



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS		<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)	<input type="checkbox"/> Variance for Carport within setback(s) (Form V)
<input type="checkbox"/> Major – Preliminary Plat (Form P1)	<input type="checkbox"/> Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)	
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	MISCELLANEOUS APPLICATIONS		<input checked="" type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Major - Final Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List (Form S1)	<input checked="" type="checkbox"/> Vacation of Private Easement(s) (Form V)	
<input type="checkbox"/> Amendment to Preliminary Plat (Form S2)	<input type="checkbox"/> Amendment to Infrastructure List (Form P1)	PRE-APPLICATIONS	
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Temporary Deferral of S/W (Form P2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form P2)	
	<input type="checkbox"/> Sidewalk Waiver (Form V)		
SITE PLANS		<input checked="" type="checkbox"/> Variance to IDO (Form V)	APPEAL
<input checked="" type="checkbox"/> DRB Site Plan (Form XX)	<input type="checkbox"/> Variance to DPM (Form V)	<input type="checkbox"/> Decision of DRB (Form A)	
BRIEF DESCRIPTION OF REQUEST			
Approval of Site Plan - DRB, Variance - DRB, Vacation of Private (1) and Public (1) Easement(s), & Temporary Deferral of Sidewalk Construction			

APPLICATION INFORMATION			
Applicant: Montano Family Homes, LLC -- Attn: Tim Nisly		Phone: (505) 362-6824	
Address: 607 Atlantic Ave. SW		Email:	
City: Albuquerque	State: NM	Zip: 87102	
Professional/Agent (if any): Isaacson & Arfman, PA		Phone: (505) 268-8828	
Address: 128 Monroe Street NE		Email: asaw@iacivil.com	
City: Albuquerque	State: NM	Zip: 87108	
Proprietary Interest in Site: Owner		List all owners:	
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)			
Lot or Tract No.: Tract 6-A-2		Block:	Unit:
Subdivision/Addition: North Fourth Street Homesites Addition		MRGCD Map No.:	
Zone Atlas Page(s): F-14	Existing Zoning: R-A		UPC Code: 101406133625341932
# of Existing Lots: 1	# of Proposed Lots: 8 Lots		Proposed Zoning: None
LOCATION OF PROPERTY BY STREETS			
Site Address/Street: 712 Montano Road NW		Between: 4th Street NW	and: 9th Street NW
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)			
1000091			

Signature:		Date: 8/30/19
Printed Name: Asa Nilsson-Weber		<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent
FOR OFFICIAL USE ONLY		
Case Numbers	Action	Fees
Meeting/Hearing Date:		Fee Total:
Staff Signature:	Date:	Project #

FORM P2: SITE PLAN – DRB

Please refer to the DRB public meeting schedules for hearing dates and deadlines. Your attendance is required.

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form P2 at the front followed by the remaining documents in the order provided on this form.

☒ SITE PLAN – DRB

☐ MAJOR AMENDMENT TO SITE PLAN – DRB

☐ EXTENSION OF SITE PLAN – DRB

NO Interpreter Needed for Hearing? _____ if yes, indicate language: _____

☒ PDF of application as described above

☒ Zone Atlas map with the entire site clearly outlined and labeled

☒ Letter of authorization from the property owner if application is submitted by an agent

☒ Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) (not required for Extension)

☒ Signed Traffic Impact Study (TIS) Form

☒ Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information (not required for Extension)

☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(G)(3)

☒ Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(O)

Note: If requesting more than allowed by deviation, a Variance – ZHE or Variance – DRB will be required, as applicable.

☒ Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B) (not required for Extension)

☒ Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)

☒ Office of Neighborhood Coordination neighborhood meeting inquiry response

☒ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

____ If a meeting was requested or held, copy of sign-in sheet and meeting notes

☒ Sign Posting Agreement

☒ Required notices with content per IDO Section 14-16-6-4(K)(6)

☒ Office of Neighborhood Coordination notice inquiry response

☒ Copy of notification letter and proof of first class mailing

☒ Proof of emailed notice to affected Neighborhood Association representatives

☒ Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, and proof of first class mailing

☒ Completed Site Plan Checklist

☒ Site Plan and related drawings (7 copies, 24" x 36" folded to fit into an 8.5" x 14" pocket)

☒ Copy of the original approved Site Plan or Master Development Plan (for amendments only) (1 copy, 24" x 36")

☒ Site Plan and related drawings reduced to 8.5" x 11" format (1 copy)

☒ Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone

☒ Infrastructure List, if required

FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC

____ Interpreter Needed for Hearing? _____ if yes, indicate language: _____

____ PDF of application as described above

____ Zone Atlas map with the entire site clearly outlined and labeled

____ Letter of authorization from the property owner if application is submitted by an agent

____ Solid Waste Department signature on Site Plan

____ Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information

____ Approved Grading and Drainage Plan

____ Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (not required for Master Development Plans)

____ Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met

____ Site Plan and related drawings (7 copies, 24" x 36" folded to fit into an 8.5" x 14" pocket)

____ Site Plan and related drawings reduced to 8.5" x 11" format (1 copy)

____ Infrastructure List, if required

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: Asa Nilsson-Weber

Date: 8/30/19

Printed Name: Asa Nilsson-Weber

☐ Applicant or ☒ Agent

FOR OFFICIAL USE ONLY

Case Numbers:

Project Number:

Staff Signature:

Date:




FORM V: Vacations of Easements or Right-of-way and Variances – DRB

Please refer to the DRB case schedules for meeting / hearing dates and deadlines. Your attendance is required.

>> INFORMATION REQUIRED FOR ALL VARIANCE AND VACATION APPLICATIONS

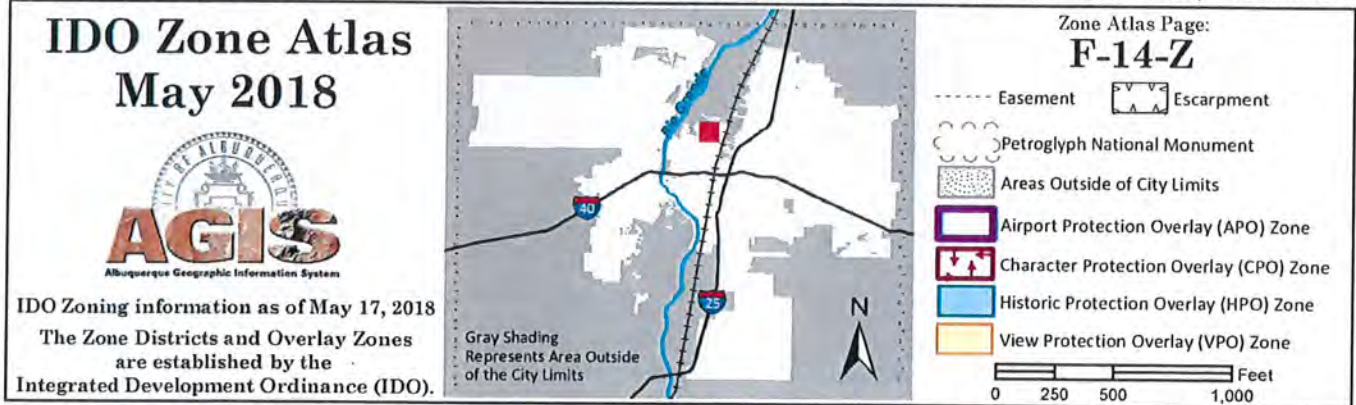
- ☐ NO Interpreter Needed for Hearing? _____ if yes, indicate language: _____
- ☒ A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form V at the front followed by the remaining documents in the order provided on this form.
- ☒ Zone Atlas map with the entire site clearly outlined and labeled
- ☒ Letter of authorization from the property owner if application is submitted by an agent
- ☒ **VARIANCE – DRB Requires Public Hearing**
- ☒ Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(L)(3), compliance with the DPM, and all improvements to be waived, as applicable. *Note: If the request is based on a bulk land transfer, an application for Subdivision of Land – Minor shall be filed concurrently with the variance request and notice shall be provided on that plat regarding the applicant's agreement that building permits shall not be issued before further action by the DRB.*
- ☒ Scale drawing showing the location of the proposed variance or waiver, as applicable (7 copies, not to exceed 8.5" by 14")
- ☒ Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)
- ☒ Office of Neighborhood Coordination neighborhood meeting inquiry response
- ☒ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
- ☐ If a meeting was requested/held, copy of sign-in sheet and meeting notes
- ☒ Required notices with content per IDO Section 14-16-6-4(K)(6)
- ☒ Office of Neighborhood Coordination Public Notice Inquiry response
- ☒ Proof of emailed notice to affected Neighborhood Association representatives
- ☒ **VACATION OF PRIVATE EASEMENT Requires Public Hearing One (1)**
- ☒ **VACATION OF PUBLIC EASEMENT Requires Public Hearing One (1)**
- ☐ **VACATION OF RIGHT-OF-WAY – DRB Requires Public Hearing**
- ☐ **VACATION OF RIGHT-OF-WAY – COUNCIL Requires Public Hearing**
- ☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(K)(3)
- ☒ Copy of the complete document which created the easement(s) (7 copies, folded)
Not required for City owned public right-of-way.
- ☒ Drawing showing the easement or right-of-way to be vacated (7 copies, not to exceed 8.5" by 11")
- ☒ If easements, list number to be vacated 2
- ☐ If right-of-way, square footage to be vacated (see IDO Section 14-16-6-6(K) _____)
- ☒ Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)
- ☒ Office of Neighborhood Coordination neighborhood meeting inquiry response
- ☒ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
- ☒ If a meeting was requested/held, copy of sign-in sheet and meeting notes
- ☒ Required notices with content per IDO Section 14-16-6-4(K)(6)
- ☒ Office of Neighborhood Coordination notice inquiry response, notifying letter, and proof of first class mailing
- ☒ Proof of emailed notice to affected Neighborhood Association representatives
- ☒ Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing
- ☒ Sign Posting Agreement (not required for easements if IDO Section 14-16-6-6(K)(2)(a) is satisfied)
- The vacation must be shown on a DRB approved plat recorded by the County Clerk within one year, or it will expire.**
- ☒ **TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION**
- ☐ **EXTENSION OF THE IIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION**
- ☒ Letter describing, explaining, and justifying the deferral or extension
- ☒ Drawing showing the sidewalks subject to the proposed deferral or extension (7 copies, not to exceed 8.5" by 14")

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: <u>Asa Nilsson-Weber</u>	Date: <u>8/30/19</u>
Printed Name: <u>Asa Nilsson-Weber</u>	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Case Numbers:	Project Number:
Staff Signature:	
Date:	



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

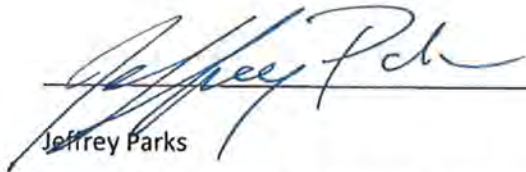


712 Montano Letter of Agent Authorization

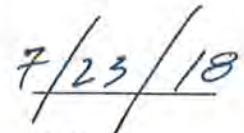
To Whom it May Concern:

I, Jeffrey Parks, as representative of the Sarita R Perla Irrevocable Trust, do provide Montano Family Homes, LLC, and their managers Nathan Troyer and Tim Nisly full authorization to serve as my agent for all matters related to the rezone, replat, and development of 712 Montano NW, Albuquerque, NM ⁸⁷¹⁰⁷ ^{TP} ^{9/10}

Signed,



Jeffrey Parks



Dated

Successor Trustee of the Sarita R Perla Irrevocable Trust

712 Montano Letter of Agent Authorization

To Whom it May Concern:

I, Tim Nisly, as representative of Montano Family Homes, LLC, do provide Isaacson & Arfman Engineering full authorization to serve as my agent for all matters related to the replat and development of 712 Montano NW, Albuquerque, NM, 87102.

Signed,

A handwritten signature in black ink, appearing to read 'Tim Nisly', is written over a solid horizontal line. The signature is stylized with a large 'T' and a prominent 'N'.

Tim Nisly

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: Montano Family Homes, LLC DATE OF REQUEST: 08/30/19 ZONE ATLAS PAGE(S): F-14

CURRENT:

ZONING R-A

PARCEL SIZE (AC/SQ. FT.) 1.7110 AC

LEGAL DESCRIPTION:

LOT OR TRACT # 6-A-2 BLOCK # _____

SUBDIVISION NAME North Fourth Street Homesite Addition

REQUESTED CITY ACTION(S):

ANNEXATION ☐

ZONE CHANGE ☐: From _____ To _____

SECTOR, AREA, FAC, COMP PLAN ☐

AMENDMENT (Map/Text) ☐

SITE DEVELOPMENT PLAN:

SUBDIVISION* ☒ AMENDMENT ☐

BUILDING PERMIT ☐ ACCESS PERMIT ☐

BUILDING PURPOSES ☐ OTHER ☐

*includes platting actions

PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT ☐

NEW CONSTRUCTION ☒

EXPANSION OF EXISTING DEVELOPMENT ☐

GENERAL DESCRIPTION OF ACTION:

OF UNITS: 8 Lots

BUILDING SIZE: _____ (sq. ft.)

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE Åsa Nilsson-Weber

DATE 8/30/19

(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2nd St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES ☐ NO ☒ BORDERLINE ☐

THRESHOLDS MET? YES ☐ NO ☒ MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: ☐
Notes:

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

[Signature]
TRAFFIC ENGINEER

8/30/19
DATE

Required TIS **must be completed prior to applying to the EPC and/or the DRB.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / /
-FINALIZED / /

TRAFFIC ENGINEER _____

DATE _____

Revised January 20, 2011

FORM DRWS: DRAINAGE REPORT/GRADING AND DRAINAGE PLAN / WATER & SANITARY SEWER AVAILABILITY

THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR SUBDIVISIONS AND SITE PLANS.

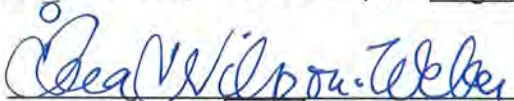
PROJECT NAME: Bosque Escondido

AGIS MAP # F-14

LEGAL DESCRIPTIONS: Tract 6-A-2, North Fourth Street Homesites Addition

☒ **DRAINAGE REPORT/GRADING AND DRAINAGE PLAN**

A drainage report/grading and drainage plan, as per the Drainage Ordinance, was submitted to the City of Albuquerque Planning Department, Hydrology Division (2nd /Ground Floor, Plaza del Sol) on August 30, 2019 (date).


Applicant/Agent Asa Nilsson-Weber

8/30/19
Date


Hydrology Division Representative

8/30/19
Date


NOTE: A GRADING AND DRAINAGE PLAN MUST BE APPROVED PRIOR TO DRB APPROVAL

☒ **WATER AND SEWER AVAILABILITY STATEMENT**

A complete request for Water and Sanitary Sewer Availability was made for this project to the Water Authority (online: http://www.abcwua.org/Availability_Statements.aspx) on October 4, 2019 (date).


Applicant/Agent Asa Nilsson-Weber

8/30/19
Date


ABCWUA Representative

8/30/19
Date

PROJECT # _____



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: Bosque Escondido Building Permit #: _____ Hydrology File #: F-14
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Tract 6-A-2, North Fourth Street Homesites Addition
City Address: _____

Applicant: Isaacson & Arfman, PA Contact: Åsa Nilsson-Weber
Address: 128 Monroe Street NE - Albuquerque, NM 87108
Phone#: (505) 268-8828 Fax#: _____ E-mail: asaw@iacivil.com
Owner: Montano Family Homes, LLC Contact: Tim Nisly
Address: 607 Atlantic Ave. SW - Albuquerque, NM 87102
Phone#: (505) 362-6824 Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL: ☒ PLAT (8 # OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE MASTER PLAN
- ☒ DRAINAGE REPORT
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☒ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG, PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____



DATE SUBMITTED: August 30, 2019 By: Åsa Nilsson-Weber

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

October 4, 2018

ChairTrudy E. Jones
City of Albuquerque
Councilor, District 8**Vice Chair**Debbie O'Malley
County of Bernalillo
Commissioner, District 1Pat Davis
City of Albuquerque
Councilor, District 6Timothy M. Keller
City of Albuquerque
MayorKlarissa J. Peña
City of Albuquerque
Councilor, District 3Steven Michael Quezada
County of Bernalillo
Commissioner, District 2Lonnie Talbert
County of Bernalillo
Commissioner, District 4*Ex-Officio Member*
Pablo R. Rael
Village of Los Ranchos
Board Trustee*Executive Director*
Mark S. Sanchez*Website*
www.abcwua.orgNathan Troyer
Montano Family Homes LLC
1926 Indian School Rd. NW
Albuquerque, New Mexico 87104**RE: Water and Sanitary Sewer Availability Statement #180816
Montano Family Property
712 Montano Rd. NW**

Dear Mr. Troyer:

Project Description: The subject site is located on Montano Rd. east of Villa Canela Ct. within the City of Albuquerque. The proposed development consists of approximately 1.7 acres and the property is currently zoned RA-2 for residential/agricultural use. The property lies within the Pressure Zone 1E in the Montgomery trunk. The request for availability indicates plans to subdivide the existing lot to accommodate between six to ten single family homes.

Existing Conditions: Water infrastructure in the area consists of the following:

- Six inch cast iron distribution main (project #03-52-59) along Montano Rd.
- 30 inch cast iron transmission main (project #03-52-59) along Montano Rd.

Sanitary sewer infrastructure in the area consists of the following:

- Eight inch PVC collector line (project #26-2604-84) along Montano Rd.
- Eight inch PVC collector line (project #26-3255-98) along Montano Rd.

Water Service: New metered water service to the property can be contingent upon a developer funded project to extend a public distribution main from the existing six inch waterline along Montano Rd., internal to the site the length required for each proposed lot to obtain a perpendicular service. Please note that connection to the 30 inch transmission main is prohibited. Existing metered service that will not be utilized is to be removed by shutting the valve near the distribution main and capping the line near the valve. Service is also contingent upon compliance with the Fire Marshal's instantaneous fire flow requirements. Water service will not be sold without adequate fire protection. Water service will only be sold in conjunction with sanitary sewer service.

Sanitary Sewer Service: Sanitary sewer service can be provided contingent upon a developer funded project to extend a public collector line from the existing eight inch collector along Montano Rd., internal to the site the length required for each proposed lot to obtain a perpendicular service.

Fire Protection: A standard residential fire flow has been applied to the existing infrastructure and can currently be met. Analysis was performed by simulating flow from a hypothetical connection point located along the property frontage on the existing six inch waterline. All new required hydrants as well as their exact locations must be

determined through the City of Albuquerque Fire Marshal's Office and verified through the Utility Development Office prior to sale of service.

Cross Connection Prevention: Approved dual check valves shall be installed on all water services within pressure zones 0W, 1W and 1E. Any residential premises having existing private wells and who desire to connect to the public water system shall have two options as follows: 1) Customers shall permanently abandon the use of private wells by plugging the wells as accepted by the Water Authority prior to connecting to the public water system; or 2) Customers who choose to maintain their private wells shall completely sever the private well from the premises' potable plumbing system and shall install a reduced pressure principle backflow prevention assembly approved by the Water Authority at the terminal end of the water service from the public water system (e.g., service connection).

Easements: Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated rights-of-way. A minimum width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. Easements for standard sized water meters need to be five feet by five feet and include the length of the water service if located on private property. For larger meters that require a meter vault, a 35 feet by 35 feet easement is required. Actual easement widths may vary depending on the depth of the lines to be installed. Side yard easements are not acceptable for either water or sanitary sewer. Acceptable easements must be documented prior to approval of service.

Pro Rata: Pro Rata is not owed and the property can utilize the services available upon completion of the requirements of this statement to connect to water and sanitary sewer.

Design and Construction of all required improvements will be at the developer / property owner's expense. Improvements must be coordinated through the City of Albuquerque via the Work Order process. Designs must be performed by a licensed, New Mexico registered, professional engineer. Construction must be performed by a licensed and bonded public utility contractor.

Costs and Fees: In addition to installation and construction costs, any new metered water services will be subject to both water and sanitary sewer Utility Expansion Charges (UEC) payable at the time of service application. All charges and rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized.

Water Use: All new development shall be required to meet the standard water usage of 180 gallons per household per day which is equivalent to 75 gallons per capita per day.

Closure: This availability statement provides a commitment from the Water Authority to provide services to the development, as long as identified conditions are met. It will remain in effect for a period of one year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed

development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at kcadena@abcwua.org if you have questions regarding the information presented herein or need additional information.

Sincerely,



Mark S. Sanchez
Executive Director

Enclosures: Infrastructure Maps (2)
f/ Availability Statement 180816

180816 - Water



Legend

Project Location

Valve

Hydrant

Pipe

SUBTYPE

Distribution Line

Hydrant Leg

0 250 500 Feet

General Map Keyed Notes

1. Proposed Distribution Line

Fire Flow Analysis Points

1. Analysis Point



Water Utility
Authority

180816 - Sanitary Sewer



Legend

- Project Location
- Sewer Manhole

Sewer Pipe SUBTYPE

COLLECTOR

0 250 500 Feet

--- General Map Keyed Notes

1. -- Proposed Collector Line



Water Utility
Authority



August 30, 2019

Ms. Kym Dicome
DRB Chair
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87103

RE: Bosque Escondido Site Plan
Existing Legal: Tract 6-A-2, Fourth Street Homesites Addition
Zone Atlas Map: F-14

Dear Ms. Dicome:

Isaacson & Arfman, acting as agents for the Developer of the above referenced site located south of Montano Rd. NW, west of 4th St. and east of 9th St. is submitting a request for approval of a site plan, design variances, sidewalk deferral and easement vacation for an 8-lot residential development. The site will be developed as a cluster development with 30 percent of site area dedicated as private open space. The open space area will also be encumbered with a drainage easement for ponding.

If you have questions regarding this submittal, please call me at 268-8828 or email at asaw@iacivil.com.

Thank you.

Sincerely,

ISAACSON & ARFMAN, P.A.

Åsa Nilsson-Weber, P.E.

Attachments



August 30, 2019

Ms. Kym Dicome
DRB Chair
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87103

RE: DRB #2018-001399
Existing Legal: Tract 6-A-2, Fourth Street Homesites Addition
Zone Atlas F-14

SUBJ: Variance Request and Justifications
Easement Vacation Request and Justifications

Dear Ms. Dicome,

Isaacson & Arfman, acting as agents for Montano Family Homes is submitting a request for approval of a design variance, including sidewalk waiver and street and right-of-way widths, for the referenced property. The site is located south of Montano Rd. NW, west of 4th St. and east of 9th St.

Please see the following for a summary of proposed street improvements, DPM requirements and the variances requested along with justifications. The variance requests are shown on the attached variance exhibit.

ESCONDIDO LN Private Road.

Required per DPM: 32' easement (lots fronting on one side) for road serving 8 lots; 24' gravel; 4' sidewalks where lots are fronting; 20' curves at roadway connection
22' easement and 22' gravel for private road serving 2 lots

Proposed: 30'/26' easement widths; 24' asphalt (lots 1-4); 20' asphalt at hammerhead;
15' easement and gravel (lots 5-6 and 7-8); 4' sidewalks adjacent to lots 1-4.

Variance request:

1. No sidewalks by the south four lots (5-8);
2. 30' easement width for street;
3. 26' easement width for hammerhead
4. 20' street width at hammerhead;
5. 15' easement widths for access drives serving lots 5-6 and 7-8;
6. 15' access with for access drives serving lots 5-6 and 7-8
7. Drivepad at Montano Rd entrance-The access is at an existing drivepad.
8. Dead end street

Variance Justification:

IDO: 14-16-6-6(L)(3)(a) General

2. The Variance will not be materially contrary to the public safety, health, or welfare.
3. The Variance does not cause significant material adverse impacts on surrounding properties.

IDO: 14-16-6-6(L)(3)(b) Variance to Sidewalk Requirements

- a) The area is of low-intensity land use.

Variance Justification for Dead End Street:

There are no streets to connect to in the adjoining tracts.
The adjacent properties are developed and already have access.

Easement vacation request:

1. Private access easement will be vacated per the request of the adjacent property.
2. Public utility easement will be vacated.

Easement Vacation Justification:

1. The adjacent property owner requested vacation and has access further east.
2. The easement will no longer be needed; it will be replaced with a new public utility easement.

IDO:

6-6(K)(3)(a) The public welfare does not require that the easement be retained.

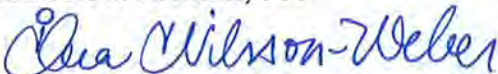
6-6(K)(3)(b) There is a net benefit to the public welfare because the development made possible by the vacation is clearly more beneficial to the public welfare than the minor detriment resulting from the vacation, and there is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

If you have questions regarding this submittal, please call me at 268-8828 or email at asaw@iacivil.com

Thank you.

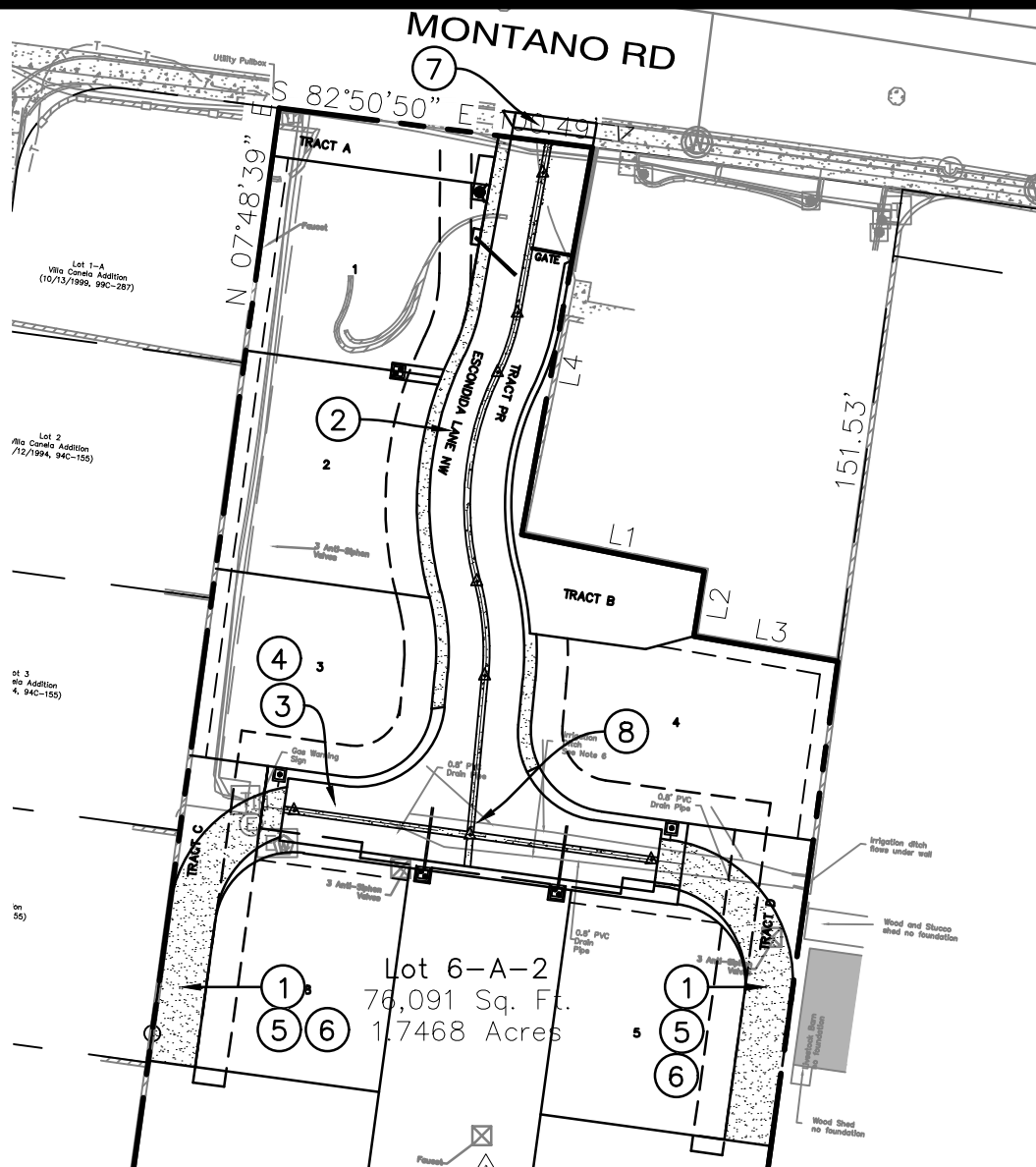
Sincerely,

Isaacson & Arfman, PA



Asa Nilsson-Weber, P.E.

Attachments



○ VARIANCE REQUEST

1. No sidewalks by the south four lots (5-8);
2. 30' easement width for street;
3. 26' easement width for hammerhead
4. 20' street width at hammerhead;
5. 15' easement widths for access drives serving lots 5-6 and 7-8;
6. 15' access with for access drives serving lots 5-6 and 7-8
7. Drivepad at Montano Rd entrance—The access is at an existing drivepad.
8. Dead end street

VARIANCE EXHIBIT

SCALE: 1"=60'



ISAACSON & ARFMAN, P.A.

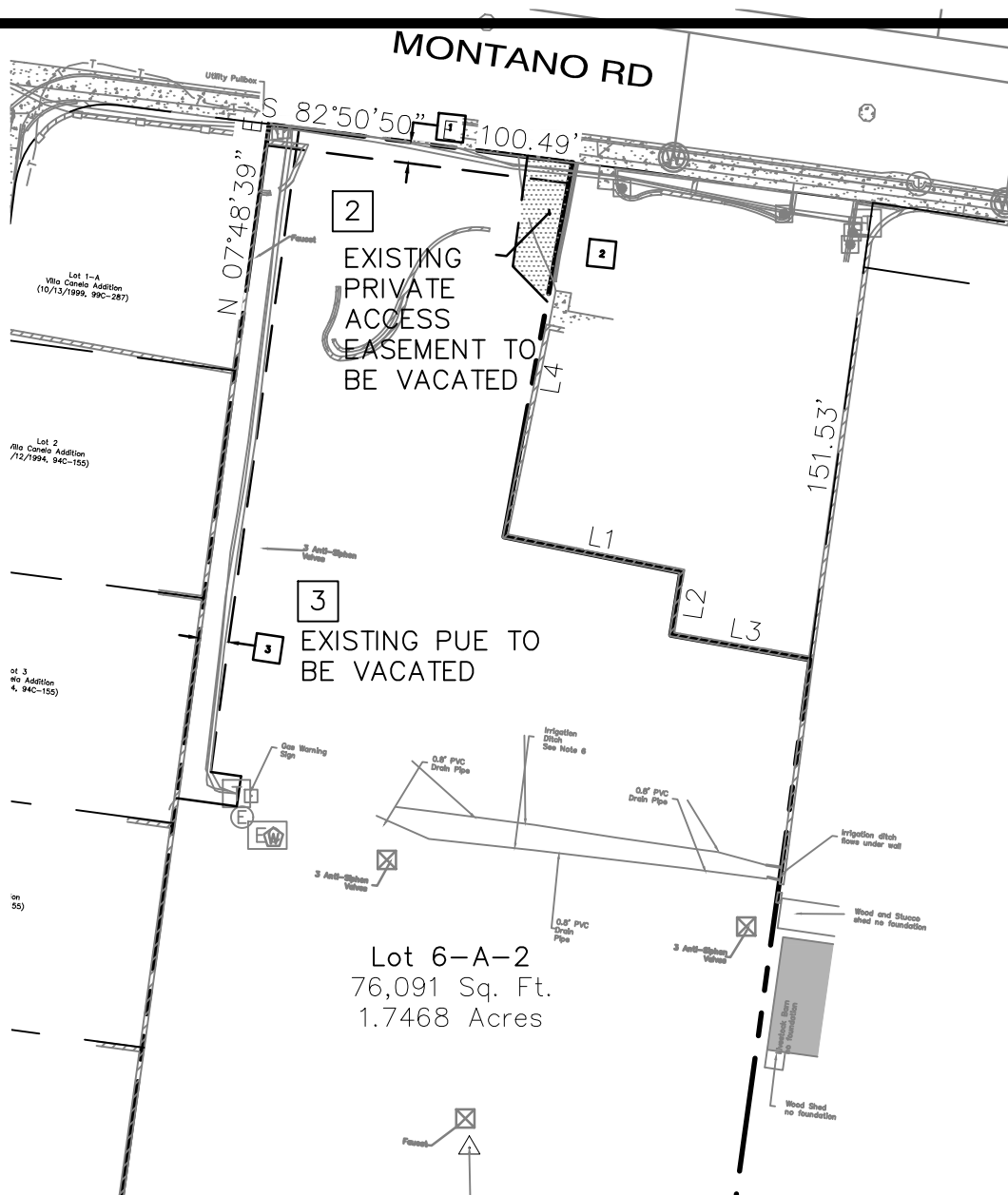
Consulting Engineering Associates
Albuquerque, New Mexico

2310 C-701-VARIANCE_EXH.dwg

Aug 30, 2019

PROJECT BOSQUE ESCONDIDO

JOB NO. 2310 BY ANW DATE 08/30/19



Easement Notes

- [2] EXISTING PRIVATE ACCESS EASEMENT FOR THE BENEFIT OF LOT 6-A-1 (1/7/2000, 2000C-7)
- [3] EXISTING 10' PNM JOINT ELECTRIC AND GAS EASEMENT (9/25/2002, PG. 2644, DOC. NO. 2002122989)

EASEMENT VACATION EXHIBIT

SCALE: 1"=60'



ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates
Albuquerque, New Mexico

2310 C-701-EASEMENT VACATION.dwg

Aug 30, 2019

PROJECT BOSQUE ESCONDIDO

JOB NO. 2310 BY ANW DATE 08/30/19

DEVELOPMENT REVIEW BOARD

Code Enforcement Comments

AGENDA ITEM NO: 12

DRB Project Number: PR-2018-001501

Application Number: _____

Project Name: _____

Request: Sketch Plat

COMMENTS:

Property is Zoned R-1C and is in an area of consistency. The proposed replat must meet the contextual standards as required in section 14-16-5-1(C)(2)(b) of the IDO. The largest lot size allowed would be .406 Acres and the smallest lot size allowed would be .243 Acres to comply with this standard. The proposed lots shown on the plan would be far smaller than is required.

This does appear to be a cluster development, section 14-16-4-3(B)(2)(b) in the cluster development requirements, does specify that contextual requirements apply to the whole project site as a whole but not to individual dwellings, this will allow smaller lot sizes however it does require the decreased lot size area be applied to the open space.

Based upon the lot size requirements shown above and the total amount of space available on the property the maximum number of units allowed is 7 dwelling units.

(Comments may continue onto the next page)

Disclaimer: The comments provided are based upon the information received from the applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning.

FROM: Benjamin McIntosh, Code Enforcement Supervisor DATE: 1/9/2019
Planning Department
924-3466 bmcintosh@cabq.gov

ACTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN ____

DELEGATED: (TRANS) (HYD) (WUA) (PRKS) (PLNG) (CE)

PLANNING DEPARTMENT
DEVELOPMENT SERVICES DIVISION
600 2nd Street NW, Ground Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3946

LETTER OF ADVICE

January 15, 2019

Strata Design, LLC
711 Amherst SW
Albq, NM 87106
Sent via email: stratadesign.nm@gmail.com

Project #:PR-2018-001501
Application #:PS-2018-00043

LEGAL DESCRIPTION:

for all or a portion of TRACT 6-A-2 NORTH
FOURTH STREET HOMESITES ADDITION, zoned R-
A, located at 712 MONTAÑO RD NW, west of 4TH
STREET, containing approximately 1.711 acre(s).
(F-14)

Per Section 14-16-6-6(J) of the Integrated Development Ordinance (IDO), this letter of Advice outlines requirements and recommendations of the project going forward. These comments are based on the drawings and documentation submitted for Sketch Plat Review and Comment at the DRB meeting of January 9, 2019. The DRB comments are attached to this letter. This letter is valid for one year from the meeting date noted above.

If you have any questions about any particular comment, contact the representative who made the comments.

Sincerely,



Kym Dicome
DRB Chair

August 15, 2019

Re: Neighborhood Meeting about Future Development Application

Dear Neighborhood Association Representative,

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) **Subsection 14-16-6-4(C) Neighborhood Meeting**, we are providing you an opportunity to discuss the following application(s) we will be making for a project proposed in or near your neighborhood:

Subdivision – Major including the following:

- **Site Plan-DRB (8 lots)**
- **Vacation of Easement**
- **Variance-DRB**
- **Sidewalk Deferral**

This would be an informal meeting where the *Agent and Owner* would present the proposal, and we can discuss any ideas or concerns you may have.

Contact Information

Tim Nisly, Owner
Tnisly@gmail.com
505.328.8848

Michelle Negrette, Agent
Stratadesign.nm@gmail.com

Project or Development Proposal

The subdivision of 712 Montano Road NW to include a Cluster Development with 8 lots for single-family homes. Access to the property will be via a private drive.

Per the IDO, you have 15 days from the date of this letter to respond, by either 1) requesting a meeting or 2) declining the meeting. If you do not respond within 15 days, you are waiving the opportunity for a Neighborhood Meeting, and we can submit our application anytime thereafter. We would like to submit our application on this date: **August 30, 2019**

If you would like to meet, please let us know when your next regular neighborhood meeting is scheduled or provide a few alternative dates that fall within 30 days of your response to this letter.

Before submitting our application, we will send Mailed and/or Emailed Public Notice as required by IDO Table 6-1-1 to make you aware of the public hearing at which the project will be reviewed and decided by the City.

Useful Links

Integrated Development Ordinance (IDO):

<http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Sincerely,

Tim Nisly, Owner
Tnisly@gmail.com
505.328.8848



Åsa Weber <asaw@iacivil.com>

Fwd: IDO Notification - 712 Montano

1 message

Tim Nisly <tnisly@gmail.com>
To: Åsa Weber <asaw@iacivil.com>

Fri, Aug 23, 2019 at 3:51 PM

----- Forwarded message -----

From: **Tim Nisly** <tnisly@gmail.com>
Date: Thu, Aug 15, 2019 at 2:56 PM
Subject: Re: IDO Notification - 712 Montano
To: don newman <don.newman@mac.com>, <kjboutz@gmail.com>, Doyle Kimbrough <newmexmba@aol.com>, <peggynorton@yahoo.com>
CC: Michelle Negrette <stratadesign.nm@gmail.com>, Nathan Troyer <troyerhomesllc@gmail.com>

Don, Karen, Doyle, Peggy,

Attached is a revised letter for the development on 712 Montano. Thanks!
-Tim*The sender has requested a read receipt. If you do not wish to provide one, [click here](#).*On Wed, Aug 7, 2019 at 9:15 AM Tim Nisly <tnisly@gmail.com> wrote:
Good morning!

Please see the attached notification letter. Let us know if you have any questions or would like to connect about this project to build our family homes in the North Valley.

Best,
-Tim Nisly & Nathan Troyer

Montano Family Homes, LLC

The sender has requested a read receipt. If you do not wish to provide one, [click here](#).

 Neighborhood Meeting Letter Revised.pdf
187K



Ruth Lozano <ruthl@iacivil.com>

Public Notice Inquiry_712 Montano Road NW_DRB

1 message

Quevedo, Vicente M. <vquevedo@cabq.gov>
 To: "ruthl@iacivil.com" <ruthl@iacivil.com>

Thu, Aug 15, 2019 at 4:11 PM

Ruth,

See list of associations below and attached regarding your DRB submittal. In addition, we have included web links below that will provide you with additional details about the new Integrated Development Ordinance (IDO) requirements. The web links also include notification templates that you may utilize when contacting each association. Thank you.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
Los Poblanos NA	Karon	Boutz	kjboutz@gmail.com	1007 Sandia Road NW	Albuquerque	NM	87107		5053456002
Los Poblanos NA	Don	Newman	don.newman@mac.com	5723 Guadalupe Trail NW	Albuquerque	NM	87107		5053443900
North Valley Coalition	Doyle	Kimbrough	newmexmba@aol.com	2327 Campbell Road NW	Albuquerque	NM	87104	5052490938	5053441364
North Valley Coalition	Peggy	Norton	peggynorton@yahoo.com	P.O. Box 70232	Albuquerque	NM	87197	5058509293	5053459567

IDO – Public Notice Requirements & Template: <https://www.cabq.gov/planning/urban-design-development/public-notice>

IDO – Neighborhood Meeting Requirements & Template: <https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

IDO - Administration & Enforcement section: <http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17-Part6.pdf>

Respectfully,

Vicente M. Quevedo, MCRP

Neighborhood Liaison

Office of Neighborhood Coordination

City of Albuquerque – City Council

(505) 768-3332

Website: www.cabq.gov/neighborhoods

Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] On Behalf Of ISD WebMaster

Sent: Thursday, August 15, 2019 1:58 PM

To: Office of Neighborhood Coordination <ruthl@iacivil.com>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:

Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Ruth Lozano

Telephone Number

505-268-8828

Email Address

ruthl@iacivil.com

Company Name

Isaacson & Arfman, PA

Company Address

128 Monroe Street NE

City

Albuquerque

State

NM

ZIP

87108

Legal description of the subject site for this project:

Tract 6-A-2, North Fourth Street Homesites Addition

Physical address of subject site:

712 Montano Road NW

Subject site cross streets:

Off of Montano Road NW between 9th & 4th Streets NW

Other subject site identifiers:

This site is located on the following zone atlas page:

F-14

=====

This message has been analyzed by Deep Discovery Email Inspector.

2 attachments

IDO ZONE MAP F-14.pdf

1458K



Public Notice Inquiry_712 Montano Road NW_DRB.xlsx

15K



August 30, 2019

Karon Boutz
Los Poblanos NA
1007 Sandia Road NW
Albuquerque, NM 87107

RE: Bosque Escondido
(Existing Legal: Tract 6-A-2, North Fourth Street Homesites Addition)

Dear Ms. Boutz:

As the agent/applicant and engineer for the developer of this property shown on the attached zone atlas map, I would like to inform you that we are submitting an application to the City of Albuquerque Development Review Board (DRB) requesting approvals for the following:

- Site Plan – DRB (8-lot subdivision)
- Vacation of Easements
- Design Variance

The DRB hearing will take place on September 25, 2019, at the City of Albuquerque, Plaza del Sol, 600 2nd NW, basement conference room. If you have questions please call me at 505-268-8828 or email at asaw@iacivil.com.

Thank you.

Sincerely,
ISAACSON & ARFMAN

Åsa Nilsson-Weber

Attachment



August 30, 2019

Don Newman
Los Poblanos NA
5723 Guadalupe Trail NW
Albuquerque, NM 87107

RE: Bosque Escondido
(Existing Legal: Tract 6-A-2, North Fourth Street Homesites Addition)

Dear Mr. Newman:

As the agent/applicant and engineer for the developer of this property shown on the attached zone atlas map, I would like to inform you that we are submitting an application to the City of Albuquerque Development Review Board (DRB) requesting approvals for the following:

- Site Plan – DRB (8-lot subdivision)
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Thank you.

Sincerely,
ISAACSON & ARFMAN

Åsa Nilsson-Weber

Attachment



August 30, 2019

Doyle Kimbrough
North Valley Coalition
2327 Campbell Road NW
Albuquerque, NM 87104

RE: Bosque Escondido
(Existing Legal: Tract 6-A-2, North Fourth Street Homesites Addition)

Dear Mr. Kimbrough:

As the agent/applicant and engineer for the developer of this property shown on the attached zone atlas map, I would like to inform you that we are submitting an application to the City of Albuquerque Development Review Board (DRB) requesting approvals for the following:

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Thank you.

Sincerely,
ISAACSON & ARFMAN

Åsa Nilsson-Weber

Attachment



August 30, 2019

Peggy Norton
North Valley Coalition
P.O. Box 70232
Albuquerque, NM 87197

RE: Bosque Escondido
(Existing Legal: Tract 6-A-2, North Fourth Street Homesites Addition)

Dear Ms. Norton:

As the agent/applicant and engineer for the developer of this property shown on the attached zone atlas map, I would like to inform you that we are submitting an application to the City of Albuquerque Development Review Board (DRB) requesting approvals for the following:

- Site Plan – DRB (8-lot subdivision)
- Vacation of Easements
- Design Variance

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Thank you.

Sincerely,
ISAACSON & ARFMAN

Åsa Nilsson-Weber

Attachment



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108

Karon Boutz
Los Poblanos NA
1007 Sandia Road NW
Albuquerque, NM 87107



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108

Don Newman
Los Poblanos NA
5723 Guadalupe Trail NW
Albuquerque, NM 87107





ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108



Doyle Kimbrough
North Valley Coalition
2327 Campbell Road NW
Albuquerque, NM 87104



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108



Peggy Norton
North Valley Coalition
P.O. Box 70232
Albuquerque, NM 87197



Ruth Lozano <ruthl@iacivil.com>

Re: BOSQUE ESCONDIDO - DRB APPLICATION FOR SITE PLAN, VACATION OF EASEMENTS, DESIGN

1 message

Ruth Lozano <ruthl@iacivil.com>

Fri, Aug 30, 2019 at 7:32 AM

To: kjboutz@gmail.com, don.newman@mac.com, newmexmba@aol.com, peggynorton@yahoo.com

Cc: Asa Weber <asaw@iacivil.com>

Please see attached Zone Atlas Map F-14.

On Fri, Aug 30, 2019 at 7:15 AM Ruth Lozano <ruthl@iacivil.com> wrote:

As the agent/applicant and engineer for the developer of this property shown on the attached zone atlas map, I would like to inform you that we are submitting an application to the City of Albuquerque Development Review Board (DRB) requesting approvals for the following:

- Site Plan – DRB (8-lot subdivision)
- Vacation of Easements
- Design Variance

The DRB hearing will take place on September 25, 2019, at the City of Albuquerque, Plaza del Sol, 600 2nd NW, basement conference room. If you have questions please call me at 505-268-8828 or email at asaw@iacivil.com.

Thank you.

--

Ruth Lozano**Office Manager**

Isaacson & Arfman, P.A.

Consulting Engineering Associates

128 Monroe St. N.E.

Albuquerque, NM 87108

Phone: (505)268-8828

Fax: (505)268-2632

--

Ruth Lozano**Office Manager**

Isaacson & Arfman, P.A.

Consulting Engineering Associates

128 Monroe St. N.E.

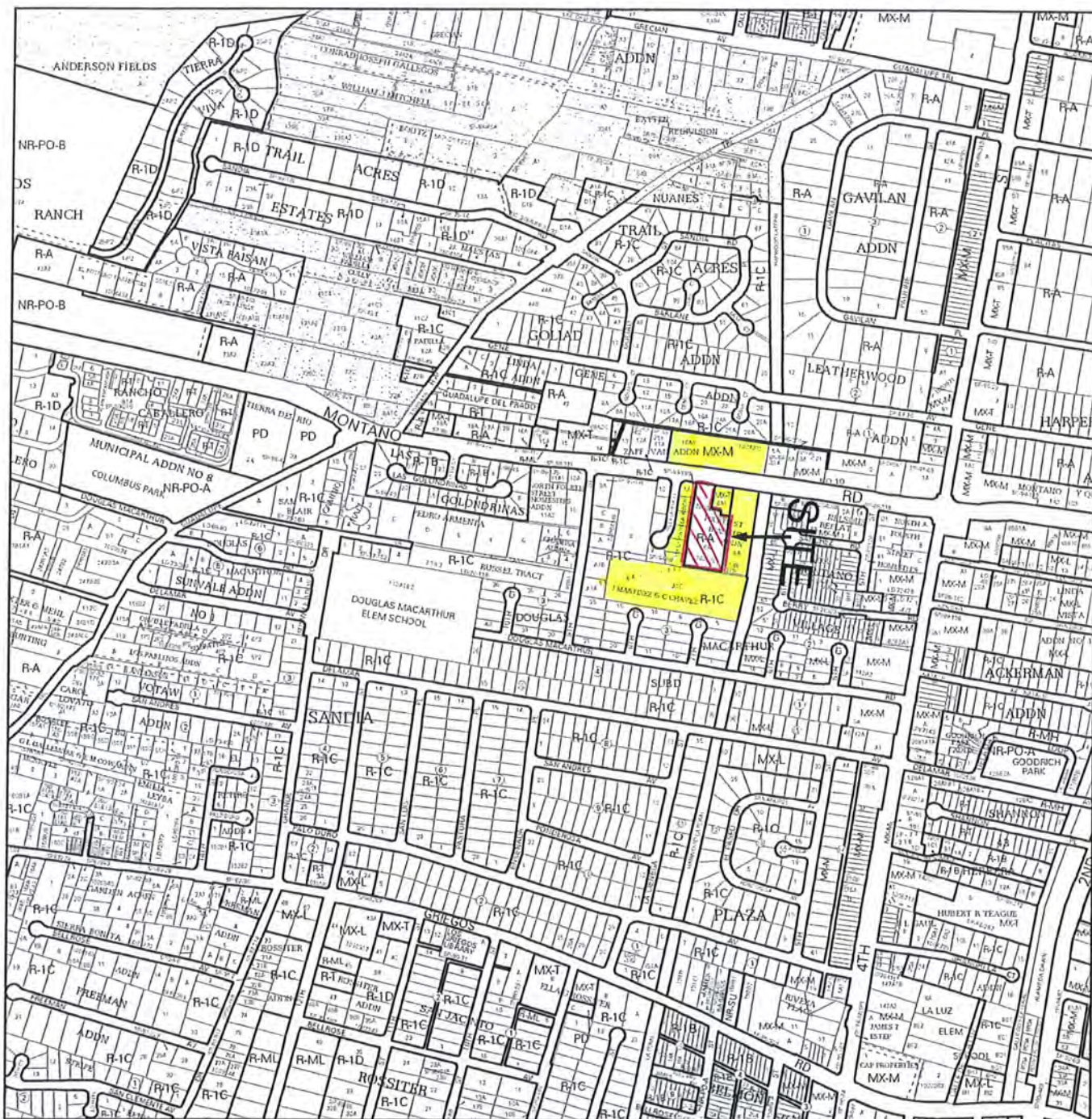
Albuquerque, NM 87108

Phone: (505)268-8828

Fax: (505)268-2632

**Zone Map F-14.pdf**

1405K



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
F-14-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet



August 30, 2019

Sarita R. Perla
Trustee Perla LVT
c/o Jeffrey Parks
P.O. Box 25312
Albuquerque, NM 87125

**RE: Bosque Escondido
(Existing Legal: Tract 6-A-2, North Fourth Street Homesites Addition)**

Dear Ms. Perla:

As the agent/applicant and engineer for the developer of this property shown on the attached zone atlas map, I would like to inform you that we are submitting an application to the City of Albuquerque Development Review Board (DRB) requesting approvals for the following:

- Site Plan – DRB (8-lot subdivision)
- Vacation of Easements
- Design Variance

The DRB hearing will take place on September 25, 2019, at the City of Albuquerque, Plaza del Sol, 600 2nd NW, basement conference room. If you have questions please call me at 505-268-8828 or email at asaw@iacivil.com.

Thank you.

Sincerely,
ISAACSON & ARFMAN

Åsa Nilsson-Weber

Attachment



August 30, 2019

Fred D. Gutierrez ETUX
5400 9th Street NW
Albuquerque, NM 87107

RE: Bosque Escondido
(Existing Legal: Tract 6-A-2, North Fourth Street Homesites Addition)

Dear Mr. Gutierrez:

As the agent/applicant and engineer for the developer of this property shown on the attached zone atlas map, I would like to inform you that we are submitting an application to the City of Albuquerque Development Review Board (DRB) requesting approvals for the following:

- Site Plan – DRB (8-lot subdivision)
- Vacation of Easements
- Design Variance

The DRB hearing will take place on September 25, 2019, at the City of Albuquerque, Plaza del Sol, 600 2nd NW, basement conference room. If you have questions please call me at 505-268-8828 or email at asaw@iacivil.com.

Thank you.

Sincerely,
ISAACSON & ARFMAN

Åsa Nilsson-Weber

Attachment



August 30, 2019

Christine Marie Sierra
5500 Villa Canela Ct. NW
Albuquerque, NM 87107

**RE: Bosque Escondido
(Existing Legal: Tract 6-A-2, North Fourth Street Homesites Addition)**

Dear Ms. Sierra:

As the agent/applicant and engineer for the developer of this property shown on the attached zone atlas map, I would like to inform you that we are submitting an application to the City of Albuquerque Development Review Board (DRB) requesting approvals for the following:

- Site Plan – DRB (8-lot subdivision)
- Vacation of Easements
- Design Variance

The DRB hearing will take place on September 25, 2019, at the City of Albuquerque, Plaza del Sol, 600 2nd NW, basement conference room. If you have questions please call me at 505-268-8828 or email at asaw@iacivil.com.

Thank you.

Sincerely,
ISAACSON & ARFMAN

Åsa Nilsson-Weber

Attachment



August 30, 2019

Ronald A. & Rose S. Fernandez
Trustees Fernandez Family Trust
5504 Villa Canela Ct. NW
Albuquerque, NM 87107

RE: Bosque Escondido
(Existing Legal: Tract 6-A-2, North Fourth Street Homesites Addition)

Dear Mr. & Mrs. Fernandez:

As the agent/applicant and engineer for the developer of this property shown on the attached zone atlas map, I would like to inform you that we are submitting an application to the City of Albuquerque Development Review Board (DRB) requesting approvals for the following:

- Site Plan – DRB (8-lot subdivision)
- Vacation of Easements
- Design Variance

The DRB hearing will take place on September 25, 2019, at the City of Albuquerque, Plaza del Sol, 600 2nd NW, basement conference room. If you have questions please call me at 505-268-8828 or email at asaw@iacivil.com.

Thank you.

Sincerely,
ISAACSON & ARFMAN

Åsa Nilsson-Weber

Attachment



August 30, 2019

Ann Louise Dressler
Susan J & Michael R. Willmarth
Mary Lynne Wolfe
5508 Villa Canela Ct. NW
Albuquerque, NM 87107

**RE: Bosque Escondido
(Existing Legal: Tract 6-A-2, North Fourth Street Homesites Addition)**

Dear: Dressler, Willmarth, Wolfe:

As the agent/applicant and engineer for the developer of this property shown on the attached zone atlas map, I would like to inform you that we are submitting an application to the City of Albuquerque Development Review Board (DRB) requesting approvals for the following:

- Site Plan – DRB (8-lot subdivision)
- Vacation of Easements
- Design Variance

The DRB hearing will take place on September 25, 2019, at the City of Albuquerque, Plaza del Sol, 600 2nd NW, basement conference room. If you have questions please call me at 505-268-8828 or email at asaw@iacivil.com.

Thank you.

Sincerely,
ISAACSON & ARFMAN

Åsa Nilsson-Weber

Attachment



August 30, 2019

Linda C. Moriarty
Trustee Moriarty RVT
5512 Villa Canela Ct. NW
Albuquerque, NM 87107

RE: Bosque Escondido
(Existing Legal: Tract 6-A-2, North Fourth Street Homesites Addition)

Dear Ms. Moriarty:

As the agent/applicant and engineer for the developer of this property shown on the attached zone atlas map, I would like to inform you that we are submitting an application to the City of Albuquerque Development Review Board (DRB) requesting approvals for the following:

- Site Plan – DRB (8-lot subdivision)
- Vacation of Easements
- Design Variance

The DRB hearing will take place on September 25, 2019, at the City of Albuquerque, Plaza del Sol, 600 2nd NW, basement conference room. If you have questions please call me at 505-268-8828 or email at asaw@iacivil.com.

Thank you.

Sincerely,
ISAACSON & ARFMAN

Åsa Nilsson-Weber

Attachment



August 30, 2019

Henry & Roslin Sandoval
5516 Villa Canela Ct. NW
Albuquerque, NM 87107

RE: Bosque Escondido
(Existing Legal: Tract 6-A-2, North Fourth Street Homesites Addition)

Dear Mr & Mrs. Sandoval:

As the agent/applicant and engineer for the developer of this property shown on the attached zone atlas map, I would like to inform you that we are submitting an application to the City of Albuquerque Development Review Board (DRB) requesting approvals for the following:

- Site Plan – DRB (8-lot subdivision)
- Vacation of Easements
- Design Variance

The DRB hearing will take place on September 25, 2019, at the City of Albuquerque, Plaza del Sol, 600 2nd NW, basement conference room. If you have questions please call me at 505-268-8828 or email at asaw@iacivil.com.

Thank you.

Sincerely,
ISAACSON & ARFMAN

Åsa Nilsson-Weber

Attachment



August 30, 2019

Kip & Lori R. Myers
1000 Quail Ct. NW
Albuquerque, NM 87114

RE: Bosque Escondido
(Existing Legal: Tract 6-A-2, North Fourth Street Homesites Addition)

Dear Mr. & Mrs. Myers:

As the agent/applicant and engineer for the developer of this property shown on the attached zone atlas map, I would like to inform you that we are submitting an application to the City of Albuquerque Development Review Board (DRB) requesting approvals for the following:

- Site Plan – DRB (8-lot subdivision)
- Vacation of Easements
- Design Variance

The DRB hearing will take place on September 25, 2019, at the City of Albuquerque, Plaza del Sol, 600 2nd NW, basement conference room. If you have questions please call me at 505-268-8828 or email at asaw@iacivil.com.

Thank you.

Sincerely,
ISAACSON & ARFMAN

Åsa Nilsson-Weber

Attachment



ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

Thomas O. Isaacson, PE(RET.) & LS(RET.) · Fred C. Arfman, PE · Åsa Nilsson-Weber, PE

August 30, 2019

St. Michaels Episcopal Church
601 Montano Road NW
Albuquerque, NM 87107

RE: Bosque Escondido
(Existing Legal: Tract 6-A-2, North Fourth Street Homesites Addition)

Dear St. Michaels Episcopal Church:

As the agent/applicant and engineer for the developer of this property shown on the attached zone atlas map, I would like to inform you that we are submitting an application to the City of Albuquerque Development Review Board (DRB) requesting approvals for the following:

- Site Plan – DRB (8-lot subdivision)
- Vacation of Easements
- Design Variance

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Thank you.

Sincerely,
ISAACSON & ARFMAN

Åsa Nilsson-Weber

Attachment



August 30, 2019

John W. & Georgiana M. Kennedy
602 Montano Road NW
Albuquerque, NM 87107

**RE: Bosque Escondido
(Existing Legal: Tract 6-A-2, North Fourth Street Homesites Addition)**

Dear Mr. & Mrs. Kennedy:

As the agent/applicant and engineer for the developer of this property shown on the attached zone atlas map, I would like to inform you that we are submitting an application to the City of Albuquerque Development Review Board (DRB) requesting approvals for the following:

- Site Plan – DRB (8-lot subdivision)
- Vacation of Easements
- Design Variance

The DRB hearing will take place on September 25, 2019, at the City of Albuquerque, Plaza del Sol, 600 2nd NW, basement conference room. If you have questions please call me at 505-268-8828 or email at asaw@iacivil.com.

Thank you.

Sincerely,
ISAACSON & ARFMAN

Åsa Nilsson-Weber

Attachment

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108



Sarita R. Perla
Trustee Perla LVT
c/o Jeffrey Parks
P.O. Box 25312
Albuquerque, NM 87125

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108



Fred D. Gutierrez ETUX
5400 9th Street NW
Albuquerque, NM 87107

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108



Christine Marie Sierra
5500 Villa Canela Ct. NW
Albuquerque, NM 87107



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108



Ronald A. & Rose S. Fernandez
Trustees Fernandez Family Trust
5504 Villa Canela Ct. NW
Albuquerque, NM 87107



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108



Ann Louise Dressler
Susan J & Michael R. Willmarth
Mary Lynne Wolfe
5508 Villa Canela Ct. NW
Albuquerque, NM 87107



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108



Linda C. Moriarty
Trustee Moriarty RVT
5512 Villa Canela Ct. NW
Albuquerque, NM 87107

ISAACSON & AREMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108



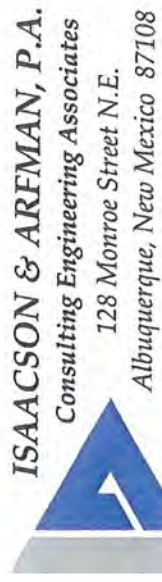
Henry & Roslin Sandoval
5516 Villa Canela Ct. NW
Albuquerque, NM 87107



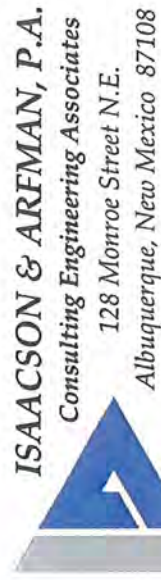
ISAACSON & AREMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108



Kip & Lori R. Myers
1000 Quail Ct. NW
Albuquerque, NM 87114



St. Michaels Episcopal Church
601 Montano Road NW
Albuquerque, NM 87107



John W. & Georgiana M. Kennedy
602 Montano Road NW
Albuquerque, NM 87107



	IA #2310	100' BUFFER NEIGHBOR ADDRESSES		
		SUBJECT PROPERTY		
		UPC	101406133625341000	
		TAXYR	2019	
		OWNER	PERLA SARITA R TRUSTEE PERLA LVT C/O JEFFREY PARKS	
		OWNADD	PO BOX 25312	
		OWNADD2	ALBUQUERQUE NM 87125-5312	
		LEGALDESC	TRACT 6-A-2 PLAT OF LOTS 6-A-1 AND 6-A-2 NORTH FOURTHSTREET HOMESITES ADDN CONT 1.7110 AC	
		UPC	101406133423541000	
		TAXYR	2019	
		OWNER	GUTIERREZ FRED D ETUX	
		OWNADD	5400 9TH ST NW	
		OWNADD2	ALBUQUERQUE NM 87107	
		LEGALDESC	LT A1C OF REPLAT OF LOT A1 LANDS OF JOHN MARTINEZ & CONRAD CHAVEZ (NOW BEING LTS A1A A1B A1C) CONT 3.912 AC	
		UPC	101406132423741000	
		TAXYR	2019	
		OWNER	SIERRA CHRISTINE MARIE	
		OWNADD	5500 VILLA CANELA CT NW	
		OWNADD2	ALBUQUERQUE NM 87107	
		LEGALDESC	LOT 6 PLAT OF VILLA CANELA ADDN (REPLAT OF LOT 7-A OF NORTHFOURTH ST HOMESITES ADDN) CONT 0.1636 AC M/L OR 7,126 SQ FTM/L	
		UPC	101406132624441000	
		TAXYR	2019	
		OWNER	FERNANDEZ RONALD A & ROSE S TRUSTEES FERNANDEZ FAMILY TRUST	
		OWNADD	5504 VILLA CANELA CT NW	
		OWNADD2	ALBUQUERQUE NM 87107-5226	
		LEGALDESC	LOT 5 PLAT OF VILLA CANELA ADDN (REPLAT OF LOT 7-A OF NORTHFOURTH ST HOMESITES ADDN) CONT 0.1705 AC M/L OR 7,427 SQ FTM/L	
		UPC	101406132825141000	
		TAXYR	2019	
		OWNER	DRESSLER ANN LOUISE & WILLMARTH SUSAN J WILLMARTH MICHAEL R & WOLFE MARY LYNNE	
		OWNADD	5508 VILLA CANELA CT NW	
		OWNADD2	ALBUQUERQUE NM 87107-5266	
		LEGALDESC	LOT 4 PLAT OF VILLA CANELA ADDN (REPLAT OF LOT 7-A OF NORTHFOURTH ST HOMESITES ADDN) CONT 0.1470 AC M/L OR 6,403 SQ FTM/L	

		UPC	101406132925841000	
		TAXYR	2019	
		OWNER	MORIARTY LINDA C TRUSTEE MORIARTY RVT	
		OWNADD	5512 VILLA CANELA CT NW	
		OWNADD2	ALBUQUERQUE NM 87107-5266	
		LEGALDESC	LOT 3 PLAT OF VILLA CANELA ADDN (REPLAT OF LOT 7-A OF NORTHFOURTH ST HOMESITES ADDN) CONT 0.1380 AC M/L OR 6,011 SQ FTM/L	
		UPC	101406133026641000	
		TAXYR	2019	
		OWNER	SANDOVAL HENRY & ROSLIN	
		OWNADD	5516 VILLA CANELA CT NW	
		OWNADD2	ALBUQUERQUE NM 87107	
		LEGALDESC	LOT 2 PLAT OF VILLA CANELA ADDN (REPLAT OF LOT 7-A OF NORTHFOURTH ST HOMESITES ADDN) CONT 0.1380 AC M/L OR 6,011 SQ FTM/L	
		UPC	101406133127341000	
		TAXYR	2019	
		OWNER	MYERS KIP & LORI R	
		OWNADD	1000 QUAIL CT NW	
		OWNADD2	ALBUQUERQUE NM 87114	
		LEGALDESC	LOT 1-A PLAT OF LOT 1-A VILLA CANELA ADDITIONCONT 0.1450 AC	
		UPC	101406135030010000	
		TAXYR	2019	
		OWNER	ST MICHAELS EPISCOPAL CHURCH	
		OWNADD	601 MONTANO RD NW	
		OWNADD2	ALBUQUERQUE NM 87107-5226	
		LEGALDESC	LT 10-A-1 PLAT OF LT 10-A-1 ZAPF-VAN ADDN NO. 10 (A REPLOF LTS 9-A & 10-A ZAPF-VAN ADDN NO. 10) CONT 1.9700 AC	

Bernalillo County Parcels

UPC: 101406136025641913

Owner: KENNEDY JOHN W & GEORGIANA M
TRUSTEES KENNEDY RVLT

Owner Address: 602 MONTANO RD NW
ALBUQUERQUE NM 87107-5227

Situs Address: 602 MONTANO RD NW
ALBUQUERQUE NM 87107

Legal Description: LT 5A PLAT OF LTS 5A & 5B
NORTH FOURTH STREET HOMESITES
ADDNBEING A REPL OF LT 5 CONT 1.3311 AC
+- / 57,983 SQ FT +-
101406136025641913

Acres: 1.33

Tax Year: 2019

SITE PLAN CHECKLIST

Project #: _____ Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.



AUGUST 29, 2019

Applicant or Agent Signature / Date

Michelle Negrette, Strata Design, LLC
Items 1, 2, 5, 6

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

- ☒ 1. Date of drawing and/or last revision
- ☒ 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- X 3. Bar scale
- X 4. North arrow
- X 5. Legend
- X 6. Scaled vicinity map
- X 7. Property lines (clearly identify)
- X 8. Existing and proposed easements (identify each)
- N/A 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- N/A A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- N/A B. Square footage of each structure
- N/A C. Proposed use of each structure
- N/A D. Signs (freestanding) and other improvements
- X E. Walls, fences, and screening: indicate height, length, color and materials
- X F. Dimensions of all principal site elements or typical dimensions
- N/A G. Loading facilities
- X H. Site lighting (indicate height & fixture type)
- X I. Indicate structures within 20 feet of site
- N/A J. Elevation drawing of refuse container and enclosure, if applicable.
- X K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- N/A A. Parking layout with spaces numbered per aisle and totaled.
 - ___ 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - ___ 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - ___ 3. On street parking spaces
- N/A B. Bicycle parking & facilities
 - ___ 1. Bicycle racks – location and detail
 - ___ 2. Other bicycle facilities, if applicable
- X C. Vehicular Circulation (Refer to DPM and IDO)
 - X 1. Ingress and egress locations, including width and curve radii dimensions
 - N/A 2. Drive aisle locations, including width and curve radii dimensions
 - N/A 3. End aisle locations, including width and curve radii dimensions
 - N/A 4. Location & orientation of refuse enclosure, with dimensions
 - N/A 5. Loading, service area, and refuse service locations and dimensions
- N/A D. Pedestrian Circulation
 - ___ 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- ☐ 2. Location and dimension of drive aisle crossings, including paving treatment
- ☐ 3. Location and description of amenities, including patios, benches, tables, etc.

N/A E. Off-Street Loading

- ☐ 1. Location and dimensions of all off-street loading areas

N/A F. Vehicle Stacking and Drive-Through or Drive-Up Facilities

- ☐ 1. Location and dimensions of vehicle stacking spaces and queuing lanes
- ☐ 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
- ☐ 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

☒ A. Locate and identify adjacent public and private streets and alleys.

- ☒ 1. Existing and proposed pavement widths, right-of-way widths and curve radii
- N/A 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
- N/A 3. Location of traffic signs and signals related to the functioning of the proposal
- ☒ 4. Identify existing and proposed medians and median cuts
- ☒ 5. Sidewalk widths and locations, existing and proposed
- ☒ 6. Location of street lights
- ☒ 7. Show and dimension clear sight triangle at each site access point
- ☒ 8. Show location of all existing driveways fronting and near the subject site.

N/A B. Identify Alternate transportation facilities within site or adjacent to site

- ☐ 1. Bikeways and bike-related facilities
- ☐ 2. Pedestrian trails and linkages
- ☐ 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- N/A A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- ☒ 1. Scale - must be same as scale on sheet #1 - Site plan
- ☒ 2. Bar Scale
- ☒ 3. North Arrow
- ☒ 4. Property Lines
- ☒ 5. Existing and proposed easements
- ☒ 6. Identify nature of ground cover materials
 - ☒ A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - ☒ B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - ☒ C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- X 7. Identify type, location and size of plantings (common and/or botanical names).
 - N/A A. Existing, indicating whether it is to be preserved or removed.
 - X B. Proposed, to be established for general landscaping.
 - N/A C. Proposed, to be established for screening/buffering.
- N/A 8. Describe irrigation system – Phase I & II...
- N/A 9. Planting Beds, indicating square footage of each bed
- N/A 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- X 11. Responsibility for Maintenance (statement)
- N/A 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- N/A 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- N/A 14. Planting or tree well detail
- X 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- N/A 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- N/A 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 – GRADING AND DRAINAGE PLAN

Oliver Wilson-Weller, Isaacson & Arfman

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- ✓ 1. Scale - must be same as Sheet #1 - Site Plan *1"=20' for legibility*
- ✓ 2. Bar Scale
- ✓ 3. North Arrow
- ✓ 4. Property Lines
- ✓ 5. Existing and proposed easements
- ✓ 6. Building footprints
- ✓ 7. Location of Retaining walls

B. Grading Information

ON GRADING PLAN

- ✓ 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.

ON GRADING PLAN: ✓ 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.

ON GRADING PLAN: ✓ 3.

- Identify ponding areas, erosion and sediment control facilities.

ON GRADING PLAN: ✓ 4.

Cross Sections

Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

Dee Wilson Weber, Isaac and Arfman

- ~~SEE PLAT A~~ ☒ FIRE hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- ~~SEE PLAT B~~ ☒ Distribution lines
- ~~SEE PLAT C~~ ☒ Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- ~~SEE PLAT D~~ ☒ Existing water, sewer, storm drainage facilities (public and/or private).
- ~~SEE PLAT E~~ ☒ Proposed water, sewer, storm drainage facilities (public and/or private)

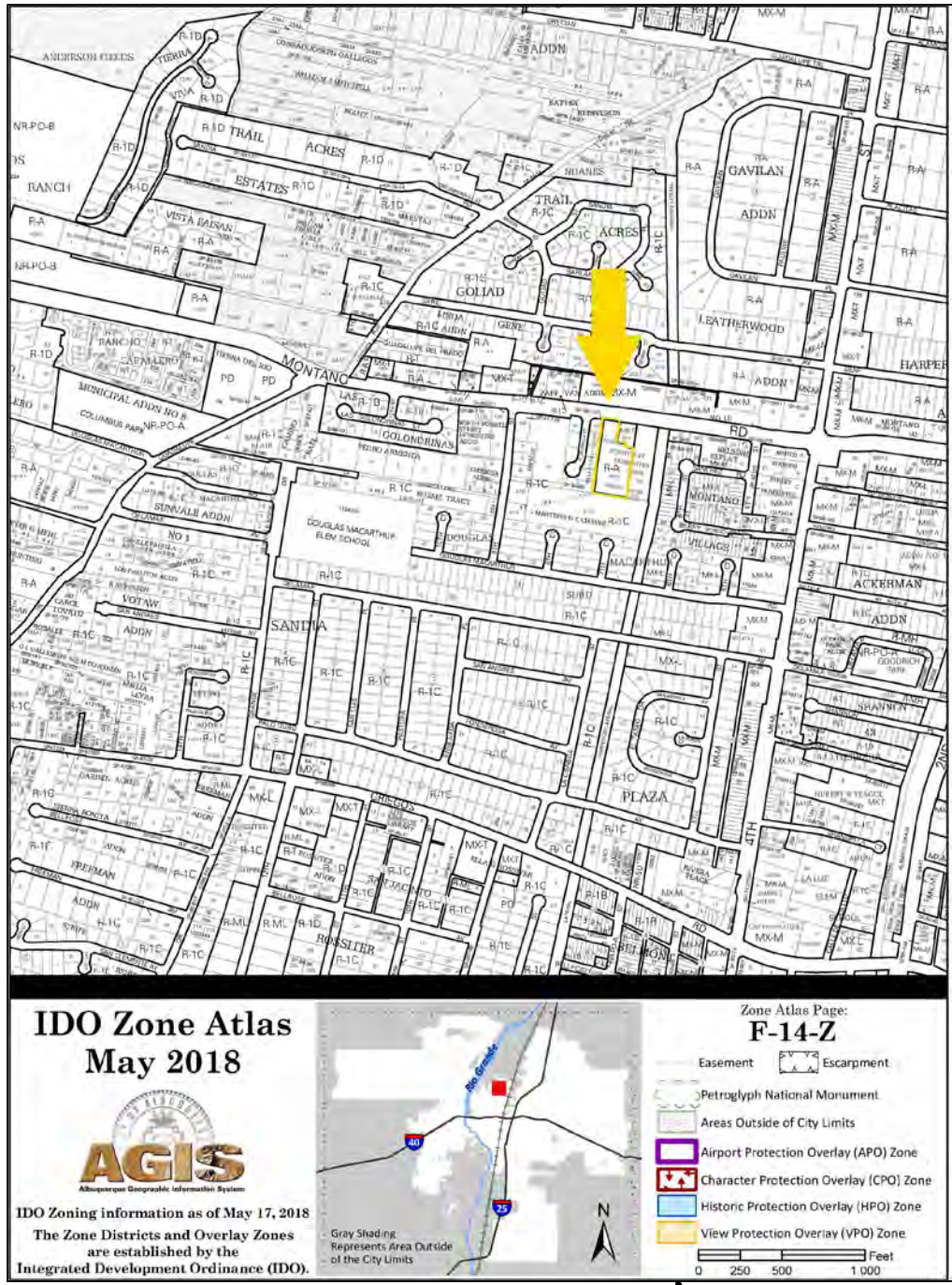
SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- N/AA. Scale
- N/AB. Bar Scale
- N/AC. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- N/A1. Site location(s)
- N/A2. Sign elevations to scale
- N/A3. Dimensions, including height and width
- N/A4. Sign face area - dimensions and square footage clearly indicated
- N/A5. Lighting
- N/A6. Materials and colors for sign face and structural elements.
- N/A7. List the sign restrictions per the IDO



Vicinity Map

BOSQUE ENCONDIDO - SITE DEVELOPMENT AND LANDSCAPE PLAN

(SUBDIVISION FOR A CLUSTER DEVELOPMENT (IDO))

THIS SITE DEVELOPMENT PLAN OR SUBDIVISION PRESENTS A VISION FOR A SMALL SCALE COMMUNITY AT MONTANO ROAD NW NEAR 4TH STREET. THE 1.7 ACRE SITE IS A NATURAL CANDIDATE FOR A CLUSTER DEVELOPMENT ZONE.

THE SITE GEOMETRY, EXISTING VEGETATED AREAS, INCLUDING FRUIT ORCHARDS AND GROSS SITE ACREAGE ARE WELL SUITED TO A CLUSTER DEVELOPMENT. 30% OF THE SITE REMAINS OPEN TO THE RESIDENTS OF THIS PROJECT, AND A VIEW OF THE MATURE TREES IS MAINTAINED FROM MONTANO ROAD.

EIGHT PARCELS HAVE BEEN DESIGNATED ALONG A NEW LANE, OFFERING HOME SITES THAT ARE COMPACT, YET HAVE CONNECTION TO AND USAGE OF THE PRIVATE COMMONS AREA. THIS DEVELOPMENT IS WELL SUITED TO MAINTAINING THE PREVIOUS USAGE OF THE SITE AS A TREE FARM AS WELL AS THE CHARACTER OF THE NORTH VALLEY, OFFERING A UNIQUE RESIDENTIAL OPPORTUNITY.

HOME OWNER'S ASSOCIATION

AS REQUIRED WITHIN THE CLUSTER DEVELOPMENT, THE DOCUMENTS WILL SET FORTH MAINTENANCE REQUIREMENTS ASSOCIATED WITH THE DESIGNATED PRIVATE COMMONS AREA. INTERNAL STREET FRONTAGE LANDSCAPE, GATES, WALLS, COMMUNICATION SYSTEMS, IRRIGATION ELEMENTS, CURB/GUTTER ND ASPHALT WILL BE ADDRESSED AS WELL. THE FOLLOWING DOCUMENTS WILL BE RECORDED PRIOR TO THE TRANSFER OF INDIVIDUAL PARCELS

HOA DECLARATION
HOA DISCLOSURE
RESTRICTIVE COVENANTS AND MAINTENANCE OBLIGATIONS

A LAND USE EASEMENT, IN FAVOR F THE CITY OF ALBUQUERQUE, WILL BE REFERENCED ON THE PLAT DOCUMENT TO ASSURE MAINTENANCE CONTINUITY.

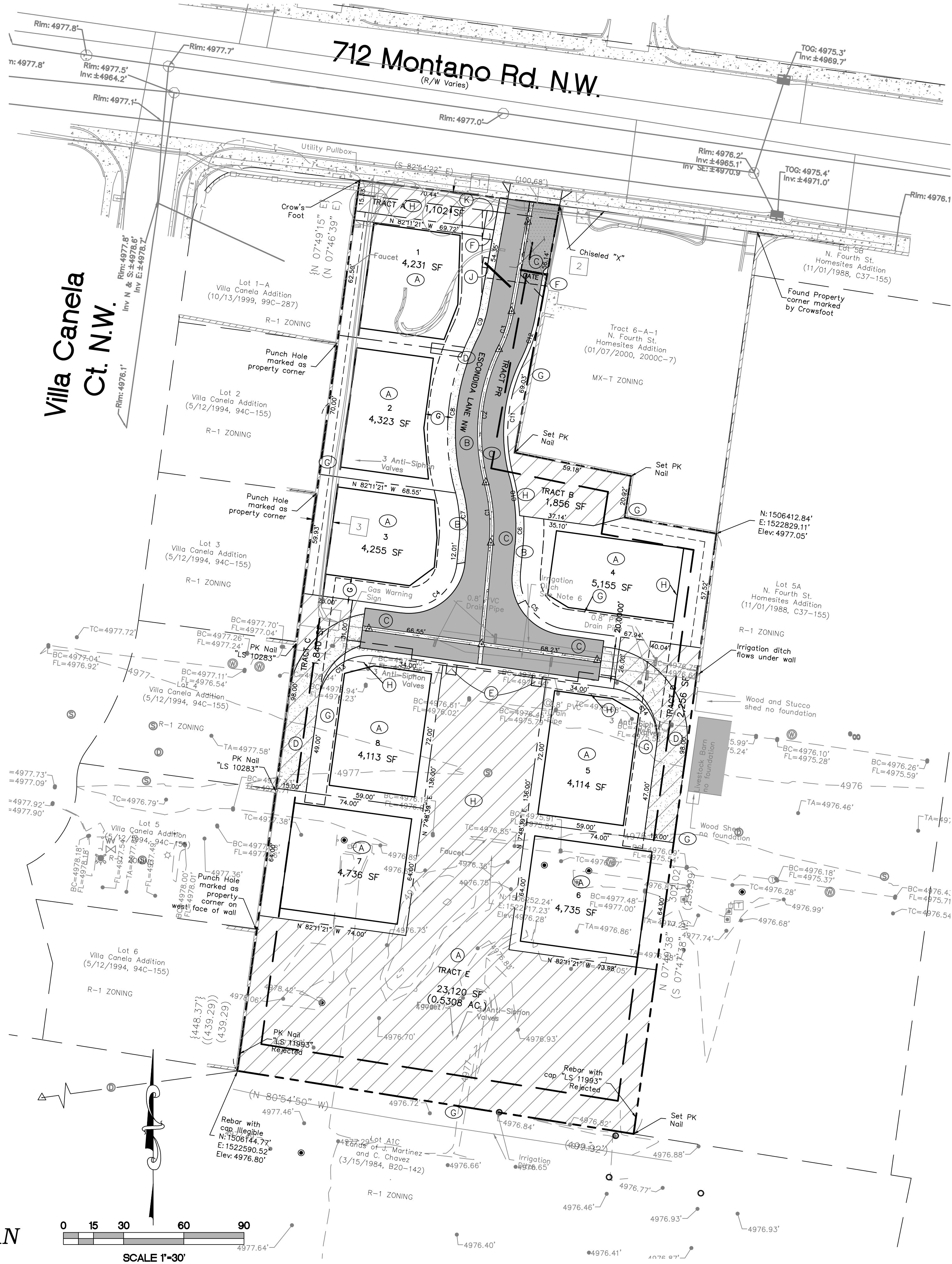
Legal Description

LOT NUMBERED THIRTY (30) IN BLOCK LETTERED "B". TRACT NUMBERED THREE (3), UNIT NUMBERED ONE (1) OF NORTH ALBUQUERQUE ACRES. A SUBDIVISION OF A TRACT OF LAND IN SCHOOL DISTRICTS THREE (3) AND FOUR (4), BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED IN THE MAP OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 23, 1931, IN VOLUME D, FOLIO 132.

SITE DATA

- TOTAL LAND AREA = 1.7468 ACRES
- NUMBER OF EXISTING TRACTS IS 1.
- NUMBER OF PROPOSED RESIDENTIAL LOTS IS 8.
- NUMBER OF PROPOSED TRACTS IS 6.
- CURRENT ZONING: R-1D - CLUSTER DEVELOPMENT
- PRIVATE COMMON OPEN SPACE EASEMENT TRACT E; AREA=0.5308 AC (30.4% OF TOTAL).
- THE STREET, TRACT PR TO BE KNOWN AS "VIA ESCONDIDA NW, WILL BE PRIVATE BY PLAT DEDICATION ND MAINTAINED BY THE HOMEOWNERS' ASSOCIATION OF BOSQUE ESCONDIDO. NO LOT SHALL HAVE DIRECT ACCESS TO MONTANO ROAD NW.
- DISTURBED AREA - 85% OF PARCEL.
- VARIANCES
- WATER AND SANITARY SEWER SERVICES TO THIS DEVELOPMENT MUST BE VERIFIED AND COORDINATED WITH THE ALBUQUERQUE BERNALILLO COUNTY WATER AUTHORITY (ABCWUA).
- TRACTS A,B,E SHALL BE DEDICATED AS PRIVATE OPEN SPACE AND SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

SITE PLAN AND LANDSCAPE PLAN FOR SUBDIVISION



DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

GENERAL SITE DEVELOPMENT NOTES

- STRUCTURES SHALL BE ONE OR TWO STORY WITH A MAXIMUM HEIGHT THAT SHALL NOT EXCEED 26.'
- SEE FINAL PLAT FOR DESIGNATION AND PURPOSE OF ALL EASEMENTS REPRESENTED ON THIS PLAT WITH LINE WORK ONLY.
- TYPICAL BUILDING SETBACKS ARE SHOWN ON THE SITE PLAN ARE CONSISTENT WITH CABQ IDO FOR "CLUSTER DEVELOPMENT."
- ESCONDIDA DRIVE SHALL E A PRIVATE STREET, DESIGNATED AS A UNIQUE TRACT, MAINTENANCE OF WHICH SHALL BE MANAGED BY THE HOA.
- GATE/SECURE PEDESTRIAN ACCESS SHALL BE PROVIDED AT THE SOUTH END OF THE SITE.
- DRIVEWAYS SHALL HAVE A MINIMUM DEPTH OF 20' AS MEASURED FROM FACE OF GARAGE DOOR TO PROPERTY LINE; AND SHALL BE 4" THICK CONCRETE.

KEYED SITE DEVELOPMENT PLAN NOTES

- BUILDING PAD DEVELOPABLE AREAS REFLECTING SETBACKS AS REQUIRED FOR THE CLUSTER DEVELOPMENT ZONE PER CABQ IDO.
- 4' STABILIZED CRUSHER FINE PATH.
- ESCONDIDA LANE - PRIVATE ASPHALTIC SURFACE. A SIDEWALK WAIVER IS SOUGHT IN CONJUNCTION WITH THE VARIANCE REQUEST IS REFERENCED HEREIN.
- ASPHALT DRIVE TO HAVE THICKENED EDGE.
- PROPERTY BOUNDARY.
- STEEL VEHICULAR ACCESS GATES (2) WITH KIOSK MOUNTED ACCESS CONTROL STATION WITH ACCOMMODATION FOR EMERGENCY VEHICULAR ACCESS.
- EXISTING PERIMETER WALLS AND FENCING TO REMAIN.
- PRIVATE OPEN SPACE EASEMENTS SHALL SERVE AS PRINCIPAL PONDING AREAS AS DEPICTED ON THE ACCOMPANYING GRADING AND DRAINAGE PLAN.

EASEMENTS

THE FOLLOWING EASMENTS SHALL REMAIN:

- EXISTING 7' P.U.E. (1/7/2000, 2000C-7)
- EXISTING PRIVATE ACCESS EASEMENT FOR THE BENEFIT OF LOT 6-A-1 (1/7/2000, 2000C-7) SHOWN HERON AS TO BE VACATED BY FINAL PLAT.
- EXISTING 10' PNM JOINT ELECTRICAL AND GAS EASEMENT (9/25/2002, PG. 2644 DOC. NO. 2002122989) TO BE VACATED BY FINAL PLAT.

THE FOLLOWING PROPOSED NEW EASEMENTS ARE IDENTIFIED ON THE PRELIMINARY PLAT AND ARE GENERALLY DESCRIBED AS FOLLOWS:

- PRIVATE COMMONS OPEN SPACE AND DRAINAGE EASEMENT AND PRIVATE UTILITY EASEMENT GRANTED OVER TRACT E OR HE BENEFIT LOTS 10--8 BOSQUE ESCONDIDO.
- PRIVATE ACCESS AND PUBLIC EMERGENCY ACCESS EASEMENT AND PRIVATE DRAINAGE EASEMENT OVER ALL OF TRACT PR GRANTED FOR HE BENEFIT OF LOTS 1-8 BOSQUE ESCONDIDO.
- PUBLIC WATER AND SANITARY SEWER EASEMENT SHALL BE GRANTED TO ABCWUA. EASEMENT SHALL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- PRIVATE ACCESS EASEMENT OVER TRACTS C & D GRANTED FOR TH E BENEFITS OF LOTS 5-8 AND PRIVATE UTILITY EASEMENT GRANTED FOR THE BENEFIT OF LOTS 1-8. EASEMENT SHALL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- PUBLIC WATER METER EASEMENT SHALL BE GRANTED TO ABCWUA.
- PUBLIC 5' X 5' FIRE HYDRANT EASEMENT GRANTED TO BCWUA.
- 10' PUE.
- PRIVATE IRRIGATION EASEMENT GRANTED FOR THE BENEFIT F AND TO BE MAINTAINED BY UNDERLYING LOT OWNERS.
- PRIVATE 2.5' X 5' GATE EASEMENT GRANTED OR HE BENEFIT OF LOTS 1-8 BOSQUE ESCONDIDO. EASEMENT SHALL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- PRIVATE TURNAROUND ACCESS EASEMENT RANTED FOR THE BENEFIT OF LOTS 1-8 BOSQUE ESCONDIDO. EASEMENT SHALL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.

PRIVATE COMMON OPEN SPACE NOTES:

THE PRIVATE COMMON OPEN SPACE SHALL BE SETASIDE OR COMMUNITY GARDENS, LANDSCAPING, ON-SITE PONDING, OUTDOOR RECREATION, R ANY COMBINATION THEROF (SECTION 14-16-4-3(B)(2)d).

THE HOA WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PRIVATE COMMON OPEN SPACE.

GENERAL SITE DEVELOPMENT NOTES

- MAINTENANCE OF ALL LANDSCAPING ON TRACTS A, B, C, D, E, AND IN CABQ RIGHT-OF-WAY SHALL BE THE RESPONSIBILITY OF THE HOMEOWNER'S ASSOCIATION.
- ALL LANDSCAPING SHALL COMPLY WITH THE WATER CONSERVATION LANDSCAPING & WATER WASTE ORDINANCE.
- ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN AUTOMATIC IRRIGATION SYSTEM - SCHEDULE 40 PIPING, TYP. OR IRRIGATED VIA THE IRRIGATION DITCH SYSTEM.
- THIS LANDSCAPE PLAN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE'S STREET TREE ORDINANCE.
- STREET TREES SHALL BE A MINIMUM OF 2" CALIPER, 5 GALLON PLANTS, AS REQUIRED BY THE CABQ ZONING CODE.

Legend

- N 90°00'00" E
(N 90°00'00" E)
- MEASURED BEARINGS AND DISTANCES
RECORD BEARINGS AND DISTANCES (FILING INFO)
FOUND MONUMENT AS INDICATED
SET BATHEY MARKER "LS 14271" UNLESS OTHERWISE NOTED
CONIFEROUS TREE - ATLAS CEDAR
CONCRETE
ASPHALT
BLOCK WALL

strata

design llc.

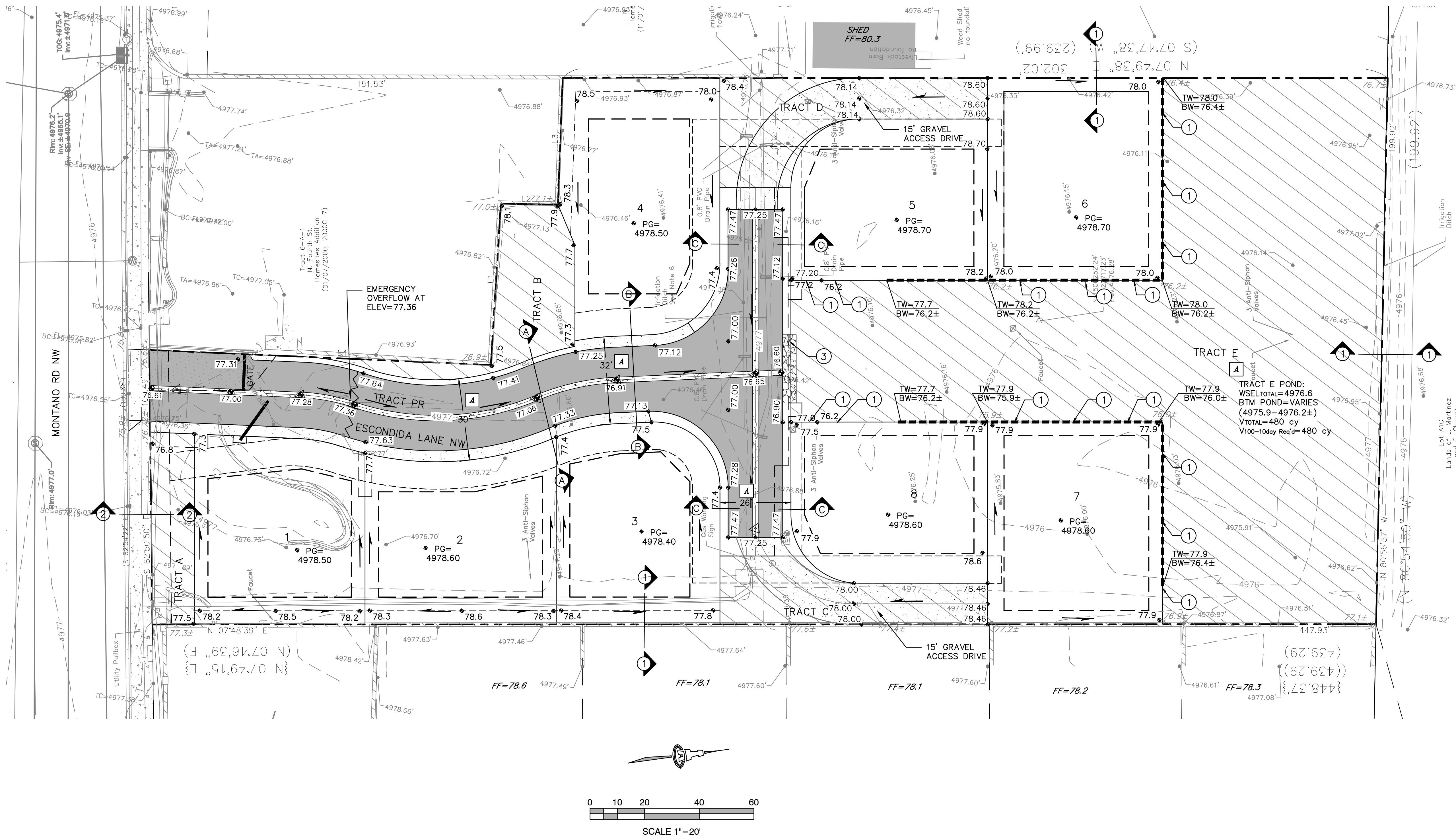
architecture • landscape • planning

711 . Amherst SE . Albuquerque . NM . 87106

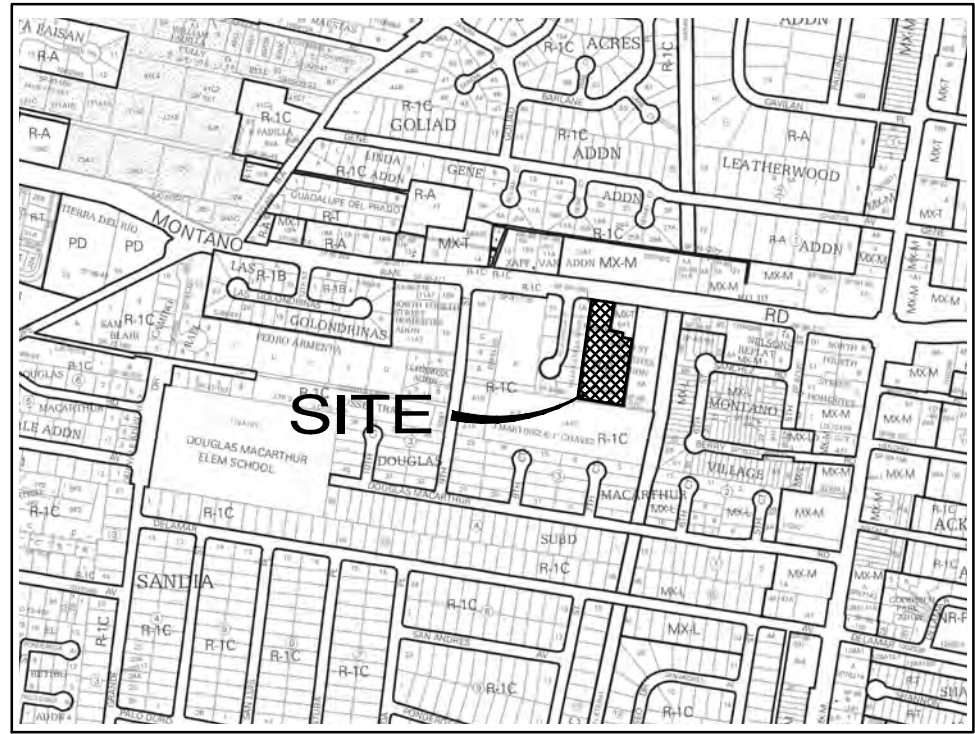
AUGUST 29, 2019

SL - 101

N:\PROJECTS\2009-2010\2009-2010 GRADING PLAN\2010 05-10-2010.dwg Author: R/20/2010 8:04 AM



Line Table		
Line #	Direction	Length (ft)
L1	S 78°37'11" E (S 79°45'48" E)	59.18' (59.48')
L2	S 08°56'37" W (S 09°44'47" W)	20.92' (21.78')
L3	S 80°02'54" E (S 80°15'13" E)	46.41' (46.05')
L4	S 10°21'12" W (S 10°09'05" W)	125.18' (125.38')



ZONE ATLAS F-14-Z

PROJECT DATA

LEGAL DESCRIPTION: TRACT 6-A-2, FOURTH STREET HOMESITES ADDITION

SITE AREA: 1.7468 ACRES

FLOOD ZONE: BASED UPON SCALING, THIS PROPERTY LIES WITHIN FLOOD ZONE X WHICH IS DEFINED AS AN AREA WITH REDUCED FLOOD RISK DUE TO LEVEE. AS DETERMINED BY F.E.M.A. AND SHOWN ON FLOOD INSURANCE RATE MAP DATE SEPTEMBER 26, 2008, MAP NO. 35001C0119G.

ENGINEER: ASA NILSSON-WEBER
ISAACSON & ARFMAN, P.A.
128 MONROE ST NE, ABQ. NM 87108
PHONE: (505) 268-8828

SURVEYOR: WILL PLOTNER
CARTESIAN SURVEYS INC.
P.O. BOX 44414, RIO RANCHO, N.M. 87174
PHONE: (505) 896-3050

BENCHMARK: ACS MONUMENT "DOUGLAS" NAD 1983 (Central Zone)
N=1520286.421*, E=1505417.495*,
G-G=0.999682452, DA=-001°3'52.53"
Elevation, in feet (NAVD 1988) = 4975.078' (US SURVEY FEET)

KEYED NOTES

- TURN BLOCK TO PROVIDE OPENING FOR DRAINAGE INTO OPEN SPACE PONDING AREA. BOTTOM OF PIPE SHALL BE 2" MAX. ABOVE GROUND ELEVATION ON LOTS.
- PERIMETER WALL TO REMAIN. WATER PROOF TO ELEVATION 77.4 ADJACENT TO POND IN TRACT E. EMERGENCY OVERFLOW IS AT ELEV 77.4 IN ESCONDIDA LN.
- INSTALL 8" THICK, 4" AVG. DIA FRACTURED FACE ROCK OVER NON-WOVEN GEOTEXTILE FABRIC.

LEGEND

---	EXISTING CONTOUR
56.6	EXISTING SPOT ELEVATION
---	PROPOSED CONTOUR
59.20	PROPOSED SPOT ELEVATION
PG=	PROPOSED PAD GRADE
4978.6	

DRAINAGE NARRATIVE

THIS SITE IS COMPRISED OF A VACANT LOT LOCATED SOUTH OF MONTANO RD. NW, WEST OF 4TH ST. AND EAST OF 9TH ST. AND IS BOUND ON THE WEST BY A RESIDENTIAL SUBDIVISION, ON THE NORTHEAST BY A COMMERCIAL PROPERTY (BEAUTY SALON), ON THE SOUTHEAST BY A SINGLE RESIDENCE AND ON THE SOUTH BY A TRACT WITH AGRICULTURAL USE. THE SITE WILL BE RE-DEVELOPED AS A PRIVATE, GATED CLUSTER DEVELOPMENT WITH 8 DETACHED RESIDENTIAL HOMES WITH A COMMON OPEN SPACE AREA IN TRACT E THAT WILL BE UTILIZED FOR A RETENTION POND.

THE MAJORITY OF THE SITE WILL DRAIN 5 CFS TO THE RETENTION POND IN TRACT A; A BASIN AT THE NORTH END OF THE SITE WILL DRAIN 0.5 CFS TO MONTANO RD. PAYMENT IN-LIEU FOR 59 CF FOR STORM WATER QUALITY VOLUMES FROM THIS BASIN WILL BE REQUIRED.

THE EXISTING PERIMETER WALLS WILL REMAIN. RETAINING WALLS WILL BE CONSTRUCTED ALONG THE LOTS ADJACENT TO TRACT E.

COMPREHENSIVE NARRATIVE AND CALCULATIONS ARE INCLUDED IN THE DRAINAGE REPORT SUBMITTED TO CITY OF ALBUQUERQUE HYDROLOGY.

GENERAL NOTE

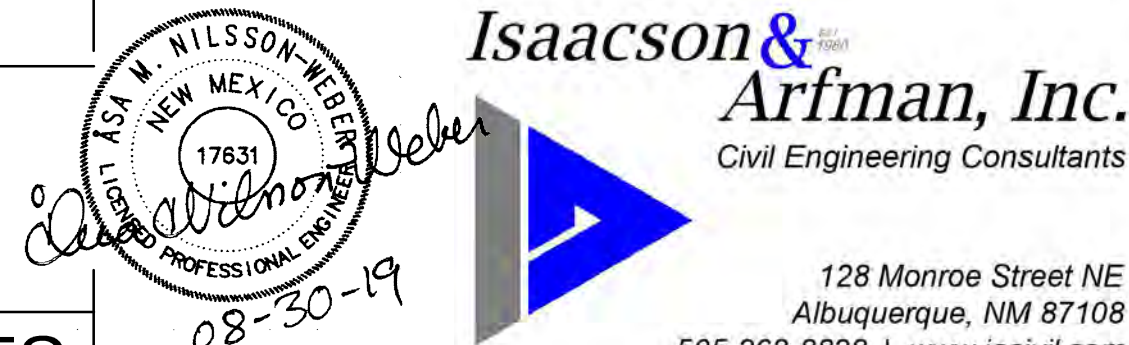
- A. SEE SHEET CG-102 FOR SECTIONS AND GRADING DETAILS AND RETAINING WALL DETAIL.

KEYED EASEMENT NOTES

- A. DRAINAGE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY FINAL PLAT.

WALL NOTES

- A. PERIMETER WALLS SHALL REMAIN.
- B. RETAINING WALL DESIGN SHALL BE BY STRUCTURAL ENGINEER.
- C. TURN BLOCKS WHERE SHOWN PER KEYED NOTE 1.
- D. WATER PROOF WALLS ADJACENT TO TRACT E TO ELEV=77.4

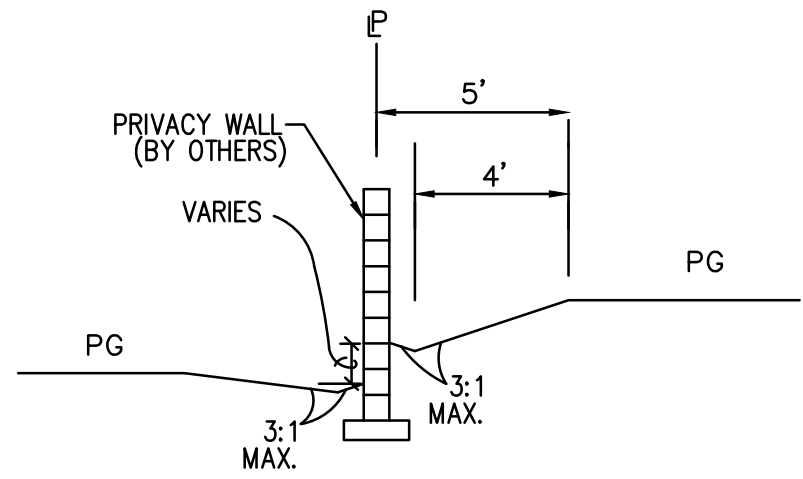


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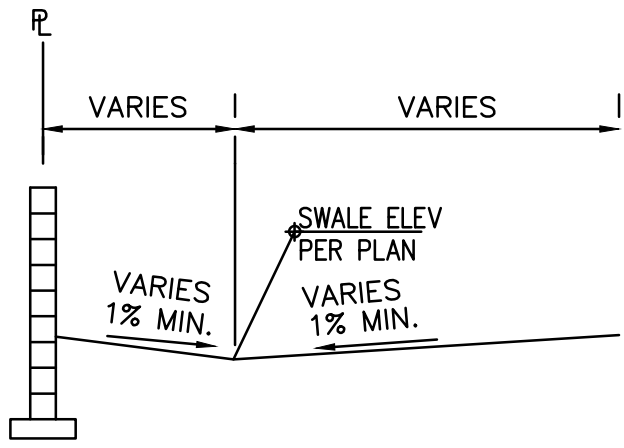
BOSQUE ESCONDIDO
MONTANO FAMILY HOMES, LLC

GRADING & DRAINAGE PLAN

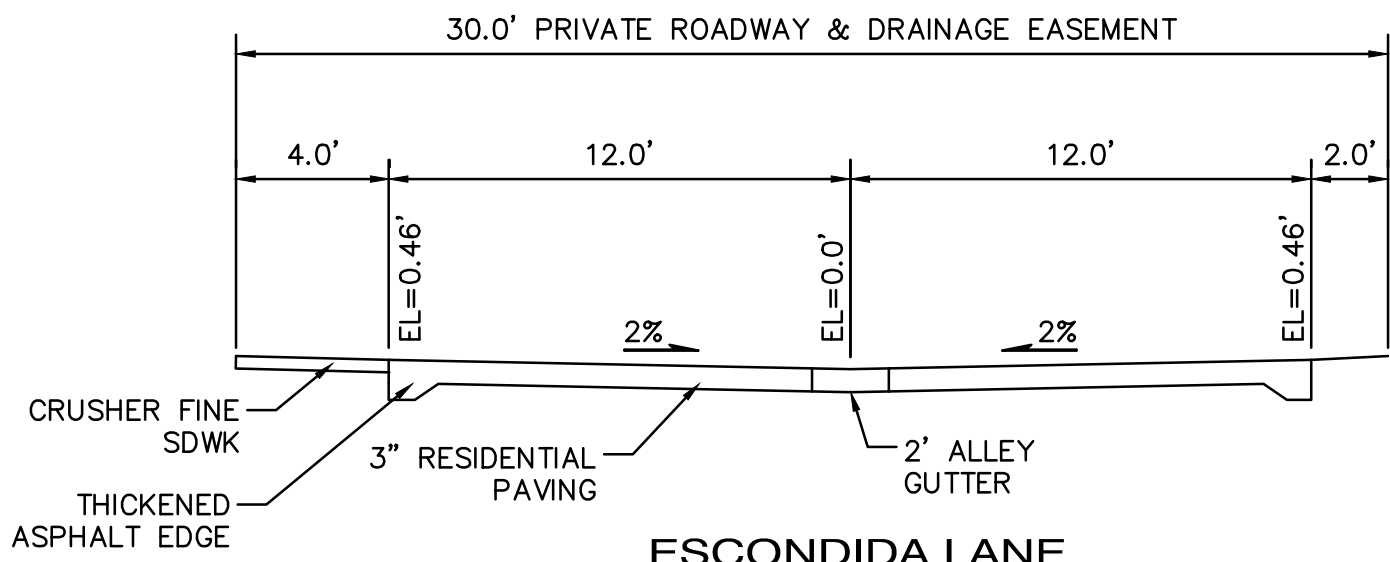
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Drawn By:	ANW			CG-101
Ckd By:	ANW			SH. OF



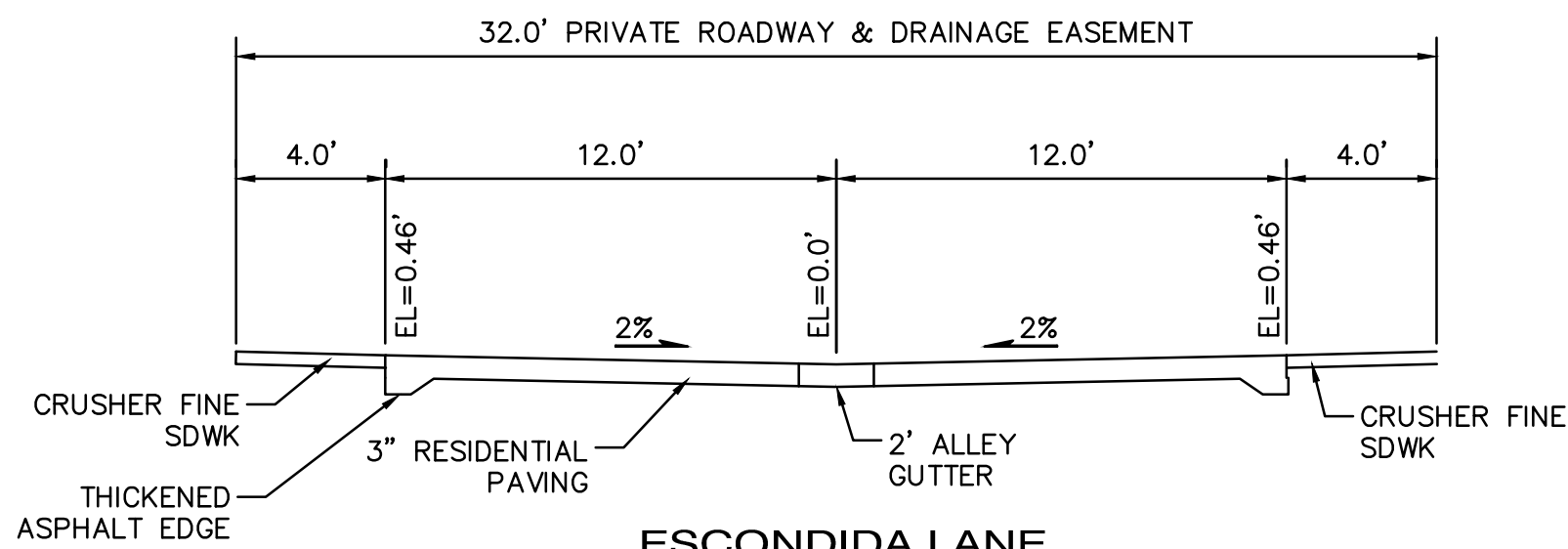
TYPICAL SIDEYARD GRADING
SCALE: 1"=5'



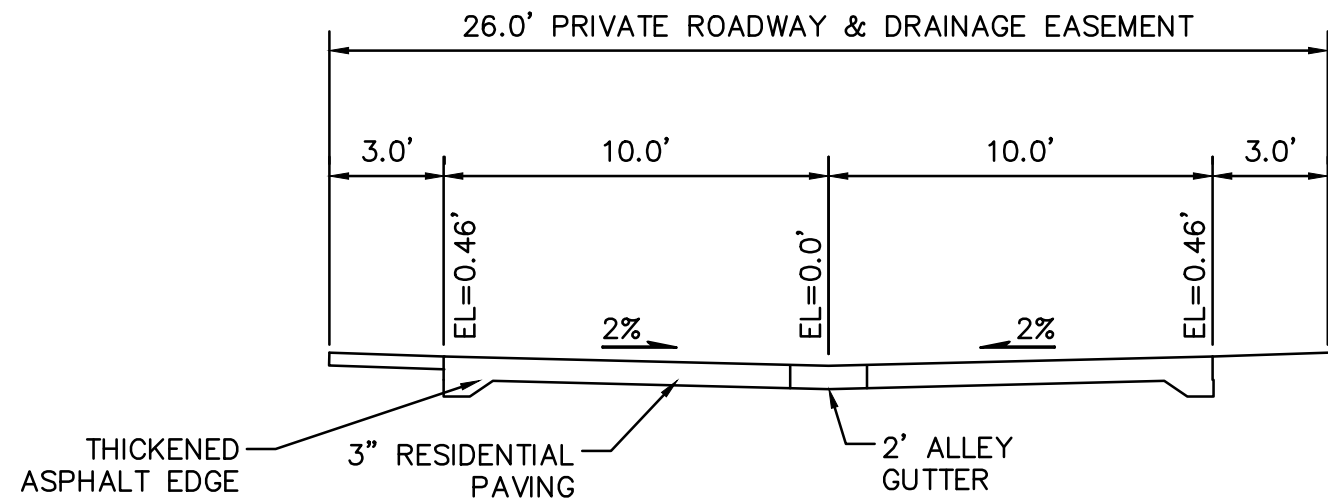
TYPICAL BACKYARD GRADING
SCALE: 1"=5'



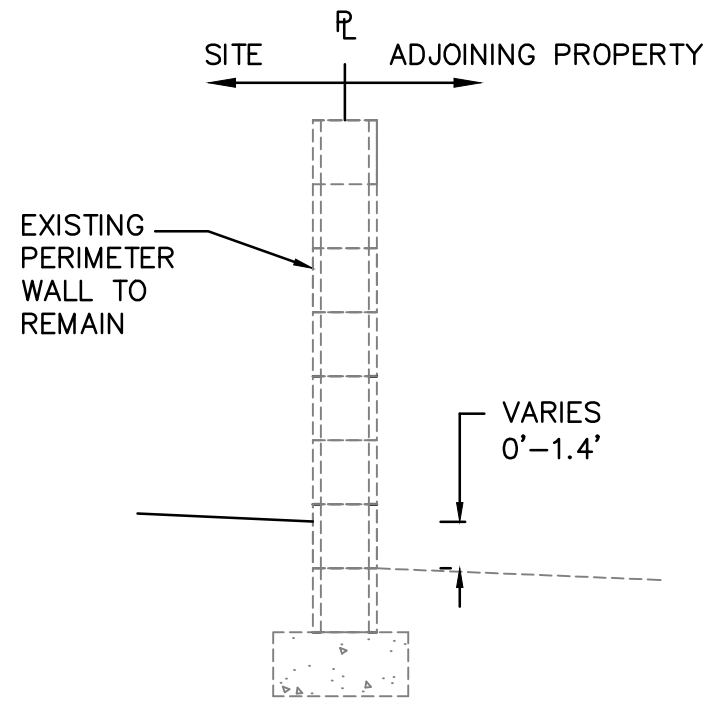
ESCONDIDA LANE
SECTION A-A
SCALE: 1"=5'



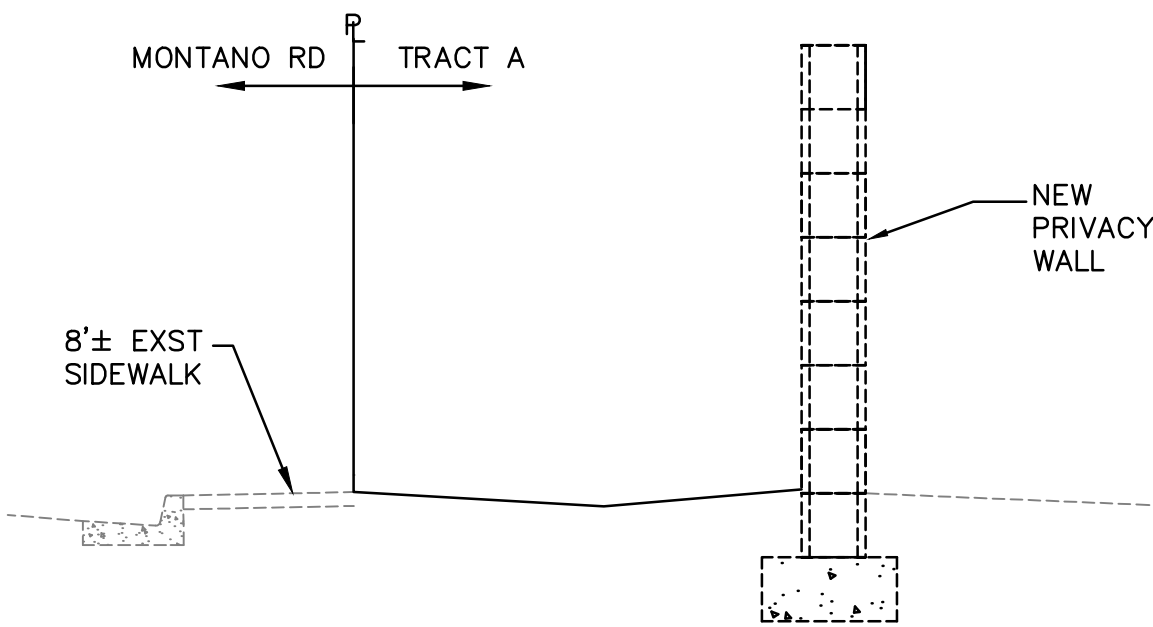
ESCONDIDA LANE
SECTION B-B
SCALE: 1"=5'



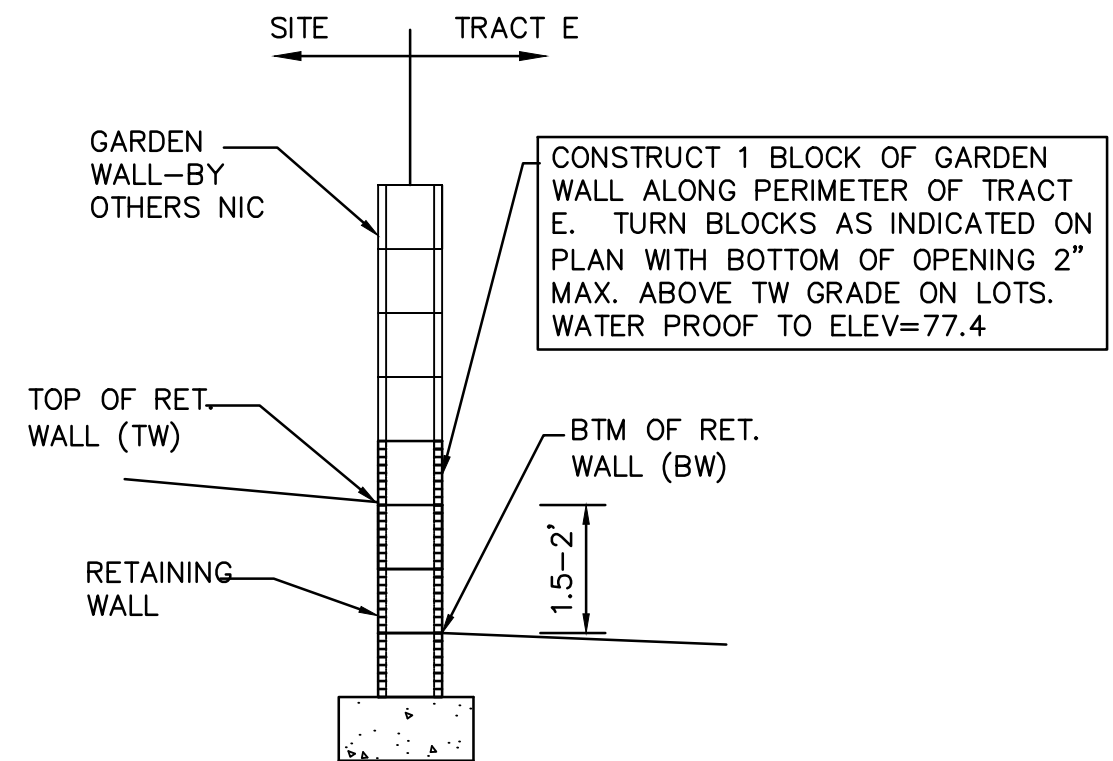
ESCONDIDA LANE
SECTION C-C
SCALE: 1"=5'



PERIMETER SECTION 1
NTS



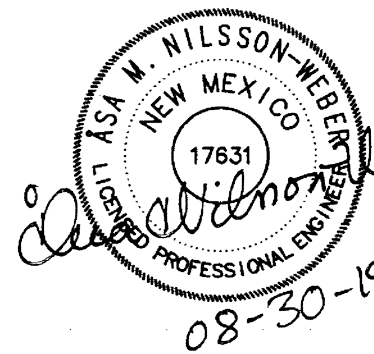
PERIMETER SECTION 2
NTS



PROPOSED RETAINING
WALL ADJACENT TO TRACT E
NTS
RETAINING WALL SHALL
BE DESIGNED BY A
STRUCTURAL ENGINEER

GRADING NOTES:

- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
- ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.
- EXCAVATION IS UNCLASSIFIED AND INCLUDES EXCAVATION TO SUBGRADE ELEVATIONS INDICATED BY GEOTECHNICAL REPORT, REGARDLESS OF CHARACTER OF MATERIALS ENCOUNTERED.
- PAD ELEVATIONS SHALL CONFORM TO ELEVATIONS SHOWN ON PLANS WITHIN A TOLERANCE OF 0.1± FEET.
- FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS MATERIAL THICKNESSES.
- UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AS SHOWN ON PLAN. SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCE, COMPACT WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE INDICATED.
- MAXIMUM SLOPES SHALL BE 3:1. MINIMUM SLOPES SHALL BE 1% UNLESS OTHERWISE NOTED.
- FIVE (5) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATIONS IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE, THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- OWNER WILL PROVIDE SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS. CONTRACTOR SHALL ALLOW TESTING LABS TO INSPECT AND APPROVE COMPACTED SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT THE CONTRACTOR'S SOLE EXPENSE.
- OWNER HAS ESTABLISHED SUBDIVISION BOUNDARY CORNERS. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING INCLUDING TRACT CORNERS. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT THE CONTRACTOR'S SOLE EXPENSE.
- OWNER WILL PROVIDE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND INSPECTION. CONTRACTOR SHALL COMPLY WITH THE BEST MANAGEMENT PRACTICES (BMP'S) AS SPECIFIED IN THE SWPPP, AND WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ENGINEER AND VERIFY THE ENGINEER'S INTENT BEFORE PROCEEDING.
- ALL NEW PAVEMENT GRADES ARE SHOWN AS 'MATCH' OR '±', TRANSITIONS SHALL BE SMOOTH AND LEVEL. ANY NEW PAVING SURFACE HOLDING WATER (BIRDBATH) SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S SOLE EXPENSE.
- SIDESLOPES STEEPER THAN 3:1 BUT LESS THAN 2:1 MUST HAVE PERMANENT EROSION CONTROL (FRACTURED FACE ROCK [F.F. ROCK] OR LANDLOK TRM 450 O.E.) INSTALLED, TYPICAL. NO SLOPE SHALL BE STEEPER THAN 2:1.
- ALL AREAS DISTURBED BY CONSTRUCTION (OUTSIDE PROPOSED TURF AREA) SHALL BE RESEEDDED WITH NATIVE GRASS PER C.O.A. SPECIFICATIONS SECTION 1012 (FOR SANDY SOILS) OR AS SPECIFIED ON THE LANDSCAPE PLAN.
- OWNER SHALL MAINTAIN EROSION PROTECTION ELEMENTS. OWNER SHALL INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURANCES.



Isaacson & Arfman, Inc.
Civil Engineering Consultants

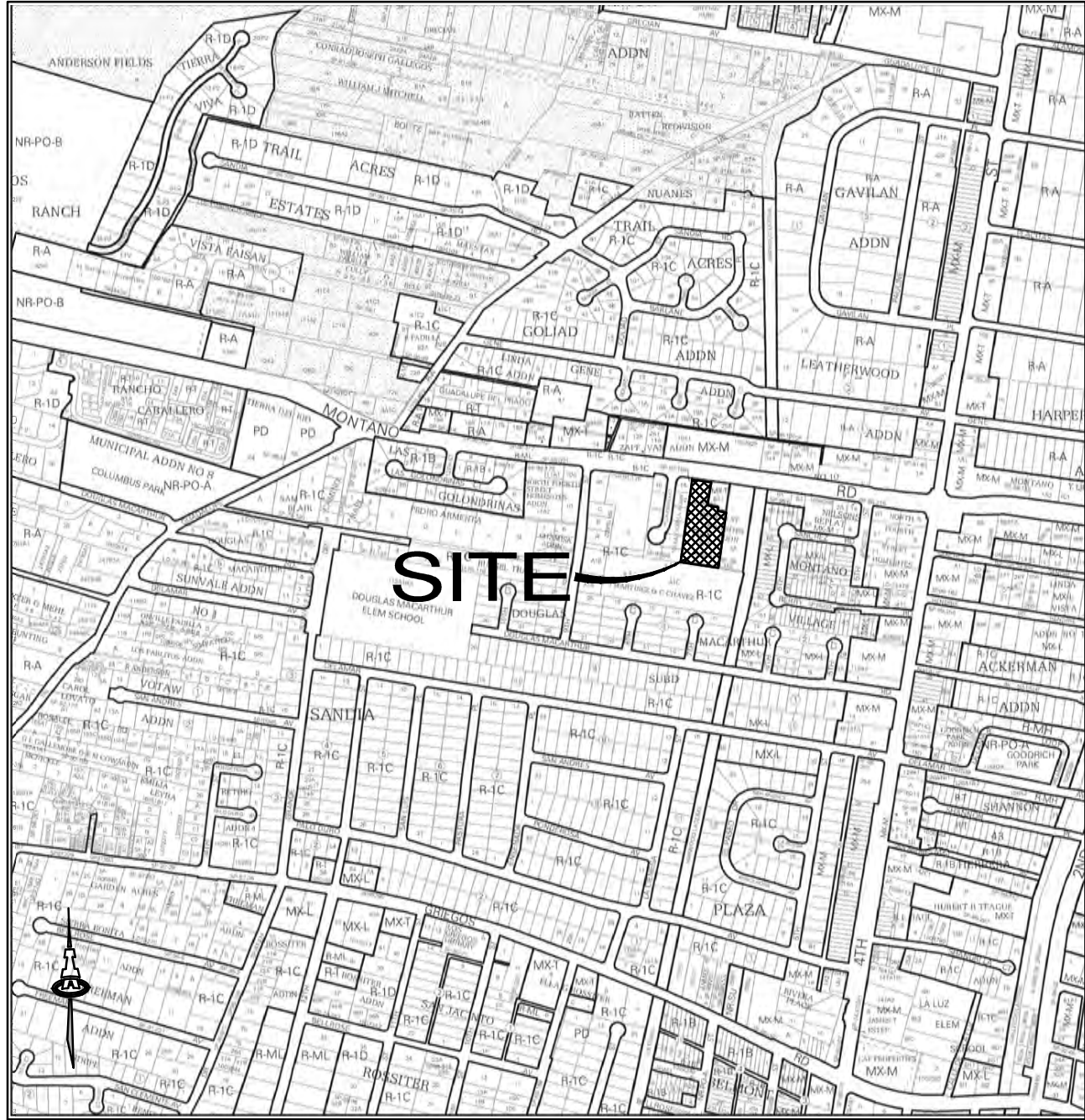
128 Monroe Street NE
Albuquerque, NM 87108
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BOSQUE ESCONDIDO
MONTANO FAMILY HOMES, LLC

GRADING NOTES & DETAILS

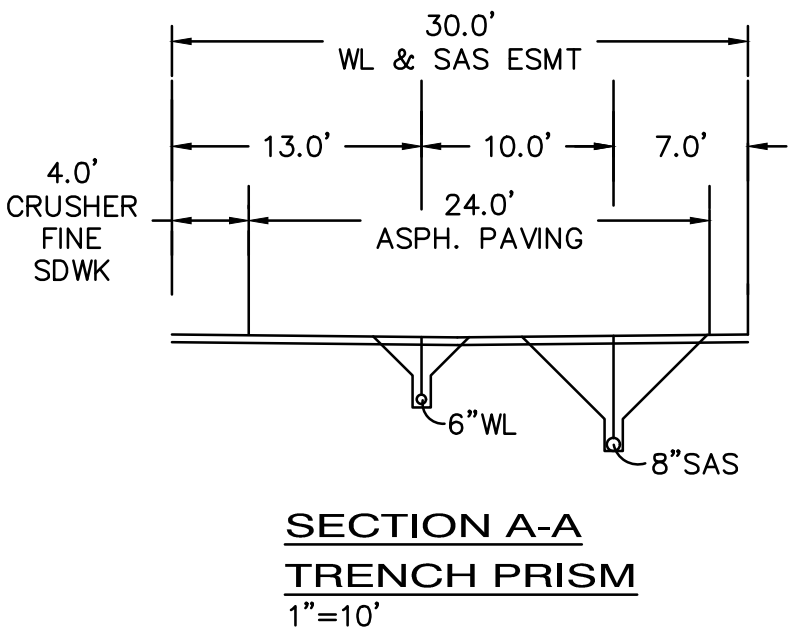
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Drawn By:				CG-102
ANW				
Ckd By:				SH. OF
ANW				



F-14

PROPOSED ABCWUA EASEMENTS

- Ⓐ PUBLIC WATER LINE AND SANITARY SEWER EASEMENT.
- Ⓑ PUBLIC 5'X5' WATER METER EASEMENT.
- Ⓒ PUBLIC 5'X5' FIRE HYDRANT EASEMENT.
- Ⓓ PUBLIC WATER LINE EASEMENT.



ISAACSON & ARFMAN, P.A.
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Ph. 505-268-8828 www.iaacivil.com
2310 CU-101.dwg Aug 28,2019

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP			
BOSQUE ESCONDIDO CONCEPTUAL UTILITY PLAN			
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	Mo./DAY/YR.
City Project No.	Zone Map No. F-14	Sheet	Of
		1	1

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR				FIELD NOTES		CONCEPTUAL	
WORK STAGED BY							
DATE							
ADJUSTED BY							
FIELD ADJUSTMENT DATE						REMARKS	BY
DESIGNED BY						REVISIONS	
CHECKED BY						DESIGN	
DATE						DATE	DATE
MICRO-FILM INFORMATION						DRAWN BY	DATE
RECORDED BY						CHECKED BY	DATE
NO.							



Vicinity Map

BOSQUE ENCONDIDO - SITE DEVELOPMENT AND LANDSCAPE PLAN

(SUBDIVISION FOR A CLUSTER DEVELOPMENT (IDO))

THIS SITE DEVELOPMENT PLAN OR SUBDIVISION PRESENTS A VISION FOR A SMALL SCALE COMMUNITY AT MONTANO ROAD NW NEAR 4TH STREET. THE 1.7 ACRE SITE IS A NATURAL CANDIDATE FOR A CLUSTER DEVELOPMENT ZONE.

THE SITE GEOMETRY, EXISTING VEGETATED AREAS, INCLUDING FRUIT ORCHARDS AND GROSS SITE AREAS ARE WELL SUITED TO A CLUSTER DEVELOPMENT. 30% OF THE SITE REMAINS OPEN TO THE RESIDENTS OF THIS PROJECT, AND A VIEW OF THE MATURE TREES IS MAINTAINED FROM MONTANO ROAD.

EIGHT PARCELS HAVE BEEN DESIGNATED ALONG A NEW LANE, OFFERING HOME SITES THAT ARE COMPACT, YET HAVE CONNECTION TO AND USAGE OF THE PRIVATE COMMONS AREA. THIS DEVELOPMENT IS WELL SUITED TO MAINTAINING THE PREVIOUS USAGE OF THE SITE AS A TREE FARM AS WELL AS THE CHARACTER OF THE NORTH VALLEY, OFFERING A UNIQUE RESIDENTIAL OPPORTUNITY.

HOME OWNER'S ASSOCIATION

AS REQUIRED WITHIN THE CLUSTER DEVELOPMENT, THE DOCUMENTS WILL SET FORTH MAINTENANCE REQUIREMENTS ASSOCIATED WITH THE DESIGNATED PRIVATE COMMONS AREA. INTERNAL STREET FRONTAGE LANDSCAPE, GATES, WALLS, COMMUNICATION SYSTEMS, IRRIGATION ELEMENTS, CURB/GUTTER NO ASPHALT WILL BE ADDRESSED AS WELL. THE FOLLOWING DOCUMENTS WILL BE RECORDED PRIOR TO THE TRANSFER OF INDIVIDUAL PARCELS.

HOA DECLARATION
HOA DISCLOSURE
RESTRICTIVE COVENANTS AND MAINTENANCE OBLIGATIONS

A LAND USE EASEMENT, IN FAVOR OF THE CITY OF ALBUQUERQUE, WILL BE REFERENCED ON THE PLAT DOCUMENT TO ASSURE MAINTENANCE CONTINUITY.

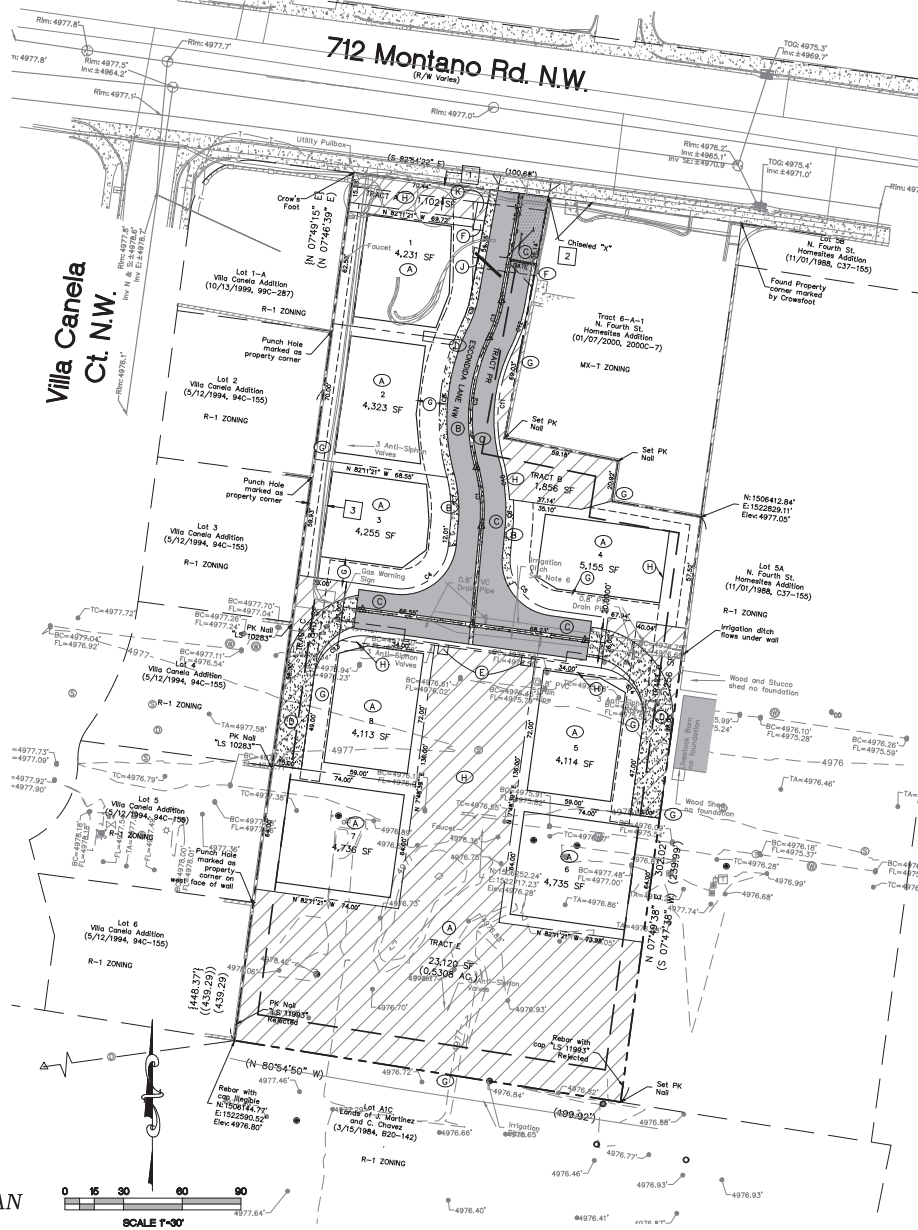
Legal Description

LOT NUMBERED THIRTY (30) IN BLOCK LETTERED "B", TRACT NUMBERED THREE (3), UNIT NUMBERED ONE (1) OF NORTH ALBUQUERQUE ACRES, A SUBDIVISION OF A TRACT OF LAND IN SCHOOL DISTRICTS THREE (3) AND FOUR (4), BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED IN THE MAP OF SAO SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 23, 1931, IN VOLUME D, FOLIO 132.

SITE DATA

- TOTAL LAND AREA = 1.7468 ACRES
- NUMBER OF EXISTING TRACTS IS 1.
- NUMBER OF PROPOSED RESIDENTIAL LOTS IS 8.
- NUMBER OF PROPOSED TRACTS IS 6.
- CURRENT ZONING: R-10 - CLUSTER DEVELOPMENT
- PRIVATE COMMON OPEN SPACE EASEMENT TRACT E; AREA=0.5308 AC (30.4% OF TOTAL).
- THE STREET, TRACT PR TO BE KNOWN AS "VIA ESCONDIDO NW, WILL BE PRIVATE BY PLAT DEDICATION NO MAINTAINED BY THE HOMEOWNERS' ASSOCIATION OF BOSQUE ENCONDIDO. NO LOT SHALL HAVE DIRECT ACCESS TO MONTANO ROAD NW.
- DISTURBED AREA = 85% OF PARCEL.
- VARIANCES
- WATER AND SANITARY SEWER SERVICES TO THIS DEVELOPMENT MUST BE VERIFIED AND COORDINATED WITH THE ALBUQUERQUE BERNALILLO COUNTY WATER AUTHORITY (ABCWUA).
- TRACTS A-B-E SHALL BE DEDICATED AS PRIVATE OPEN SPACE AND SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

SITE PLAN AND LANDSCAPE PLAN FOR SUBDIVISION



DRB SITE DEVELOPMENT PLAN APPROVAL:	
Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

GENERAL SITE DEVELOPMENT NOTES

- STRUCTURES SHALL BE ONE OR TWO STORY WITH A MAXIMUM HEIGHT THAT SHALL NOT EXCEED 28'.
- SEE FINAL PLAT FOR DESIGNATION AND PURPOSE OF ALL EASEMENTS REPRESENTED ON THIS PLAT WITH LINE WORK ONLY.
- TYPICAL BUILDING SETBACKS ARE SHOWN ON THE SITE PLAN ARE CONSISTENT WITH CABO DO FOR "CLUSTER DEVELOPMENT."
- ESCONDIDO DRIVE SHALL BE A PRIVATE STREET, DESIGNATED AS A UNIQUE TRACT, MAINTENANCE OF WHICH SHALL BE MANAGED BY THE HOA.
- GATE/SECURE PEDESTRIAN ACCESS SHALL BE PROVIDED AT THE SOUTH END OF THE SITE.
- DRIVEWAYS SHALL HAVE A MINIMUM DEPTH OF 20" (AS MEASURED FROM FACE OF GARAGE DOOR TO PROPERTY LINE; AND SHALL BE 4" THICK CONCRETE).

KEYED SITE DEVELOPMENT PLAN NOTES

- BUILDING PAD DEVELOPABLE AREAS REFLECTING SETBACKS AS REQUIRED FOR THE CLUSTER DEVELOPMENT ZONE PER CABO IDO.
- 4' STABILIZED CRUSHER FINE PATH.
- ESCONDIDO LANE - PRIVATE ASPHALTIC SURFACE. A SIDEWALK WAIVER IS SOUGHT IN CONJUNCTION WITH THE VARIANCE REQUEST IS REFERENCED HEREIN.
- ASPHALT DRIVE TO HAVE THICKENED EDGE.
- PROPERTY BOUNDARY.
- STEEL VEHICULAR ACCESS GATES (2) WITH KIOSK MOUNTED ACCESS CONTROL STATION WITH ACCOMMODATION FOR EMERGENCY VEHICULAR ACCESS.
- EXISTING PERIMETER WALLS AND FENCING TO REMAIN.
- PRIVATE OPEN SPACE EASEMENTS SHALL SERVE AS PRINCIPAL PONDING AREAS AS DEPICTED ON THE ACCOMPANYING GRADING AND DRAINAGE PLAN.

EASEMENTS

THE FOLLOWING EASEMENTS SHALL REMAIN:

- EXISTING 7' P.U.E. (1/7/2000, 2000C-7)
- EXISTING PRIVATE ACCESS EASEMENT FOR THE BENEFIT OF LOT 6-A-1 (1/7/2000, 2000C-7) SHOWN HEREON AS TO BE VACATED BY FINAL PLAT.
- EXISTING 10' PNM JOINT ELECTRICAL AND GAS EASEMENT (9/25/2002, PG. 2644 DOC. NO. 2002122989) TO BE VACATED BY FINAL PLAT.

THE FOLLOWING PROPOSED NEW EASEMENTS ARE IDENTIFIED ON THE PRELIMINARY PLAT AND ARE GENERALLY DESCRIBED AS FOLLOWS:

- PRIVATE COMMONS OPEN SPACE AND DRAINAGE EASEMENT AND PRIVATE UTILITY EASEMENT GRANTED OVER TRACT E OR HE BENEFIT LOTS 10-8 BOSQUE ENCONDIDO.
- PRIVATE ACCESS AND PUBLIC EMERGENCY ACCESS EASEMENT AND PRIVATE DRAINAGE EASEMENT OVER ALL OF TRACT PR GRANTED FOR THE BENEFIT OF LOTS 1-8 BOSQUE ENCONDIDO.
- PUBLIC WATER AND SANITARY SEWER EASEMENT SHALL BE GRANTED TO ABCWUA EASEMENT SHALL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- PRIVATE ACCESS EASEMENT OVER TRACTS C & D GRANTED FOR THE BENEFIT OF LOTS 5-8 AND PRIVATE UTILITY EASEMENT GRANTED FOR THE BENEFIT OF LOTS 1-8. EASEMENT SHALL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- PUBLIC WATER METER EASEMENT SHALL BE GRANTED TO ABCWUA.
- PUBLIC 5' X 5' FIRE HYDRANT EASEMENT GRANTED TO ABCWUA.
- 10' P.U.E.
- PRIVATE IRRIGATION EASEMENT GRANTED FOR THE BENEFIT F AND TO BE MAINTAINED BY UNDERLYING LOT OWNERS.
- PRIVATE 2.5' X 5' GATE EASEMENT GRANTED OR HE BENEFIT OF LOTS 1-8 BOSQUE ENCONDIDO. EASEMENT SHALL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- PRIVATE TURNAROUND ACCESS EASEMENT RANTED FOR THE BENEFIT OF LOTS 1-8 BOSQUE ENCONDIDO. EASEMENT SHALL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.

PRIVATE COMMON OPEN SPACE NOTES:

THE PRIVATE COMMON OPEN SPACE SHALL BE SETASIDE OR COMMUNITY GARDENS, LANDSCAPING, ON-SITE PONDING, OUTDOOR RECREATION, R ANY COMBINATION THEROF (SECTION 14-16-4-3)(B)(2)d.

THE HOA WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PRIVATE COMMON OPEN SPACE.

GENERAL SITE DEVELOPMENT NOTES

- MAINTENANCE OF ALL LANDSCAPING ON TRACTS A, B, C, D, E, AND IN CABO RIGHT-OF-WAY SHALL BE THE RESPONSIBILITY OF THE HOMEOWNER'S ASSOCIATION.
- ALL LANDSCAPING SHALL COMPLY WITH THE WATER CONSERVATION LANDSCAPING & WATER WASTE ORDINANCE.
- ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN AUTOMATIC IRRIGATION SYSTEM - SCHEDULE 40 PIPING, TYP. OR IRRIGATED VIA THE IRRIGATION DITCH SYSTEM.
- THIS LANDSCAPE PLAN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE'S STREET TREE ORDINANCE.
- STREET TREES SHALL BE A MINIMUM OF 2" CALIPER, 5 GALLON PLANTS, AS REQUIRED BY THE CABO ZONING CODE.

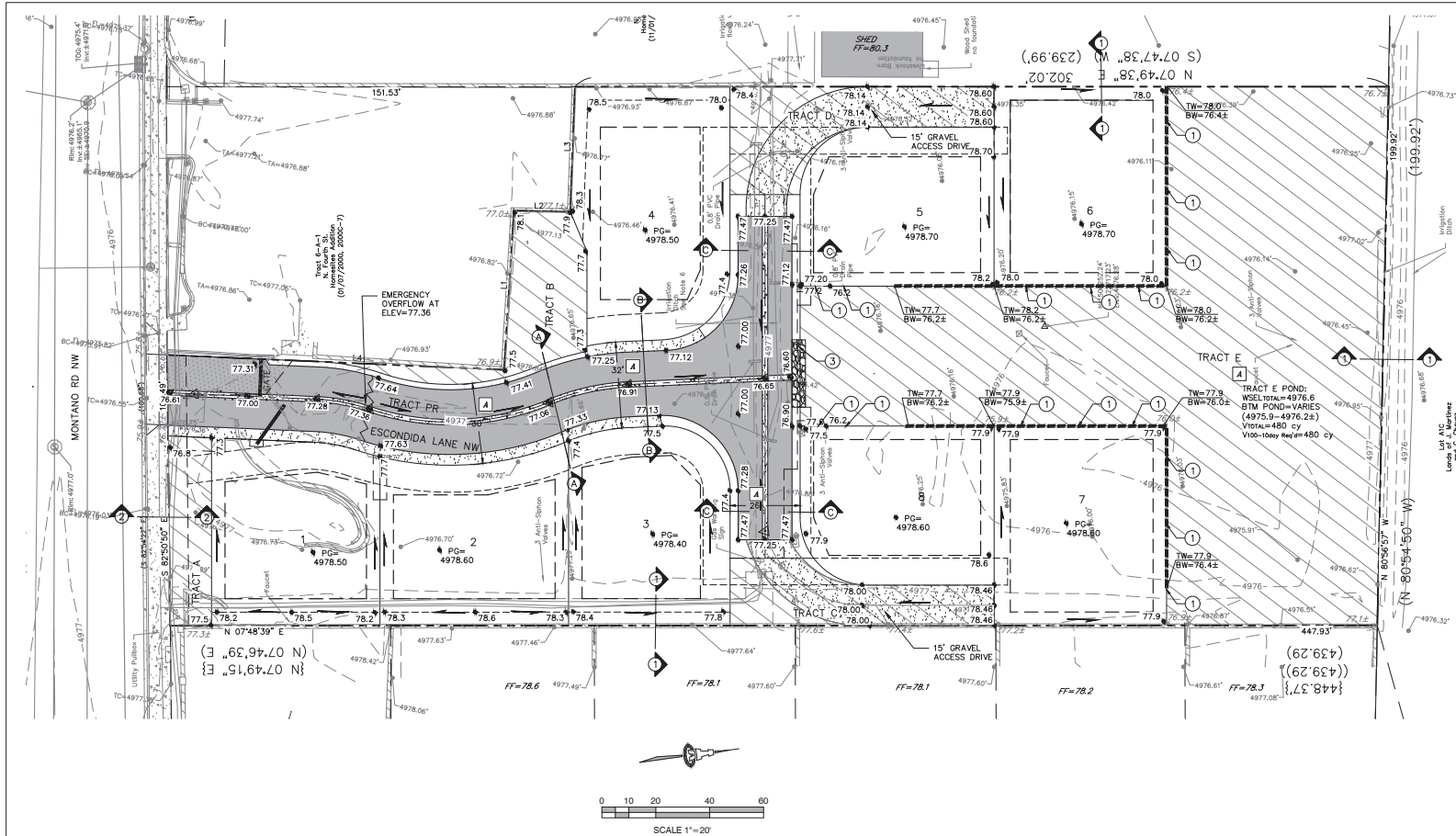
Legend

- N 90°00'00" E
(N 90°00'00" E)
- MEASURED BEARINGS AND DISTANCES
 - RECORD BEARINGS AND DISTANCES (PLUMB INFO)
 - FOUND MONUMENT AS INDICATED
 - SET BATHY MARKER "LS 1427" UNLESS OTHERWISE NOTED
 - CONFEROUS TREE - ATLAS CEDAR
 - CONCRETE
 - ASPHALT
 - BLOCK WALL



AUGUST 29, 2019

SL - 101



ZONE ATLAS F-14-Z

PROJECT DATA

LEGAL DESCRIPTION: TRACT 6-A-2, FOURTH STREET HOMESITES ADDITION

SITE AREA: 1.7468 ACRES

FLOOD ZONE: BASED UPON SCALING, THIS PROPERTY LIES WITHIN FLOOD ZONE X WHICH IS DEFINED AS AN AREA WITH REDUCED FLOOD RISK DUE TO LEVEE, AS DETERMINED BY F.E.M.A. AND SHOWN ON FLOOD INSURANCE RATE MAP DATE SEPTEMBER 26, 2008, MAP NO. 35001C0119C.

ENGINEER: ISAACSON & ARTMAN, P.A.
128 MONROE ST NE, APO. NM 87108
PHONE: (505) 268-8828

SURVEYOR: WILL PLOTNER
CARTESIAN SURVEYS INC.
P.O. BOX 44414, RIO RANCHO, N.M. 87174
PHONE: (505) 896-3050

BENCHMARK: ACS MONUMENT "DOUGLAS" NAD 1983
(Central Zone)
N=1520286.421', E=1505417.495',
G-G=0.999682452, DA=-001352.537
Elevation in feet (NAVD 1988) = 4975.078'
(US SURVEY FEET)

KEYED NOTES

- TURN BLOCK TO PROVIDE OPENING FOR DRAINAGE INTO OPEN SPACE PONDING AREA. BOTTOM OF PIPE SHALL BE 2" MAX. ABOVE GROUND ELEVATION ON LOTS.
- PERIMETER WALL TO REMAIN. WATER PROOF TO ELEVATION 77.4 ADJACENT TO POND IN TRACT E. EMERGENCY OVERFLOW IS AT ELEV 77.4 IN ESCONDIDA LN.
- INSTALL 8" THICK, 4" AVG. DIA FRACTURED FACE ROCK OVER NON-WOVEN GEOTEXTILE FABRIC.

LEGEND

--- EXISTING CONTOUR
--- EXISTING SPOT ELEVATION
--- PROPOSED CONTOUR
● 56.20 PROPOSED SPOT ELEVATION
PG= 4978.6 PROPOSED PAD GRADE

DRAINAGE NARRATIVE

THIS SITE IS COMPRISED OF A VACANT LOT LOCATED SOUTH OF MONTANO RD. NW, WEST OF 4TH ST. AND EAST OF 9TH ST. AND IS BOUND ON THE WEST BY A RESIDENTIAL SUBDIVISION, ON THE NORTHEAST BY A COMMERCIAL PROPERTY (BEAUTY SALON), ON THE SOUTHEAST BY A SINGLE RESIDENCE AND ON THE SOUTH BY A TRACT WITH AGRICULTURAL USE. THE SITE WILL BE RE-DEVELOPED AS A PRIVATE, GATED CLUSTER DEVELOPMENT WITH 8 DETACHED RESIDENTIAL HOMES WITH A COMMON OPEN SPACE AREA IN TRACT E THAT WILL BE UTILIZED FOR A RETENTION POND.

THE MAJORITY OF THE SITE WILL DRAIN 5 CFS TO THE RETENTION POND IN TRACT A. A BASIN AT THE NORTH END OF THE SITE WILL DRAIN 0.5 CFS TO MONTANO RD. PAYMENT IN-LIEU FOR 59 CF FOR STORM WATER QUALITY VOLUMES FROM THIS BASIN WILL BE REQUIRED.

THE EXISTING PERIMETER WALLS WILL REMAIN. RETAINING WALLS WILL BE CONSTRUCTED ALONG THE LOTS ADJACENT TO TRACT E.

COMPREHENSIVE NARRATIVE AND CALCULATIONS ARE INCLUDED IN THE DRAINAGE REPORT SUBMITTED TO CITY OF ALBUQUERQUE HYDROLOGY.

GENERAL NOTE

- A. SEE SHEET CG-102 FOR SECTIONS AND GRADING DETAILS AND RETAINING WALL DETAIL.

KEYED EASEMENT NOTES

- A. DRAINAGE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY FINAL PLAN.

WALL NOTES

- A. PERIMETER WALLS SHALL REMAIN.
B. RETAINING WALL DESIGN SHALL BE BY STRUCTURAL ENGINEER.
C. TURN BLOCKS WHERE SHOWN PER KEYED NOTE 1.
D. WATER PROOF WALLS ADJACENT TO TRACT E TO ELEV=77.4

Line #	Direction	Length (ft)
L1	S 78°37'11" E (S 79°45'48" E)	59.18' (59.48')
L2	S 08°56'37" W (S 09°44'47" W)	20.82' (21.78')
L3	S 80°02'54" E (S 80°15'13" E)	46.41' (46.00')
L4	S 102°11'2" W (S 10°09'05" W)	125.18' (125.38')



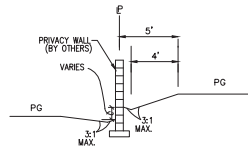
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BOSQUE ESCONDIDO
MONTANO FAMILY HOMES, LLC

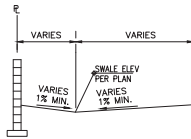
GRADING & DRAINAGE PLAN

Date:	Rev:	Revision:	Date:	Job No.
08/2019				2310
Drawn By:				CG-101
ANW				
Check By:				
ANW				

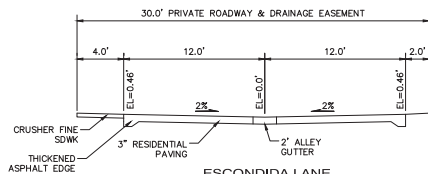
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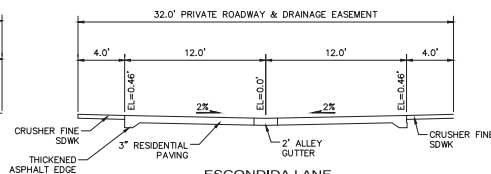
TYPICAL SIDYARD GRADING
SCALE: 1"=5'



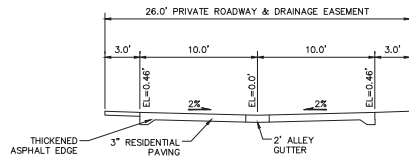
TYPICAL BACKYARD GRADING
SCALE: 1"=5'



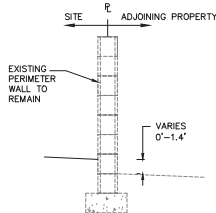
**ESCONDIDA LANE
SECTION A-A**
SCALE: 1"=5'



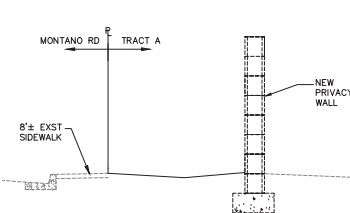
**ESCONDIDA LANE
SECTION B-B**
SCALE: 1"=5'



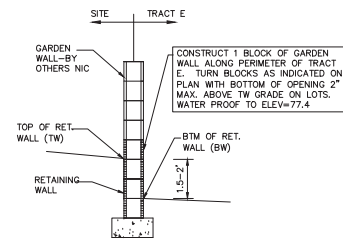
**ESCONDIDA LANE
SECTION C-C**
SCALE: 1"=5'



PERIMETER SECTION 1
NTS



PERIMETER SECTION 2
NTS



**PROPOSED RETAINING
WALL ADJACENT TO TRACT E**
NTS
RETAINING WALL SHALL
BE DESIGNED BY A
STRUCTURAL ENGINEER

GRADING NOTES:

- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
- ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.
- EXCAVATION IS UNCLASSIFIED AND INCLUDES EXCAVATION TO SUBGRADE ELEVATIONS INDICATED BY GEOTECHNICAL REPORT, REGARDLESS OF CHARACTER OF MATERIALS ENCOUNTERED.
- PAD ELEVATIONS SHALL CONFORM TO ELEVATIONS SHOWN ON PLANS WITHIN A TOLERANCE OF 0.1± FEET.
- FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS MATERIAL THICKNESSES.
- UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING AS SHOWN ON PLAN. SMOOTH FINISHED SURFACE WITHIN SPECIFIED TOLERANCE, COMPACT WITH UNIFORM SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE INDICATED.
- MAXIMUM SLOPES SHALL BE 3:1. MINIMUM SLOPES SHALL BE 1% UNLESS OTHERWISE NOTED.
- FIVE (5) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE OWNER OF SAID UTILITY, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE ENGINEER HAS CONDUCTED ONLY PRELIMINARY INVESTIGATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES. THIS INVESTIGATION IS NOT CONCLUSIVE, AND MAY NOT BE COMPLETE. THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- OWNER WILL PROVIDE SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS. CONTRACTOR SHALL ALLOW TESTING LABS TO INSPECT AND APPROVE COMPACTED SUBGRADES AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT THE CONTRACTOR'S SOLE EXPENSE.
- OWNER HAS ESTABLISHED SUBDIVISION BOUNDARY CORNERS. CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING INCLUDING TRACT CORNERS. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT THE CONTRACTOR'S SOLE EXPENSE.
- OWNER WILL PROVIDE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND INSPECTION. CONTRACTOR SHALL COMPLY WITH THE BEST MANAGEMENT PRACTICES (BMP'S) AS SPECIFIED IN THE SWPPP, AND WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ENGINEER AND VERIFY THE ENGINEER'S INTENT BEFORE PROCEEDING.
- ALL NEW PAVEMENT GRADES ARE SHOWN AS 'MATCH' OR '1/2' TRANSITIONS SHALL BE SMOOTH AND LEVEL. ANY NEW PAVING SURFACE HOLDING WATER (BIRDBATH) SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S SOLE EXPENSE.
- SIDESLOPES STEEPER THAN 3:1 BUT LESS THAN 2:1 MUST HAVE PERMANENT EROSION CONTROL (FRACTURED FACE ROCK [F.F. ROCK] OR LANDLOK TRM 450 O.E.) INSTALLED, TYPICAL. NO SLOPE SHALL BE STEEPER THAN 2:1.
- ALL AREAS DISTURBED BY CONSTRUCTION (OUTSIDE PROPOSED TURF AREA) SHALL BE RESEED WITH NATIVE GRASS PER C.O.A. SPECIFICATIONS SECTION 1012 (FOR SANDY SOILS) OR AS SPECIFIED ON THE LANDSCAPE PLAN.
- OWNER SHALL MAINTAIN EROSION PROTECTION ELEMENTS. OWNER SHALL INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.

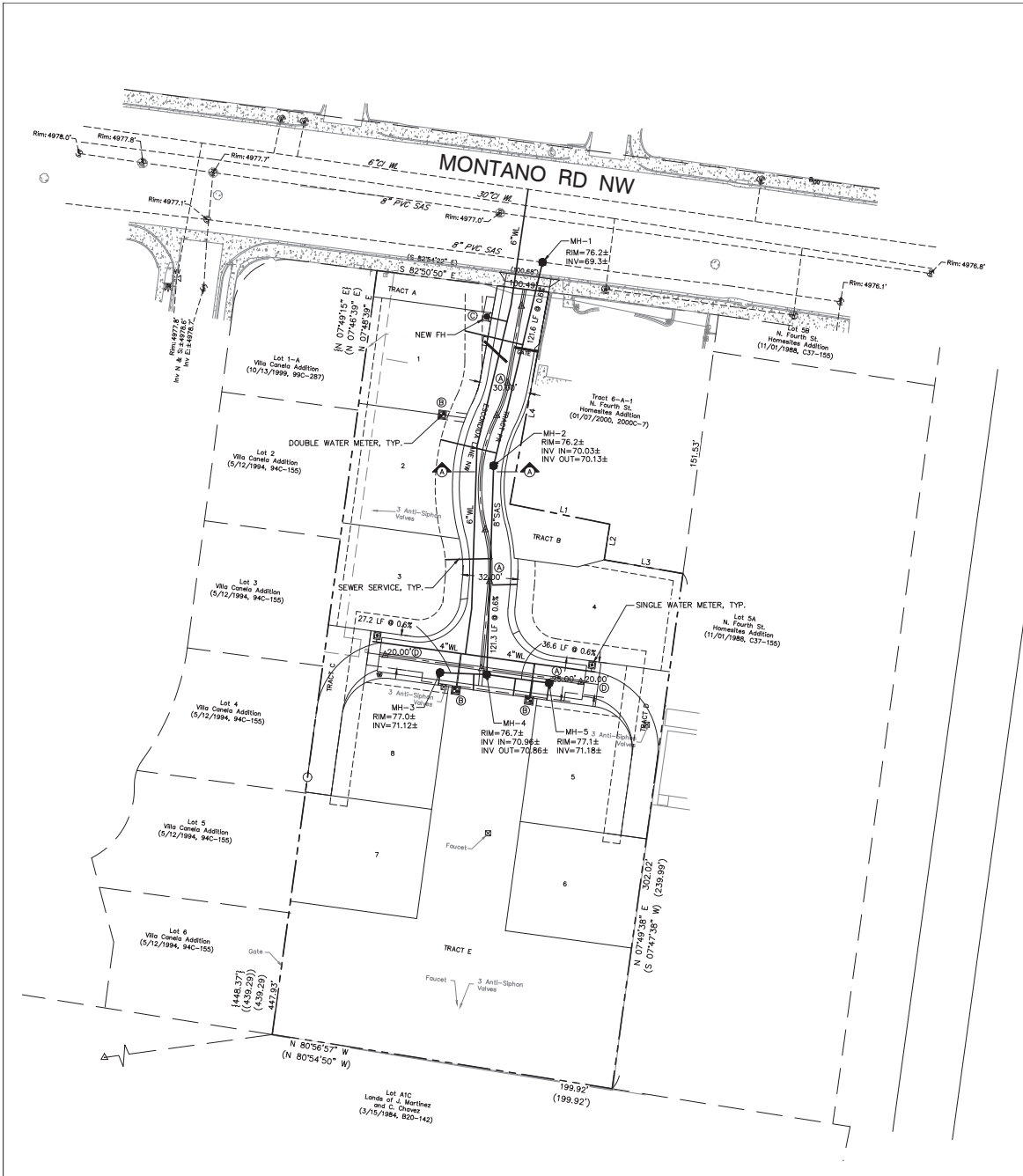


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BOSQUE ESCONDIDO
MONTANO FAMILY HOMES, LLC

GRADING NOTES & DETAILS

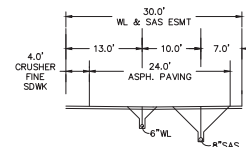
Date:	Rev.	Revision	Date:	Job No.
08/2019				2310
Drawn By:				CG-102
ANW				
Old By:				
ANW				SH OF



F-14

PROPOSED ABCWUA EASEMENTS

- (A) PUBLIC WATER LINE AND SANITARY SEWER EASEMENT.
- (B) PUBLIC 5'X5' WATER METER EASEMENT.
- (C) PUBLIC 5'X5' FIRE HYDRANT EASEMENT.
- (D) PUBLIC WATER LINE EASEMENT.



SECTION A-A
TRENCH PRISM
1"=10'

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.isaacson.com
2310 CI-101.dwg Aug 28, 2019

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP BOBQUE ESCONDIDO CONCEPTUAL UTILITY PLAN			
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	Mo./DAY/YR.	Mo./DAY/YR.
		LAST DESIGN UPDATE	
City Project No. _____		Zone Map No. F-14	Sheet 1 Of 1

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
DATE	BY	DATE	BY	FIELD NOTES		CONCEPTUAL	
DATE	BY	DATE	BY				
DATE	BY	DATE	BY				
DATE	BY	DATE	BY				

Current DRC:
Project Number:

FIGURE 12

INFRASTRUCTURE LIST

(Rev. 2-18-18)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Date Submitted: August 30, 2019

Date Site Plan Approved:

Date Preliminary Plat Approved:

Date Preliminary Plat Expires:

DRB Project No.:

DRB Application No.:

BOSQUE ESCONDIDO

PROPOSED NAME OF PLAT

TRACT 6-A-2, FOURTH STREET HOMESITES ADDITION

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Inspector	P.E.	City Cnst Engineer
		6"	WATERLINE Waterline PVC C-900	Escondida Ln 30'-32' WL Esmt	Montano Rd. Exst 6" WL	Escondida Ln S. End at hammerhead	/	/	/
		4"	Waterline PVC C-900	Escondido Ln 20'-25' WL Esmt	Escondido Ln W. End of hammerhead	Escondida Ln E. End of hammerhead	/	/	/
		8"	SANITARY SEWER Sanitary Sewer Line SDR-35	Escondida Ln 30'-32' SAS Esmt	Montano Rd. Exst 8" SAS	~10' South of Lot 4 of hammerhead	/	/	/
		8"	Sanitary Sewer Line SDR-35	Escondida Ln Hammerhead 25' SAS Esmt	Escondida Ln 28' ± W. of hammerhead CL	Escondida Ln 37± E. of hammerhead CL	/	/	/
		26" E-E	PAVING Residential Pavement	Escondida Ln	Montano Rd.	~35' South of N. Property Line	/	/	/
		24" E-E	Residential Pavement	Escondida Ln	~35' South of N. Property Line	Escondida Ln S. End	/	/	/
		120"x20"	Residential Pavement	Escondida Ln Hammerhead	West End of Hammerhead	East End of Hammerhead	/	/	/
							/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.						
Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To
				Inspector	P.E.	City Crst Engineer
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>
				Approval of Creditable Items:		
				Impact Fee Administrator Signature	Date	
				City User Dept. Signature Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

Street lights per City requirements.

1. Water infrastructure to include services, valves, fittings, valve boxes, and fire hydrants as required.
2. Sanitary sewer to include manholes and service connections as required.
3. *Sidewalks which front lots shall be deferred and constructed with individual house construction.
4. Signage and striping per DRC.
5. Certified grading and drainage and walls for SIA/Financial Release.
- 6.
- 7.

Åsa Nilsson-Weber

NAME (print)

Isaacson & Arfman, P.A.

FIRM

Åsa Nilsson-Weber 8/30/19

SIGNATURE - date

DRB CHAIR - date

PARKS & RECREATION - date

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

UTILITY DEVELOPMENT - date

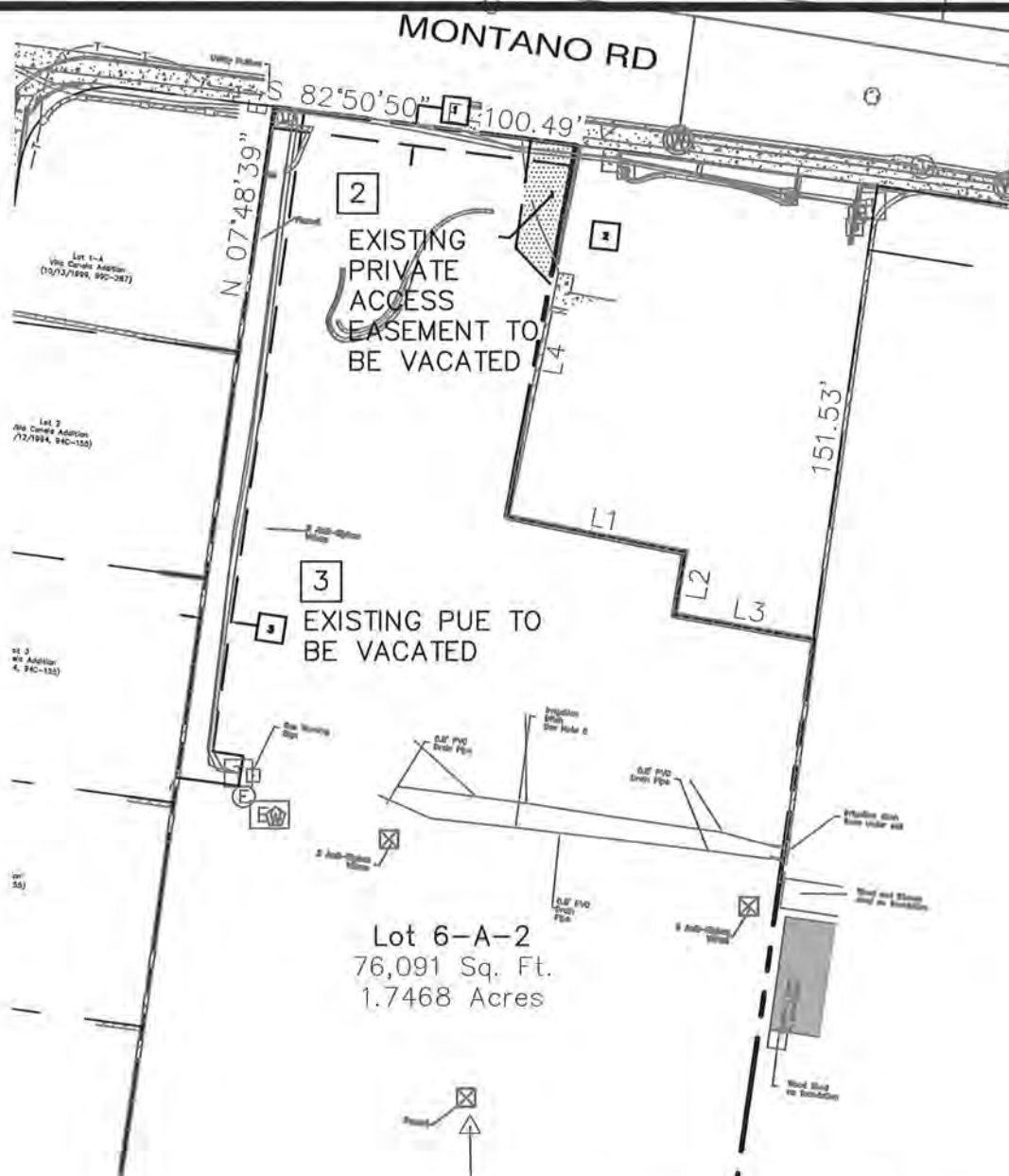
CODE ENFORCEMENT - date

CITY ENGINEER - date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER



Easement Notes

- 2 EXISTING PRIVATE ACCESS EASEMENT FOR THE BENEFIT OF LOT 6-A-1 (1/7/2000, 2000C-7)
- 3 EXISTING 10' PNM JOINT ELECTRIC AND GAS EASMENT (9/25/2002, PG. 2644, DOC. NO. 2002122989)

EASEMENT VACATION EXHIBIT

SCALE: 1"=60'



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
Albuquerque, New Mexico

2310 C-701-EASEMENT VACATION.dwg

Aug 30, 2019

PROJECT BOSQUE ESCONDIDO

JOB NO. 2310 BY ANW DATE 08/30/19

JUNE 1999

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

JUNE 1999

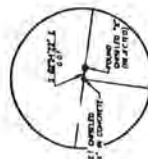


GRAPHIC SCALE



LEGEND

- ☒ DENOTES POINT FOUND AND USED AS SHOWN
☐ DENOTES POINT SET BY THIS SURVEY REFRAP WITH CAP "DS 11993"



DETAIL "A"



PRECISION SURVEYS, INC.

6414-D JEFFERSON ST., N.E. PHONE 505 826 5700
ALBUQUERQUE NEW MEXICO 87113 FAX 505 826 7300

DRB CASE NO. 98-274
SHEET 2 OF 2



PUBLIC SERVICE COMPANY OF NEW MEXICO
JOINT ELECTRIC AND GAS EASEMENT

THIS EASEMENT made this 19th day of September, 2002, by and between

Sarita R. Perla, Trustee of the Sarita R. Perla Living Trust

(Grantor) and PUBLIC SERVICE COMPANY OF NEW MEXICO, a New Mexico corporation for its Electric Services Division, and for its Gas Services Division, and QWEST Corporation authorized to do business in New Mexico (Grantees), their successors and assigns. The rights of Grantee-QWEST corporation hereunder are for communications purposes only.

WITNESSETH:

Grantor, for and in consideration of the sum of One Dollar (\$ 1.00) in hand paid and other valuable consideration, the receipt of which is acknowledged, does hereby give, bargain, sell, grant and convey unto Grantees, their successors and assigns, a perpetual easement to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain overhead and/or underground facilities for the transmission and distribution of electric power and energy and facilities for fiber optics and communication purposes, and facilities for the transmission and distribution of natural gas. Such facilities shall include lines, poles, guy wires, conduits, one or more natural gas pipelines, and other equipment, fixtures and structures necessary to maintain such facilities on, over, beneath and across the easement hereinafter described, together with free access to, from, and over said easement, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the easement to extend services to customers of Grantees, and to trim and remove any trees, shrubs, bushes, or vegetation which interfere with the purpose set forth herein. The easement granted herein is within lands situate in **BERNALILLO** County, New Mexico, and is more particularly described as follows, to wit:

Grantor hereby covenants that Grantor is the true and lawful owner of the land described herein.

PNM Project Number A64966

An easement within Lot 6-A-2 of the Plat of Lots 6-A-1 and 6-A-2, NORTH FOURTH STREET HOMESITES ADDITION situate in Section 32, T11N, R3E, N.M.P.M., Bernalillo County, New Mexico as the same is shown and designated on said Plat filed for record in the office of the County Clerk, Bernalillo County in Plat Book 2000C, Page 7 on January 7, 2000. Said easement more particularly described as follows:

An easement ten (10) feet in width being the westerly ten (10) feet of the northerly 223.6 feet of said Lot 6-A-2.

Also, and easement ten (10) feet in width beginning at a point in the westerly property line whence the northwest corner of said Lot 6-A-2 bears N 07° 46' 39" E, running thence as an easement in an easterly direction for a distance of 20 feet.

DL L 223.6' SJH

All as generally shown on PNM drawing attached hereto and made a part hereof as EXHIBIT "A".

Grantor shall have the right to use the above described easement for purposes not inconsistent with the rights hereby granted, provided that Grantor shall not erect nor construct any building, pool, or other structure thereon, nor drill nor operate any well thereon, nor conduct any activity which violates the National Electrical Safety Code.

The provisions hereof shall inure to the benefit of and bind the heirs, mortgagees, lessees, tenants, successors and assigns of the parties hereto. Grantees shall have the unrestricted right to sell, transfer, assign, pledge, mortgage, lease, grant licenses or other use or occupancy rights with respect to, or otherwise dispose of, in whole or in part, any interest in the easement and such assigns shall have the further right to convey, in whole or in part, the rights granted to them by Grantee.

WITNESS my hand and seal this 19th day of September, 2002

Signature: *Sarita R. Perla* (SEAL) _____ (SEAL)
Sarita R. Perla

_____(SEAL) _____(SEAL)

ACKNOWLEDGMENT FOR NATURAL PERSONS

STATE OF NEW MEXICO

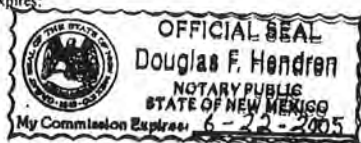
COUNTY OF BERNALILLO

This instrument was acknowledged before me on September 19, 2002

By Sarita R. Perla

My commission expires:

(Seal)



Douglas F. Hendren
Notary Public

ACKNOWLEDGMENT FOR CORPORATION

STATE OF _____
COUNTY OF _____

This instrument was acknowledged before me on

_____, 2002

By _____
(Name of Officer) (Title of Officer)

of _____
(Corporation Acknowledgment)

a _____ corporation, on behalf of said corporation.
(State of Incorporation)

My commission expires:
(Seal)

Notary Public

FOR RECORDER'S USE ONLY

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5738153
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BX-R42 Pg-2644

Mary Herrera Bern. Co. EASE R 11.00

PNM
REFERENCE
NUMBER

PNM 481 7/01

Montano Road, N.W.
(R.O.W. VARIES)

△ = 00°
R = 568
T = 38.5
L = 77.1
CH = S
77

EE DETAIL "A"

LOT 1

UND REBAR W/
P "LS 10283"

LOT 2

FOUND PK NAIL W/
TAG "LS 10283"

REBAR W/
S 10283"

LOT 3

FOUND PK NAIL W/
TAG "LS 10283"

LOT 4

FOUND PK NAIL W/
TAG "LS 10283"

TRACT 6-A-1

AREA = 0.322 ac.

TRACT 6-A-2

AREA = 74,522 sq. ft.
1.711 acres

LOT 5A
NORTH FOURTH STREET
HOMESITES ADDITION
(11/01/88, C37-155)

DETAIL

Barcodes and Survey Information:

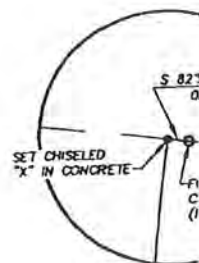
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Barry Herrera
Bern. Co. ERSE
R 11.89

$$\begin{array}{l} \Delta = 00^{\circ} 4 \\ R = 568 \\ T = 38.5 \\ L = 77.1 \\ CH = S \\ 77 \end{array}$$

ACS MONUMENT "14
NEW MEXICO STATE
PLANE COORDINATE
CENTRAL ZONE - I
X=383,162.85
Y=1,505,911.96
EL=4974.079
G-G=0.99967778
DELTA ALPHA=-0°

LOT 5A
NORTH FOURTH STREET
HOMESITES ADDITION
(11/01/88, C37-155)



DETAIL

Mary Herrera Bern. Co. EASE R 11.89

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NON SPECIFIED FASEMENT AS PER