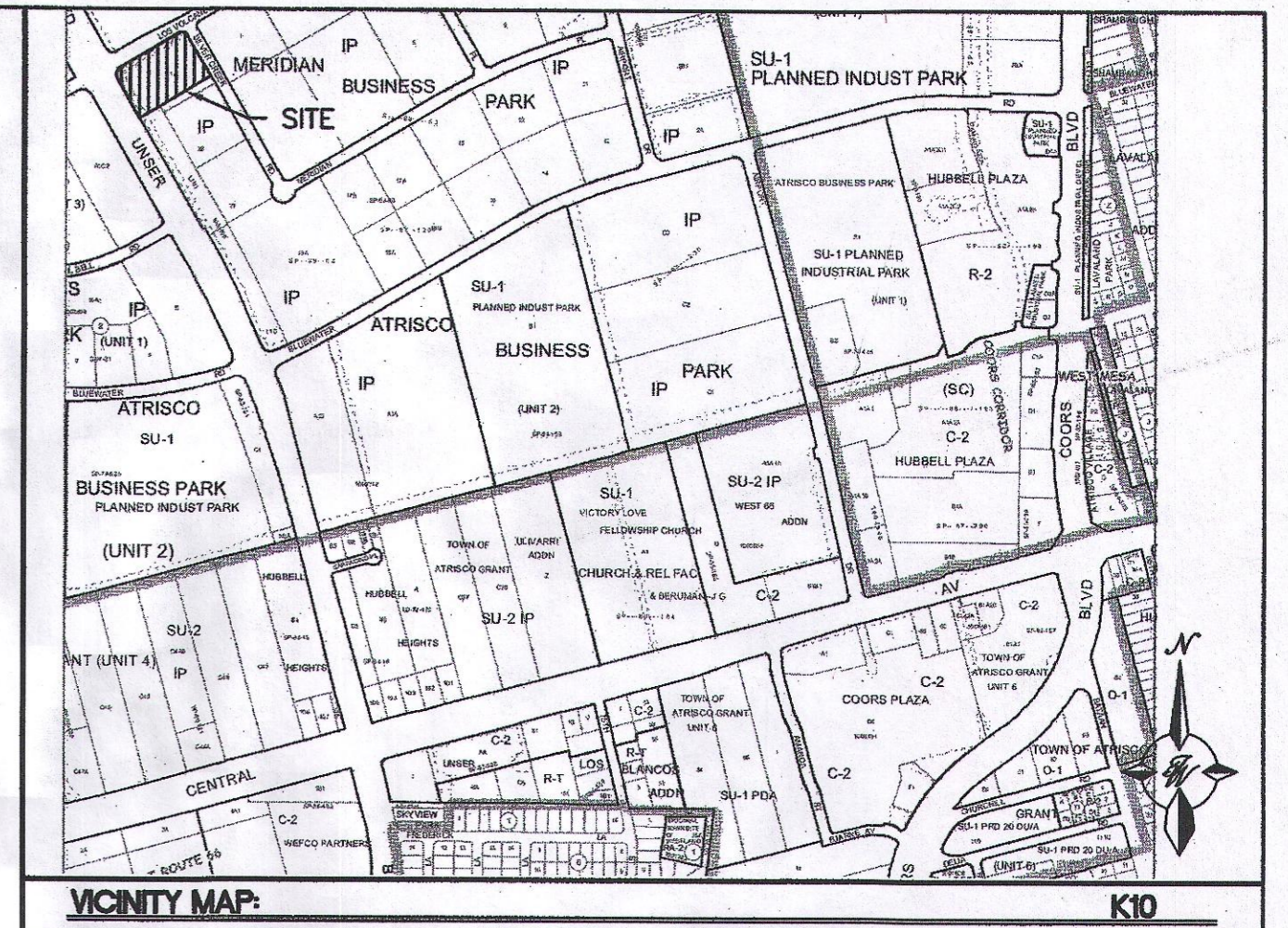


KEYED NOTE:

- ① DIRECTIONAL ARROW AND ENTER MARKINGS (TYPICAL)
- ② 6" CURB & GUTTER
- ③ 8" CURB & GUTTER
- ④ ADA RAMP (TYP.)
- ⑤ FUEL PUMP (TYP.)
- ⑥ BOLLARD (TYP.)
- ⑦ HOOP BOLLARD (TYP.)
- ⑧ UNDERGROUND STORAGE TANK
- ⑨ TRASH ENCLOSURE SEE DETAIL SHEET
- ⑩ HC PARKING SEE DETAIL SHEET
- ⑪ MC PARKING SEE DETAIL SHEET FOR SIGNAGE
- ⑫ BIKE RACK (5 SPACES)
- ⑬ LANDSCAPE AREA
- ⑭ 1' CONCRETE CHANNEL
- ⑮ PROPOSED PRIVATE FIRE HYDRANT
- ⑯ 30' PRIVATE ACCESS, DRAINAGE AND PARKING EASEMENT
- ⑰ DIESEL FUEL PUMP, HIGH FLOW (TYP.)
- ⑱ MPDS (TYP.)
- ⑲ 4'X8' MONUMENT SIGN
- ⑳ AIR STATION
- ㉑ PATIO AREAS
- ㉒ DRAINAGE POND
- ㉓ MOTORCYCLE PARKING
- ㉔ EXISTING ELECTRICAL SWITCH
- ㉕ GREASE INTERCEPTOR
- ㉖ EXISTING 10' PUE
- ㉗ RETAINING WALL W/RAILING
- ㉘ 32 SF MONUMENT SIGN
- ㉙ 6' CONCRETE CROSSWALK
- ㉚ OFF STREET LOADING AREA (60'X12')
- ㉛ 4 CONCRETE SIDEWALK
- ㉜ 6' CONCRETE SIDEWALK
- ㉝ EXISTING 10' CONCRETE SIDEWALK
- ㉞ 1' SIDEWALK CULVERT
- ㉟ FUELING STATION/DISPENSER NUMBER

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING LANE
- EXISTING STRIPING



LEGAL DESCRIPTION:

TRACT L-1-A-1, ATRISCO BUSINESS PARK

NOTES:

ADDRESS: 551 SILVER CREEK RD NW
ALBUQUERQUE, NM 87121

UPC NO: 101005705548020114

SITE DATA

PROPOSED USAGE: MAVERIK ADVENTURE FIRST STOP
 LOT AREA: 133,273 SF (3.06 ACRES)
 ZONING: NR-BP
 BUILDING AREA: 5,518 SF

PARKING REQUIRED: 22 SPACES (4 SPACES/1000 SF)

PARKING PROVIDED: 71 SPACES (INCLUDES FUEL PUMP SPACES)

HC PARKING REQUIRED: 2 SPACES

HC PARKING PROVIDED: 3 SPACES

1 SPACE VAN ACCESSIBLE

MC PARKING REQUIRED: 1 SPACES (1 SPACE FOR 1 TO 25 REQUIRED PARKING)

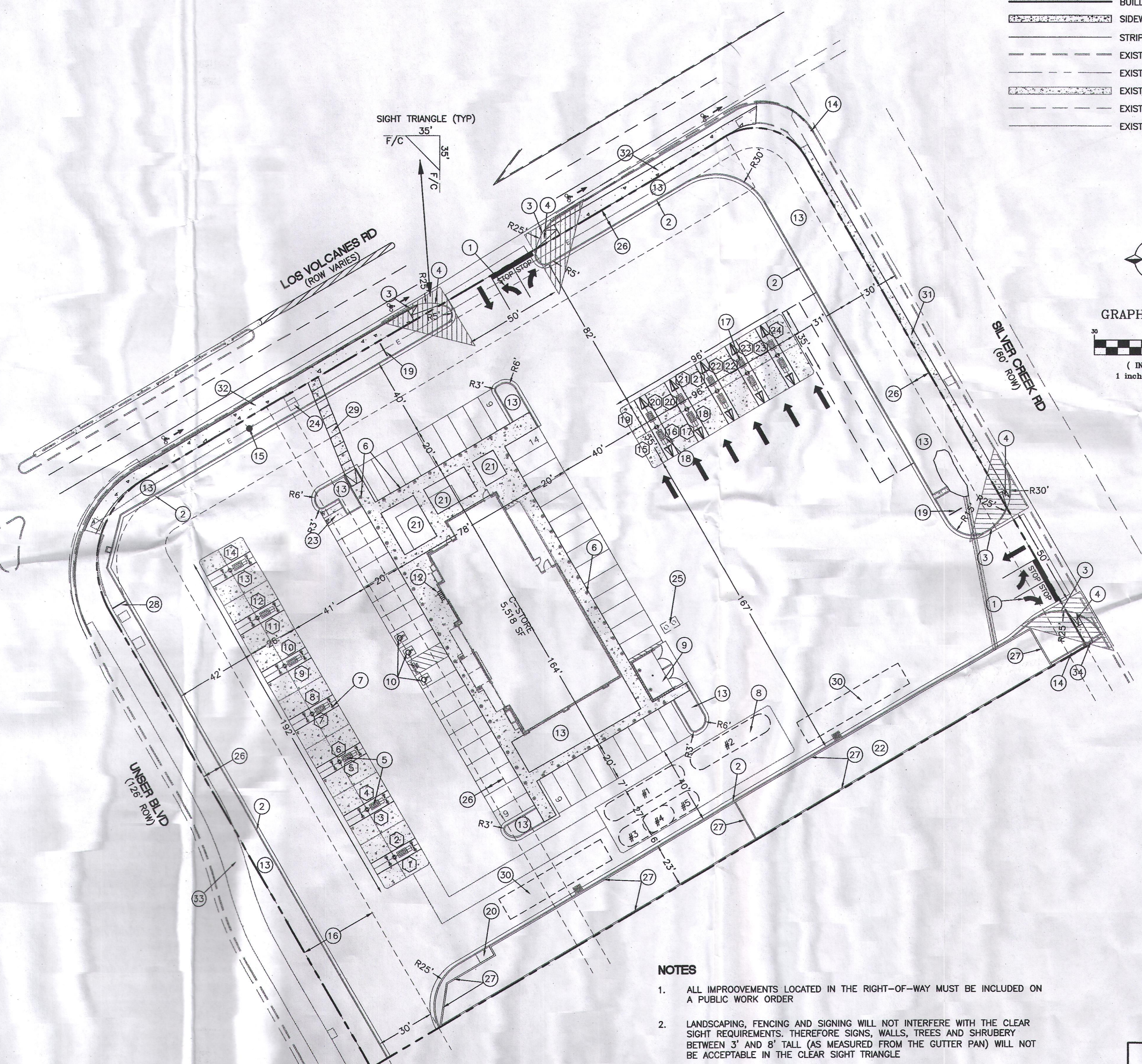
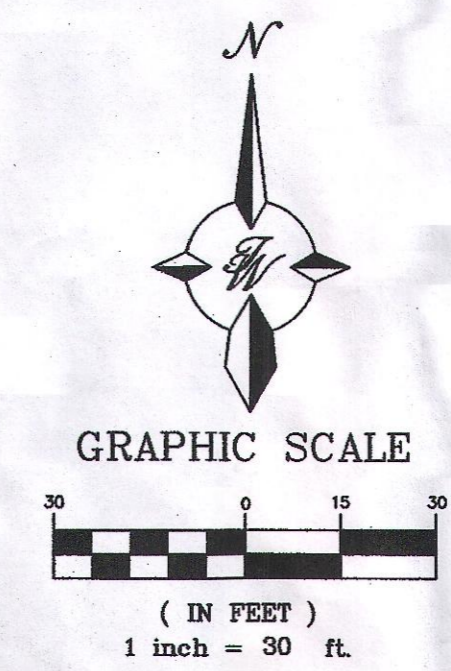
MC PARKING PROVIDED: 2 SPACES

BICYCLE PARKING REQUIRED: 3 SPACES (3 SPACES OR 10% OF REQUIRED PARKING)

BICYCLE PARKING PROVIDED: 5 SPACES

LANDSCAPE AREA REQUIRED: 25,551 SF (20% OF NET AREA)

LANDSCAPE AREA PROVIDED: 25,745 SF



NOTES

1. ALL IMPROVEMENTS LOCATED IN THE RIGHT-OF-WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER
2. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH THE CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES AND SHRUBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

PROJECT NUMBER:	PR-2018-001525
APPLICATION NUMBER:	SI-2019-00086
<p>This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.</p> <p>Is an Infrastructure List required? (✓) Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.</p>	
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:	
<i>Roguel M...</i>	5/22/19
Traffic Engineer, Transportation Division	Date
<i>The...</i>	5/22/19
Water Utility Development	Date
<i>...</i>	7-23-19
Parks & Recreation Department	Date
<i>Denise Br...</i>	5/22/19
City Engineer	Date
<i>...</i>	5/22/19
Environmental Health Department (conditional)	Date
<i>...</i>	5/22/19
Solid Waste Management	Date
<i>...</i>	7-23-19
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	

ENGINEER'S SEAL	MAVERIK STORE #NM-0115 UNSER AND LOS VOLCANES	DRAWN BY pm
	SITE PLAN FOR BUILDING PERMIT	DATE 5-2-19
		DRAWING 2018042-SP
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # SP-1
		JOB # 2018042

LEGEND

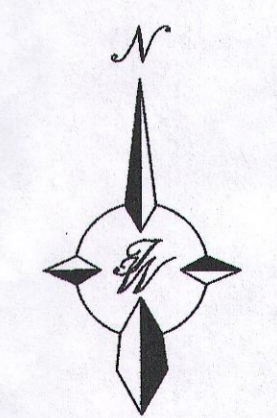
- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- - - RIGHT-OF-WAY
- ▭ BUILDING
- ▨ SIDEWALK
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- - - 36" SD STORM SEWER LINE
- - - 8" SAS SANITARY SEWER LINE
- - - 8" WL WATERLINE
- ⊙ DOUBLE CLEAN OUT
- ⊙ EXISTING SD MANHOLE
- ⊙ EXISTING INLET
- ⊙ EXISTING SAS MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER VALVE
- ⊙ EXISTING WATER METER
- ⊙ EXISTING POWER POLE
- ⊙ EXISTING GAS VALVE
- - - EXISTING UNDERGROUND UTILITIES
- - - EXISTING GAS
- - - EX. 8" SAS EXISTING SANITARY SEWER LINE
- - - EX. 10" WL EXISTING WATER LINE
- ⊞ TRANSFORMER

GENERAL UTILITY NOTES

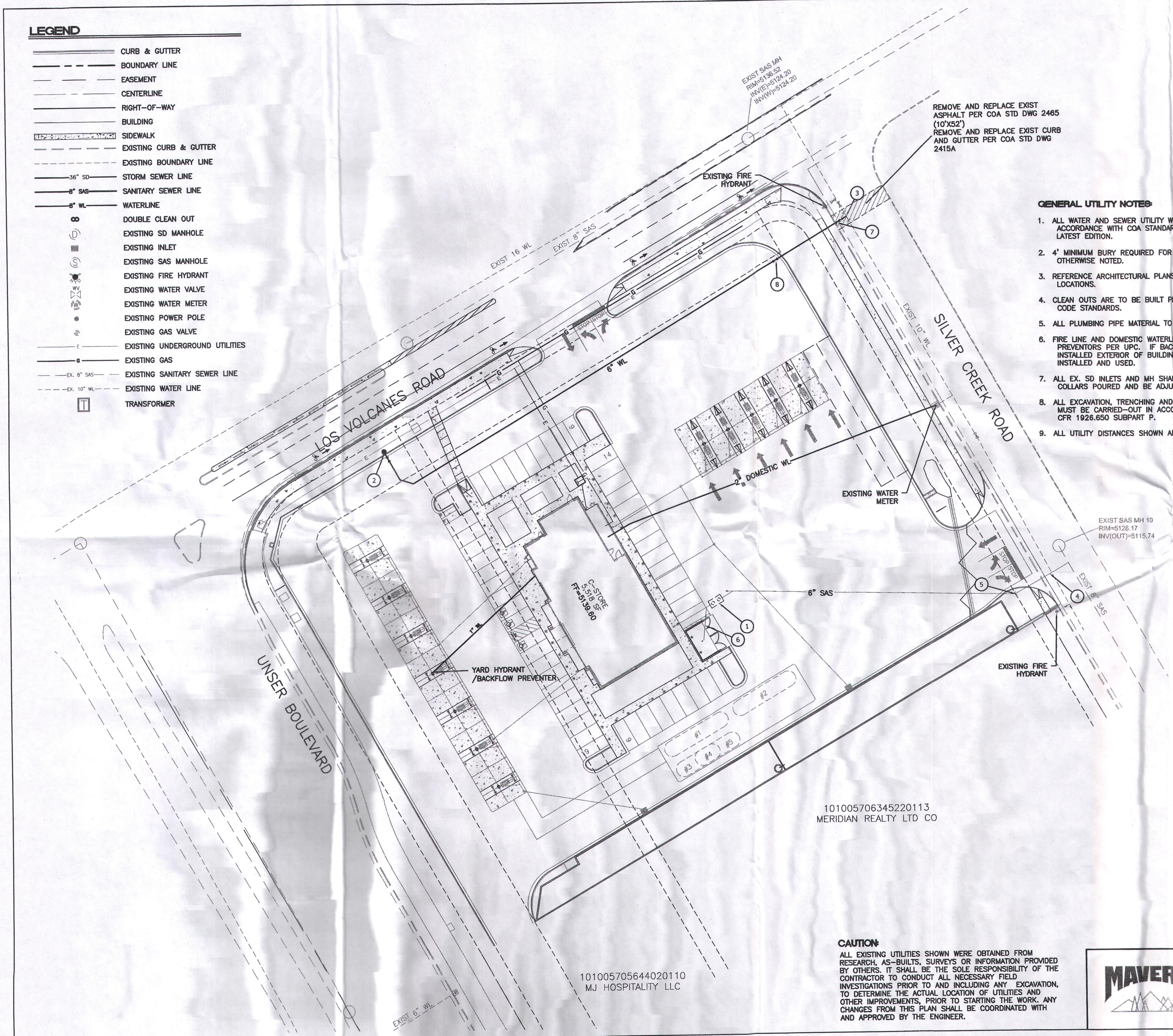
1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
7. ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
10. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
11. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
12. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.
13. ALL BUILDINGS - CONSTRUCTION TYPE IS II-B

KEYED NOTES

- ① GREASE INTERCEPTOR
- ② NEW HYDRANT & 6" GATE VALVE PER COA STD DWG 2340
- ③ PRESSURE CONNECTION
- ④ EXISTING 6" SAS STUB
- ⑤ CONNECT TO EXISTING SAS STUB
- ⑥ 4" SAS
- ⑦ 6" GATE VALVE (PUBLIC)
N= E=
- ⑧ 6" GATE VALVE (PRIVATE)
N= E=



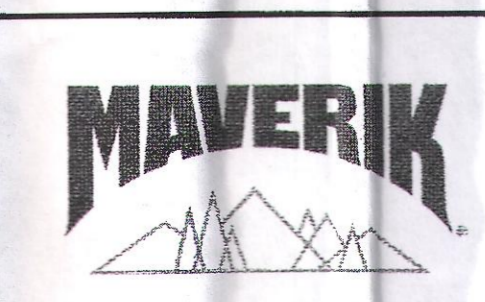
GRAPHIC SCALE
(IN FEET)
1 inch = 30 ft.



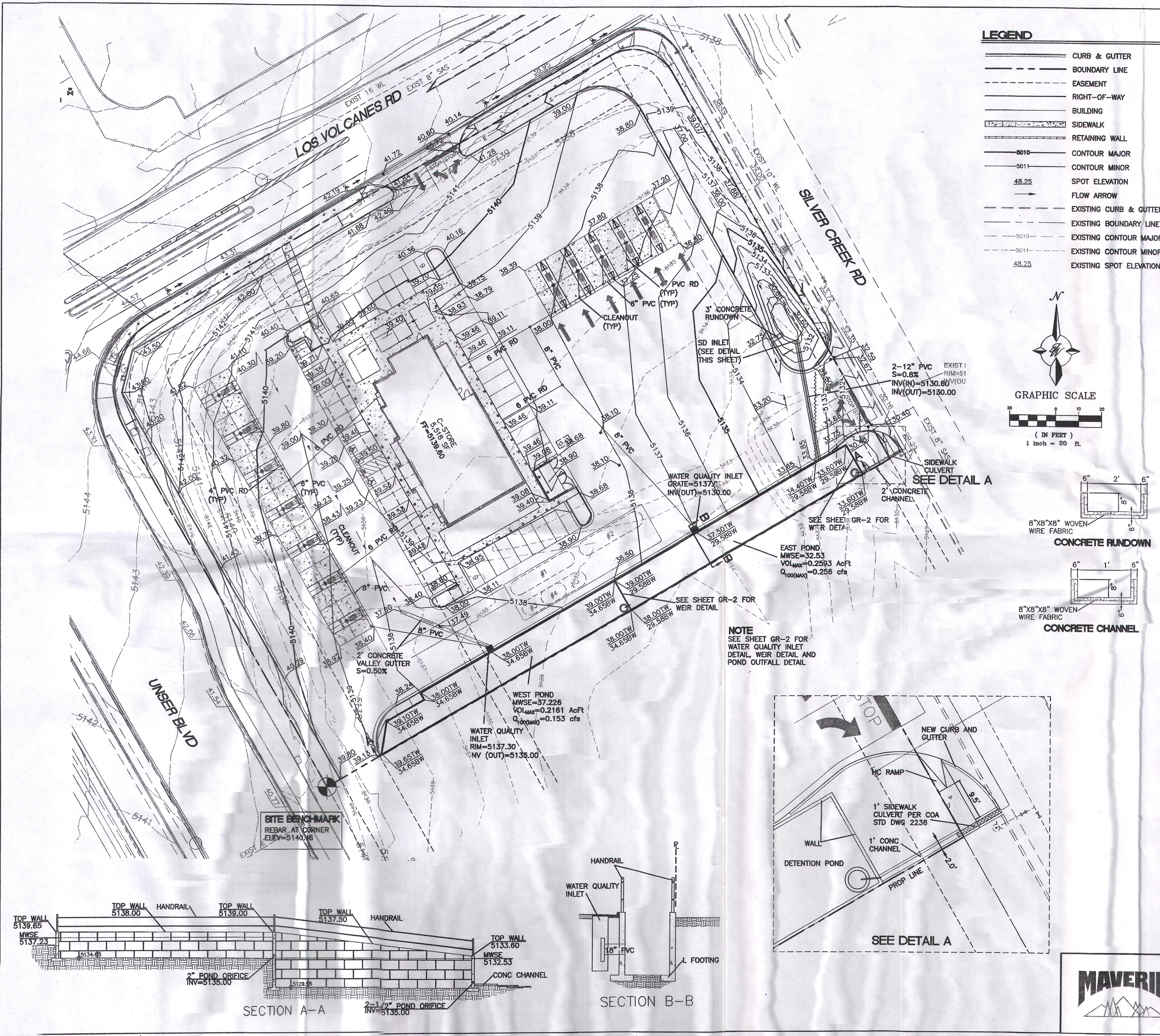
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MERIDIAN REALTY LTD CO

101005705644020110
MJ HOSPITALITY LLC

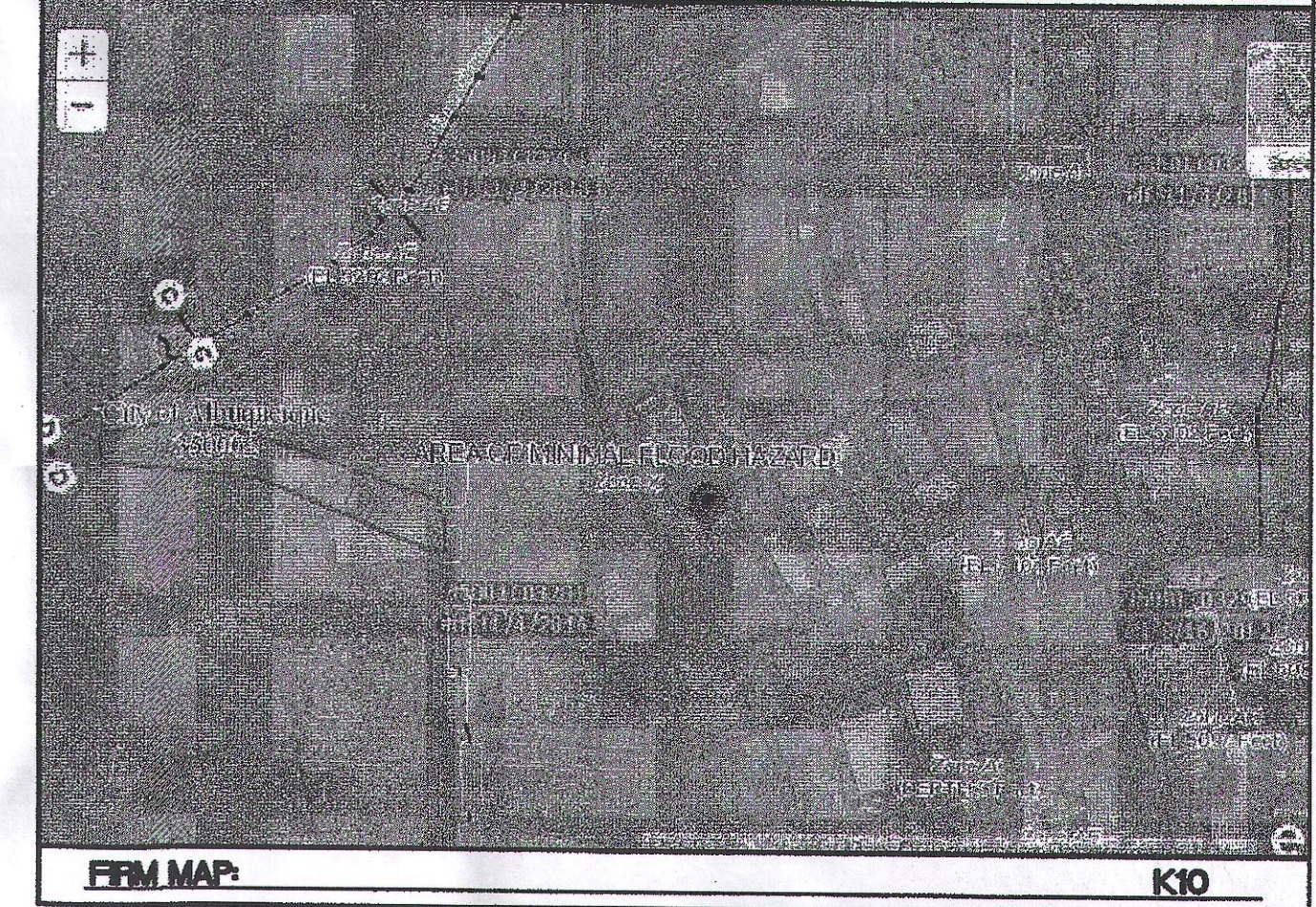
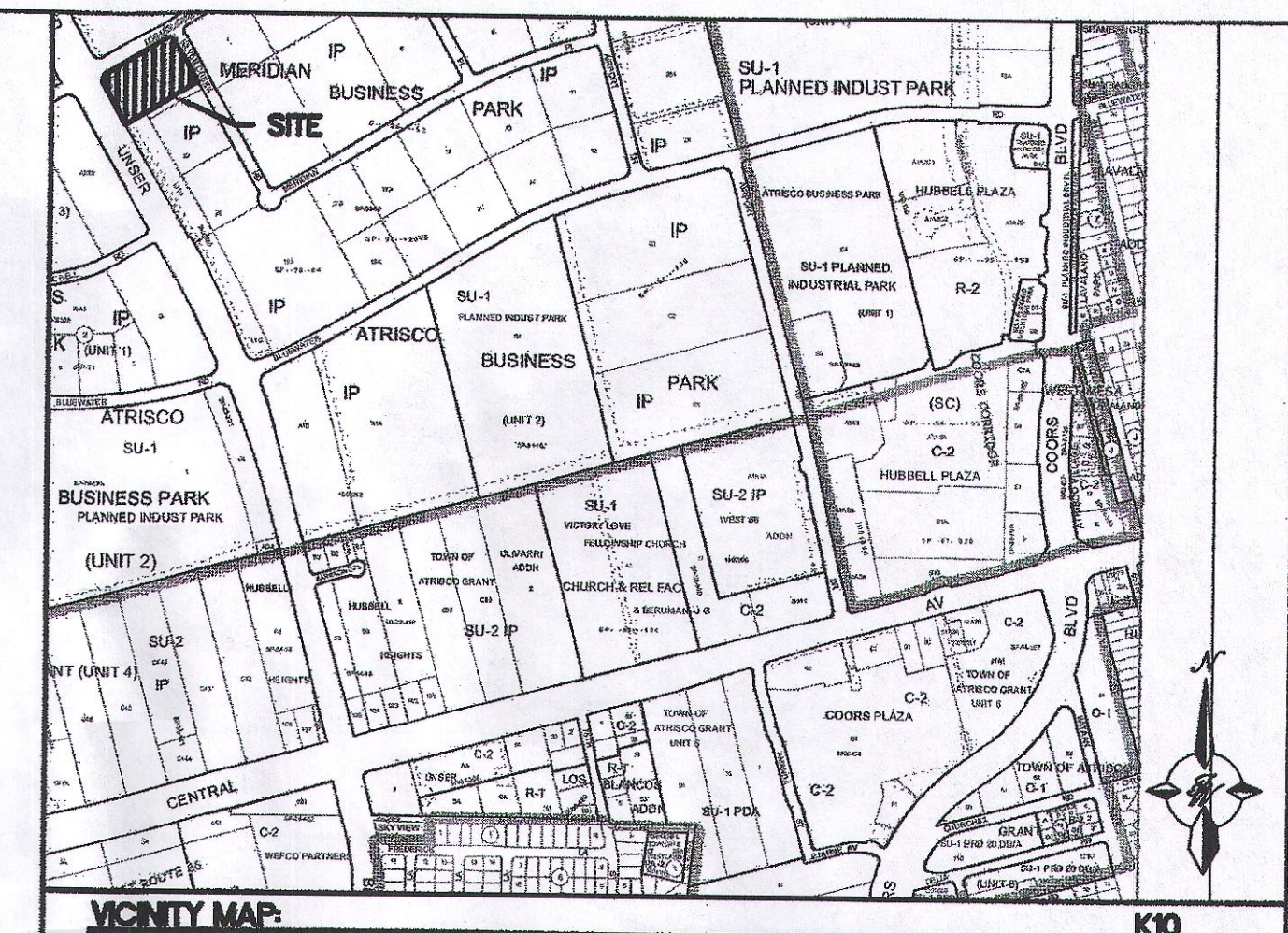
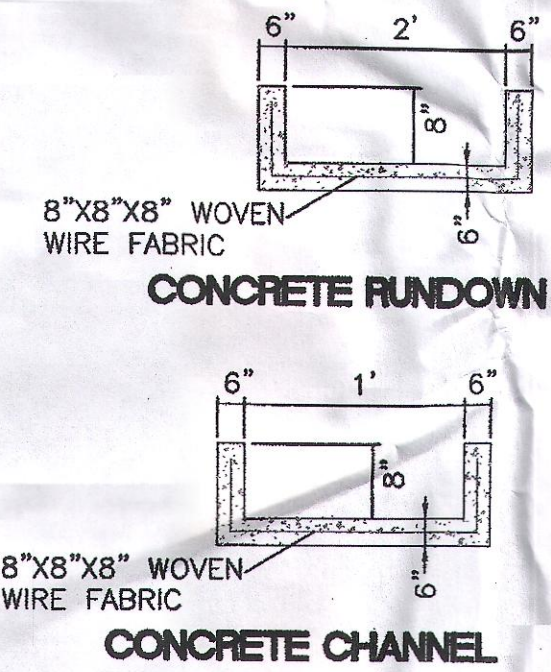
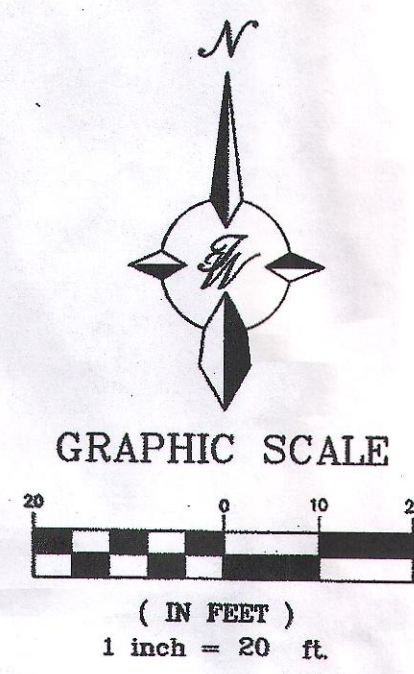
CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



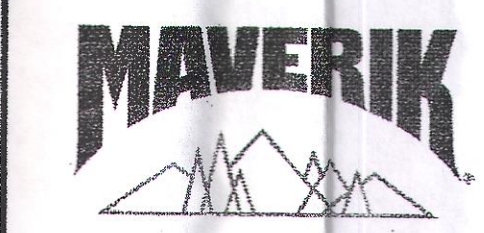
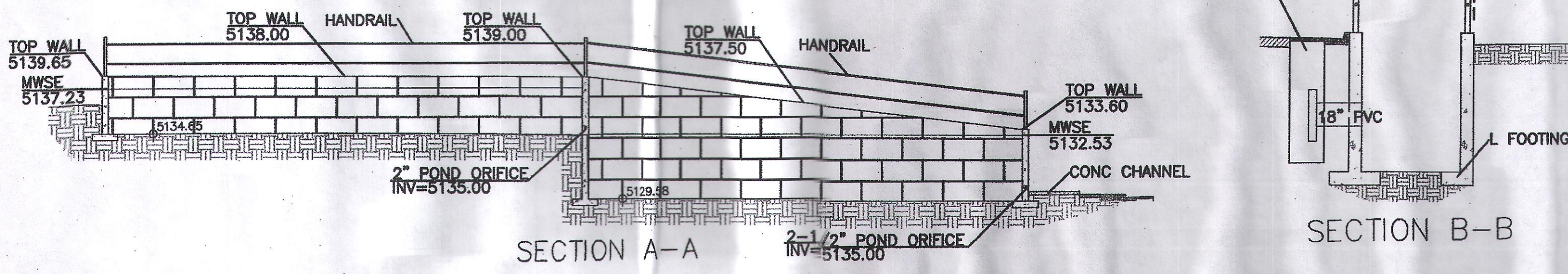
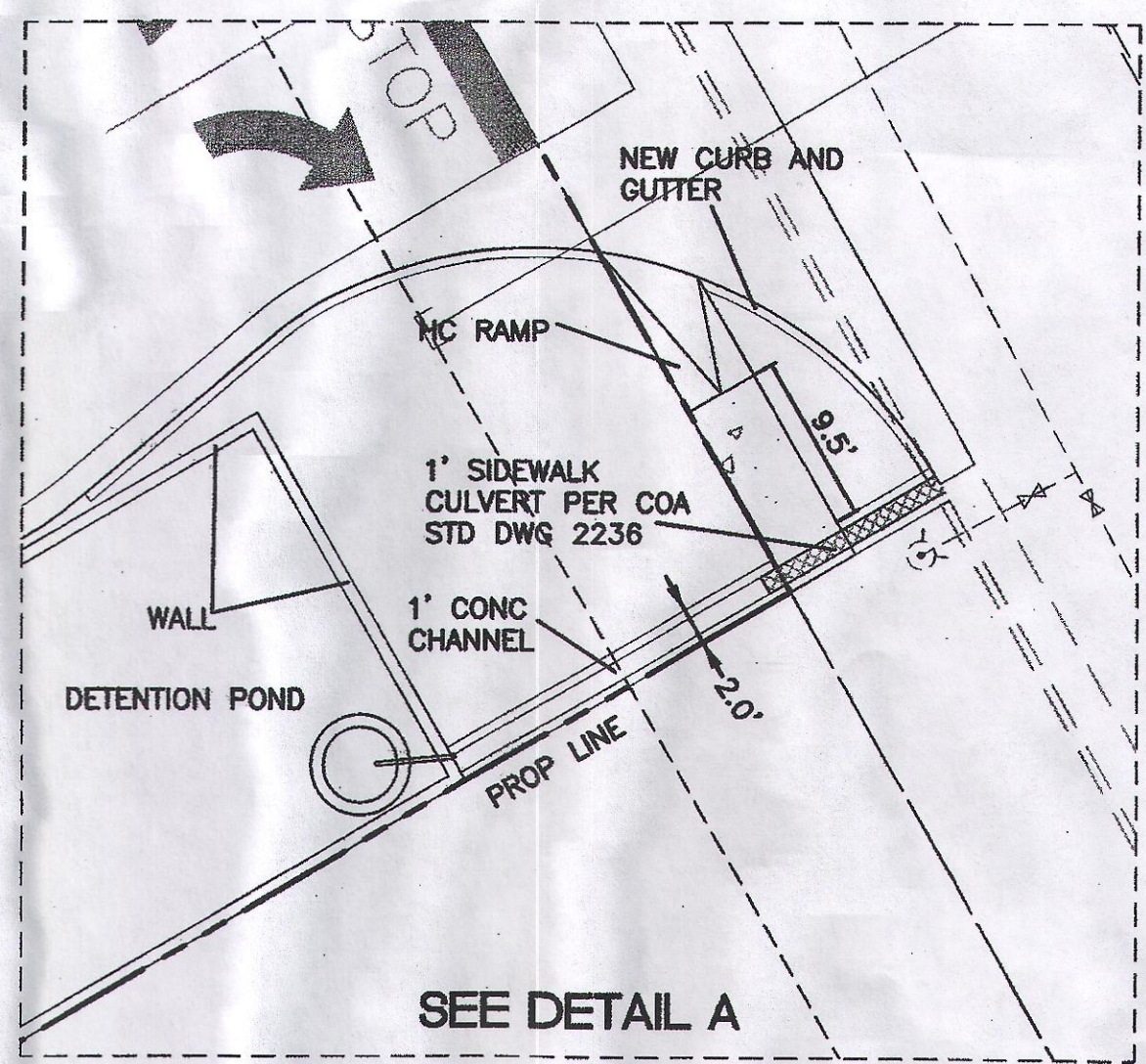
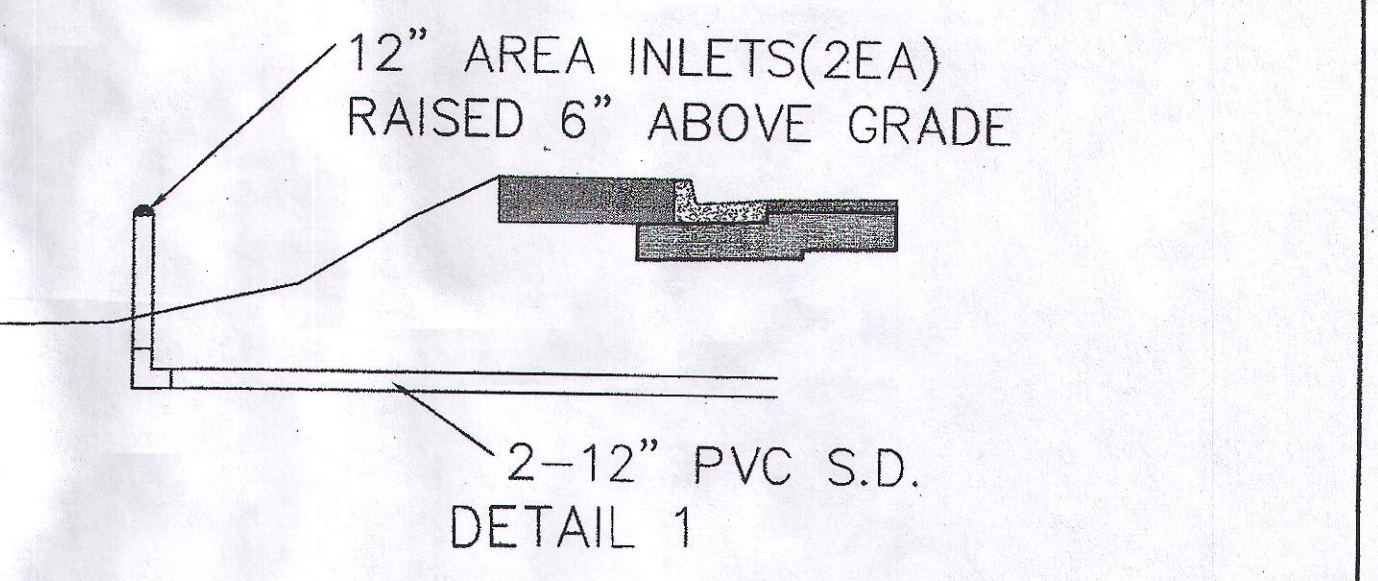
ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7888	MAVERIK STORE #NM-0115 UNSER AND LOS VOLCANES MASTER UTILITY PLAN TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	DRAWN BY pm DATE 5-2-19 DRAWING SHEET # MU-1 JOB # 2018042
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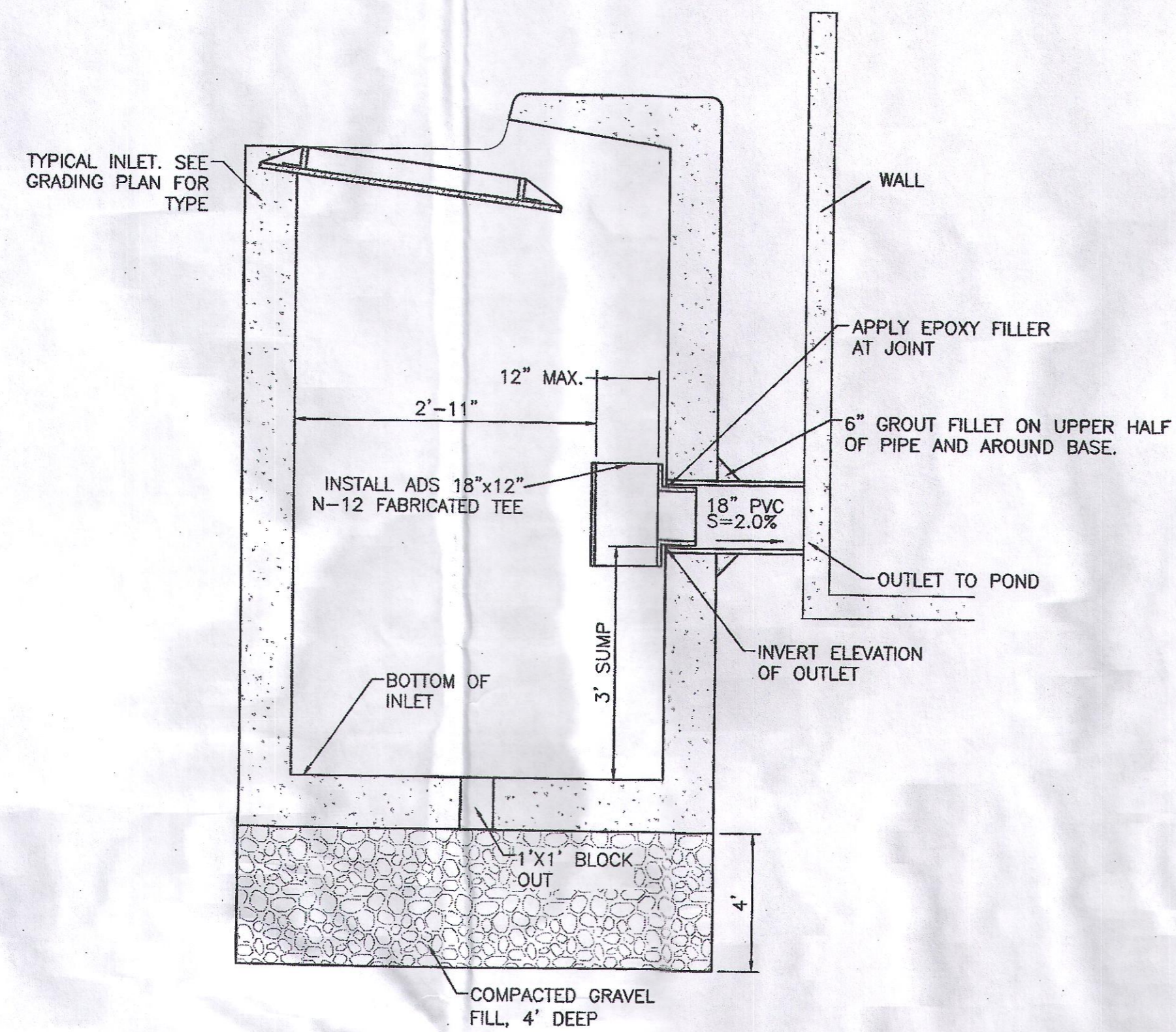
- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - - - EASEMENT
 - - - RIGHT-OF-WAY
 - ▭ BUILDING
 - ▭ SIDEWALK
 - ▭ RETAINING WALL
 - 5010 CONTOUR MAJOR
 - 5011 CONTOUR MINOR
 - 48.25 SPOT ELEVATION
 - FLOW ARROW
 - - - EXISTING CURB & GUTTER
 - - - EXISTING BOUNDARY LINE
 - - - 5010 EXISTING CONTOUR MAJOR
 - - - 5011 EXISTING CONTOUR MINOR
 - 48.25 EXISTING SPOT ELEVATION



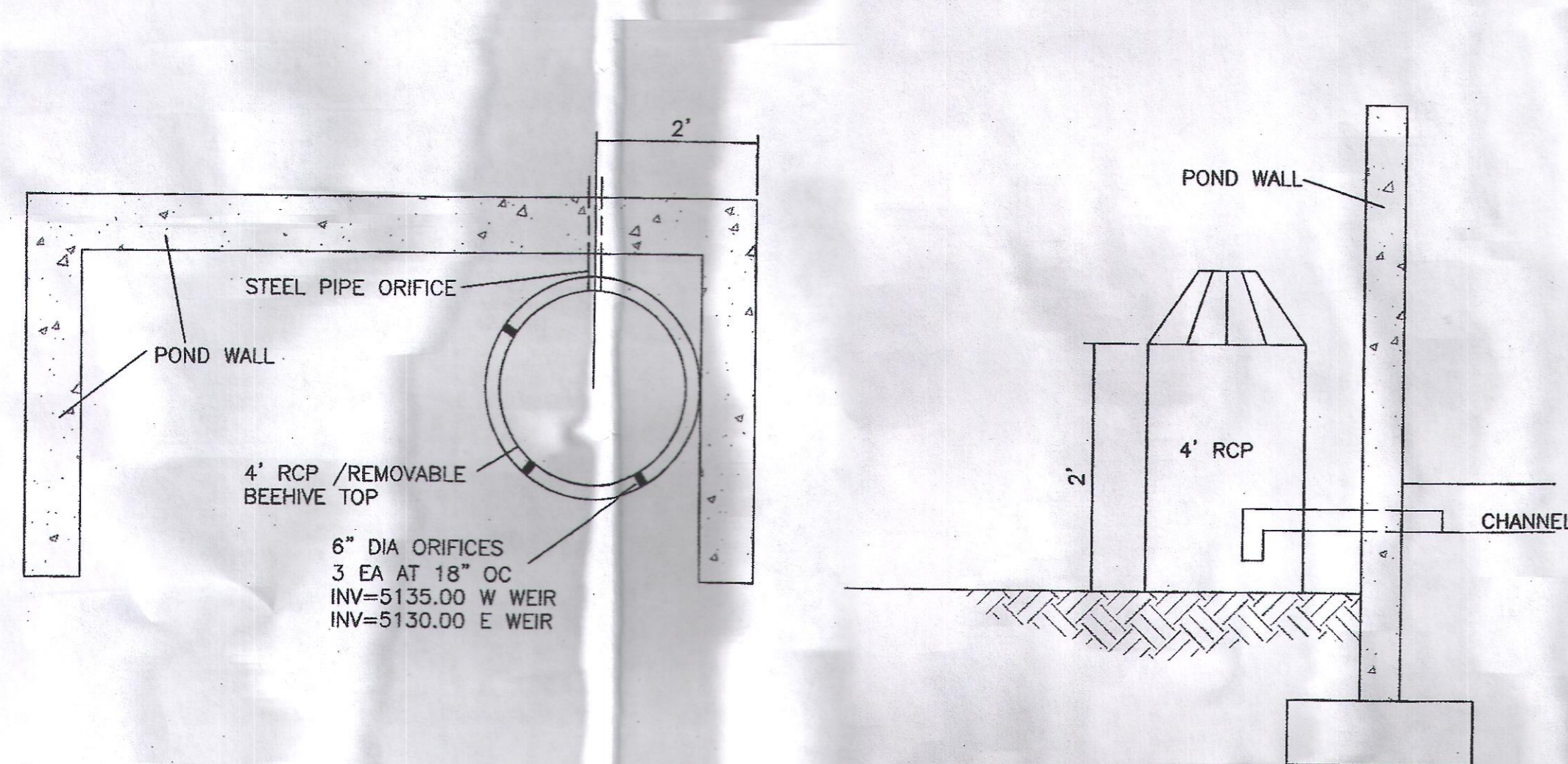
LEGAL DESCRIPTION:
TRACT L-1-A-1, ATRISCO BUSINESS PARK



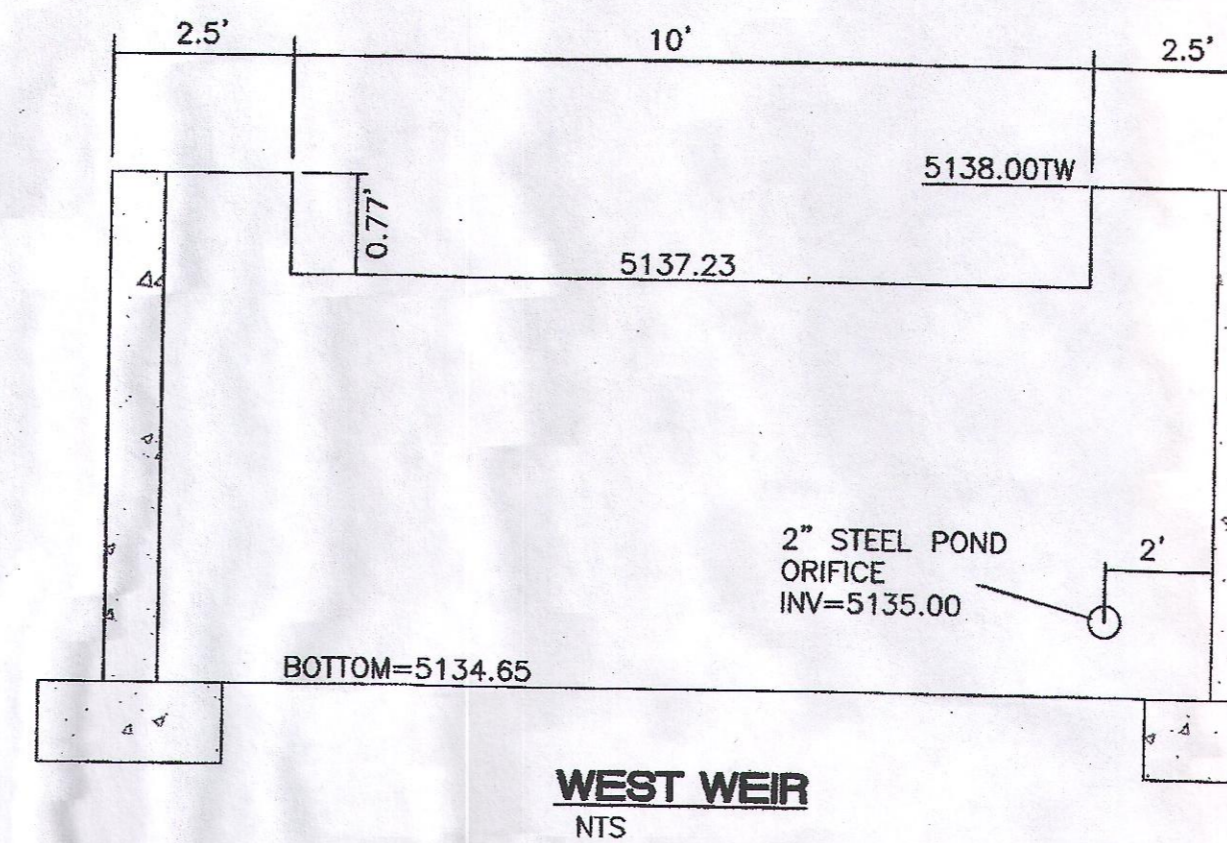
ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	MAVERIK STORE #NM-015 UNSER AND LOS VOLCANES	DRAWN BY pm
	GRADING AND DRAINAGE PLAN	DATE 5-2-19
 TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # GR-1	JOB # 2018042



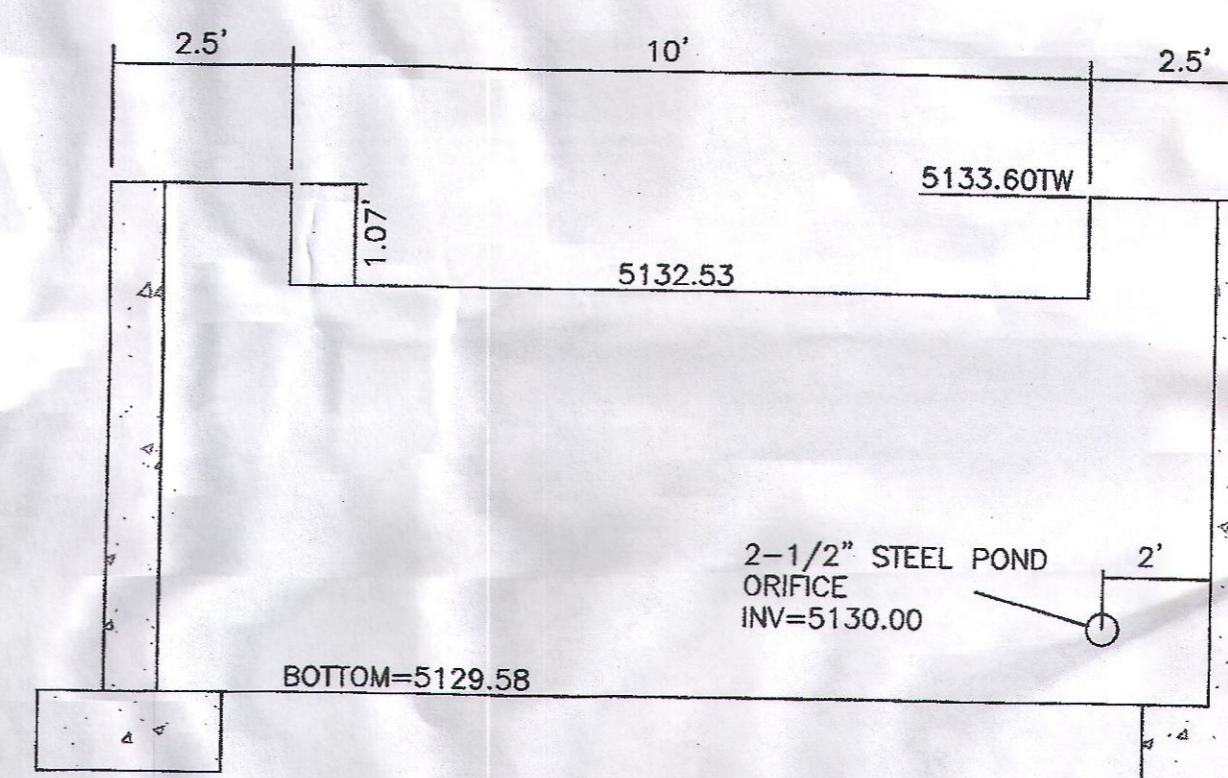
TYPICAL WATER QUALITY INLET DETAIL
NTS



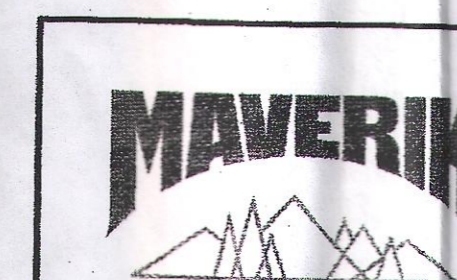
POND OUTFALL DETAIL
NTS




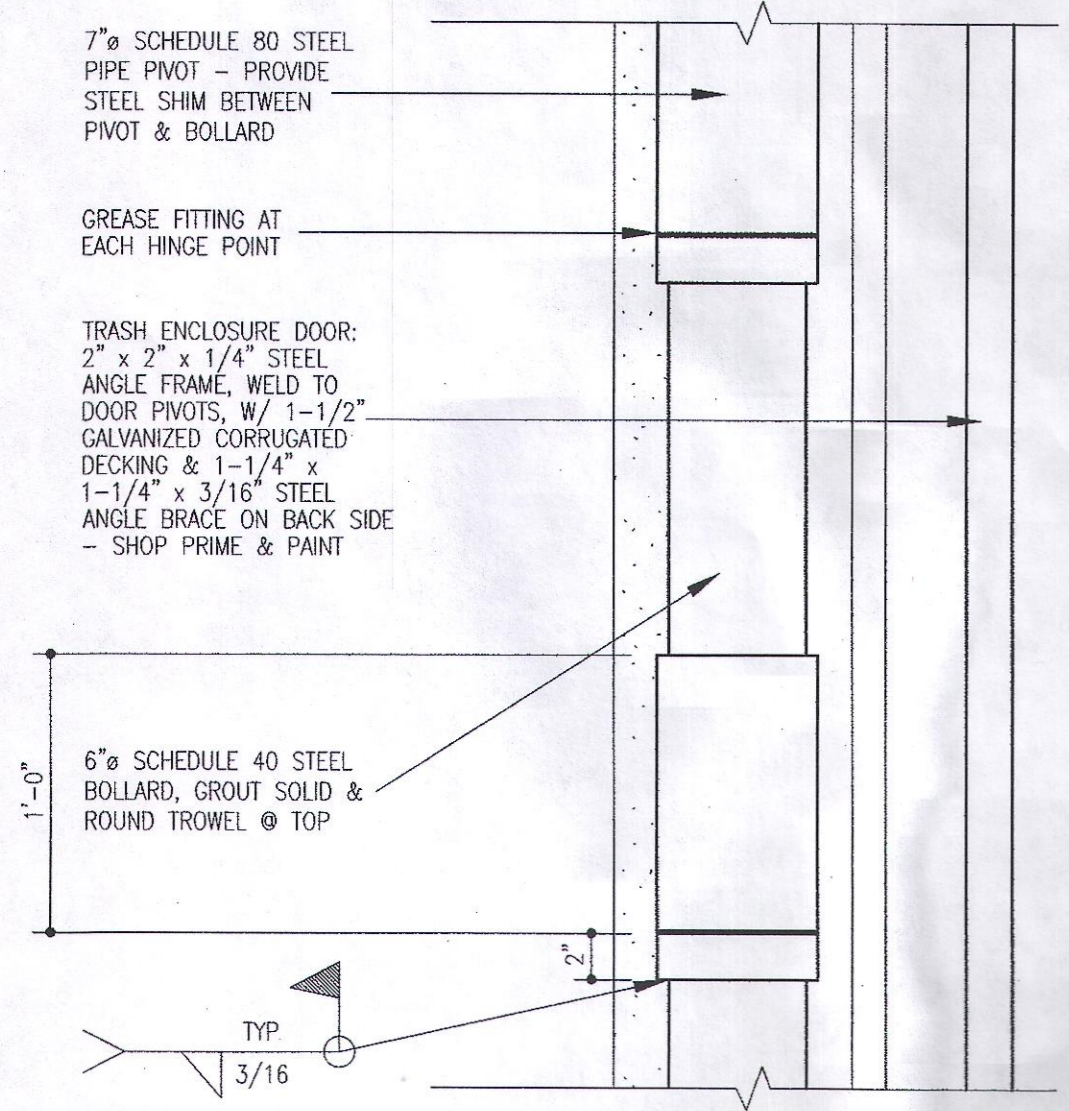
WEST WEIR
NTS



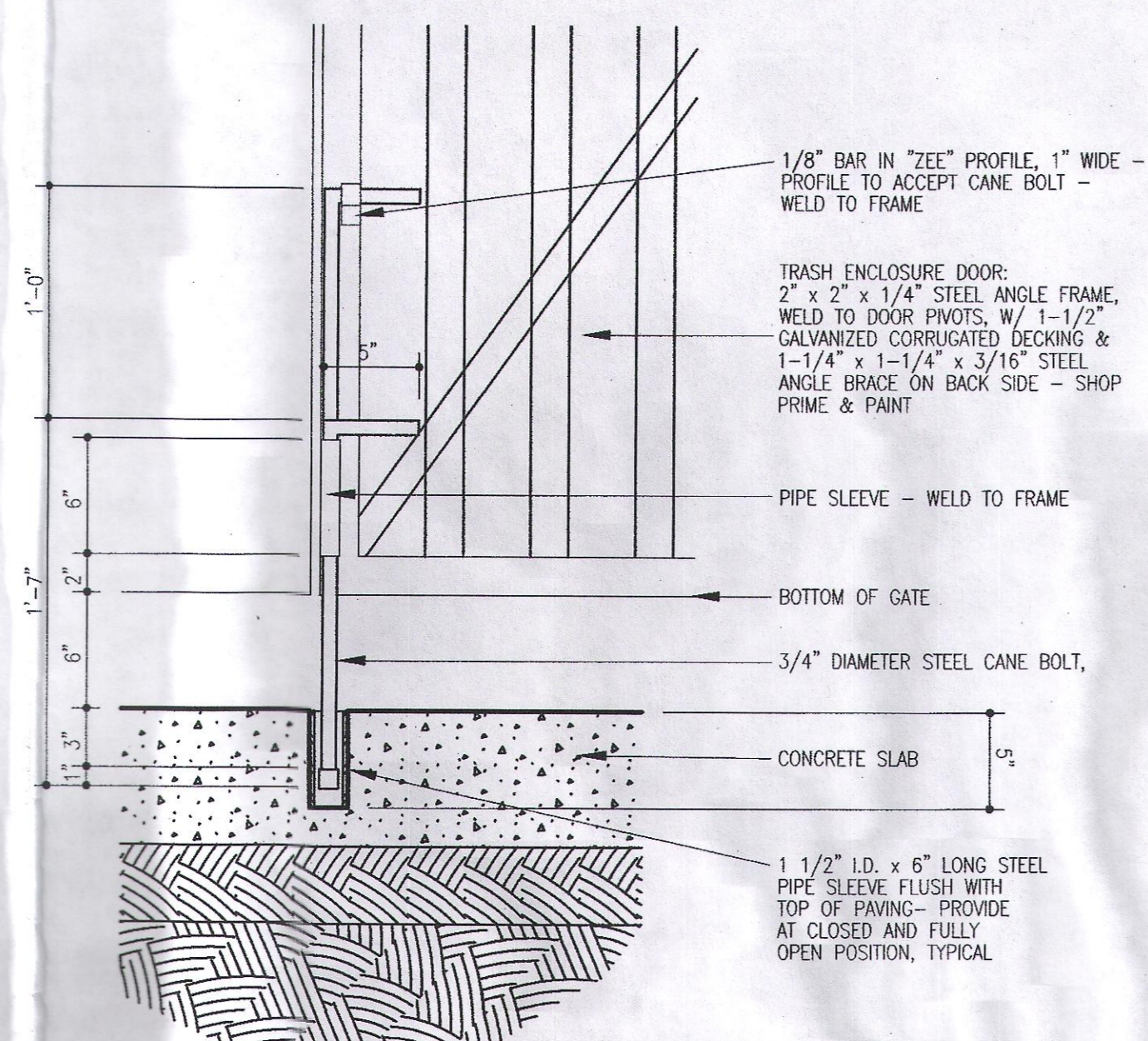
EAST WEIR
NTS



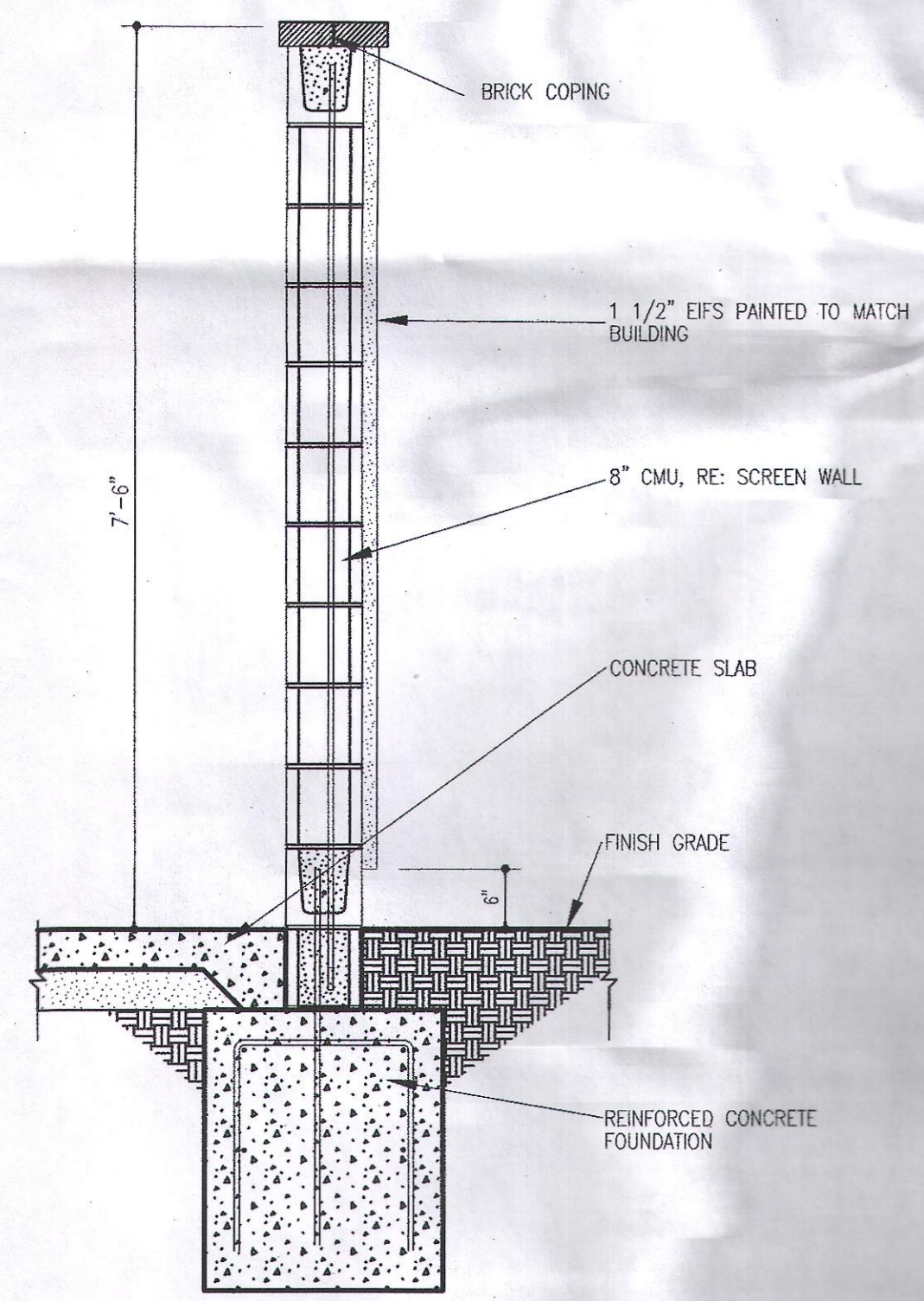
ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	MAVERIK STORE #NM-0115 UNSER AND LOS VOLCANES	DRAWN BY dm
	GRADING DETAILS	DATE 5-2-19
TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	SHEET # GR-2	JOB # 2018042



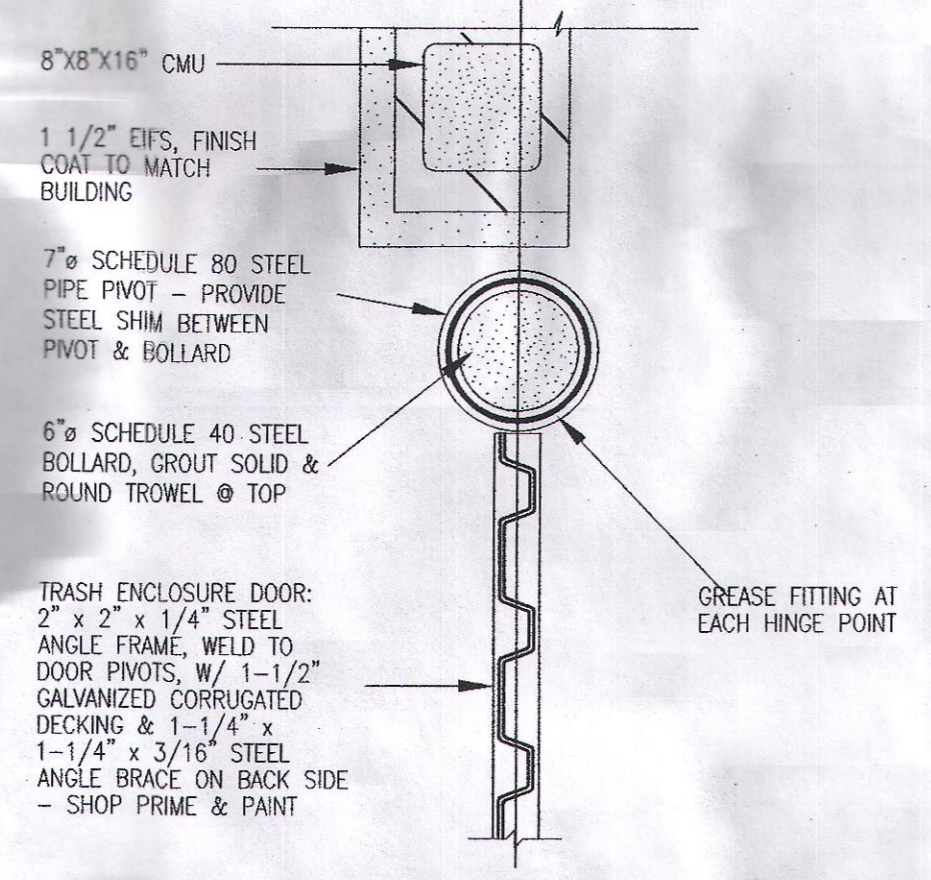
9 Dumpster Door Pivot
1/2" = 1'-0"



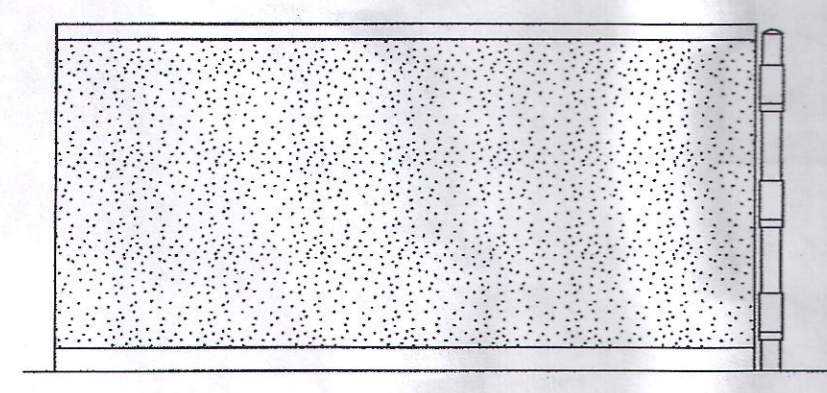
8 Cane Bolt Detail
1/2" = 1'-0"



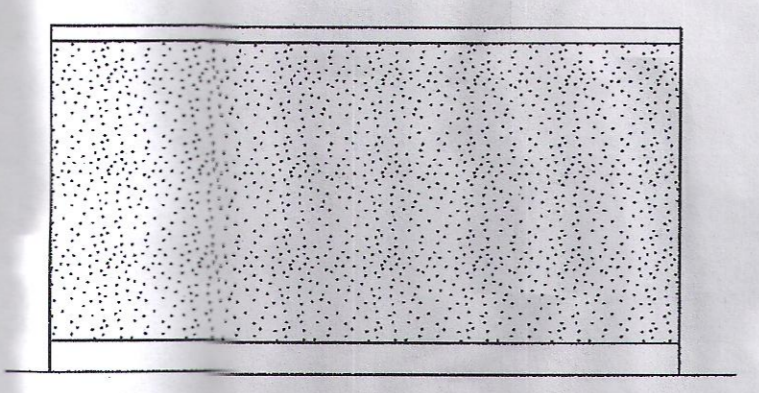
7 Wall Section
3/4" = 1'-0"



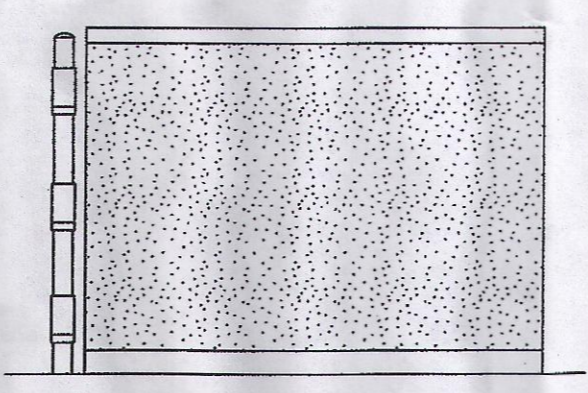
6 Plan Detail
1/2" = 1'-0"



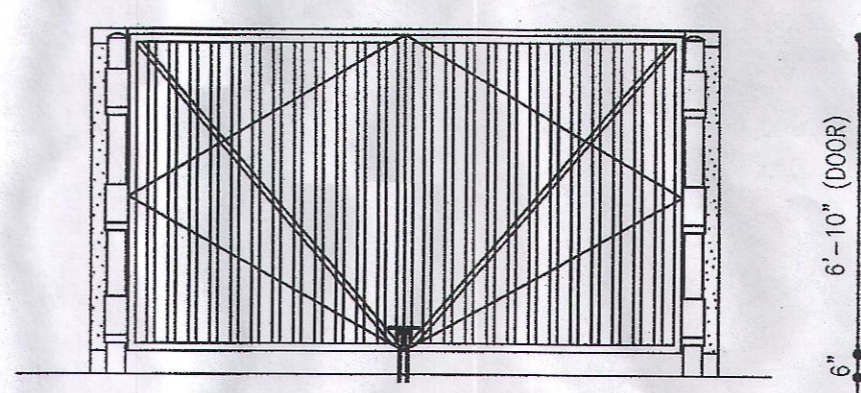
5 Side Elevation
NTS



4 Back Elevation
NTS



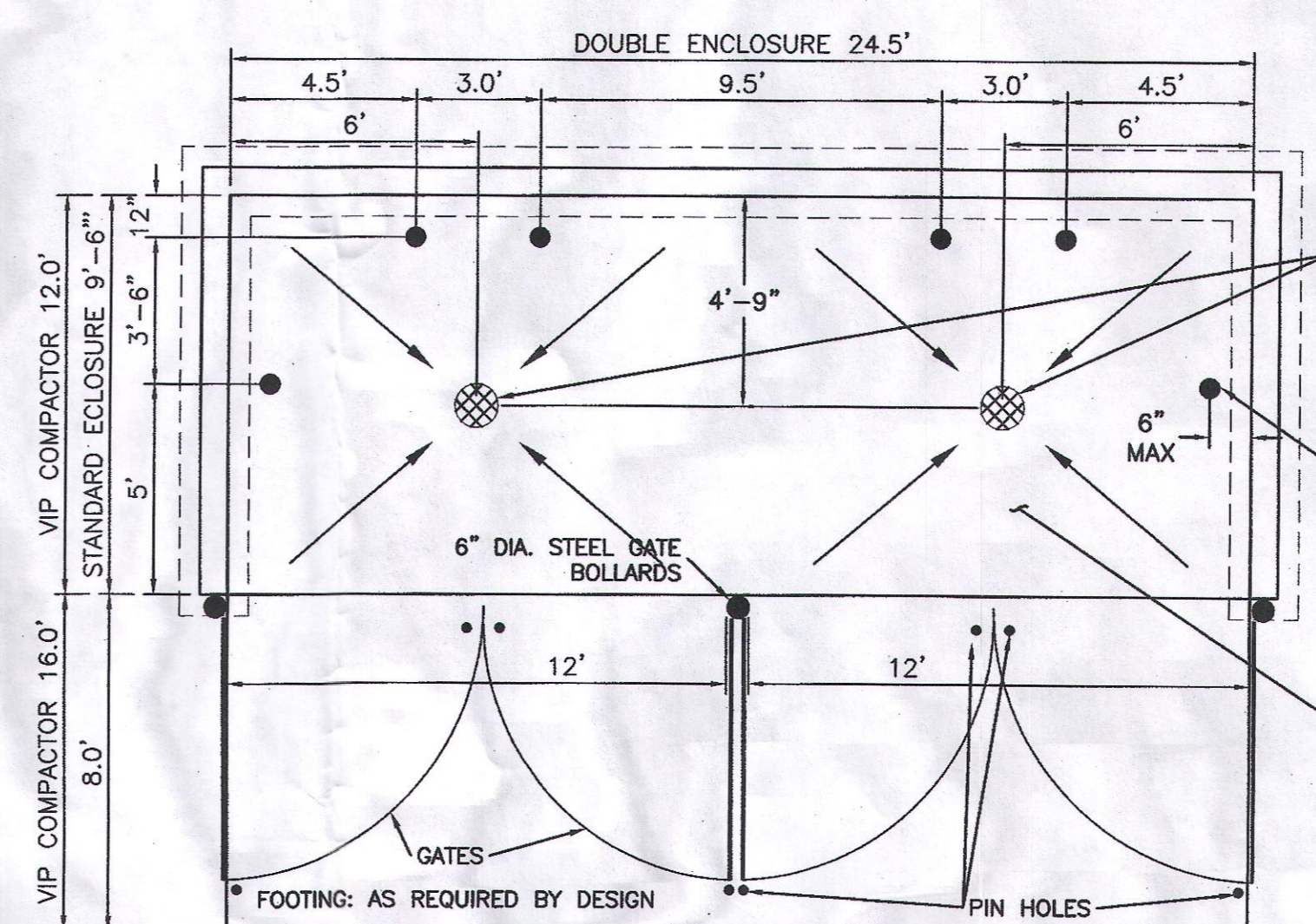
3 Side Elevation
NTS



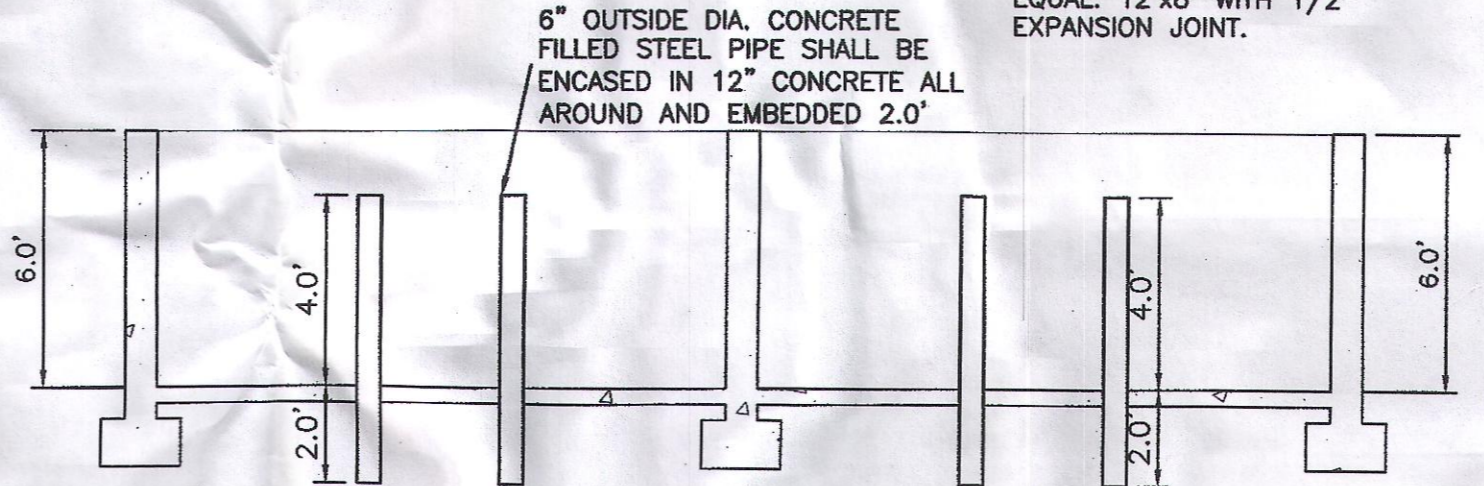
2 Front Elevation
NTS

General Notes

1. PAINT BOLLARDS, GATE HINGES, GATES & ANY OTHER FERROUS STEEL COMPONENT TO MATCH BUILDING
2. SOLID WASTE IS TO PROVIDE ALL INSPECTIONS ON THE TRASH ENCLOSURE SUCH AS PRE-POUR FOR SLAB AND APRON, BOND BEAM, BOLLARD, AND FINAL INSPECTION.
3. BOLLARDS SHALL BE 6" OUTSIDE DIAMETER CONCRETE FILLED STEEL PIPES AND SHALL BE ENCASED IN 12" CONCRETE ALL AROUND, EMBEDDED 2'-0" BELOW TOP OF SLAB AND EXTEND 4'-0" ABOVE TOP OF SLAB.



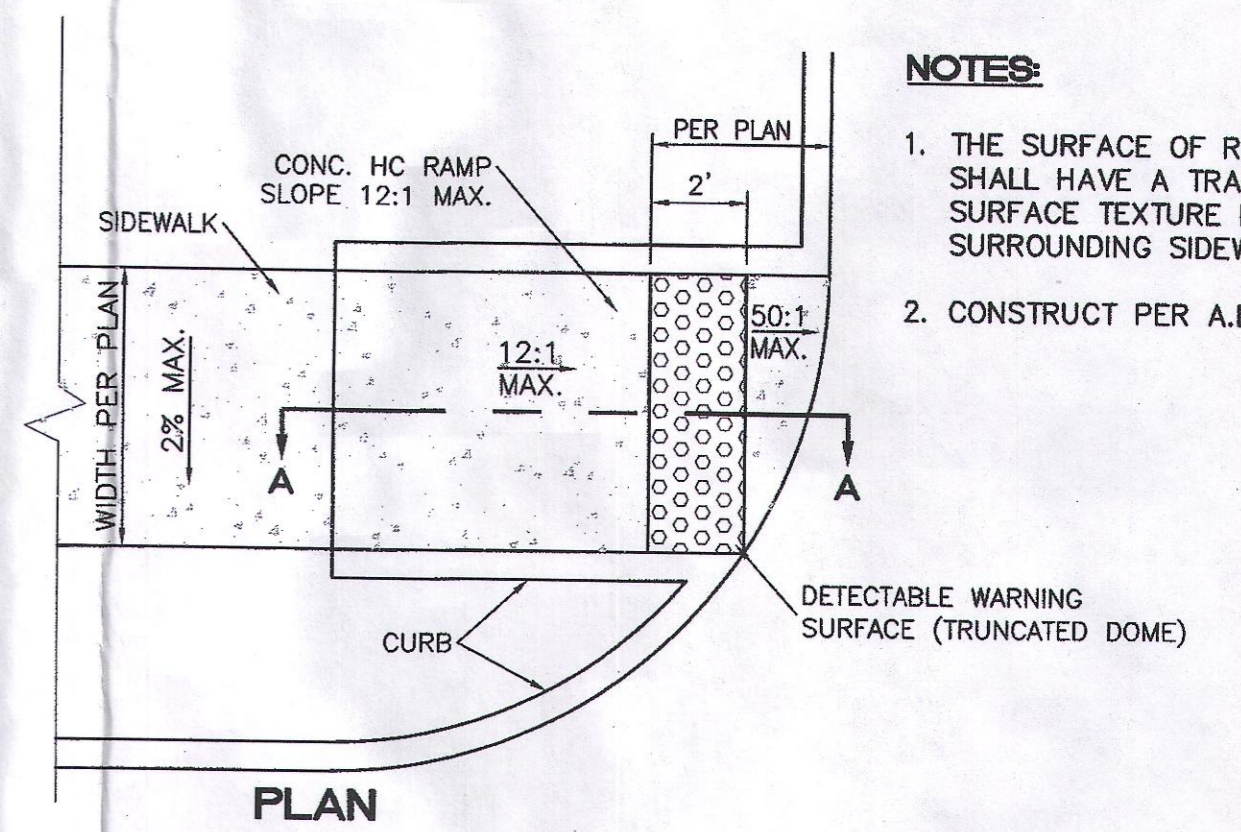
APRON REQUIRED IN FRONT OF EACH ENCLOSURE. (6" WITH REINFORCING TO WITHSTAND 57,000 LBS.)



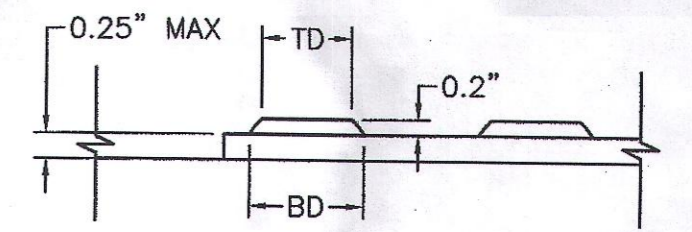
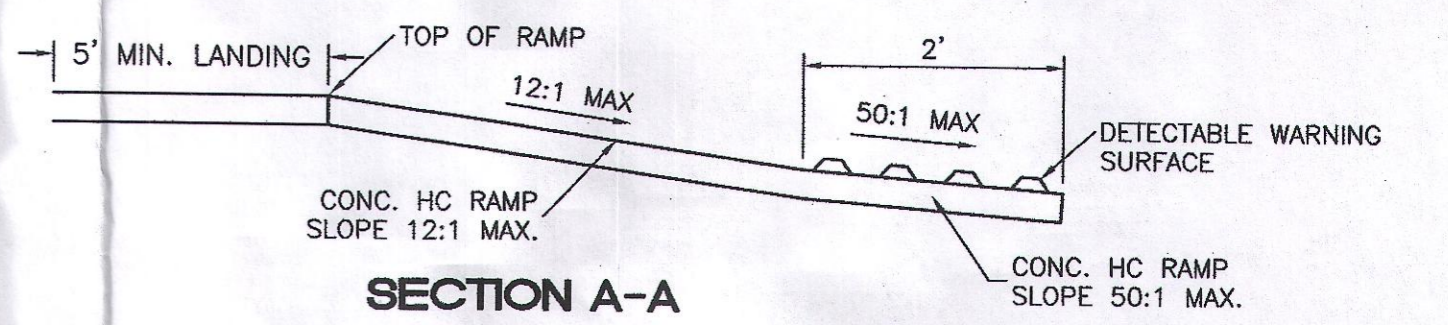
- NOTE:**
1. THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.
 2. SOLID WASTE IS TO PROVIDE ALL INSPECTIONS ON THE TRASH ENCLOSURE SUCH AS PRE-POUR FOR SLAB AND APRON, BOND BEAM, BOLLARD, AND FINAL INSPECTION WILL BE CONTINGENT FOR SOLID WASTE SIGN OFF FOR FINAL CO.

DUMPSTER w/SAS DRAIN - ENCLOSURE DETAIL
NTS

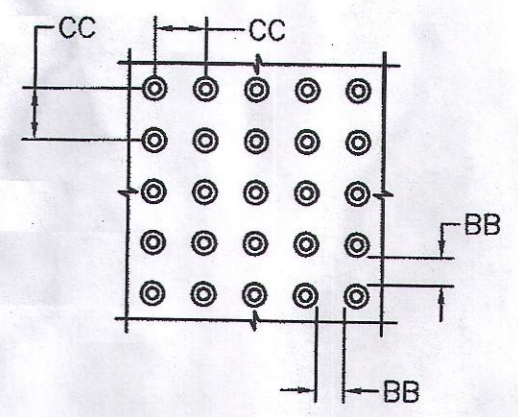
1 Dumpster Floor Plan
1/2" = 1'-0"



UNIDIRECTIONAL HC RAMP
NOT TO SCALE

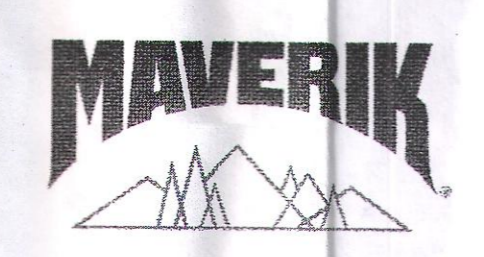


DOME SECTION
BD - BASE DIAMETER 0.9" MIN
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



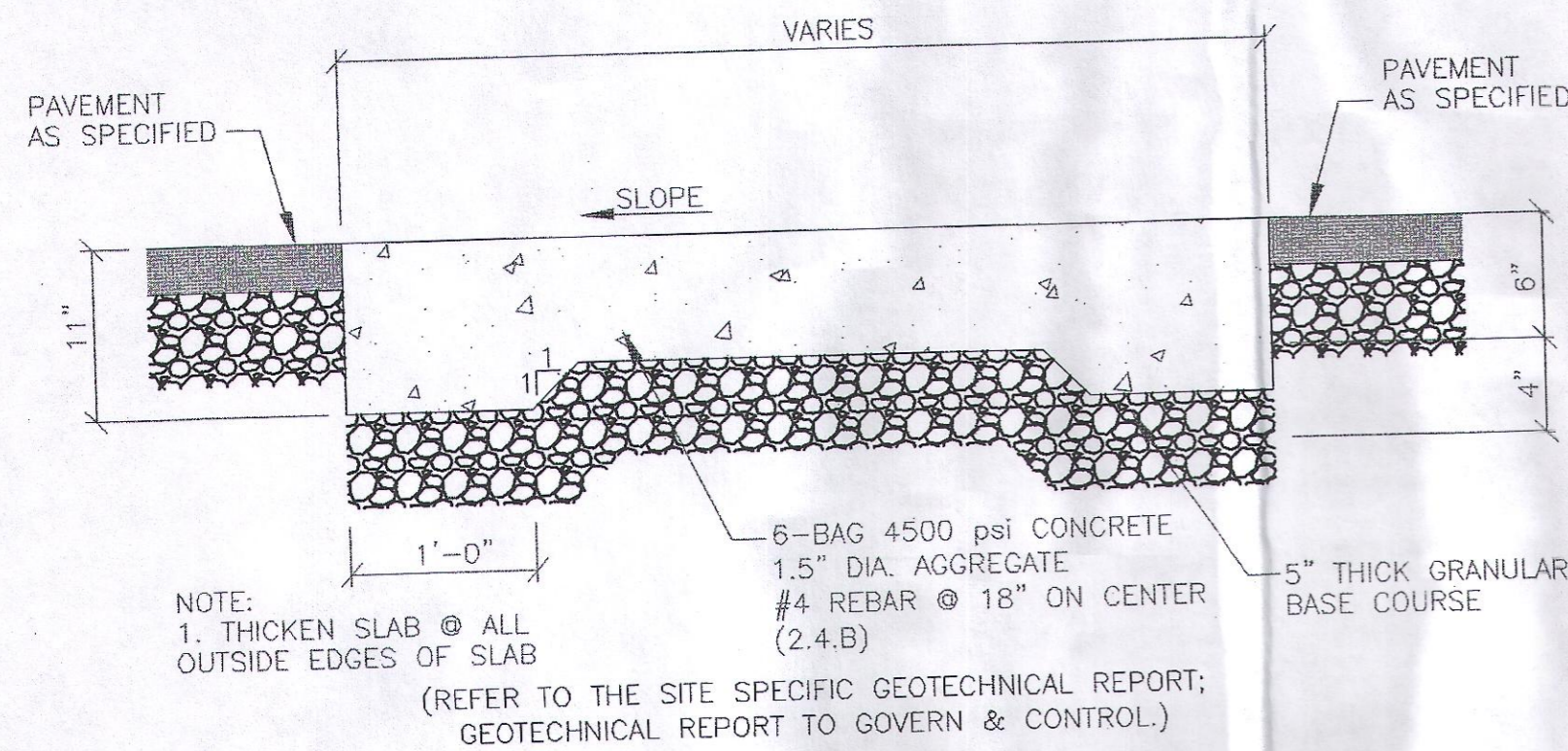
DOME SPACING
CC - CENTER TO CENTER SPACING 2.35"
BB - BASE TO BASE SPACING 1.48" MIN

- NOTES:**
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
 2. CONSTRUCT PER A.D.A. STANDARDS.

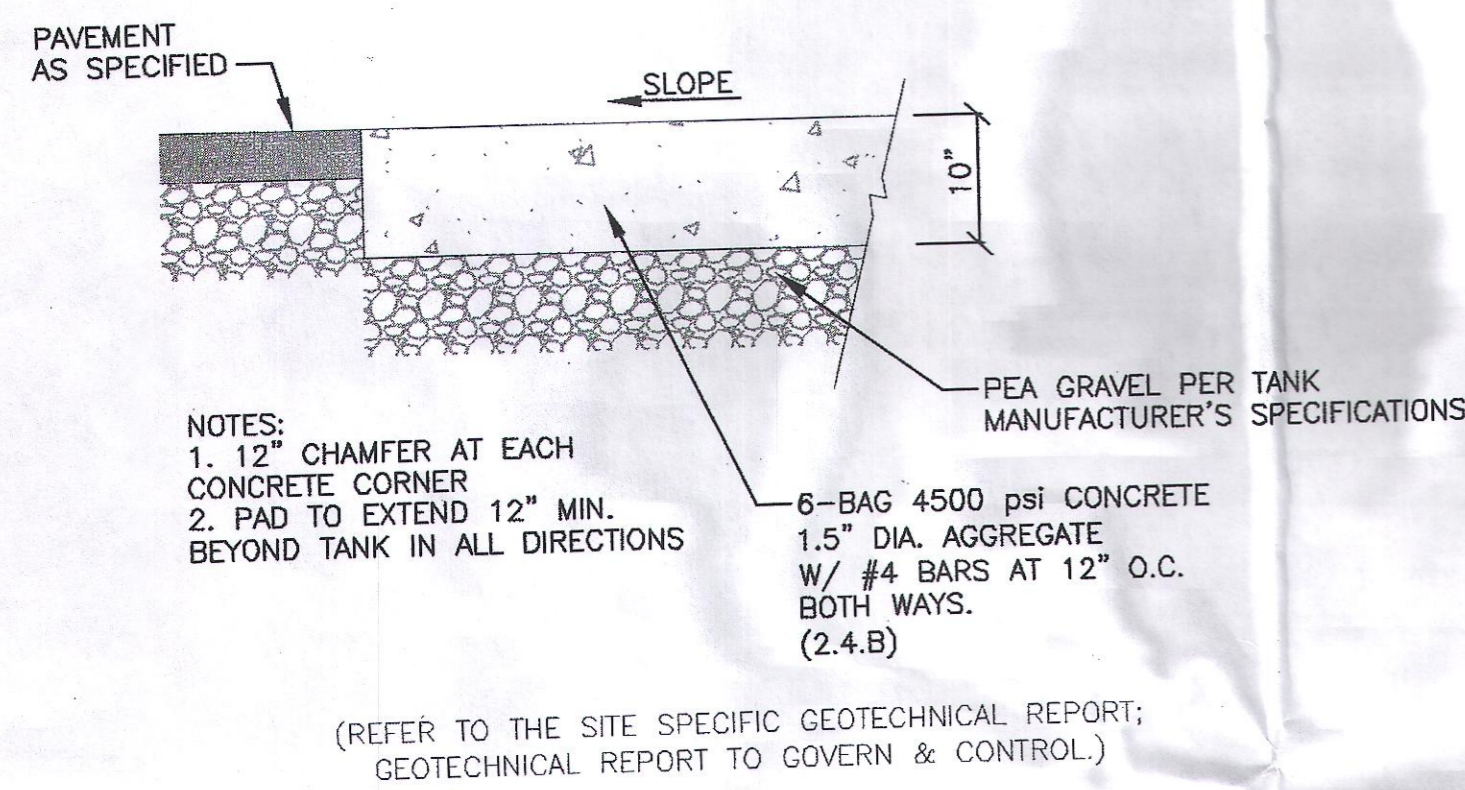


ENGINEER'S SEAL 	MAVERIK STORE #NM-0115 UNSER AND LOS VOLCANES	DRAWN BY pm
	CONSTRUCTION DETAILS	DATE 5-2-19
 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # DET-3	DRAWING
	RONALD R. BOHANNAN P.E. #7868	JOB # 2018042

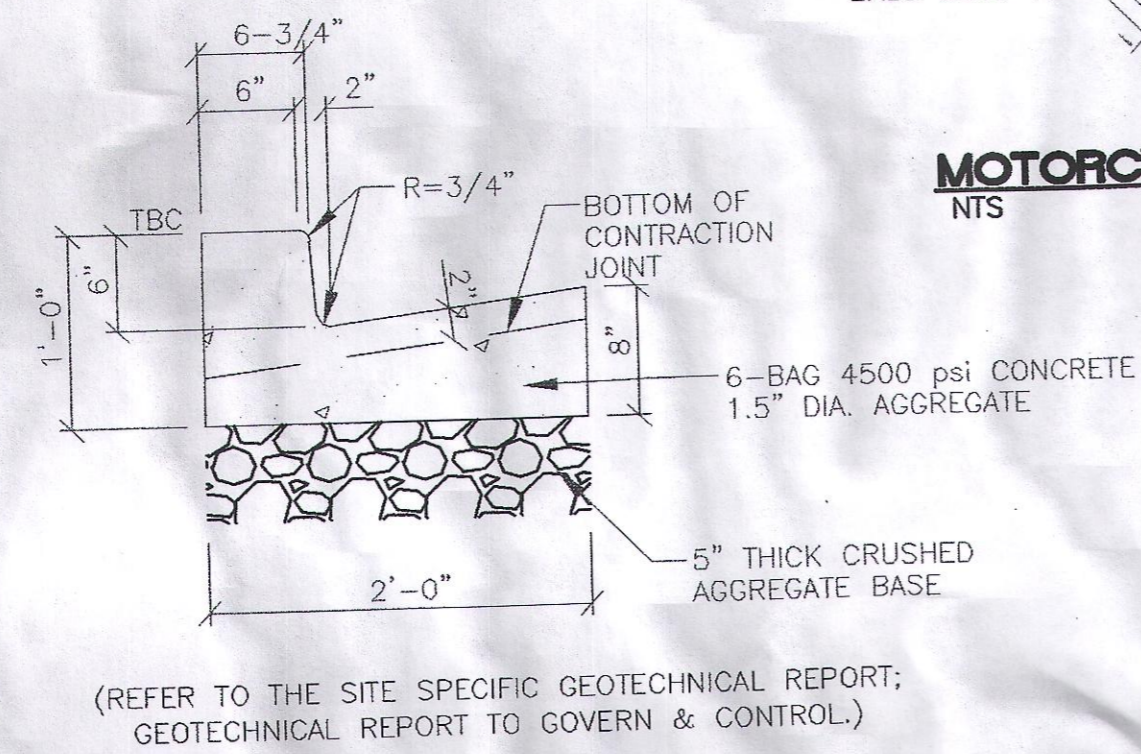
Z:\018\2018042_Maverik_Usher_Los_Volcanes\Drawings\2018042_DTD.dwg May 22, 2019 - 2:38pm



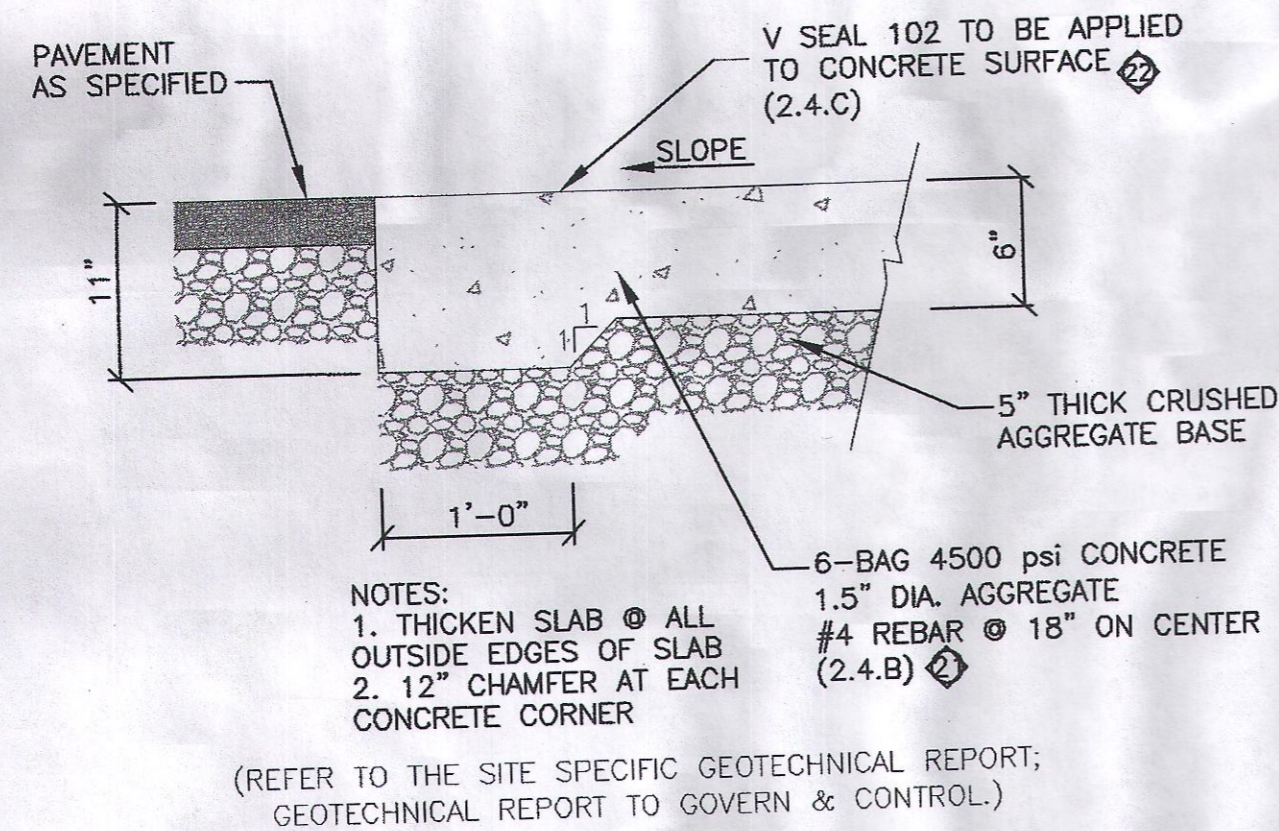
Petroleum Trench Cap Section
SCALE: NONE



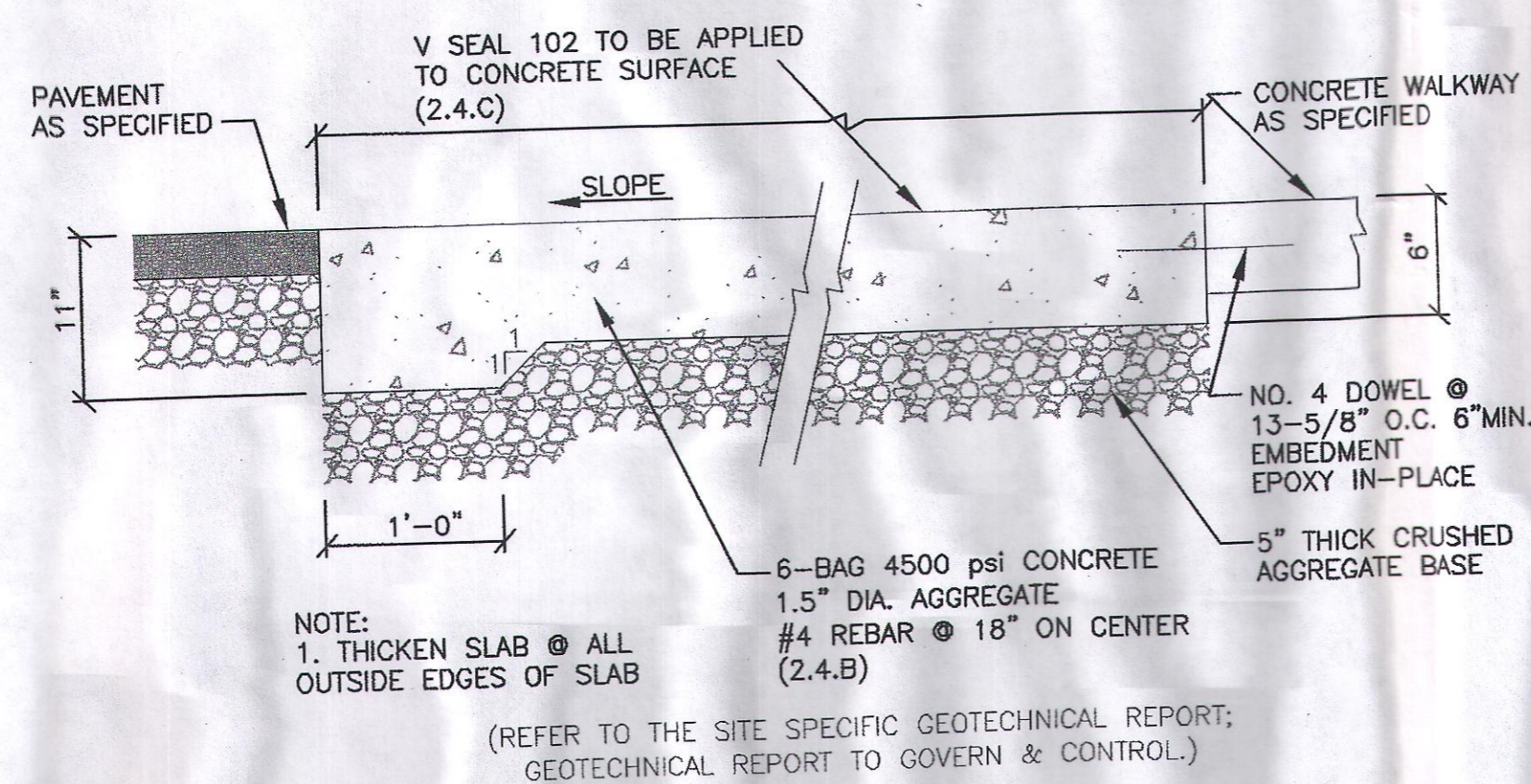
Concrete Pad over Underground Fuel Tanks



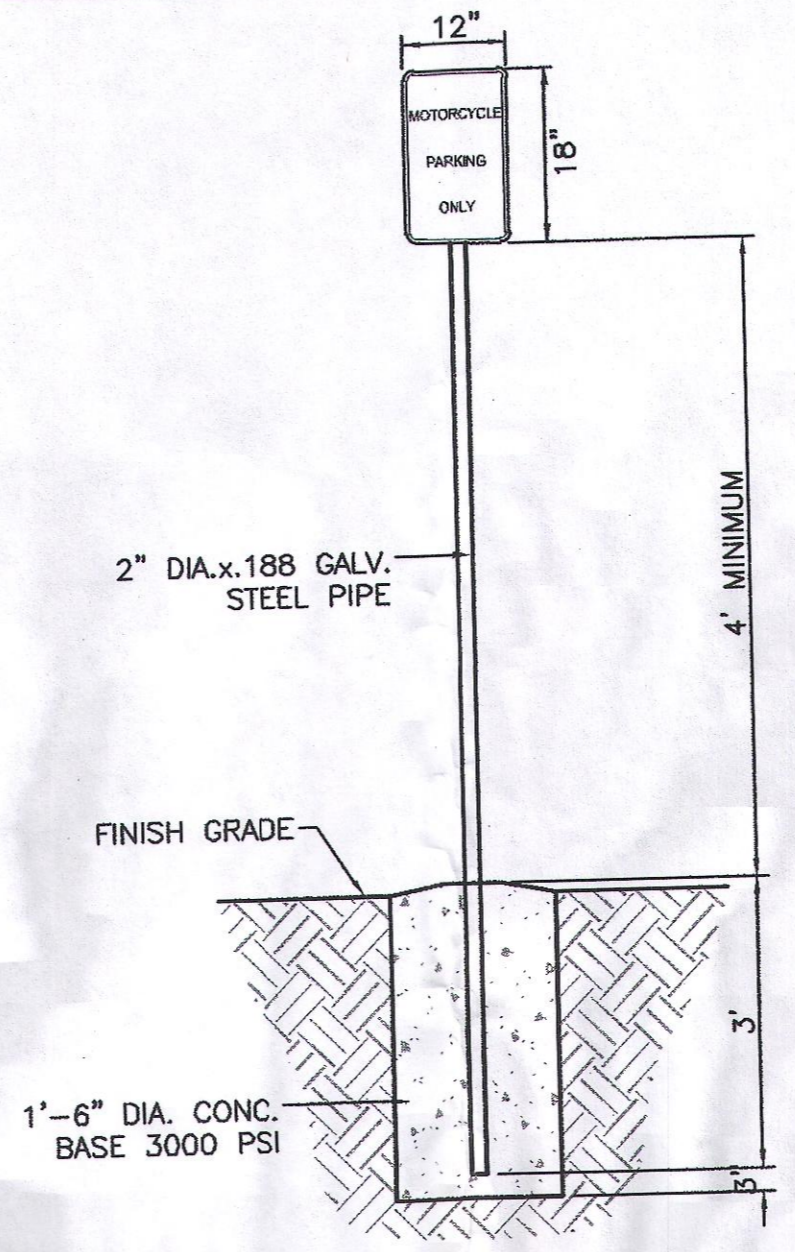
On-Site Curb & Gutter
SCALE: NONE



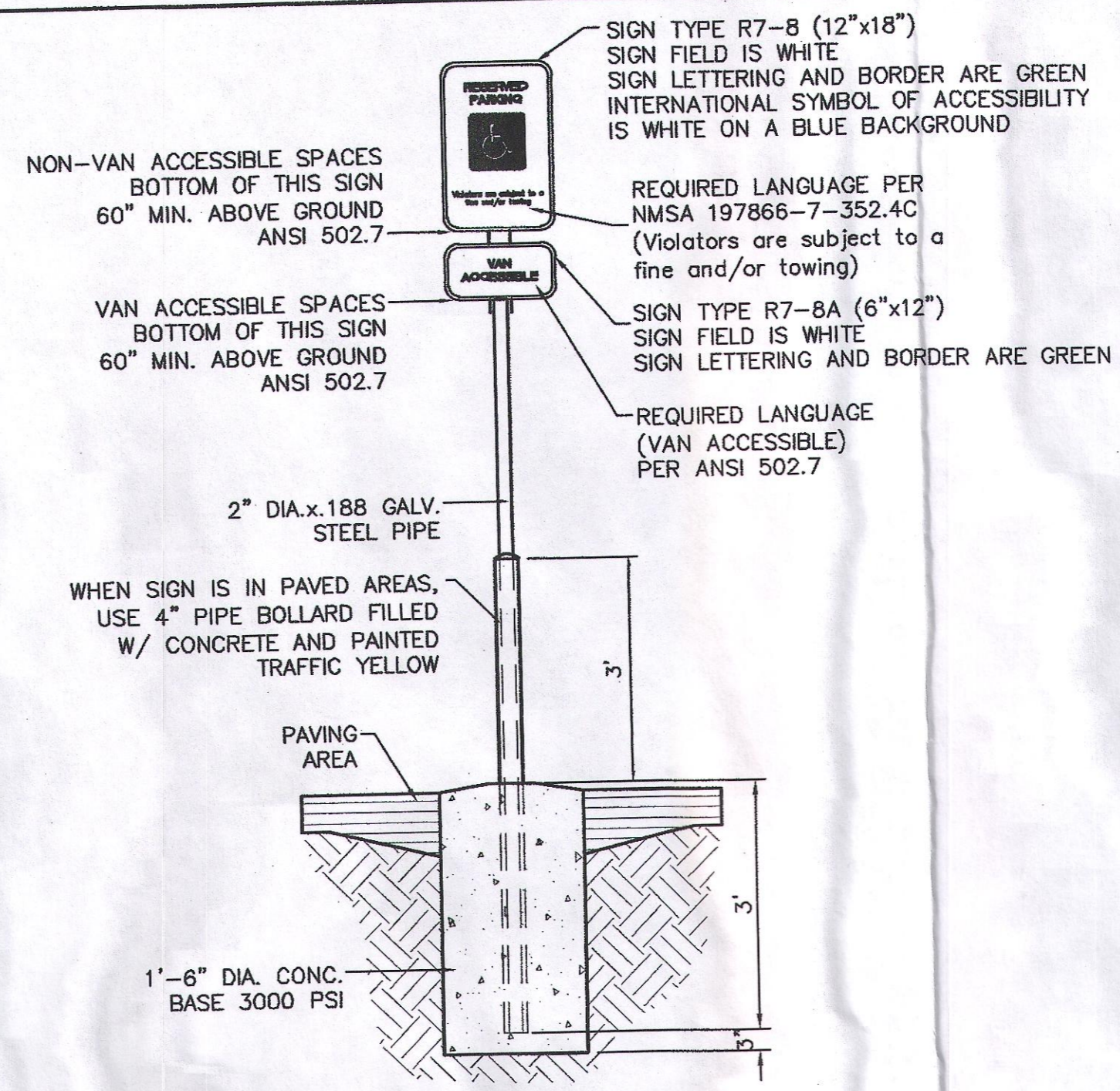
Concrete Pad under Fuel Canopy



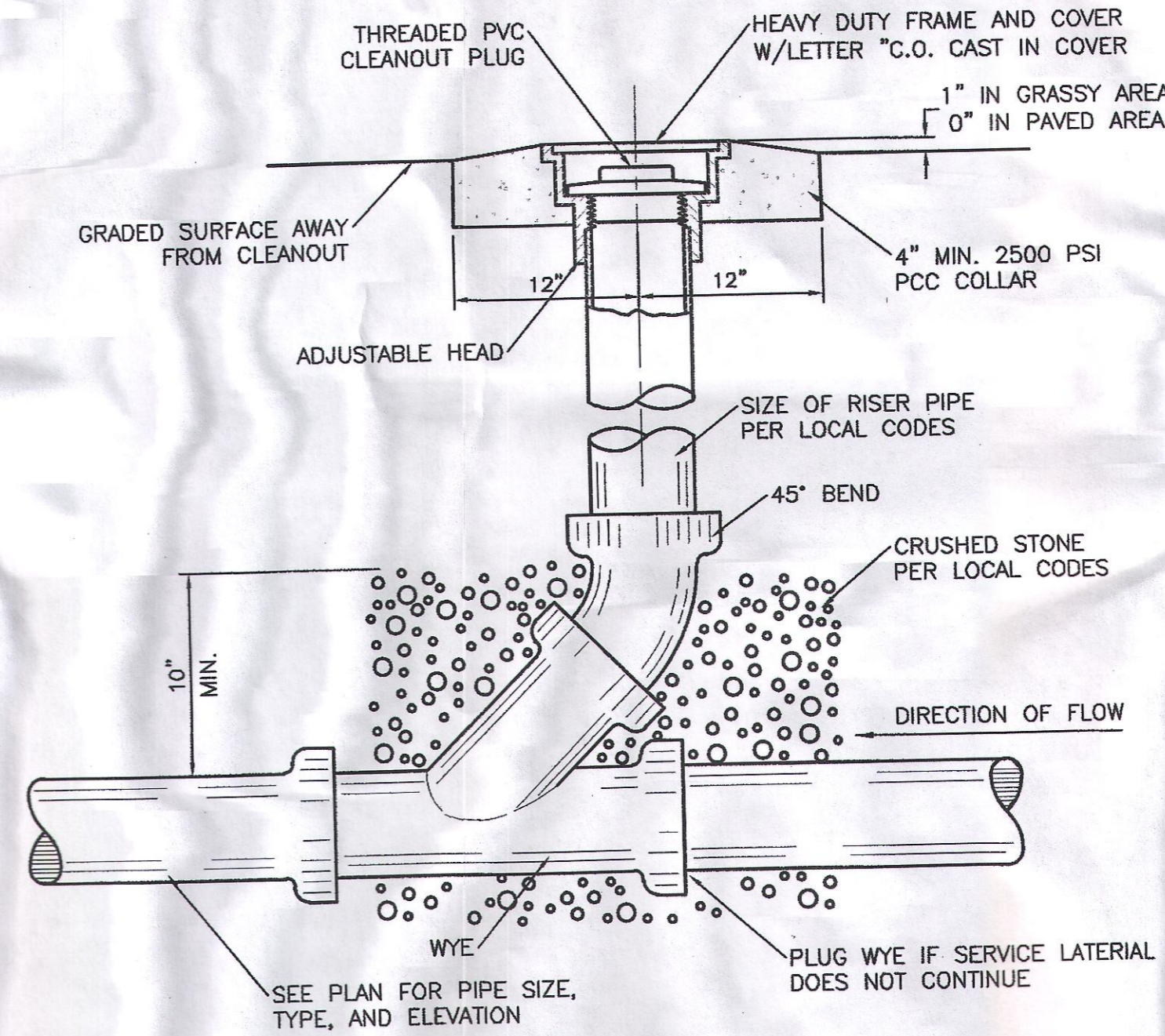
Concrete Parking Stall



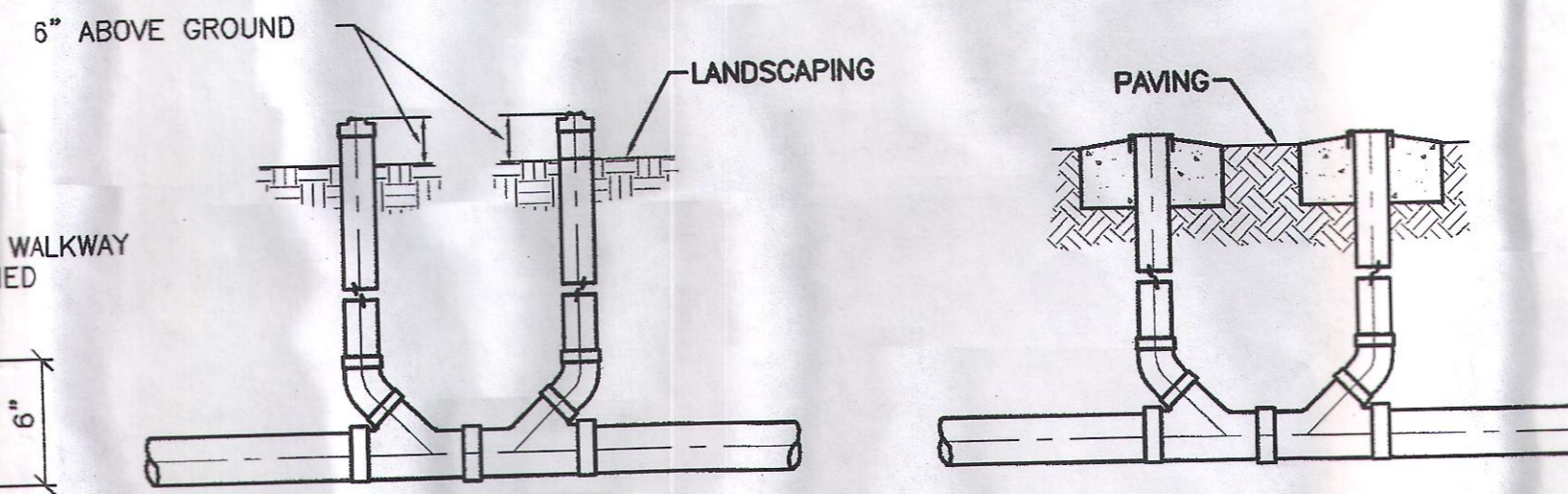
MOTORCYCLE PARKING SIGN
NTS



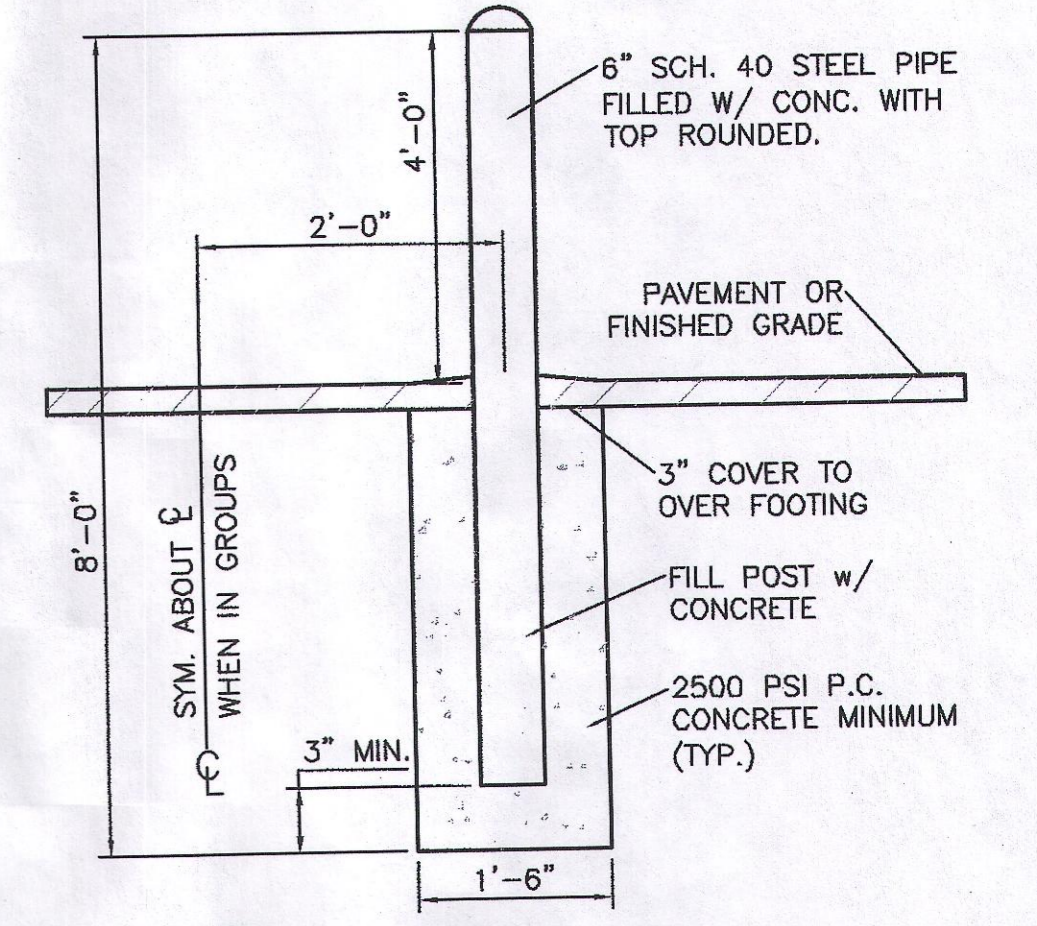
ACCESSIBLE PARKING SIGN
NTS



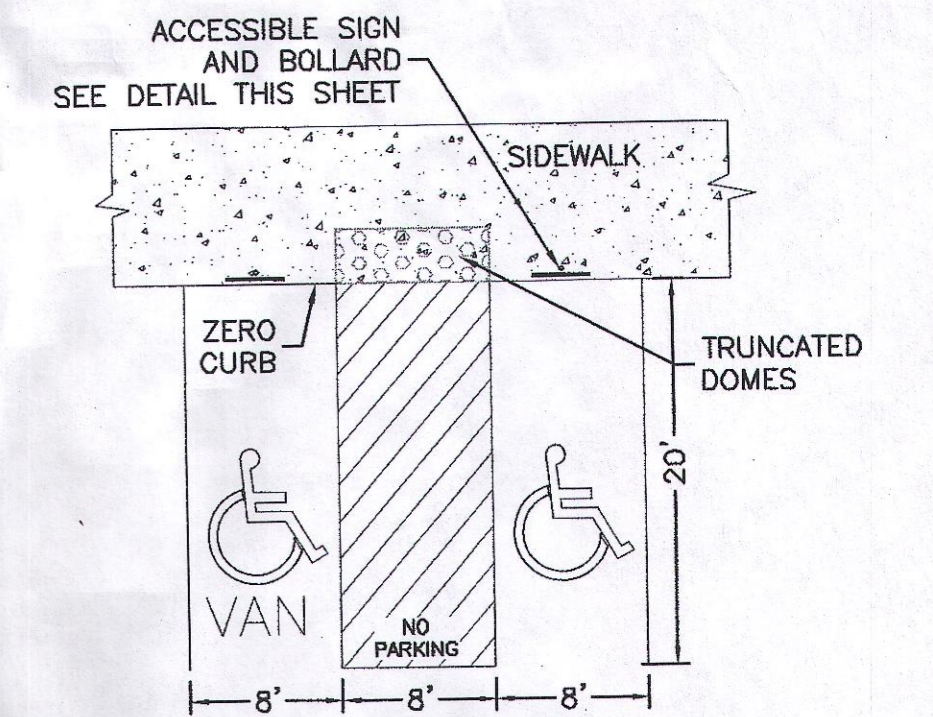
SANITARY SEWER CLEAN-OUT
NTS



SANITARY SEWER DOUBLE CLEAN-OUTS
NTS



BOLLARD DETAIL
NTS



NOTES:
1) International Symbol of Accessibility shall be painted on the pavement at rear of space, white symbol on blue background.
2) Parking space lines and diagonal striping to be painted blue.
3) Access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed.
4) ADA parking areas - not to exceed a slope greater than 2% in any direction

HC PARKING DETAIL
NTS

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Making life easy

XactAir

AIR-Serv XactAir Features

- Heavy Duty Stainless Steel Cabinet
- 30' Top-Mounted Coil Hose & Chuck
- 3/4 HP High Flow Oil-Free Air Compressor
- Digital Air Gauge
- High Security Vault
- 24/7 Wireless Monitoring
- Built-in Heater (optional)
- Co-Branding Options
- Vacuum Feature Available

Consumer Benefits

- Auto-Calibrated Air Pressure
- Credit Cards Accepted
- Clear English & Spanish Instructions
- Highly Visible LED Sign

Proven Results

- Drive Traffic To Your Location
- Improve Customer Usability
- Differentiate Your Company From Competition
- Strengthen Customer Loyalty

800-247-8363
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ENGINEER'S SEAL	MAVERIK STORE #NM-0115	DRAWN BY RS
	UNSER AND LOS VOLCANES	DATE 01/04/2019
	DETAIL SH 05	2018042_DTE
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # 05
RONALD R. BOHANNAN P.E. #7868		JOB # 2018044

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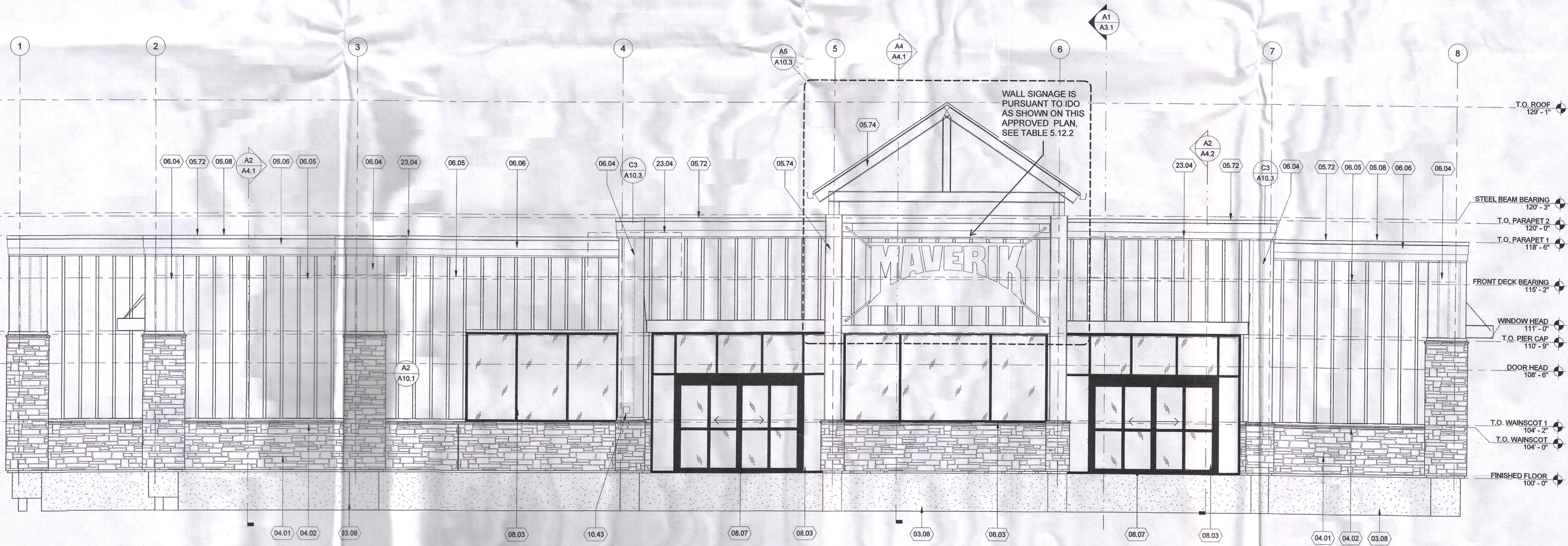


C1 BUILDING PERSPECTIVE
SCALE:

- REFERENCE NOTES**
- 03.08 CONCRETE FOOTINGS AND FOUNDATIONS, SEE STRUCTURAL DRAWINGS
 - 04.01 STONE VENEER (BR-1 SEE SCHEDULE) INSTALL PER MANUFACTURES GUIDELINES
 - 04.02 STONE VENEER SILL CAP (BR-1)
 - 05.08 24 GAUGE PRE-FINISHED COPING SECURED TO 24 GAUGE PRE-FINISHED CONTINUOUS CONCEALED CLEAT ON OUTSIDE OF PARAPET. FASTEN CLEAT ON OUTSIDE OF PARAPET W/ GALVANIZED ROOFING NAIL AT 6" O.C. FASTEN INSIDE LEG OF COPING TO PARAPET W/ NEOPRENE GASKETED FASTENERS. ALL SEAMS TO BE STANDING SEAM, NO LAPS ALLOWED.
 - 05.72 PRE-FINISHED METAL COPING, COLOR C-4
 - 05.74 STEEL COLUMNS/BEAMS, COLOR P-9. SEE STRUCTURAL DRAWINGS
 - 06.04 FIBER CEMENT BOARD & BATTEN SIDING, BB-2, SEE SCHEDULE
 - 06.05 FIBER CEMENT BOARD & BATTEN SIDING, BB-1, SEE SCHEDULE
 - 06.06 FIBER CEMENT TRIM BB-3, SEE SCHEDULE
 - 08.03 ALUMINUM STOREFRONT SYSTEM (AST-1), SEE SCHEDULES
 - 08.07 DOOR, SEE SCHEDULE
 - 10.43 KNOX BOX, VERIFY LOCATION W/ FIRE DEPT.
 - 23.04 ROOF TOP EQUIPMENT, BEYOND

FFKR ARCHITECTS
730 Pacific Avenue · Salt Lake City, Utah 84104
801.521.6186 · FFKR.COM

MAVERIK
UNSER AND LOS VOLCANES
ALBUQUERQUE, NM
PERMIT SET 02/05/19

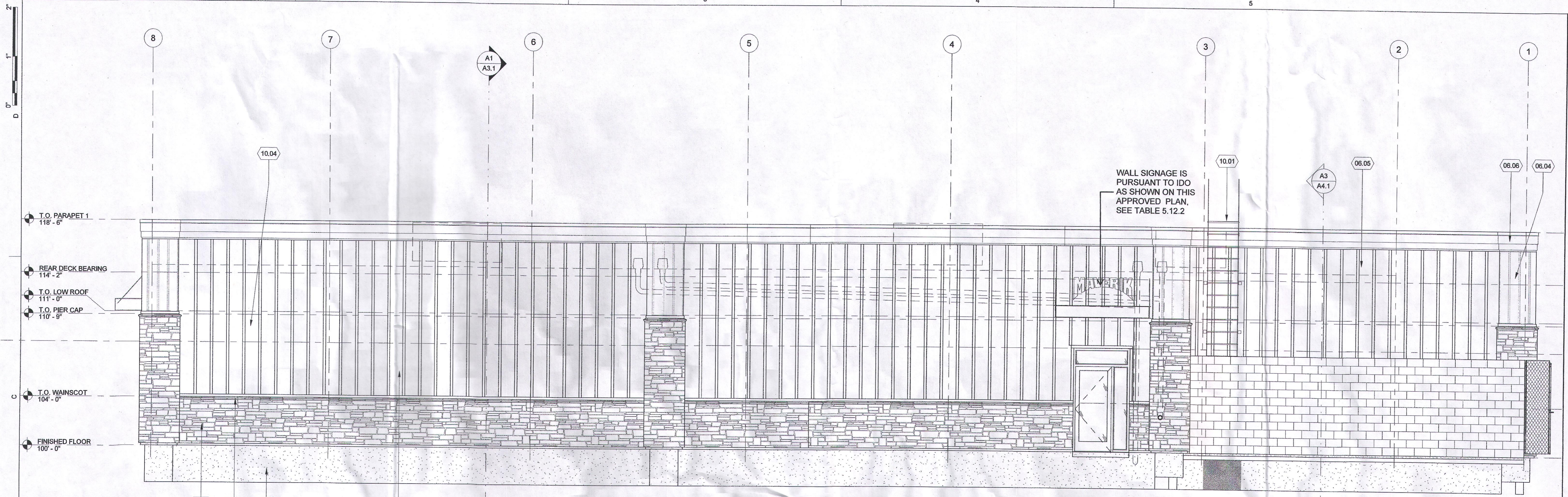


A1 WEST ELEVATION
SCALE: 1/4" = 1'-0"

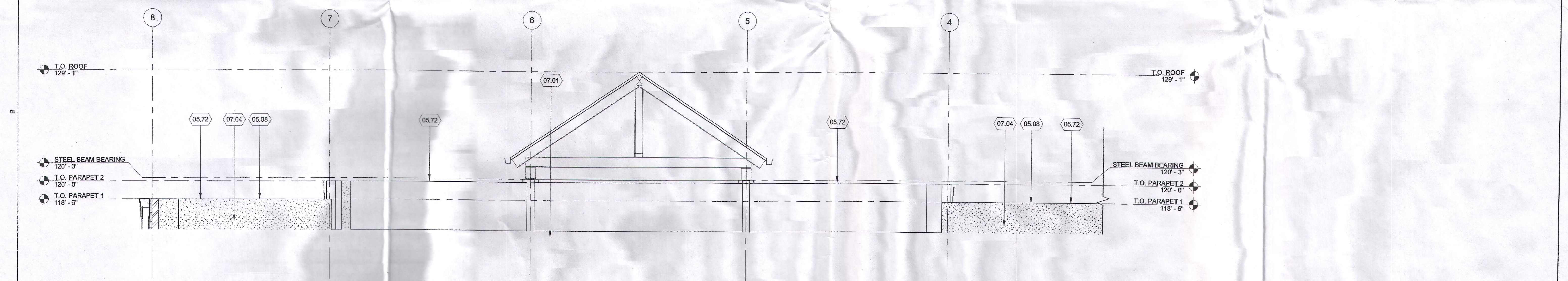
DATE	REVISION

PROJECT NUMBER 18126

EXTERIOR ELEVATIONS
A2.1



C1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



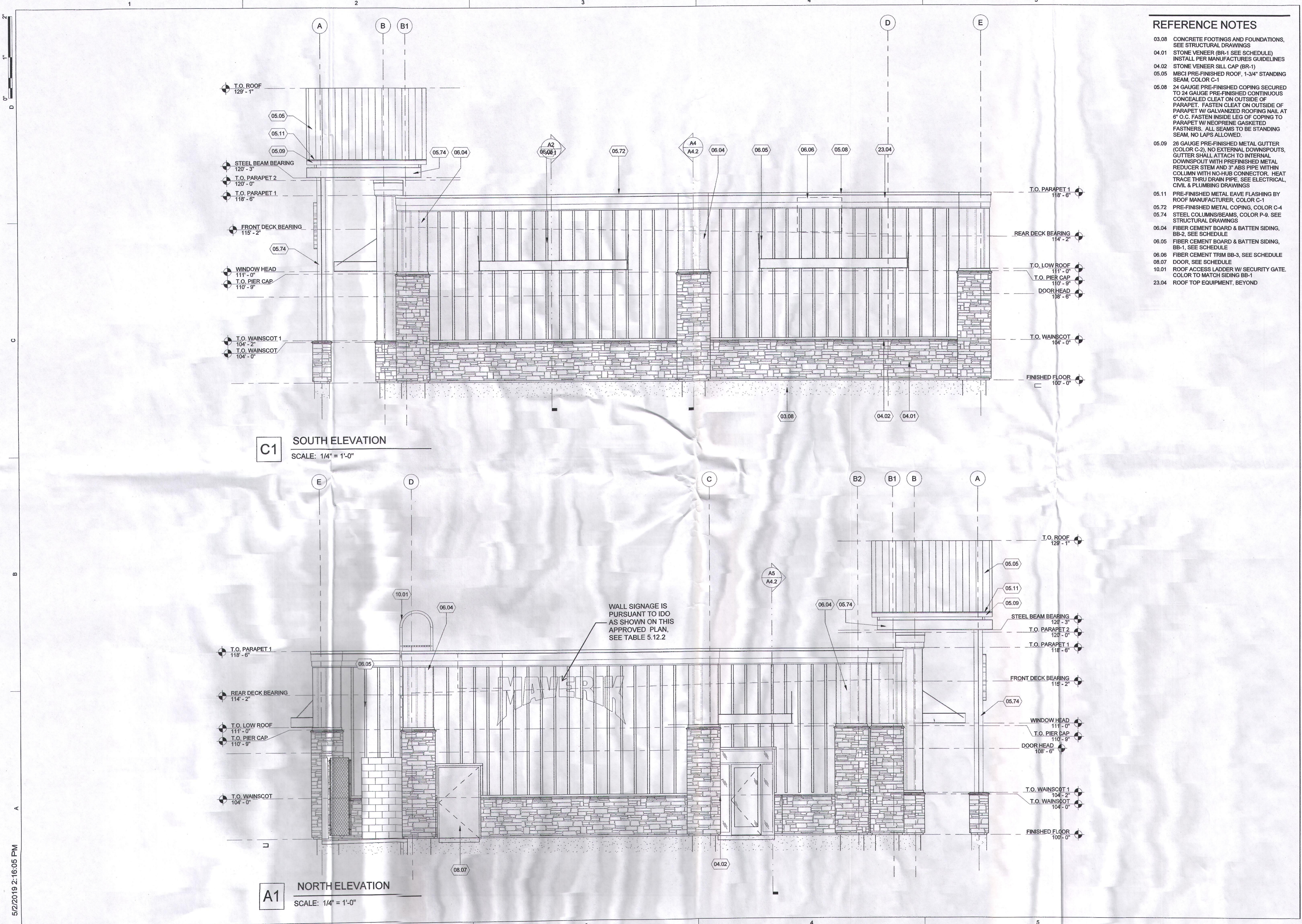
B1 PARTIAL FRONT WALL REAR VIEW ELEVATION
SCALE: 1/4" = 1'-0"

REFERENCE NOTES

03.08	CONCRETE FOOTINGS AND FOUNDATIONS, SEE STRUCTURAL DRAWINGS	06.05	FIBER CEMENT BOARD & BATTEN SIDING, BB-1, SEE SCHEDULE
04.01	STONE VENEER (BR-1 SEE SCHEDULE) INSTALL PER MANUFACTURERS GUIDELINES	06.06	FIBER CEMENT TRIM BB-3, SEE SCHEDULE
04.02	STONE VENEER SILL CAP (BR-1)	07.01	SINGLE-PLY ROOFING MEMBRANE OVER 5"(MIN) POLYISOCYANURATE INSULATION, OVERLAP JOINTS, SEE SPECIFICATIONS AND COMCHECK CALC'S.
05.08	24 GAUGE PRE-FINISHED COPING SECURED TO 24 GAUGE PRE-FINISHED CONTINUOUS CONCEALED CLEAT ON OUTSIDE OF PARAPET. FASTEN CLEAT ON OUTSIDE OF PARAPET W/ GALVANIZED ROOFING NAIL AT 6" O.C. FASTEN INSIDE LEG OF COPING TO PARAPET W/ NEOPRENE GASKETED FASTENERS. ALL SEAMS TO BE STANDING SEAM, NO LAPS ALLOWED.	07.04	WRAP MEMBRANE UP UNDER CAP, OVER WALL, AND UNDER THE METAL ROOFING
05.72	PRE-FINISHED METAL COPING, COLOR C-4	10.01	ROOF ACCESS LADDER W/ SECURITY GATE, COLOR TO MATCH SIDING BB-1
06.04	FIBER CEMENT BOARD & BATTEN SIDING, BB-2, SEE SCHEDULE	10.04	ROOF SCUPPER, SEE DETAIL 6/A10.3

GENERAL NOTES

5/2/2019 2:16:05 PM



REFERENCE NOTES

- 03.08 CONCRETE FOOTINGS AND FOUNDATIONS, SEE STRUCTURAL DRAWINGS
- 04.01 STONE VENEER (BR-1 SEE SCHEDULE) INSTALL PER MANUFACTURER'S GUIDELINES
- 04.02 STONE VENEER SILL CAP (BR-1)
- 05.05 MBCI PRE-FINISHED ROOF, 1-3/4" STANDING SEAM, COLOR C-1
- 05.08 24 GAUGE PRE-FINISHED COPING SECURED TO 24 GAUGE PRE-FINISHED CONTINUOUS CONCEALED CLEAT ON OUTSIDE OF PARAPET. FASTEN CLEAT ON OUTSIDE OF PARAPET W/ GALVANIZED ROOFING NAIL AT 6" O.C. FASTEN INSIDE LEG OF COPING TO PARAPET W/ NEOPRENE GASKETED FASTENERS. ALL SEAMS TO BE STANDING SEAM. NO LAPS ALLOWED.
- 05.09 26 GAUGE PRE-FINISHED METAL GUTTER (COLOR C-2), NO EXTERNAL DOWNSPOUTS. GUTTER SHALL ATTACH TO INTERNAL DOWNSPOUT WITH PREFINISHED METAL REDUCER STEM AND 3" ABS PIPE WITHIN COLUMN WITH NO-HUB CONNECTOR. HEAT TRACE THRU DRAIN PIPE. SEE ELECTRICAL, CIVIL & PLUMBING DRAWINGS
- 05.11 PRE-FINISHED METAL EAVE FLASHING BY ROOF MANUFACTURER, COLOR C-1
- 05.72 PRE-FINISHED METAL COPING, COLOR C-4
- 05.74 STEEL COLUMNS/BEAMS, COLOR P-9. SEE STRUCTURAL DRAWINGS
- 06.04 FIBER CEMENT BOARD & BATTEN SIDING, BB-2, SEE SCHEDULE
- 06.05 FIBER CEMENT BOARD & BATTEN SIDING, BB-1, SEE SCHEDULE
- 06.06 FIBER CEMENT TRIM BB-3, SEE SCHEDULE
- 08.07 DOOR, SEE SCHEDULE
- 10.01 ROOF ACCESS LADDER W/ SECURITY GATE. COLOR TO MATCH SIDING BB-1
- 23.04 ROOF TOP EQUIPMENT, BEYOND

C1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

A1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

WALL SIGNAGE IS PURSUANT TO IDO AS SHOWN ON THIS APPROVED PLAN, SEE TABLE 5.12.2

DATE	REVISION

PROJECT NUMBER 18126

EXTERIOR ELEVATIONS

LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	133273
TOTAL BUILDING AREA (sf)	-5518
TOTAL LOT AREA (sf)	127755
LANDSCAPE REQUIREMENT	X 2
TOTAL LANDSCAPE REQUIRED	25551
TOTAL OFF-SITE LANDSCAPE PROVIDED	5675
TOTAL ON-SITE LANDSCAPE PROVIDED	24306
TOTAL LANDSCAPE AREA PROVIDED	29981
TOTAL LIVE GROUND COVER REQUIRED	1495
TOTAL LIVE GROUND COVER PROVIDED	1182
TOTAL LIVE PLANT COVER REQUIRED	22485
TOTAL LIVE PLANT COVER PROVIDED	55911

LANDSCAPE LEGEND

QTY SIZE COMMON/BOTANICAL H2O USE

Trees

12	2" cal	Chinese Pistache <i>Pistacia chinensis</i>	40x35	1225	14700M ³
10	2" cal	Honey Locust <i>Gleditsia triacanthos 'inermis'</i>	50x45	2025	20250M ³
11	6-8'	Austrian Pine <i>Pinus nigra</i>	65x25	625	6875 M
3	15 Gal	Crape Myrtle <i>Lagerstroemia indica</i>	20x20	400	1200 M
2	4 - 6'	Palm Yucca <i>Yucca faxoniana</i>	15x6	36	72 M
10	15 Gal	Oklahoma Redbud <i>Cercis reniformis</i>	15x12	144	2592 M
4	15 Gal	Desert Willow <i>Chilopsis linearis</i>	20x25	625	2500 L
Total Tree Coverage				4809	

Shrubs & Groundcovers

30	5 Gal	India Hawthorne <i>Raphiolepis indica</i>	3x6	36	1080 M
22	5 Gal	Karl Foerster Grass <i>Calamagrostis acutiflora 'Karl Foerster'</i>	25x3	9	198 M
20	5 Gal	Deep Blue Lavender <i>Lavender angustifolia 'Hidcote'</i>	2x3	9	180 M
4	5 Gal	Butterfly Bush <i>Buddleia davidii</i>	5x1	49	196 M
25	5 Gal	Dwarf Fountain Grass <i>Pennisetum alopecuroides 'Hamelin'</i>	3x3	9	225 M
24	5 Gal	Buffalo Juniper <i>Juniperus sabina 'Buffalo'</i>	1x12	144	3456 M
1	5 Gal	Autumn Sage <i>Salvia greggii</i>	2x3	9	63 M
1	5 Gal	Blue Mist <i>Caryopteris clandonensis</i>	3x5	25	175 M
24	5 Gal	Fern Bush <i>Chamaebatiaria millefolium</i>	4x6	36	864 L
11	5 Gal	Apache Plum <i>Fallugia paradoxa</i>	3x3	49	539 L
6	5 Gal	Chenille <i>Chrysothamnus nauseosus</i>	5x1	49	294 L
32	5 Gal	Knock Out Roses <i>Rosa 'Knock Out'</i>	3x4	16	512 L
28	2-3cf	Boulders			1182
Total Ground Coverage				1182	

On-Site	24306	Landscape Gravel / Filter Fabric
		3/4" Crushed Gray
Off-Site	5675	Landscape Gravel / Filter Fabric
		3/4" Crushed Gray
29981	1261	Total Landscape Area
		Oversize Cobble
		2-4" Gray

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees and shrubs in a living, healthy, and attractive condition.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation system maintenance and operation shall be the sole responsibility of the owner. It shall be the owners responsibility to ensure that fugitive water does not leave the site due to overwatering.

Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 45' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 10 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

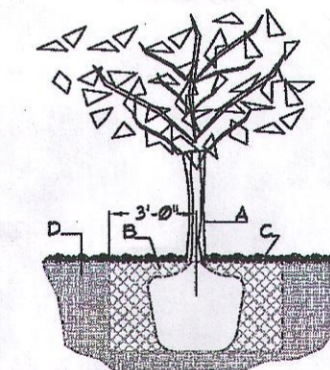
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

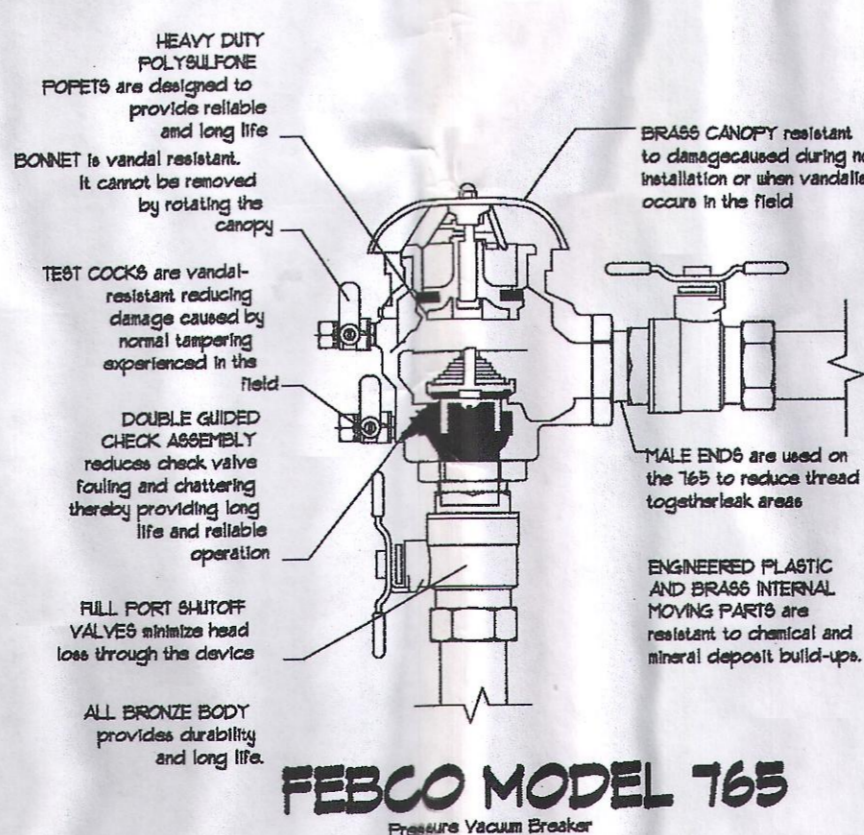
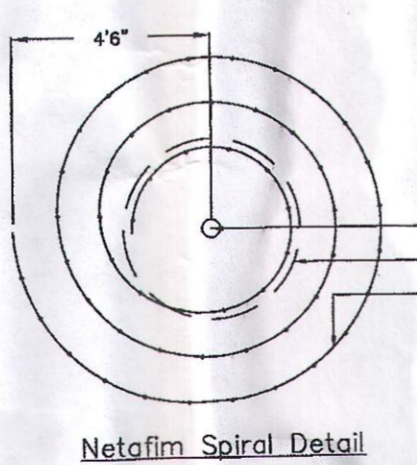
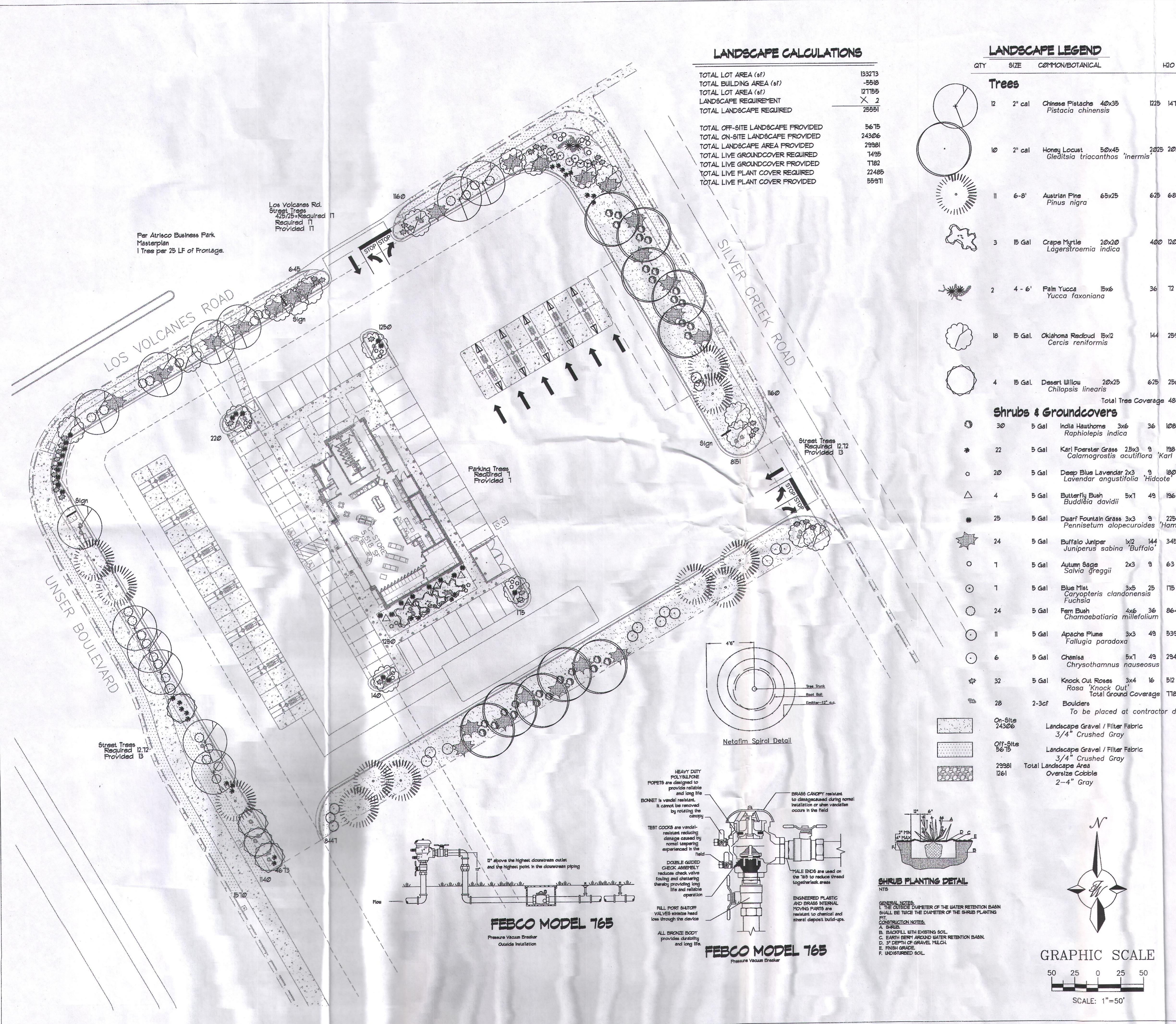
Water and Power sources shall be the responsibility of the Developer/Builder.



TREE PLANTING DETAIL

GENERAL NOTES:
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DASH THIS REPRESENTS THE LEVEL THAT SHOULD BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
CONSTRUCTION NOTES:
A. TREE
B. BACKFILL WITH EXISTING SOIL
C. 3" DEPTH OF GRAVEL MULCH
D. UNDISTURBED SOIL

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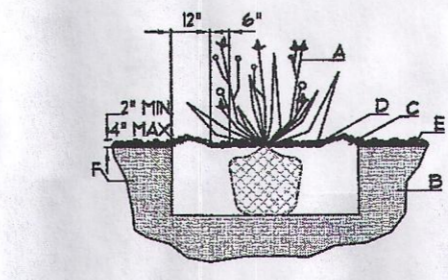


FEBCO MODEL 765

Pressure Vacuum Breaker
Outside Installation

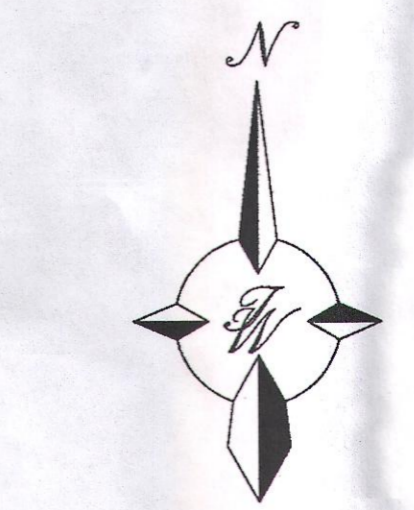
FEBCO MODEL 765

Pressure Vacuum Breaker

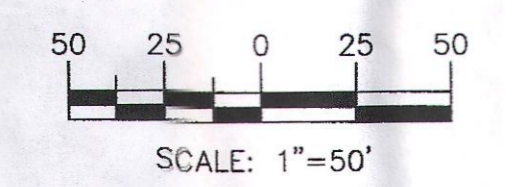


SHRUB PLANTING DETAIL

GENERAL NOTES:
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BARR SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
CONSTRUCTION NOTES:
A. SHRUB
B. BACKFILL WITH EXISTING SOIL
C. EARTH BERRY AROUND WATER RETENTION BARR
D. 3" DEPTH OF GRAVEL MULCH
E. FINISH GRADE
F. UNDISTURBED SOIL



GRAPHIC SCALE



Landscape Architect	MAVERIK STORE #NM-0115 UNSER AND LOS VOLCANES	DRAWN BY LA
	LANDSCAPE PLAN	DATE 11/01/2018
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	MAVERICK, LS-101
		SHEET # L1
		JOB # 2018042