



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	Policy Decisions
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> WTF Approval (Form W1)	<input checked="" type="checkbox"/> Site Plan – DRB (Form P2)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Subdivision of Land – Minor (Form S2)	<input type="checkbox"/> Annexation of Land (Form Z)
Decisions Requiring a Public Meeting or Hearing	<input type="checkbox"/> Subdivision of Land – Major (Form S1)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> Conditional Use Approval (Form ZHE)	<input type="checkbox"/> Vacation of Easement or Right-of-way (Form V)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Variance – DRB (Form V)	Appeals
<input type="checkbox"/> Expansion of Nonconforming Use or Structure (Form ZHE)	<input type="checkbox"/> Variance – ZHE (Form ZHE)	<input type="checkbox"/> Decision by EPC, LC, DRB, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Titan Nob Hill, LLC c/o Titan Development		Phone: 505-515-2914
Address: 6300 Riverside Plaza Lane NW, Suite 200		Email: jrogers@titan-development.com
City: Albuquerque	State: NM	Zip: 87120
Professional/Agent (if any): Consensus Planning, Inc.		Phone: 505-764-9801
Address: 302 Eighth Street NW		Email: cp@consensusplanning.com
City: Albuquerque	State: NM	Zip: 87102
Proprietary Interest in Site: Owner	List all owners: Titan Nob Hill, LLC.	

BRIEF DESCRIPTION OF REQUEST

Site Plan DRB

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: Lots 1 through 19	Block: 2	Unit:
Subdivision/Addition: Mesa Grande Addition and Vacated Alley	MRGCD Map No.:	UPC Code: <i>see attached</i>
Zone Atlas Page(s): K-15-Z	Existing Zoning: MX-M	Proposed Zoning: Same
# of Existing Lots: 3	# of Proposed Lots: 1	Total Area of Site (acres): 2.2 acres

LOCATION OF PROPERTY BY STREETS

Site Address/Street: Central Ave	Between: Montclair Drive NE	and: Sierra Drive NE
----------------------------------	-----------------------------	----------------------

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Project #1010879 17DRB-70192 approved October 24, 2017; PR-2018-001333

Signature: <i>[Signature]</i>	Date: September 4, 2018
Printed Name: James K. Strozier, FAICP	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees
-		
-		
-		

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date:
	Project #

FORM P2: SITE PLAN – DRB

Please refer to the DRB public meeting schedules for hearing dates and deadlines. Your attendance is required.

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

INFORMATION REQUIRED FOR ALL SITE PLAN – DRB APPLICATIONS

- Interpreter Needed for Hearing? NO if yes, indicate language: _____
- Site Plan and related drawings (10 copies, 24" x 36" folded to fit into an 8.5" x 14" pocket)
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

SITE PLAN – DRB


MAJOR AMENDMENT TO SITE PLAN – DRB

EXTENSION OF SITE PLAN – DRB Does not require Public Hearing

- Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)
- Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)
- NA** Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) (*not required for Extension*)
- Site Plan and related drawings reduced to 8.5" x 11" format (1 copy)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(G)(3)
- NA** Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(O)
Note: If requesting more than allowed by deviation, a Variance – ZHE or Variance – DRB will be required, as applicable.
- Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information (*not required for Extension*)
- Required notices with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination inquiry response, notifying letter, and proof of first class mailing
 - Proof of emailed notice to applicable Neighborhood Association representatives
 - Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing
- Sign Posting Agreement
- Signed Traffic Impact Study (TIS) Form
- Completed Site Plan Checklist

FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC

- Solid Waste Department signature on Site Plan
- Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- Approved Grading and Drainage Plan
- Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (*not required for Master Development Plans*)
- Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- Infrastructure List, if required

<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></p>	
<p>Signature: <u>James K. Strozier</u></p>	<p>Date: <u>September 5, 2018</u></p>
<p>Printed Name: <u>James K. Strozier, FAICP</u></p>	<p><input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent</p>
<p>FOR OFFICIAL USE ONLY</p>	
<p>Project Number: _____</p>	<p>Case Numbers</p>
<p>_____</p>	<p>-</p>
<p>_____</p>	<p>-</p>
<p>_____</p>	<p>-</p>
<p>Staff Signature: _____</p>	
<p>Date: _____</p>	



September 6, 2018

Ms. Kym Dicome, Chair
Development Review Board
City of Albuquerque
600 Second Street NW
Albuquerque, New Mexico 87102

Re: Site Plan – DRB – Nob Hill

Landscape Architecture
Urban Design
Planning Services

Dear Madam Chair:

502 Eighth St. NW
Albuquerque, NM 87102
(505) 764-9821
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

The purpose of this letter is to transmit our request for a Site Plan DRB for the property located between Montclair Drive and Sierra Drive, north of Central Avenue NE, and south of Copper Avenue NE, on behalf of Titan Nob Hill, LLC (the “Applicant” or the “Developer”). The property is legally described as Lots 1 through 19, Block 2, Mesa Grande Addition and Vacated Alley. The zoning on the approximately 2.2-acre property is Mixed-Use – Moderate Intensity (“MX-M”). The Applicant’s request is for a Site Plan for Building Permit to accommodate “Nob Hill” (the “Project”) a proposed multi-family development on the property.



Subject Property

Consensus Planning has submitted a request to approve the demolition of the existing Town Lodge building located on the subject property at 4101 Central NE. This request will be heard by the Landmarks and Urban Conservation Commission (“LUCC”) on September 12, 2018.

The Applicant is proposing a Site Plan for 102 multi-family dwelling units, with a proposed building height of 56’ - 13/32”, just below the maximum allowed building height of 57 feet per the Nob Hill Character Protection Overlay (the “Nob Hill CPO” or the “CPO”) in the MX-M zone.

This application for a Site Plan meets all of the criteria under part 14-16-6-6(G)(3), as provided below:

PRINCIPALS

James K. Stotier, AICP
Christopher J. Green, P.L.A.,
ASLA, LEED AP
Jacqueline Fishman, AICP



6-6(G)(3)(a) The Site Plan complies with all applicable provisions of the Integrated Development Ordinance (“IDO”), the Development Process Manual (“DPM”), other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.

Except for some design variance requests, the Site Plan complies with the applicable provisions of the IDO, the DPM, City regulations, and there are not any prior approvals affecting the property. The density, building massing, setbacks, and parking comply with the IDO MX-M zone dimensional standards.

The Applicant is preparing to submit a request for variance to the wall height maximum of 3 feet for front yard and side street yard to the Zoning Hearing Examiner (“ZHE”) to allow open security fencing for the parking lot. As part of this application to the ZHE, the Applicant is also submitting a request for a variance to the ground floor façade glazing requirement of 60 percent of surfaces to be in clear, transparent windows and doors on the east and west facades. Additionally, the Applicant is requesting a variance on the east façade for the 20% glazing requirements for the second floor and above. This application will be submitted on September 6, 2018 and heard by the ZHE on October 16, 2018.

6-6(G)(3)(b) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.

There is existing infrastructure surrounding the property which has adequate capacity to serve the proposed development. The property is surrounded by existing streets and the developer will be making improvements to the on-street parking including pedestrian friendly bulb-outs and striping. This site plan application includes a grading and drainage plan that will provide for drainage improvements for the property. Pedestrian improvements to the adjacent sidewalks will be made in conjunction with this Project as well. The property is well served by transit and is walking distance to two new Albuquerque Rapid Transit (“ART”) bus stations, which are anticipated to provide enhanced transit service in the near future. Water and sewer to serve the Project will be provided by the Albuquerque Bernalillo County Water Utility Authority (“ABCWUA”) and a letter of water and sewer availability statement will be submitted with the application. Those public infrastructure items that are required to serve the Project will be provided for on an approved infrastructure list to be built by the Developer.

6-6(G)(3)(c) The Site Plan mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable.

The Site Plan mitigates significant adverse impacts on the surrounding area to the maximum extent practicable by providing a compatible use, building intensity, and site and building design. Additionally, the proposed design mitigates traffic by providing appropriate access points, strategically locates the buildings away from the existing neighborhood, provides adequate parking, and improves streetscapes.

This request for a Site Plan for Building Permit is advantageous to the neighborhood and community because it will facilitate the provision of housing diversity and market-rate



PLANNING

CONSENSUS

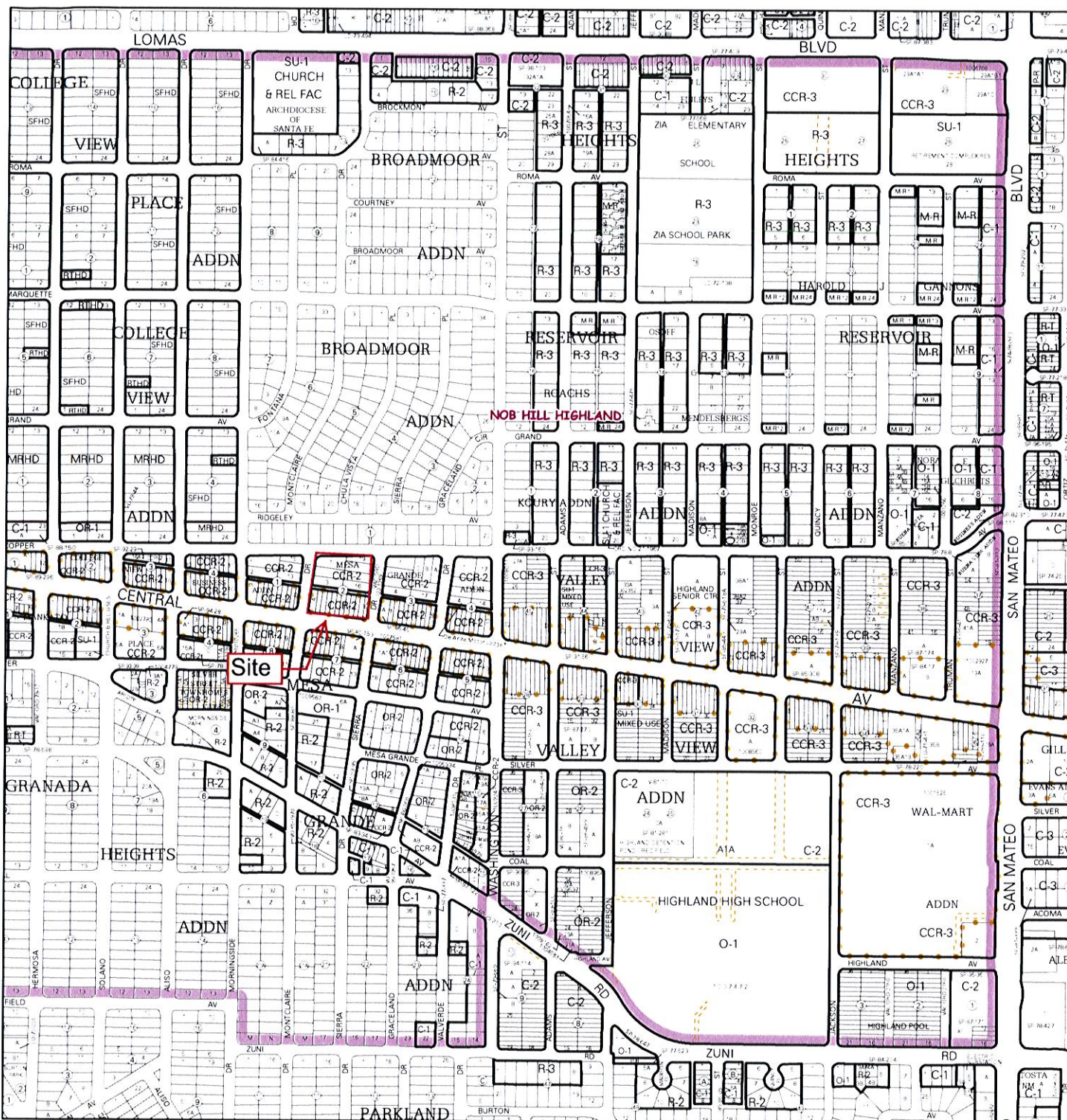
rental multi-family along one of Albuquerque’s primary mixed-use corridors, Central Avenue. It will allow for less drive times, another housing choice in the area, and be complementary to adjacent uses and properties. This Project will provide a productive use of a vacant and underutilized property.

We respectfully request that the Development Review Board (“DRB”) approve this request for a Site Plan for Building Permit. Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read 'James K. Strozier', written over the typed name and title.

James K. Strozier, FAICP
Principal
Consensus Planning



For more current information and details visit: <http://www.cabq.gov/gis>

Map amended through: 1/28/2016

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
K-17-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

0 750 1,500 Feet

August 21, 2018

Ms. Kym Dicome, Chair
Development Review Board
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87102

Dear Ms. Dicome,

The purpose of this letter is to authorize Consensus Planning, Inc. to act as agents for Titan Nob Hill, LLC on a Site Plan request to the Development Review Board. The property is legally described as Lots 1 through 16, Block 2, Mesa Grande Addition and Portion of Vacated Alley.

Sincerely,

A handwritten signature in black ink, appearing to read "JR", with a long horizontal flourish extending to the right.

Josh Rogers
Cedar Investors, LLC
c/o Titan Development

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 18-180 Date: 6-26-18 Time: 3:00pm

Address: N. side of Central Ave, btwn Montclair + Sierra Drives
(4101 Central Ave NE)

AGENCY REPRESENTATIVES AT MEETING:

Planning: Catalina Lehner

Code Enforcement: Ricardo Vialpando

Fire Marshall: _____

Transportation: Morgan Maabandar

Other: _____

PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY!
THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL..

Additional research may be necessary to determine the exact type of application and/or process needed. Factors unknown at this time and/or thought of as minor could become significant as the case progresses.

REQUEST: Multi-family residential (2 = 102 units)

SITE INFORMATION:

Zone: MX-M (mixed use medium) Size: 2214

Use: apartments Overlay Zone: Nob Hill CPO p.91

Comp Plan Area Of: Change Comp Plan Corridor: Central Ave - major transit corridor + main S Corridor

Comp Plan Center: none MPOS or Sensitive Lands: no

Parking: table 5-5-1 (p.229) MR Area: Highland-Central MRA

Landscaping: 5-6 p.252 Street Trees: see 5-6

Use Specific Standards: Multi-family Development

Dimensional Standards: MU zone: p.194

*Neighborhood Organization/s: Nob Hill NA, District 6 Coalition

**This is preliminary information only. Neighborhood Organization information is only accurate when obtained from the Office of Neighborhood Coordination (ONC) at www.cabq.gov/neighborhoods/resources.*

PROCESS:

Type of Action: _____

Review and Approval Body: _____ Is this PRT a requirement? _____

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 18-180 Date: 6-26-18 Time: 3:00 pm
Address: N. Side of Central Ave., btwn Montclair + Sierra Drives

NOTES:

- Subject site consists of three lots and the Town Lodge
- Demo - town Lodge
- neon allowed on central
- apartments permissible in MX-M.
- Demo outside of an HPO - p. 386 - applies in Nob Hill area
- use regs for multifamily Desel - p. 139 4-3(B)(7)
- landscaping - p. 252
- L space / DU - parking - table 5-5-1
- MU zone Dimensional standards - p. 194 (use MS + PT reqs).
- heights - Nob Hill CPO 12' Bonus - ground floor commercial bonus, 45' for residential uses
But - private gym + office are not "Commercial Services" (p. 454-Def)
- Def p. 487 - Residen Community Amenity p. 132 is listed as a commercial use.
- p. 93 facade design - Nob Hill CPO - (4)(c)
Q: 60% of surface in windows - but can't work due to topo - retaining wall needed - pending - followup.
- Q: vs. It possible to get a variation from a CPO requirement?
- process: DRB site plan review

From: Quevedo, Vicente M.
To: Malak Hakim
Subject: RE: Neighborhood Meeting Inquiry_Central Ave and Sierra Dr_DRB
Date: Monday, July 16, 2018 12:11:23 PM
Attachments: image001.png
image002.png
image003.png

Malak,

Good afternoon. Here you go. It looks like Tandi is a new contact. Let us know if you need anything else.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Phone
Nob Hill NA	Tim	Ross	ross@unm.edu	401 Amherst Drive NE	Albuquerque	NM	87106	5055731042
Nob Hill NA	Tandi	Hufnagel	tandiwe76@gmail.com	343 Hermosa Drive NE	Albuquerque	NM	87108	5056151149

Respectfully,

Vicente M. Quevedo, MCRP
Neighborhood Liaison
Office of Neighborhood Coordination
City of Albuquerque – City Council
(505) 768-3332

Website: www.cabq.gov/neighborhoods



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From: Malak Hakim [mailto:hakim@consensusplanning.com]
Sent: Monday, July 16, 2018 10:01 AM
To: Quevedo, Vicente M. <vquevedo@cabq.gov>
Subject: RE: Neighborhood Meeting Inquiry_Central Ave and Sierra Dr_DRB

Hi Vicente,

Can you provide an updated list of neighborhood associations for the property referenced below? This would be for a neighborhood meeting inquiry.

Thank you,

Malak Hakim, AICP

From: Malak Hakim
Sent: Thursday, May 31, 2018 9:50 AM
To: 'Quevedo, Vicente M.' <vquevedo@cabq.gov>
Cc: Jim Strozier <jstroz@consensusplanning.com>
Subject: RE: Neighborhood Meeting Inquiry_Central Ave and Sierra Dr_DRB

Thanks, Vicente.

Malak Hakim, AICP

From: Quevedo, Vicente M. [mailto:vquevedo@cabq.gov]
Sent: Thursday, May 31, 2018 8:47 AM
To: Malak Hakim <hakim@consensusplanning.com>
Cc: Jim Strozier <jstroz@consensusplanning.com>
Subject: RE: Neighborhood Meeting Inquiry_Central Ave and Sierra Dr_DRB

Malak,

Good morning. You are correct, the only affected association is still Nob Hill with the updated map. I will save this email for our records. Thank you.

Respectfully,

Vicente M. Quevedo, MCRP

Neighborhood Liaison
Office of Neighborhood Coordination
City of Albuquerque – City Council
(505) 768-3332

Website: www.cabq.gov/neighborhoods



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From: Malak Hakim [<mailto:hakim@consensusplanning.com>]
Sent: Wednesday, May 30, 2018 2:37 PM
To: Quevedo, Vicente M. <vquevedo@cabq.gov>
Cc: Jim Strozier <cs@consensusplanning.com>
Subject: RE: Neighborhood Meeting Inquiry_Central Ave and Sierra Dr_DRB

Hi Vicente,

Thank you for the information. I realized that the property highlighted in the Zone Atlas Map I attached is not correct. I was one block off. Please see attached for corrected property information. This should not trigger a change to the affected neighborhood associations. It should still be Nob Hill.

Thank you,

Malak Hakim, AICP

From: Quevedo, Vicente M. [<mailto:vquevedo@cabq.gov>]
Sent: Wednesday, May 30, 2018 1:35 PM
To: Malak Hakim <hakim@consensusplanning.com>
Subject: Neighborhood Meeting Inquiry_Central Ave and Sierra Dr_DRB

Malak,

Good afternoon. See contact information for the applicable neighborhood association related to your upcoming neighborhood meeting for a future DRB submittal. Please also review the attached instruction sheet. Thanks.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Phone
Nob Hill NA	Tim	Ross	ross@uwrn.edu	401 Amherst Drive NE	Albuquerque	NM	87106	5055731042
Nob Hill NA	Veronica	Salinas	veronique_salinas@yahoo.com	336 Aliso Drive NE	Albuquerque	NM	87108	5052680064

Respectfully,

Vicente M. Quevedo, MCRP

Neighborhood Liaison
Office of Neighborhood Coordination
City of Albuquerque – City Council
(505) 768-3332

Website: www.cabq.gov/neighborhoods



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From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** ISD WebMaster
Sent: Tuesday, May 29, 2018 3:46 PM
To: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Notification Inquiry Sheet Submission

Notification Inquiry For:

Development Review Board Submittal

If you selected "Other" in the question above, please describe what you are seeking a Notification Inquiry for below:

Pre-Application Neighborhood Meeting

Contact Name

Malak Hakim

Company Name

Consensus Planning, Inc.

Address

302 Eighth Street NW

City

Albuquerque

State

NM

ZIP

87102

Telephone Number

5057649801

Email Address

hakim@consensusplanning.com

Anticipated Date of Public Hearing (if applicable):

Describe the legal description of the subject site for this project:

Mesa Grande Addition - See Zone Atlas

Located on/between (physical address, street name or other identifying mark):

Central Avenue, between Sierra Drive NE and Montclair Drive NE.

This site is located on the following zone atlas page:

K-17-Z

=====
This message has been analyzed by Deep Discovery Email Inspector.

=====
This message has been analyzed by Deep Discovery Email Inspector.

=====
This message has been analyzed by Deep Discovery Email Inspector.

From: Timothy Jack Ross
To: Jim Strozler
Subject: Read: Nob Hill Multi-Family Project Notification
Date: Wednesday, May 30, 2018 4:33:06 PM

Your message

To:
Subject: Nob Hill Multi-Family Project Notification
Sent: Wednesday, May 30, 2018 10:33:06 PM (UTC+00:00) Monrovia, Reykjavik
was read on Wednesday, May 30, 2018 10:33:03 PM (UTC+00:00) Monrovia, Reykjavik.

Malak Hakim

From: Jim Strozier
Sent: Tuesday, June 12, 2018 5:07 PM
To: Timothy Jack Ross; 'Josh R. Rogers (Josh) (jrogers@titan-development.com)'; Ryan McCulloch; Malak Hakim
Cc: Veronica Salinas
Subject: RE: Nob Hill Multi-Family Project Notification

Thank you and thanks to you and the board for your work on behalf of the neighborhood. It was nice to see some interested neighbors also in attendance. We were able to talk with some of them outside after the meeting and they were very supportive.

Jim Strozier

From: Timothy Jack Ross [mailto:ross@unm.edu]
Sent: Tuesday, June 12, 2018 12:34 PM
To: Jim Strozier <cp@consensusplanning.com>; 'Josh R. Rogers (Josh) (jrogers@titan-development.com)' <jrogers@titan-development.com>; Ryan McCulloch <rmcculloch@Titan-Development.com>; Malak Hakim <hakim@consensusplanning.com>
Cc: Timothy Jack Ross <ross@unm.edu>; Veronica Salinas <veronique_salinas@yahoo.com>
Subject: Re: Nob Hill Multi-Family Project Notification

Jim, Josh, Ryan and Malak,

Thank you all for coming to our Board meeting last night, and for your collective insight in answering our questions. I thought you did very well, as some of our questions were very pointed and direct about the issues of concern to some of the Board members. You were clearly on top of these issues.

We look forward to hearing more about your development plans for the East Central Avenue corridor.

Timothy Ross
President, Nob Hill Neighborhood Association

From: Jim Strozier <cp@consensusplanning.com>
Date: Wednesday, May 30, 2018 at 4:22 PM
To: Tim Ross <ross@unm.edu>, "veronique salinas@yahoo.com" <veronique_salinas@yahoo.com>
Cc: "'Josh R. Rogers (Josh) (jrogers@titan-development.com)'" <jrogers@titan-development.com>, Ryan McCulloch <rmcculloch@Titan-Development.com>, Malak Hakim <hakim@consensusplanning.com>
Subject: Nob Hill Multi-Family Project Notification

Nob Hill Neighborhood Association:

The purpose of this email is to provide notice concerning the following project:

Titan Development is planning to file an application for a Site Development Plan to the City of Albuquerque's Development Review Board (DRB) to develop a new multi-family project. The property is zoned MX-M and multi-family residential is a permissive use. The property is made up of three separate parcels and is mostly vacant with the former Town Lodge motel at the northeast corner of Central Avenue and Montclair Drive NE.

As part of the new IDO process, this notification is to reach out and see if your neighborhood association is interested in having a meeting, however, Titan Development and Consensus Planning are already scheduled to present the project at your June 11th Neighborhood Association meeting. We look forward to presenting the project and answering any questions you may have regarding the project.

Location – The entire block bound by Sierra Drive (east), Central Avenue (south), Montclair Drive (west), and Copper Avenue (north) – 4101 and 4119 Central Avenue NE

Owner – Titan Nob Hill LLC

Applicant – Consensus Planning, Inc.
302 8th Street NW
Albuquerque, NM 87102
(505) 764-9801

E-mail – cp@consensusplanning.com

Please do not hesitate to contact either Jim Strozier or Malak Hakim at Consensus Planning if you have any questions or require any additional information.

Jim Strozier, FAICP
Principal, Consensus Planning, Inc.

Board Meeting Agenda

NOB HILL NEIGHBORHOOD ASSOCIATION

6:30 PM, MONDAY, JUNE 11

MONTE VISTA CHRISTIAN CHURCH, SMALL CHAPEL ROOM
3501 CAMPUS DRIVE

*The small chapel room is just to the right as you enter the main door
Neighbors and Guests, please sign in at the front of the room*

1. Introductions
2. Call to Order
3. Establish Quorum
4. Approval of the agenda
5. Consent Agenda
 - a. Approval of Minutes of May 22 meeting
 - b. Treasurer's report
 - c. District 6 summary (Tim, Eliza)
 - d. Board email vote on May 30 on appointing new Directors
6. President's report

NEW BUSINESS

7. Public Presentation by Titan Development Corp (Jim Strozier) scheduled for 7:00-7:10pm.
8. ZHE Cases to addressed by the City
9. Formation of Website committee
10. Approval of venue for 2018 Board Meetings in July, August, September (2nd Monday)
11. Planning for Annual meeting in September

OLD BUSINESS

12. Report of Zoning appeals committee (Govinda).
13. Report of Fall 2018 newsletter committee (Veronica).
14. Report of Bylaws Committee (Tim)
15. Lead/Coal Coalition, 8:00-8:10pm

EXECUTIVE SESSION

16. Adjourn



Meeting Minutes

Project Titan – Nob Hill

Subject Nob Hill Neighborhood Association Pre-Application Meeting to Discuss the Proposed Site Plan for Building Permit DRB and Demolition Applications

Meeting Date/Time Monday, June 11, 2018 at 6:30 pm

Attendance

Project Team

Kurt Browning, Titan Development
Josh Rogers, Titan Development
Ryan McCulloch, Titan Development
Jim Strozier, Consensus Planning
Malak Hakim, Consensus Planning

Nob Hill Neighborhood Association Board Members

Tim Ross, President
Tandi Hufnagel, Vice President
Greg Weirs, Secretary
Govinda Haines
Andy Novat
Eliza Peralta

Public Attendees

Suzann Owingo
Joseph Aguirre
Joan Weissman
Carol Spizman
David Peters
Bill Ashford
Jim Trump
Chris Sanderson

Discussion Items

- Josh Rogers and Jim Strozier provided an overview of the proposed project to be located on Central Boulevard, between Montclair Drive and Sierra Drive, south of Copper Avenue.
- Jim provided a brief overview of the IDO as it relates to new development in Nob Hill.
 - Jim noted that the IDO standards are not a drastic change for the Nob Hill Area, since the Sector Plan had promoted walkability and urban design elements.

- Jim explained the new IDO rules for a pre-application meeting. The presentation at this neighborhood association meeting satisfies that request.
- The proposed project will be a multifamily development, with some non-residential uses on the first floor including the leasing office, community room, and fitness center.
- The multi-family units for this project will be apartments that will be leased at market rate.
- The first floor will comply with the IDO glazing requirements. The first floor will include 55% non-residential uses and 45% residential units.
- Josh mentioned that the east elevation would include a world-class muralist and noted that many of the Titan project incorporate major art installations. Titan collaborates with Working Classroom, a local non-profit organization that creates social justice through the arts.
- The project is anticipated to be 4 stories and 54 feet tall.
- The project team anticipates approximately 102 units and will provide 130 on-site parking spaces to accommodate the development. Parking will be provided in the back of the development, behind the building.
- The Development Review Board (DRB) submittal for this application is anticipated to be in late July or early August and another notification (certified letter) will be provided at the time of application.
- The project team noted the existing Town Lodge building on the property will be demolished as part of this project. Jim explained that the Town Lodge demolition, which requires a separate process through the City.

Concerns

- The project team noted that the graphics presented at the meeting are conceptual.
- A neighbor asked if these designs are likely to change.
 - The project team noted that they would provide the neighborhood with the final design at the time of application.
- The neighbors asked if any government assistance or vouchers would be provided for this project.
 - Josh noted that the property is being developed without the assistance of any government incentives. No vouchers, it is a market rate project.
- The neighbors asked about the anticipated rental rates.
 - Josh responded that the unit size would vary from 650 square feet for a studio apartment to 1,100 square feet for additional bedrooms. The rents would also range from \$1,000 per month to \$1,700 per month depending on the size of the unit.
- The neighbors asked about the first-floor apartments and were concerned about the safety of those future residents.
 - Josh responded that the first-floor units would be elevated 5 feet off Central Avenue for security.
 - No direct access to the units would be provided off Central Avenue.
- The neighbors expressed concern over future construction hours, duration, and traffic disturbance.
 - Josh replied that all future construction efforts would follow City regulations.
 - The anticipated construction period is 12 months.
 - Any construction on City streets also requires a traffic management plan.
- The neighbors asked about the investors for the project.

- Josh responded that Titan has created its first Real Estate Fund.
- One board member asked the project team what would happen if the project flopped.
 - Josh responded that the future apartment units would rent and, if needed, a rent reduction would be implemented if needed to eliminate any vacancy issues.

Areas of Agreement

- Additional people in the area will support the improvement of the retail environment in the area.
- Some of the neighborhood attendees agreed that the project would improve the street presence of the area.
- Platinum apartment are 97% leased.

Areas of Disagreement

- One neighbor indicated that she did not understand how there is a demand for additional multifamily development.
 - Josh replied that there have been market studies that indicate there is a demand.
 - Josh also noted that this is a \$20 million investment in the area and adequate due diligence has been conducted to justify the investment.

Next Steps

- At the time of application to the DRB, the project team will provide an additional written notice of the project and associated submittal.
- The project team will provide the neighborhood association with PDF copies of the final plans at the time of application.



Meeting Minutes

Project Titan – Nob Hill

Subject Nob Hill Neighborhood Association Meeting to Discuss the Proposed Site Plan for Building Permit DRB, Variance Applications, and Demolition Application

Meeting Date/Time Monday, August 13, 2018 at 6:30 pm

Attendance

Project Team

Josh Rogers-Titan Development
Ryan McCulloch- Titan Development
Jim Strozier- Consensus Planning, Inc.
Malak Hakim- Consensus Planning, Inc.

Nob Hill Neighborhood Association Board Members and Members at Large

Discussion Items

- The representatives from Titan Development and Consensus Planning presented the project to the attendees.
- Josh stated a background on Titan Development and his role in the company.
- Josh stated that the purpose of the presentation was to provide an update on the project since we originally presented it in June.
- The subject property is located on Central Avenue, between Sierra Drive and Montclair Drive. The proposed development will take up the whole block.
- Titan Development is proposing 102 multifamily units that will be for rent at market rate. The proposed project design includes enough parking and is designed to be urban in character with 55% to 60% of the ground floor is allocated for the leasing office, fitness center, and community room. The uses will be visible to the public, with commercial storefronts, thereby activating Central Avenue.
- The development will include urban landscaping including street trees, street improvements, and street furniture.
- Josh noted that additional improvements will be made to the sidewalk conditions, including pavers and concrete.

- The development will also include public on-street parking spaces.
- On the west side of the building (Montclair), the grade change results in a larger elevation change from the street level, which has created design challenges. On Sierra Drive, the building is designed to have a slightly elevated patio so that the proposed units are not right on the street.
- An art mural is proposed along the east elevation on Sierra Drive. The glazing requirement along Sierra will require a variance application and request.
- The IDO includes a 60% glazing requirement for the first floor of the building. This requirement cannot be met for both the east and west facades, and will require a variance request to the Zoning Hearing Examiner (ZHE).
- In addition to the glazing variance request, the applicant is also preparing a variance request to the 3 foot wall height maximum. The applicant is proposing a 6 foot wall that will be predominantly view fence. The existing wall regulation creates a security problem for the future residents.
- There are three upcoming submittals associated with the project: 1) DRB Site Plan submittal, 2) ZHE Variance application, and 3) vacation of an existing PNM easement associated with the Plat.
- Malak noted that the Demolition application for the existing Town Lodge building was submitted on August 8, 2018 and that the Landmarks and Urban Conservation Commission (LUCC) hearing will be held on September 12, 2018.

Questions and Answers

Q: When do you expect construction?

A: February 2019.

Q: Are you meeting the glazing requirement on the non-variance façade along Central?

A: Yes, we are meeting the glazing requirements for the façade along Central Avenue with the community use areas and residential windows. It was noted that our preference was to request variances to the east and west facades, rather than install faux storefronts.

Q: What is your process for choosing the artists for the mural?

A: Josh noted that Titan is looking at Working Classroom and other non-profits. The mural will not be a political statement.

Q: What is the final, finished height of the building?

A: 54 to 55 feet, measured from average grade. 57 is the maximum allowed by the zoning.

Q: Where will the parking be located?

A: Behind the building

Q: Are these strictly rental units?

A: Yes.

Q: How tall is the retaining wall?

A: Up to 8 feet.

Q: You are proposing 102 units? How many parking spaces are you providing?

A: Approximately 135 (about 1 per bedroom).

Q: How many stories is the building?

A: 4 stories.

Q: Can you quantify the glazing variance request?

A: We need to verify the math. We believe we are reducing the 60% requirement to 5%.

Q: Is the wall height maximum 3 feet?

A: Yes.

Q: Where is the surface parking?

A: Along Copper. We are proposing a short (3-foot) wall where needed to screen parking with view fence above. Where screening isn't needed, it will be a 6 foot view fence.

Q: Will there be faux storefront?

A: No. All the community spaces and apartments along Central Avenue will have real windows.

Q: Are the variances required to replace the glazing requirements? One attendee stated that he would be happy to support variances, as this development is not proposing faux storefronts.

A: Along Central we meet requirements of IDO with real windows. On Sierra, the variance is to first 12 feet of required glazing and will be replaced by a mural. On Montclair, the variance will allow for the retaining wall without having to install faux storefront.

Q: A lot of people are freaked out about what's going on in the neighborhood. What will the developers do to help with the current state of affairs? The neighborhood representative stated that she would be more sympathetic to big development if developers get involved in local issues.

A: Jim responded that he tries to keep Titan apprised of issues in the neighborhood. Josh noted that he was born and raised in Albuquerque. This is the type of project that Josh would like to see. Retail in Nob Hill has struggled. Getting more shoppers in the area would help the overall economic health in the district.

Q: Nob Hill Neighborhood Association just had an ice-cream social. One attendee mentioned to a board member that the new storage development across the street from the subject site has blocked their view of the mountains. Why not go less "urban" (3 stories) with this proposed development?

A: The proposed building height and density is appropriate for this area and allowed and encouraged by City policy.

Q: Is the development green friendly?

A: Josh noted that they have tried to work with PNM to build solar and got nowhere. The development will include low-flow toilets and sinks and be energy efficient.

Q: Is there mechanical equipment installed in roof?

A: Yes. The building is a total of 57 feet high, including the parapets.

Q: The parking requirements are based on the illusion that Central Avenue is like that of an urban east coast city. Do we really expect people to use ART?

A: Yes and this intention is reflected in City plans and policies.

Q: When will the signs be posted? For the demolition, site plan, and ZHE submittal?

A: Jim noted that Consensus Planning uses a sign company to ensure the signs are appropriately posted within the required posting period.

Q: Do the signs provide information about the hearing date?

A: Jim and Malak noted that the applicant is required to send mailed letters and emails at the time of application. The respective hearing agenda is also posted online and in published in the Albuquerque Journal.

Q: What will be on the signs that are posted on the property?

A: Project number, hearing date, time, contact information. If you would like additional information about the project, call the number provided on the sign (Consensus Planning office number).

Q: Could the applicant post an image/rendering of the proposed development?

A: Josh noted that they have never done that before, but will look into it.

Q: What could you do on your north/south streets to draw more pedestrian traffic to those streets? How do you activate that area?

A: Josh noted that Nob hill is dark. The project will have pedestrian-scale lighting. Old sidewalks in the area do not encourage walking. The project will have 6' wide sidewalks with new landscaping.

Q: What else could you do there to pull pedestrian traffic?

A: Josh noted that storefront and glazing is one way to do it. That's another way to activate the area. Central should be the pedestrian friendly place in Albuquerque, but most of sidewalks along Central are not adequate.

Q: What are the details of the on-site utilities?

A: Josh noted that all site utilities will be buried. We are also vacating the PNM easement. This will be done in conjunction with a Plat that will create one parcel. The sewer is provided on Central. Water is off Sierra, Montclair, and Copper.

Malak Hakim

From: Mancini, Sara <saramancini@cabq.gov>
Sent: Thursday, August 23, 2018 9:09 AM
To: Malak Hakim
Cc: Office of Neighborhood Coordination
Subject: Notice Inquiry_Copper Avenue, between Montclair and Sierra_DRB
Attachments: Page_K-17-Z.PDF; Public Notice Inquiry Instruction Sheet_7_31_18.pdf; Notice Inquiry_Copper Avenue, between Montclair and Sierra_DRB.xlsx

Hi Malak,

Per our conversation, I processed this request following the marked property on the zone atlas page, not the description provided in the submittal. Please see the contact information for applicable associations attached and below. Please also review the attached instruction sheet.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip
Nob Hill NA	Tim	Ross	ross@unm.edu	401 Amherst Drive NE	Albuquerque	NM	87106
Nob Hill NA	Tandi	Hufnagel	tandiwe76@gmail.com	343 Hermosa Drive NE	Albuquerque	NM	87108

Thanks,

Sara
768-3105
saramancini@cabq.gov

From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** ISD WebMaster
Sent: Thursday, August 23, 2018 7:43 AM
To: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:

Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Malak Hakim

Telephone Number

5057649801

Email Address

hakim@consensusplanning.com

Company Name

Consensus Planning, Inc.

Company Address

302 Eighth Street NW, On Copper Avenue, between Cedar Street and Mulberry Street.

City Albuquerque
State NM
ZIP 87102

Legal description of the subject site for this project:
Lots 1 through 16, Block 2, Mesa Grande Addition and Portion of Vacated Alley

Physical address of subject site:
302 Eighth Street NW

Subject site cross streets:
On Copper Avenue, between Cedar Street and Mulberry Street.

Other subject site identifiers:

This site is located on the following zone atlas page:
K-17-Z

=====

This message has been analyzed by Deep Discovery Email Inspector.



September 6, 2018

Tim Ross
401 Amherst Drive NE
Albuquerque, NM 87106
ross@unm.edu

Tandi Hufnagel
343 Hermosa Drive NE
Albuquerque, NM 87108
Tandiwe76@gmail.com

Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

Dear Mr. Ross, Ms. Hufnagel, and the Nob Hill Neighborhood Association:

This letter is notification that Consensus Planning is submitting an application for a Site Plan to the Development Review Board (DRB), on behalf of Titan Nob Hill, LLC. The applicant is proposing a 102 unit multifamily development on the property, which requires a public hearing before the DRB. The property is located between Montclair Drive and Sierra Drive, South of Central Avenue NE.

The applicant is also in process for approval of the demolition of the Town Lodge, to be heard by the Landmarks and Urban Conservation Commission (LUCC) on September 12, 2018. We also anticipate submitting a Variance application to the Zoning Hearing Examiner (ZHE) Board early September. We presented the project to the NHNA Board on August 13, 2018 and June 11, 2018 and discussed the Site Plan, demolition, variances, and the PNM easement vacation at both meetings. We will also notify you prior to the ZHE application.

The DRB hearing for the Site Plan application will be held on October 3, 2018 beginning at 9:00 p.m. at the Plaza del Sol Building, located at 600 2nd Street NW.

Please do not hesitate to contact me if you have any questions, would like to meet, or desire any additional information. Under the IDO, anyone may request and the City may require an applicant to attend a City-sponsored facilitated meeting with Neighborhood Associations, based on the complexity and potential impacts of a proposed project (IDO Section 14-16-6-4(D)). Visit: <https://www.cabq.gov/planning/urban-design-development/facilitated-meetings-for-proposed-development/> to view and download the Facilitated Meetings Criteria. If you wish to request a Facilitated Meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505.924.3955.

Per IDO Section 14-16-6-4(D)(2), "If a facilitated meeting is required by the City, the City shall assign a facilitator, who shall attempt to schedule the facilitated meeting within 15 consecutive days. The meeting shall occur within a period of 7 consecutive days prior to the next scheduled hearing or meeting of the decision-making body."

Please do not hesitate to contact me if you have any questions, would like to meet, or desire any additional information.

Sincerely,

PRINCIPALS

James K. Strozier, AICP
Christopher J. Green, PLA.
ASLA, LEED AP
Jacqueline Fishman, AICP

James K. Strozier, FAICP
Principal

Attached: Zone Atlas Map K-17-Z
11x17 Copy of the Site Plan



Property Owner 100' Buffer Map



WGS_1984_Web_Mercator_Auxiliary_Sphere
8/23/2018
© City of Albuquerque

1: 3,607

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Legend

- IDO Zoning**
- RA
 - R-1A
 - R-1B
 - R-1C
 - R-1D
 - R-T
 - R-MC
 - R-ML
 - R-MH
 - R-MH
 - R-MH
 - R-MH
 - MX-L
 - MX-M
 - MX-H
 - MX-FB-ID
 - MX-FB-FX
 - MX-FB-UD
 - NR-C
 - NR-BP
 - NR-LM
 - NR-GM
 - NR-SU
 - NR-PO-A
 - NR-PO-B
 - NR-PO-C
 - NR-PO-D
 - PD
 - PC
 - UNCL
- Bernalillo County Parcels
- Municipal Limits

Notes

Prepared by Consensus Planning,
8-23-2018

Owner	Owner Address	Owner Address 2	STATUS Address	STATUS Address 2	Legal Description
WOOD JAMES A	4104 RIDGELEY AVE NE	ALBUQUERQUE NM 87108-1143	4104 RIDGELEY AV NE	ALBUQUERQUE NM 87108	* 006 001BROADMOOR ADD
TREVINO TODD A & KAYCI M	8209 R C GORMAN AVE NE	ALBUQUERQUE NM 87122	4212 RIDGELEY AV NE	ALBUQUERQUE NM 87108	* 012 001BROADMOOR ADD
HILL SARAH ANN	4008 RIDGELEY AVE NE	ALBUQUERQUE NM 87108	4008 RIDGELEY AV NE	ALBUQUERQUE NM 87108	* 008 001BROADMOOR ADD
TRANSITIONAL LIVING SERVICES INC	5601 DOMINGO RD NE	ALBUQUERQUE NM 87108	4020 CENTRAL AV SE	ALBUQUERQUE NM 87108	* 008 008MESA GRANDE ADD LB,98.10
TTIAN NOB HILL LLC	6300 RIVERSIDE PLAZA LN NO SUITE 200	ALBUQUERQUE NM 87120-2617	4201 CENTRAL AV NE	ALBUQUERQUE NM 87108	LOTS 4 THRU 9 BLK 2 MESA GRANDE ADD & POR OF VAC ALLEY
TWO GUNS LLC	430 WASHINGTON ST NE	ALBUQUERQUE NM 87108	4208 CENTRAL AV SE	ALBUQUERQUE NM 87108	LOTS 5 & 6 BLOCK 6 MESA GRANDE ADDN CONT 6230 SQ FT
US WEST COMMUNICATIONS INC	6300 S SYRACUSE WAY	ENGLEWOOD CO 80111-6720	120 SIERRA DR NE	ALBUQUERQUE 87108	LT 2 & THE N 4.61 FT OF LT 3 BLK 3 MESA GRANDE ADDN CONT 0.1860 AC M/L OR 8,102 SQ FT M/L
ARAGON STEPHANIE T	4200 RIDGELEY AVE NE	ALBUQUERQUE NM 87108-1145	4200 RIDGELEY AV NE	ALBUQUERQUE NM 87108	* 009 001BROADMOOR ADD
HARLEY SHAYNE M TRUSTEE HARLEY TRUST	4204 RIDGELEY AVE NE	ALBUQUERQUE NM 87108	4204 RIDGELEY AV NE	ALBUQUERQUE NM 87108	* 010 001BROADMOOR ADD
WILSON JON K & JOAN ESSE	4100 RIDGELEY AVE NE	ALBUQUERQUE NM 87108-1143	4100 RIDGELEY AV NE	ALBUQUERQUE NM 87108	* 005 001BROADMOOR ADD
MURPHY WILLIAM	PO BOX 2061	TUCERAS NM 87059	4012 CENTRAL AV SE	ALBUQUERQUE NM 87108	* 006 008MESA GRANDE ADD
ARGYRES PETE & MARY P TRUSTEES ARGYRES FVT	2011 LOS POBLANOS PL NW	LOS RANCHOS NM 87107-5517	4118 CENTRAL AV NE	ALBUQUERQUE NM 87108	7 TR "A" BLK 7 MESA GRANDE ADDITION
SHOEMAKER PEGGY & FLORENCE	4208 RIDGELEY AVE NE	ALBUQUERQUE NM 87108-1145	4208 RIDGELEY AV NE	ALBUQUERQUE NM 87108	* 011 001BROADMOOR ADD
WEST CENT LLC	6927 SCHIST AVE NE	ALBUQUERQUE NM 87113-1940	4207 CENTRAL AV NE	ALBUQUERQUE NM 87108	* 008 003MESA GRANDE ADD 188.9
STOOPS RICHARD D	4108 RIDGELEY AVE NE	ALBUQUERQUE NM 87108-1143	4108 RIDGELEY AV NE	ALBUQUERQUE NM 87108	* 007 001BROADMOOR ADD
STEINBERG SCOTT & ROBIN	11110 SAN BERNARDINO DR NE	ALBUQUERQUE NM 87122-2352	4014 CENTRAL AV SE	ALBUQUERQUE NM 87108	* 007 008MESA GRANDE ADD
CARDENAS MARIA	4112 RIDGELEY AVE NE	ALBUQUERQUE NM 87108-1143	4112 RIDGELEY AV NE	ALBUQUERQUE NM 87108	* 008 001BROADMOOR ADD
IRVIN RICHARD C & THERESA M	4300 RIDGELEY AVE NE	ALBUQUERQUE NM 87108-1147	4300 RIDGELEY AV NE	ALBUQUERQUE NM 87108	* 013 001BROADMOOR ADD
DARATHAI PROPERTIES LLC	6324 PINA PL NW	ALBUQUERQUE NM 87120	4205 CENTRAL AV NE	ALBUQUERQUE NM 87108	* 007 003MESA GRANDE ADD
PULSE VENTURES LLC	4700 N RAVENSWOOD AVE SUITE B	CHICAGO IL 60640-4408	4100 CENTRAL AV SE	ALBUQUERQUE 87108	LTS 1 THRU 8 BLK 7 MESA GRANDE ADD CONT .5937 AC
KARMAN STEPHEN & HILTON MARC	PO BOX K	ALBUQUERQUE NM 87103	4001 CENTRAL BLVD NE	ALBUQUERQUE NM 87108	001MESA GRANDE ADD 11 TO 15
SKIDMORE DORIE A	4012 RIDGELEY AVE NE	ALBUQUERQUE NM 87108-1141	4012 RIDGELEY AV NE	ALBUQUERQUE NM 87108	* 004 001BROADMOOR ADD
COSMOPOLITAN LLC	700 CARLISLE PL SE	ALBUQUERQUE NM 87108	4200 CENTRAL AV SE	ALBUQUERQUE NM 87108	LT 1-A-1 BLK 6 MESA GRANDE ADDN (COMPRISES OF LT 1,ABLK 6 MESA GRANDE ADDN & A PORT OF VAC R/W OF CENTRALAV SE] CONT .2857 AC

WOOD JAMES A

4104 RIDGELEY AVE NE
ALBUQUERQUE, NM 87108-1143

TREVINO TODD A & KAYCI M

8209 R C GORMAN AVE NE
ALBUQUERQUE, NM 87122

HILL SARAH ANN

4008 RIDGELEY AVE NE
ALBUQUERQUE, NM 87108

TRANSITIONAL LIVING SERVICES INC

5601 DOMINGO RD NE
ALBUQUERQUE, NM 87108

TITAN NOB HILL LLC

6300 RIVERSIDE PLAZA LN NO SUITE 200
ALBUQUERQUE, NM 87120-2617

TWO GUNS LLC

430 WASHINGTON ST NE
ALBUQUERQUE, NM 87108

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6300 S SYRACUSE WAY
ENGLEWOOD, CO 80111-6720

ARAGON STEPHANIE T

4200 RIDGELEY AVE NE
ALBUQUERQUE, NM 87108-1145

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4204 RIDGELEY AVE NE
ALBUQUERQUE, NM 87108

WILSON JON K & JOAN ESSE

4100 RIDGELEY AVE NE
ALBUQUERQUE, NM 87108-1143

MURPHY WILLIAM

PO BOX 2061
TIJERAS, NM 87059

ARGYRES PETE & MARY P TRUSTEES ARGYRES RVT

2011 LOS POBLANOS PL NW
LOS RANCHOS, NM 87107-5517

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ALBUQUERQUE, NM 87108-1143

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11110 SAN BERNARDINO DR NE
ALBUQUERQUE, NM 87122-2352

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4112 RIDGELEY AVE NE
ALBUQUERQUE, NM 87108-1143

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4300 RIDGELEY AVE NE
ALBUQUERQUE, NM 87108-1147

DARATHAI PROPERTIES LLC

6324 PIMA PL NW
ALBUQUERQUE, NM 87120

PULSE VENTURES LLC

4700 N RAVENSWOOD AVE SUITE B
CHICAGO, IL 60640-4408

KARMAN STEPHEN & HILTON MARC

PO BOX K
ALBUQUERQUE, NM 87103

SKIDMORE DORIE A

4012 RIDGELEY AVE NE
ALBUQUERQUE, NM 87108-1141

COSMOPOLITAN LLC

700 CARLISLE PL SE
ALBUQUERQUE, NM 87108

September 6, 2018

Property Owner:

NOTICE OF PUBLIC HEARING

Notice is hereby given that the City of Albuquerque Development Review Board will hold a **Public Hearing on Wednesday, October 3, 2018 at 9:00 p.m.**, in the Plaza del Sol Hearing Room, Lower Level, Plaza del Sol building, 600 2nd St. NW, Albuquerque, NM to consider the following item.

DEVELOPMENT REVIEW BOARD

A copy of the Function, General Meeting Information, Parking Information, and Notices are posted on the Planning Department's website at <https://www.cabq.gov/planning/boards-commissions/development-review-board>. For more information, please contact Russell Brito, Current Planning Division Manager, at (505) 924-3337 or at rbrito@cabq.gov.

REQUEST

Consensus Planning, agent for Titan Nob Hill, LLC, requests a Site Plan for a new multifamily development located on Lots 1 through 9, and 16 of the Mesa Grande Addition and Portion of Vacated Alley, zoned MX-M. The property is located on Central Avenue, between Sierra Drive and Montclair Drive NE, containing approximately 2.2 acres.

If you have questions or need additional information regarding this request contact Jim Strozier, Principal at Consensus Planning at (505) 764-9801 or at cp@consensusplanning.com.

Sincerely,

Consensus Planning, Inc.

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: Titan Nob Hill, LLC c/o Titan Development DATE OF REQUEST: 8 / 21 / 2018 ZONE ATLAS PAGE(S): K-15-Z

CURRENT:

ZONING MX-M
PARCEL SIZE (AC/SQ. FT.) 2.2 acres

LEGAL DESCRIPTION:

LOT OR TRACT # Lots 1 through 16 BLOCK # _____
SUBDIVISION NAME Mesa Grande Addition and Portion of Vacated Alley

REQUESTED CITY ACTION(S):

ANNEXATION []
ZONE CHANGE []: From _____ To _____
SECTOR, AREA, FAC, COMP PLAN []
AMENDMENT (Map/Text) []

SITE DEVELOPMENT PLAN:

SUBDIVISION* [] AMENDMENT []
BUILDING PERMIT [✓] ACCESS PERMIT []
BUILDING PURPOSES [] OTHER []

*includes platting actions

PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT []
NEW CONSTRUCTION [✓]
EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION:

OF UNITS: 102
BUILDING SIZE: 30,868 (sq. ft.)

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE Malayte

DATE August 23, 2018

(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO [x] BORDERLINE []

THRESHOLDS MET? YES [] NO [x] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []
Notes:

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

[Signature]
TRAFFIC ENGINEER

8/23/18
DATE

Required TIS **must be completed prior to applying to the EPC and/or the DRB.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED ///
-FINALIZED ///

TRAFFIC ENGINEER _____

DATE _____

Revised January 20, 2011

FORM DRWS: DRAINAGE REPORT/GRADING AND DRAINAGE PLAN / WATER & SANITARY SEWER AVAILABILITY
THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR SUBDIVISIONS AND SITE PLANS.

PROJECT NAME: APT. URBAN LIVING @ NOB HILL

AGIS MAP # K-17

LEGAL DESCRIPTIONS: LOTS 1-19, BLK. 2
MESA GRANDE ADDITION

DRAINAGE REPORT/GRADING AND DRAINAGE PLAN

A drainage report/grading and drainage plan, as per the Drainage Ordinance, was submitted to the City of Albuquerque Planning Department, Hydrology Division (2nd /Ground Floor, Plaza del Sol) on AUG 22, 2018 (date).

Fred C.uffman
Applicant/Agent

08.22.18
Date

John Elliott
Hydrology Division Representative

8-23-18
Date

NOTE: A GRADING AND DRAINAGE PLAN MUST BE APPROVED PRIOR TO DRB APPROVAL

WATER AND SEWER AVAILABILITY STATEMENT

A Water and Sewer Availability Statement for this project was requested to the ABCWUA (2nd/Ground floor, Plaza del Sol) on AUG 22, 2018 (date).
Availability # 180820

Fred C.uffman
Applicant/Agent

08.22.18
Date

John Elliott
ABCWUA Representative

08/29/18
Date

PROJECT # _____

Contractor shall verify all dimensions as shown before proceeding with this work.

Do not rebar these slabs and modifications unless the engineer is notified in writing. The engineer will be responsible for the design of any modifications. The engineer will not be responsible for the design of any modifications unless the engineer is notified in writing. The engineer will be responsible for the design of any modifications unless the engineer is notified in writing.

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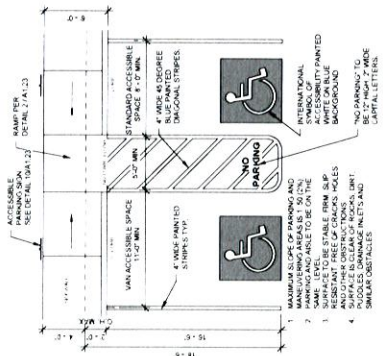


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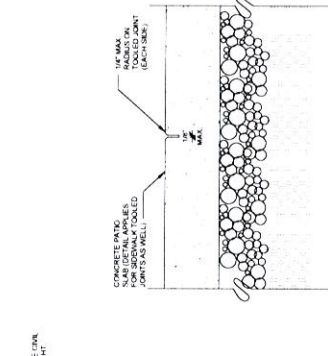
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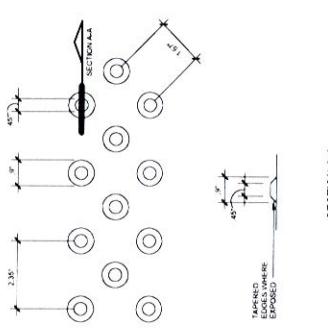
SITE DETAILS



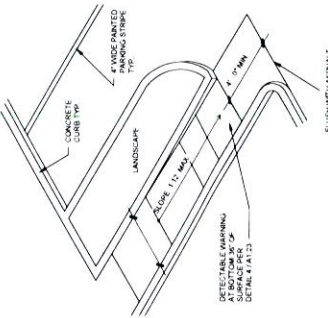
1 ACCESSIBLE PARKING STALL
CITY OF SANTA FE
SCALE: 3/8" = 1'-0"



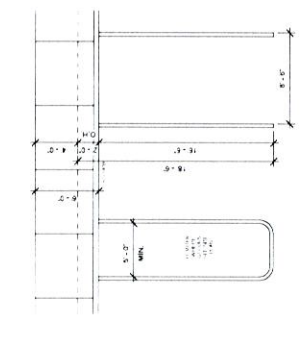
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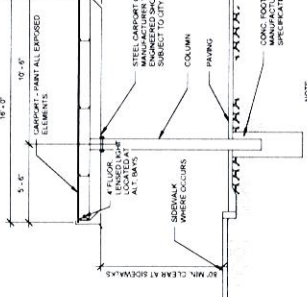
3 TOOLED JOINT @ PATOS
SCALE: 1/2" = 1'-0"



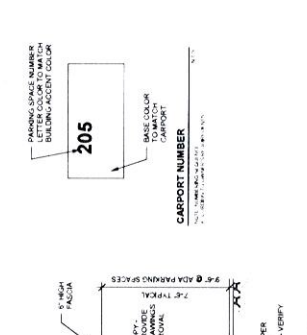
5 TYP. SW RAMP AT PARKING
FLUSH WITH ADJACENT PAVING TYP.
SCALE: 1/8" = 1'-0"



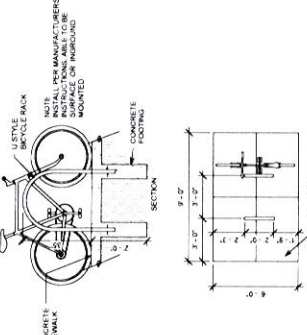
6 STANDARD PARKING STALL
SCALE: 3/8" = 1'-0"



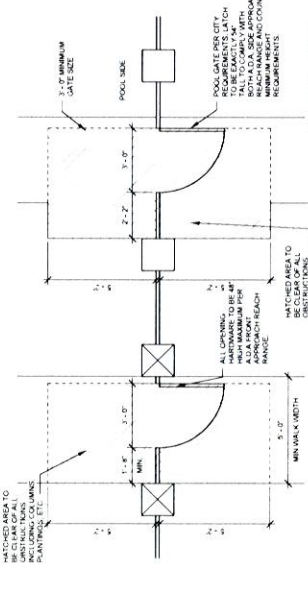
7 SECTION THRU CARPORT
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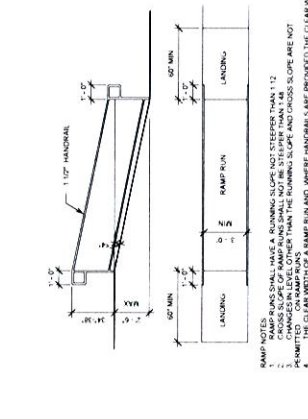
9 U STYLE BIKE RACK - 4 BIKES
SCALE: 1/8" = 1'-0"



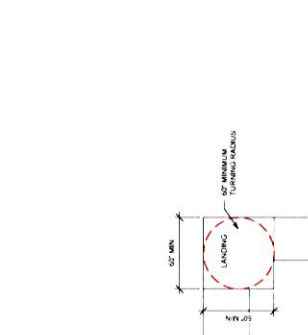
10 ACCESSIBLE PARKING SIGN
CITY OF SANTA FE
SCALE: 1/8" = 1'-0"



11 TYP. MIN. CLEARANCES AT PEDESTRIAN GATES
SCALE: 3/8" = 1'-0"



13 ADA SITE RAMPS
SCALE: 1/8" = 1'-0"



4 TRUNCATED DOMES
SCALE: 1/8" = 1'-0"



5 TYP. SW RAMP AT PARKING
FLUSH WITH ADJACENT PAVING TYP.
SCALE: 1/8" = 1'-0"

Contractor shall verify all dimensions of project before proceeding with this work.
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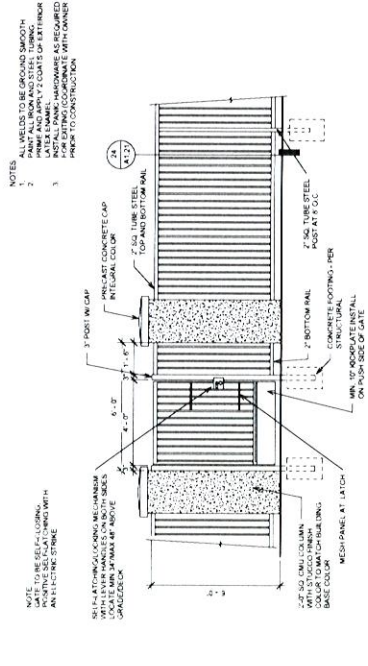


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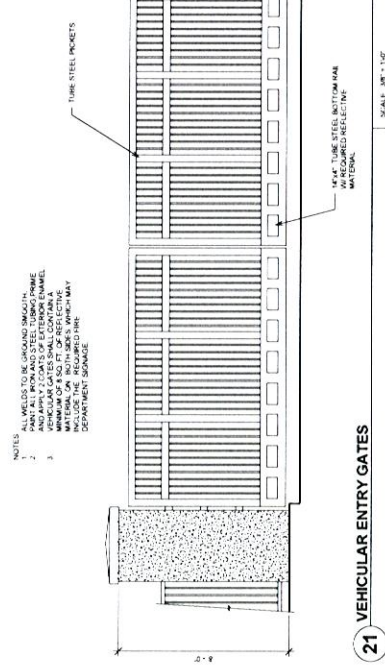
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 INC.
 1000 N. 10TH ST. #100
 CHANDLER, AZ 85224

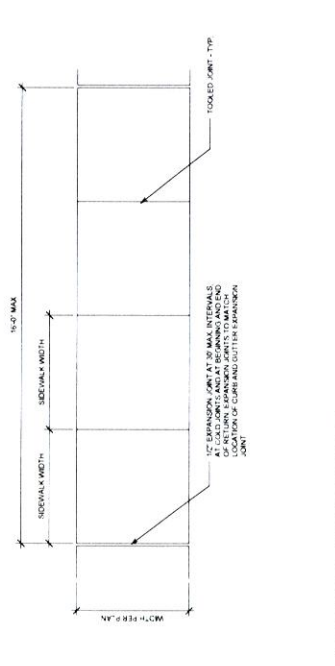
SITE DETAILS



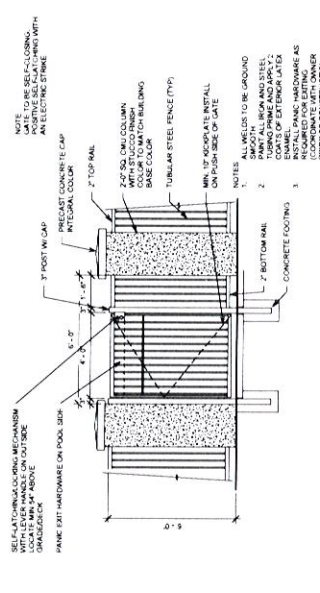
16 VIEW FENCE AND GATE
 SCALE: 3/8" = 1'-0"



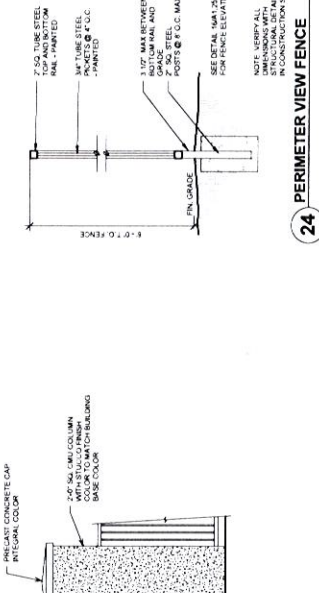
21 VEHICULAR ENTRY GATES
 SCALE: 3/8" = 1'-0"



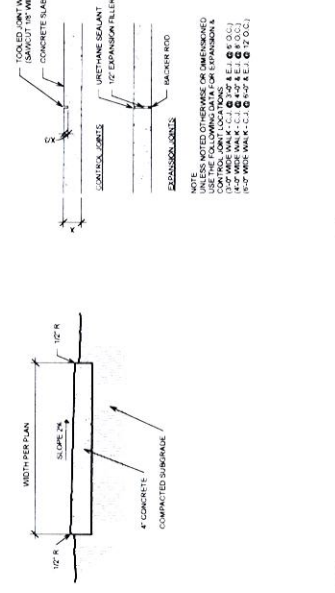
26 CONCRETE SIDEWALK PLAN
 SCALE: 1/2" = 1'-0"



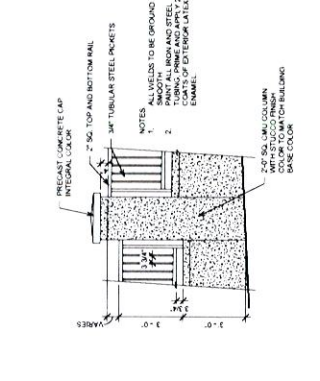
18 POOL FENCE & GATE
 SCALE: 3/8" = 1'-0"



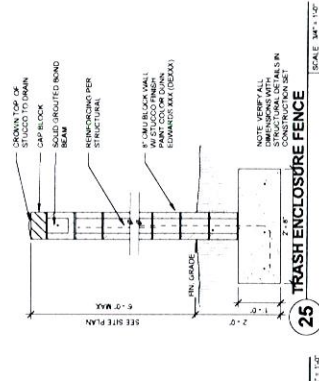
24 PERIMETER VIEW FENCE
 SCALE: 3/8" = 1'-0"



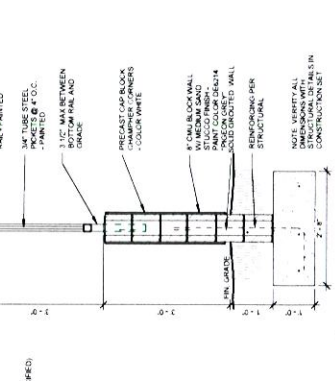
29 CONSTRUCTION JOINTS
 SCALE: 3/8" = 1'-0"



20 PARTIAL VIEW FENCE @ COLUMN
 SCALE: 3/8" = 1'-0"



25 TRASH ENCLOSURE FENCE
 SCALE: 3/8" = 1'-0"



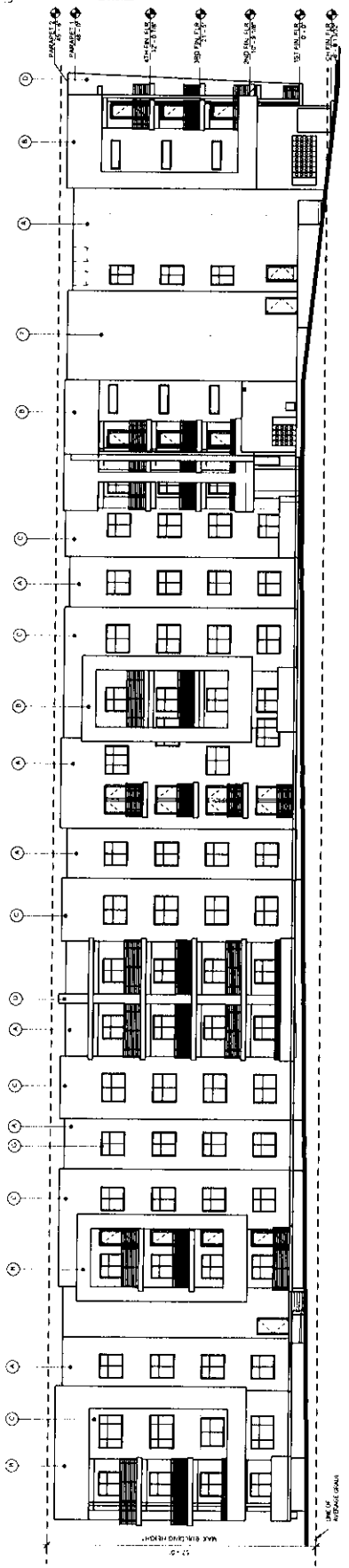
30 PERIMETER PARTIAL VIEW FENCE
 SCALE: 3/8" = 1'-0"

Contractor shall verify all dimensions at project. Do not construct after 5:00 PM. All materials shall be approved by the architect. All work shall be done in accordance with the approved plans. All work shall be done in accordance with the approved plans. All work shall be done in accordance with the approved plans.

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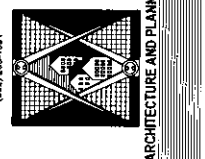
BUILDING 1 - NORTH ELEVATION
3/22' x 110'

EXTERIOR FINISH SCHEDULE

A	EXTERIOR WALL FINISH - COAT STUCCO, LIGHT SAND FINISH
B	DOWN CORNER - FINE GRANT DENTS
C	EXTERIOR WALL FINISH - COAT STUCCO, LIGHT SAND FINISH
D	EXTERIOR WALL FINISH - COAT STUCCO, LIGHT SAND FINISH
E	EXTERIOR WALL FINISH - COAT STUCCO, LIGHT SAND FINISH
F	EXTERIOR WALL FINISH - COAT STUCCO, LIGHT SAND FINISH
G	EXTERIOR WALL FINISH - COAT STUCCO, LIGHT SAND FINISH
H	EXTERIOR WALL FINISH - COAT STUCCO, LIGHT SAND FINISH



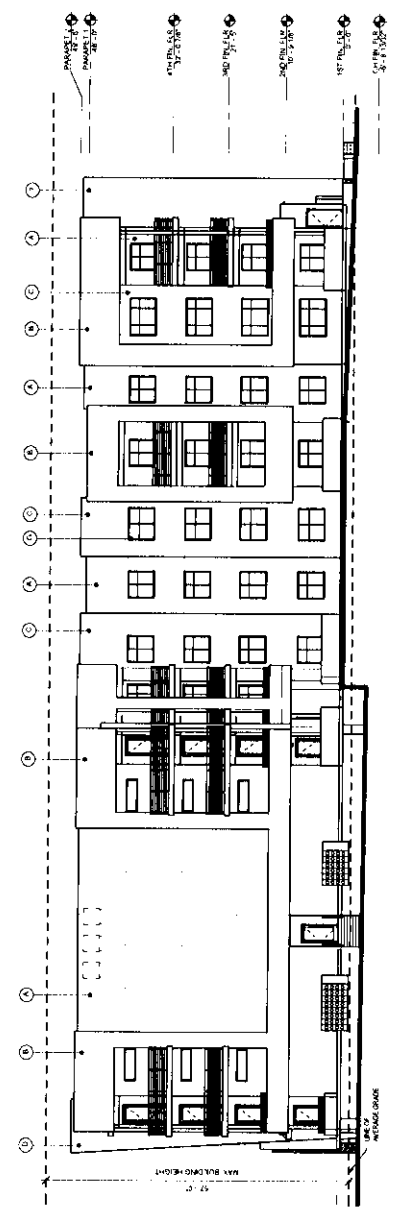
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**BUILDING 1
ELEVATIONS**



BUILDING 1 - EAST ELEVATION
3/22' x 110'

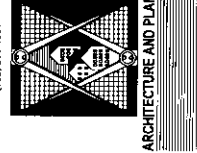
Contractor shall verify all dimensions of project before proceeding with the work. The contractor shall be responsible for determining the accuracy of the information provided in this schedule. The contractor shall be responsible for determining the accuracy of the information provided in this schedule. The contractor shall be responsible for determining the accuracy of the information provided in this schedule.



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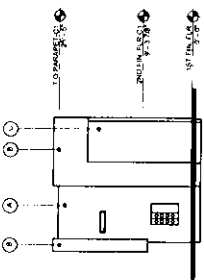


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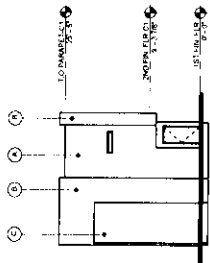
**BUILDING 2 & 3
ELEVATIONS**

EXTERIOR FINISH SCHEDULE

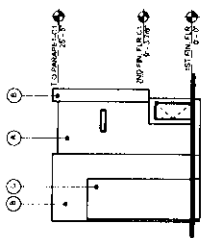
A	EXTERIOR WALL FINISH - LOCAL STUCCO (SPIT SAND FINISH)
B	EXTERIOR WALL FINISH - FINE SPAN DESEIT
C	EXTERIOR WALL FINISH - FINE SPAN DESEIT
D	EXTERIOR WALL FINISH - FINE SPAN DESEIT
E	EXTERIOR WALL FINISH - FINE SPAN DESEIT
F	EXTERIOR WALL FINISH - FINE SPAN DESEIT
G	EXTERIOR WALL FINISH - FINE SPAN DESEIT
H	EXTERIOR WALL FINISH - FINE SPAN DESEIT
I	EXTERIOR WALL FINISH - FINE SPAN DESEIT
J	EXTERIOR WALL FINISH - FINE SPAN DESEIT
K	EXTERIOR WALL FINISH - FINE SPAN DESEIT
L	EXTERIOR WALL FINISH - FINE SPAN DESEIT
M	EXTERIOR WALL FINISH - FINE SPAN DESEIT
N	EXTERIOR WALL FINISH - FINE SPAN DESEIT
O	EXTERIOR WALL FINISH - FINE SPAN DESEIT
P	EXTERIOR WALL FINISH - FINE SPAN DESEIT
Q	EXTERIOR WALL FINISH - FINE SPAN DESEIT
R	EXTERIOR WALL FINISH - FINE SPAN DESEIT
S	EXTERIOR WALL FINISH - FINE SPAN DESEIT
T	EXTERIOR WALL FINISH - FINE SPAN DESEIT
U	EXTERIOR WALL FINISH - FINE SPAN DESEIT
V	EXTERIOR WALL FINISH - FINE SPAN DESEIT
W	EXTERIOR WALL FINISH - FINE SPAN DESEIT
X	EXTERIOR WALL FINISH - FINE SPAN DESEIT
Y	EXTERIOR WALL FINISH - FINE SPAN DESEIT
Z	EXTERIOR WALL FINISH - FINE SPAN DESEIT



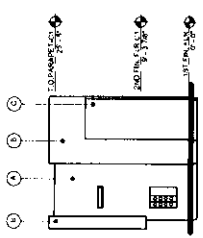
BUILDING 2 - EAST ELEVATION
3/32" = 1'-0"



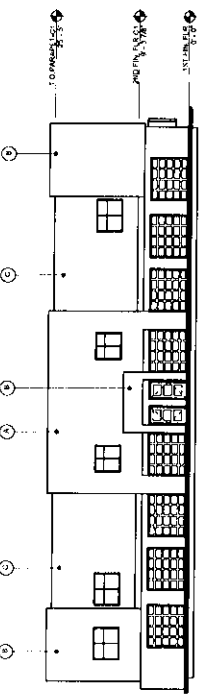
BUILDING 2 - WEST ELEVATION
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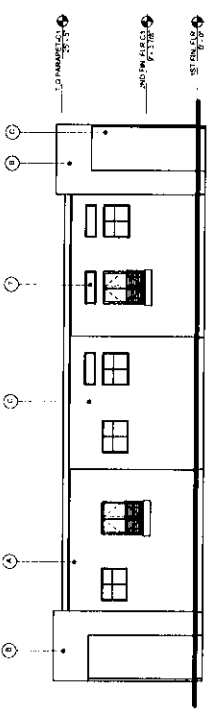
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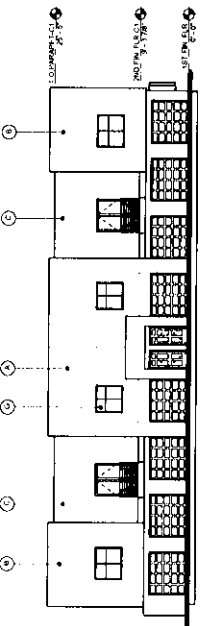
BUILDING 3 - SOUTH ELEVATION
3/32" = 1'-0"



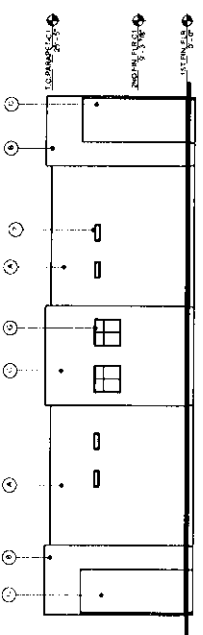
BUILDING 2 - NORTH ELEVATION
3/32" = 1'-0"



BUILDING 2 - SOUTH ELEVATION
3/32" = 1'-0"



BUILDING 3 - WEST ELEVATION
3/32" = 1'-0"



BUILDING 3 - EAST ELEVATION
3/32" = 1'-0"



BUILDING 1 - SOUTH ELEVATION
3/32" = 1'-0"

EXTERIOR FINISH SCHEDULE

A	INTERIOR WALLS: LIGHT STUCCO, LIGHT SAND FINISH
B	EXTERIOR WALLS: FINE GRANT GIBBS
C	EXTERIOR WALLS: 1 COAT STUCCO, LIGHT SAND FINISH
D	EXTERIOR WALLS: 1 COAT STUCCO, LIGHT SAND FINISH
E	EXTERIOR WALLS: 1 COAT STUCCO, LIGHT SAND FINISH
F	EXTERIOR WALLS: 1 COAT STUCCO, LIGHT SAND FINISH
G	EXTERIOR WALLS: 1 COAT STUCCO, LIGHT SAND FINISH
H	EXTERIOR WALLS: 1 COAT STUCCO, LIGHT SAND FINISH



BUILDING 1 - WEST ELEVATION
3/32" = 1'-0"

Contractor must verify all dimensions of project before proceeding with site work. This drawing is not to be used for construction without the approval of the architect. The architect is not responsible for the accuracy of the information provided on this drawing. The architect is not responsible for the accuracy of the information provided on this drawing. The architect is not responsible for the accuracy of the information provided on this drawing.



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BUILDING 1 - NORTH ELEVATION
3/32" = 1'-0"

EXTERIOR FINISH SCHEDULE

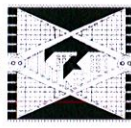
- EXTERIOR WALL FINISH - 1 COAT STUCCO, LIGHT SAND FINISH
DOWN EDWARDS - FINE GRAB ORBITO
- PAINT DOWN EDWARDS - FINE TO BLACK DETON
- EXTERIOR WALL FINISH - 1 COAT STUCCO, LIGHT SAND FINISH
DOWN EDWARDS - FINE TO BLACK DETON
- EXTERIOR WALL FINISH - 1 COAT STUCCO, LIGHT SAND FINISH
DOWN EDWARDS - FINE TO BLACK DETON
- EXTERIOR WALL FINISH - 1 COAT STUCCO, LIGHT SAND FINISH
DOWN EDWARDS - FINE TO BLACK DETON
- EXTERIOR WALL FINISH - 1 COAT STUCCO, LIGHT SAND FINISH
DOWN EDWARDS - FINE TO BLACK DETON
- EXTERIOR WALL FINISH - 1 COAT STUCCO, LIGHT SAND FINISH
DOWN EDWARDS - FINE TO BLACK DETON
- EXTERIOR WALL FINISH - 1 COAT STUCCO, LIGHT SAND FINISH
DOWN EDWARDS - FINE TO BLACK DETON



BUILDING 1 - EAST ELEVATION
3/32" = 1'-0"



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**BUILDING 1
ELEVATIONS**

EXTERIOR FINISH SCHEDULE

A	EXTERIOR WALL FINISH - 1 COAT STUCCO, LIGHT SAND FINISH
B	DOWN EDWARDS - FINE GRAIN BRICK
C	DOWN EDWARDS - FINE GRAIN BRICK
D	DOWN EDWARDS - FINE GRAIN BRICK
E	DOWN EDWARDS - FINE GRAIN BRICK
F	DOWN EDWARDS - FINE GRAIN BRICK
G	DOWN EDWARDS - FINE GRAIN BRICK
H	DOWN EDWARDS - FINE GRAIN BRICK
I	DOWN EDWARDS - FINE GRAIN BRICK
J	DOWN EDWARDS - FINE GRAIN BRICK
K	DOWN EDWARDS - FINE GRAIN BRICK
L	DOWN EDWARDS - FINE GRAIN BRICK
M	DOWN EDWARDS - FINE GRAIN BRICK
N	DOWN EDWARDS - FINE GRAIN BRICK
O	DOWN EDWARDS - FINE GRAIN BRICK
P	DOWN EDWARDS - FINE GRAIN BRICK
Q	DOWN EDWARDS - FINE GRAIN BRICK
R	DOWN EDWARDS - FINE GRAIN BRICK
S	DOWN EDWARDS - FINE GRAIN BRICK
T	DOWN EDWARDS - FINE GRAIN BRICK
U	DOWN EDWARDS - FINE GRAIN BRICK
V	DOWN EDWARDS - FINE GRAIN BRICK
W	DOWN EDWARDS - FINE GRAIN BRICK
X	DOWN EDWARDS - FINE GRAIN BRICK
Y	DOWN EDWARDS - FINE GRAIN BRICK
Z	DOWN EDWARDS - FINE GRAIN BRICK



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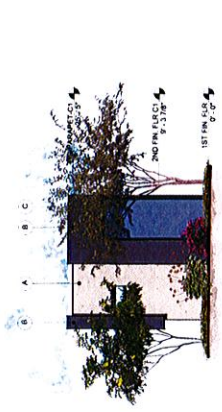


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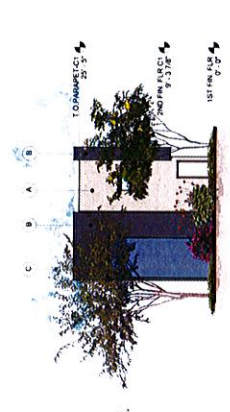
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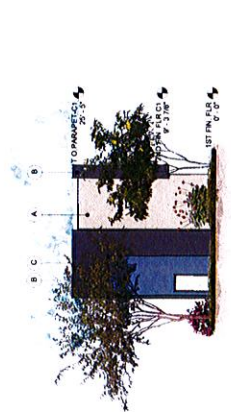
**BUILDING 2 & 3
ELEVATIONS**



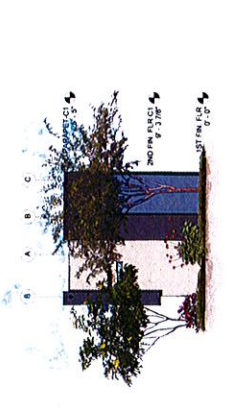
BUILDING 2 - EAST ELEVATION
3/32" = 1'-0"



BUILDING 2 - WEST ELEVATION
3/32" = 1'-0"



BUILDING 3 - NORTH ELEVATION
3/32" = 1'-0"



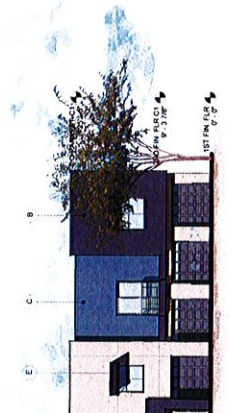
BUILDING 3 - SOUTH ELEVATION
3/32" = 1'-0"



BUILDING 2 - NORTH ELEVATION
3/32" = 1'-0"



BUILDING 2 - SOUTH ELEVATION
3/32" = 1'-0"



BUILDING 3 - WEST ELEVATION
3/32" = 1'-0"



BUILDING 3 - EAST ELEVATION
3/32" = 1'-0"

SITE PLAN CHECKLIST

Project #: _____ Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

Malayta 9-6-18
Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

- ✓1. Date of drawing and/or last revision
- ✓2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- ~~NA~~ 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- ~~NA~~ G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- ~~NA~~ I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - 3. On street parking spaces
- B. Bicycle parking & facilities
 - 1. Bicycle racks – location and detail
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - ~~NA~~ 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.
- ~~NA~~ E. Off-Street Loading
 - ~~NA~~. Location and dimensions of all off-street loading areas
- ~~NA~~ F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
 - ~~NA~~ 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - ~~NA~~ 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - ~~NA~~ 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - ~~NA~~ 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
 - 6. Location of street lights
 - 7. Show and dimension clear sight triangle at each site access point
 - 8. Show location of all existing driveways fronting and near the subject site.
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - 2. Pedestrian trails and linkages
 - 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- ~~NA~~ A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- NA 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- NA 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- NA 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- NA 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO

ZONING: R-1B

LEGEND

- DENOTES PROPERTY LINE
--- DENOTES PROPERTY LINE
NO. OF PARKING SPACES
NO. OF COVERED SPACES
DENOTES ACCESSIBLE PARKING AND ANSI TYPE 'A' DWELLING UNIT SEE A1.12
BUILDING NUMBER
BT1 BUILDING TYPE
NEW FIRE HYDRANT
TRANSFORMER LOCATION SEE ELECT.
PARKING LOT POLE LIGHTS, SEE ELECT.
BOLLARD LIGHT, SEE ELECT.
STREET LIGHT SEE CIVIL PLANS

DEVELOPMENT DATA :

Table with 2 columns: Category and Value. Includes SITE AREA, ZONING, LAND USE, SETBACKS, BUILDING HEIGHT, LOT COVERAGE, FLOOR AREA RATIO, UNIT MIX, PARKING REQUIREMENTS, and MOTORCYCLE PARKING.

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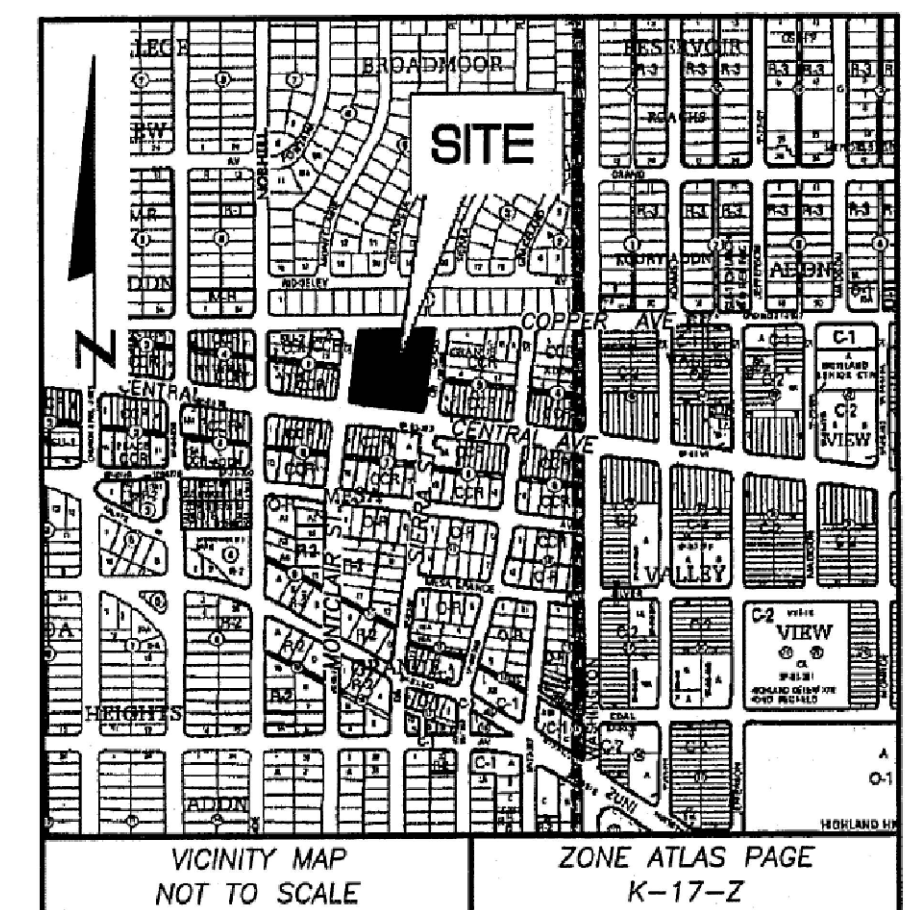
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REVISION SCHEDULE

KEYNOTES

- 1. NEW 8'-6"x16'-0" PARKING SPACE WITH 2' OVERHANG, TYPICAL - SEE DETAIL 6/A1.20.
2. NEW REFUSE ENCLOSURE WITH 6" MASONRY WALL WITH STUCCO FINISH, BOTH SIDES, PAINTED TO MATCH BUILDINGS - SEE DETAIL XX/A1.22.
3. NEW TRASH COMPACTOR - SEE DETAIL XX/A1.22.
4. NEW 8'-6"x16" ACCESSIBLE PARKING SPACE WITH 5' ACCESS AISLE AND 2' OVERHANG - SEE DETAIL 1/A1.20.
5. INDICATES REQUIRED FIRE TRUCK TURNING RADIUS.
6. NEW 4'-0" SIDEWALK, TYPICAL AT SITE INTERIOR.
7. NEW 6'-0" SIDEWALK, TYPICAL AT PARKING.
8. NEW PEDESTRIAN CROSSING - SEE CIVIL.
9. NEW 8'-0" WIDE PEDESTRIAN GATE - SEE DETAIL 16/A1.21.
10. NEW ELECTRONIC VEHICULAR ROLLING GATE FOR RESIDENT ACCESS ONLY. GATE TO BE EQUIPPED WITH FIRE DEPARTMENT LOCK BOX - SEE DETAIL 21/A1.21.
11. NEW 6'-0" WROUGHT IRON VIEW FENCE - SEE DETAIL 16/A1.21.
12. NEW DEDICATED ON-STREET LEASING OFFICE PARKING SPACES - SEE CIVIL.
13. NEW ON-STREET PARALLEL PARKING SPACE 22'-0" LENGTH X 8'-0" WIDTH - SEE CIVIL.
14. NEW STREET LIGHTPOLE - SEE CIVIL.
15. NEW 11'-0" SIDEWALK - SEE CIVIL.
16. NEW 5'-0" X 5'-0" TREE WELL - SEE LANDSCAPING.
17. NEW 8'-0" SIDEWALK - SEE CIVIL.
18. EXISTING CURB AND GUTTER TO REMAIN - SEE CIVIL.
19. NEW 6'-0" SIDEWALK - SEE CIVIL.
20. NEW 6'-0" HIGH CMU & WROUGHT IRON PARTIAL VIEW FENCE - SEE DETAIL 20/A1.21.
21. NEW POOL EQUIPMENT ROOM - SEE A6.30.
22. NEW POOL AREA UNISEX TOILET ROOM SEE A6.30.
23. NEW GAS FIRE PIT - SEE LANDSCAPING.
24. NEW SPA/HOT TUB BY SEPARATE PERMIT - SEE LANDSCAPING.
25. NEW PRE-ENGINEERED CARPORT AWNING UNDER SEPARATE PERMIT - SEE 7/A1.20.
26. NEW ACCESSIBLE PRIVATE GARAGE - SEE A6.10.
27. NEW ACCESSIBLE RAMP - SEE 13/A1.20.
28. NEW BICYCLE PARKING RACK - SEE 9/A1.20.
29. NEW CONCRETE SITE STAIR - SEE 14/A1.20.
30. NEW WALL MOUNTED NEON SIGN - SEE ELEVATION FOR LOCATIONS. SEPARATE SIGN PERMIT SUBMITTAL REQUIRED.
31. NEW ELECTRIC TRANSFORMER - SEE ELECTRICAL.
32. NEW SERVICE ENTRANCE AND METER LOCATION - SEE ELECTRICAL.
33. NEW 11' X 11' SIGHT VISIBILITY TRIANGLE AT DRIVEWAY.
34. NEW TURF AREA - SEE LANDSCAPE.
35. NEW BUILT-IN BBQ - SEE LANDSCAPE.
36. EXISTING FIRE HYDRANT - SEE CIVIL.
37. NEW GATE OPERATOR CONTROL BOX - SEE ELECTRICAL.
38. NEW C.M.U. PLANTER WALL - SEE LANDSCAPE.
39. NEW P.U.E. - SEE CIVIL.
40. SALT FINISH COLOR INTEGRAL CONCRETE - SEE CIVIL.
41. A.D.A. CURB RAMP - SEE DETAIL 2/A1.20.

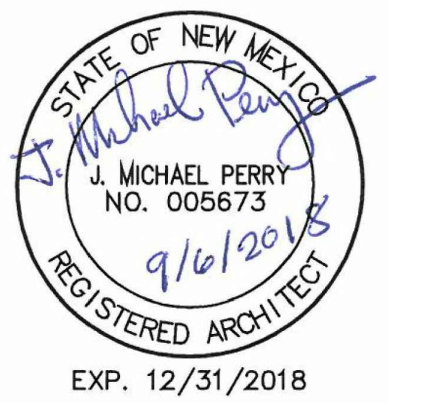


PROJECT NUMBER:
Application Number:

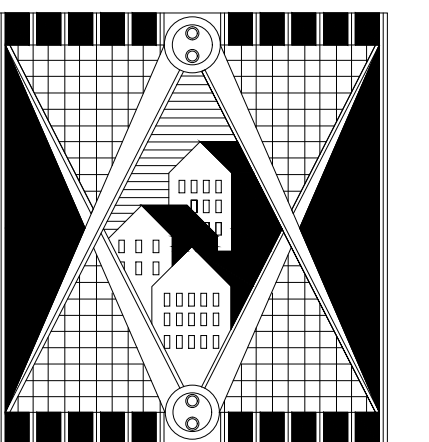
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated and the Findings and Conditions in the Official Notification of Decision are satisfied.
Is an infrastructure list required? () Yes () no if yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Table for sign-off approval with columns: Department, Date, and Signature. Includes Traffic Engineering, ABCWUA, Parks and Recreation, City Engineer, Code Enforcement, Environmental Health, Solid Waste Management, and DRB Chairperson.



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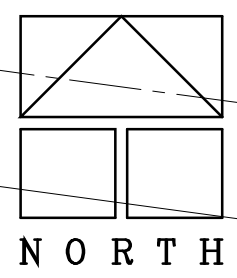
6 Sep 2018

DRB SITE PLAN

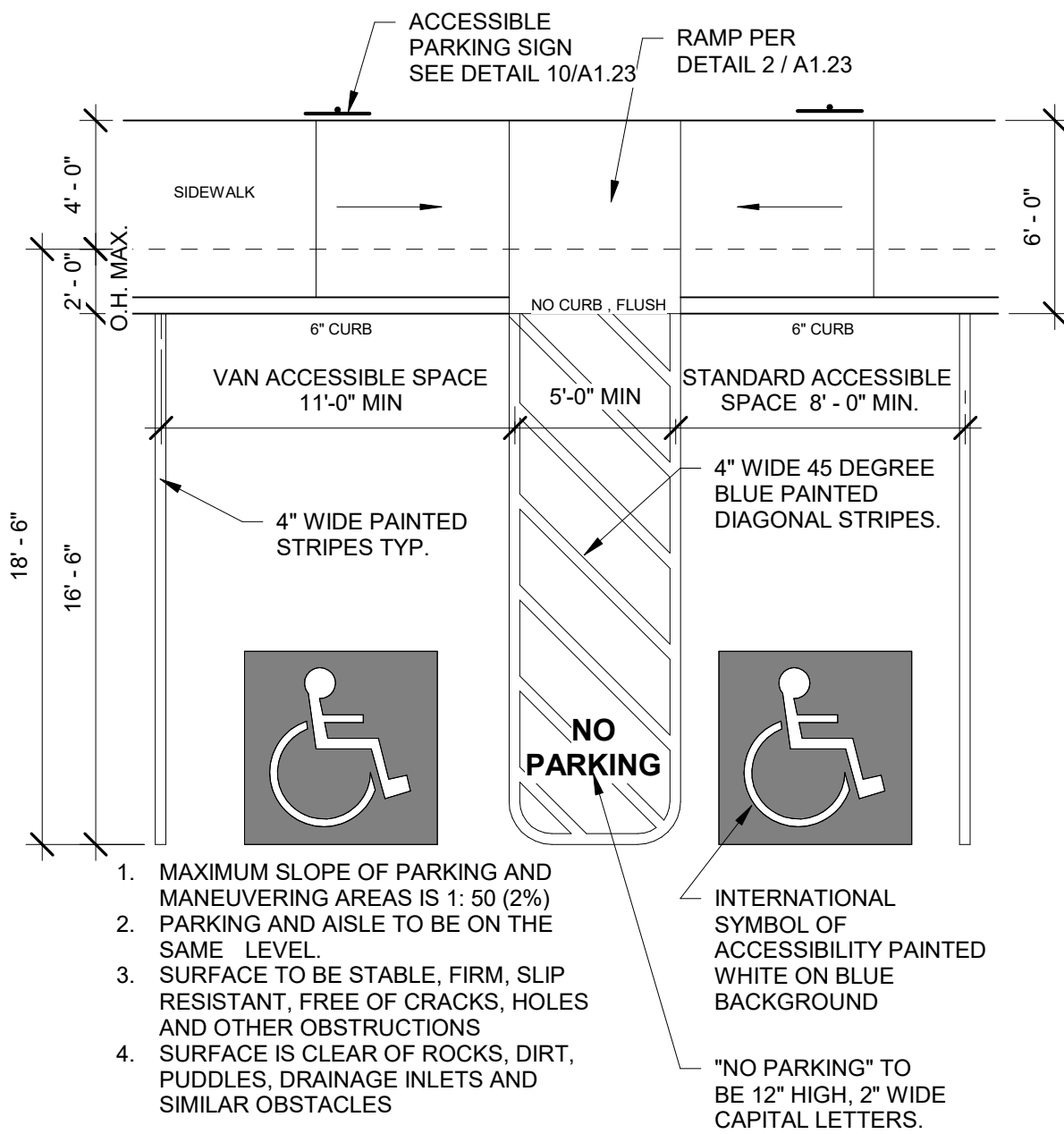
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PRELIMINARY SITE PLAN

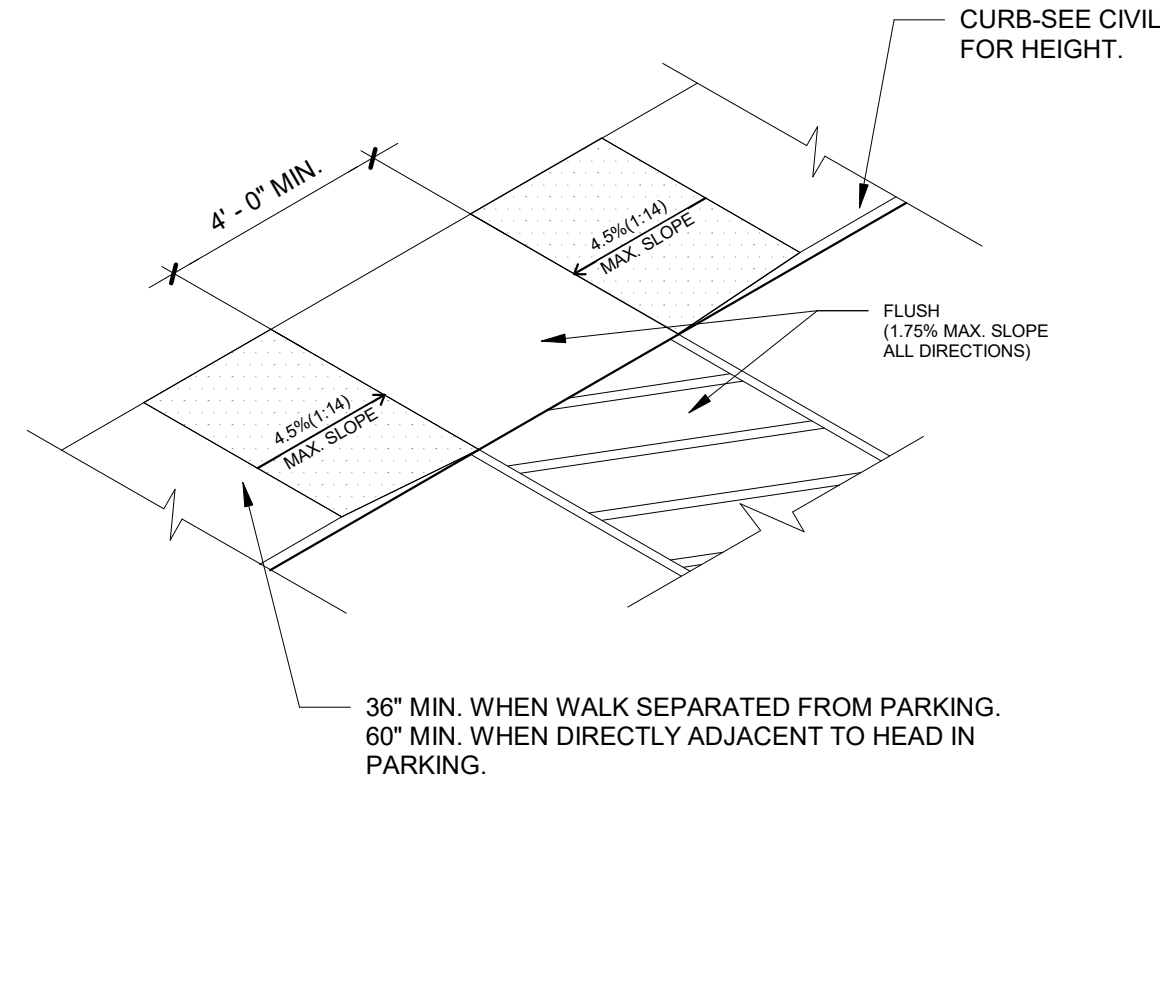
SCALE: 1" = 20'-0"
ZONING: MXM



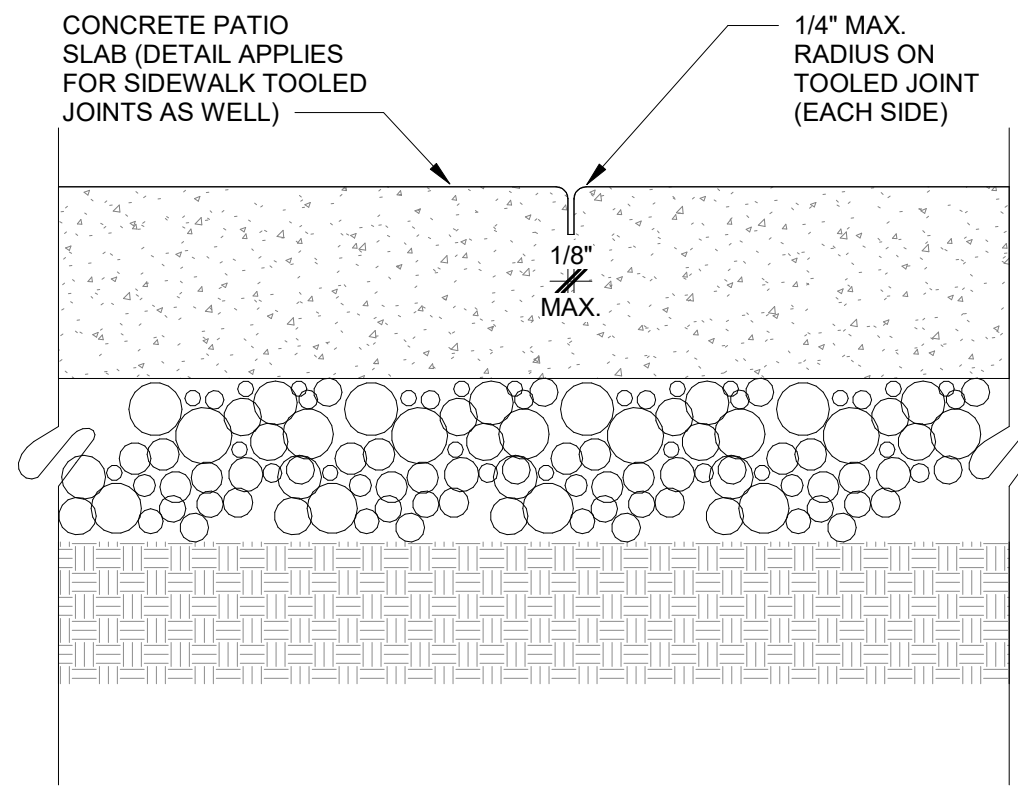
NORTH



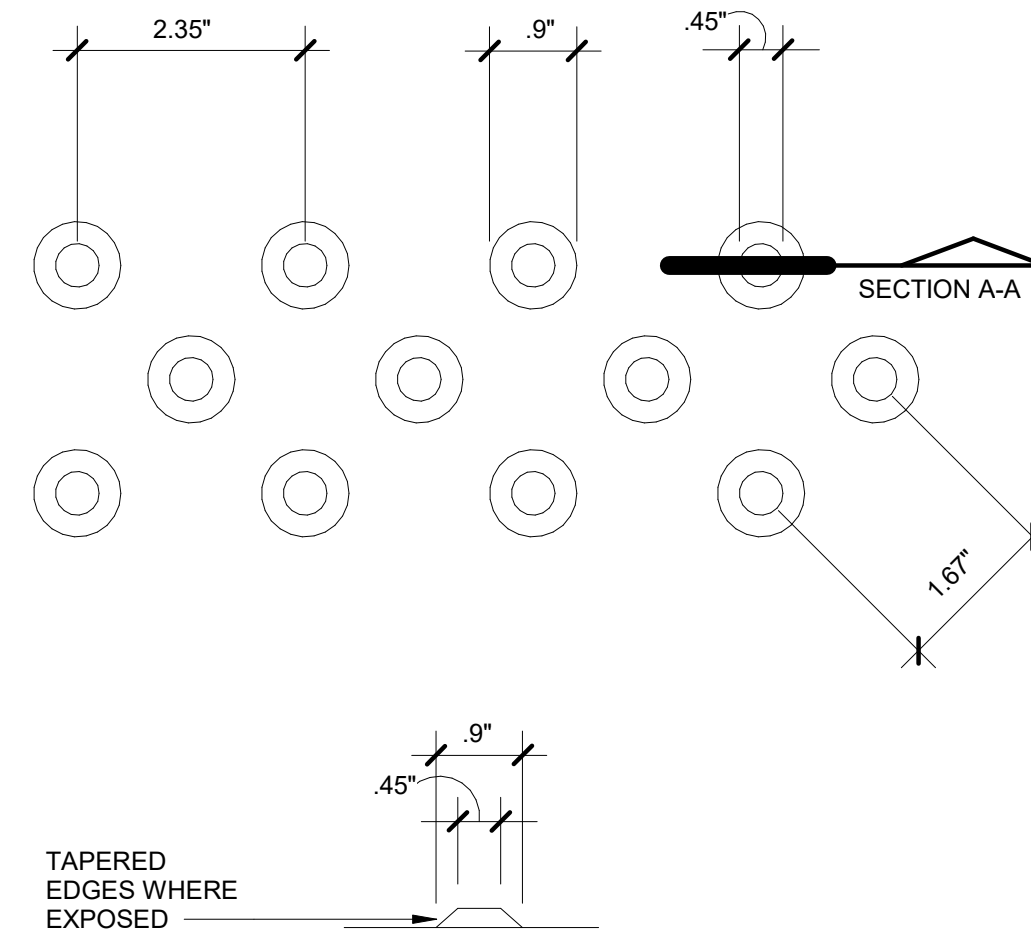
1 ACCESSIBLE PARKING STALL
CITY OF SANTA FE SCALE: 3/16" = 1'-0"



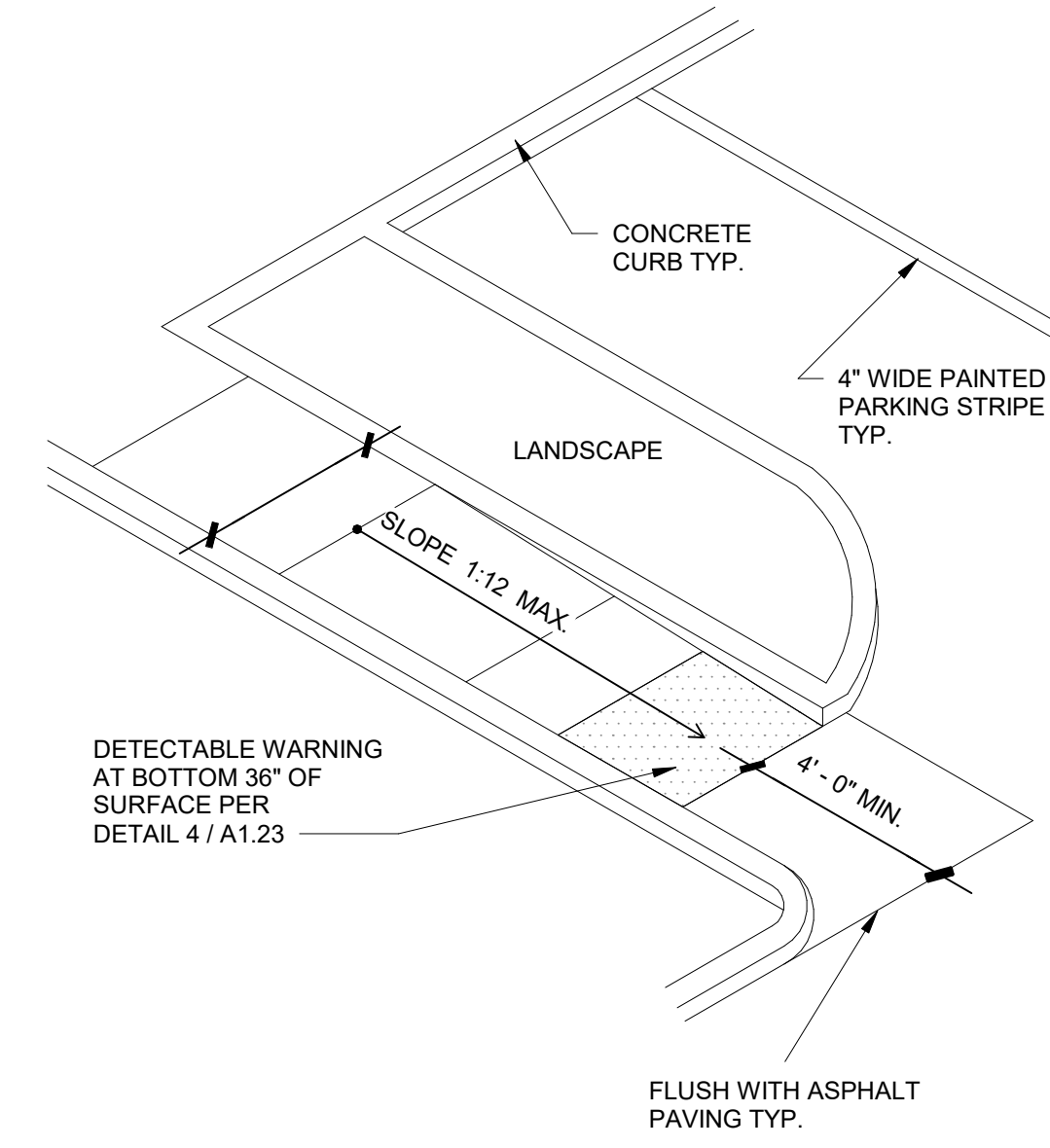
2 CURB RAMP DETAIL SCALE: 12" = 1'-0"



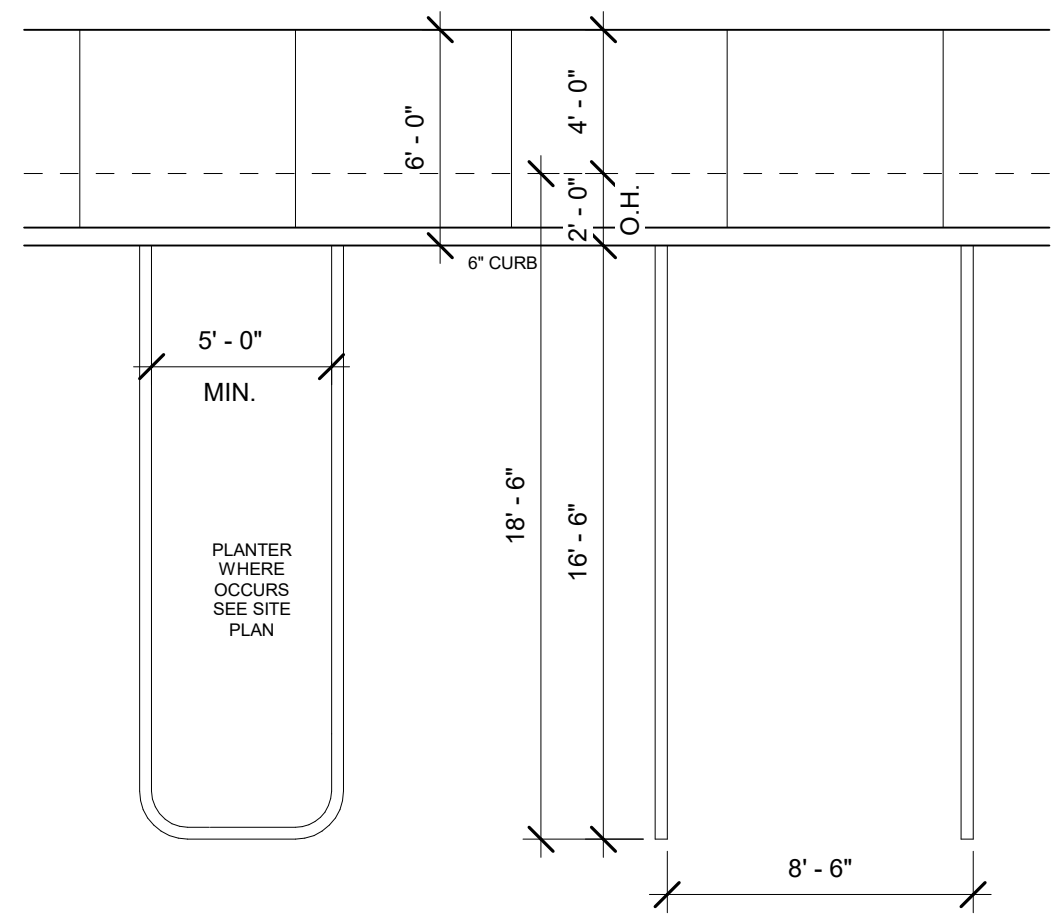
3 TOOLED JOINT @ PATIOS SCALE: 3" = 1'-0"



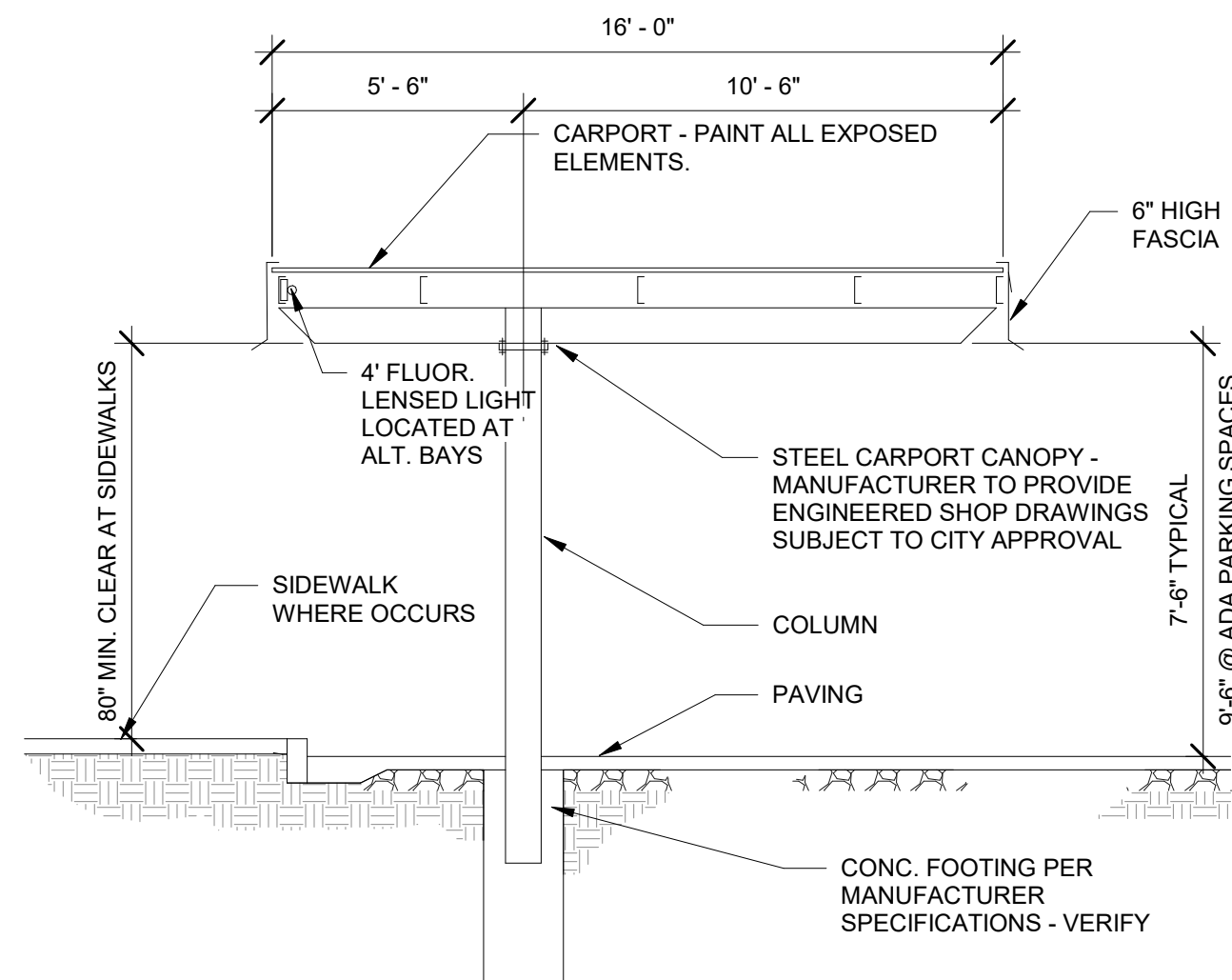
4 TRUNCATED DOMES SCALE: 6" = 1'-0"



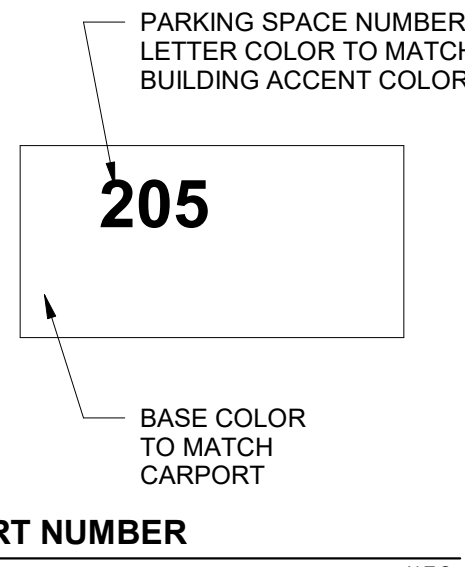
5 TYP. SW RAMP AT PARKING SCALE: 1/4" = 1'-0"



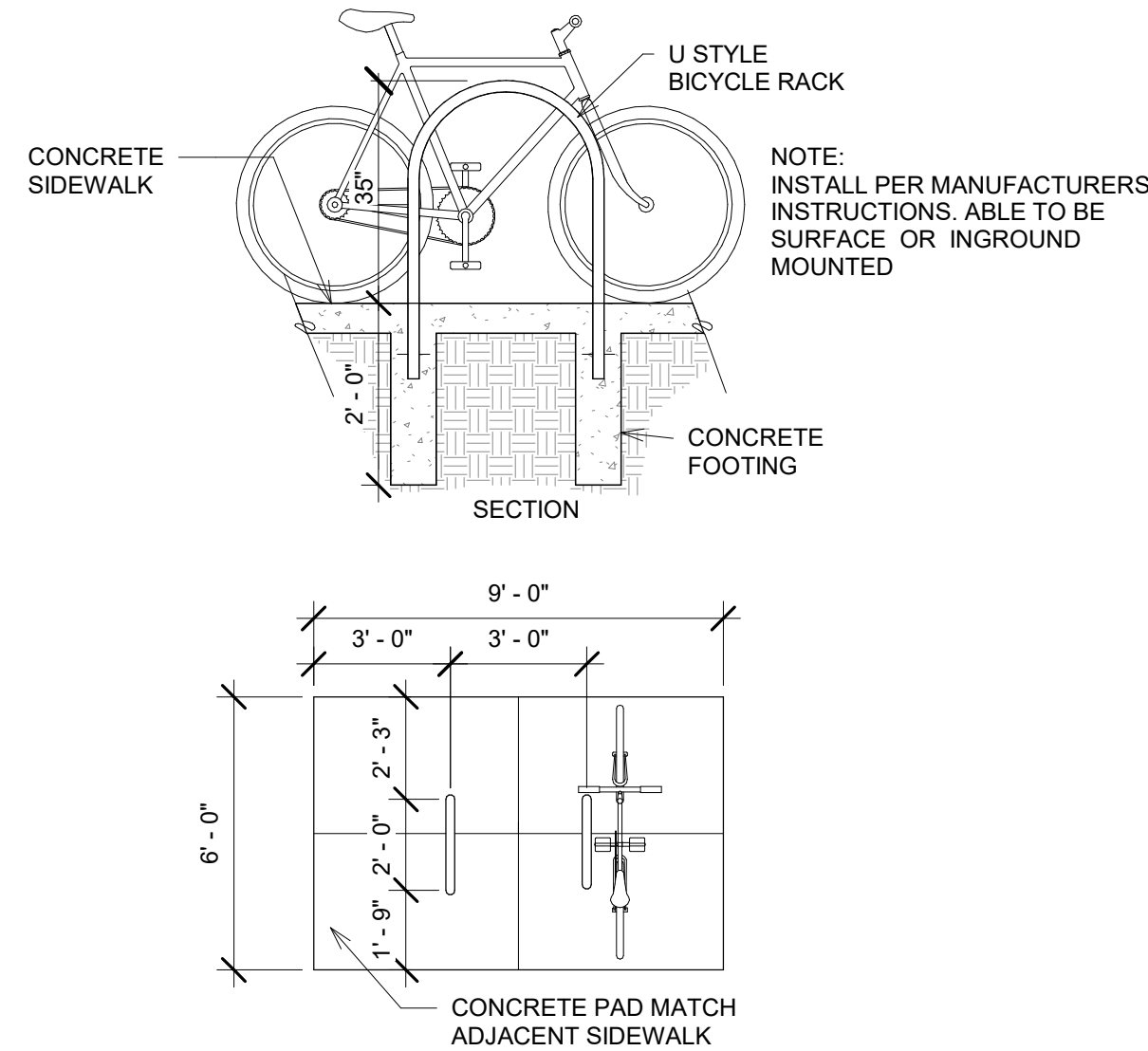
6 STANDARD PARKING STALL SCALE: 3/16" = 1'-0"



7 SECTION THRU CARPORT SCALE: 1/4" = 1'-0"

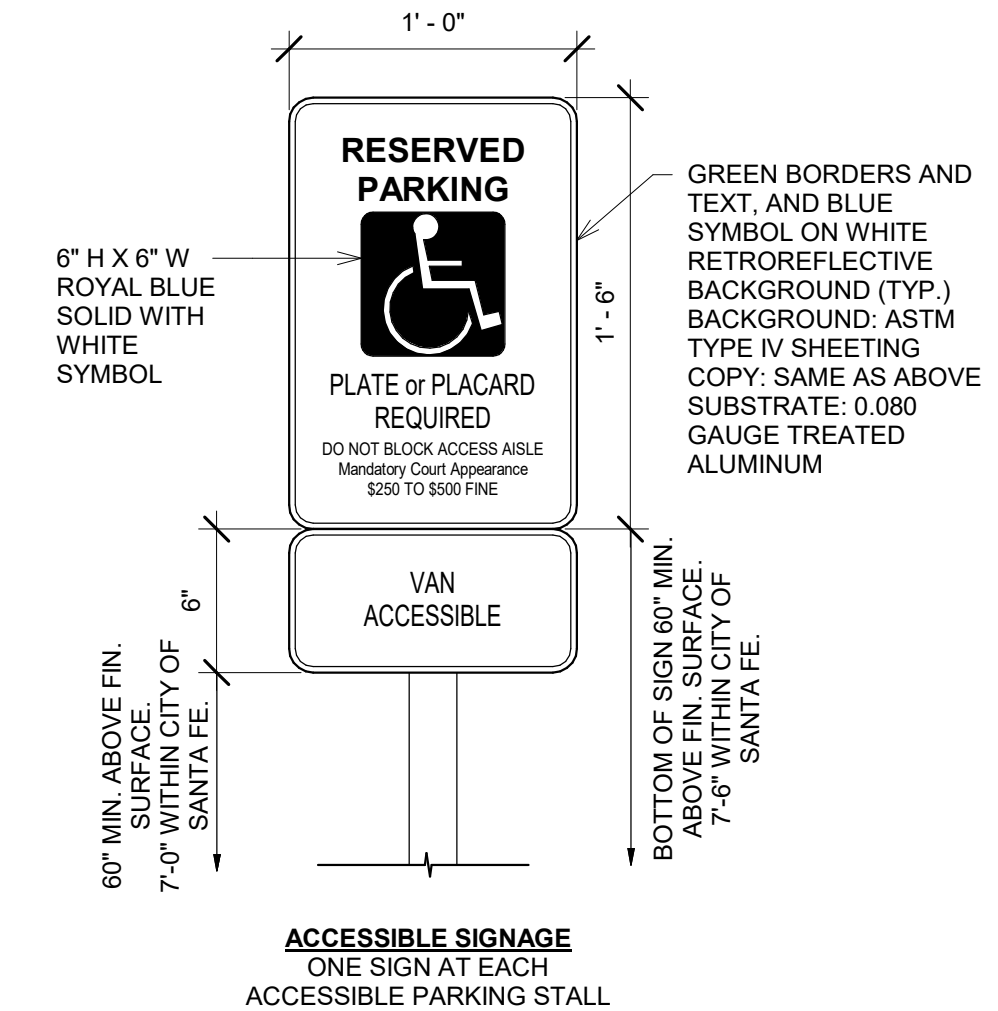


CARPOT NUMBER
NOTE: NUMBERING SEQUENCE ACCORDING TO OWNER'S REQUIREMENTS N.T.S.

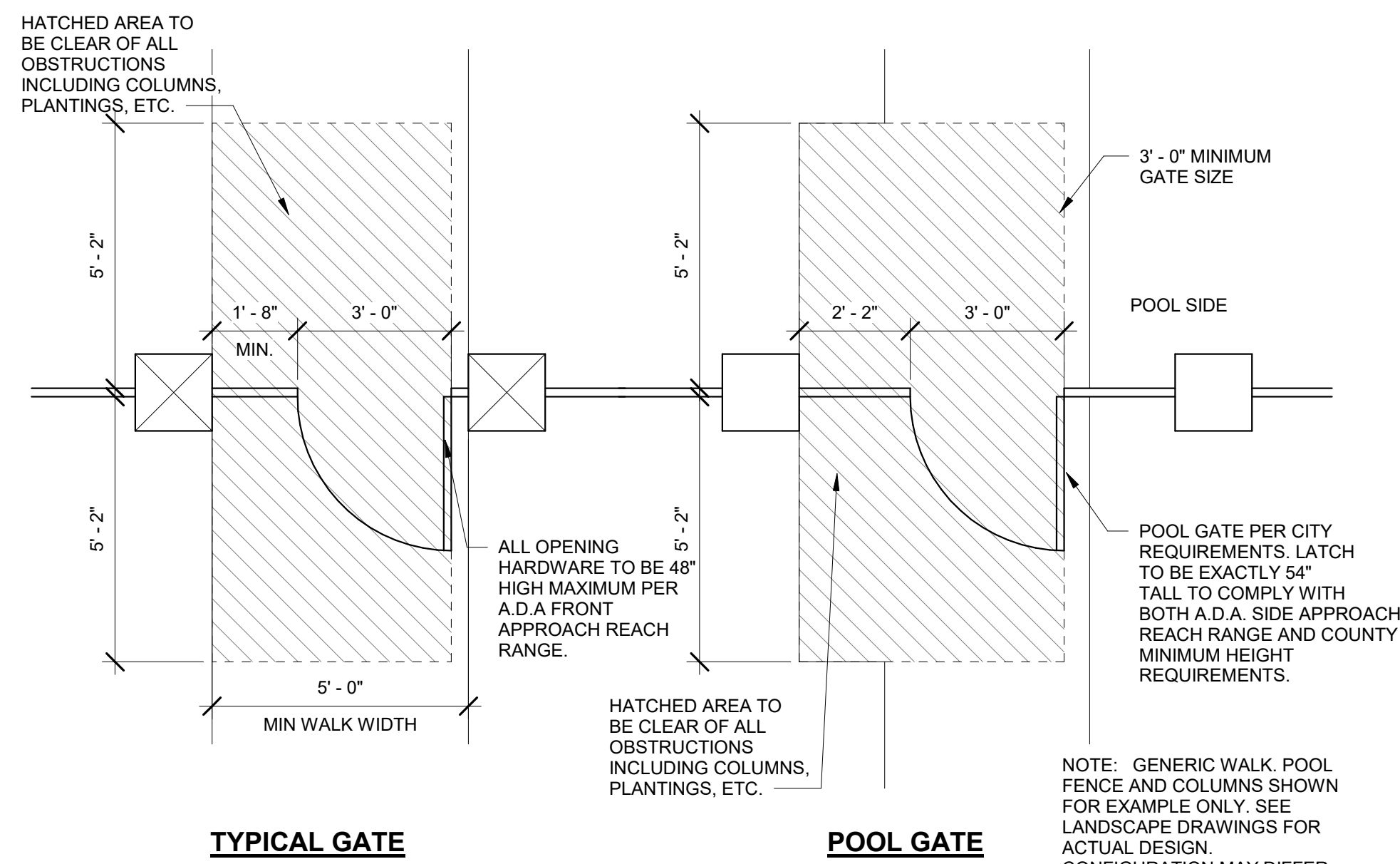


9 U STYLE BIKE RACK - 4 BIKES SCALE: 1/4" = 1'-0"

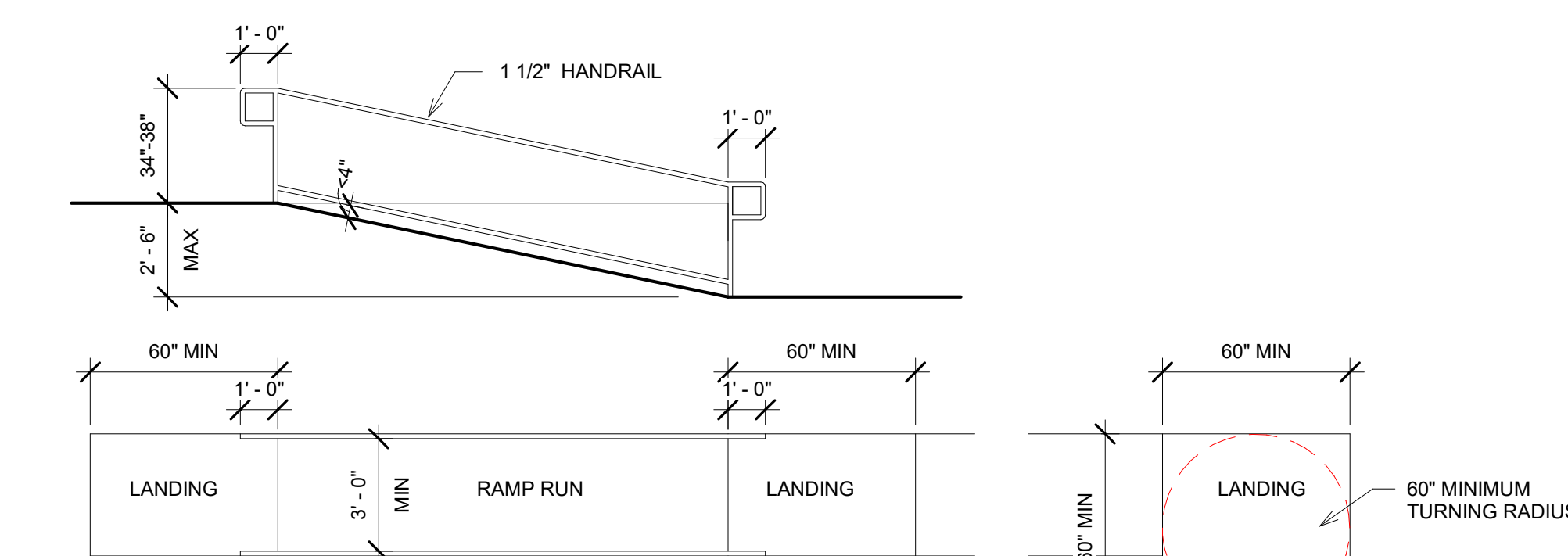
NOTE: CHARACTERS AND THEIR BACKGROUND SHALL HAVE NON-GLARE FINISH.



10 ACCESSIBLE PARKING SIGN CITY OF SANTA FE SCALE: 1 1/2" = 1'-0"



11 TYP. MIN. CLEARANCES AT PEDESTRIAN GATES SCALE: 3/8" = 1'-0"



- RAMP NOTES:**
- RAMP RUNS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:12
 - CROSS SLOPE OF RAMP RUNS SHALL NOT BE STEEPER THAN 1:48
 - CHANGES IN LEVEL OTHER THAN THE RUNNING SLOPE AND CROSS SLOPE ARE NOT PERMITTED ON RAMP RUNS
 - THE CLEAR WIDTH OF A RAMP RUN AND, WHERE HANDRAILS ARE PROVIDED THE CLEAR WIDTH BETWEEN HANDRAILS SHALL BE 36" MIN.
 - THE RISE FOR ANY RAMP RUN SHALL BE 30 INCHES MAXIMUM.
 - RAMP SHALL HAVE LANDINGS AT THE TOP AND THE BOTTOM OF EACH RAMP RUN.
 - RAMP WIDTHS SHALL BE AT LEAST AS WIDE AS THE WIDEST RAMP RUN LEADING TO THE LANDINGS AND SHALL BE 60 INCHES LONG MINIMUM.
 - HANDRAILS REQUIRED ON ALL RAMP/INCLINES GREATER THAN 5%.

13 ADA SITE RAMP SCALE: 1/4" = 1'-0"

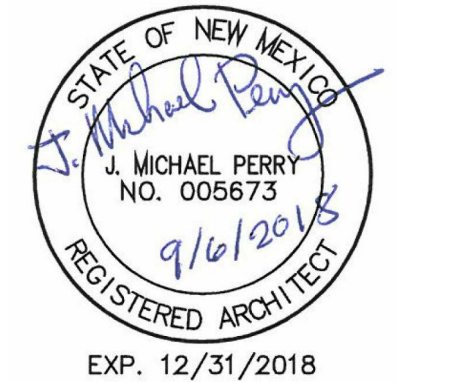
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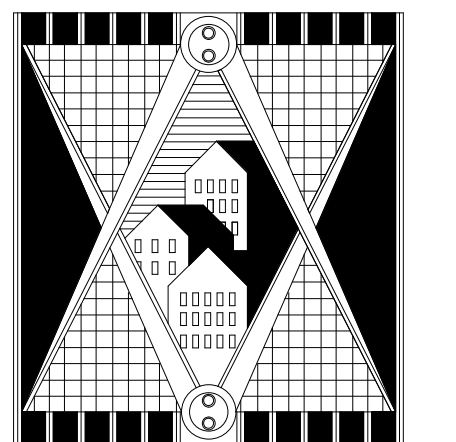


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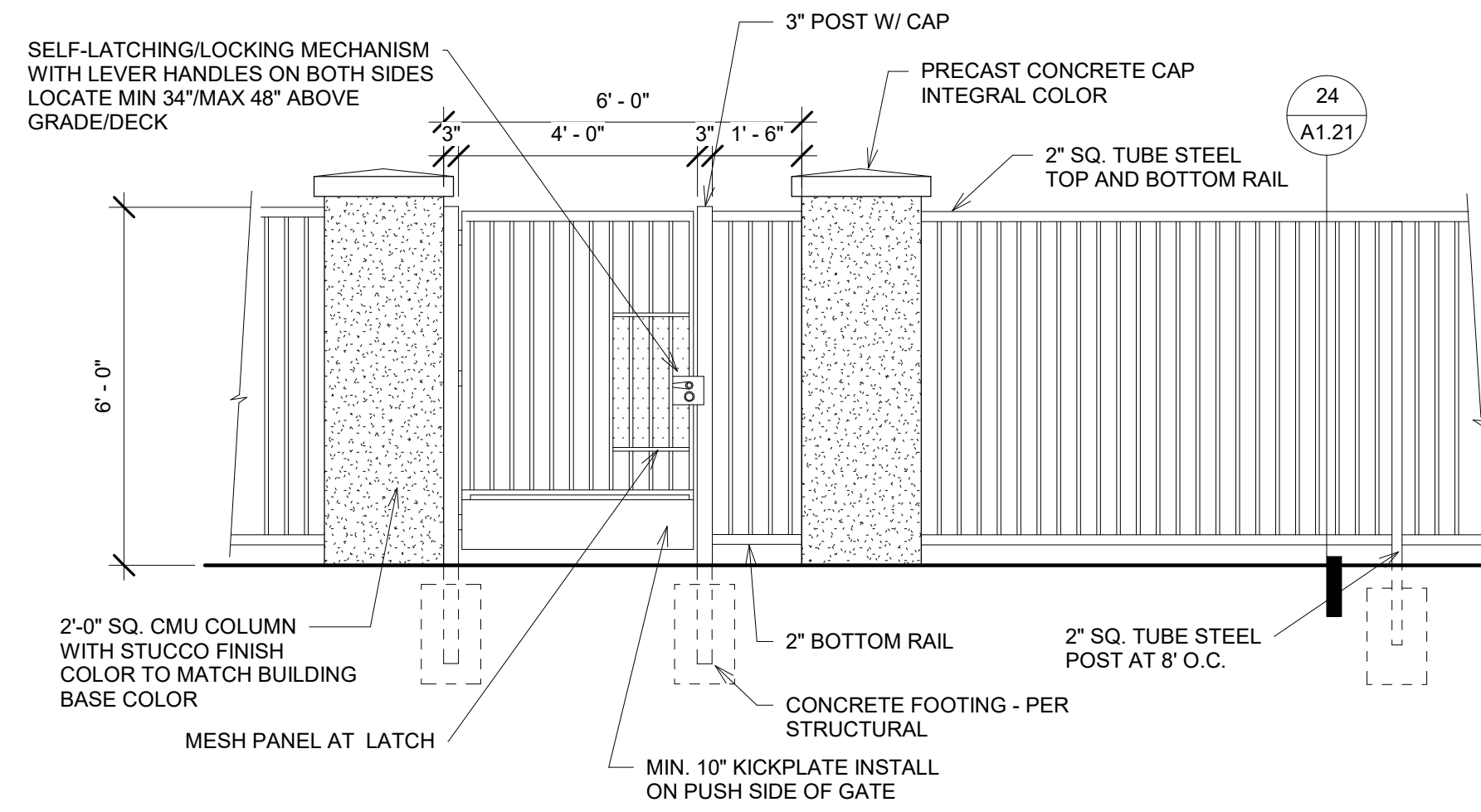
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SITE DETAILS

NOTE:
GATE TO BE SELF-CLOSING.
POSITIVE SELF-LATCHING WITH
AN ELECTRIC STRIKE

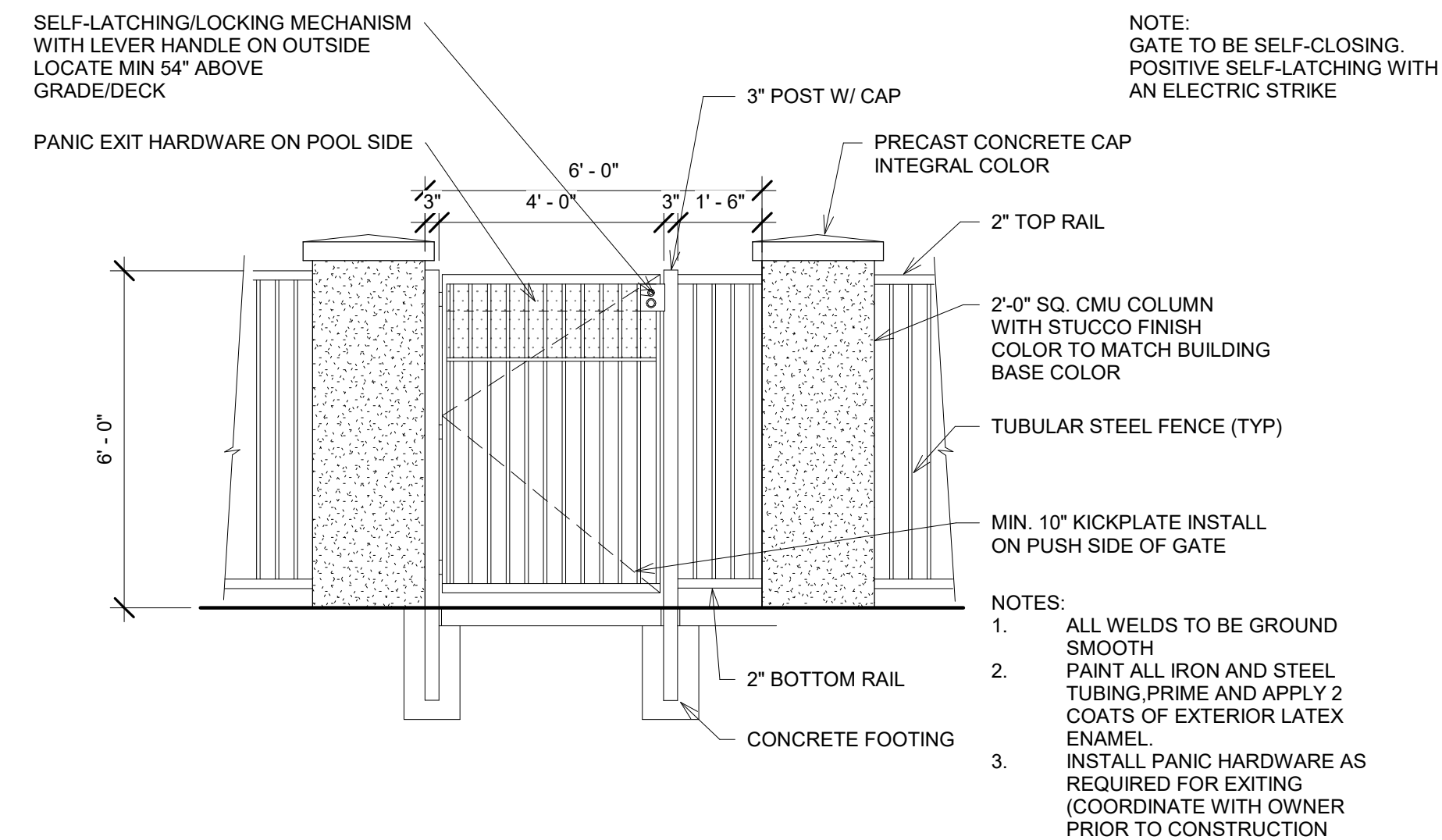
- NOTES:
1. ALL WELDS TO BE GROUND SMOOTH
PAINT ALL IRON AND STEEL TUBING,
PRIME AND APPLY 2 COATS OF EXTERIOR
LATEX ENAMEL.
 2. INSTALL PANIC HARDWARE AS REQUIRED
FOR EXITING (COORDINATE WITH OWNER
PRIOR TO CONSTRUCTION)



16 VIEW FENCE AND GATE

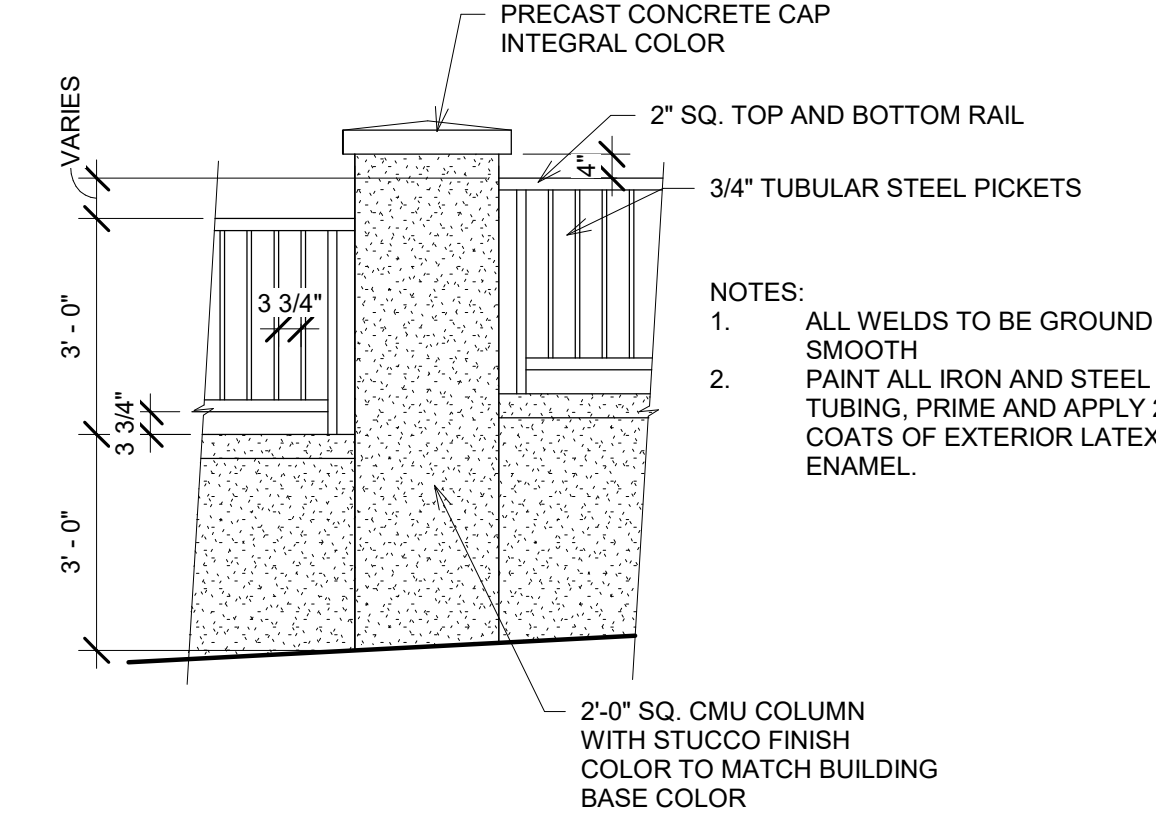
SCALE: 3/8" = 1'-0"

NOTE:
GATE TO BE SELF-CLOSING.
POSITIVE SELF-LATCHING WITH
AN ELECTRIC STRIKE



18 POOL FENCE & GATE

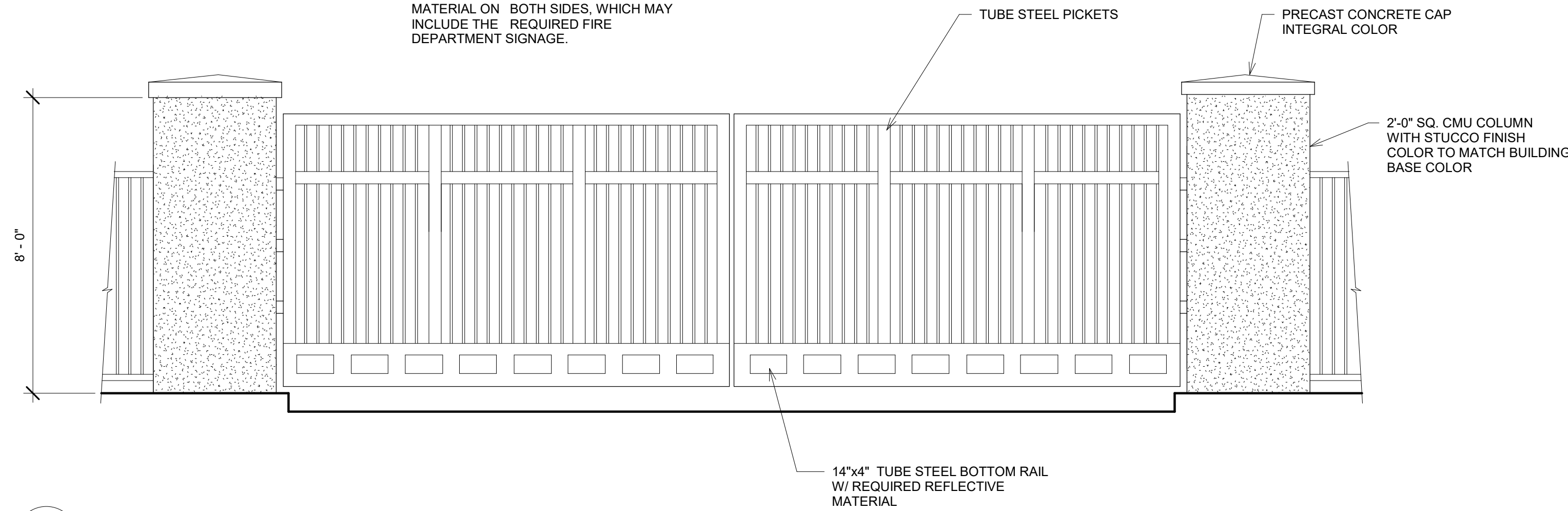
SCALE: 3/8" = 1'-0"



20 PARTIAL VIEW FENCE @ COLUMN

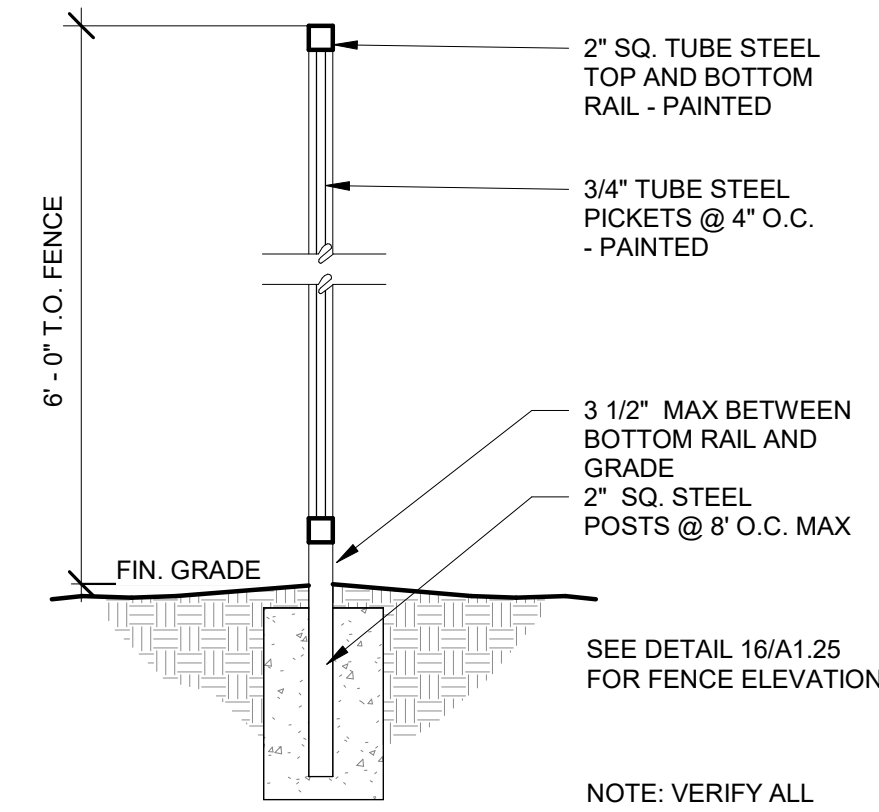
SCALE: 3/8" = 1'-0"

- NOTES:
1. ALL WELDS TO BE GROUND SMOOTH.
PAINT ALL IRON AND STEEL TUBING PRIME
AND APPLY 2 COATS OF EXTERIOR ENAMEL.
 2. VEHICULAR GATES SHALL CONTAIN A
MINIMUM OF 8 SQ. FT. OF REFLECTIVE
MATERIAL ON BOTH SIDES, WHICH MAY
INCLUDE THE REQUIRED FIRE
DEPARTMENT SIGNAGE.



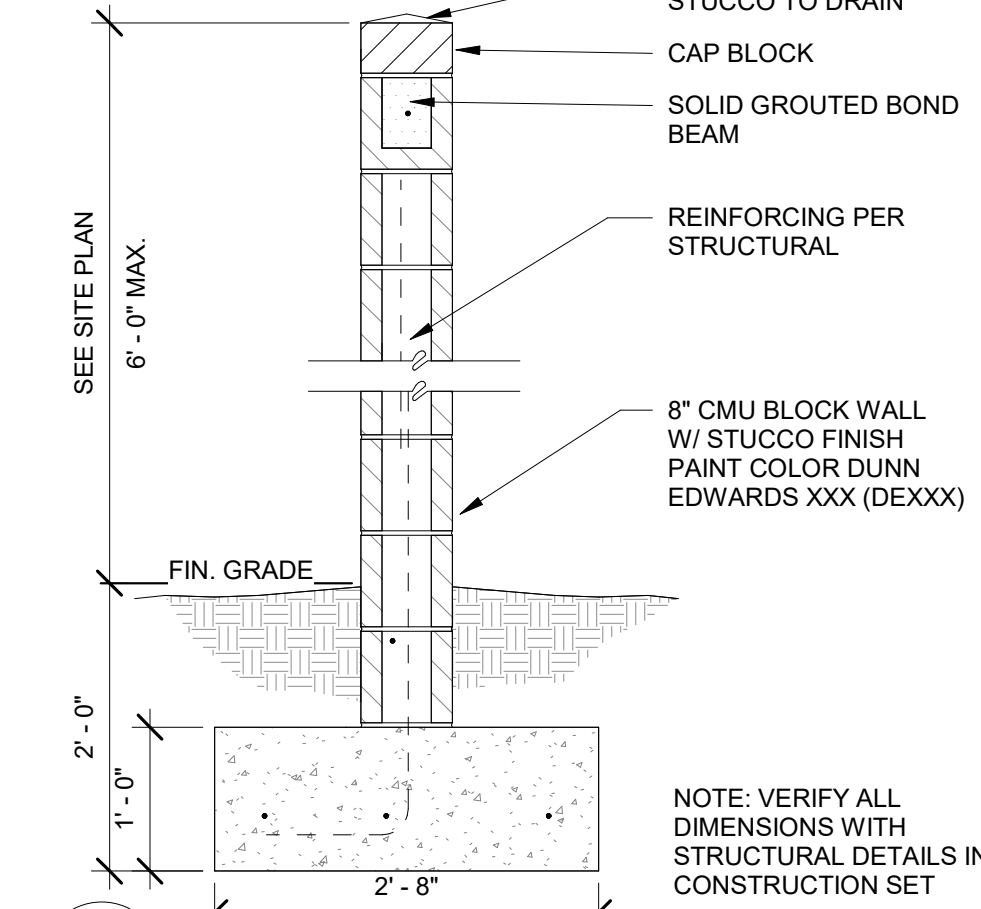
21 VEHICULAR ENTRY GATES

SCALE: 3/8" = 1'-0"



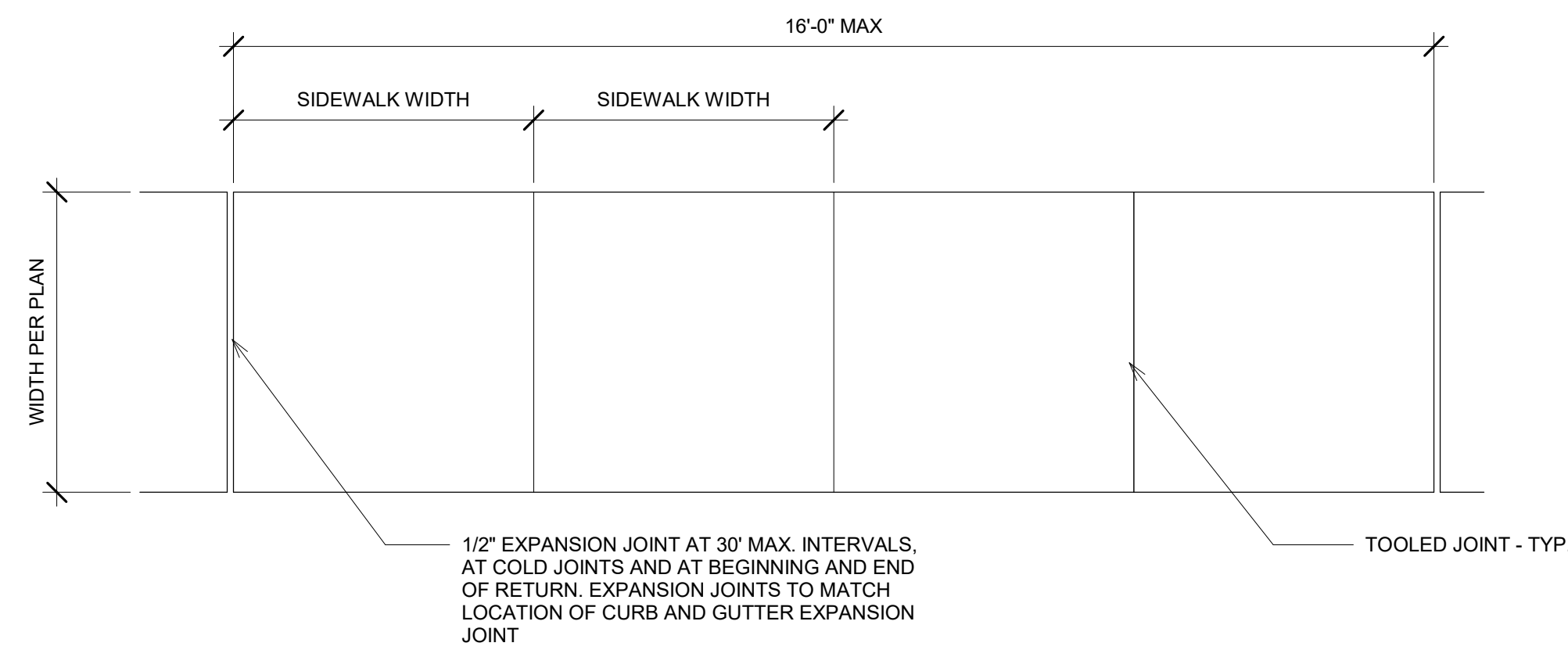
24 PERIMETER VIEW FENCE

SCALE: 3/4" = 1'-0"



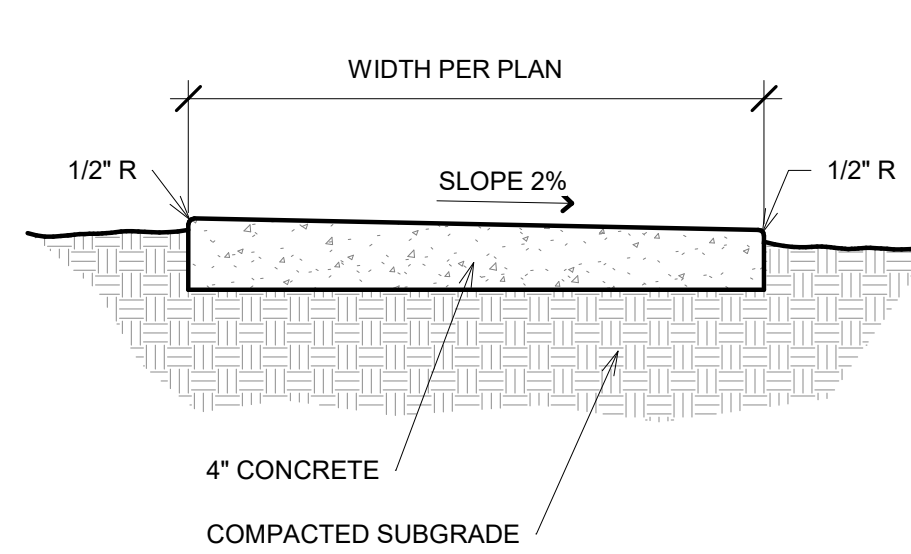
25 TRASH ENCLOSURE FENCE

SCALE: 3/4" = 1'-0"



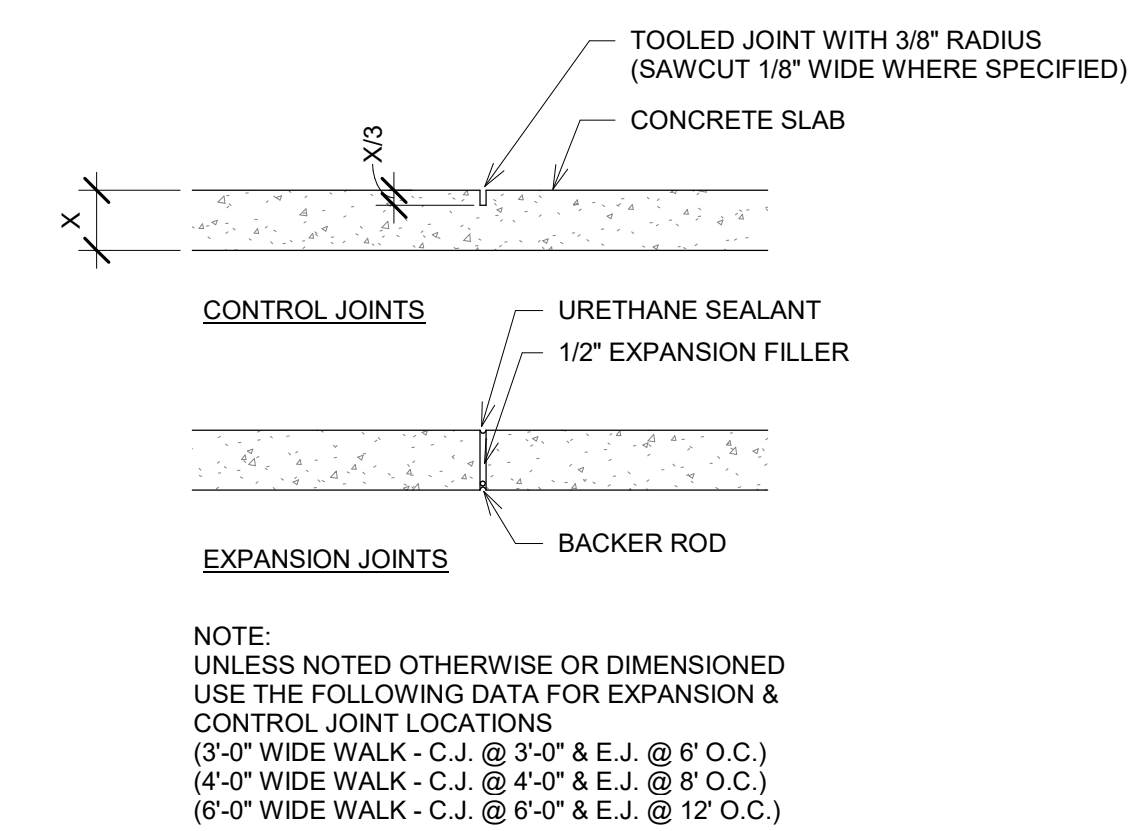
26 CONCRETE SIDEWALK PLAN

SCALE: 1/2" = 1'-0"



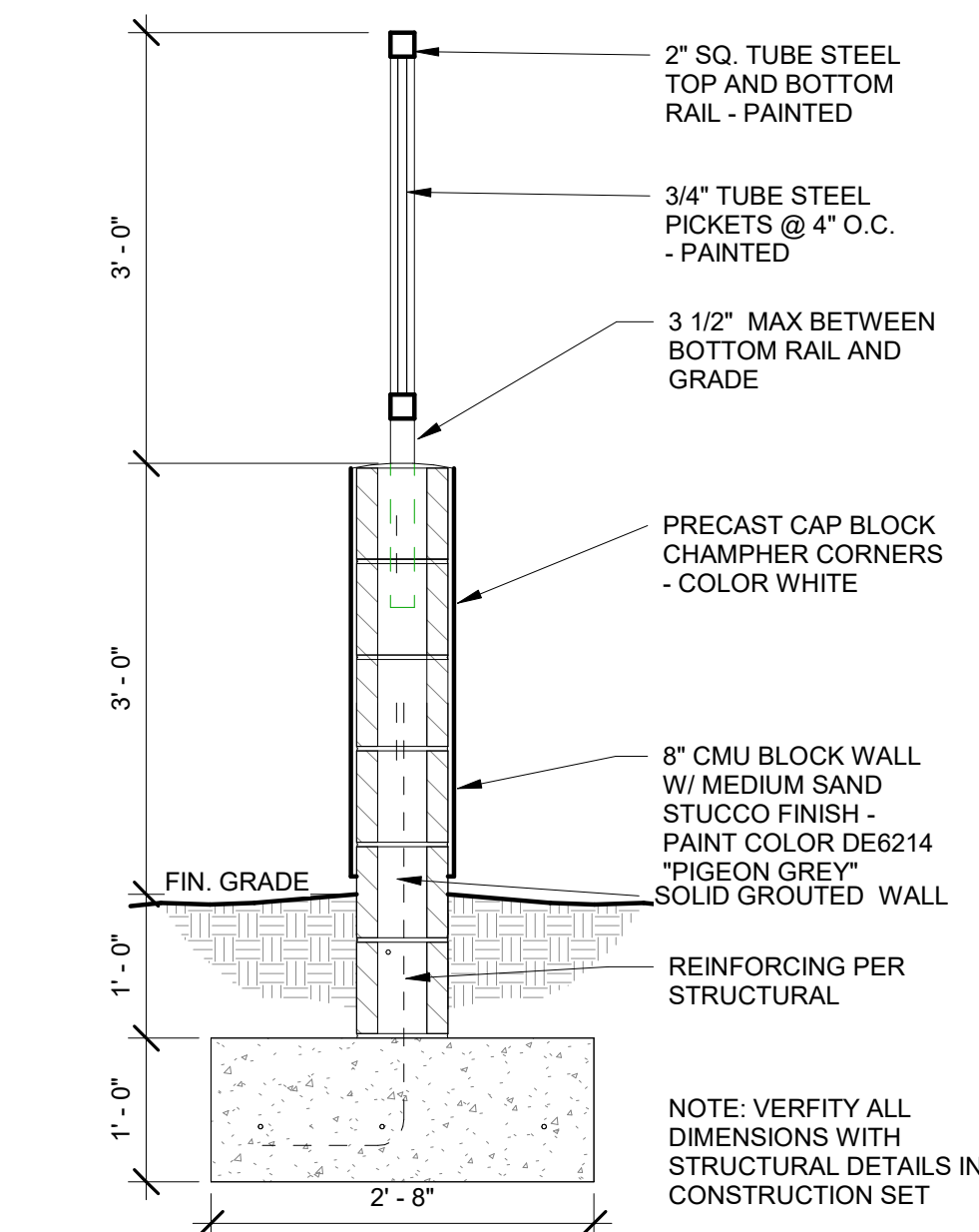
28 CONCRETE SIDEWALK SECTION

SCALE: 3/4" = 1'-0"



29 CONSTRUCTION JOINTS

SCALE: 3/4" = 1'-0"



30 PERIMETER PARTIAL VIEW FENCE

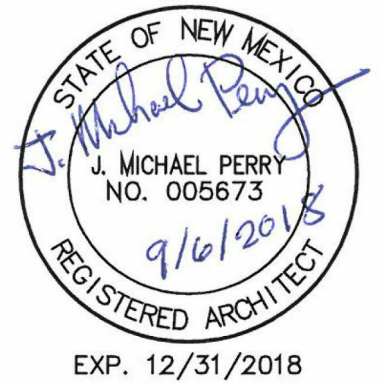
SCALE: 3/4" = 1'-0"

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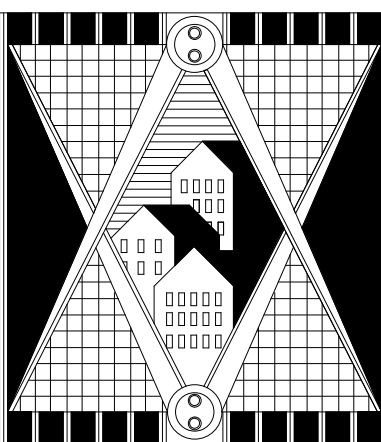
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SITE DETAILS

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SITE DATA

GROSS LOT AREA (2.1 ac)	93,220 SF
LESS BUILDING(S)	30,868 SF
NET LOT AREA	62,352 SF
REQUIRED LANDSCAPE	9,353 SF
PROPOSED LANDSCAPE	20,720 SF
PERCENT OF NET LOT AREA	33 %
HIGH WATER USE TURF	4,144 SF
MAX. 20% OF LANDSCAPE AREA	925 SF
PROPOSED HIGH WATER USE TURF	925 SF
PERCENT OF LANDSCAPE AREA	5 %

REQUIRED STREET TREES	39
1 PER 30 L.F. OF STREET FRONTAGE	39
PROVIDED STREET TREES	39
REQUIRED PARKING LOT TREES	10
1 PER 10 SPACES	10
109 SPACES/10	10
PROVIDED PARKING LOT TREES	10

REQUIRED DWELLING UNIT TREES	28
ONE PER FIRST FLOOR UNIT	28
ONE PER SECOND FLOOR UNIT	56
PROVIDED DWELLING UNIT TREES	28
TOTAL TREE REQUIRED/PROVIDED (2" cal or 6' ht.)	103/106

REQUIRED LANDSCAPE COVERAGE	15,540 SF MIN.
75% LIVE VEGETATIVE MATERIAL (20,720 SF PROPOSED LANDSCAPE X 75%)	15,279 SF
PROVIDED GROUND COVER COVERAGE	15,279 SF
SOD LAWN/100% COVERAGE	925 SF
TOTAL PROVIDED GROUND COVER COVERAGE	16,204 SF
PERCENT GROUND COVER COVERAGE OF REQUIRED LANDSCAPE AREAS	78%

NOTE

MAINTENANCE OF LANDSCAPE (ONSITE AND WITHIN ROW) TO BE MAINTAINED BY PROPERTY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE/ZONING CODE 5-6(C)(14) (a,b,c)

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1. PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10 (SEE CALCULATIONS PROVIDED ABOVE)

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.

NO PARKING SPACE SHALL BE MORE THAN 100' FROM A TREE.

STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-6-2.

LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-3-10 AND IDO ZONING

LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA.

IRRIGATION SYSTEM: AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WILL BE UTILIZED TO PROVIDE EVEN AND ADEQUATE WATER LEVELS TO ALL PLANT MATERIAL. WATER USE SHALL BE DONE IN SUCH A MANNER AS TO CONSERVE ITS USE AND PREVENT ANY AND ALL RUNOFF FROM LANDSCAPE MATERIALS. IRRIGATION SHALL BE RESTRICTED TO EARLY MORNING HOURS TO CONSERVE THIS LIMITED RESOURCE.

STREETSCAPE LANDSCAPING SHALL CONSIST PRIMARILY OF SHRUBS AND DECIDUOUS TREES IN A SETBACK AREA BETWEEN THE RIGHT-OF-WAY OF THE STREET AND THE FACE OF THE CURB OF AN ADJACENT PARKING AREA. CLEAR-SIGHT TRIANGLE REQUIREMENTS MUST BE MET.

TREES IN PROXIMITY OF DUMPSTERS TO BE MAINTAINED TO ALLOW FOR TRUCK ACCESS WITHOUT DAMAGE TO TRUCK OR TREES

IRRIGATION NOTE

DRIP SYSTEM RUN CYCLES:
ESTABLISHMENT AND SUMMER:
1 HOUR/4 DAYS A WEEK
SPRING:
1 HOUR/2-3 DAYS A WEEK
FALL:
1 HOUR/2-3 DAYS A WEEK
WINTER:
1 HOUR/2 DAYS PER MONTH

PLANT LEGEND

Qty.	Symbol	Scientific Name Common Name	Installed Size	Mature Height/Spread	Landscaping Coverage	Water Use	Drip Emitters
25	○	Vitex Agnus-Castus Chaste Tree	2" B&B	20'/20'	35 sf=875 sf	Medium	6-2 gph
7	○	Fraxinus Raywood Ash	2" B&B	40'/40'	30 sf=210 sf	Medium	+6-2 gph
7	○	Ulmus Lacebark Elm	2" B&B	50'/20'	40 sf=280 sf	Medium	6-2 gph
21	○	Crataegus Thornless Hawthorne	2" B&B	25'/15'	20 sf=420 sf	Medium	+6-2 gph
4	○	Pistacia chinensis Chinese Pistache	2" B&B	60'/60'	45 sf=180 sf	Medium	+6-2 gph
14	○	Gleditsia triacanthos inermis Honeylocust	2" B&B	80'/80'	30 sf=420 sf	Medium	6-2 gph
5	○	Platanus wrightii Arizona Sycamore	2" B&B	40'/35'	35 sf=175 sf	Medium	6-2 gph
11	○	Koelreuteria Goldenrain Tree	2" B&B	30'/30'	35 sf=385 sf	Medium	6-2 gph
4	○	Malus Crabapple	2" B&B	20'/20'	35 sf=140 sf	Medium	+6-2 gph
6	○	Acer Japanese Maple	2" B&B	10'/5'	0 sf=0 sf	High	6-2 gph
2	○	Pinus nigra Austrian Pine	6" HT.	30'/20'	35 sf=70 sf	Medium	6-2 gph

Shrubs/Groundcovers

3	○	Buddleia davidii Butterfly Bush	1-Gal	5'/5'	30 sf=90 sf	Medium	2-2 gph
19	○	Caryopteris clandonensis Blue Mist	1-Gal	4'/4'	25 sf=475 sf	Medium	2-2 gph
4	○	Cotoneaster parneyi Clusterberry	5-Gal	10'/10'	50 sf=200 sf	Medium	2-2 gph
17	○	Rhus aromatica Gro Low Sumac	5-Gal	2'/6'	36 sf=612 sf	Low +	2-2 gph
14	○	Ericameria laricifolia 'Aguirre' Turpentine Bush	5-Gal	3'/4'	25 sf=350 sf	Low	2-1 gph
40	○	Ilex Dwarf Burford Holly	5-Gal	4'/4'	16 sf=640 sf	Medium	+2-1 gph
18	○	Salvia greggii Cherry Sage	1-Gal	3'/3'	15 sf=270 sf	Medium	2-1 gph
3	○	Hesperaloe parviflora Red Yucca	5-Gal	3'/4'	30 sf=90 sf	Low	2-2 gph
29	○	Juniperus sabinia 'Buffalo' Buffalo Juniper (female)	5-Gal	2'/6'	36 sf=1044 sf	Low +	2-2 gph
51	○	Lavandula Lavender	1-Gal	3'/3'	12 sf=816 sf	Medium	2-2 gph
4	○	Perovskia atriplicifolia Russian Sage	1-Gal	5'/5'	25 sf=100 sf	Medium	2-2 gph
44	○	Potentilla fruticosa Shrubby Cinquefoil	5-Gal	3'/3'	10 sf=440 sf	Medium	+2-2 gph
27	○	Prunus cistena Dwarf Red Leaf Plum	5-Gal	6'/6'	36 sf=972 sf	Medium	2-2 gph
3	○	Rosmarinus officinalis Rosemary	5-Gal	6'/6'	36 sf=108 sf	Low +	2-2 gph
8	○	Rosa Knockout Rose	5-Gal	3'/3'	15 sf=120 sf	Medium	+2-2 gph
34	○	Spiraea Dwarf Red Spirea	5-Gal	3'/3'	20 sf=680 sf	Medium	+2-2 gph
22	○	Achillea Moonshine Yarrow	1-Gal	3'/3'	10 sf=220 sf	Medium	2-2 gph
39	○	Rhaphiolepis India Hawthorn	5-Gal	3'/3'	15 sf=585 sf	Medium	2-2 gph
16	○	Viburnum Burkwood Viburnum	5-Gal	6'/6'	36 sf=576 sf	Medium	+2-2 gph
17	○	Euonymus Burning Bush	5-Gal	4'/4'	25 sf=425 sf	Medium	2-2 gph
11	○	Pinus mugo Mugho Pine	5-Gal	4'/4'	30 sf=330 sf	Medium	2-2 gph
24	○	Nandina Heavenly Bamboo	5-Gal	3'/3'	20 sf=480 sf	Medium	+2-2 gph

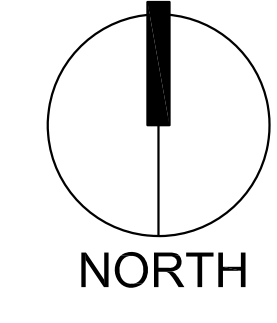
Grasses

4	○	Muhlenbergia Deer Grass	1-Gal	4'/4'	20 sf=80 sf	Low+	2-2 gph
67	○	Muhlenbergia Regal Mist Grass	1-Gal	3'/3'	15 sf=1005 sf	Medium	2-2 gph
11	○	Panicum Switch Grass	1-Gal	8'/6'	36 sf=396 sf	Medium	2-2 gph
102	○	Calamagrotis Karl Foerster Grass	5-Gal	3'/2'	10 sf=1020 sf	Medium	2-2 gph

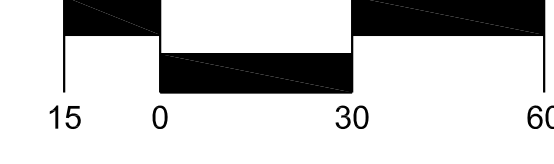
Total Landscape Coverage=15,279 sf

MATERIALS LEGEND

○	BROWN CRUSHER FINES
○	1"-2" BLUE SAIZ GRAVEL
○	SYNTHETIC LAWN
○	FESCUE SOD LAWN

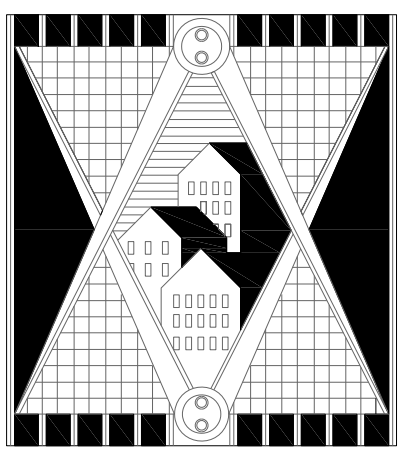


Scale: 1" = 30'



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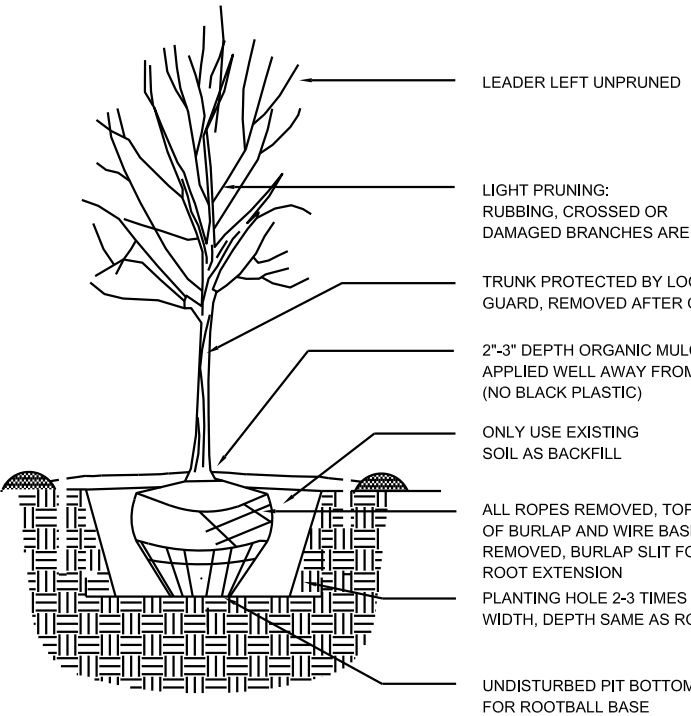
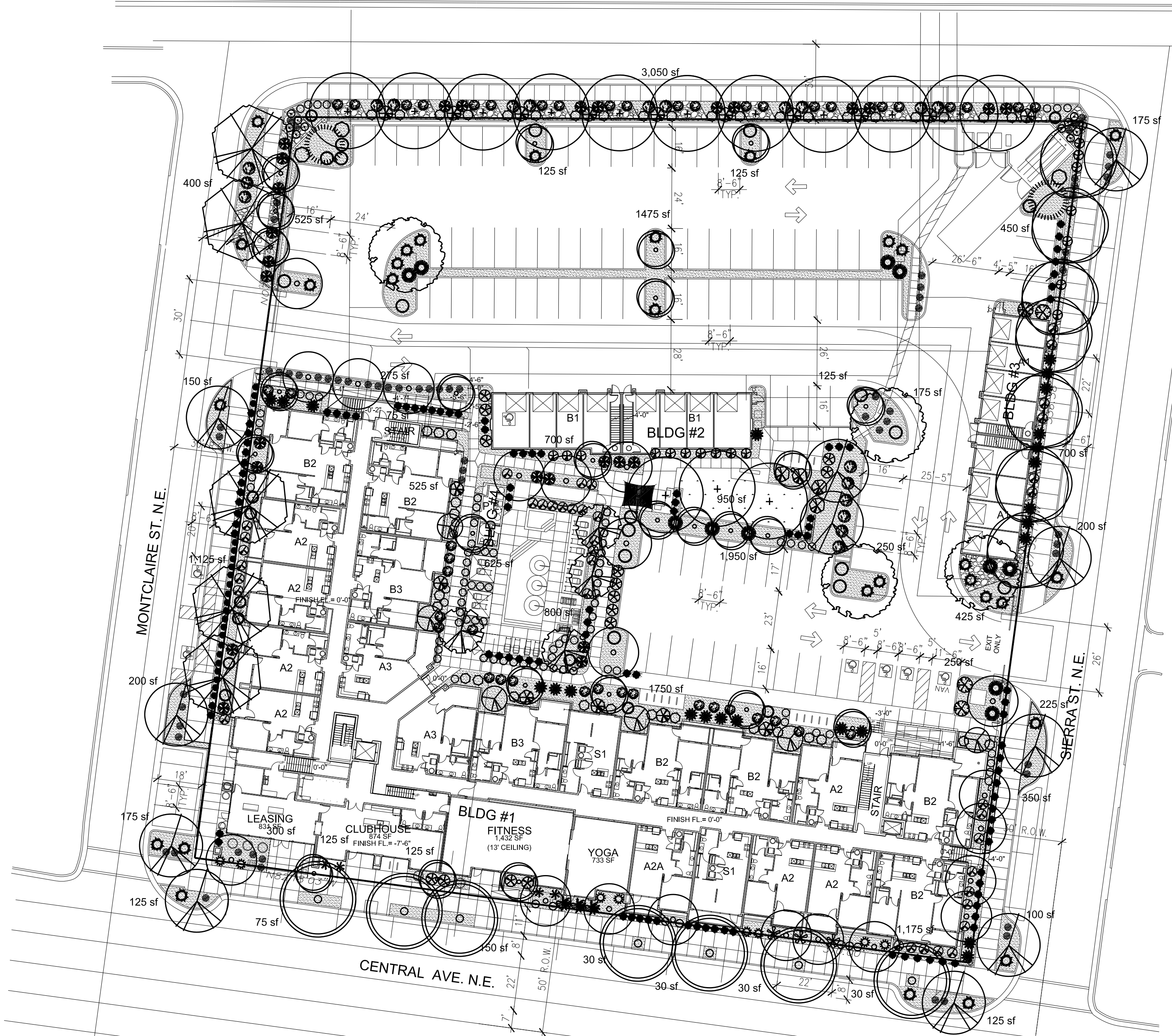


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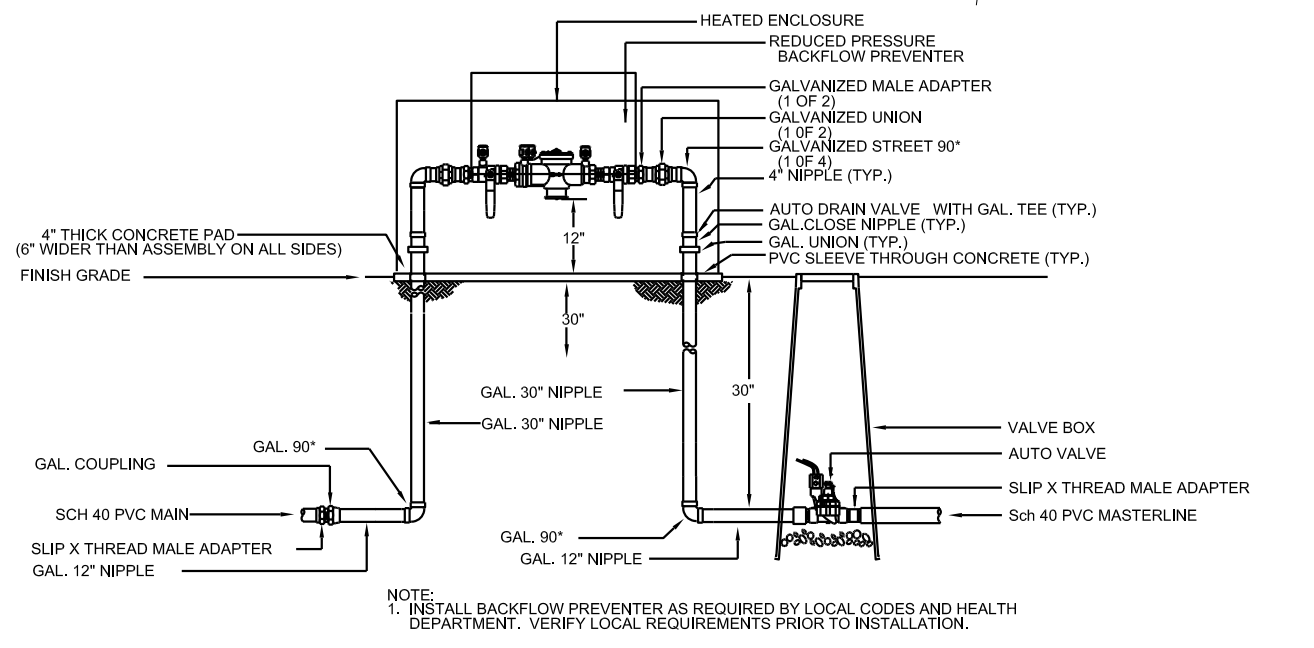
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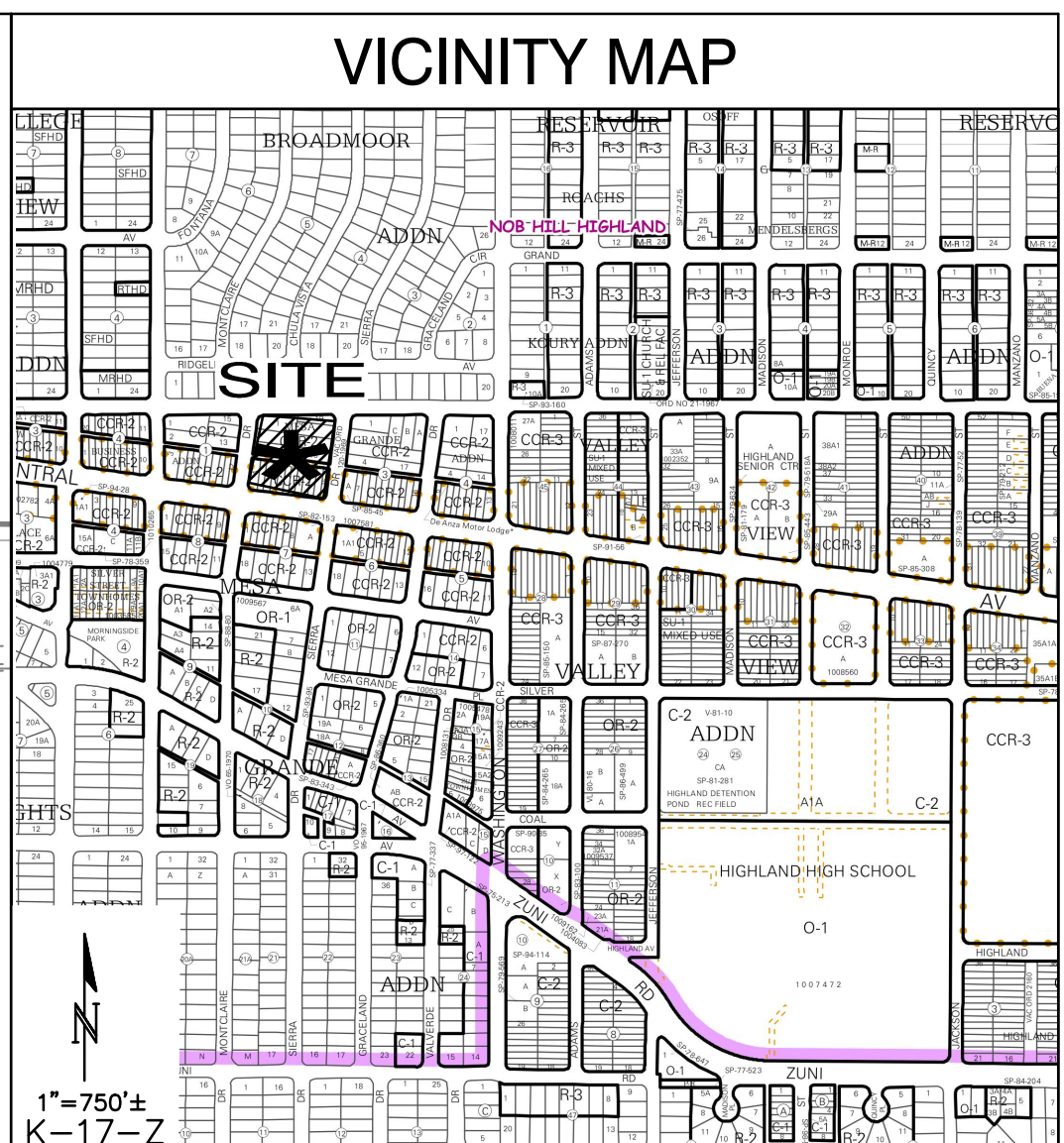
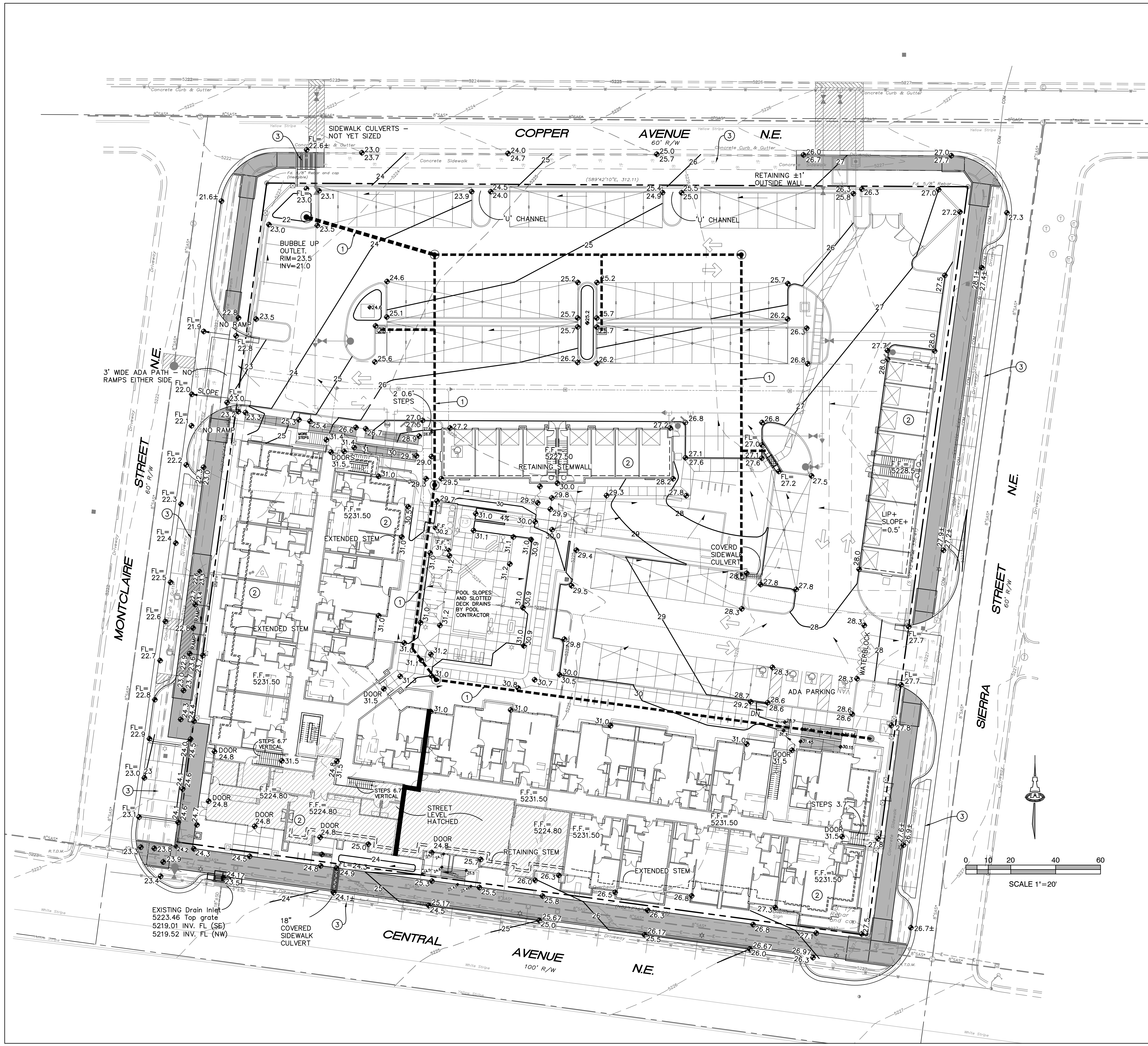
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TREE PLANTING DETAIL



RP BACKFLOW/MASTER VALVE DETAIL



PROJECT INFORMATION

PROPERTY: THE SITE IS FULLY DEVELOPED (RECENTLY DEMOLISHED) PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP K-17. THE SITE IS BOUND TO THE EAST BY SIERRA DR NE, TO THE NORTH BY COPPER AVE NE, TO THE WEST BY MONTCLAIRE DR NE, AND THE SOUTH BY CENTRAL AVE NE.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE A MULTI-PHASED APARTMENT BUILDING WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING AND LANDSCAPING.

LEGAL: LOTS 1 THRU 19 AND VACATED ALLEY BLOCK 2 MESA GRANDE ADDITION, ALBUQUERQUE, NM

BENCHMARK: VERTICAL DATUM IS BASED UPON ALBUQUERQUE CONTROL SURVEY MONUMENT "5-K17A", ELEVATION=5222.211 FEET (NAVD 88)

OFF-SITE FLOW: NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #35001C0353H, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

DRAINAGE PLAN CONCEPT: THE MAJORITY OF THE SITE WILL FREE DISCHARGE TO COPPER AVENUE AT THE NORTHWEST CORNER OF THE PROPERTY. THE REMAINING BASINS WILL DISCHARGE TO THE ADJACENT STREETS. STORMWATER QUALITY BASINS MAY BE PROVIDED WITHIN THE LANDSCAPED PARKING ISLANDS TO REDUCE THE 'IN-LIEU' FEE.

ENGINEER: FRED C. ARFMAN: NMPE 7322
 ISAACSON & ARFMAN, PA
 128 MONROE NE 87108; 268-8828

SURVEYOR: RUSS P. HUGG: NMPS NO. 9750
 SURV-TEK, INC
 9384 VALLEY VIEW DR., NW 87114; 897-3366

LEGEND

× 50.38.91	EXISTING SPOT ELEVATION
— 50.45 —	EXISTING CONTOUR
— 40 —	PROPOSED CONTOUR (1' INCREMENT)
— 40.5 —	PROPOSED CONTOUR (0.5' INCREMENT)
◆ 39.5	PROPOSED SPOT ELEVATION
→	FLOW ARROW

- KEYED NOTES**
- ON-SITE PRIVATE STORM DRAIN SYSTEM TO BE DESIGNED AS PART OF BUILDING PERMIT PLANS.
 - BUILDING RETAINING / EXTENDED STEM WALL AS REQUIRED TO ACHIEVE EXTERIOR GRADES SHOWN.
 - NO WORK SHALL BE PERFORMED IN THE PUBLIC R/W WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.

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 2240 CG-101 DRB.dwg Sep 05, 2018

TITAN DEVELOPMENT

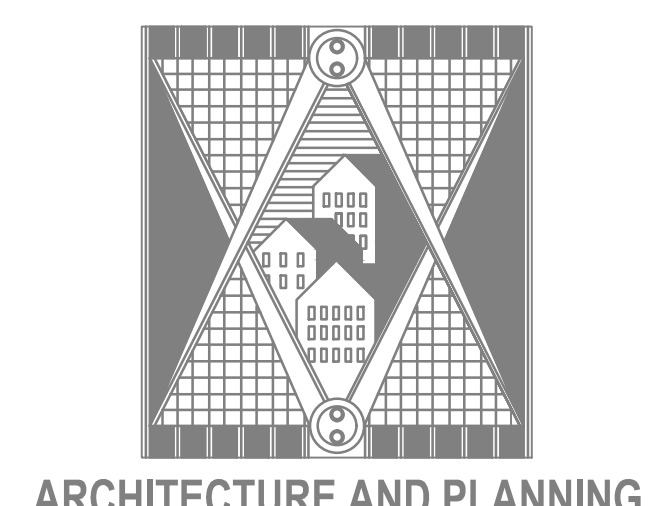
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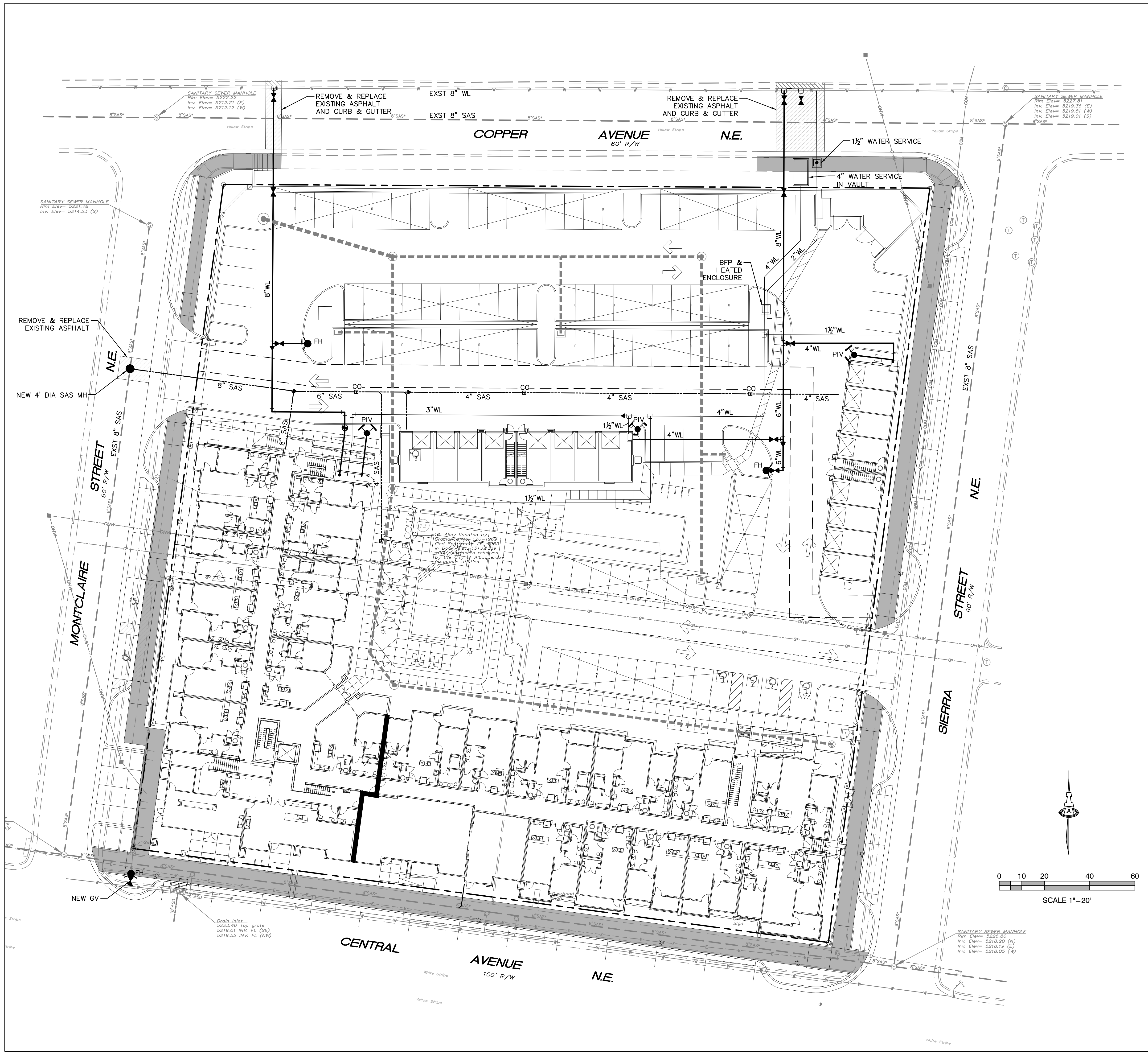


CG-101

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GRADING AND DRAINAGE PLAN

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GENERAL NOTES

- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- SITE STORM DRAIN, ELECTRIC LINES & TRANSFORMERS AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
- ALL WATER FITTINGS SHALL HAVE JOINT RESTRAINTS (LT). SEE RESTRAINED JOINT CRITERIA NOTES THIS SHEET. (LT) LENGTH SHOWN ON KEYED NOTES.
- ALL ABOVE GROUND UTILITY EQUIPMENT AND FITTINGS SHALL BE PAINTED IN COLORS TO MATCH BUILDING COLORS.

UTILITY GENERAL NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO PROPOSED UTILITIES SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
- MINIMUM COVER SHALL BE 36" FOR WATERLINES AND 48" FOR SANITARY SEWER, EXCEPT AT BUILDING CONNECTIONS.
- UTILITY LINES SHALL BE INSTALLED AFTER COMPLETION OF THE SITE ROUGH GRADING.
- UTILITY LINES SHALL BE INSTALLED PRIOR TO SURFACE IMPROVEMENTS SUCH AS PAVEMENT, SIDEWALKS, AND LANDSCAPING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING PLUMBING AND ALL NECESSARY FITTINGS. FITTING COSTS SHALL BE INCIDENTAL. REFER TO THE MECHANICAL AND/OR PLUMBING PLANS FOR SERVICE CONNECTIONS.
- DRY UTILITY LOCATIONS AND DESIGN ARE NOT A PART OF THIS PLAN. CONTRACTOR SHALL COORDINATE WITH THE LOCAL DRY UTILITY COMPANIES TO DETERMINE THE SIZE, DEPTH, LOCATION, FITTINGS AND REQUIRED APPURTENANCES FOR THE DRY UTILITY SERVICE LINES ON THE SITE. REFER TO MECHANICAL AND ELECTRICAL PLANS FOR SERVICE CONNECTIONS.
- TRENCHING, BORING, AND JACKING SHALL BE CONSTRUCTED IN ACCORDANCE WITH COA SPEC. SECT. 700. ALL BACKFILL SHALL BE COMPACTED TO A MINIMUM 95% DENSITY PER ASTM D-1557.
- ALL WATER VALVE BOXES, MANHOLE RINGS & COVERS, AND OTHER SURFACE ITEMS FOR THE UTILITIES SHALL BE ADJUSTED TO FINISHED GRADE.
- ALL CROSSINGS OF WATER AND SEWER LINES SHALL HAVE 12" MIN CLEARANCE. IF 12" CLEARANCE IS NOT POSSIBLE, BOTH PIPES SHALL BE ENCASED IN CONCRETE OR AS DIRECTED BY THE ENGINEER.
- VALVES, METERS, SERVICE LINES, METER AND VALVE BOXES, TAPPING SLEEVES, HYDRANTS, AND OTHER WATER APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH COA SPEC. SECT. 800.
- WATERLINES LESS THAN 4" DIAMETER SHALL BE COPPER TYPE K MEETING ASTM B 88 REQUIREMENTS. WATERLINES 4" IN DIAMETER OR LARGER SHALL BE PVC PIPE MEETING AWWA C900 DR-18 REQUIREMENTS.
- ALL FITTINGS AND COUPLINGS FOR WATERLINES LESS THAN 4" IN DIAMETER ARE TO BE COPPER, SOLDER JOINT FITTINGS IN ACCORDANCE WITH ASME 16.18 OR ASME B16.22.
- ALL FITTINGS AND COUPLINGS FOR WATERLINES 4" IN DIAMETER OR LARGER ARE TO BE MEGA LUG MECHANICAL JOINTS OR ENGINEER APPROVED EQUIVALENT.
- JOINTS SHALL BE RESTRAINED BY MEGA LUG HARNESSSES, OR ENGINEER APPROVED EQUIVALENT. JOINT RESTRAINTS SHALL BE INSTALLED AT DISTANCES FROM THE FITTINGS AS SHOWN ON THE JOINT RESTRAINT TABLE IN THESE PLANS.
- BACKFLOW PREVENTERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- FIRE LINES SHALL USE PIPE MATERIALS LISTED AND APPROVED FOR FIRE SERVICE BY UNDERWRITERS LABORATORIES.
- FIRE DEPARTMENT CONNECTIONS SHALL MEET UL 405, NFPA 1963, AND LOCAL FIRE DEPARTMENT REQUIREMENTS.
- ADJUST WATER AND FIRE LINES TO AVOID FOOTINGS, SEWER LINES, AND OTHER CONDUITS. INSTALL FITTINGS AS NEEDED.
- SEWER MANHOLES, CLEANOUTS, SEWER SERVICE TAPS, AND OTHER SEWER APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH COA SPEC. SECT. 900 / APWA SPEC. SECT. 900 / LOCAL UTILITY COMPANY SPECIFICATIONS.
- SEWER SERVICE LINES SHALL BE INSTALLED AT A 2% MINIMUM SLOPE, UNLESS OTHERWISE SPECIFIED ON THE PLANS. THE PIPE SHALL DRAIN AT A CONSTANT SLOPE BETWEEN FITTINGS. THE PIPE SHALL DRAIN TOWARD THE SEWER MAIN AT ALL LOCATIONS.
- ALL SANITARY SEWER LINE MATERIALS SHALL BE PVC SDR-35 PIPE.

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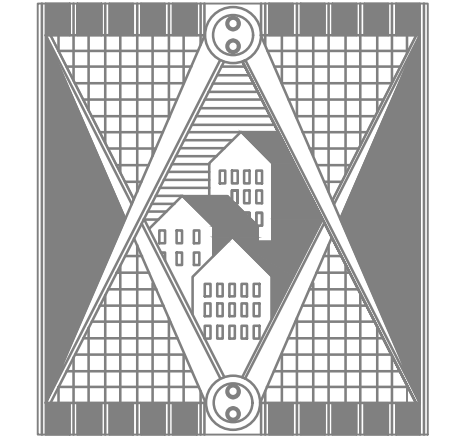
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UTILITY PLAN

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BUILDING 1 - SOUTH ELEVATION

3/32" = 1'-0"



NOB HILL

ALBUQUERQUE, NEW MEXICO

EXTERIOR FINISH SCHEDULE

A	EXTERIOR WALL FINISH - 1 COAT STUCCO, LIGHT SAND FINISH DUNN EDWARDS - FINE GRAIN DE6213
B	EXTERIOR WALL FINISH - 1 COAT STUCCO, LIGHT SAND FINISH PAINT DUNN EDWARDS - FADE TO BLACK DET629
C	EXTERIOR WALL FINISH - 1 COAT STUCCO, LIGHT SAND FINISH DUNN EDWARDS - LAKE VILLE DE5872
D	EXTERIOR WALL FINISH - 1 COAT STUCCO, LIGHT SAND FINISH DUNN EDWARDS - DARK SIENNA DE6215
E	RAILINGS, METAL CANOPIES AND AWNINGS DUNN EDWARDS - FADE TO BLACK DET629
F	BLOCK WALL 4X4X16 STANDARD SMOOTH FACE - COLOR TBD
G	VINYL WINDOW FRAMES WHITE W/ CLEAR GLASS
H	ALUMINUM CLEAR ANODIZED STOREFRONT FRAMES W/ CLEAR GLASS

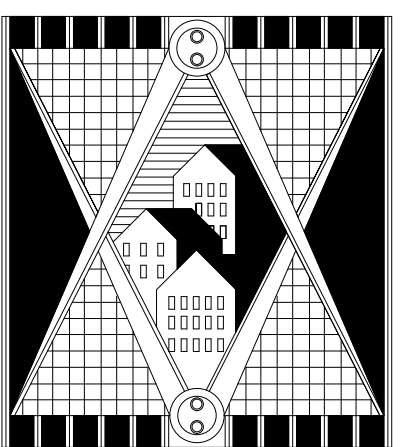


BUILDING 1 - WEST ELEVATION

3/32" = 1'-0"

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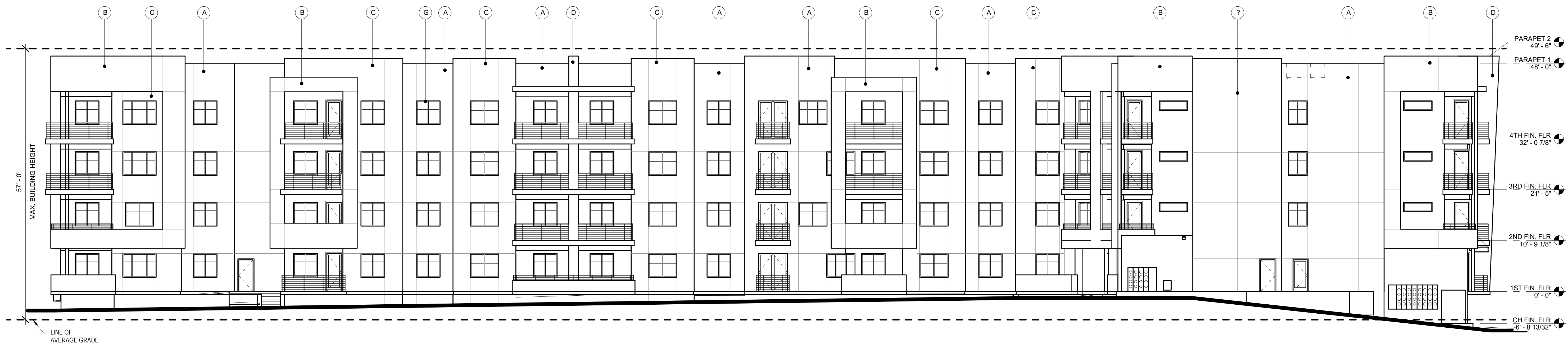
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BUILDING 1 ELEVATIONS

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BUILDING 1 - NORTH ELEVATION

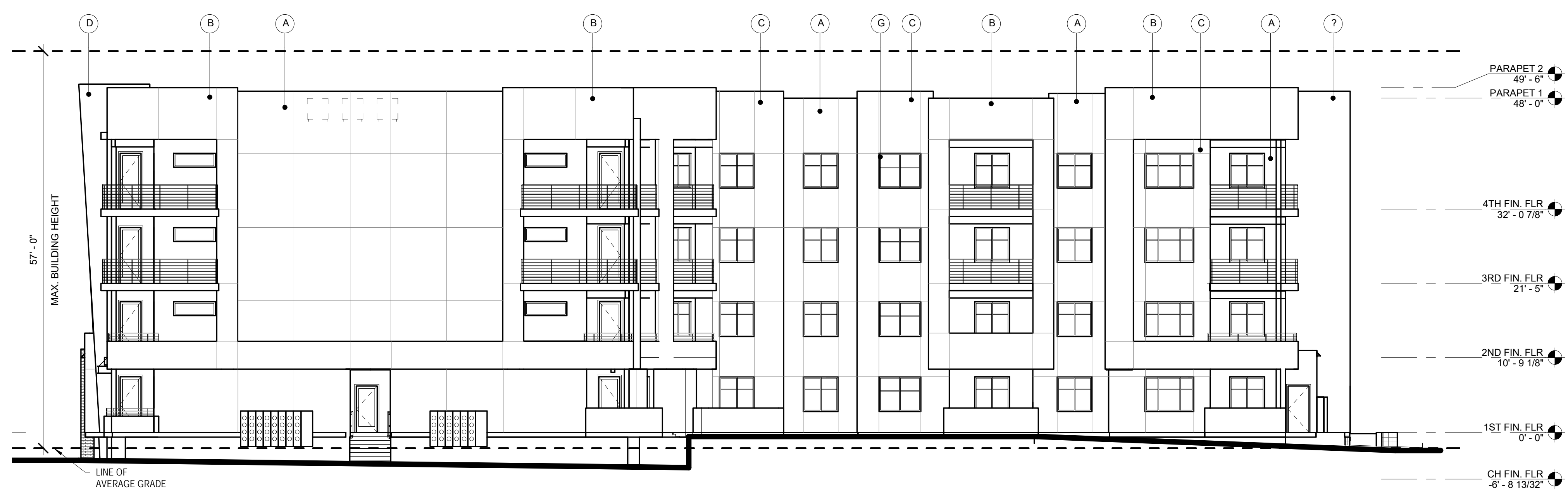
3/32" = 1'-0"



NOB HILL

ALBUQUERQUE, NEW MEXICO

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BUILDING 1 - EAST ELEVATION

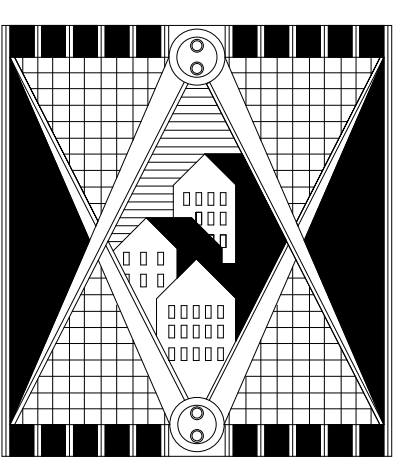
3/32" = 1'-0"

EXTERIOR FINISH SCHEDULE

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F	BLOCK WALL 4X4X16 STANDARD SMOOTH FACE - COLOR TBD
G	VINYL WINDOW FRAMES WHITE W/ CLEAR GLASS
H	ALUMINUM CLEAR ANODIZED STOREFRONT FRAMES W/ CLEAR GLASS



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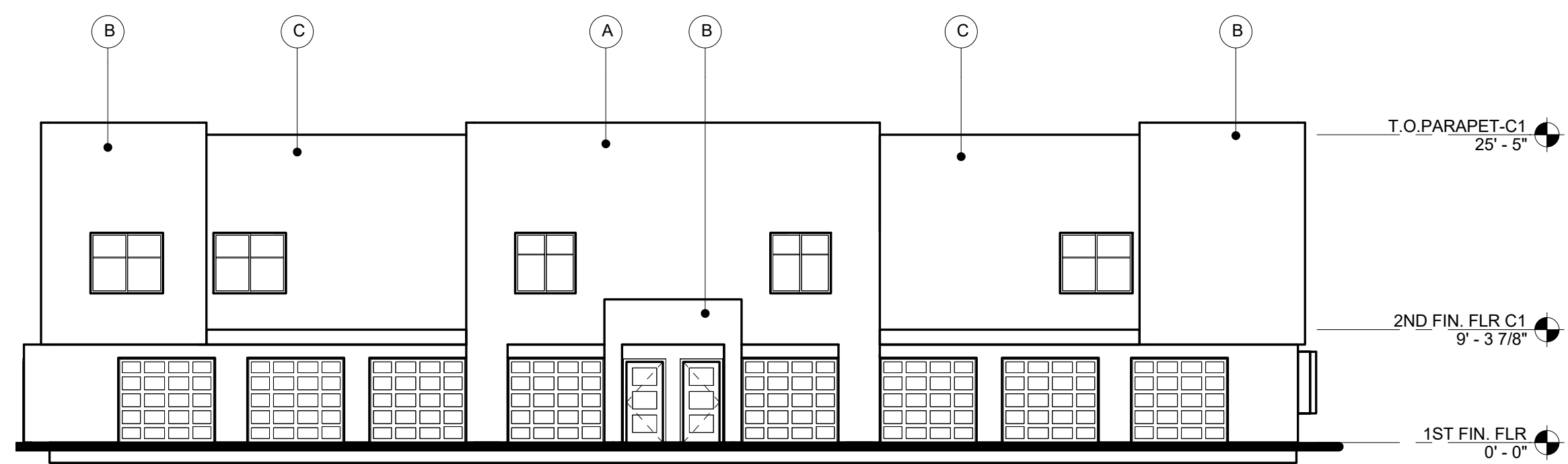
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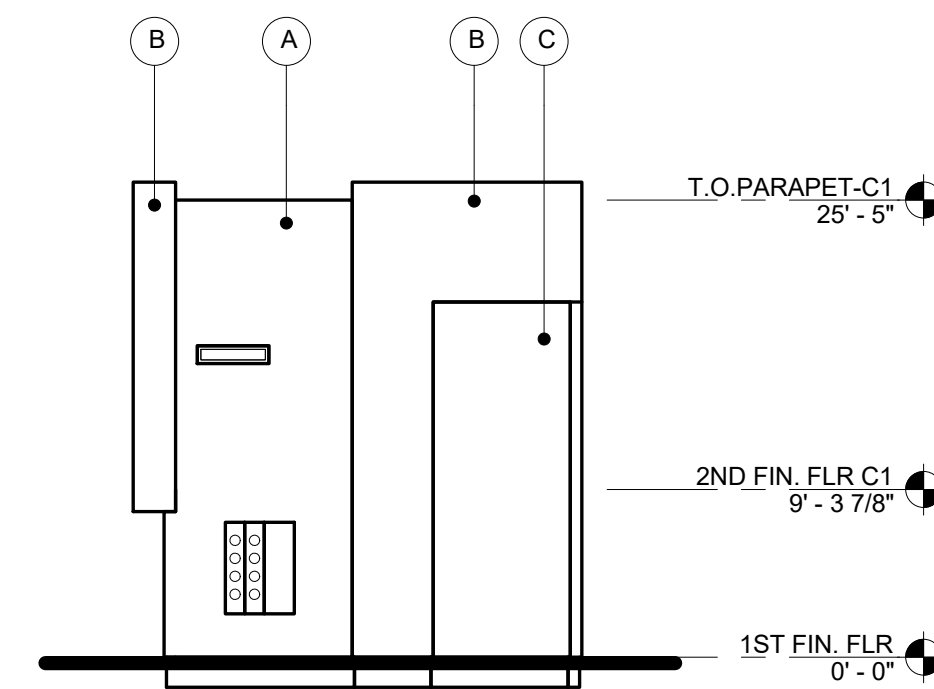


BUILDING 1 ELEVATIONS



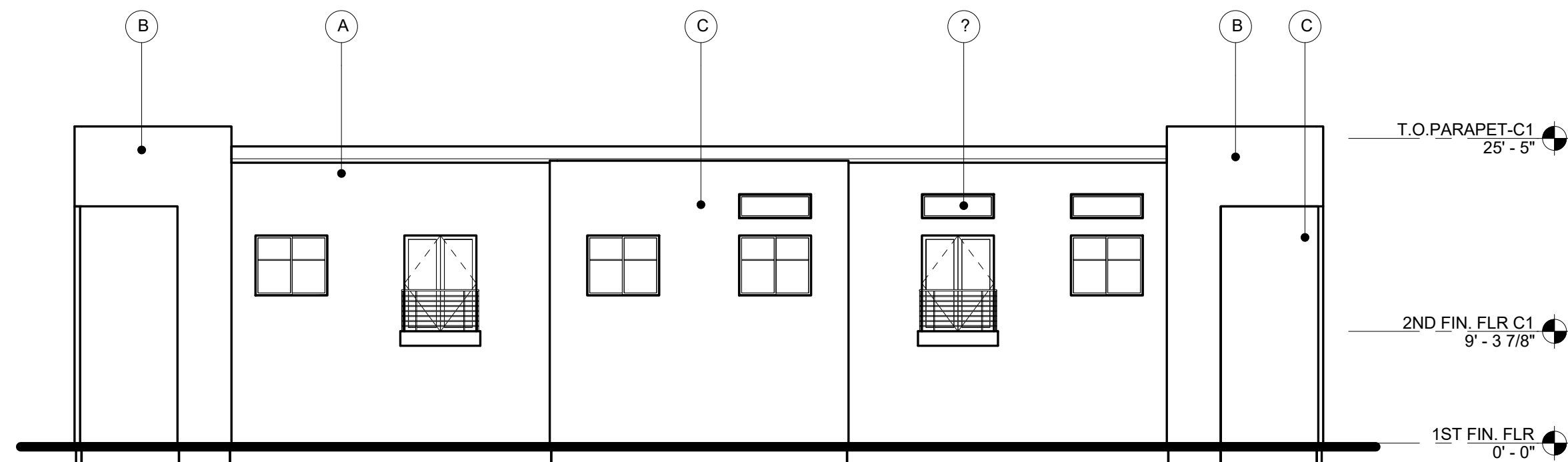
BUILDING 2 - NORTH ELEVATION

3/32" = 1'-0"



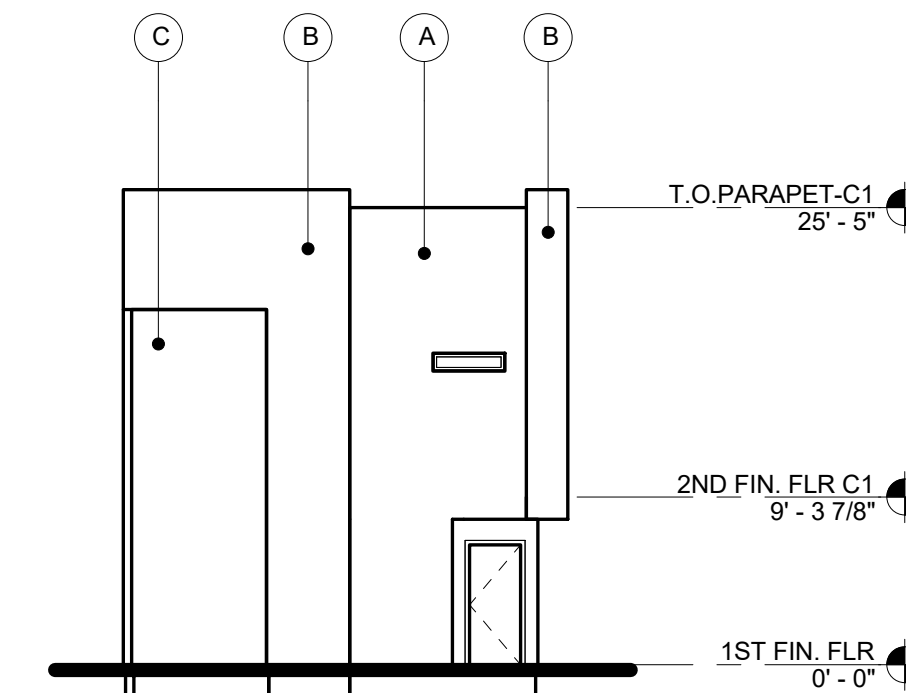
BUILDING 2 - EAST ELEVATION

3/32" = 1'-0"



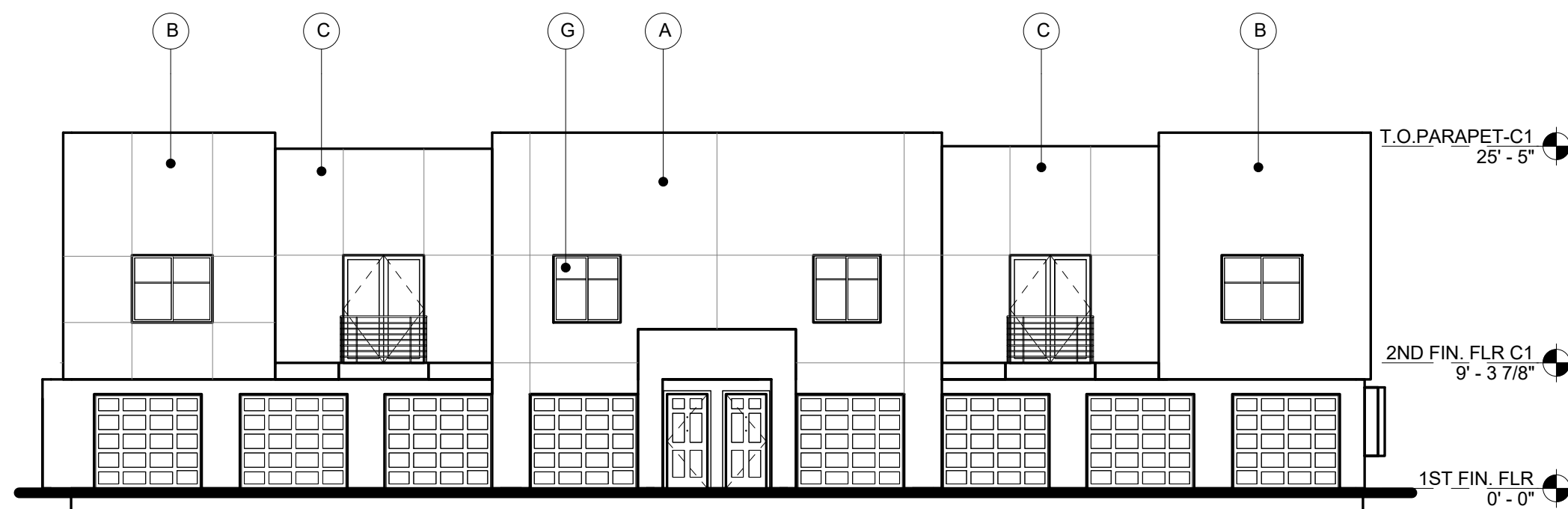
BUILDING 2 - SOUTH ELEVATION

3/32" = 1'-0"



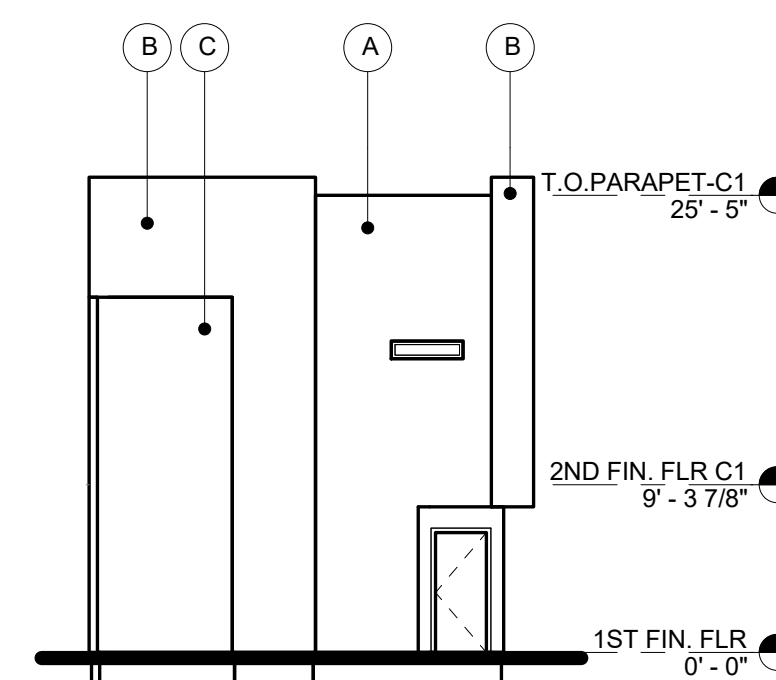
BUILDING 2 - WEST ELEVATION

3/32" = 1'-0"



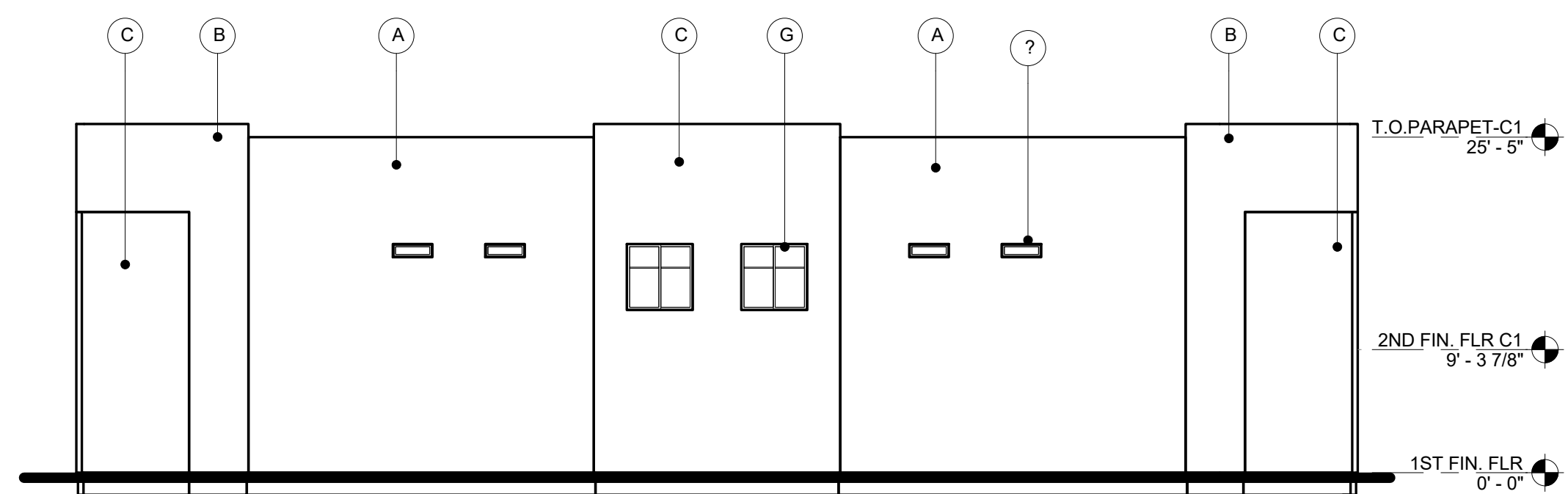
BUILDING 3 - WEST ELEVATION

3/32" = 1'-0"



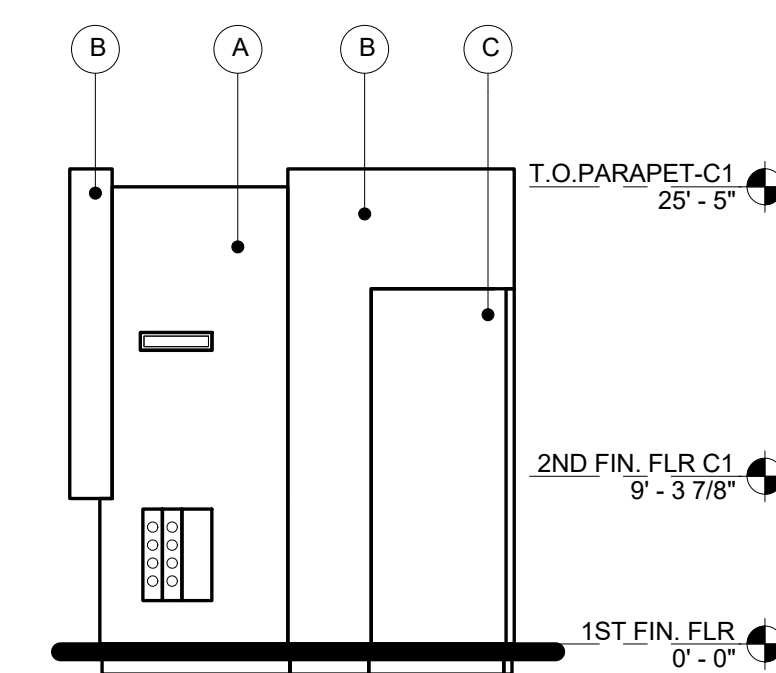
BUILDING 3 - NORTH ELEVATION

3/32" = 1'-0"



BUILDING 3 - EAST ELEVATION

3/32" = 1'-0"



BUILDING 3 - SOUTH ELEVATION

3/32" = 1'-0"

EXTERIOR FINISH SCHEDULE

A	EXTERIOR WALL FINISH - 1 COAT STUCCO, LIGHT SAND FINISH DUNN EDWARDS - FINE GRAIN DE6213
B	EXTERIOR WALL FINISH - 1 COAT STUCCO, LIGHT SAND FINISH PAINT DUNN EDWARDS - FADE TO BLACK DET629
C	EXTERIOR WALL FINISH - 1 COAT STUCCO, LIGHT SAND FINISH DUNN EDWARDS - LAKE VILLE DE5872
D	EXTERIOR WALL FINISH - 1 COAT STUCCO, LIGHT SAND FINISH DUNN EDWARDS - DARK SIENNA DE6215
E	RAILINGS, METAL CANOPIES AND AWNINGS DUNN EDWARDS - FADE TO BLACK DET629
F	BLOCK WALL 4X4X16 STANDARD SMOOTH FACE - COLOR TBD
G	VINYL WINDOW FRAMES WHITE W/ CLEAR GLASS
H	ALUMINUM CLEAR ANODIZED STOREFRONT FRAMES W/ CLEAR GLASS

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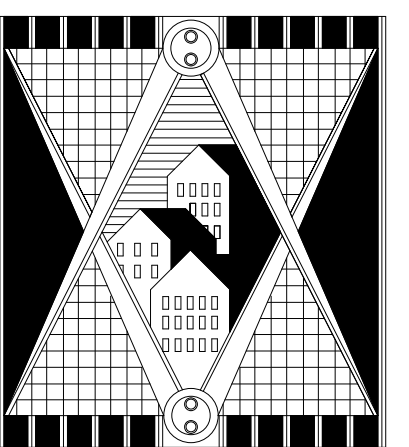
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BUILDING 2 & 3 ELEVATIONS



BUILDING 1 - SOUTH ELEVATION

3/32" = 1'-0"

- PARAPET 2 49'-6"
- PARAPET 1 48'-0"
- 4TH FIN. FLR 32'-0 7/8"
- 3RD FIN. FLR 21'-5"
- 2ND FIN. FLR 10'-9 1/8"
- 1ST FIN. FLR 0'-0"
- CH FIN. FLR -6'-8 13/32"

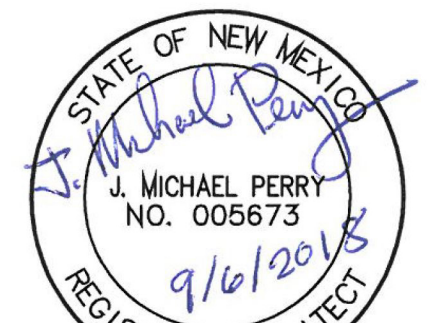


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EXTERIOR FINISH SCHEDULE

A	EXTERIOR WALL FINISH - 1 COAT STUCCO, LIGHT SAND FINISH DUNN EDWARDS - FINE GRAIN DE6213
B	EXTERIOR WALL FINISH - 1 COAT STUCCO, LIGHT SAND FINISH PAINT DUNN EDWARDS - FADE TO BLACK DET629
C	EXTERIOR WALL FINISH - 1 COAT STUCCO, LIGHT SAND FINISH DUNN EDWARDS - LAKE VILLE DE5872
D	EXTERIOR WALL FINISH - 1 COAT STUCCO, LIGHT SAND FINISH DUNN EDWARDS - DARK SIENNA DE6215
E	RAILINGS, METAL CANOPIES AND AWNINGS DUNN EDWARDS - FADE TO BLACK DET629
F	BLOCK WALL 4X4X16 STANDARD SMOOTH FACE - COLOR TBD
G	VINYL WINDOW FRAMES WHITE W/ CLEAR GLASS
H	ALUMINUM CLEAR ANODIZED STOREFRONT FRAMES W/ CLEAR GLASS



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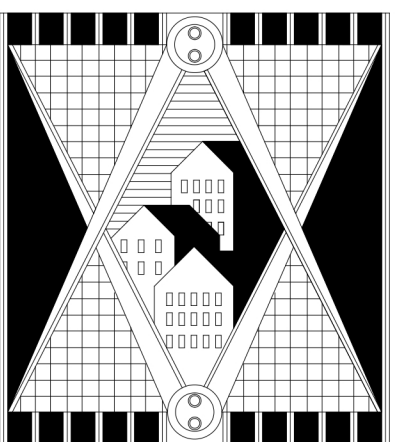
BUILDING 1 - WEST ELEVATION

3/32" = 1'-0"

- PARAPET 2 49'-6"
- PARAPET 1 48'-0"
- T.O. PLATE 4 42'-0 3/4"
- 4TH FIN. FLR 32'-0 7/8"
- 3RD FIN. FLR 21'-5"
- 2ND FIN. FLR 10'-9 1/8"
- 1ST FIN. FLR 0'-0"
- CH FIN. FLR -6'-8 13/32"

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**BUILDING 1
ELEVATIONS**

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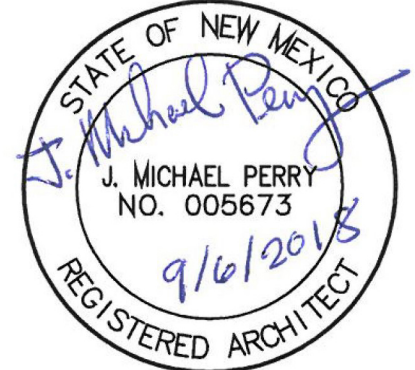


BUILDING 1 - NORTH ELEVATION

3/32" = 1'-0"

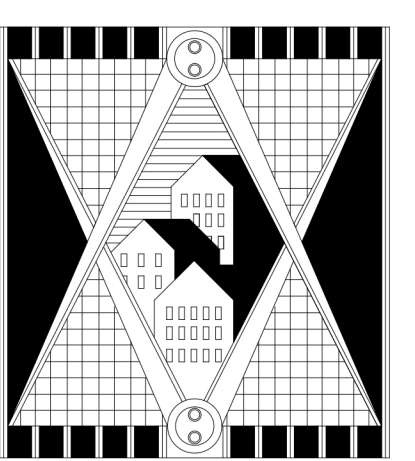
EXTERIOR FINISH SCHEDULE

A	EXTERIOR WALL FINISH - 1 COAT STUCCO, LIGHT SAND FINISH DUNN EDWARDS - FINE GRAIN DE6213
B	EXTERIOR WALL FINISH - 1 COAT STUCCO, LIGHT SAND FINISH PAINT DUNN EDWARDS - FADE TO BLACK DET629
C	EXTERIOR WALL FINISH - 1 COAT STUCCO, LIGHT SAND FINISH DUNN EDWARDS - LAKE VILLE DE5872
D	EXTERIOR WALL FINISH - 1 COAT STUCCO, LIGHT SAND FINISH DUNN EDWARDS - DARK SIENNA DE6215
E	RAILINGS, METAL CANOPIES AND AWNINGS DUNN EDWARDS - FADE TO BLACK DET629
F	BLOCK WALL 4X4X16 STANDARD SMOOTH FACE - COLOR TBD
G	VINYL WINDOW FRAMES WHITE W/ CLEAR GLASS
H	ALUMINUM CLEAR ANODIZED STOREFRONT FRAMES W/ CLEAR GLASS



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BUILDING 1 ELEVATIONS



BUILDING 1 - EAST ELEVATION

3/32" = 1'-0"



BUILDING 2 - NORTH ELEVATION

3/32" = 1'-0"



BUILDING 2 - EAST ELEVATION

3/32" = 1'-0"

EXTERIOR FINISH SCHEDULE

A	EXTERIOR WALL FINISH - 1 COAT STUCCO, LIGHT SAND FINISH DUNN EDWARDS - FINE GRAIN DE6213
B	EXTERIOR WALL FINISH - 1 COAT STUCCO, LIGHT SAND FINISH PAINT DUNN EDWARDS - FADE TO BLACK DET629
C	EXTERIOR WALL FINISH - 1 COAT STUCCO, LIGHT SAND FINISH DUNN EDWARDS - LAKE VILLE DE5872
D	EXTERIOR WALL FINISH - 1 COAT STUCCO, LIGHT SAND FINISH DUNN EDWARDS - TRADING POST DE5377
E	RAILINGS, METAL CANOPIES AND AWNINGS DUNN EDWARDS - FADE TO BLACK DET629
F	BLOCK WALL 4X4X16 STANDARD SMOOTH FACE - COLOR TBD
G	VINYL WINDOW FRAMES WHITE W/ CLEAR GLASS
H	ALUMINUM CLEAR ANODIZED STOREFRONT FRAMES W/ CLEAR GLASS



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BUILDING 2 - SOUTH ELEVATION

3/32" = 1'-0"



BUILDING 2 - WEST ELEVATION

3/32" = 1'-0"



BUILDING 3 - WEST ELEVATION

3/32" = 1'-0"



BUILDING 3 - NORTH ELEVATION

3/32" = 1'-0"



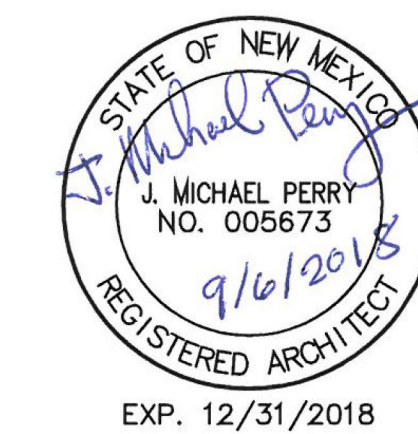
BUILDING 3 - EAST ELEVATION

3/32" = 1'-0"

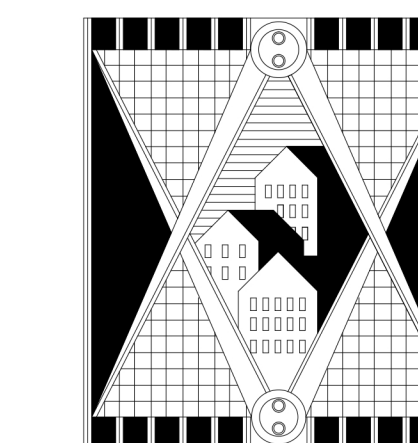


BUILDING 3 - SOUTH ELEVATION

3/32" = 1'-0"



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**BUILDING 2 & 3
ELEVATIONS**