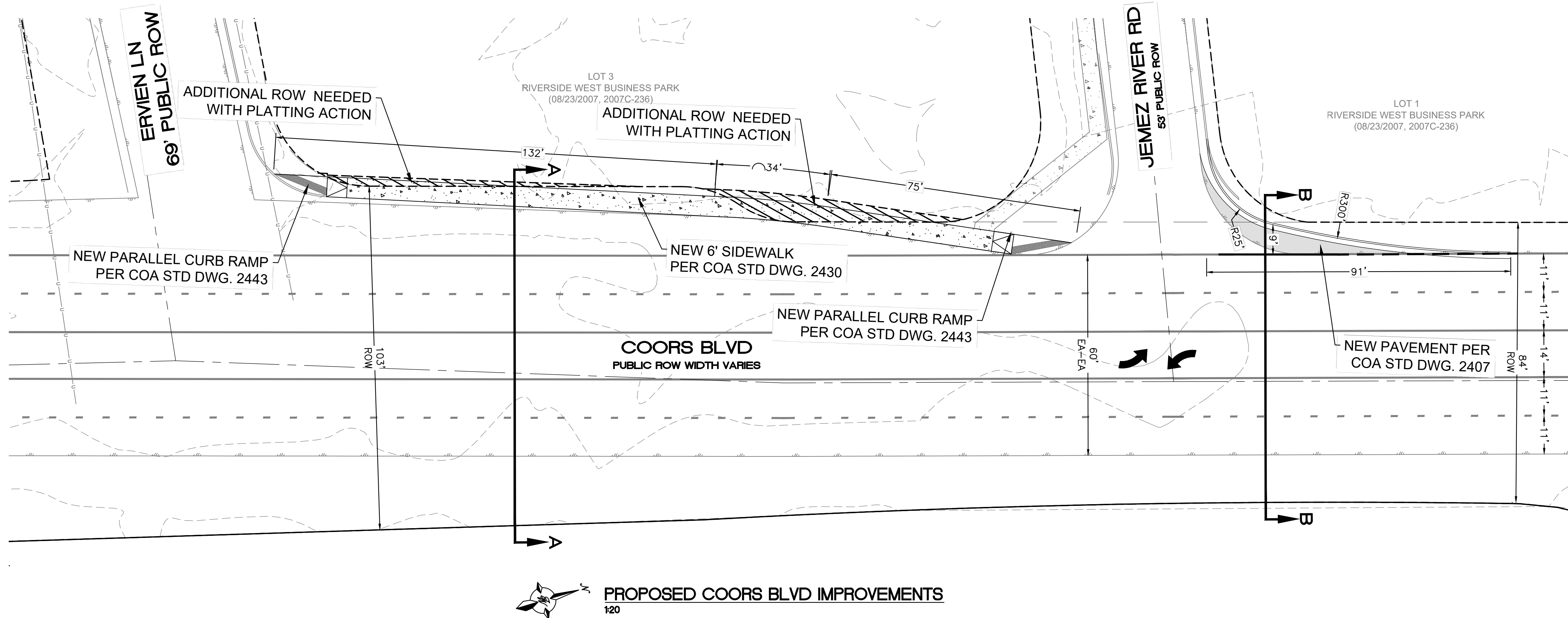
1:5

SIDEWALK NOTE:

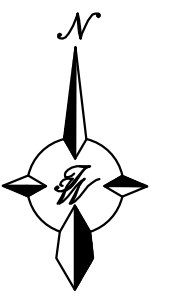
SIDEWALK WAIVER TO ALLOW FOR SIDEWALK ON ONLT ONE SIDE OF THE  
INTERNAL ROADWAY WAS APPROVED BY DHO ON 12/20/2023.

<div>ENGINEER'S SEAL</div> <div>RONALD R. BOHANNON NEW MEXICO 7868 PROFESSIONAL ENGINEER</div> <div>9/10/2024</div> <div>P.E. # 7868</div>	RIVERSIDE MHP ALBUQUERQUE, NM	DRAWN BY JL
	JEMEZ RIVER RD IMPROVEMENTS EXHIBIT	DATE 9/10/2024
	<div>TIERRA WEST, LLC</div> <div>5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</div>	DRAWING
		SHEET #
		JOB # 2022056

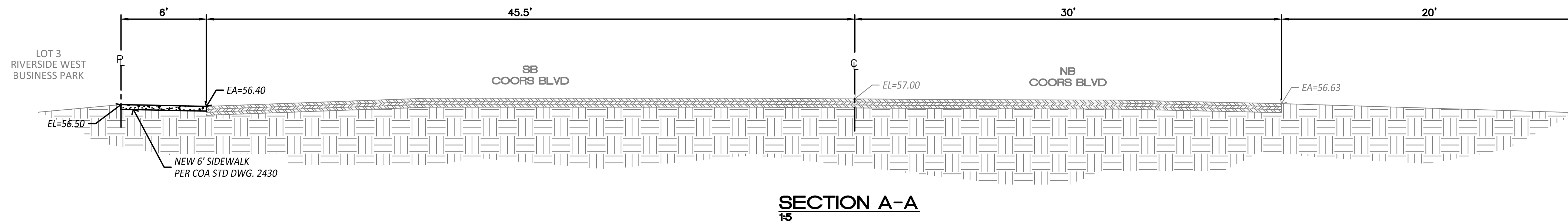




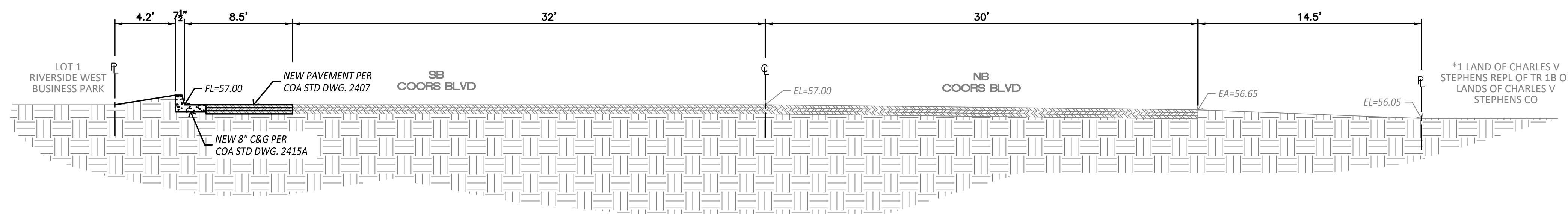
KEY MAP  
NTS



### PROPOSED COORS BLVD IMPROVEMENTS



### SECTION A-A



### SECTION B-B

### SIDEWALK NOTE:

SIDEWALK WAIVER TO ALLOW FOR SIDEWALK ON ONLY ONE SIDE OF THE INTERNAL ROADWAY WAS APPROVED BY DHO ON 12/20/2023.

	ENGINEER'S SEAL	RIVERSIDE MHP ALBUQUERQUE, NM	DRAWN BY JL
	DATE 9/10/2024	COORS BLVD IMPROVEMENTS EXHIBIT	DATE 9/10/2024
	DRAWING	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING
	SHEET #	JOB # 2022056	SHEET #



PLANNING DEPARTMENT  
URBAN DESIGN & DEVELOPMENT DIVISION  
600 2nd Street NW, 3rd Floor, Albuquerque, NM 87102  
P.O. Box 1293, Albuquerque, NM 87103  
Office (505) 924-3860 Fax (505) 924-3339



## OFFICIAL NOTIFICATION OF DECISION

January 18, 2024

Riverside West, LLC  
2911 Ervien LN SW  
Albuquerque NM, 87121

**Project # PR-2018-001482**  
SI-2023-01925 - Site Plan - EPC

### LEGAL DESCRIPTION:

Tierra West, LLC, agent Riverside West, LLC, requests a new Site Plan-EPC, for all or a portion of Tract 1 of Summary Plat Land Division of West Land Development Co., included together with A Tract of land within these 1/4 SE, 1/4 SEC, 34 T10N, and R2E and a Tract of land east of Amole Del Norte Diversion Channel North of Section line of section 34 & 3, located at 2911 Ervien Ln. SW, north west of the intersection of Ervien Ln and Coors Blvd., approximately 42 acres. (M-10-Z)  
Staff Planner: William Steele

On January 18, 2024, the Environmental Planning Commission (EPC) voted to APPROVE Project # PR-2018-001482, SI-2023-01925 - Site Plan - EPC, based on the following Findings and subject to the Conditions of Approval:

1. The request is for a new Site Plan EPC-for a 42-acre site legally described as all or a portion of Tract 1 of Summary Plat Land Division of West Land Development Co., included together with A Tract of land within these 1/4 SE, 1/4 SEC, 34 T10N, and R2E and a Tract of land east of Amole Del Norte Diversion Channel North of Section line of section 34 & 3, located at 2911 Ervien Ln. SW, north west of the intersection of Ervien Ln and Coors Blvd. (the "subject site").
2. The subject site is zoned R-MC (Residential Manufactured Home Community), a zoning designation received upon adoption of the IDO. The subject site was formerly zoned MH for Mobile Home Developments.
3. The applicant wishes to expand the existing manufacturing home community by adding 96 manufactured home lots to the vacant north-west portion of the subject site; which would be pursuant to all applicable IDO and DPM regulations.
4. The Environmental Planning Commission (EPC) is reviewing this request (SI-2023-01925) pursuant to Integrated Development Ordinance (IDO) Section 6-6(I)(1)(c), which requires a Site Plan-EPC to be reviewed and decided for any Site Plan application for development that has not



avoided sensitive lands identified in the sensitive lands analysis required pursuant to Subsection 14-16-5-2(C). The site plan is within a landfill gas buffer area which required a sensitive land analysis pursuant to IDO Section 14-16-5-2(H) which was provided by the applicant and analyzed by staff.

5. All development within a landfill gas buffer requires a Landfill Gas Mitigation Approval pursuant to Subsection 14-16-6-4(S)(5) to ensure that potential health and safety impacts are addressed, which was approved by the Environmental Health Department on October 17, 2023.
6. Upon approval by the EPC, the site plan would go to the DFT for final sign-off and any associated platting actions would go to the DHO for review and approval.
7. The subject site is located in an Area of Change and Area of Consistency as designated by the Comprehensive Plan and is part of the Southwest Mesa Community Planning Area (CPA).
8. The subject site is within 660-feet of the Coors Blvd SW Major Transit Corridor as designated by the Comprehensive Plan.
9. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
10. The request is consistent with the following Comprehensive Plan Goals and Policies regarding Community Identity from Chapter 4:
  - A. Goal 4.1 Character: Enhance, protect, and preserve distinct communities.  
The request would enhance, protect and preserve the surrounding community because the subject site is located in an established residential community within the Coors Blvd Major Transit Corridor. The proposed development is consistent with the distinct character of the existing manufactured home community and will encourage quality development with the expansion. The protection of the community will be preserved by the meeting sensitive land mitigation requirements for the landfill gas buffer area on the site. The proposed Site Plan would enhance the surrounding area by adding to the quantity of manufactured homes already in the community.
  - B. Policy 4.1.2 Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.  
The proposed manufactured homes would help protect the identity and cohesiveness of the surrounding residential neighborhood because it would add more residential to an established neighborhood, which is developed with existing manufactured homes. The addition of manufactured homes would be an appropriate scale and location because development is proposed on a vacant area of the site where there are existing manufactured homes. The proposed would be located in an area of development that is primarily residential with some nearby commercial uses.
  - C. Policy 4.1.4 Neighborhoods: Enhance, protect, and preserve neighborhoods and traditional communities as key to our long-term health and vitality.



The request would enhance and preserve neighborhoods and traditional communities by maintaining and expanding the manufactured home use in an established residential community.. This expansion could provide more housing opportunities for new residents in the Southwest portion of the city. The request would protect the community and neighborhood as key to their long-term health and vitality because the City's Environmental Health Department has determined and approved the appropriate landfill gas buffers and mitigation for the project site. These precautions should ensure that the current and future health and vitality are protected.

11. The request is consistent with the following Comprehensive Plan Goal regarding Development Patterns from Chapter 5: Land Use

Policy 5.3.1: Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The subject site is located in an Area of Change and within 660' of a Major Transit Corridor, which are highlighted infill development locations within the Comprehensive Plan. The proposed development would be served by existing infrastructure and public facilities. The expansion of the manufactured home community made possible by the request would promote efficient development patterns and use of land that is similar to the surrounding area in intensity and scale.

12. The request is consistent with the following Comprehensive Plan Goal and Policies regarding City Development Areas from Chapter 5: Land Use

- A. Goal 5.6 – City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired to ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The subject site is within both an Area of Change and Area of Consistency. Direct growth is encouraged in the Area of Change because the subject site is expanding the manufactured home use where it that use is expected and desired. The subject site is also in an Area of Consistency and meets this Goal because it reinforces and supports existing nearby residential uses and reinforces the character and intensity of the existing manufacturing home community.

- B. Policy 5.6.2 – Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

The request is consistent with the policy by directing more growth and more intense development by being within 660' of a Major Transit Corridor which offers public transit and vehicular access to nearby industrial and business parks. The subject site is located in an Area of Change where change and redevelopment are being encouraged. The addition of manufactured housing options in the existing community adds to the direct growth and development to an area with adequate infrastructure and where other services exist.

- C. Policy 5.6.3-Areas of Consistency: Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, parks, and Major Public Open Space.

This This request protects and enhances the character of the existing neighborhood in an Area of Consistency due to the addition of more manufactured homes to the existing community. Although the project site is within 660' of a Major Transit Corridor and near a Bernalillo



County Park, it is outside of Centers and Major Public Open Space. The community character is reinforced by the expansion of the manufactured home community on the subject site because it enhances the other surrounding residential uses.

13. The request is consistent with the following Comprehensive Plan Goal and Policy from Chapter 9: Housing
  - A. Goal 9.1 Supply: Ensure a sufficient supply and range of high-quality housing types that meet current and future needs at a variety of price levels to ensure more balanced housing options.  
The request would facilitate the development of 96 additional manufactured homes in a manufactured home community and would ensure a sufficient supply of manufactured homes. The proposed site plan will encompass manufacturing homes that will increase the supply and range of similarly high-quality manufactured homes because it is another source of residential housing at price levels which can differ from non-manufactured homes.
  - B. Policy 9.1.1 Housing Options: Support the development, improvement, and conservation of housing for a variety of income levels and types of residents and households.  
The request would facilitate the expansion of a manufactured home community by adding 96 units and while conserving the existing 68 manufactured homes on the site. This development will improve the area by creating needed housing on a vacant site, thereby improving the existing neighborhood. The existing manufactured home community supports diverse housing options within the southwest area of the city because it another source of residential use that provides individuals and families of various income levels the opportunity to own a manufactured home.
14. The request meets the Site Plan-EPC Review & Decision Criteria in IDO Section 14-16-6-6(J)(3) as follows:
  - A. 14-16-6-6(I)(3)(a) As demonstrated by the policy-based analysis (see above), the request is consistent with applicable Comprehensive Plan Goals and policies.
  - B. 14-16-6-6(I)(3)(b) The subject site is zoned R-MC; although no development agreements or regulations are in place for the project site, a Site Development Plan was approved by the EPC in 2004 but was never developed and its period of validity expired in 2011.
  - C. 14-16-6-6(J)(3)(c) The subject site is located in the R-MC District. The proposed site plan is for the development of 96 manufactured homes which would comply with all applicable provisions of the IDO and as determined through the EPC process. The Site Plan is required to follow all DPM and any other adopted City regulations.
  - D. 14-16-6-6(J)(3)(d) The City's existing infrastructure has adequate capacity for the proposed development made possible by this request. A DHO waiver to the sidewalk requirements in the Development Process Manual has been approved. Therefore, the proposed site plan has sidewalks on only one side of the street.
  - E. 14-16-6-6(J)(3)(e) The applicant has demonstrated that the request would not negatively impact the surrounding area based on their responses to applicable Comp Plan Goals and Policies. The applicant has taken steps to mitigate any adverse impacts such as landfill buffer gasses to the surrounding community were taken in consideration when designing the Site Plan, specifically regarding the former construction landfill area by receiving approval for its assessment and



mitigation plan in a letter from the City's Environmental Health Department (EHD) and they will provide the EHD with a landfill gas report.

F. 14-16-6-6(J)(3)(f) The subject property is not within a Master Development Plan.

G. 14-16-6-6(J)(3)(g) The subject property is not within the Railroad and Spur Area and no cumulative impact analysis is required.

15. The applicant notified property owners within 100 feet of the subject site as required but there were no neighborhood associations to notify as per the Office of Neighborhood Coordination.
16. Staff reviewed the Site Plan drawings for compliance with applicable IDO Development Standards and regulations. No other City divisions have reviewed the drawings as part of the Site Plan-EPC. Future DFT reviewers shall check the Site Plan for compliance with the DPM and all development standards for the use. Staff has placed conditions of approval on the site plan.

#### CONDITIONS OF APPROVAL

1. After approval by the Environmental Planning Commission (EPC), the applicant shall submit the proposed site plan to the Development Facilitation Team (DFT) for final sign-off. The reviewer will be responsible for ensuring that all EPC Conditions have been satisfied and that the IDO, DPM, and all other applicable City requirements have been met.
2. The applicant shall coordinate with the Staff Planner prior to submitting to the DFT to ensure that EPC Conditions have been met.
3. Site Plan:
  - A. Note number 3 shall be changed to reflect the light pole maximum of 16' as shown on the Pole Mounted Camera Detail on Detail Sheet C5.0.
  - B. The site plan shall specify the landfill gas buffer areas, which comprise of a closed landfill and the areas of potential landfill gas migration in its vicinity and shall comply with IDO Section 14-16-5-2(H) landfill buffers specifically, IDO Section 14-16-6-4(S)(5) Landfill Gas Mitigation Approval.
4. Landscape Plan: The note regarding landscaping compliance shall be changed from applicable regulations for "Apartments and Nonresidential Development" to "Residential Manufactured Home Community."
5. Grading and Drainage: Note number 6 on the Conceptual Grading and Drainage Plan shall be updated from the City of Rio Rancho to the City of Albuquerque. Regulations are pursuant to the City of Albuquerque.
6. Detail Sheets: Edit dimension text to reflect 16' Max within 100' of "Residential on the Pole Mounted Camera Detail" on Sheet C5.0.
  - A. The pole mounted camera detail shall be removed and replaced with a standard light pole detail.



7. Condition from Solid Waste Management Department: A site plan approved for access by the Solid Waste Department will be required.
8. Condition from Transportation Development Review Services: A Traffic Circulation Layout and Traffic Impact Study is required.
9. Condition from County of Bernalillo, Public Works: Sidewalk improvements along the west side of Coors Blvd SW between Ervine Ln and Jemez River Rd where the bus stop is located and along one side of Jemez River Rd that is public right-of-way is requested.
10. Conditions from PNM:
  - A. Any existing and/or new PNM easements and facilities shall be reflected on any resulting future Site Plan or Plat.
  - B. Perimeter and interior landscape design shall abide by any easement restrictions and not impact PNM facilities.
11. Conditions from ABCWUA (Water Authority): The impacts of the layout change must be rectified and the public and private infrastructure on the site plan needs to be distinguished and identified.

**APPEAL:** If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **February 2, 2024**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15<sup>th</sup> day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(V) of the Integrated Development Ordinance (IDO), Administration and Enforcement. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal an EPC Recommendation to the City Council since this is not a final decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the IDO must be complied with, even after approval of the referenced application(s).

Sincerely,



for Alan M. Varela,  
Planning Director



cc: Riverside West, LLC, 2911 Ervien LN SW, Albuquerque NM, 87121  
Tierra West, LLC, Sergio Lozoya, [slozoya@tierrawestllc.com](mailto:slozoya@tierrawestllc.com)  
Legal, Devin King, [dking@cabq.gov](mailto:dking@cabq.gov)  
EPC File



# CITY OF ALBUQUERQUE

PLANNING DEPARTMENT

URBAN DESIGN & DEVELOPMENT DIVISION

600 2<sup>nd</sup> Street NW Room 190

Albuquerque, NM 87102

Tel: (505) 924-3320



## POST EPC MEMORANDUM

TO: CABQ Development Facilitation Team (DFT)

FROM: William Steele, Planner

DATE: 10/14/2024

RE: PR- PR-2018-001482, SI-2023-01925–Site Plan-EPC \_ Riverside Mobile Home Park

The agent (Tierra West) for Riverside West, LLC., has worked with Staff to fulfill post EPC requirements to meet Conditions of Approval, 1-11 for the Riverside Mobile Home Park, Site Plan-EPC, zoned R-MC; located at 211 Ervien Ln SW, northwest of the intersection of Ervien Ln and Coors Blvd. See EPC Notice of Decision (NOD) dated January 18, 2024.

The applicant provided a letter which shall be included with the DFT submittal describing how each condition has been satisfied or will be met moving forward. Updated Site Plan drawings have been provided incorporating the Conditions of Approval.

### Unauthorized Changes

1. Sheets C4.0 Landfill Mitigation Plan and C5.0 Detail Sheet are missing from the set of drawings that were approved by the EPC. Please submit these drawings for review and to verify no unauthorized changes have been made that were not approved by the EPC.
2. Detail Sheet C5.1, detail for Parallel and Diagonal Curb Ramps was removed. Please reinstate.
3. The Landscape Sheet numbering has been changed from L1.0 to LS-101 and no longer matches the Index to Drawings on the Site Development Plan Sheet. Please revise.
4. The Irrigation Notes have been removed from the Landscaping Sheet. Please reinstate.
5. The location of the Drainage Basin Treatment Per City of Albuquerque on the Landscape Plan has been significantly reduced in size and the notes have been removed. Verify approval of changes with Hydrology.

### SI-2023-01925 –Site Plan-EPC

1. Condition 1 has been met or is agreed upon by the applicant. DFT Staff is responsible for reviewing that the Site Plan complies EPC Conditions have been satisfied and that the IDO, DPM, and all other applicable City requirements have been met.
2. Condition 2 has not been met. The applicant has not responded to Criterion 2. The applicant has met with the Staff Planner prior to submitting to the DFT to ensure that EPC Conditions have been met.



# CITY OF ALBUQUERQUE

## PLANNING DEPARTMENT

### URBAN DESIGN & DEVELOPMENT DIVISION

600 2<sup>nd</sup> Street NW Room 190

Albuquerque, NM 87102

Tel: (505) 924-3320



3. Condition 3a has been partially satisfied. Note number 3 has not been changed to reflect the light pole maximum of 16' as shown on Detail Sheet C5.0. Keyed Note number 7 has been changed to reflect this condition.

Condition 3b has been partially met. The site plan has not specified LANDFILL GAS BUFFER AREAS on the drawing or in the legend in parenthesis next the LANDFILL LIMIT.

4. Condition 4 has been satisfied. The note regarding landscape compliance has been changed to "Residential Manufactured Home Community on the Landscape Plan.
5. Condition 5 has been met. Conceptual Grading and Drainage Plan has updated text to use "City of Albuquerque" instead of Rio Rancho.
6. Condition 6 has been partially met and replaced with a standard 16' max light pole detail on sheet C5.0. The note, "within 100' of Residential" was not added to the max light pole detail.
7. Condition 7 has been met and a solid waste site plan has been approved on 5/13/24. Please submit a copy of the approved drawing for verification.
8. Transportation Development Review Services Condition 8 has been satisfied. A Traffic Circulation Layout was approved on 4/29/24. The Traffic Impact Study was approved on 3/3/24. Please submit a copy of the approved drawing and form for verification.
9. County of Bernalillo, Public Works Condition 9 has been acknowledged and sidewalk improvements along the west side of Coors Blvd SW between Ervine Ln and James River Rd will be made. This condition must be fulfilled through the submittal to DFT.
10. PNM Conditions 10 a. and 10b. have been acknowledged. Existing and new easements, facilities including interior and exterior landscaping will be reflected on any future platting done at DFT and not impact PNM facilities.
11. AMAFCA Condition 11 has been met. The impact of the layout change has been rectified and public and private infrastructure has been identified in key notes on the Utility Plan.

Tierra West, LLC., Agent for Riverside West, LLC., has satisfied Conditions for NOD dated January 18, 2024. A response to any Conditions not addressed shall be coordinated with DFT staff prior to receiving final sign off. The DFT can move forward with reviewing the Site Plan approved by the EPC.

*William Steele*

William Steele, Current Planner  
Current Planning, Urban Design & Development  
City of Albuquerque Planning Department





February 28, 2025

Megan Jones  
Senior Planner  
City of Albuquerque  
Albuquerque, NM. 87103

**RE: 2022056 Riverside Mobile Home  
2911 Ervien LN SW  
POST EPC MEMORANDUM- PR-2018-001482, SI-2023-01925**

Dear Megan Jones:

Please see responses to comments to the Post EPC Memorandum SI-2023-01925:

Unauthorized Changes

1. **Comment:** Sheets C4.0 Landfill Mitigation Plan and C5.0 Detail Sheet are missing from the set of drawings that were approved by the EPC. Please submit these drawings for review and to verify no unauthorized changes have been made that were not approved by the EPC.  
**Response:** Sheets were added back into the plan set.
2. **Comment:** Detail Sheet C5.1, detail for Parallel and Diagonal Curb Ramps was removed. Please reinstate  
**Response:** Detail was reinstated.
3. **Comment:** The Landscape Sheet numbering has been changed from L1.0 to LS-101 and no longer matches the Index to Drawings on the Site Development Plan Sheet. Please revise.  
**Response:** Sheet index was corrected to reflect the updated sheet numbering.
4. **Comment:** The Irrigation Notes have been removed from the Landscaping Sheet. Please reinstate.  
**Response:** Irrigation notes were added back to sheet L1.0.
5. **Comment:** The location of the Drainage Basin Treatment Per City of Albuquerque on the Landscape Plan has been significantly reduced in size and the notes have been removed. Verify approval of changes with Hydrology.  
**Response:** Ponding was not changed on the grading and drainage. Landscape sheet L2.0 reflects that by showing the same ponding volume.

SI-2023-01925 –Site Plan-EPC

1. **Comment:** Condition 1 has been met or is agreed upon by the applicant. DFT Staff is responsible for reviewing that the Site Plan complies EPC Conditions have been satisfied and that the IDO, DPM, and all other applicable City requirements have been met.  
**Response:** Confirmed.
2. **Comment:** Condition 2 has not been met. The applicant has not responded to Criterion 2. The applicant has met with the Staff Planner prior to submitting to the DFT to ensure that EPC Conditions have been met.  
**Response:** All conditions of approval have been met.



3. **Comment:** Condition 3a has been partially satisfied. Note number 3 has not been changed to reflect the light pole maximum of 16' as shown on Detail Sheet C5.0. Keyed Note number 7 has been changed to reflect this condition.  
**Response:** All notes referring to lighting has been updated to reflect a maximum height of 16'
4. **Comment:** Condition 3b has been partially met. The site plan has not specified LANDFILL GAS BUFFER AREAS on the drawing or in the legend in parenthesis next the LANDFILL LIMIT.  
**Response:** This action has been completed by adding "(LANDFILL GAS BUFFER AREAS)" to the site plan and legend.
5. **Comment:** Condition 4 has been satisfied. The note regarding landscape compliance has been changed to "Residential Manufactured Home Community on the Landscape Plan."  
**Response:** Confirmed.
6. **Comment:** Condition 6 has been partially met and replaced with a standard 16' max light pole detail on sheet C5.0. The note, "within 100' of Residential" was not added to the max light pole detail.  
**Response:** All notes referring to light has been updated to reflect "within 100' of Residential."
7. **Comment:** Condition 7 has been met and a solid waste site plan has been approved on 5/13/24. Please submit a copy of the approved drawing for verification.  
**Response:** Confirmed and approval has been added to the submittal package.
8. **Comment:** Transportation Development Review Services Condition 8 has been satisfied. A Traffic Circulation Layout was approved on 4/29/24. The Traffic Impact Study was approved on 3/3/24. Please submit a copy of the approved drawing and form for verification.  
**Response:** Confirmed and approved TCL has been added to the submittal package.
9. **Comment:** County of Bernalillo, Public Works Condition 9 has been acknowledged and sidewalk improvements along the west side of Coors Blvd SW between Ervine Ln and James River Rd will be made. This condition must be fulfilled through the submittal to DFT.  
**Response:** Confirmed. Infrastructure list and improvement exhibit has been included in the submittal package
10. **Comment:** PNM Conditions 10 a. and 10b. have been acknowledged. Existing and new easements, facilities including interior and exterior landscaping will be reflected on any future platting done at DFT and not impact PNM facilities.  
**Response:** Confirmed.
11. **Comment:** AMAFCA Condition 11 has been met. The impact of the layout change has been rectified and public and private infrastructure has been identified in key notes on the Utility Plan  
**Response:** Confirmed.



If you have any questions, please feel free to contact me at (505) 858-3100 or [jliberman@tierrawestllc.com](mailto:jliberman@tierrawestllc.com).

Sincerely,

A handwritten signature in dark ink, consisting of a stylized 'J' followed by a horizontal line extending to the right.

Jacob Liberman

JN: 2022056  
RRB/JL/DS/SL



## Agent Authorization Form

January 9, 2025


Development Facilitation Team  
City of Albuquerque Planning Department  
Plaza del Sol Building  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

RE: **FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS - EPC TR 1 OF SUMMARY PLAT LAND DIVISION OF WESTLAND DEVELOPMENT CO INC TOGETHER WITH A TR OF LAND WITHIN THESE ¼ SE ¼ SEC 34 T1 ON R2E TR OF LAND EAST OF AMOLE DEL NORTE DIVERSION CHANNEL NORTH OF SECTION LINE OF SECTIONS 34 & 3 For a \* Unit Mobile Home Park**

### ZONE ATLAS PAGE: M-10-Z

I/We, (property owner name) NMAL Riverside MHP, LLC, as the owner(s) of the real property described as follows: TR 1 OF SUMMARY PLAT LAND DIVISION OF WESTLAND DEVELOPMENT CO INC TOGETHER WITH A TR OF LAND WITHIN THESE ¼ SE ¼ SEC 34 T1 ON R2E TR OF LAND EAST OF AMOLE DEL NORTE DIVERSION CHANNEL NORTH OF SECTION LINE OF SECTIONS 34 & 3 For a \* Unit Mobile Home Park , do hereby authorize to act as my/our agent (Agents Name), **Tierra West, LLC**, to execute any and all documents necessary to affect the application approval requested to the Development Facilitation Team, and to appear on my/our behalf before any administrative or legislative body in the county of Bernalillo considering this application and to act in all respects as our agent in matters pertaining to the application.

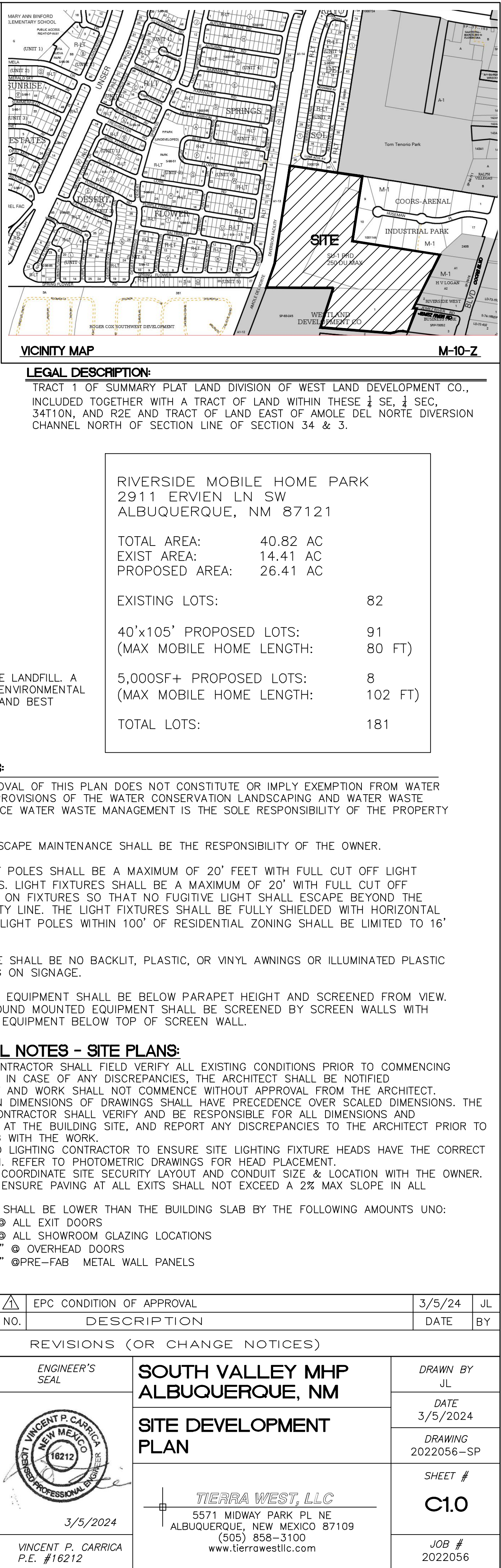
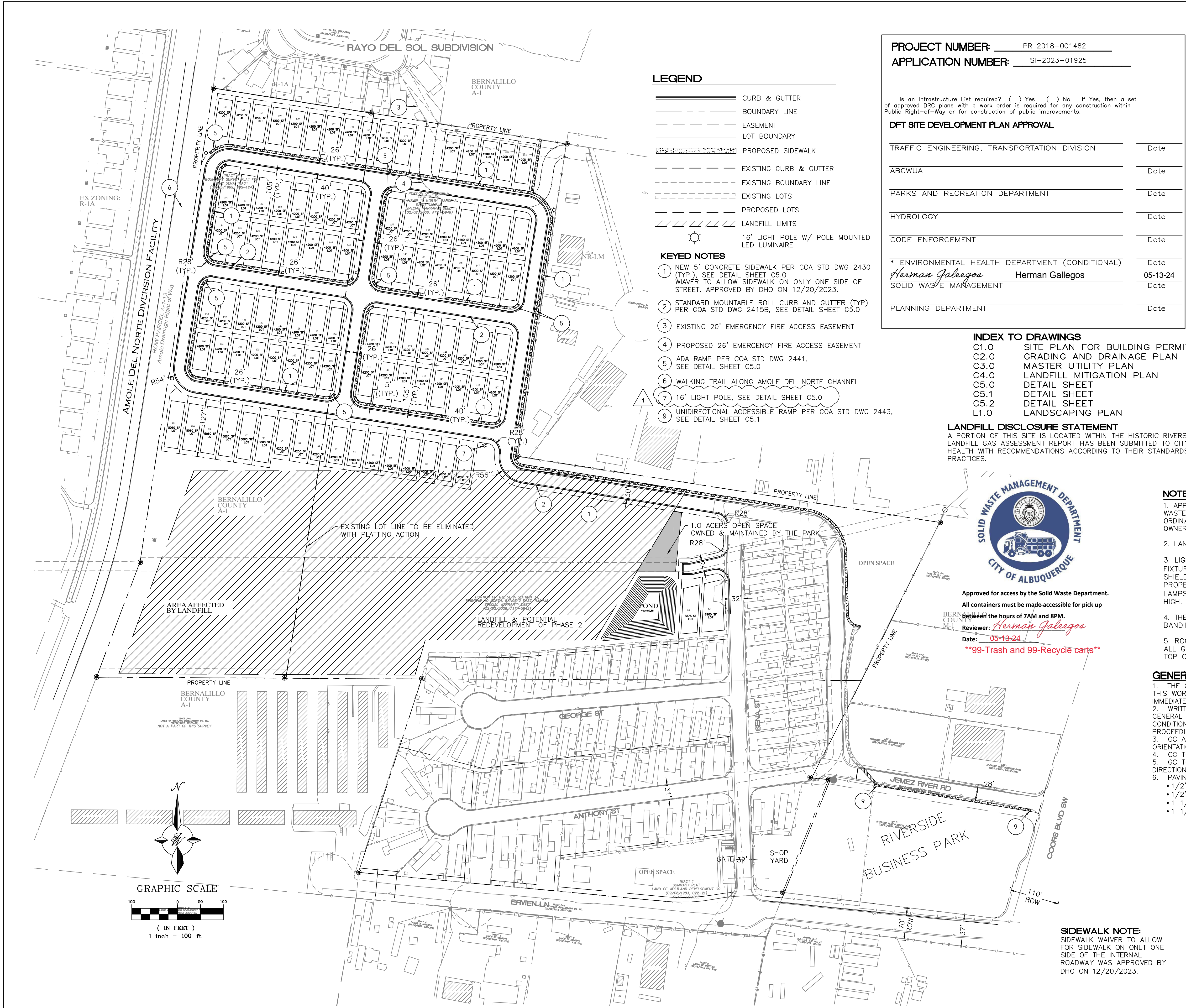
David Reynolds  
Print Name

  
Signature

Manager  
Title

1/10/2025  
Date







# FORM SP: PRE-APPROVALS/SIGNATURES

(Revised 10/26/23)

**Legal Description & Location:** TR 1 OF SUMMARY PLAT LAND DIVISION OF WESTLAND DEVELOPMENT CO INC TOGETHER WITH A TR OF LAND WITHIN THESE ¼ SE ¼

SEC 34 T1 ON R2E TR OF LAND EAST OF AMOLE DEL NORTE DIVERSION CHANNEL NORTH OF SECTION LINE OF SECTIONS 34 & 3 / 2911 ERVIEN LN SW ALBUQUERQUE, NM 87121

**Request Description:** DFT SIGN OFF OF AN EPC SITE PLAN

## ☐ **Hydrology:**

- |                                     |                         |                   |
|-------------------------------------|-------------------------|-------------------|
| • Sensitive Lands Analysis (5-2(C)) | _____ Approved          | <u>X</u> _____ NA |
| • Grading and Drainage Plan         | <u>X</u> _____ Approved | _____ NA          |
| • AMAFCA                            | _____ Approved          | <u>X</u> _____ NA |
| • Bernalillo County                 | _____ Approved          | <u>X</u> _____ NA |
| • NMDOT                             | _____ Approved          | <u>X</u> _____ NA |
| • MRGCD                             | _____ Approved          | <u>X</u> _____ NA |

Reggie Chan  
Hydrology Department

1/9/2025  
Date

## ☐ **Transportation:**

- |                                      |                         |                   |
|--------------------------------------|-------------------------|-------------------|
| • Traffic Circulations Layout (TCL)  | <u>X</u> _____ Approved | _____ NA          |
| • Traffic Impact Study (TIS)         | <u>X</u> _____ Approved | _____ NA          |
| • Neighborhood Impact Analysis (NIA) | _____ Approved          | <u>X</u> _____ NA |
| • Bernalillo County                  | <u>X</u> _____ Approved | _____ NA          |
| • MRCOG                              | _____ Approved          | <u>X</u> _____ NA |
| • NMDOT                              | _____ Approved          | <u>X</u> _____ NA |
| • MRGCD                              | _____ Approved          | <u>X</u> _____ NA |

Ernest Armijo  
Transportation Department

12/16/2024  
Date

## ☒ **Albuquerque Bernalillo County Water Utility Authority (ABCWUA):**

- Request for Availability submitted? X Yes \_\_\_\_\_ No \_\_\_\_\_ NA
- Availability Statement/Serviceability Letter Number 240908
- Note: Commitment for service is required prior to application approval.

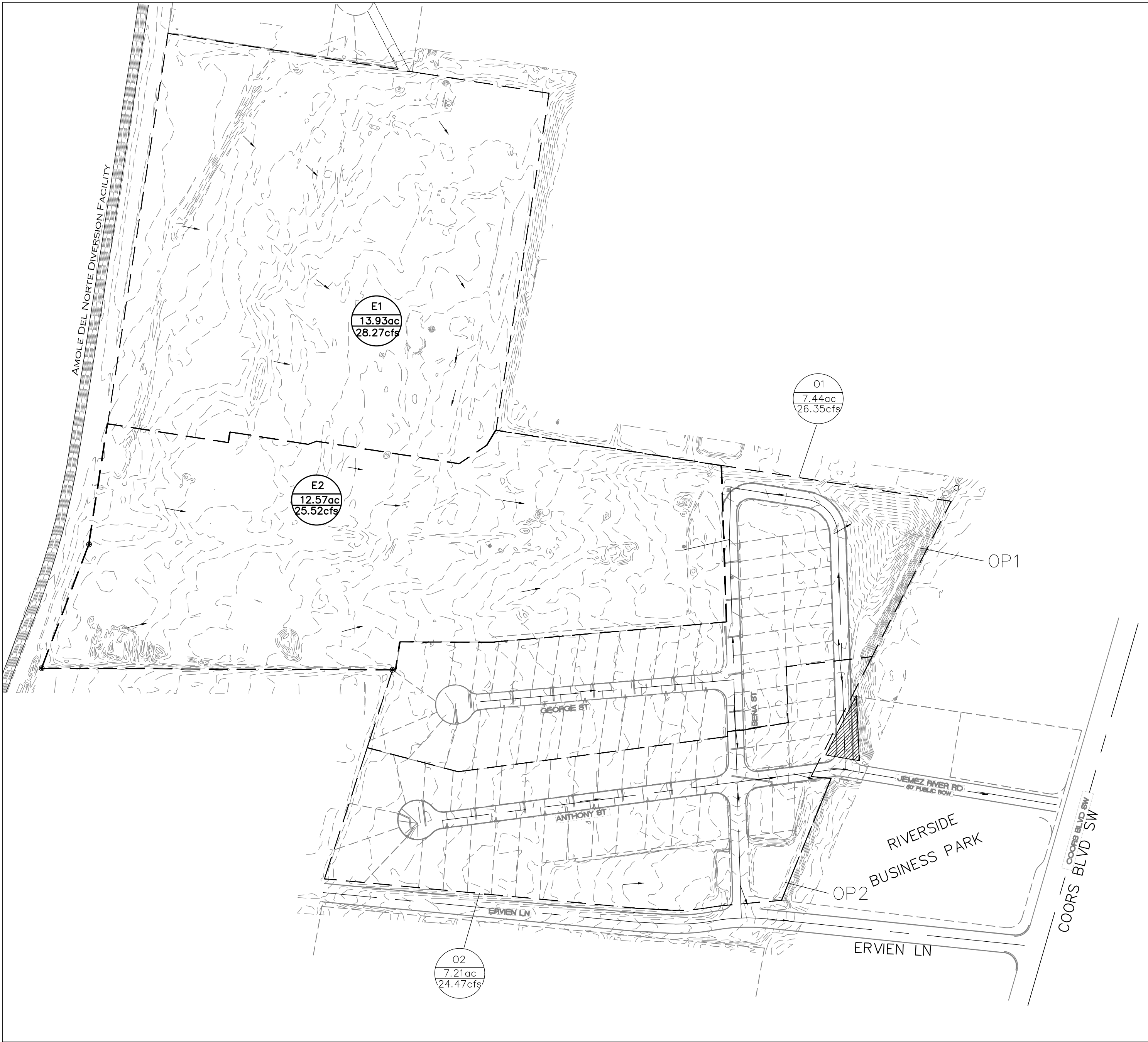
Galveston Begaye  
ABCWUA

01/03/2025  
Date

- |  |                         |          |
|--|-------------------------|----------|
| <input type="checkbox"/> Infrastructure Improvements Agreement (IIA*)            | _____ Approved          | _____ NA |
| <input checked="" type="checkbox"/> Solid Waste Department Signature on the Plan | <u>X</u> _____ Approved | _____ NA |
| <input checked="" type="checkbox"/> Fire Marshall Signature on the Plan          | <u>X</u> _____ Approved | _____ NA |

\* Prior to **Final Site Plan** approval submittals (include a copy of the recorded IIA)





EXISTING BASINS MAP

### Existing Conditions

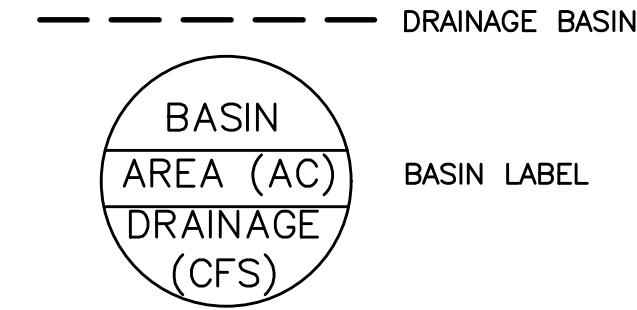
This development is a proposed expansion to the Riverside Mobile Home Park located at the northwest corner of Coors Blvd SW and Ervien Ln SW. The properties proposed for development with this project include an existing 85 lot manufactured home community bordered by an undeveloped area to the northwest making for a total area of 40.82 acres. The site is bordered to the West by the Amole del Norte Diversion Channel, to the North by a residential neighborhood, to the East and South by commercial properties, and to the south by a Ervien Ln SW and a self-storage facility. The site does not accept any offsite upland drainage.

The two basins comprising the existing developed portion of the mobile home park, O1 and O2, each have a respective drainage pond, OP1 and OP2, in the Southeast of the site. OP1 accepts drainage both from O1 as well as the undeveloped basins E1 and E2 to the northwest. O2 drains to the southeast down Anthony St and Sena St and then downhill towards Coors Blvd SW. A small fraction of the drainage from O2 drains to OP2.

### Proposed Conditions

The proposed expansion to the RV park will be comprised entirely of the area made up of basin E1 or B1. Drainage from basin B1 will be directed to proposed pond P1, where the developed volume will be retained. Basin B2 will remain largely undeveloped apart from a connecting roadway and two additional lots and will continue to drain eastward to OP1. Basins O1 and O2 will not be modified with this development.

#### LEGEND



#### DPM Weighted E Method

Precipitation Zone 1  
Ervien Lane & Coors  
Riverside Mobile Home Park  
TWLCC  
Date 2/8/2023

Basin Descriptions				100-Year, 6-Hr				10-Year, 6-Hr									
Basin ID	Area (acres)	Area (sq miles)	Treatment A % (acres)	Treatment B % (acres)	Treatment C % (acres)	Treatment D % (acres)	Weighted E (in)	Volume (ac-ft)		Flow (cfs)							
								Weighted E (in)	Flow (cfs)	Weighted E (in)	Flow (cfs)						
E1	606,721.00	13.928	0.02176	0%	100%	13.928	0%	0.000	0.670	0.778	28.27	0.220	0.255	10.59			
E2	547,550.00	12.570	0.01964	0%	100%	12,570	0%	0.000	0.670	0.702	25.52	0.220	0.230	9.55			
O1	324,183.00	7.442	0.01163	0%	0.000	22%	1.637	21%	1.563	57%	4.242	1.478	0.917	26.35	0.848	0.526	15.83
O2	303,146.00	6.913	0.01080	0%	0.000	22%	1.521	21%	1.452	57%	3.941	1.478	0.852	24.47	0.848	0.488	14.71
Total	1,779,600.00	40.854	0.06383	0.000	29.657	21%	0.000	8.183	3.248	104.61		1.500	50.68				

10 day volume for a 100 year storm  $V_{10day} = V_{rain} + A_D \cdot (P_{10day} - P_{rain}) / 12 \frac{in}{ft}$

Existing Pond OP1			
V360	Area D	(P10-P360)/12	Required 10-day Volume (cu. ft.)
134381	184784	0.158	133638

Existing Pond OP2			
V360	Area D	(P10-P360)/12	Required 10-day Volume (cu. ft.)
37096	171653	0.158	64275

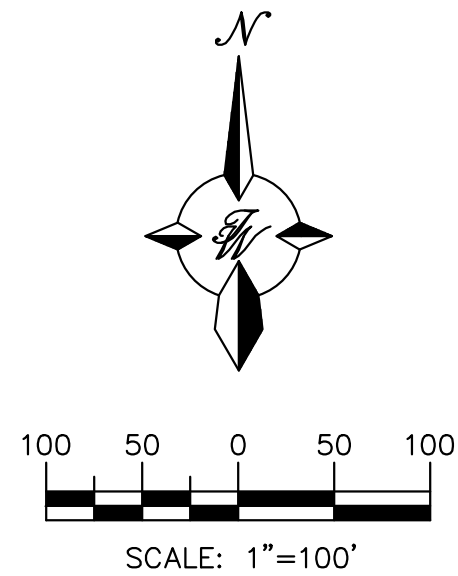
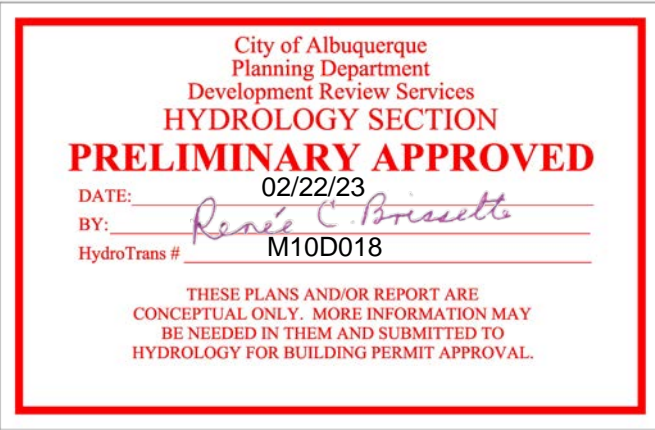
Proposed Conditions																		
Basin Descriptions										100-Year, 6-Hr				10-Year, 6-Hr				
ID	Area (sq. ft)	Area (acres)	Area (sq. miles)	Treatment A				Treatment B				Treatment C				Weighted E (in)	Volume (ac-ft)	Flow (cfs)
				%	%	%	%	%	%	%	%	%	%					
B1	606,721.00	13.928	0.02176	0%	0.000	39%	5.432	0%	0.000	61%	8.524	1.656	1.922	48.28	0.977	1.133	28.76	
B2	547,550.00	12.570	0.01964	0%	0.000	100%	12.570	0%	0.000	0%	0.000	0.730	0.765	25.52	0.260	0.272	9.55	
Total	1,154,271.00	26.498	0.04140	0%	0.000	18.002		8.524		2.686	73.79	0.637	1.406		38.32			

10 day volume for a 100 year storm  $V_{10day} = V_{rain} + A_D \cdot (P_{10day} - P_{rain}) / 12 \frac{in}{ft}$

% D rule B1 units acreage N = units/acre

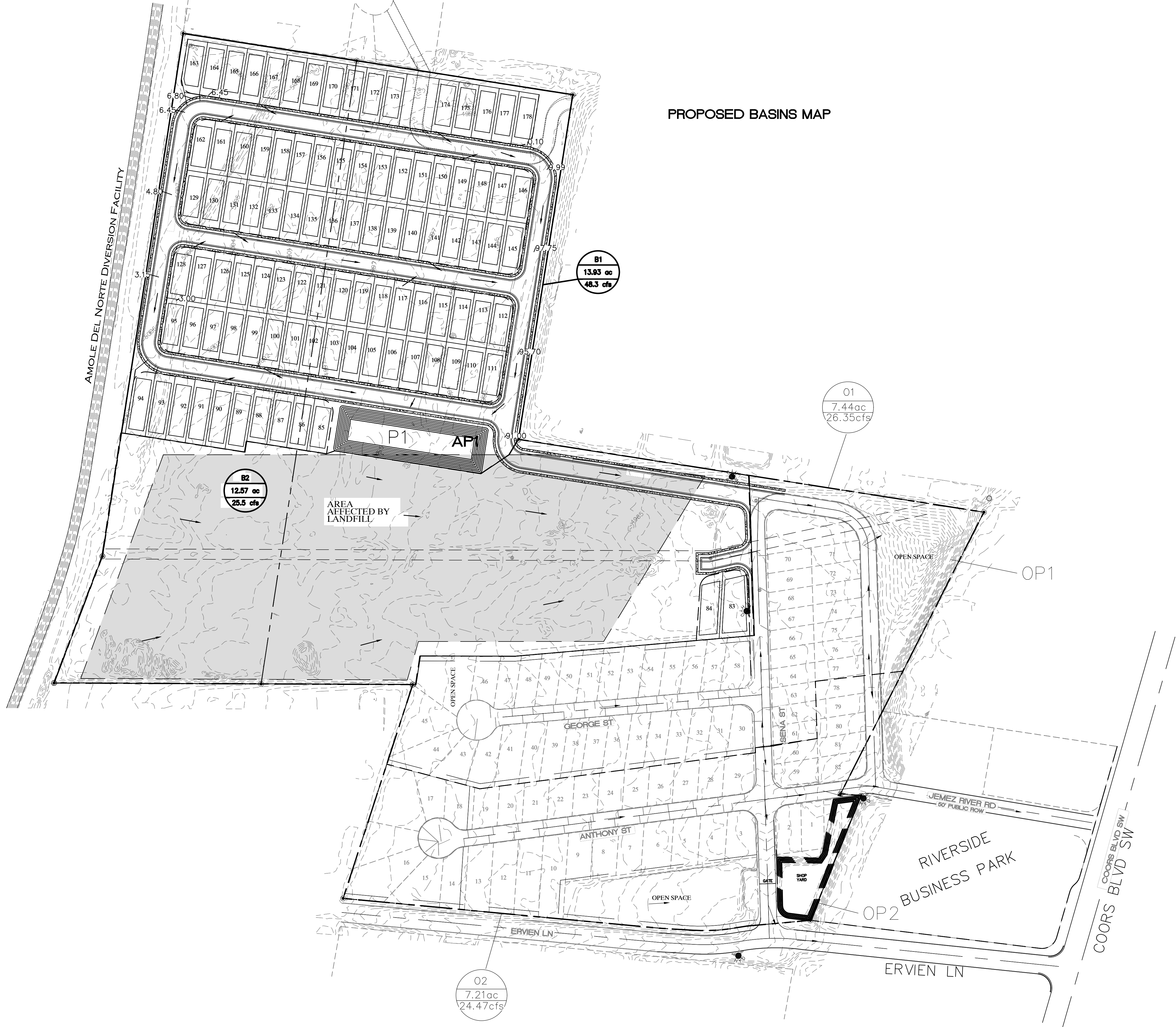
93 14.41 6.433851 7 60.18431

Proposed Pond P1			
V360	Area D	(P10-P360)/12	Required 10-day Volume (cu. ft.)
83706	371313	0.158	142498



ENGINEER'S SEAL	SOUTH VALLEY MHP ALBUQUERQUE, NM	DRAWN BY AR	
		DATE 2-13-23	
	DRAWING		
	SHEET #  GR1		
ASSAD A. RIZVI P.E. #27632	 <i>TIERRA WEST, LLC</i> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2022056	





PROPOSED BASINS MAP

**LEGEND**

--- DRAINAGE BASIN  
→ FLOW DIRECTION

BASIN  
AREA (AC)  
DRAINAGE (CFS)

BASIN LABEL

NOTE ON HISTORIC RIVERSIDE LANDFILL:  
PER DISCUSSIONS WITH CITY ENVIRONMENTAL HEALTH, THE CONTRACTOR WILL BE REQUIRED TO EXCAVATE AND COMPLETELY REMOVE LANDFILL MATERIAL BELOW ANY ROADWAY, UTILITY TRENCH OR DRAINAGE POND PROPOSED WITH THIS DEVELOPMENT.

City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**PRELIMINARY APPROVED**  
DATE: 02/22/23  
BY: *Renee C. Brissett*  
HydroTrans # M10D018

THESE PLANS AND/OR REPORT ARE  
CONCEPTUAL ONLY. MORE INFORMATION MAY  
BE NEEDED IN THEM AND SUBMITTED TO  
HYDROLOGY FOR BUILDING PERMIT APPROVAL.

GRAPHIC SCALE

100 0 50 100  
( IN FEET )  
1 inch = 100 ft.

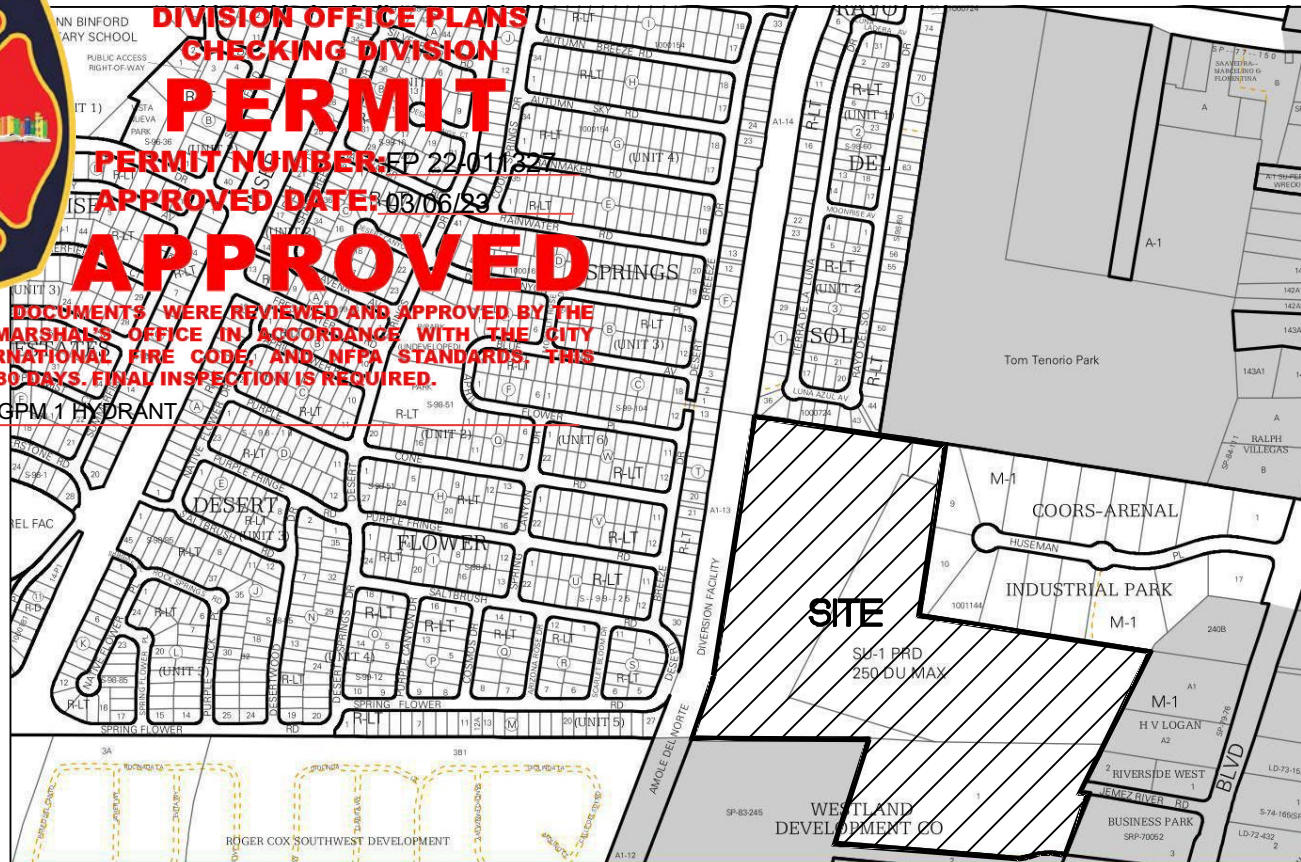
<div>ENGINEER'S SEAL</div> <div></div> <div>ASSAD A. RIZVI P.E. #27632</div>	SOUTH VALLEY MHP ALBUQUERQUE, NM	DRAWN BY AR
		DATE 2-13-23
	CONCEPTUAL GRADING AND DRAINAGE PLAN	DRAWING
	<div><b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</div>	SHEET # <b>GR2</b>  JOB # 2022056





ALBUQUERQUE FIRE MARSHAL'S  
DIVISION OFFICE PLANS  
CHECKING DIVISION  
**PERMIT**  
PERMIT NUMBER: EP 2211122  
APPROVED DATE: 03/05/24  
**APPROVED**

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. ANY WORK BEYOND THIS PERIOD IS UNLAWFUL.  
**FIRE FLOW: 1500 GPM FOR 1 HOUR**



VICINITY MAP

M-10-Z

**LEGAL DESCRIPTION:**

TR OF LAND EAST OF AMOLE DEL NORTE DIVERSION CHANNEL NORTHOF SECTION LINE OF SECTIONS 34 & 3 TOGETHER WITH TRACT 1 OF SUMMARY PLAT LAND DIVISION OF WESTLAND DEVELOPMENT CO INC TOGETHER WITH A TRACT OF LAND WITHIN THESE1/4 SE1/4 SEC 34 T10N R2E

UPC - 101005440552820545 AND 101005534207240110

SITE ADDRESS: 2911 ERVIEN LN SW ALBUQUERQUE, NM 87121

**KEYED NOTE:**

- EXISTING FIRE HYDRANT
- NEW FIRE HYDRANT (TYP)
- SECURITY GATE W/KNOX BOX
- PRIVATE GATE
- 8" GATE VALVE

**LEGEND**

- CURB & GUTTER
- BOUNDARY LINE
- BUILDING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- PROPOSED 8" WL
- EXISTING 8" WL
- EXISTING AREA
- FIRE LANE
- EXISTING FIRE HYDRANT
- PROPOSED HYDRANT (TYP)

RIVERSIDE MOBILE HOME PARK  
2911 ERVIEN LN SW  
ALBUQUERQUE, NM 87121

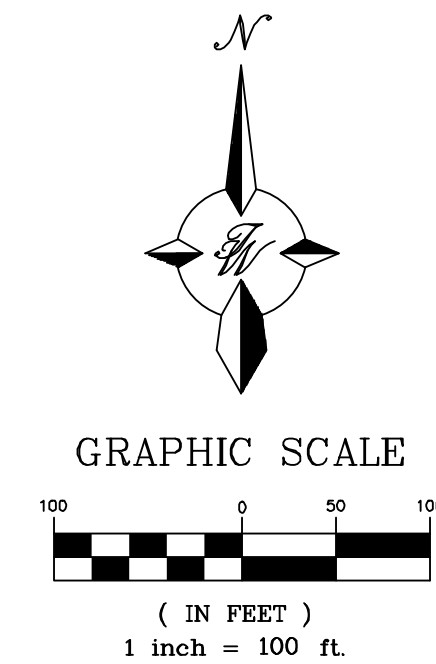
TOTAL AREA: 40.82 AC  
EXIST AREA: 14.41 AC  
PROPOSED AREA: 11.61 AC  
82 EXISTING LOTS  
186 PROPOSED LOTS

FIRE FLOW REQUIRED 1500 GPM FOR 1 HOUR

**NOTES**

- ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES, AS DIRECTED BY FIRE MARSHALL
- FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75000 LBS
- KEY BOX (KNOX BOX) SHALL BE MOUNTED BETWEEN 4 AND 6 FEET ABOVE GRADE AND SHALL BE ILLUMINATED.

ENGINEER'S SEAL	<b>SOUTH VALLEY MHP ALBUQUERQUE, NM</b>	DRAWN BY JL
	<b>FIRE ONE PLAN</b>	DATE 8-15-22
		DRAWING 2022056-FO
RONALD R. BOHANNAN P.E. #7868	 <b>TERRA WEST, LLC</b> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # <b>F-1</b>
		JOB # 2022056



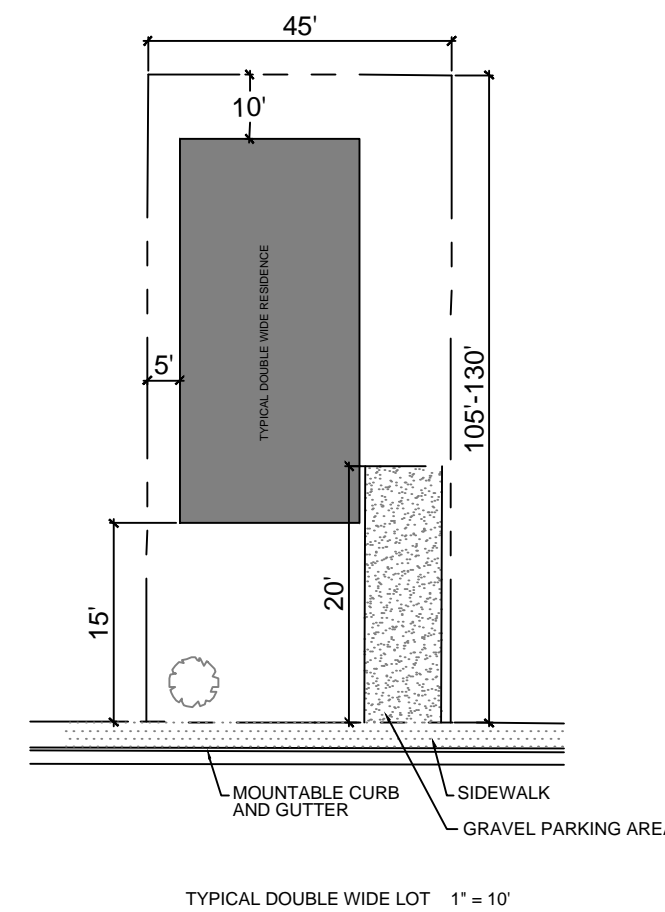
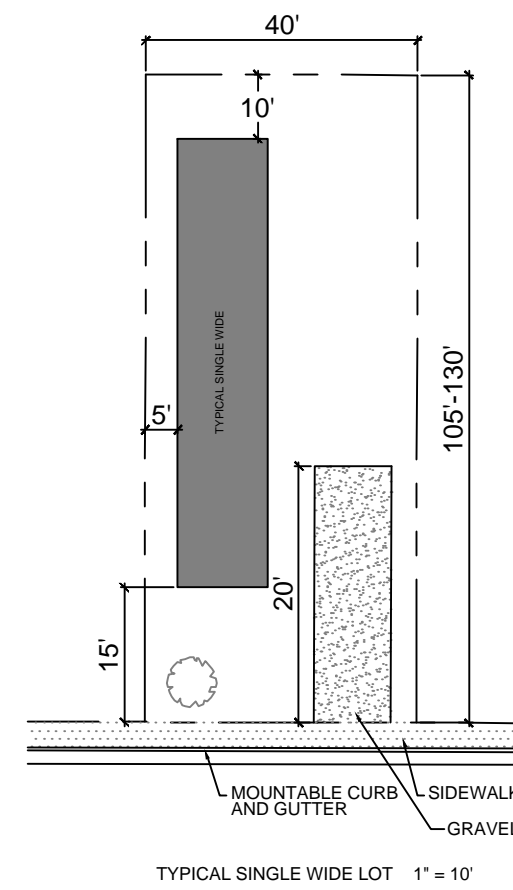
GRAPHIC SCALE

( IN FEET )  
1 inch = 100 ft



TRAFFIC CIRCULATION  
LAYOUT APPROVED

Ernest Amigo 3/6/2024  
Signed Date



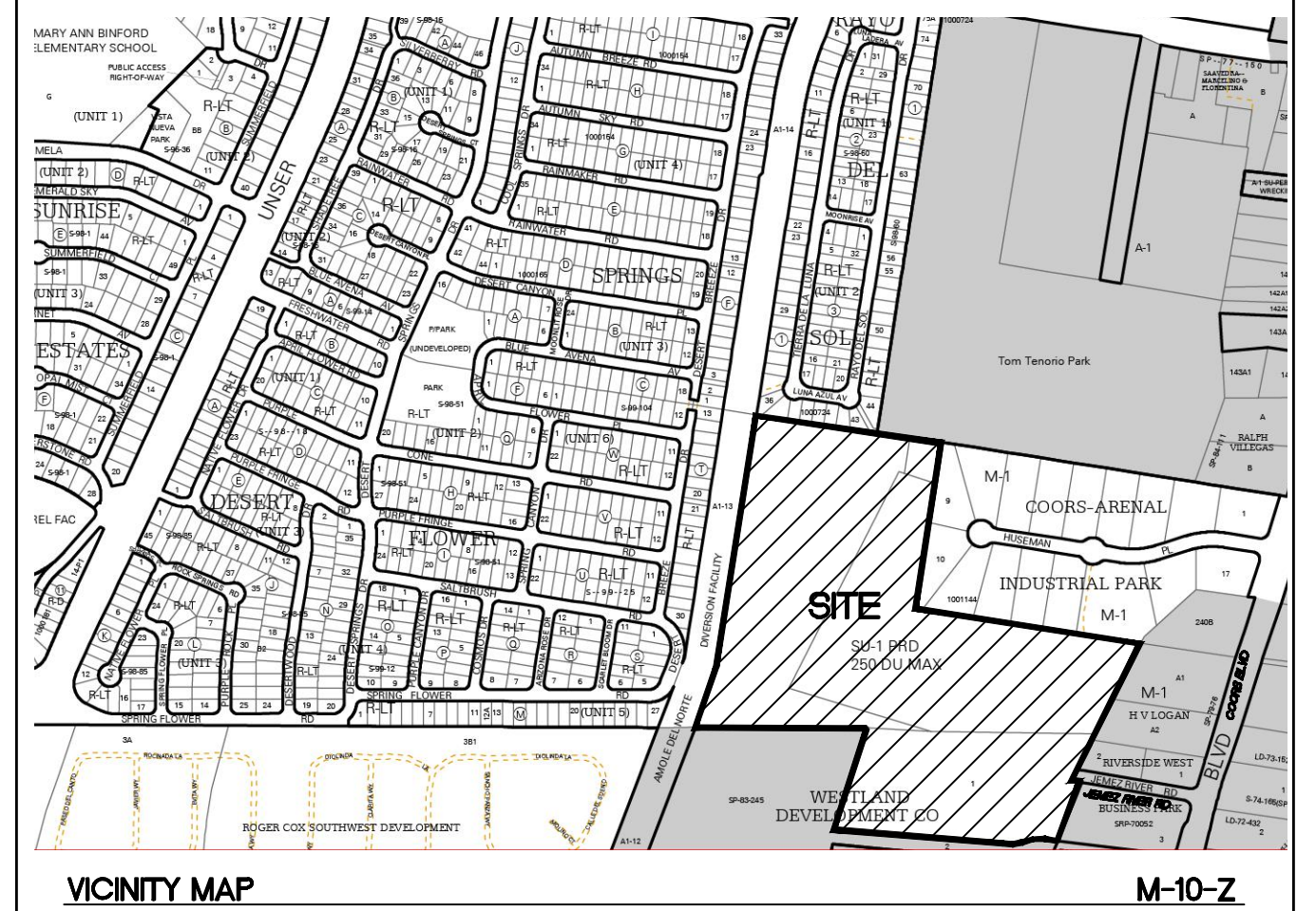
KEYED NOTES

- 1 NEW 5' CONCRETE SIDEWALK PER COA STD DWG 2430 (TYP.)
- 2 STANDARD CURB AND GUTTER (TYP) PER COA STD DWG 2415A
- 3 EXISTING 20' EMERGENCY FIRE ACCESS EASEMENT
- 4 PROPOSED 26' EMERGENCY FIRE ACCESS EASEMENT
- 5 CONER ACCESS RAMP PER COA STD DWG 2441
- 6 PARALLEL CURB PER COA STD DWG 2443
- 7 PAIRED PERPENDICULAR CURB RAMP PER COA STD DWG 2442

RIVERSIDE MOBILE HOME PARK  
2911 ERVIEN LN SW  
ALBUQUERQUE, NM 87121

TOTAL AREA: 40.82 AC  
EXIST AREA: 14.41 AC  
PROPOSED AREA: 26.41 AC

EXISTING LOTS: 82  
40'x105' PROPOSED LOTS: 91  
(MAX MOBILE HOME LENGTH: 80 FT)  
5,000SF+ PROPOSED LOTS: 8  
(MAX MOBILE HOME LENGTH: 102 FT)  
TOTAL LOTS: 181



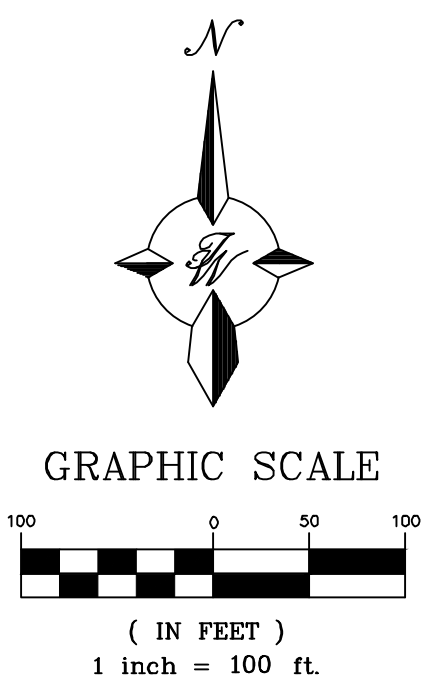
LEGAL DESCRIPTION:

TR OF LAND EAST OF AMOLE DEL NORTE DIVERSION CHANNEL NORTHOF SECTION  
LINE OF SECTIONS 34 & 3 TOGETHER WITH TRACT 1 OF SUMMARY PLAT LAND  
DIVISION OF WESTLAND DEVELOPMENT CO INC TOGETHER WITH A TRACT OF LAND  
WITHIN THESE 1/4 SE 1/4 SEC 34 T10N R2E

UPC — 101005440552820545 AND 101005534207240110

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- LOT BOUNDARY
- PROPOSED SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING LOTS
- PROPOSED LOTS



NOTES:

1. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
2. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
3. LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH.
4. THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
5. ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.

GENERAL NOTES - SITE PLANS:

1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING THIS WORK. IN CASE OF ANY DISCREPANCIES, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND WORK SHALL NOT COMMENCE WITHOUT APPROVAL FROM THE ARCHITECT.
2. WRITTEN DIMENSIONS OF DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AT THE BUILDING SITE, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
3. GC AND LIGHTING CONTRACTOR TO ENSURE SITE LIGHTING FIXTURE HEADS HAVE THE CORRECT ORIENTATION. REFER TO PHOTOMETRIC DRAWINGS FOR HEAD PLACEMENT.
4. GC TO COORDINATE SITE, SECURE LAYOUT AND CONDUIT SIZE & LOCATION WITH THE OWNER.
5. GC TO ENSURE PAVING AT ALL EXITS SHALL NOT EXCEED A 2% MAX SLOPE IN ALL DIRECTIONS.
6. PAVING SHALL BE LOWER THAN THE BUILDING SLAB BY THE FOLLOWING AMOUNTS UNO:
  - 1/2" @ ALL EXIT DOORS
  - 1/2" @ ALL SHOWROOM GLAZING LOCATIONS
  - 1 1/2" @ OVERHEAD DOORS
  - 1 1/2" @ PRE-FAB METAL WALL PANELS

ENGINEER'S SEAL	SOUTH VALLEY MHP ALBUQUERQUE, NM	DRAWN BY JL
VINCENT P. CARRICA NEW MEXICO 16212 PROFESSIONAL ENGINEER	TRAFFIC CONTROL LAYOUT	DATE 3/5/2024
3/5/2024	TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2022056-TCL
VINCENT P. CARRICA P.E. #16212		SHEET # C1.0
		JOB # 2022056





## Public Works Division

### Transportation Planning

415 Silver Ave. SW  
Albuquerque, NM 87102  
(505) 377-7136  
[jaluna@bernco.gov](mailto:jaluna@bernco.gov)  
[www.bernco.gov](http://www.bernco.gov)

April 3, 2024

Terry Brown, P.E.  
Tierra West, LLC  
5571 Midway Park Pl. NE  
Albuquerque NM 87109

Subject: Riverside Mobile Home Park FINAL Traffic Impact Study (TIS)

Dear Mr. Brown,

Bernalillo County Public Works Division (BCPWD) Transportation Planning has completed the review of the subject TIS dated 12/19/2023.

Responses were provided to draft comments. **BCPWD approval of this TIS is conditioned on providing sidewalks on Jemez River Road. BCPWD supports NMDOT's requirement for providing a pedestrian access route on Ervine Lane and NM 45 to the bus stop. Ervine Lane and Jemez River Road are Bernalillo County maintained rights-of-way and the pedestrian access routes on County maintained ROW are required to be sidewalk.**

Responses to the comments explain that the location of power poles are an issue to providing sidewalk along the south side of Jemez River Road. Along the north side of Jemez River Road, a fence is located in public ROW. Bernalillo County Real Estate is in the process of issuing an encroachment violation for this fence which will require the owner to move the fence and allow for the sidewalk to be located on the north side of Jemez River Road.

Reviewing the Environmental Planning Commission (EPC) submittal, the proposed development's location being within 660' of a Major Transit Corridor was a factor in this development's approval. The site plan submitted is provided in Attachment "A". This site plan includes a sidewalk along Jemez River Road. It appears the initial intent was to provide pedestrian access to the Major Transit Corridor.

BCPWD is in favor of TIS recommendations providing in Attachment "B".

Please contact me with any questions at 505-377-7136 or [jaluna@bernco.gov](mailto:jaluna@bernco.gov).

Thank you,

**Julie Luna**

Digitally signed by Julie Luna  
Date: 2024.04.03 17:40:10 -06'00'

Julie Luna  
Bernalillo County Transportation Planner

Copies:

Richard Meadows, Bernalillo County  
Margaret Haynes, NMDOT  
Matt Grush, City of Albuquerque



Attachments:

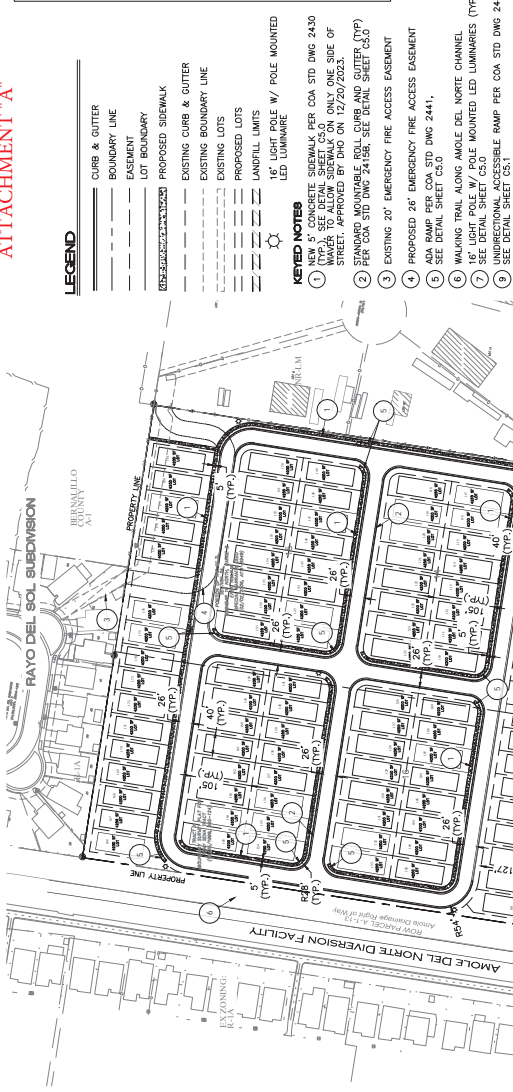
Attachment “A” – EPC Site Plan

Attachment “B” – TIS Recommendations





ATTACHMENT "A"



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- LOT BOUNDARY
- PROPOSED SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING LOTS
- PROPOSED LOTS
- LANDFILL LIMITS
- LIGHT POLE W/ POLE MOUNTED LED LUMINAIRES

KEYED NOTES

- NEW 5' CONCRETE SIDEWALK PER COA STD DWG 2430 (TYP) TO BE ELIMINATED BY THE PARK. WALKER TO ALLOW SIDEWALK ON ONLY ONE SIDE OF STREET. APPROVED BY DHO ON 12/20/2023.
- STANDARD MOUNTABLE ROLL CURB AND GUTTER (TYP) PER COA STD DWG 2418. SEE DETAIL SHEET C5.0
- EXISTING 20' EMERGENCY FIRE ACCESS EASEMENT
- PROPOSED 26' EMERGENCY FIRE ACCESS EASEMENT
- ADA RAMP PER COA STD DWG 2441. SEE DETAIL SHEET C5.0
- WALKING TRAIL ALONG ANGLE DEL NORTE CHANNEL
- 16' LIGHT POLE W/ POLE MOUNTED LED LUMINAIRES (TYP). SEE DETAIL SHEET C5.0
- SEE DETAIL SHEET C5.1
- SEE DETAIL SHEET C5.1

PROJECT NUMBER: PR 2018-001482  
APPLICATION NUMBER: SI-2023-01925

It is the intention of the applicant to ( ) Yes ( ) No. If Yes, then a set of approved TPOC plans with a work order is required for any construction within public right-of-way or for construction of public improvements.

DPT SITE DEVELOPMENT PLAN APPROVAL

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	Date
ABQWMA	Date
PARKS AND RECREATION DEPARTMENT	Date
HYDROLOGY	Date
CODE ENFORCEMENT	Date
* ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	Date
SOLID WASTE MANAGEMENT	Date
PLANNING DEPARTMENT	Date

INDEX TO DRAWINGS

- C2.0 GRADING AND DRAINAGE PLAN
- C3.0 MASTER UTILITY PLAN
- C4.0 LANDFILL MITIGATION PLAN
- C5.0 DETAIL SHEET
- C5.1 DETAIL SHEET
- L1.0 LANDSCAPING PLAN

LANDFILL DISCLOSURE STATEMENT

LANDFILL GAS ASSESSMENT REPORT HAS BEEN SUBMITTED TO CITY ENVIRONMENTAL HEALTH WITH RECOMMENDATIONS ACCORDING TO THEIR STANDARDS AND BEST PRACTICES.

RIVERSIDE MOBILE HOME PARK	
2911 ERVEN LN SW	
ALBUQUERQUE, NM 87121	
TOTAL AREA: 40.82 AC	
EXIST AREA: 14.41 AC	
PROPOSED AREA: 26.41 AC	
EXISTING LOTS: 82	
40'x105' PROPOSED LOTS: 91	
(MAX MOBILE HOME LENGTH: 80 FT)	
5,000SF+ PROPOSED LOTS: 8	
(MAX MOBILE HOME LENGTH: 102 FT)	
TOTAL LOTS: 181	

NOTES

- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER POLLUTION ACT OR OTHER APPLICABLE REGULATIONS. THE APPLICANT IS RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
- LIGHT POLES SHALL BE A MAXIMUM OF 20 FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF LIGHT FIXTURES. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH.
- LANDSCAPE SHALL BE NO BACKLIT, PLASTIC OR VINYL ANIMALS OR ILLUMINATED PLASTIC ANIMALS. SIGNAGE SHALL BE NO BACKLIT, PLASTIC OR VINYL ANIMALS OR ILLUMINATED PLASTIC ANIMALS.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.

GENERAL NOTES - SITE PLANS

- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING THIS WORK. IN CASE OF ANY DISCREPANCIES, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
- WRITTEN DIMENSIONS OF DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND LOCATIONS OF EXISTING CONDITIONS PRIOR TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- ALL DIMENSIONS AND LOCATIONS OF EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR AND REFERRED TO PHOTOGRAPHIC DRAWINGS FOR HEAD PLACEMENT.
- CC TO COORDINATE SITE SECURITY LAYOUT AND CONDUIT SIZE & LOCATION WITH THE OWNER. ALL CONDUIT SHALL BE 1/2" DIA. ALL CONDUIT SHALL BE 1/2" DIA. ALL CONDUIT SHALL BE 1/2" DIA.
- PAVING SHALL BE UNDER THE BUILDING SUB BY THE FOLLOWING AMOUNTS UNO: 1/2" @ ALL OVERHEAD DOORS 1/2" @ ALL SHOWER GLAZING LOCATIONS 1/2" @ ALL SHOWER GLAZING LOCATIONS 1/2" @ ALL SHOWER GLAZING LOCATIONS



SIDEWALK NOTE: SIDEWALK WALKER TO ALLOW SIDEWALK ON ONLY ONE SIDE OF THE INTERNAL ROADWAY WAS APPROVED BY DHO ON 12/20/2023.



ENGINEER'S SEAL	DATE: 1/3/2024
DRAWN BY: JL	DRAWING: 20220505-SP
SOUTH VALLEY MHP ALBUQUERQUE, NM	
SITE DEVELOPMENT PLAN	
SHEET # C10	
TERRA WEST LLC ALBUQUERQUE, NEW MEXICO 87109 www.terrawest.com	
1/3/2024	JOB # 20220505
VINCENT P. CARRICO P.E. 116212	



### *Summary of Impacts and Recommendations*

The analysis shows a slight degradation of traffic capacity but within the accepted limits of normal development. The analysis concluded that the delays at Coors Blvd at Jemez River Rd. are expected to be LOS "E" in 2035. If there are delays at this main access, travelers have the option to use the alternate access at Coors Blvd and Ervien Ln to mitigate the delay during the Peak hours only. A summary of the impacts and recommendations based on the results of Traffic Impact Study can be found below.

The two signalized intersections of Coors Blvd. / Arenal Rd. and Coors Blvd./ Blake Rd, were analyzed in HCS for a single period analysis. HCS identified that movements at these intersections had Volume to Capacity Ratios (V/C's) greater than 1 which was mitigated with optimizing the signal splits for a V/C ratio of less than 1. A single period analysis was conducted on the remaining intersections (unsignalized) using Synchro 11 (Build 11.1.2.9) modeling software. See Appendix pages A-63 through A-78 and A-84 through A-99 for detailed results of the analysis.

Generally speaking, the operation of the two signalized intersections are improved by optimizing the signal splits at the intersections of Coors Blvd / Arenal Rd. and Coors Blvd / Blake Rd. This report is only recommending signalized optimization under this development conditions and a deceleration lane from Coors Blvd to Jemez River Road. .

The single period analysis identified there is one area of concern with respect to the Executive Summary results Table above. Impacts and Recommendations are defined below:

Mitigations and Recommendations Summary			
Riverside Mobile Home Park - Coors Blvd. and Jemez River - ABQ, NM			
Intersection	Mitigation	Intersection Recommendations	Deceleration Lane Warrants
1 - Coors Blvd / Arenal Rd.	None	None	None
2 - Coors Blvd / Blake Rd.	Optimizing the Signal Timing Splits	Optimizing the Signal Timing Splits	None
3 - Coors Blvd / Jemez River	None	None	Installation of a southbound-right deceleration lane, 370-ft long including a 12.5:1 taper transition. Currently, the major powerline constraints will include a 50-ft decel lane including taper unless an intersection reconfiguration will fit within the ROW.
4 - Coors Blvd / Ervien Rd.	None	None	None



In summary, the proposed and existing Riverside Mobile Home Park will have minimal adverse impact to the adjacent transportation system. Mitigations have been made in order to improve the overall network performance along the Coors corridor from Arenal to Blake to an approved Level of service (LOS) as required by the City of Albuquerque and NMDOT.





March 28, 2024

Terry Brown, PE  
Tierra West, LLC  
5571 Midway Park PI NE  
Albuquerque, NM 87109

**Subject: Riverside Mobile Home Park Traffic Impact Study  
NM 45 and Jemez River Road (MP 9.99)  
Bernalillo County, New Mexico**

Dear Mr. Brown:

This letter is to inform you that the **FINAL** Traffic Impact Study (TIS) for the Riverside Mobile Home Park dated December 19, 2023 has been reviewed. The proposed development is located west of NM 45 with access via Jemez River Road and Ervien Lane.

The NMDOT has no objection to the use of its two public access points to NM 45 at Jemez River Road and Ervien Road. See Exhibit A for the site plan for this development. The recommendations and conceptual proposed improvements made for this TIS are shown in Exhibit B. Based on these analyses, the following conditions are required:

1. The development shall design and install a southbound right deceleration lane on NM 45 and Jemez River Road at a length of 370-feet.
2. The development shall design and install a pedestrian access route from Ervien Lane and Jemez River Road to the bus stop on NM 45. Preferably sidewalk and curb and gutter.
3. The development shall manage access on NM 45 at Jemez River Road or NM 45 and Ervien Lane to a partial right-in/right-out/left-in access only. NMDOT shall determine the preferred road option within one month of the date of this letter.
4. The development shall coordinate the change of access of either Jemez River Road or Ervien Lane to the property owners in this area.
5. The development shall provide recommended signal timing adjustments to Bernalillo County, Traffic Section.

**Michelle Lujan  
Grisham**  
Governor

**Ricky Serna**  
Cabinet Secretary

**Commissioners**

**Chandelle Sisneros**  
Commissioner  
District 1

**Gary Tonjes**  
Commissioner  
District 2

**Hilma E. Chynoweth**  
Commissioner, Vice Chairman  
District 3

**Walter G. Adams**  
Commissioner, Chairman  
District 4

**Thomas C. Taylor**  
Commissioner  
District 5

**Charles Lundstrom**  
Commissioner, Secretary  
District 6



6. The NMDOT shall provide final approval on the design for the offsite improvements. The developer shall agree to incorporate all the comments requested by the NMDOT.

In addition to the STA, all improvements are based on other factors, including but not limited to, the State Access Management Manual (SAMM) design criteria, Pedestrian Right of Way Accessibility Guidelines (PROWAG), roadway design references and any local jurisdiction planning documents.

The following information will be required in combination with the approval of the development:

- a. All geometric details associated with the proposed offsite improvements as shown in Exhibit B must be approved by the NMDOT. Any schematic layout(s) for the proposed improvements are for informational purposes only and should not be considered as an approved final design. These proposed improvements may include, but are not limited to:
  - Acceleration/deceleration lanes
  - Roadway widening
  - Traffic signal
- b. Detailed construction plans, including traffic control plans, for the proposed roadway improvements shall be submitted to Keith Thompson, PE at [Keith.Thompson@dot.nm.gov](mailto:Keith.Thompson@dot.nm.gov) prior to any driveway application submittals. The roadway design shall be compliant with proposed right-of-way accessibility guidelines (PROWAG) for pedestrian facilities.
- c. Grading and drainage plans, shall be submitted with the driveway application for review and approval by Mr. Tim Trujillo, PE District 3 Engineer. Mr. Trujillo can be reached at [TimothyR.Trujillo@dot.nm.gov](mailto:TimothyR.Trujillo@dot.nm.gov)
- d. Cultural resource approval will need to be obtained from Mr. Gary Funkhouser for disturbance to the state right-of-way. Mr. Funkhouser can be reached at [Gary.Funkhouser@dot.nm.gov](mailto:Gary.Funkhouser@dot.nm.gov)
- e. All utility and traffic control permits, within state right-of-way related to the proposed development shall be submitted to Mr. Israel Suazo. Mr. Suazo can be reached at [Israel.Suazo@dot.nm.gov](mailto:Israel.Suazo@dot.nm.gov)



- f. Once the design plans have been approved by NMDOT for construction, any access points that will access a state facility related to the proposed development shall obtain an access permit from Mr. Israel Suazo.

If you have any questions, please feel free to call me at 505.288.2086 or email me at [Margaret.Haynes@dot.nm.gov](mailto:Margaret.Haynes@dot.nm.gov)

Sincerely,



Digitally signed by  
Margaret Haynes  
Date: 2024.03.28  
16:37:40 -06'00'

Margaret Haynes, P.E.  
District 3 Engineering Support

Copies:

Nancy R. Perea, NMDOT D3 DTE  
Keith Thompson, NMDOT D3  
Julie Luna, BC  
file

Attachments:

Exhibit A – Conceptual site plan  
Exhibit B – Proposed Recommendations and conceptual proposed improvements



# EXHIBIT A







## EXHIBIT B



## Summary of Impacts and Recommendations

The analysis shows a slight degradation of traffic capacity but within the accepted limits of normal development. The analysis concluded that the delays at Coors Blvd at Jemez River Rd. are expected to be LOS "E" in 2035. If there are delays at this main access, travelers have the option to use the alternate access at Coors Blvd and Ervien Ln to mitigate the delay during the Peak hours only. A summary of the impacts and recommendations based on the results of Traffic Impact Study can be found below.

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4 - Coors Blvd / Ervien Rd.	None	None	None



