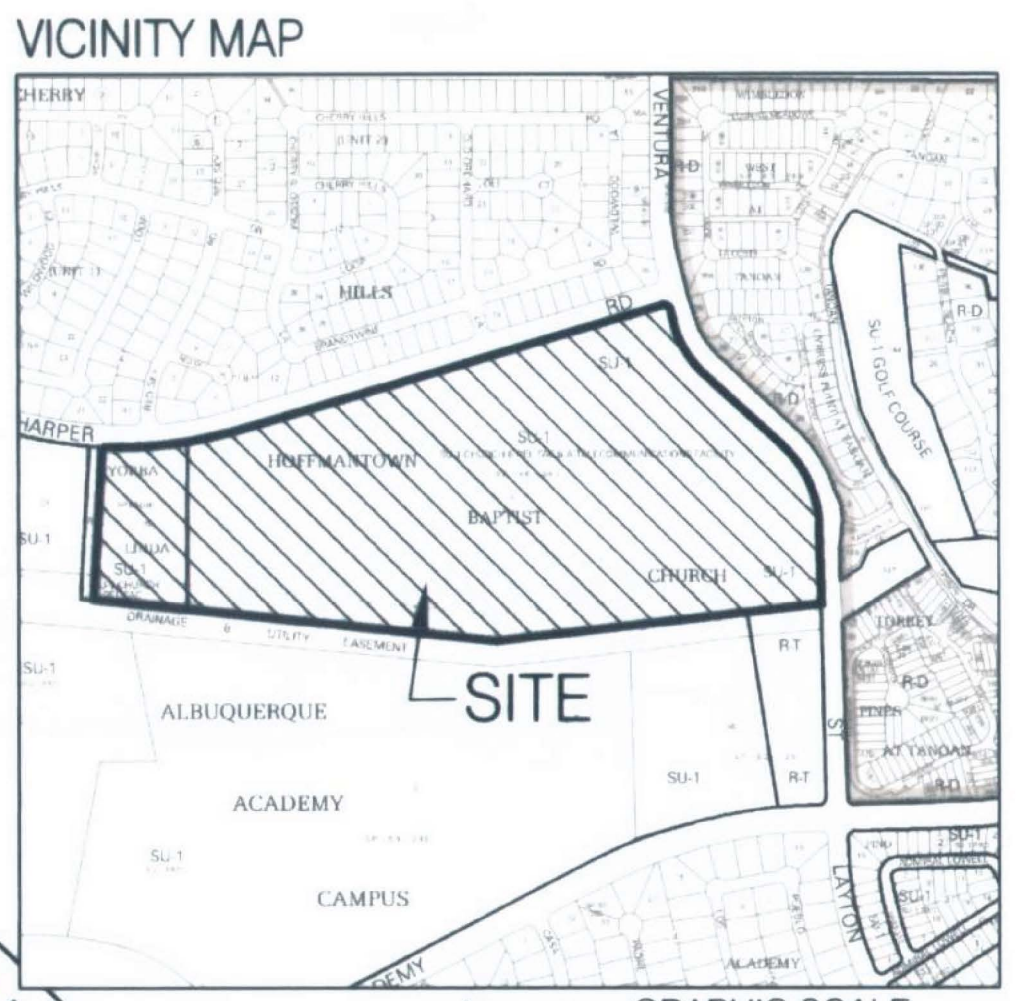
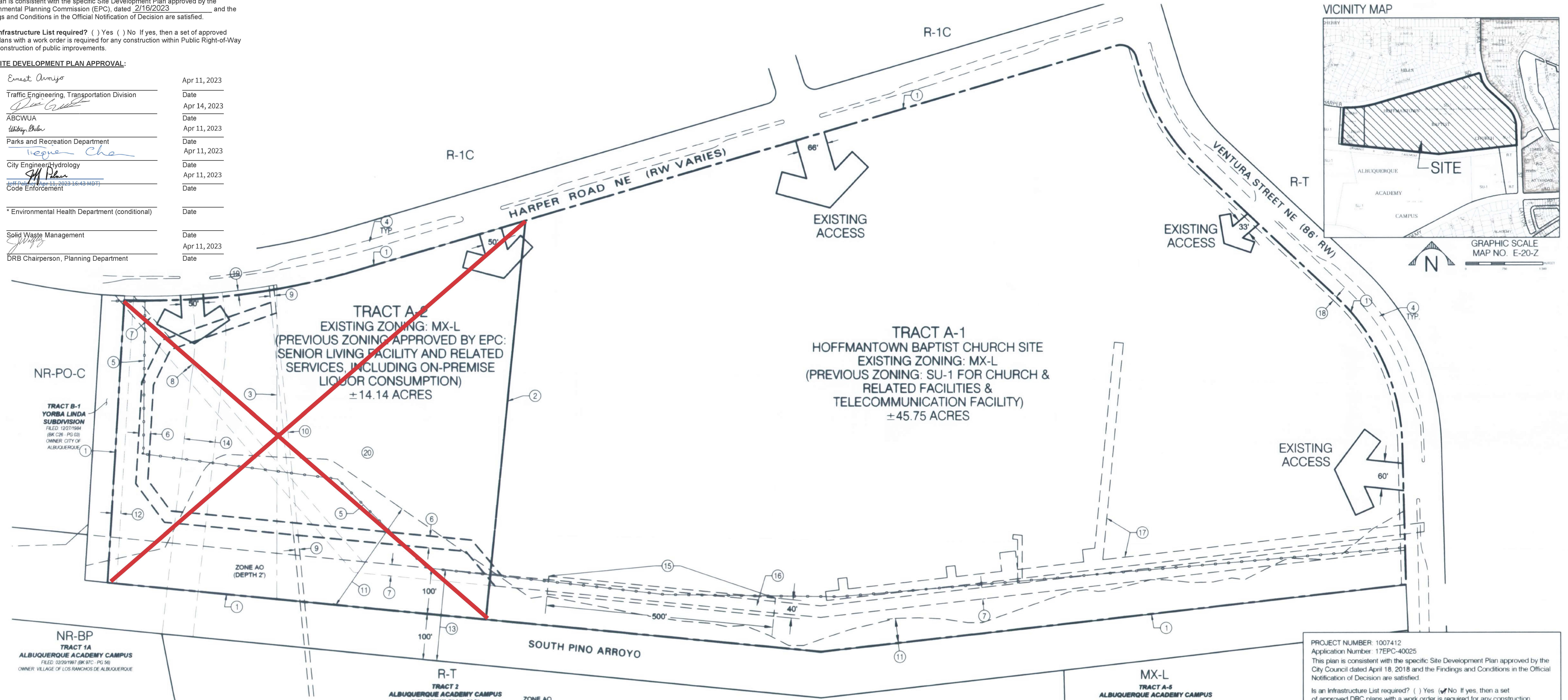


This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 2/16/2023 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

<i>Ernest Armijo</i>	Apr 11, 2023
Traffic Engineering, Transportation Division	Date
<i>[Signature]</i>	Apr 14, 2023
ABCWUA	Date
<i>Walter Babin</i>	Apr 11, 2023
Parks and Recreation Department	Date
<i>Regina Chan</i>	Apr 11, 2023
City Engineer/Hydrology	Date
<i>[Signature]</i>	Apr 11, 2023
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
<i>[Signature]</i>	Apr 11, 2023
DRB Chairperson, Planning Department	Date



**SITE PLAN FOR SUBDIVISION-REQUIRED INFORMATION**

The Site: The site consists of approximately 59.89 acres. Zoning for Tract A-1 (Hoffmantown Baptist Church) and Tract A-2 is MX-L.

Land Use: Land use for Tract A-1 is Church and Related Facilities and Telecommunication Facility. Land use for Tract A-2 is Senior Living and Related Services, including 180 units/beds.

Pedestrian and Vehicular Ingress and Egress: Vehicular Access: Vehicular access is from two locations along Harper Road, a minor arterial. The access points are aligned with existing median breaks in Harper Road.

Pedestrian Access: Primary pedestrian access is provided along Harper Road via a proposed 6 foot sidewalk and a 6 foot proposed crusher fines path. Pedestrian access into the site is provided via 6 foot pedestrian connections and 6 foot crosswalks to the internal pedestrian circulation system.

Transit Access: Albuquerque Ride Route 2 is along Ventura Street, with a bus stop in proximity to the Harper/Ventura intersection, and Route 93 is along Academy Boulevard. Routes 31/98 are along Wyoming Boulevard.

Bicycle Access: There is a multi-use trail along Wyoming Boulevard (to the west), a bike route along Ventura Street (to the east), and a proposed paved trail along the South Pino Arroyo (to the south).

Internal Circulation: Internal circulation is comprised of a primary loop road and sidewalks throughout the site. All sidewalks shall be a minimum of 6 feet in width, except where adjacent to parking. All pedestrian crossings shall be highlighted with colored, textured paving.

Building Heights: Maximum building height is 40 feet.

Minimum Building Setbacks:  
 Front: 20 feet  
 Side: 10 feet  
 Rear: 10 feet

Maximum FAR and Density: The proposed FAR is 0.41. The proposed number of units is 180, comprised of Independent Living, Assisted Living, and Memory Care, at a density of 13 du/ac.

Landscape Plan: The landscape shall be consistent with the City's Water Conservation Ordinance Comprehensive City Zoning Code, and xeriscape principles of design in regard to placement, water requirements, turf restrictions and coverage. All landscape areas and the automatic irrigation system will be maintained by the owner in good working order.

**GENERAL NOTES:**

- The purpose of this Site Plan for Subdivision is to subdivide Hoffmantown Baptist Church property in order to create a new tract for development of a senior living facility. The existing land uses and zoning on the remaining Tract A-1 (Hoffmantown Baptist Church) is to remain. This Site Plan for Subdivision is accompanied by a Site Plan for Building Permit.
- Platting to subdivide the property shall be required.

**KEYED NOTES:**

- Existing Property Line
- Proposed Property Line
- Existing Property Line to be vacated
- Existing roadway medians
- Portion of fence within proposed tract to be removed. Fence subject to Fence and Boundary Agreement, Filed: November 21, 1991 (BK BCR 91020 - pg 6683-6688)
- Proposed 26' Water Line and Sewer Line Easement
- Existing Sanitary Sewer Easement, Filed: May 5, 1983 (BK Misc. 11-A, PG-799-802), Refiled: July 13, 1984 (BK Misc. 134A, PG 326-329)
- Existing Sanitary Sewer Easement to be vacated, Filed: May 5, 1983 (BK Misc. 11-A, PG-799-802), Refiled: July 13, 1984 (BK Misc. 134A, PG 326-329)
- Existing 10' Water Line, Sewer Line & Public Utility Easement to remain, Filed: April 2, 1966 (BK D 802, PG 576)
- Existing 10' Water Line to be vacated, Sewer Line & Public Utility Easement to remain, Filed: April 2, 1966 (BK D 802, PG 576)
- Temporary AMAFCA Drainage Easement. Permanent drainage easements will be granted and the temporary drainage easements will be vacated, in accordance with the Subdivision Ordinance, upon improvements to the Pino Arroyo, Filed: November 6, 1986 (BK C32, PG 7)
- Existing 20' Storm Drain Easement to be vacated, Filed: December 27, 1984, (BK C26, PG 3)

- Existing 200' Drainage and Utility Easement, Filed: July 16, 1965, (BK D3, PG 122)
- Existing Agreement to Dedicate R.O.W. for Moon Street extension to be removed per COA Department of Municipal Development, Filed: August 5, 1986 (BK Misc. 379A, PG 652-656)
- Existing Temporary Easement for ingress and egress to manholes
- Existing (40' x 500') Temporary Construction and Maintenance Easement
- Existing 1.867ac. Sewer Easement
- Existing 10' PNM Easement
- Proposed Dedication of Right-of-Way
- A cross lot blanket drainage easement (excluding buildings and structures) granted across Tract A-2 for the benefit of Tract A-1 to be granted with plat. Allowable discharge will be detailed within COA Hydro File E20020B.

**MAJOR AMENDMENT 2.16.2023**  
 REMOVE TRACT A-2 FROM THIS SITE PLAN FOR SUBDIVISION

PROJECT NUMBER: 1007412  
 Application Number: 17EPC-40025  
 This plan is consistent with the specific Site Development Plan approved by the City Council dated April 18, 2018 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes (X) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

<i>[Signature]</i>	1/23/19
Traffic Engineering, Transportation Division	Date
<i>Theresa Cook</i>	01-23-19
ABCWUA	Date
N/A	Date
Parks and Recreation Department	Date
<i>Renee Bruneau</i>	1/23/19
City Engineer/Hydrology	Date
<i>[Signature]</i>	1/23/19
Code Enforcement	Date
N/A	Date
*Environmental Health Department	Date
N/A	Date
Solid Waste Management	Date
<i>[Signature]</i>	1-23-19
DRB Chairperson, Planning Department	Date
*Environmental Health Department, if necessary	Date

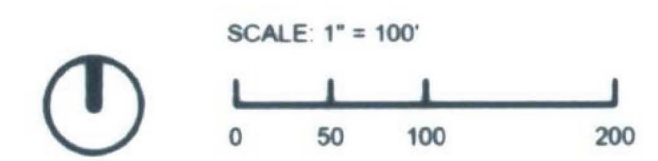


Architecture + Planning  
 888.456.5849  
 ktgy.com

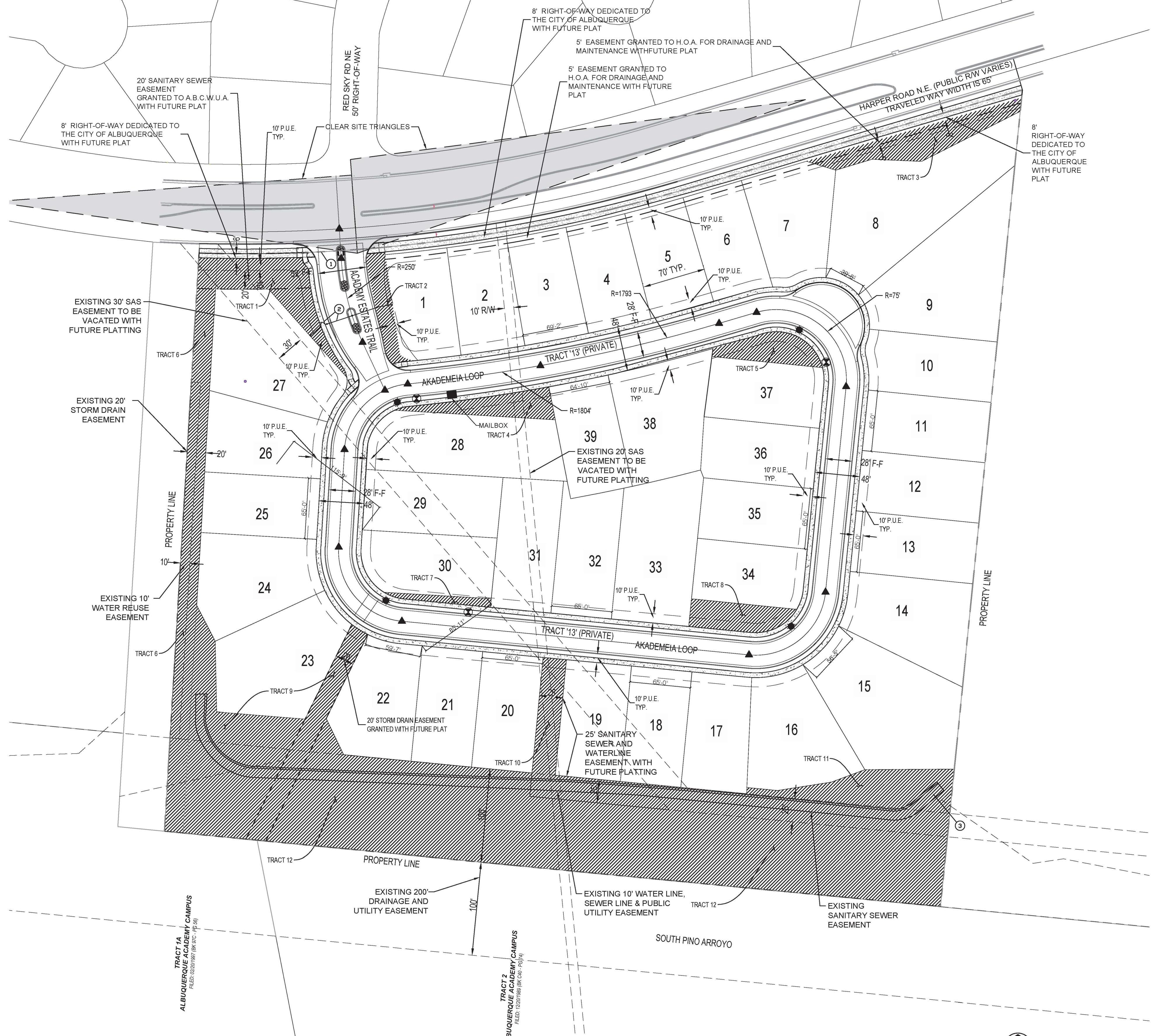


Senior Resource Group  
 500 Stephens Avenue  
 Solana Beach, CA 92075

**HARPER ROAD SENIOR LIVING**  
 ALBUQUERQUE, NM # 2017-0235



**SITE PLAN FOR SUBDIVISION**  
 JANUARY 23, 2019



DEVELOPMENT DATA  
 LEGAL DESCRIPTION: TRACT A-2 PLAT OF TRACTS A-1 AND A-2 HOFFMANTOWN BAPTIST CHURCH SITE (A REPLAT OF TRACT A, HOFFMANTOWN BAPTIST CHURCH SITE AND TRACT B-2, YORBA LINDA SUBDIVISION) CONTAINING 14.0710 ACRES.  
 ZONING: R1-C  
 LAND USE: SINGLE-FAMILY DETACHED  
 PEDESTRIAN AND VEHICULAR ACCESS:

- PRIMARY VEHICULAR ACCESS IS FROM HARPER ROAD NE, AN EXISTING URBAN COLLECTOR. THE SUBDIVISION SHALL BE GATED, AND THE NEW ROADWAY SERVING THE SUBDIVISION SHALL BE PRIVATELY OWNED AND MAINTAINED BY A HOMEOWNERS' ASSOCIATION.
- PEDESTRIAN ACCESS WILL BE PRIVATE, GATED ACCESS FROM HARPER ROAD NE. 5 FOOT SIDEWALKS TO BE PROVIDED WITHIN THE SUBDIVISION. A 10 FOOT ASPHALT TRAIL TO BE PROVIDED ALONG HARPER ROAD.
- TRANSIT ACCESS IS PROVIDED ON WYOMING BOULEVARD (ROUTE 98 & 31) AND VENTANA STREET (ROUTE 2).

LOT SIZES: THE MINIMUM LOT SIZE IN HOFFMANTOWN ESTATES IS 7,000 SQUARE FEET WITH A MINIMUM LOT WIDTH OF 65 FEET.  
 SETBACKS:  
 FRONT, MINIMUM: 15 FEET  
 SIDE, MINIMUM: 5 FEET; STREET SIDE OF CORNER LOTS: MINIMUM 10 FEET  
 REAR, MINIMUM: 15 FEET  
 MAXIMUM BUILDING HEIGHT ALLOWED: 26 FEET  
 BUILDING DESIGN: SINGLE-FAMILY SHALL COMPLY WITH THE BUILDING DESIGN REQUIREMENTS OF IDO SECTION 14-16-5-11(C) LOW-DENSITY RESIDENTIAL DEVELOPMENT.  
 PARKING REQUIREMENTS: DWELLING UNIT IN HOFFMANTOWN ESTATES WILL CONTAIN 3+ BEDROOMS. EACH DWELLING UNITS WILL CONTAIN 4 PARKING SPACES, 2 GARAGE SPACES AND 2 DRIVEWAY SPACES.

- GENERAL NOTES
1. THE PROJECT SHALL COMPLY WITH APPLICABLE PROVISIONS OF IDO-14-16-5-2 SITE DESIGN AND SENSITIVE LANDS AND THE DPM UNLESS A WAIVER APPLIES. THE FOLLOWING WAIVERS WERE APPROVED BY THE DEVELOPMENT REVIEW BOARD ON DECEMBER 7, 2022, AND THE ENVIRONMENTAL PLANNING COMMISSION:
    - DPM SECTION 7-4(E) - PEDESTRIAN FACILITIES - WAIVER TO ALLOW A SIDEWALK ON ONE SIDE OF THE STREET AT THE PRIVATE ENTRYWAYS TO THE SUBDIVISION.
    - DPM SECTION 7-2(C) - TEMPORARY SIDEWALK DEFERRAL - WAIVER TO DEFER THE INSTALLATION OF SIDEWALKS UNTIL EACH HOME CONSTRUCTION IS COMPLETED.
    - DPM SECTION 7-4(A)(3) CONNECTIVITY - WAIVER TO ALLOW TWO BLOCKS WITHIN THE HOFFMANTOWN ESTATES SUBDIVISION TO EXCEED 600 FEET, THE MAXIMUM BLOCK LENGTH FOR A LOCAL STREET. AKADEMEIA LOOP, THE PRIMARY LOCAL STREET WITHIN THE SUBDIVISION, IS 1,565 IN LENGTH.
    - DPM SECTION 7-4(I)(2) STANDARD CENTERLINE RADIUS FOR A LOCAL ACCESS STREET OF 75 FEET WITH APPROVAL OF THE TRAFFIC ENGINEER. WAIVER TO THE CENTERLINE RADIUS AT FOUR CORNERS OF THE LOW-SPEED, PRIVATE THOROUGHFARE OF AKADEMEIA LOOP, WHERE THE ROAD IS 90 DEGREES OR NEAR 90 DEGREES.
    - IDO SECTION 5-4(F)(2)(B) - RESIDENTIAL LOTS SHALL AVOID LAYOUTS WHERE THE REAR LOT LINE IS ADJACENT TO A COLLECTOR OR ARTERIAL STREET. WAIVER TO ALLOW FOR THE SEVEN LOTS ON THE NORTH SIDE OF THE SUBDIVISION WITH REAR YARD LOT LINES ADJACENT TO HARPER ROAD, AN URBAN MINOR ARTERIAL.
  2. TRACTS 1 - 13 WILL BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION. TRACTS 1-11 FOR BEAUTIFICATION PURPOSES; TRACT 12 FOR THE ARROYO; TRACT 13 FOR VEHICULAR AND PEDESTRIAN ACCESS.
  3. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.
  4. ALL INTERNAL SIDEWALKS SHALL BE 5' IN WIDTH.
  5. PRIVATE ROADWAY IMPROVEMENTS SHALL BE BUILT BY CITY WORK ORDER.
  6. PERIMETER WALLS SHALL COMPLY WITH IDO SECTIONS 5-7 (E) (3) WALL DESIGN. WHERE ADJACENT TO THE SOUTH PINO ARROYO, WALLS SHALL COMPLY WITH IDO SECTION 5-7 (3) (4).
  7. ON SITE TRANSFORMERS SHALL HAVE A 5-FOOT CLEAR AREA ON THE SIDES AND REAR AND A 10-FOOT CLEAR AREA IN FRONT TO ALLOW FOR ACCESS AND MAINTENANCE.
  8. THE SITE PLAN SHALL COMPLY WITH IDO 14-16-5-2(i)(4) SITE DESIGN AND SENSITIVE LANDS - LANDSCAPING ADJACENT TO ARROYOS, AND THE FACILITY PLAN FOR ARROYOS - LANDSCAPING & OPEN SPACE:
    - DISTURBED AREAS SHALL BE RESEEDED AND/OR PLANTED WITH LOW-WATER, LOW-MAINTENANCE, NATIVE, OR NATURALIZED PLANT MATERIALS [14-16-5-2(i)(4)(B)].
    - LANDSCAPING ON LOTS ABUTTING ARROYOS SHALL BE PURSUANT TO 14-16-5(C)(4) - REQUIRED PLANT MATERIALS AND SITE AMENITIES [14-16-5-6(C)(4) - REQUIRED PLANT MATERIALS AND SITE AMENITIES [14-16-5-2(i)(4)(B)].
    - SEE LANDSCAPE PLAN FOR LANDSCAPING ADJACENT TO ARROYO.
  9. ALL STREET LIGHT FIXTURES AND SITE LIGHTING SHALL BE IN COMPLIANCE WITH IDO SECTION 5-8 OUTDOOR AND SITE LIGHTING.
  10. RETAINING WALLS ALONG HARPER ROAD WILL BE TIERED AND NO HIGHER THAN 8 FOOT
  11. A 10 FOOT ASPHALT TRAIL AND STREET TREES SHALL BE PROVIDED ALONG THE HARPER ROAD FRONTAGE (SEE SHEETS 3 & 4 FOR HARPER CROSS SECTIONS)
  12. AIR RELEASE VALVE AND SURGE VALVE ARE NOT REQUIRED AND HAVE BEEN COORDINATED THROUGH THE DRC PROCESS. THE EXISTING WATER AND SEWER UTILITIES LOCATED IN THE EXISTING UTILITY EASEMENT SHOWN SHALL BE ABANDONED OR REMOVED AS REQUIRED THROUGH THE DRC PROCESS AND SHALL BE COORDINATE WITH ABCWUA.

- KEYED NOTES:
1. DIVIDED ENTRY WITH 52' INGRESS AND EGRESS LANES
  2. VEHICULAR GATE AND PEDESTRIAN GATE
  3. BANK PROTECTION - SEE GRADING AND DRAINAGE PLAN SHEETS

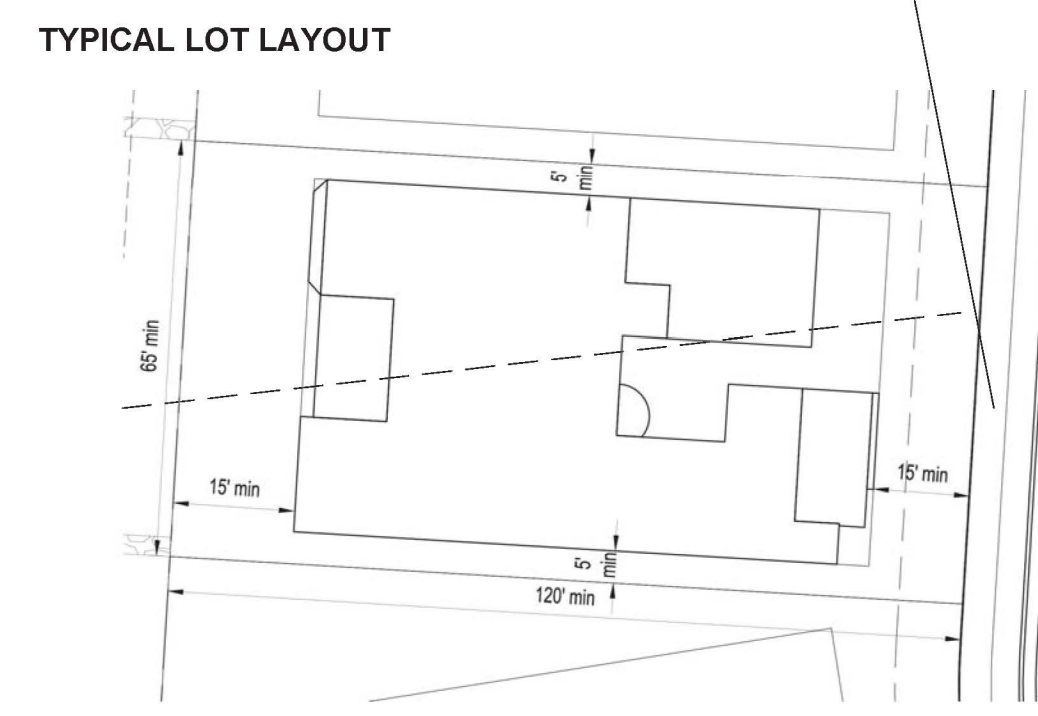
PROJECT NUMBER: PR-2018-001560  
 Application Number: SI-2023-00554

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated December 7, 2022 and the Findings and Conditions in the Official Notification of Decision are satisfied.

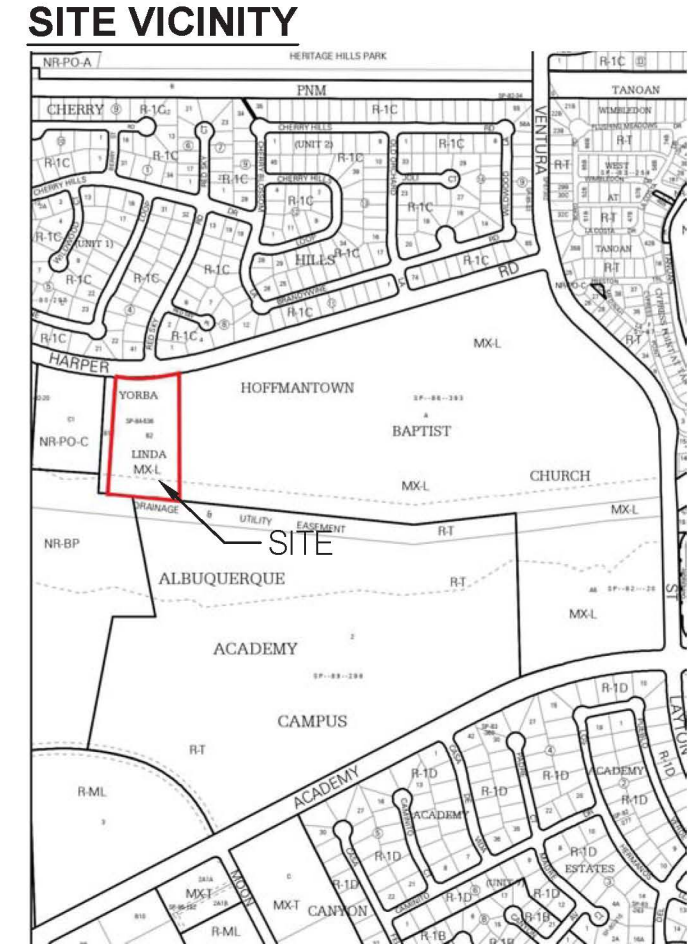
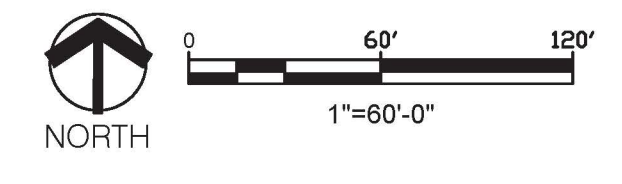
Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

<i>Ernest Armijo</i>	Apr 5, 2023
Traffic Engineering, Transportation Division	Date
<i>[Signature]</i>	Apr 6, 2023
Date	
ABCWUA	Apr 5, 2023
<i>[Signature]</i>	Date
Parks and Recreation Department	Apr 6, 2023
<i>[Signature]</i>	Date
Hydrology	Apr 5, 2023
<i>[Signature]</i>	Date
Code Enforcement	
N/A	Date
*Environmental Health Department (conditional)	
	Date
Solid Waste Management	Apr 7, 2023
<i>[Signature]</i>	Date
Planning Department	



- LEGEND
- COMMON TRACTS OWNED AND MAINTAINED BY THE HOA.
  - CONCRETE PAVING.
  - 10' MULTI-PURPOSE TRAIL.



# THE ESTATES AT ACADEMY

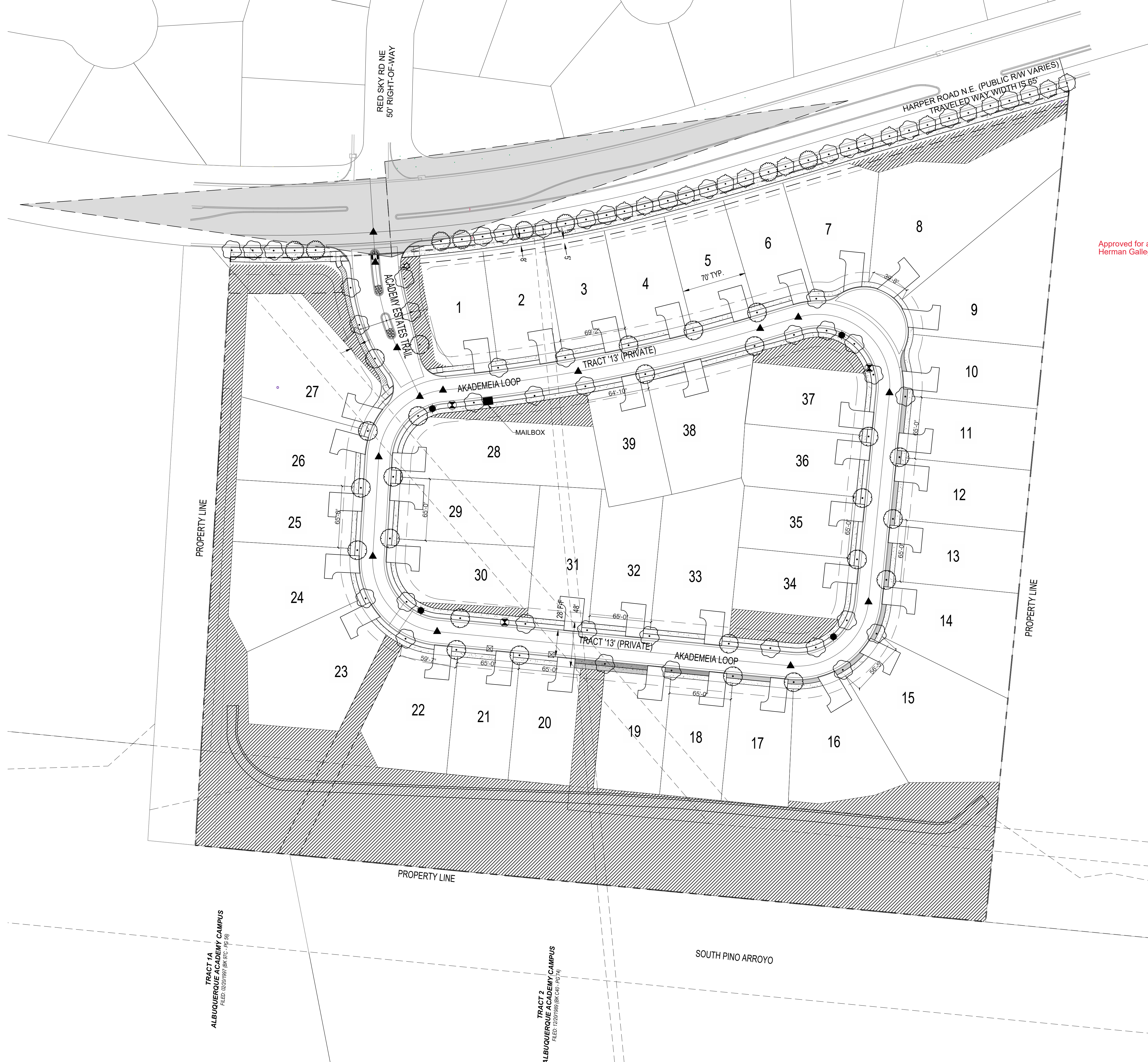
## SITE PLAN - EPC

**NOT FOR CONSTRUCTION**

PREPARED FOR:  
 PULTE GROUP  
 7601 JEFFERSON ST. NE, STE. 320  
 ALBUQUERQUE, NM 87109

PREPARED BY:  
 CONSENSUS PLANNING, INC.  
 302 EIGHTH STREET NW  
 ALBUQUERQUE, NM 87102

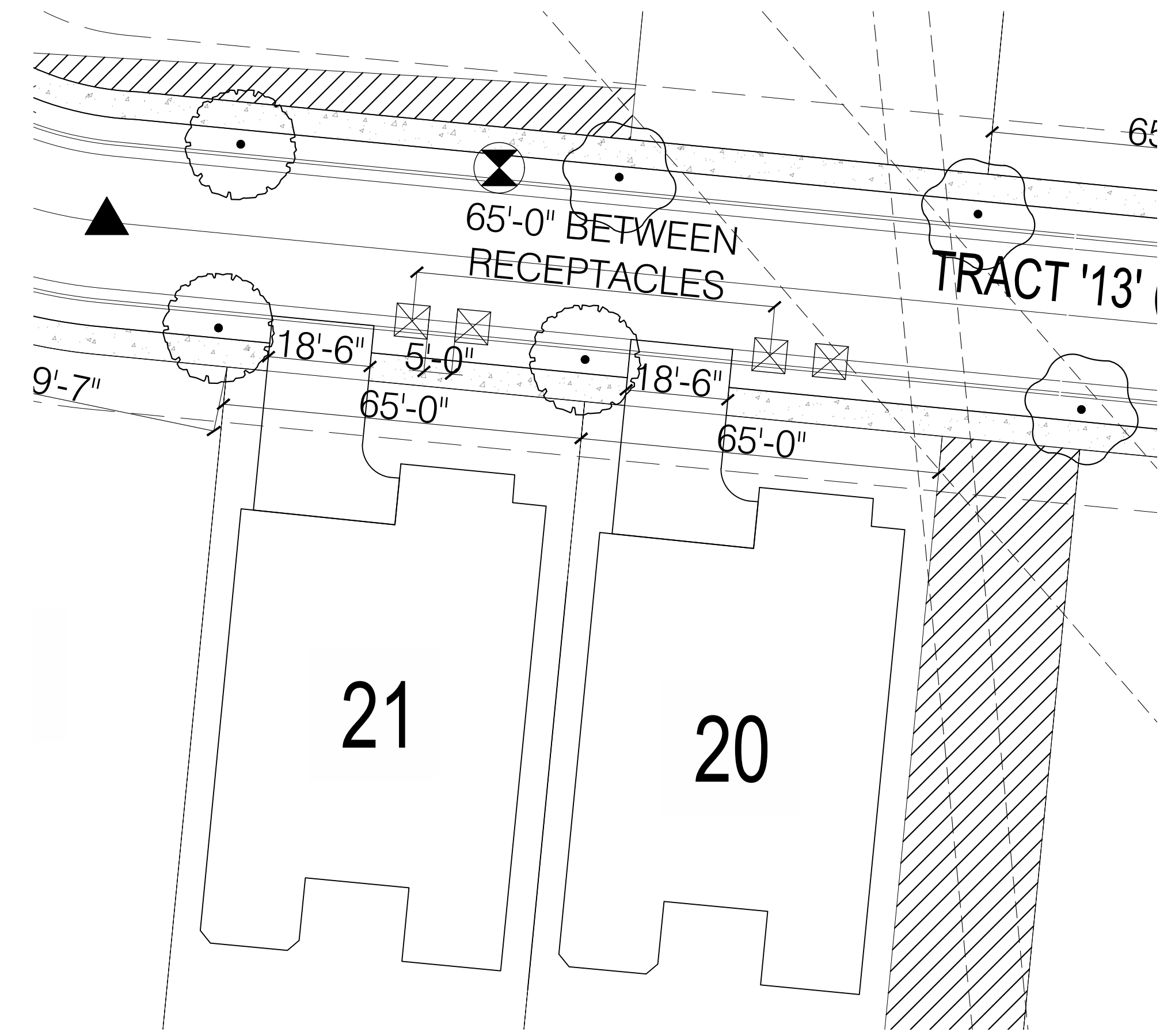
BOHANNAN HUSTON  
 7500 JEFFERSON NE  
 ALBUQUERQUE, NM



- LEGEND**
- TREES
  - PRIVATE STREET LIGHT
  - FIRE HYDRANT
  - MAILBOX
  - TRASH RECEPTACLE

NOTE: SOLID WASTE WILL BE PROVIDED WITH A CODE FOR THE KEY PAD FOR ACCESS TO THE SUBDIVISION

Approved for access by the Solid Waste Department  
Herman Gallegos 03-10-23 *Herman Gallegos*

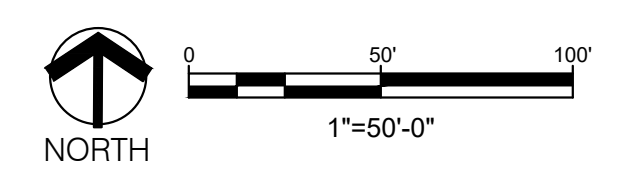


TYPICAL LOT LAYOUT

**THE ESTATES AT ACADEMY**  
SITE PLAN - EPC

TRACT 1A  
ALBUQUERQUE ACADEMY CAMPUS  
FILED: 02/20/1981 (RM, 915, 145, 145)

TRACT 2  
ALBUQUERQUE ACADEMY CAMPUS  
FILED: 12/20/1989 (RM, 915, 145, 145)



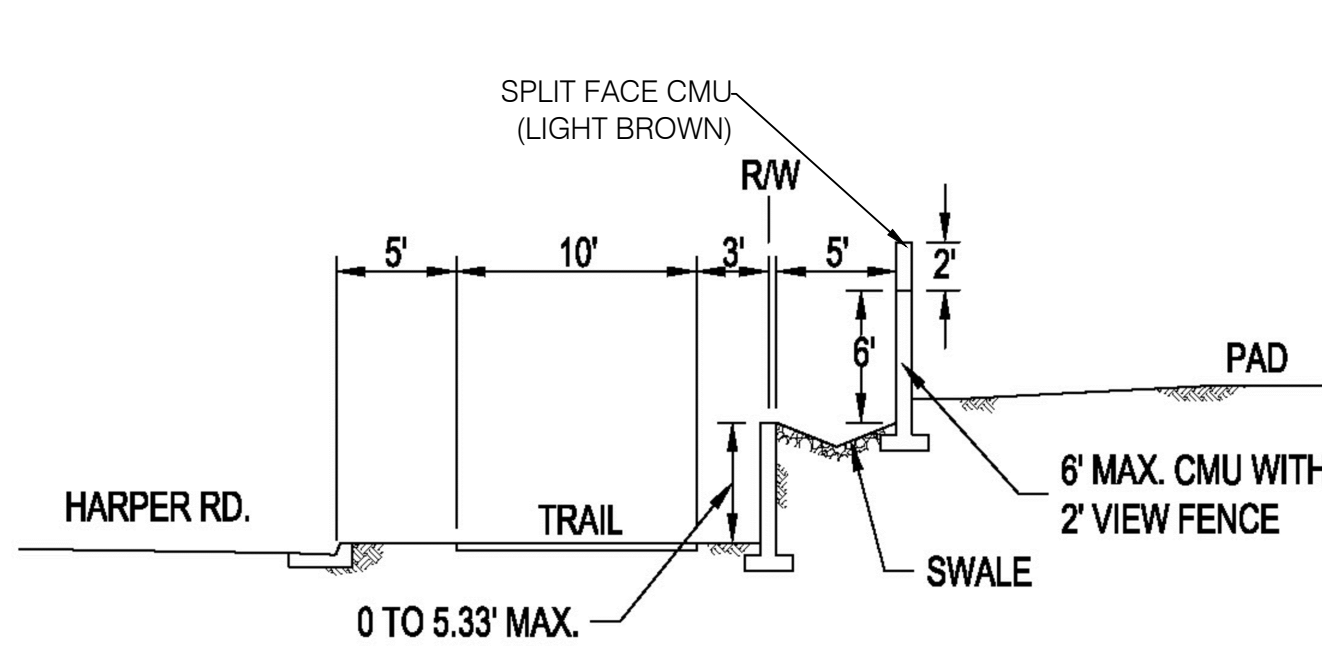
**TYPICAL ELEVATIONS**



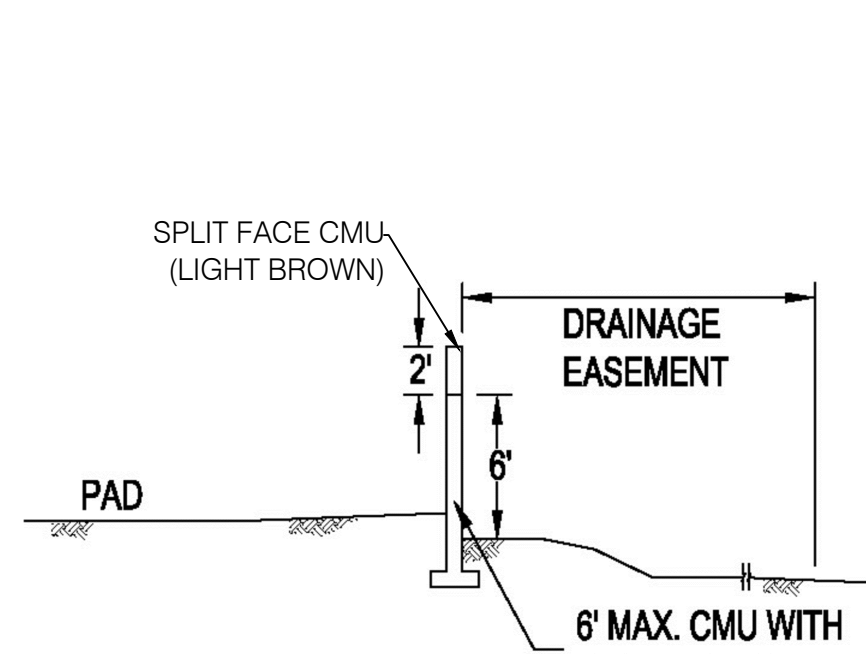
**TYPICAL ELEVATIONS**

1. THE DWELLING UNITS MAY BE 1 OR 2 STORIES. THE MAXIMUM HEIGHT SHALL BE 26 FEET PER IDO TABLE 2-3-3 R-1 ZONE DISTRICT DIMENSIONAL STANDARDS SUMMARY.
2. PRIMARY FINISH MATERIALS SHALL BE STUCCO. STONE MAY BE USED AS AN ACCENT MATERIAL.
3. ROOFS MAY BE FLAT, PITCHED, OR A COMBINATION.
4. WINDOWS SHALL BE RECESSED NOT LESS THAN 2 INCHES AND / OR SHALL BE SURROUNDED BY A WINDOW CASING NOT LESS THAN 2 INCHES WIDE, PER IDO SECTION 5-11(C)(2).
5. FOR ANY SIDE-ACCESS GARAGE, ANY STREET FACING FACADE OF THE GARAGE SHALL BE ARTICULATED TO RESEMBLE THE FACADE OF THE PRIMARY BUILDING AND SHALL INCLUDE AT LEAST 5 FEET OF WINDOWS ALONG THE LENGTH OF THE STREET-FACING FACADE OF THE GARAGE, PER IDO SECTION 5-11(C)(3)(a).

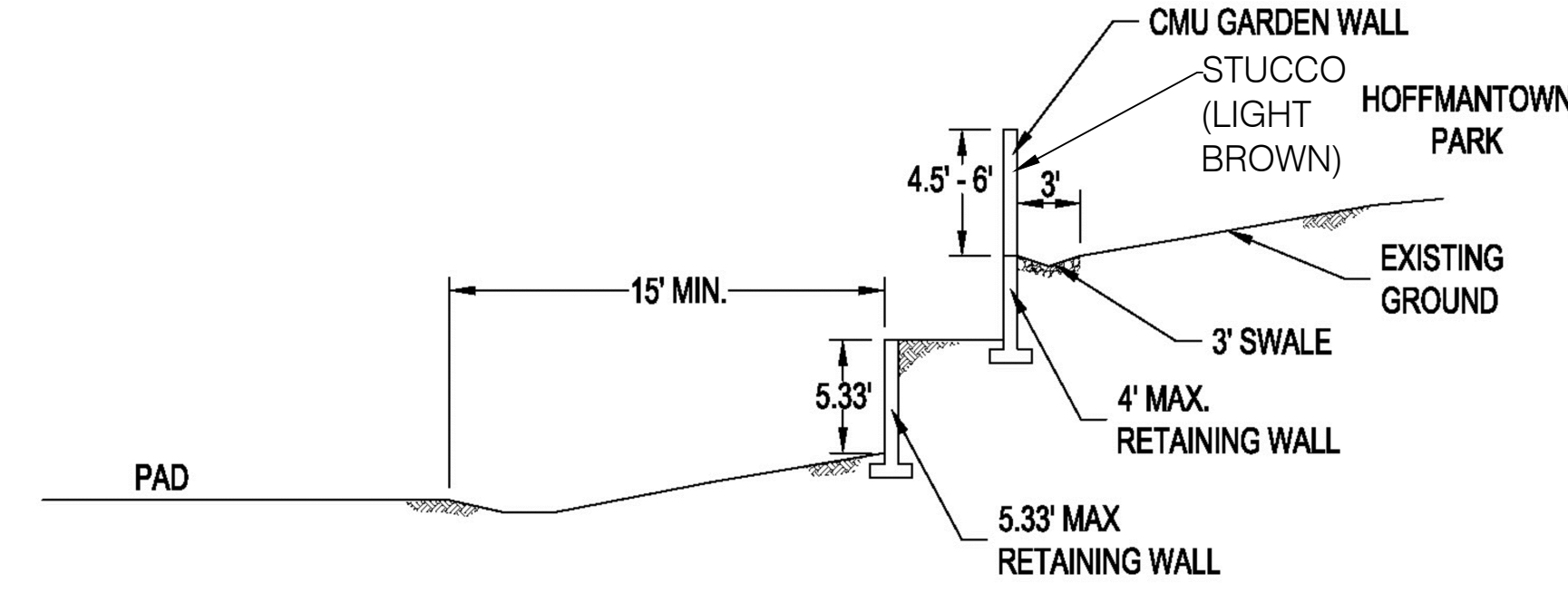
**RETAINING WALLS**



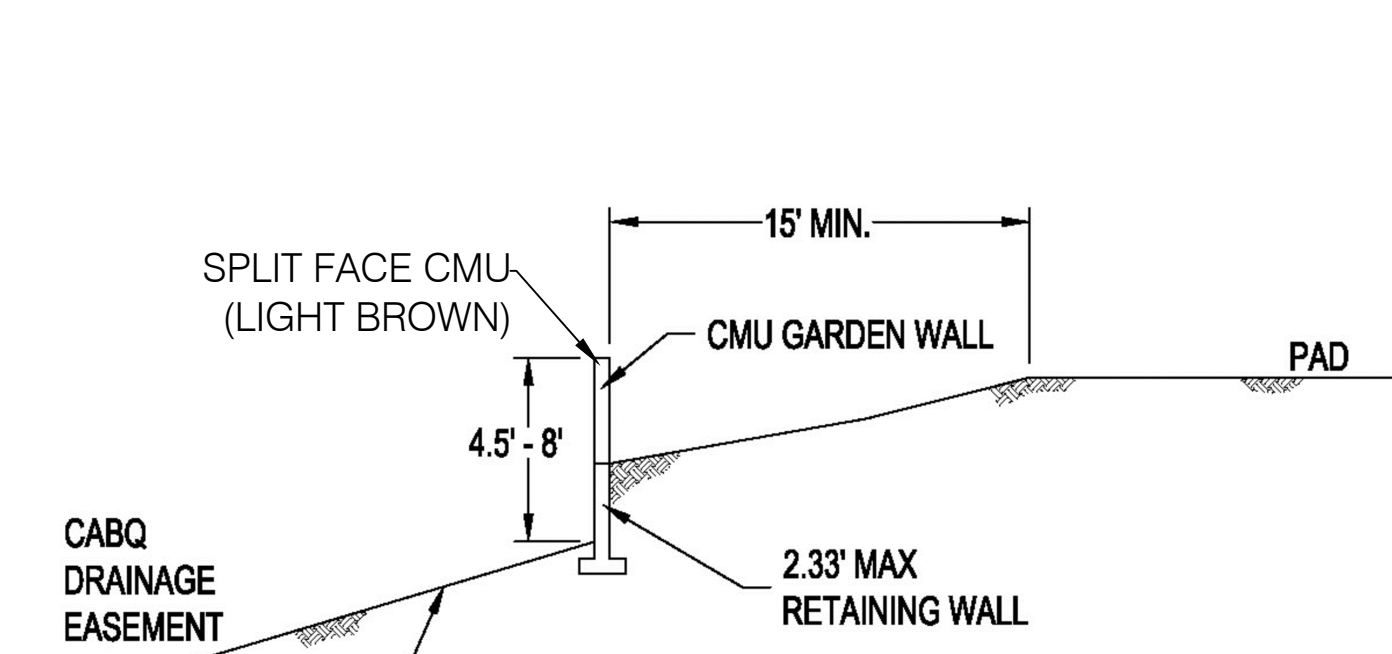
**HARPER WALL SECTION**  
NOT TO SCALE



**ARROYO WALL SECTION**  
NOT TO SCALE



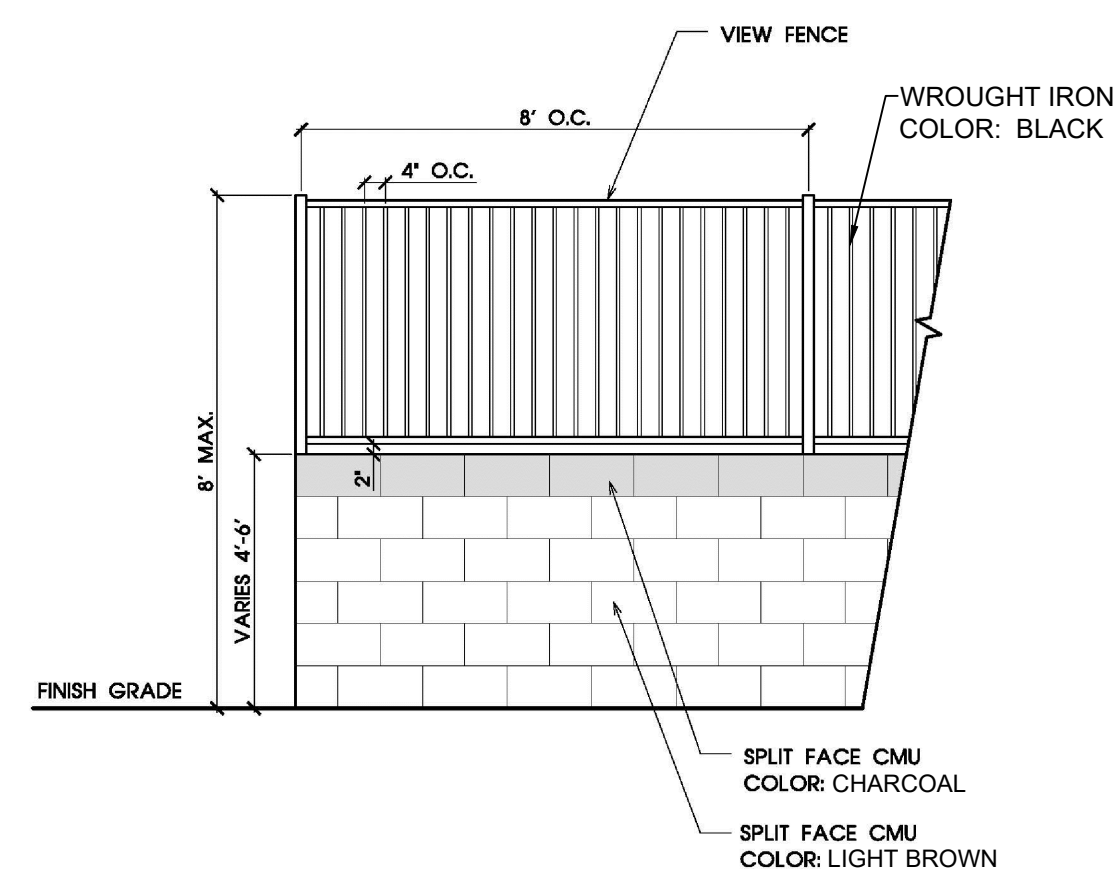
**EAST WALL SECTION**  
NOT TO SCALE



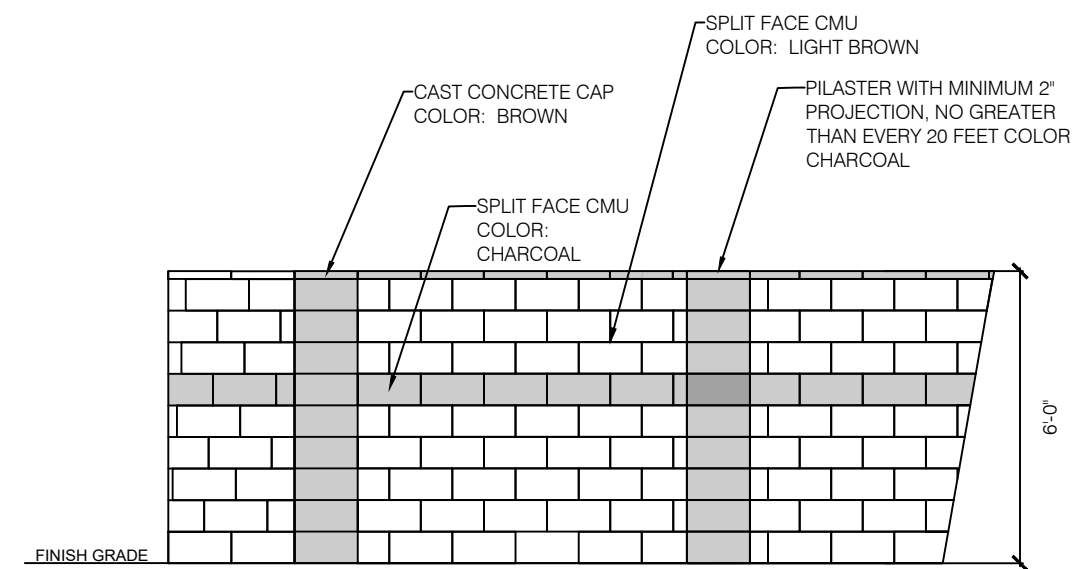
**WEST WALL SECTION**  
NOT TO SCALE

**NOTE:**  
RETAINING WALL HEIGHT SHALL BE IN ACCORDANCE WITH 5-7 (F) RETAINING WALL STANDARDS.

**PRIVACY WALL WITH VIEW FENCE**



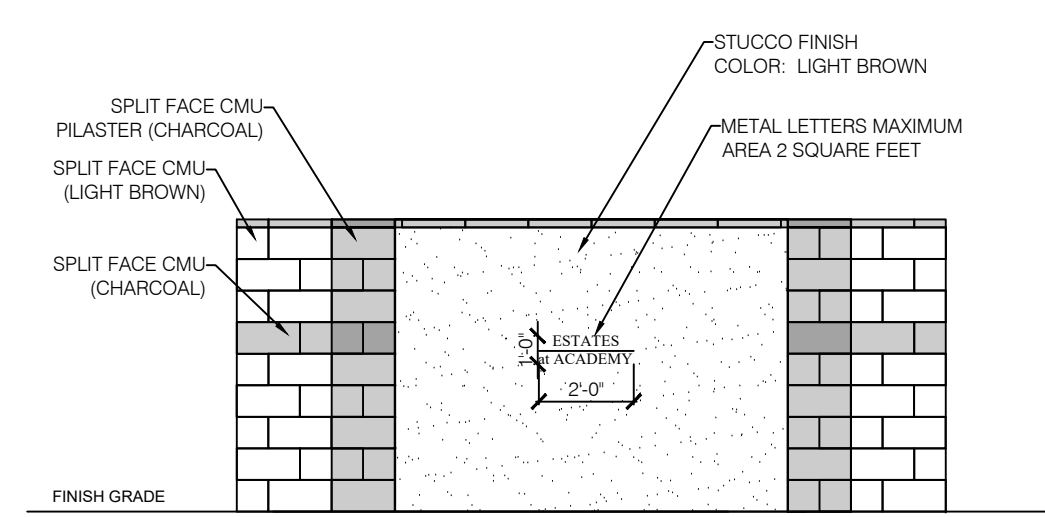
**PERIMETER WALL**



**WALL NOTES:**

1. ALL WALLS SHALL MEET THE STANDARDS CONTAINED IN THE IDO SECTION 5-7: WALLS AND FENCES RELATIVE TO HEIGHT, LOCATION, ARTICULATION AND ALIGNMENT, AND MATERIALS AND DESIGN.
2. A CONTINUOUS OVERHANG CAP WILL PROJECT A MINIMUM OF 2 INCHES FROM THE PUBLIC SIDE OF THE WALL.
3. PILASTERS SHALL BE PROVIDED AT INTERVALS OF NO GREATER THAN 20 FEET.

**WALL SIGN**

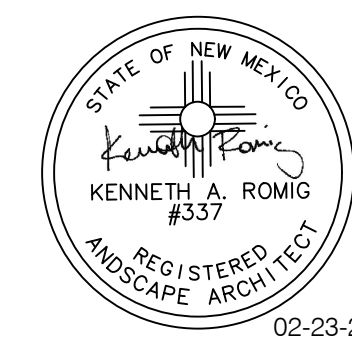


**THE ESTATES AT ACADEMY**  
**DETAILS - EPC**

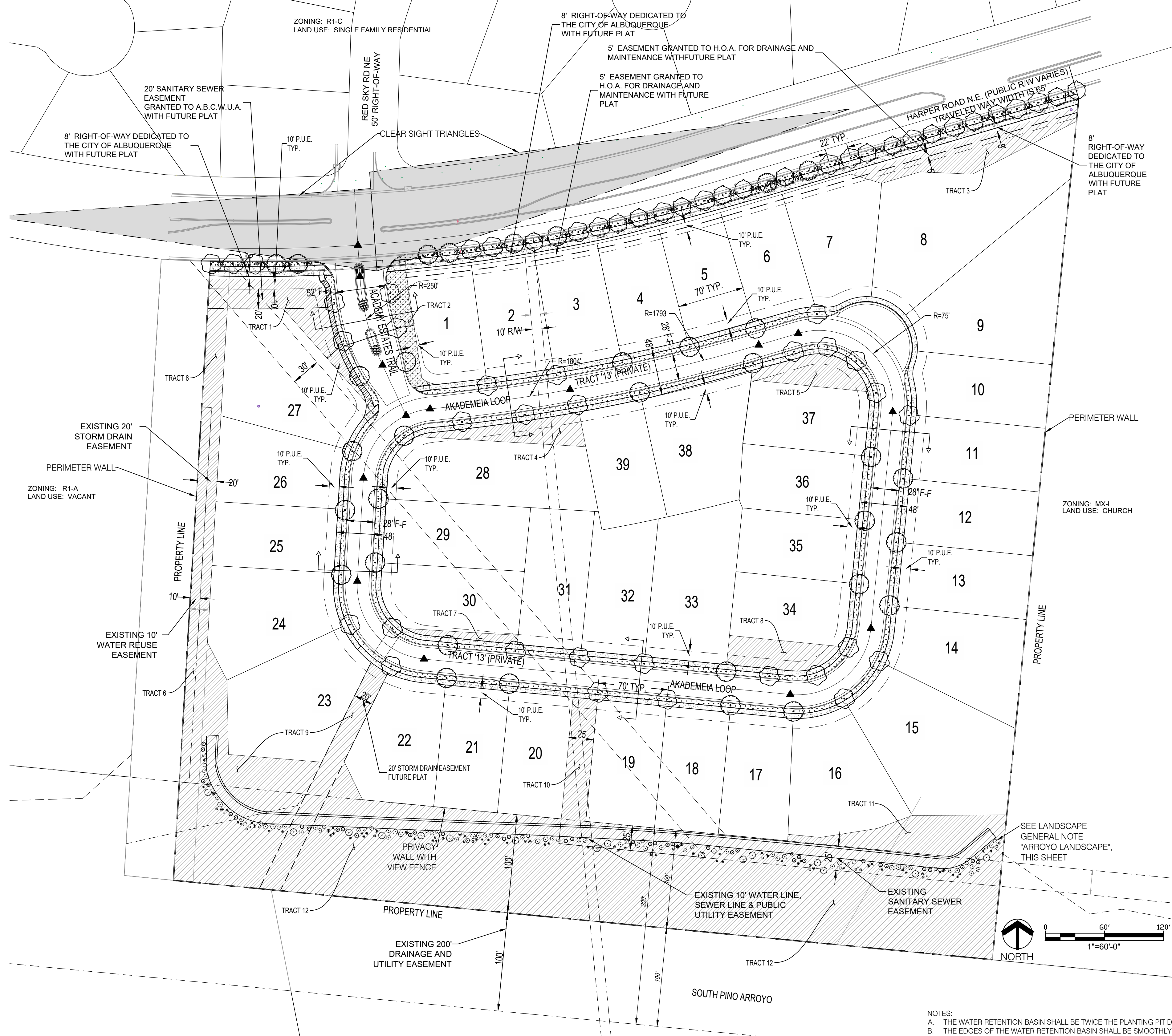
PREPARED FOR:  
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302 EIGHTH STREET NW  
ALBUQUERQUE, NM 87102

BOHANNAN HUSTON  
7500 JEFFERSON NE  
ALBUQUERQUE, NM



02-23-2023



**GENERAL LANDSCAPE NOTES**

**IRRIGATION:** IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS AND SHRUBS/ GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS.

**RESPONSIBILITY OF MAINTENANCE:** MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER

**DISTURBED AREAS:** DISTURBED AREAS SHALL BE RESEED OR PLANTED WITH LOW-WATER, LOW MAINTENANCE, NATIVE, OR NATURALIZED PLANT MATERIALS AND MAINTAINED BY THE HOA FOR THREE (3) YEARS.

**ARROYO LANDSCAPE:** LANDSCAPE ADJACENT TO THE ARROYO SHALL CONSIST OF LOW MAINTENANCE, NATIVE PLANTS CHOSEN FROM THE ALBUQUERQUE PLANT PALETTE (IDO-14-16-5-6(C)(4)(C)) AND IN THE FACILITY PLAN FOR ARROYOS.

**METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE:** THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

**PNM COORDINATION:** COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

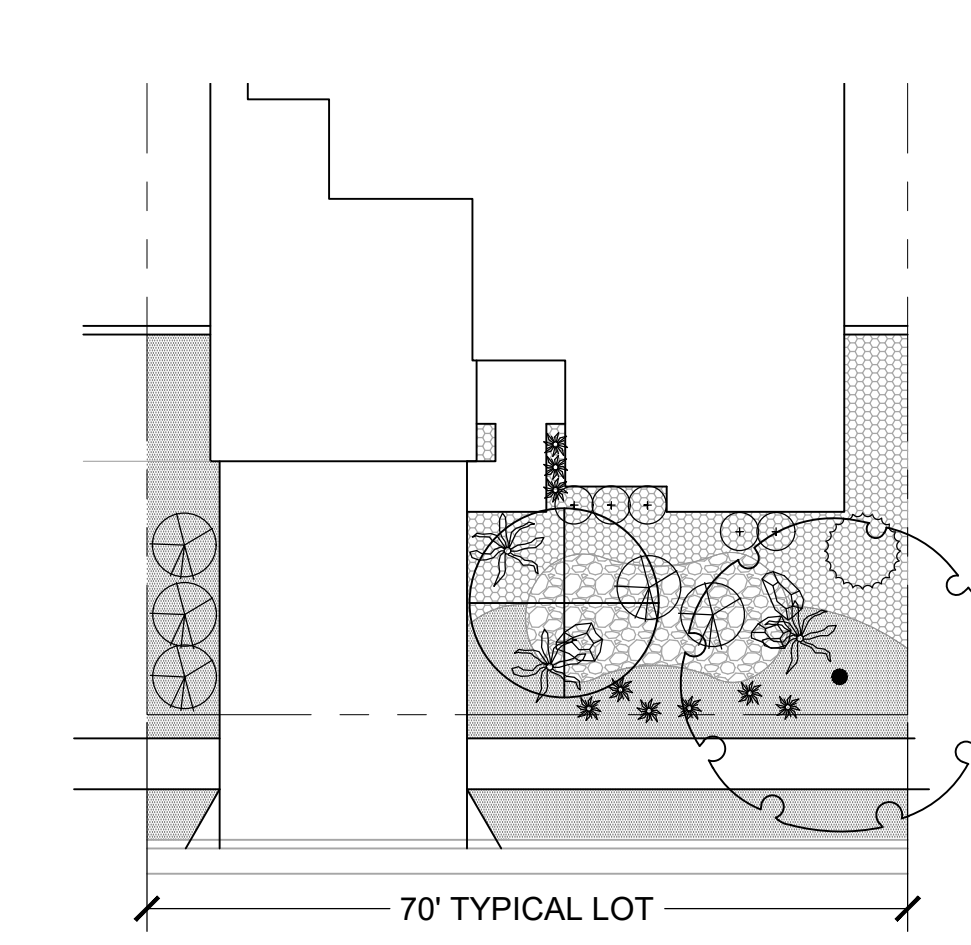
**CLEAR SIGHT DISTANCE:** LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

**SHREDDED BARK MULCH AT TREES:** SHREDDED BARK MULCH WILL BE PROVIDED BENEATH THE ENTIRE TREE CANOPY FOR ALL NEW TREES IN LANDSCAPE AREAS. PROVIDE 3' DIAMETER CIRCLE.

**STREET TREES:** STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 22' O.C. / HARPER ROAD NE STREET FRONTAGE = 900'  
NUMBER OF TREES REQUIRED: 36 / NUMBER OF TREES PROVIDED: 36

**PLANT SCHEDULE**

TREES	QTY	BOTANICAL / COMMON NAME	INSTALL SIZE	MATURE WIDTH	WTER USE
	8	Pistacia chinensis / Chinese Pistache	2" Cal. B&B	35' x 25'	Medium
	25	Pyrus calleryana 'Autumn Blaze' / Autumn Blaze Callery Pear	2" Cal. B&B	35' x 25'	Medium
	14	Ulmus carpinifolia x parvifolia 'Frontier' / Frontier Elm	2" Cal. B&B	35' x 25'	Medium
	43	Ulmus davidiana japonica 'JFS-Bieberich' / Emerald Sunshine® Elm	2" Cal. B&B	25' X 25'	Medium
SHRUBS	QTY	BOTANICAL / COMMON NAME	INSTALL SIZE	MATURE SIZE	WATER USE
	35	Achillea millefolium 'Paprika' / Paprika Common Yarrow	1 gal.	2' x 2'	Medium
	36	Artemisia filifolia / Sand Sagebrush	5 gal.	3' x 5'	Low
	16	Atriplex canescens / Fourwing Saltbush	5 gal.	6' x 8'	Low
	70	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass	5 gal.	3' x 2'	Medium
	33	Caryopteris x clandonensis 'Dark Knight' / Dark Knight Bluebeard	5 gal.	3' x 5'	Low
	17	Chrysothamnus nauseosus / Rubber Rabbitbrush	5 gal.	5' x 5'	Low
	29	Dasyliiron wheeleri / Grey Desert Spoon	5 gal.	5' x 4'	Low
	15	Ericameria laricifolia 'Aguirre' / Aguirre Turpentine Bush	5 gal.	3' x 4'	Low
	14	Fallugia paradoxa / Apache Plume	5' Ht.	4' x 5'	Low
	90	Nepeta x faassenii 'Walker's Low' / Walker's Low Catmint	1 gal.	1' x 2'	Low
	28	Penstemon pseudospectabilis / Desert Beardtongue	1 gal.	3' x 3'	Low
	14	Purshia mexicana / Mexican Cliffrose	5 gal.	6' x 6'	Low
	39	Yucca glauca / Soapweed	5 gal.	3' x 3'	Low



**FRONT YARD PLANT LEGEND**

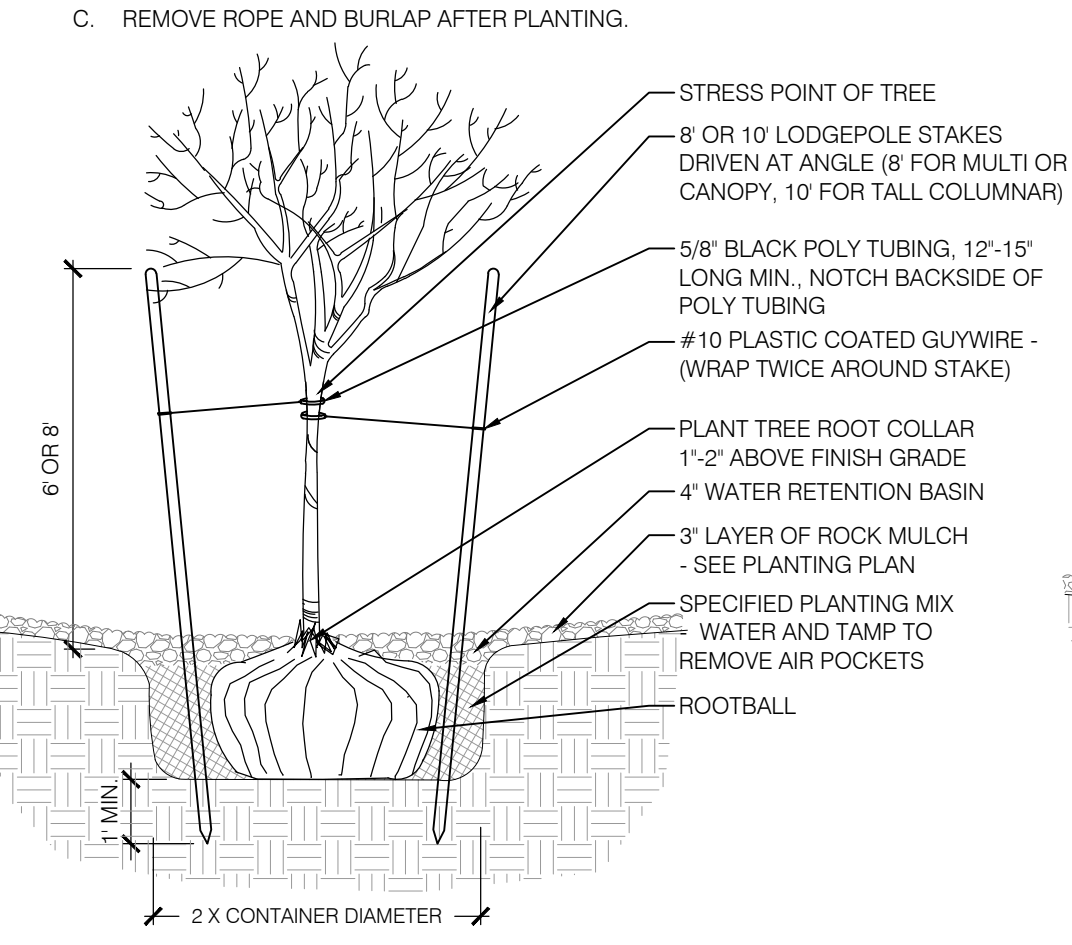
SYMBOL	SCIENTIFIC NAME, COMMON NAME	SIZE
	<b>TREES</b>	
	SHADE TREES - 1 PER YARD ULMUS SPP. : HYBRID ELMS PISTACHE X 'RED PUSH', RED PUSH PISTACHE	1.5" B&B
	ORNAMENTAL TREES - 1 PER YARD LAGERSTROEMIA INDICA 'MUSKOGEE', MUSKOGEE CRAPE MYRTLE (MS) MALUS 'ROYAL RAINDROPS', ROYAL RAINDROPS CRABAPPLE VITEX AGNUS-CASTUS, CHASETREE (MS)	1.5" B&B
	<b>SHRUBS/GROUNDCOVERS</b>	
	LARGE SHRUBS - 3 PER YARD BUDDLEIA DAVIDII, BUTTERFLY BUSH FALLUGIA PARADOXA, APACHE PLUME CYTISUS SCOPARIUS 'ALL GOLD', ALL GOLD SCOTCH BROOM VAUQUELINIA CALIFORNICA, ARIZONA ROSEWOOD	5 GAL
	SMALL SHRUBS - 5 PER YARD LAVANDULA ANGUSTIFOLIA, ENGLISH LAVENDER RHAPHIOLERIS INDICA 'MONTO', PRINCESS INDIAN HAWTHORN ROSA 'KNOCK OUT', KNOCK OUT ROSE	3 GAL
	GROUND COVERS - 3 PER YARD RHUS AROMATICA 'GRO-LOW', PROSTRATE SUMAC ROSMARINUS OFFICINALIS 'PROSTRATA', PROSTRATE ROSEMARY	3 GAL
	ACCENTS/GRASSES - 9 PER YARD CALAMAGROSTIS A. 'KARL FOERSTER', KARL FOERSTER GRASS DASYLIRON WHEELERI, DESERT SPOON MISCANTHUS SINENSIS 'YAKU JIMA', DWARF MAIDEN GRASS SALVIA NEMOROSA, MAY NIGHT SALVIA SANTOLINA CHAMAEYCYPARISSUS, LAVENDER COTTON	1 GAL

**MULCHES AND BOULDERS**

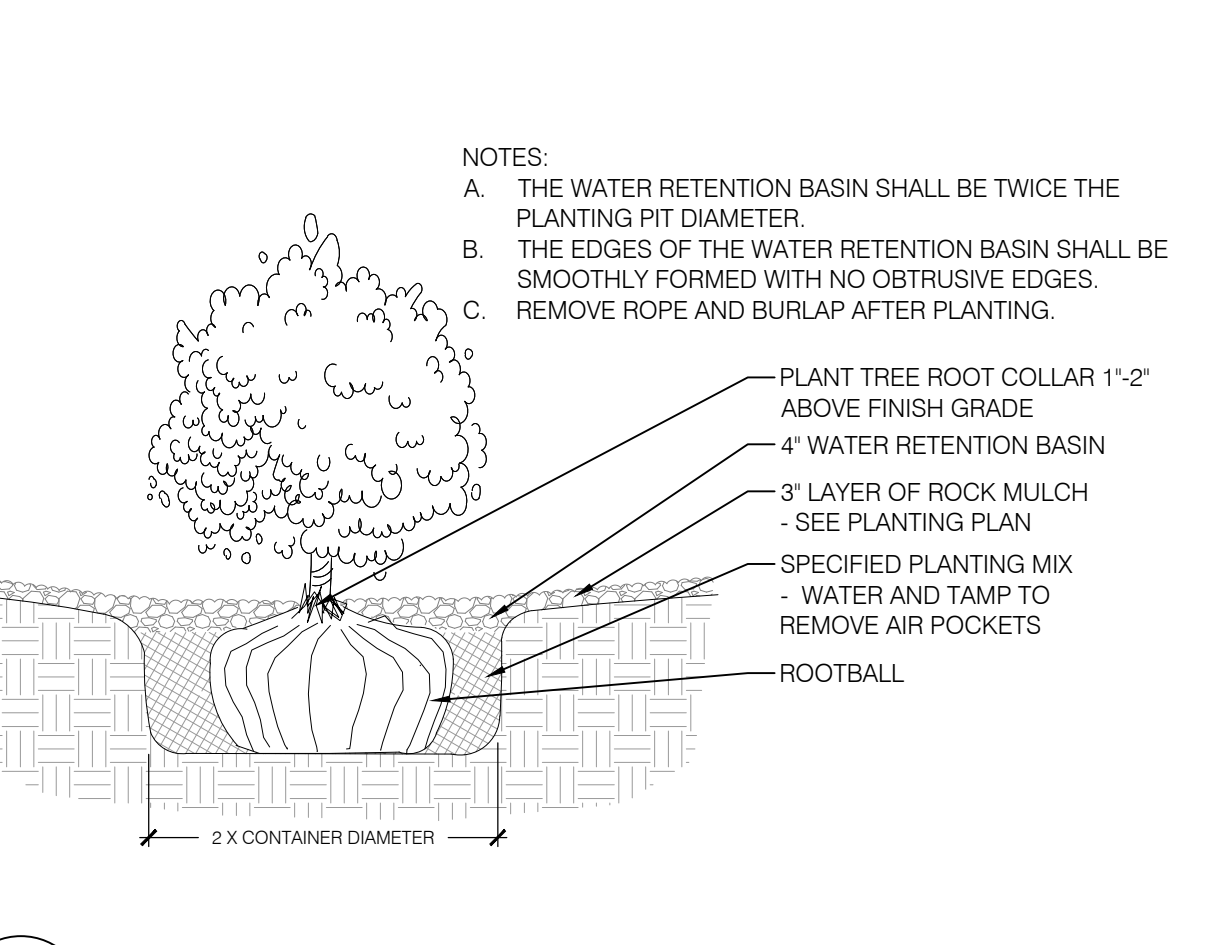
- 7/8" SANTA FE BROWN GRAVEL MULCH (3" DEPTH OVER FILTER FABRIC)
- 2"-4" COYOTE MIST COBBLE MULCH (6" DEPTH OVER FILTER FABRIC)
- MOSS ROCK BOULDERS (MIN 27CF)

**IRRIGATION SYSTEM**

A DRIP IRRIGATION SYSTEM IS TO BE INSTALLED AT EACH FRONT YARD LANDSCAPE. IRRIGATION SYSTEM TO TAP THE RESIDENTIAL DOMESTIC LINE AND INCLUDE: AN ATMOSPHERIC BACKFLOW PREVENTER, FEBCO SEARIES 715, OR EQUAL; DRIP VALVE CONTROL ZONE KIT, RAIN BIRD XCZLF, OR EQUAL, IN STANDARD VALVE BOX WITH EXTENSIONS AS REQUIRED; 3/4" POLYETHYLENE PIPE, 6" DEPTH MIN, PINNED EVERY 10', WITH COMPRESSION FITTINGS AND FLUSH CAP, IN 8" ROUND VALVE BOX; RAIN BIRD XERI-BUG EMITTERS WITH 1/4" DISTRIBUTION TUBING PINNED AT EACH TREE AND SHRUB; DRIP EMITTERS, RAIN BIRD XB-10 - 1 GPH EMITTERS (2/SHRUB) AND XB-20 - 2 GPH EMITTERS (6/TREE), OR EQUAL; IRRIGATION CONTROLLER, 4-STATION, RAIN BIRD ESP-RXZ, OR EQUAL, INSTALLED ON WALL IN GARAGE. THE IRRIGATION SYSTEM TO BE INSTALLED TO ADEQUATELY IRRIGATE ALL PROPOSED PLANT MATERIALS TO ACHIEVE 2 GALLONS OF WATER AT SHRUBS AND 12 GALLONS OF WATER AT TREES PER CYCLE.



**TREE PLANTING** SCALE: N.T.S.



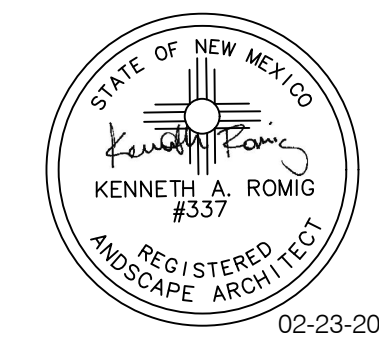
**SHRUB PLANTING** SCALE: N.T.S.

**THE ESTATES AT ACADEMY LANDSCAPE PLAN**

PREPARED FOR:  
PULTE GROUP  
7601 JEFFERSON ST. NE, STE. 320  
ALBUQUERQUE, NM 87109

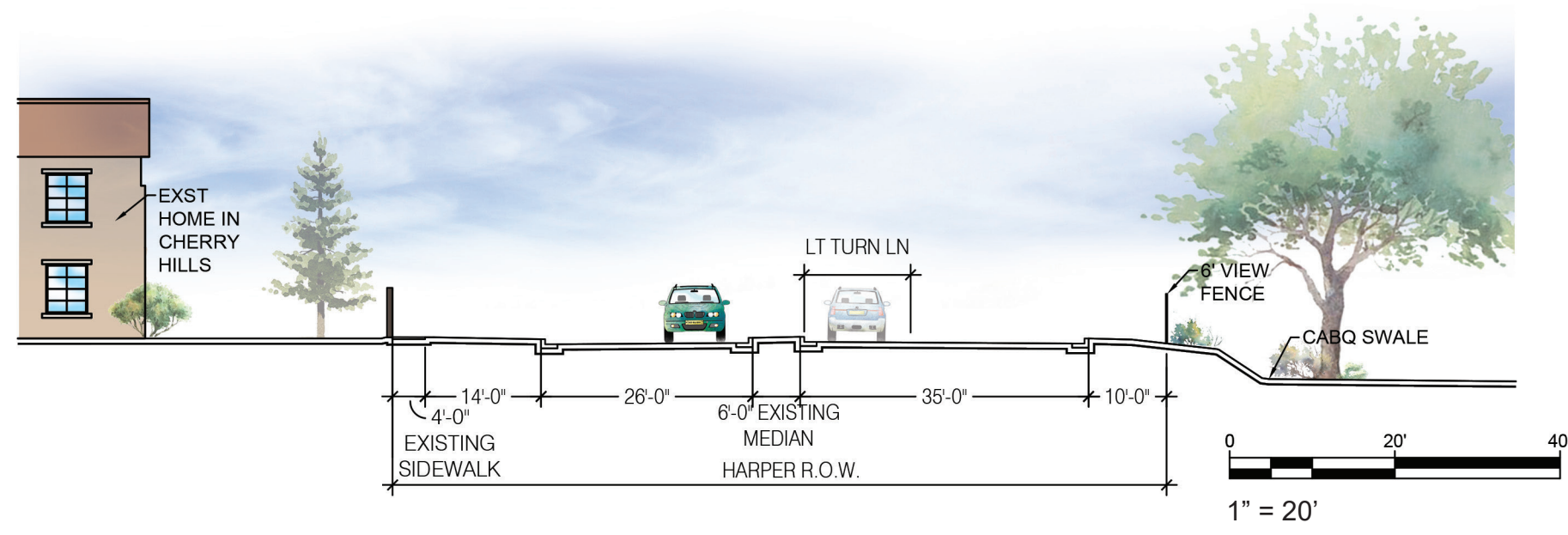
PREPARED BY:  
CONSENSUS PLANNING, INC.  
302 EIGHTH STREET NW  
ALBUQUERQUE, NM 87102

BOHANNAN HUSTON  
7500 JEFFERSON NE  
ALBUQUERQUE, NM 87109

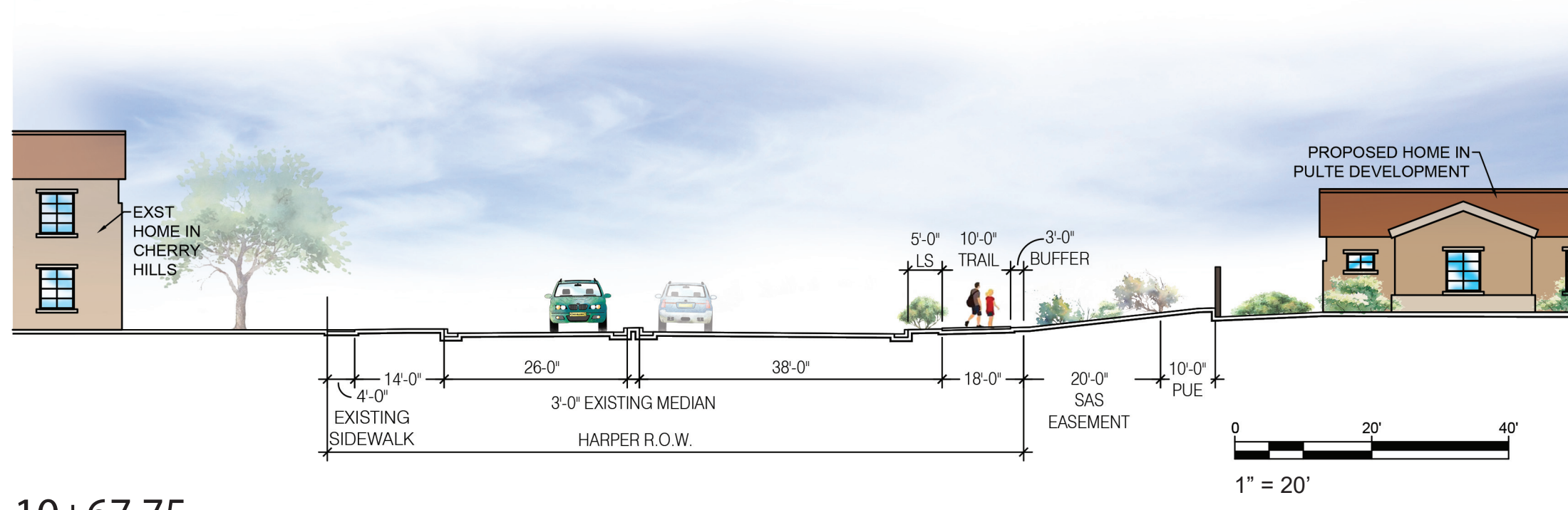


02-23-2023

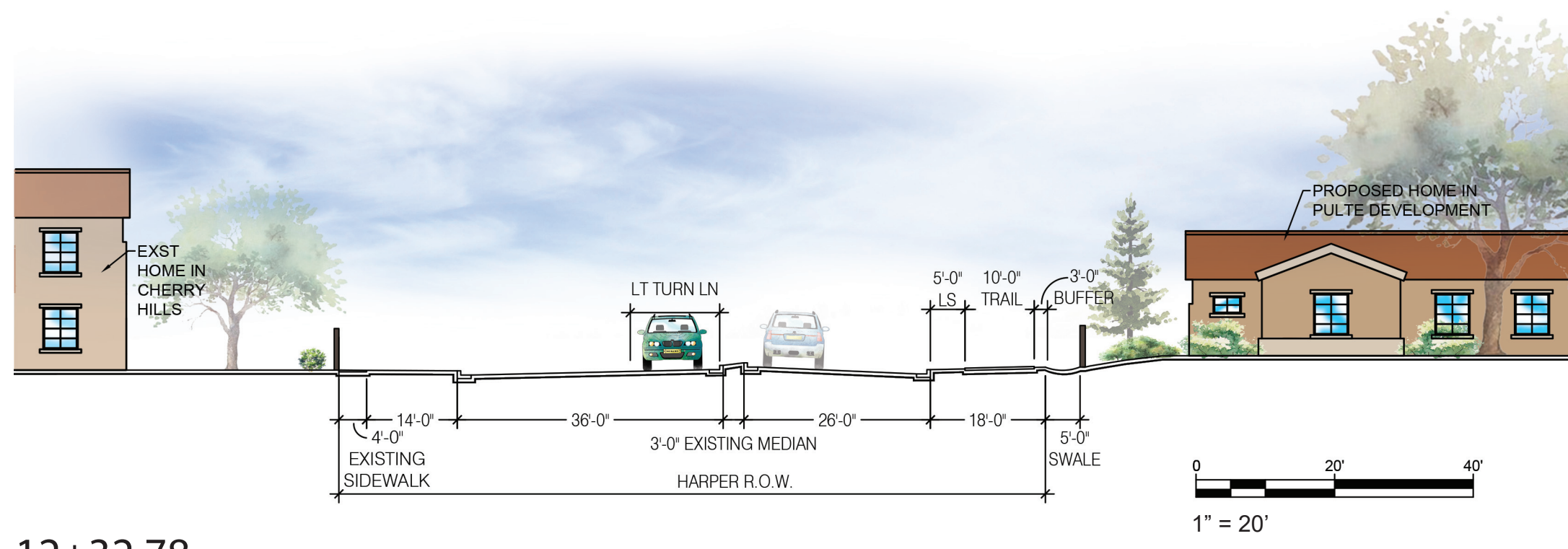
DATE: 02/20/2023  
SHEET 3 OF 12



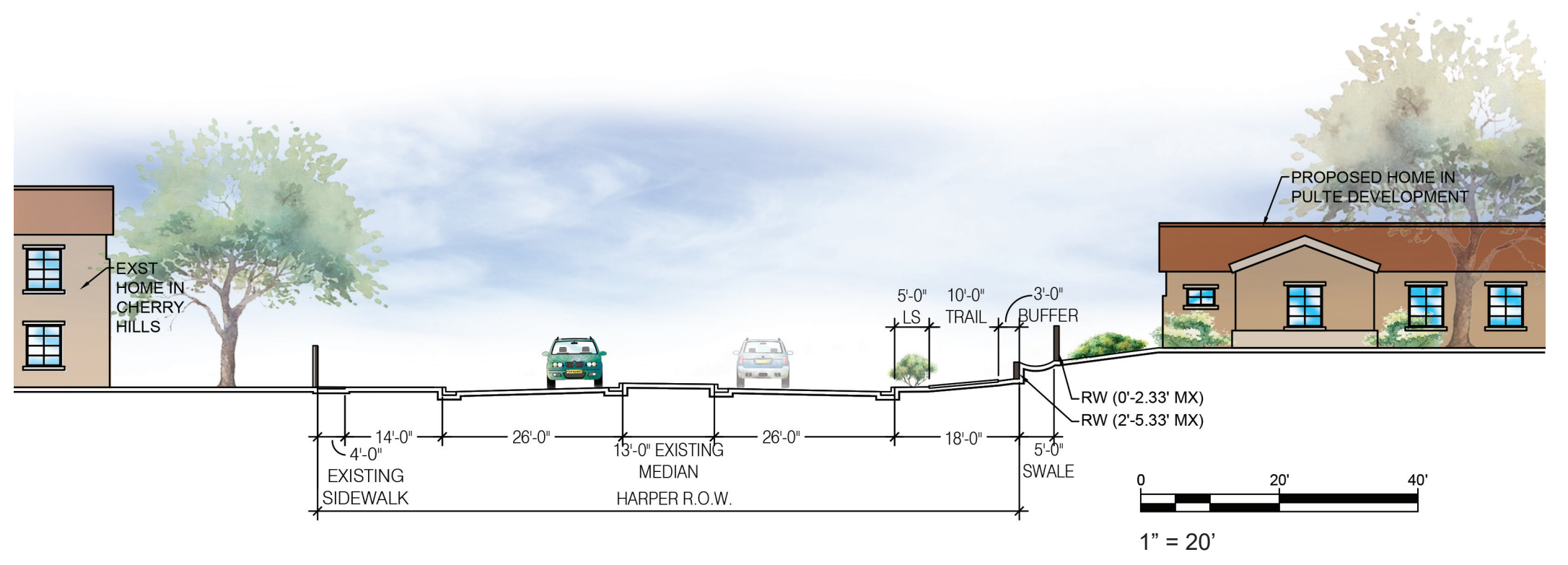
**A** 9+87.27



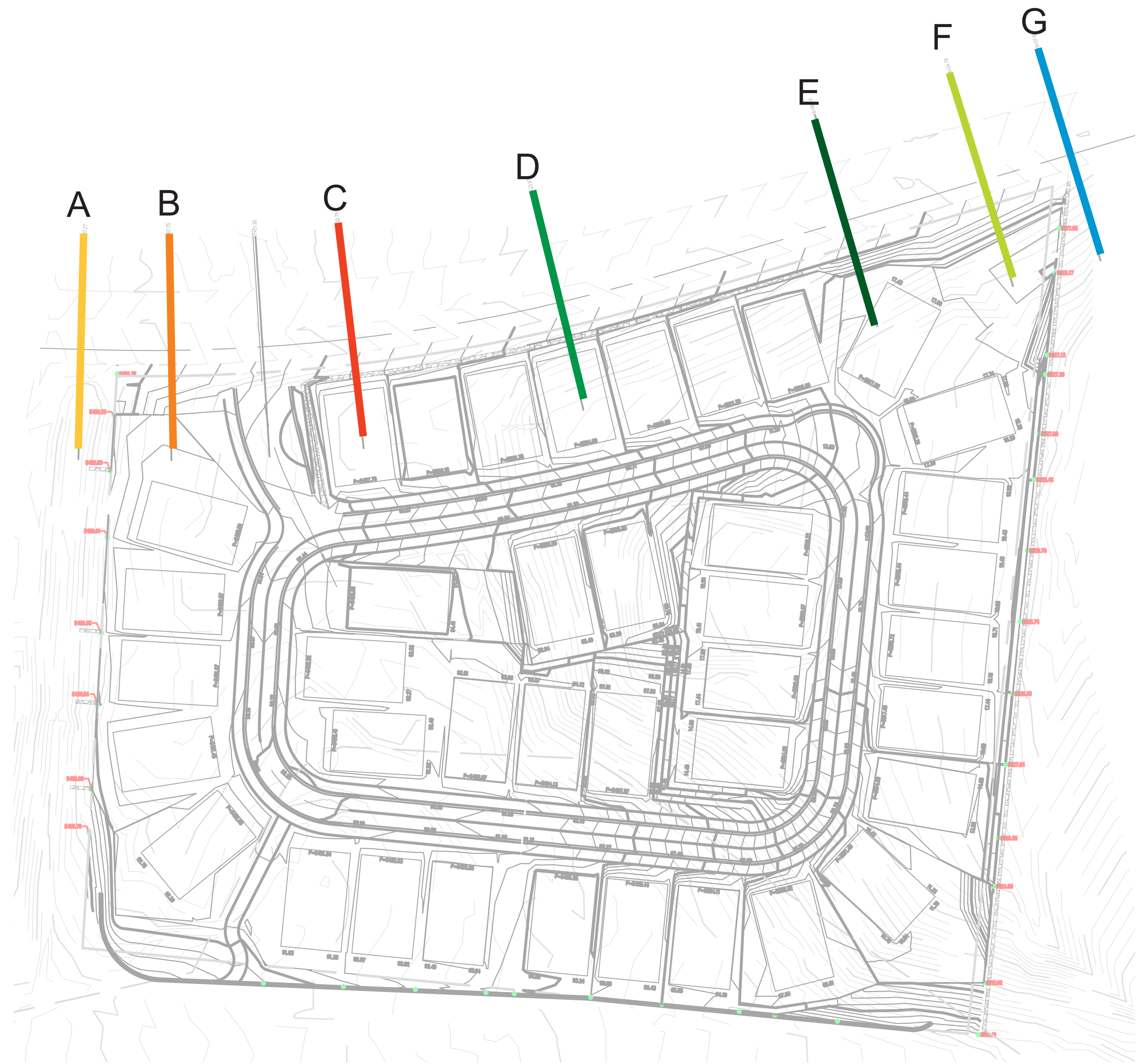
**B** 10+67.75



**C** 12+32.78



**D** 14+23.87

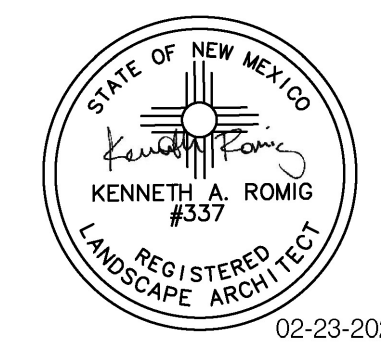


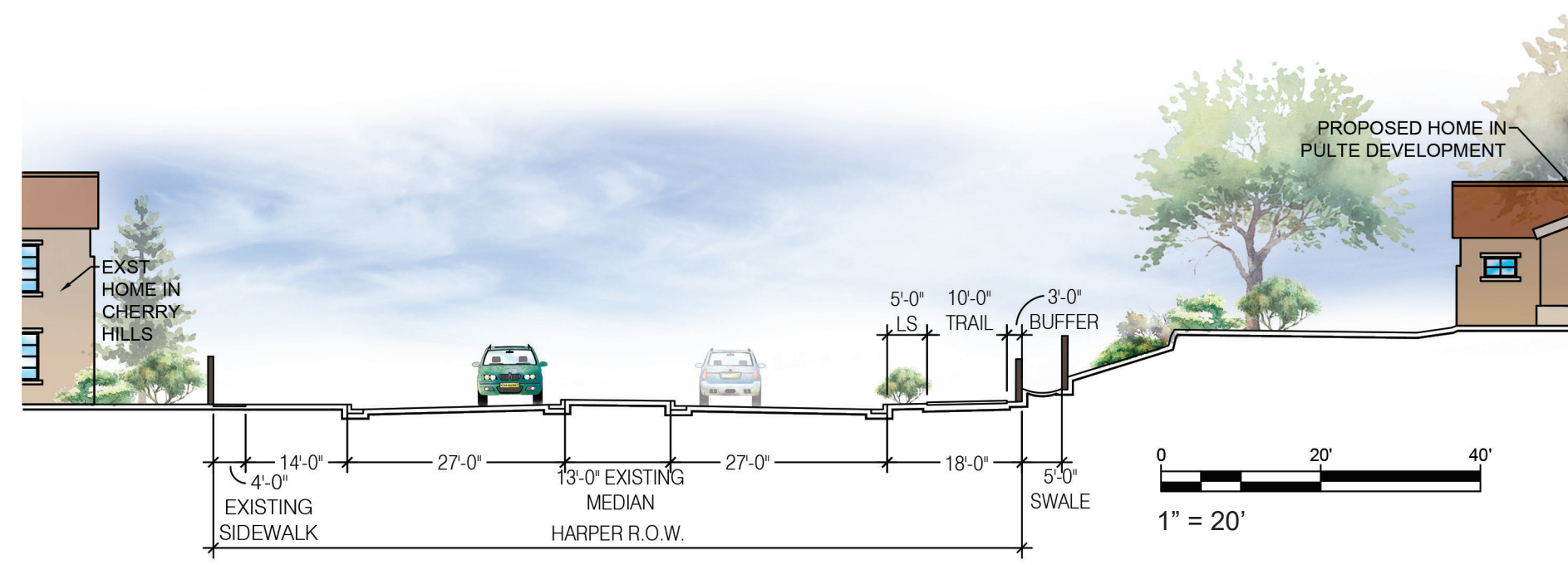
**THE ESTATES AT ACADEMY  
HARPER CROSS SECTIONS**

PREPARED FOR:  
PULTE GROUP  
7601 JEFFERSON ST. NE, STE. 320  
ALBUQUERQUE, NM 87109

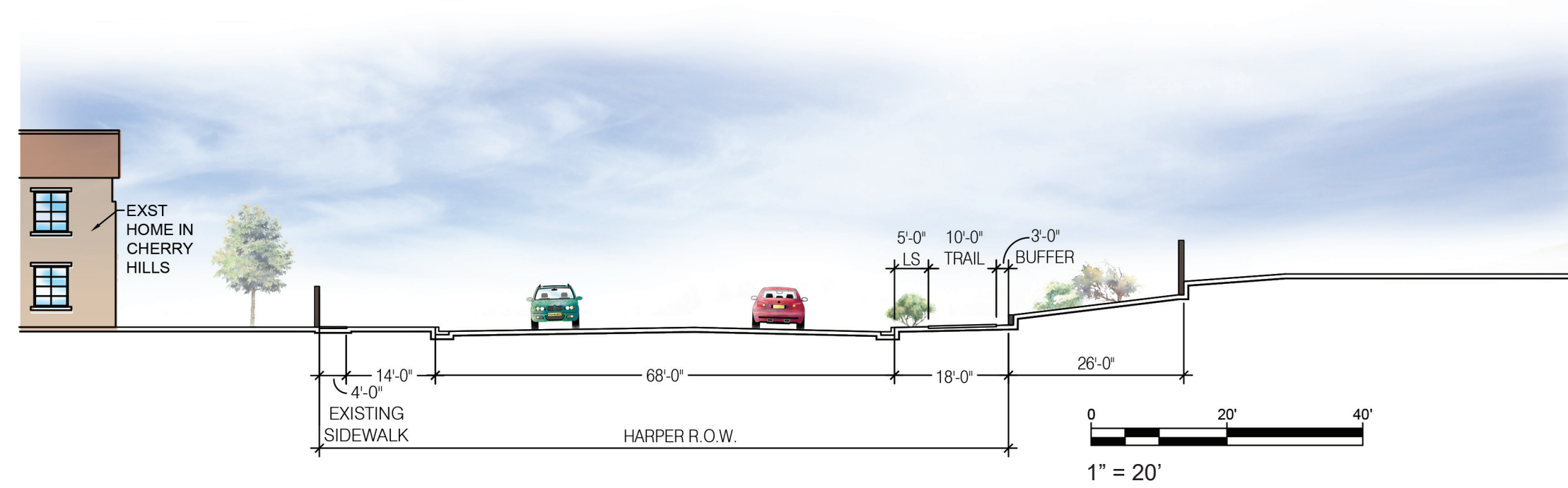
PREPARED BY:  
CONSENSUS PLANNING, INC.  
302 EIGHTH STREET NW  
ALBUQUERQUE, NM 87102

BOHANNAN HUSTON  
7500 JEFFERSON STREET NE  
ALBUQUERQUE, NM 87109

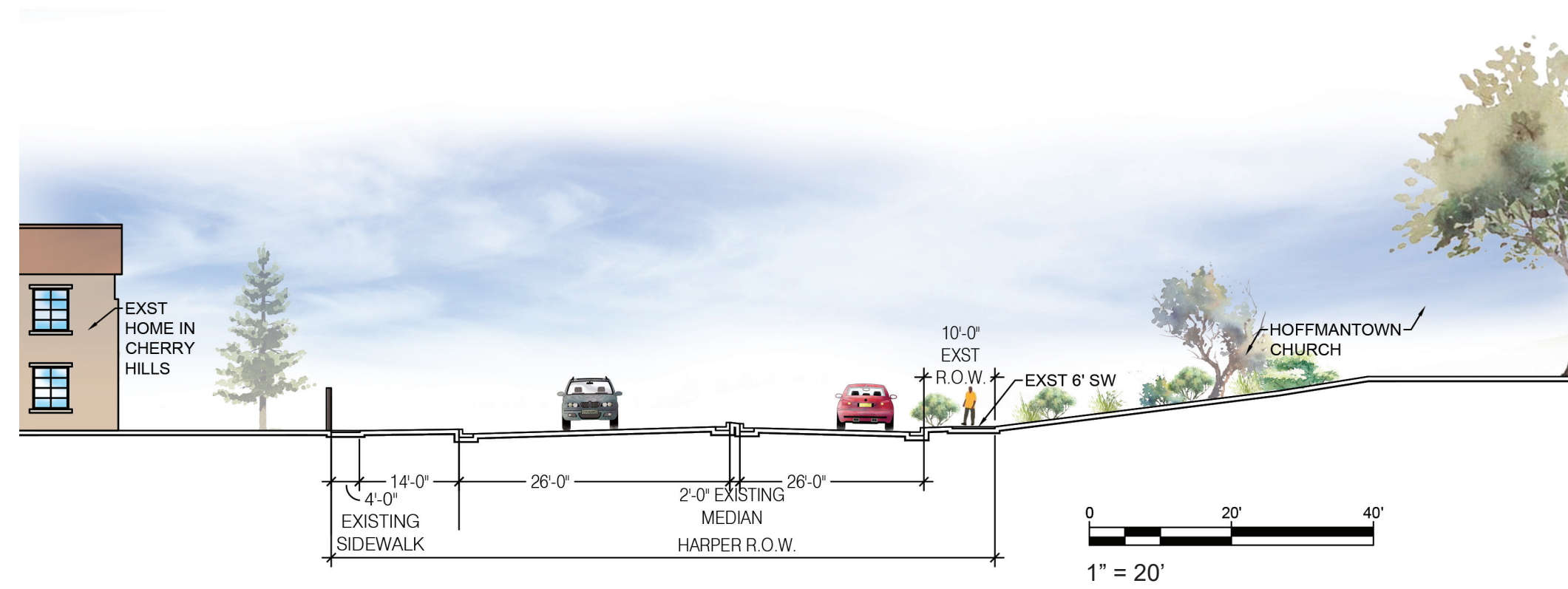




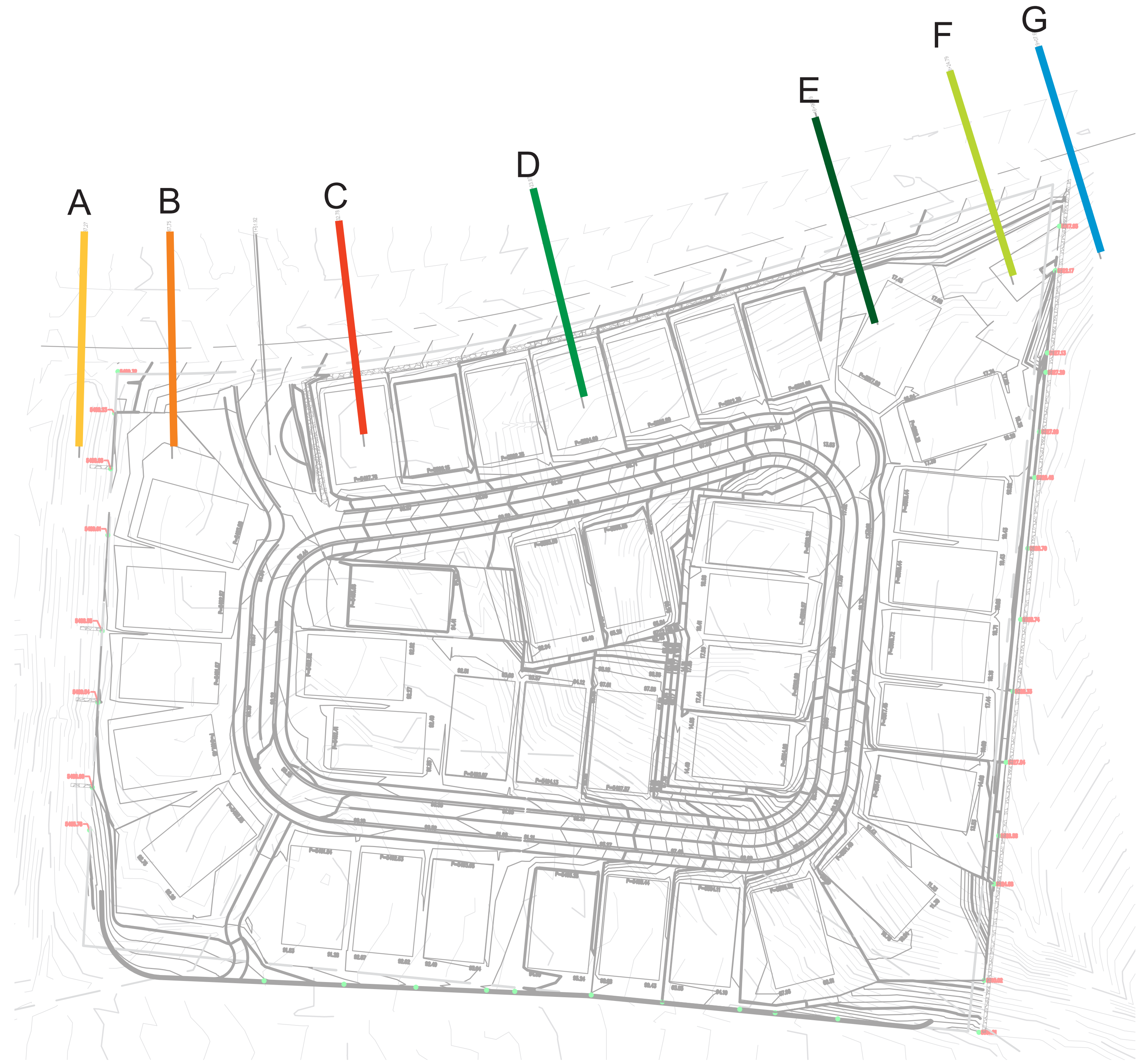
**E** 16+96.19



**F** 18+24.79



**G** 19+07.68

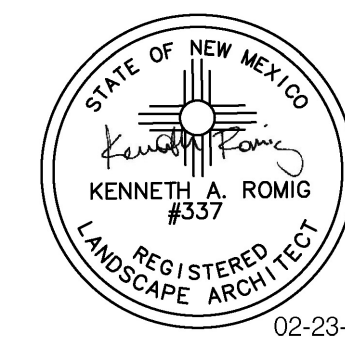


## THE ESTATES AT ACADEMY HARPER CROSS SECTIONS

PREPARED FOR:  
PULTE GROUP  
7601 JEFFERSON ST. NE, STE. 320  
ALBUQUERQUE, NM 87109

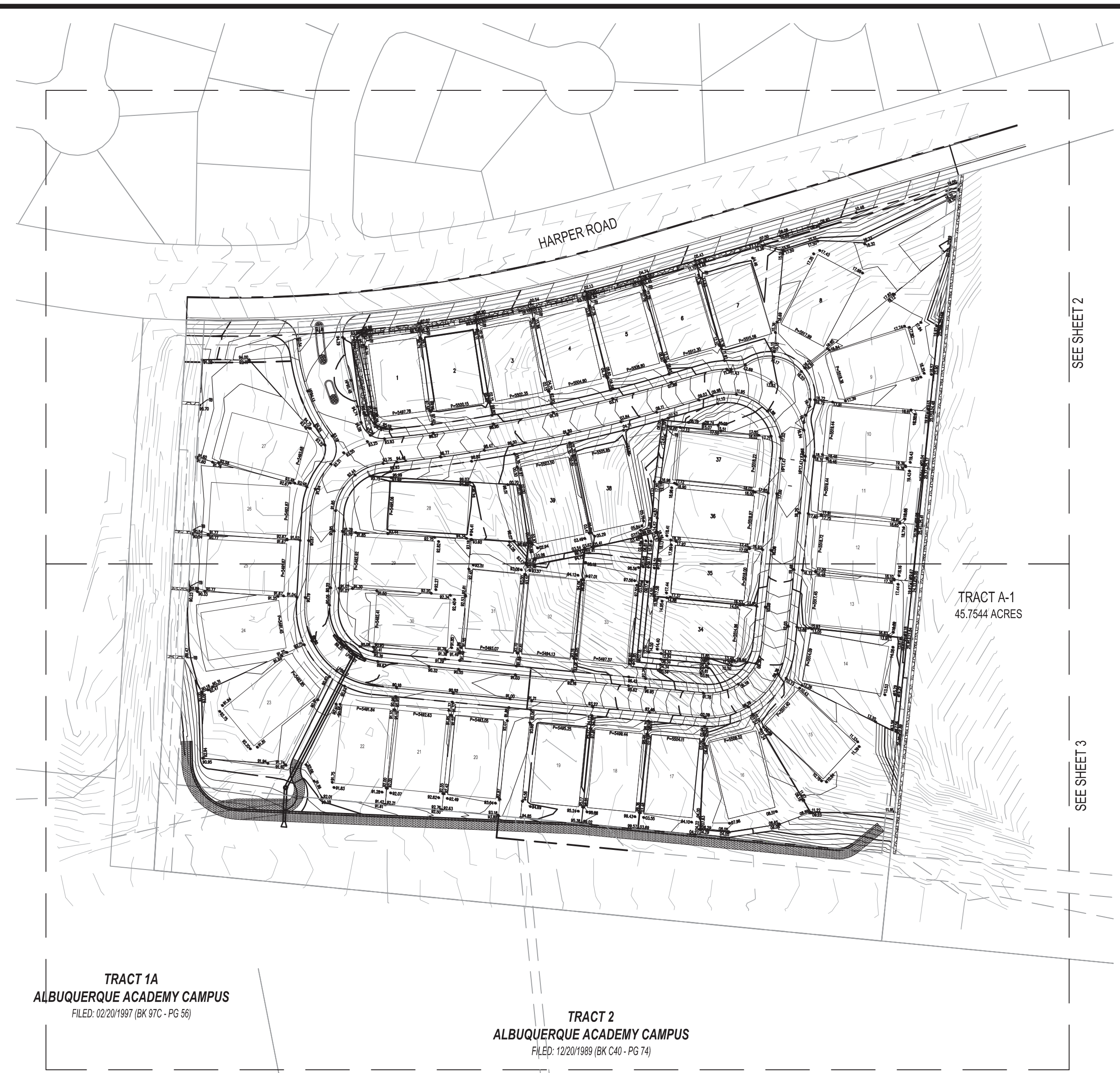
PREPARED BY:  
CONSENSUS PLANNING, INC.  
302 EIGHTH STREET NW  
ALBUQUERQUE, NM 87102

BOHANNAN HUSTON  
7500 JEFFERSON STREET NE  
ALBUQUERQUE, NM 87109



02-23-2023

DATE: 2/23/2023  
SHEET 5 OF 11

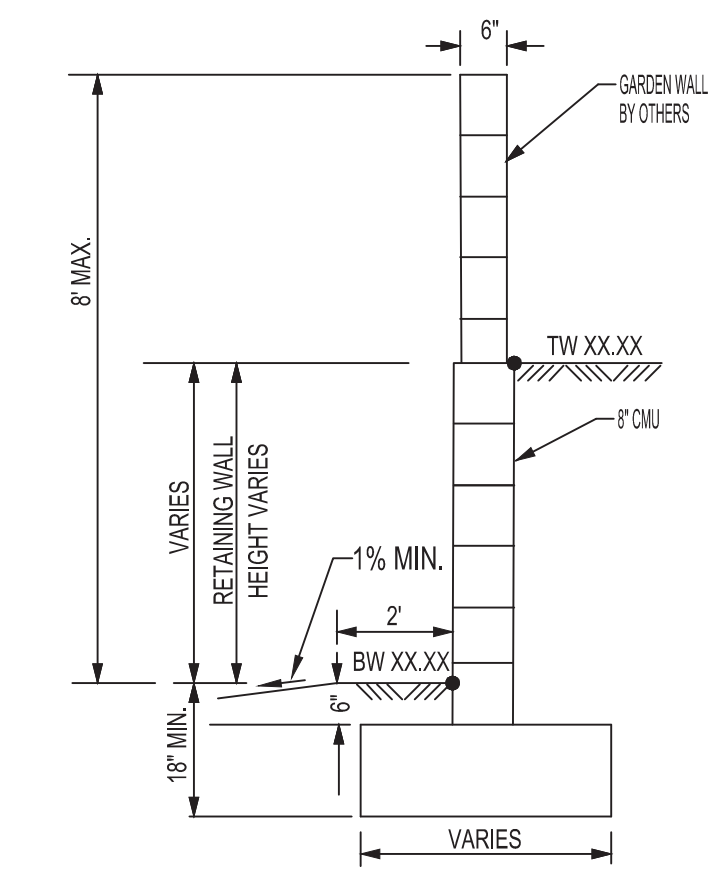


**LEGEND**

- PROPOSED SPOT ELEVATION ● 5235.25
- EXISTING SPOT ELEVATION ● EX 5235.25
- PROPOSED CONTOUR ——— 5225
- EXISTING STORM DRAIN LINE - - - - -
- PROPOSED STORM DRAIN INLET [Symbol]
- PROPOSED STORM DRAIN LINE [Symbol]
- PROPOSED STORM DRAIN MANHOLE [Symbol]
- PROPOSED WATER BLOCK [Symbol]
- PERIMETER WALL [Symbol]
- RETAINING WALL [Symbol]
- GARDEN WALL [Symbol]
- PAD [Symbol]
- TURNED BLOCK [Symbol]
- STREET SLOPE [Symbol]
- DIRECTION OF FLOW [Symbol]

**GENERAL NOTES**

1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E. BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES REQUIREMENTS.

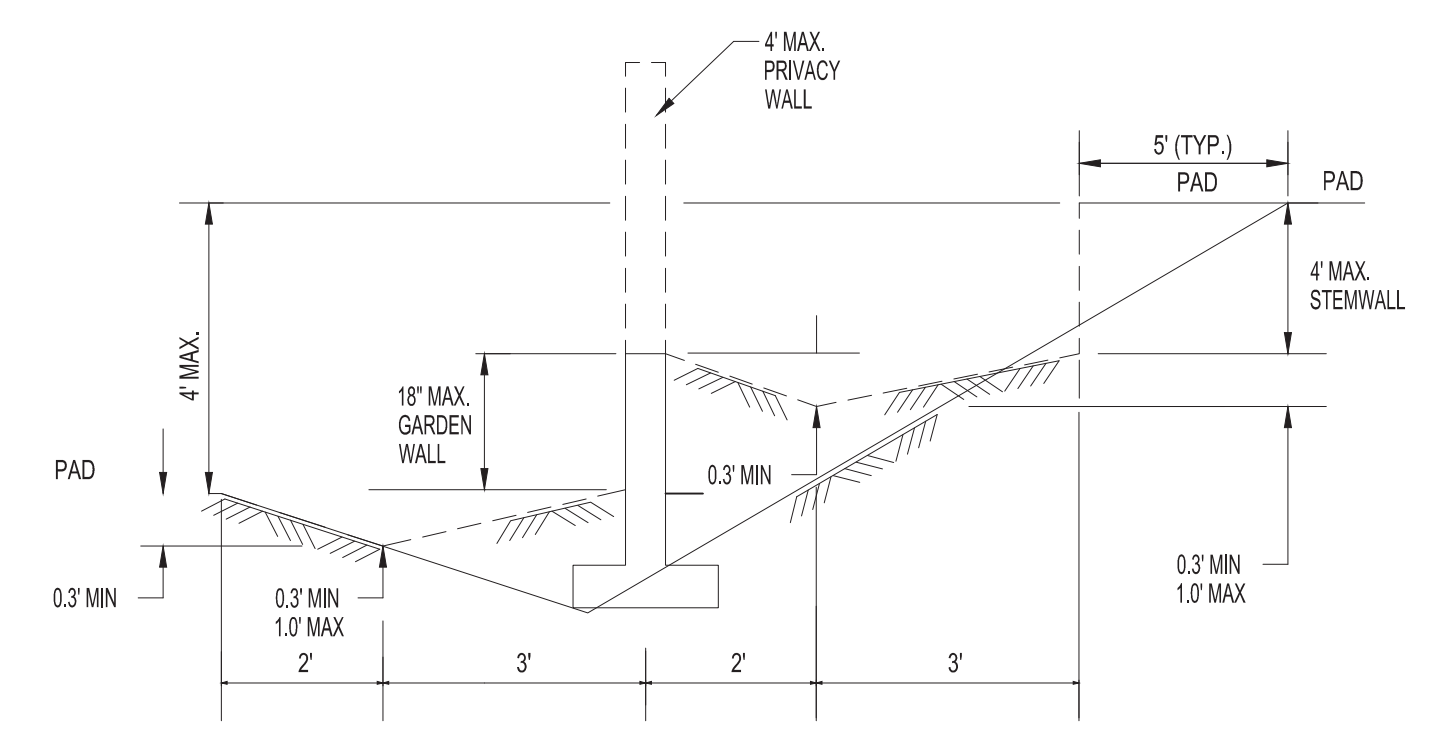


TW=FINISHED GRADE ELEVATION AT TOP OF RETAINING WALL  
 BW=FINISHED GRADE ELEVATION AT BOTTOM OF RETAINING WALL  
**TYPICAL RETAINING WALL NOMENCLATURE**  
 NOT TO SCALE

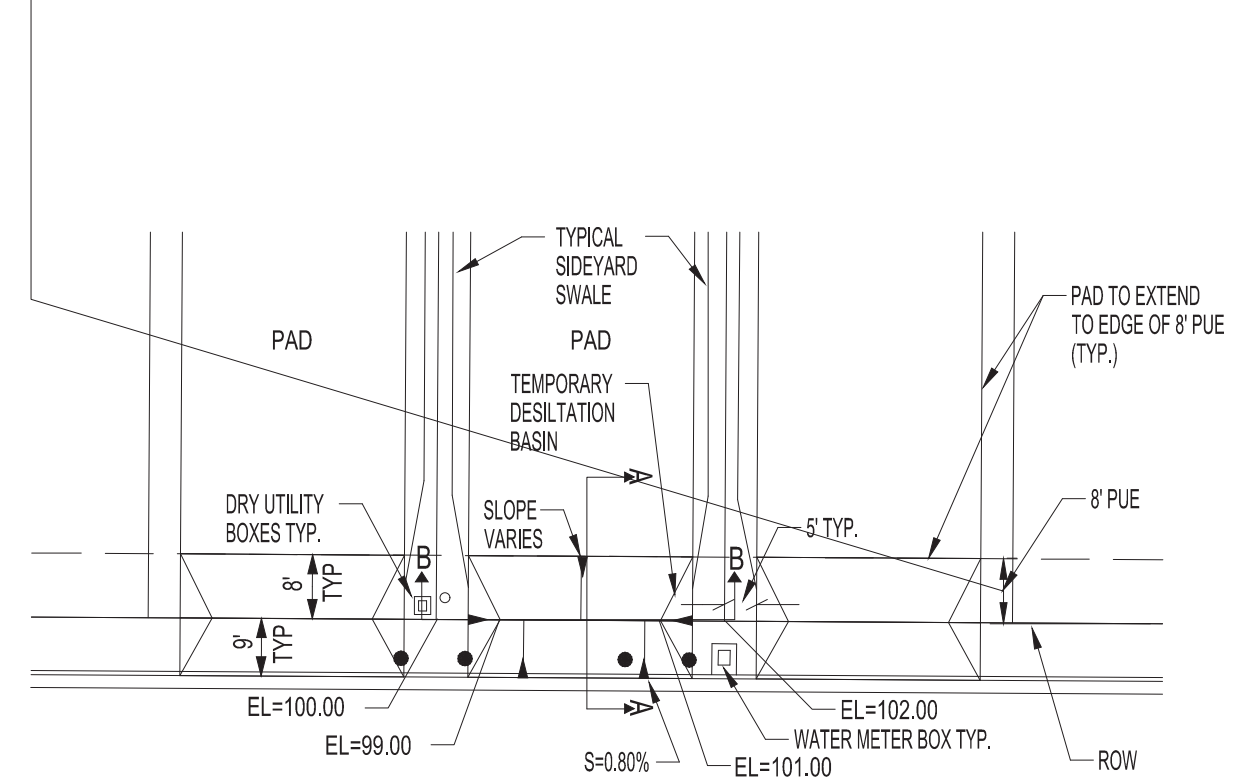
(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)  
 HEIGHT IS IN ACCORDANCE WITH CITY COMPREHENSIVE ZONING CODE SECTION 14-163-3-1, GENERAL HEIGHT AND DESIGN REGULATIONS FOR WALLS, FENCES, AND RETAINING WALLS.

**GRADING NOTES**

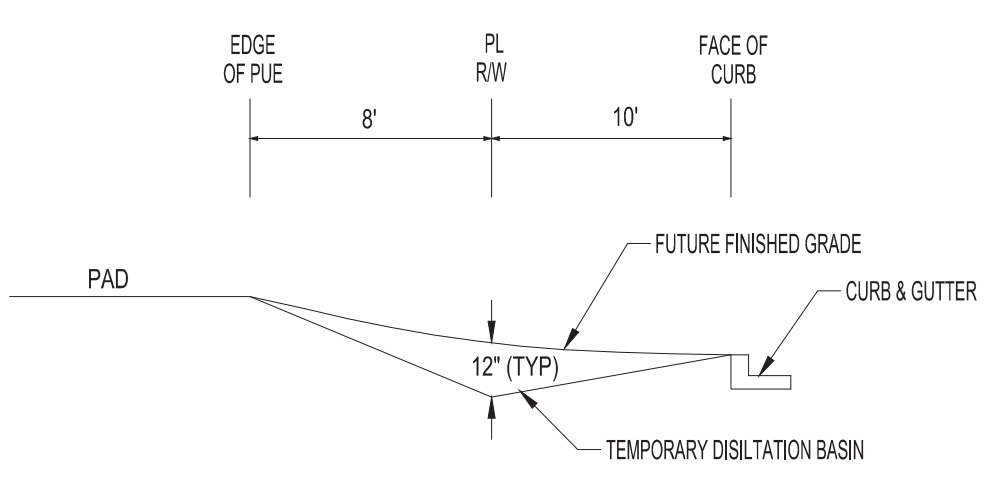
1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. CONTRACTOR SHALL OBTAIN AND ABIDE BY A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DIVISION, PRIOR TO CONSTRUCTION. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SOILS REPORT. ALL OTHER WORK, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS (FIRST PRIORITY), AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. TWO WORKING DAYS PRIOR TO EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. PRIOR TO GRADING, ALL VEGETATION DEBRIS, AND NEAR SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED OF OFF-SITE OR STOCK-PILED FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.
6. EARTH SLOPES SHALL NOT EXCEED 4 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
7. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
8. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
9. A DISPOSAL SITE FOR ALL EXCESS EXCAVATION AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT, AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
10. PAVING AND ROADWAY GRADES SHALL BE +1.0' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +1.00' FROM BUILDING PLAN ELEVATIONS.
11. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED. VALLEY GUTTER ELEVATIONS ARE SHOWN AT FLOWLINE ELEVATION.
12. GRADING SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.



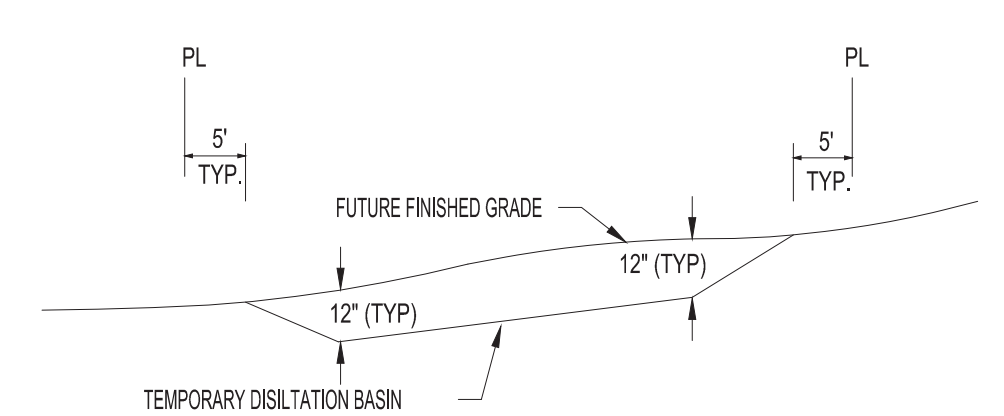
**TYPICAL SIDE LOT LINE SECTION**  
 NOT TO SCALE  
 NOTE: DASHED LINES IN TYP. SIDE LOT LINE SECTIONS REPRESENT THE FINAL CONDITION AFTER THE GARDEN, STEM, AND PRIVACY WALLS HAVE BEEN CONSTRUCTED. THE INTERIM CONDITION, WHICH IS TO BE CONSTRUCTED BY THE GRADING CONTRACTOR AND CERTIFIED BY THE ENGINEER IS REPRESENTED BY THE SOLID LINES. RETAINING WALLS WILL BE CONSTRUCTED PRIOR TO GRADING CERTIFICATION.



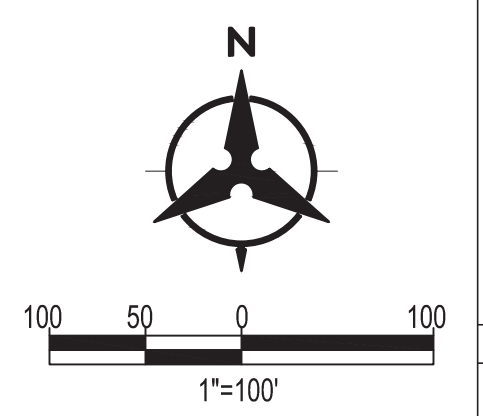
**TEMPORARY DESILTATION BASIN**  
 NOT TO SCALE  
 \*\* BOTTOM OF BASIN IS 1' BELOW PROPERTY LINE ELEVATION SEE GRADING PLANS FOR EXACT ELEVATIONS



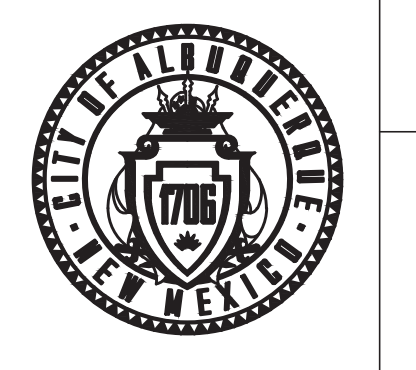
**TEMPORARY DESILTATION SECTION A-A**  
 NOT TO SCALE



**TEMPORARY DESILTATION SECTION B-B**  
 NOT TO SCALE



CALL NM ONE-CALL SYSTEM SEVEN (7) DAYS PRIOR TO ANY EXCAVATION



**CITY OF ALBUQUERQUE**  
 DEPARTMENT OF MUNICIPAL DEVELOPMENT  
 ENGINEERING DIVISION

**HOFFMANTOWN ESTATES**  
 OVERALL GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	ZONE MAP NO.
		CITY PROJECT NO.
		SHEET NO. 1 OF 3

CONSULTANTS



ACS BRASS DISK STAMPED "13-E20"  
 GEOGRAPHIC POSITION (NAD 83)  
 NM STATE PLANE GRID COORDINATES (CENTRAL ZONE)  
 N = 1,511,612.268 (USFT), E = 1,550,988.401 (USFT)  
 GROUND TO GRID FACTOR = 0.999650568  
 DELTA ALPHA = -0°10'22.86"



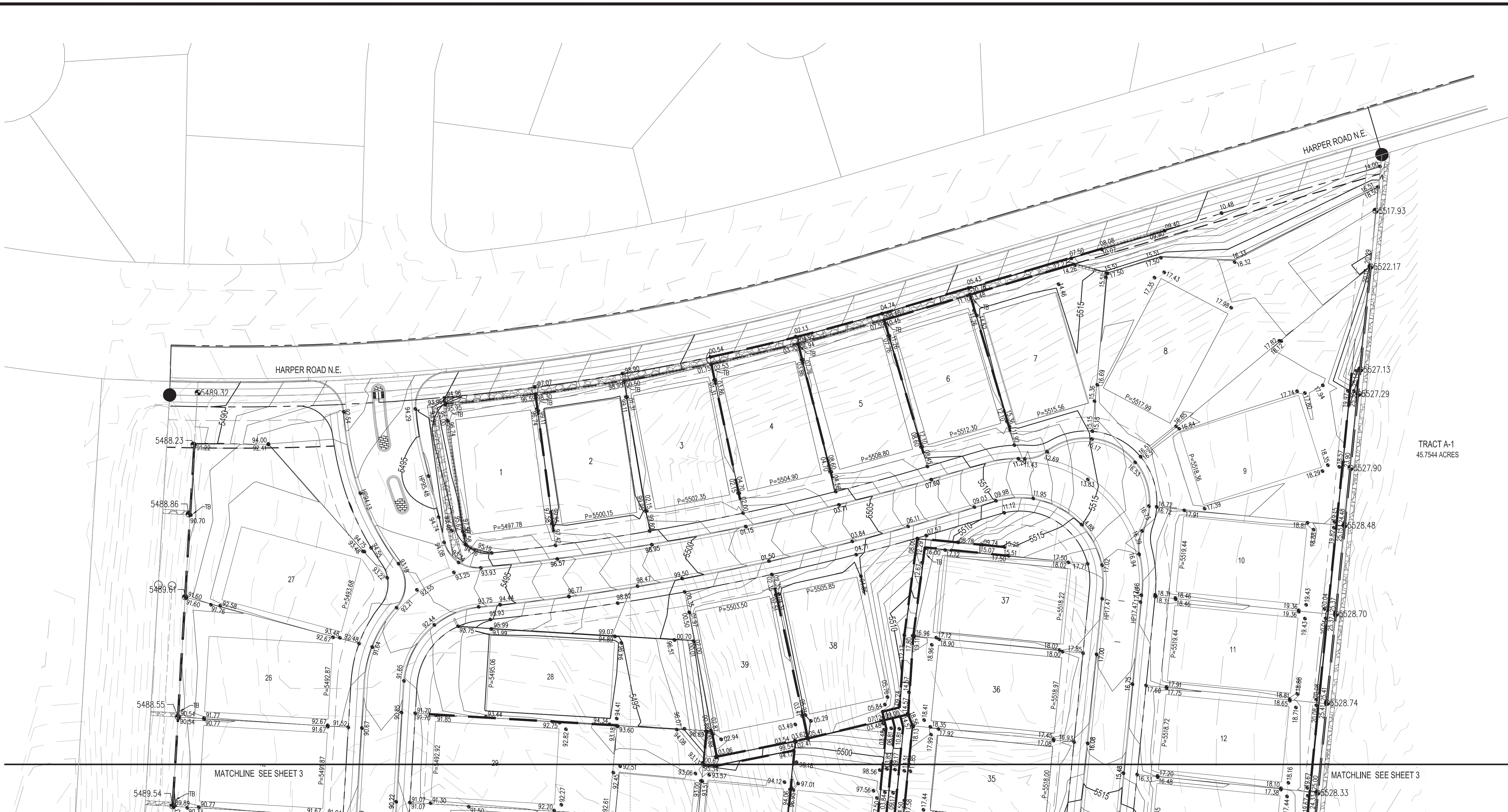
SEAL

NO.	DATE	DESCRIPTION	BY
		AS-BUILT INFORMATION	
		WORK STAKED BY:	
		INSPECTOR'S ACCEPTANCE BY:	
		FIELD VERIFICATION BY:	
		DRAWINGS CORRECTED BY:	

DESIGNED BY: YPM  
 DRAWN BY: AR  
 CHECKED BY: YPM  
 DATE: 6/28/2022

Thu, 13-Oct-2022 1:20pm. Plotted by: AR0MER0  
 P:\202209\2022\Plan\Rev\General\20220922\_grading.rvt

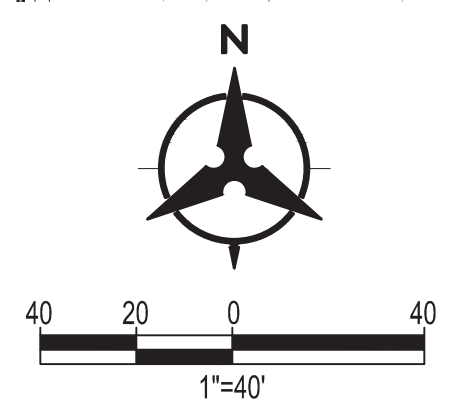




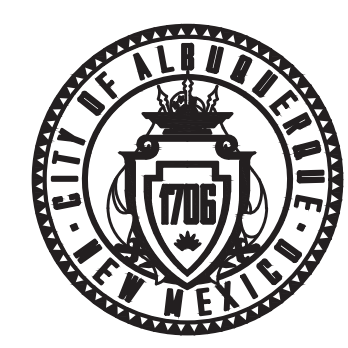
City of Albuquerque  
 Planning Department  
 Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
 DATE: 3/10/2023  
 BY: *Yvonne Cho*  
 HydroTrans # E20D020B

THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSIDERED AN ENDORSEMENT OF THE QUALITY OF ANY SERVICE OR MATERIALS PROVIDED BY ANY CONTRACTOR OR SUBCONTRACTOR. THE CITY OF ALBUQUERQUE IS PROVIDING THESE PLANS/REPORTS FOR INFORMATIONAL PURPOSES ONLY. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL NOT BE CHARGED, MODIFIED OR ALTERED WITHOUT THE CITY'S APPROVAL.

- LEGEND**
- PROPOSED SPOT ELEVATION ● 5235.25
  - EXISTING SPOT ELEVATION ● EX 5235.25
  - PROPOSED CONTOUR — 5025
  - EXISTING STORM DRAIN LINE - - - - -
  - PROPOSED STORM DRAIN INLET [Symbol]
  - PROPOSED STORM DRAIN LINE [Symbol]
  - PROPOSED STORM DRAIN MANHOLE [Symbol]
  - PROPOSED WATER BLOCK [Symbol]
  - PERIMETER WALL [Symbol]
  - RETAINING WALL [Symbol]
  - GARDEN WALL [Symbol]
  - PAD [Symbol]
  - TURND BLOCK [Symbol]
  - STREET SLOPE [Symbol]
  - DIRECTION OF FLOW [Symbol]



CALL NM ONE-CALL SYSTEM  
 SEVEN (7) DAYS PRIOR TO  
 ANY EXCAVATION



CITY OF ALBUQUERQUE  
 DEPARTMENT OF MUNICIPAL DEVELOPMENT  
 ENGINEERING DIVISION

**HOFFMANTOWN ESTATES  
 OVERALL GRADING PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	ZONE MAP NO.
		CITY PROJECT NO.
		SHEET NO. 2 OF 3

CONSULTANTS



www.bhinc.com  
 800.877.5332

BENCH MARKS  
 ACS BRASS DISK STAMPED "13-E20"  
 GEOGRAPHIC POSITION (NAD 83)  
 NM STATE PLANE GRID COORDINATES (CENTRAL ZONE)  
 N = 1,511,612.288 (USFT), E = 1,550,988.401 (USFT)  
 GROUND TO GRID FACTOR = 0.999650568  
 DELTA ALPHA = -0°10'22.86"



SEAL

NO.	DATE	DESCRIPTION	BY
		AS-BUILT INFORMATION	
		WORK STAKED BY:	
		INSPECTOR'S ACCEPTANCE BY:	
		FIELD VERIFICATION BY:	
		DRAWINGS CORRECTED BY:	

DESIGNED BY: YPM  
 DRAWN BY: AR  
 CHECKED BY: YPM  
 DATE: 6/28/2022

BENCH MARKS  
ACS BRASS DISK STAMPED "13-E20"  
GEOGRAPHIC POSITION (NAD 83)  
NM STATE PLANE GRID COORDINATES (CENTRAL ZONE)  
N = 1,511,612.288 (USFT), E = 1,550,588.401 (USFT)  
GROUND TO GRID FACTOR = 0.999650568  
DELTA ALPHA = -0°10'22.86"



SEAL

NO.	DATE	DESCRIPTION	BY
		AS-BUILT INFORMATION <td> </td>	
		WORK STAKED BY: <td> </td>	
		INSPECTOR'S ACCEPTANCE BY: <td> </td>	
		FIELD VERIFICATION BY: <td> </td>	
		DRAWINGS CORRECTED BY: <td> </td>	

DESIGNED BY: YPM  
DRAWN BY: AR  
CHECKED BY: YPM  
DATE: 6/28/2022

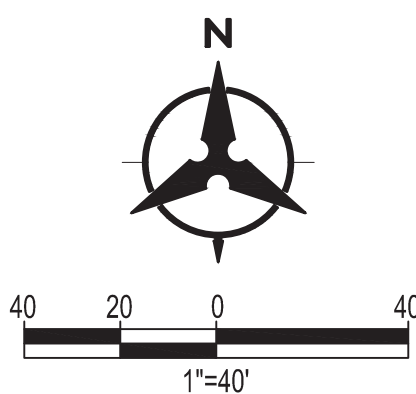
CITY OF ALBUQUERQUE  
DEPARTMENT OF MUNICIPAL DEVELOPMENT  
ENGINEERING DIVISION

**HOFFMANTOWN ESTATES  
OVERALL GRADING PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	ZONE MAP NO.
		CITY PROJECT NO.
		SHEET NO. <b>3</b> OF <b>3</b>

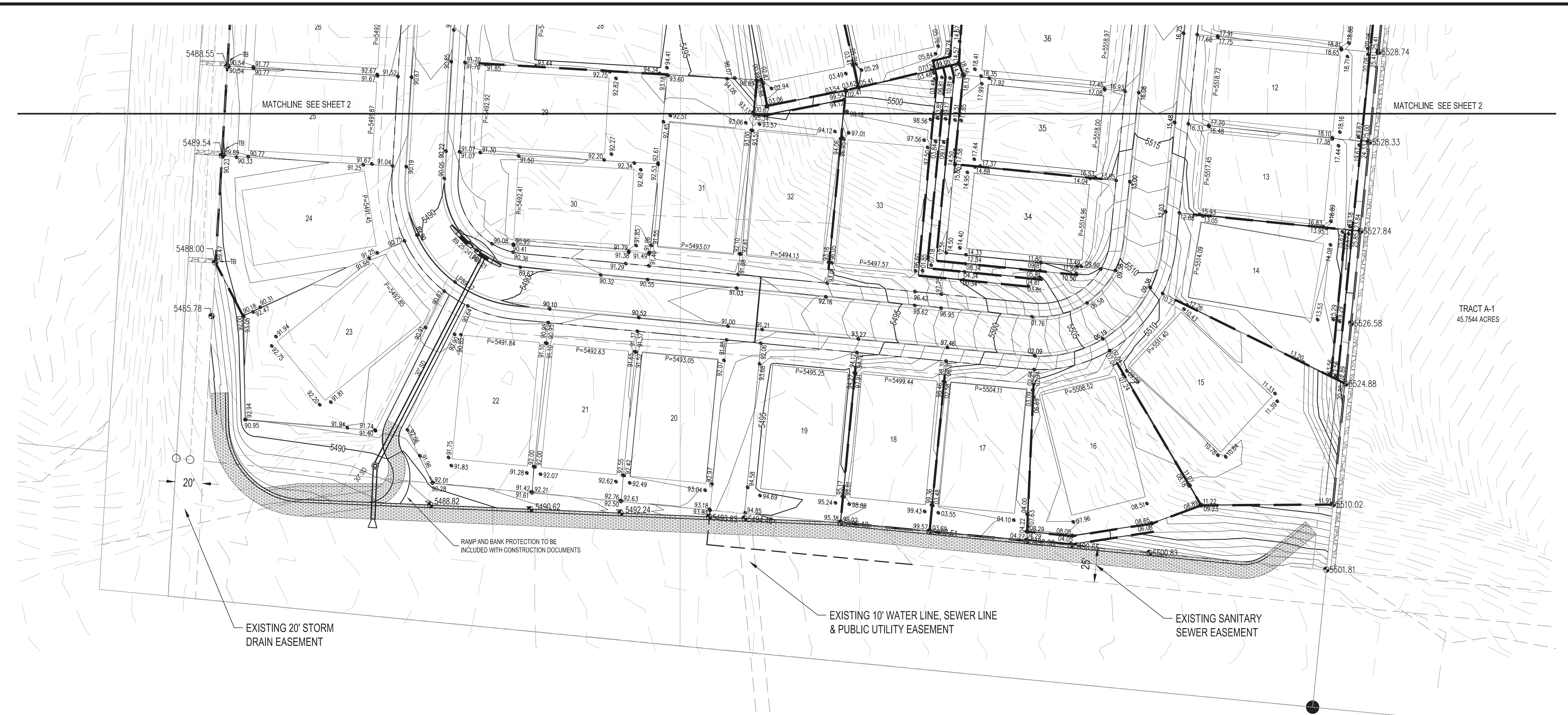


CALL NM ONE-CALL SYSTEM  
SEVEN (7) DAYS PRIOR TO  
ANY EXCAVATION



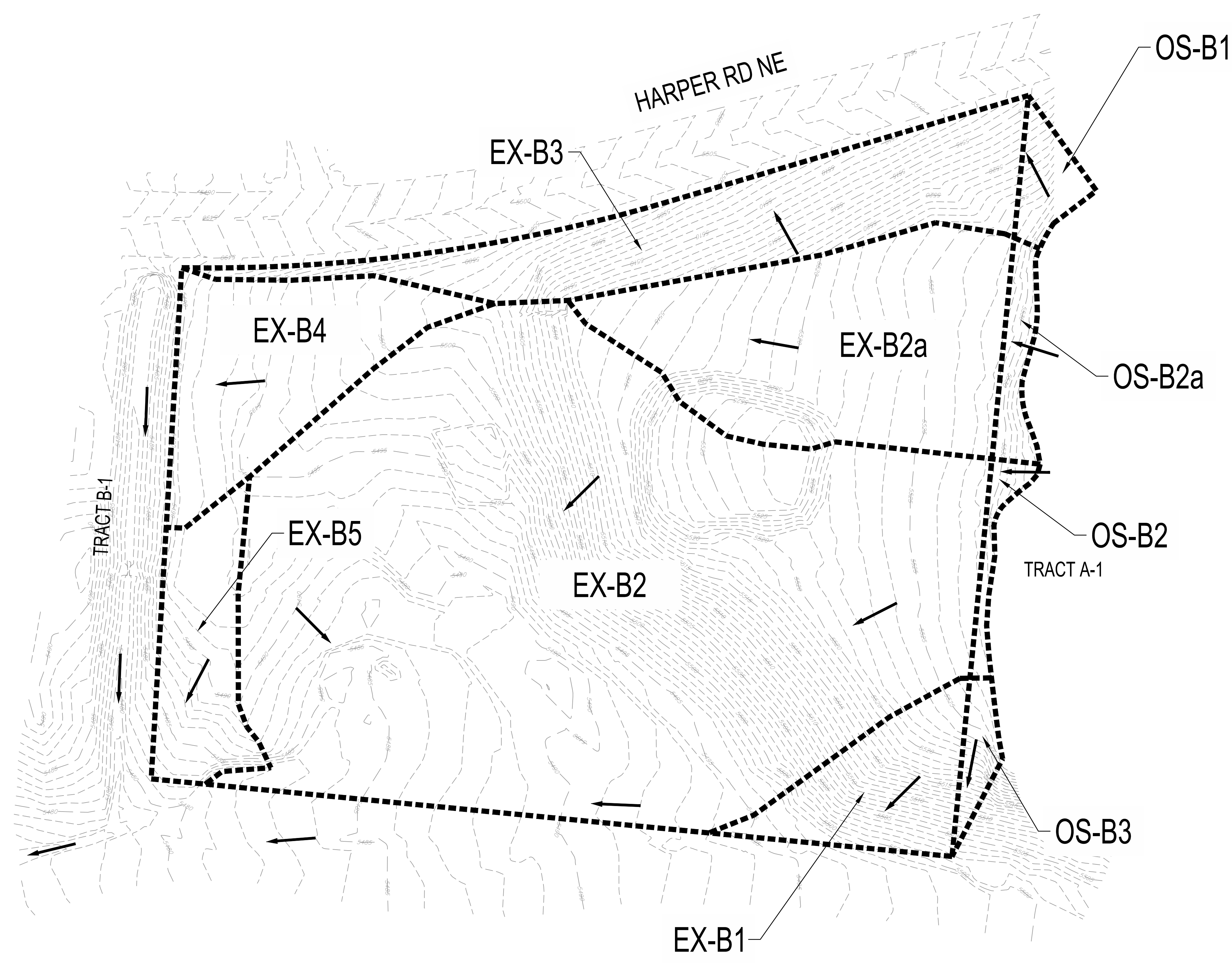
**LEGEND**

- PROPOSED SPOT ELEVATION ● 5235.25
- EXISTING SPOT ELEVATION ● EX 5235.25
- PROPOSED CONTOUR — 5025
- EXISTING STORM DRAIN LINE - - - - -
- PROPOSED STORM DRAIN INLET [Symbol]
- PROPOSED STORM DRAIN LINE [Symbol]
- PROPOSED STORM DRAIN MANHOLE [Symbol]
- PROPOSED WATER BLOCK [Symbol]
- PERIMETER WALL [Symbol]
- RETAINING WALL [Symbol]
- GARDEN WALL [Symbol]
- PAD [Symbol]
- TURNED BLOCK [Symbol]
- STREET SLOPE [Symbol]
- DIRECTION OF FLOW [Symbol]



**TRACT 1A  
ALBUQUERQUE ACADEMY CAMPUS**  
FILED: 02/20/1997 (BK 97C - PG 36)

**TRACT 2  
ALBUQUERQUE ACADEMY CAMPUS**  
FILED: 12/20/1989 (BK C40 - PG 74)



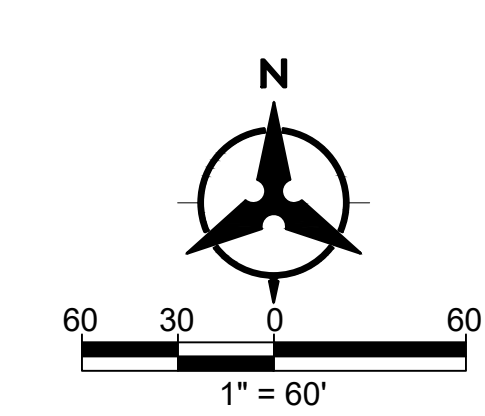
LEGEND  
 - - - - - EXISTING BASIN BOUNDARY  
 → FLOW ARROW

EXISTING CONDITIONS							
BASIN I.D.	AREA (AC)	% LAND TREATMENT				DISCHARGE (CFS)	
		A	B	C	D	10 YR	100YR
EX-B1	0.5	10.0%	90.0%	0.0%	0.0%	0.5	1.3
EX-B2	6.9	80.0%	20.0%	0.0%	0.0%	4.2	13.6
EX-B2a	1.6	80.0%	20.0%	0.0%	0.0%	1.0	3.2
EX-B3	1.3	10.0%	90.0%	0.0%	0.0%	1.3	3.1
EX-B4	1.0	90.0%	10.0%	0.0%	0.0%	0.5	1.8
EX-B5	0.5	90.0%	10.0%	0.0%	0.0%	0.3	1.0
OS-B1	0.1	10.0%	90.0%	0.0%	0.0%	0.1	0.4
OS-B2	0.1	90.0%	10.0%	0.0%	0.0%	0.1	0.2
OS-B2a	0.2	90.0%	10.0%	0.0%	0.0%	0.1	0.3
OS-B3	0.1	10.0%	90.0%	0.0%	0.0%	0.1	0.3
<b>TOTAL</b>	<b>12.4</b>					<b>8.3</b>	<b>25.2</b>

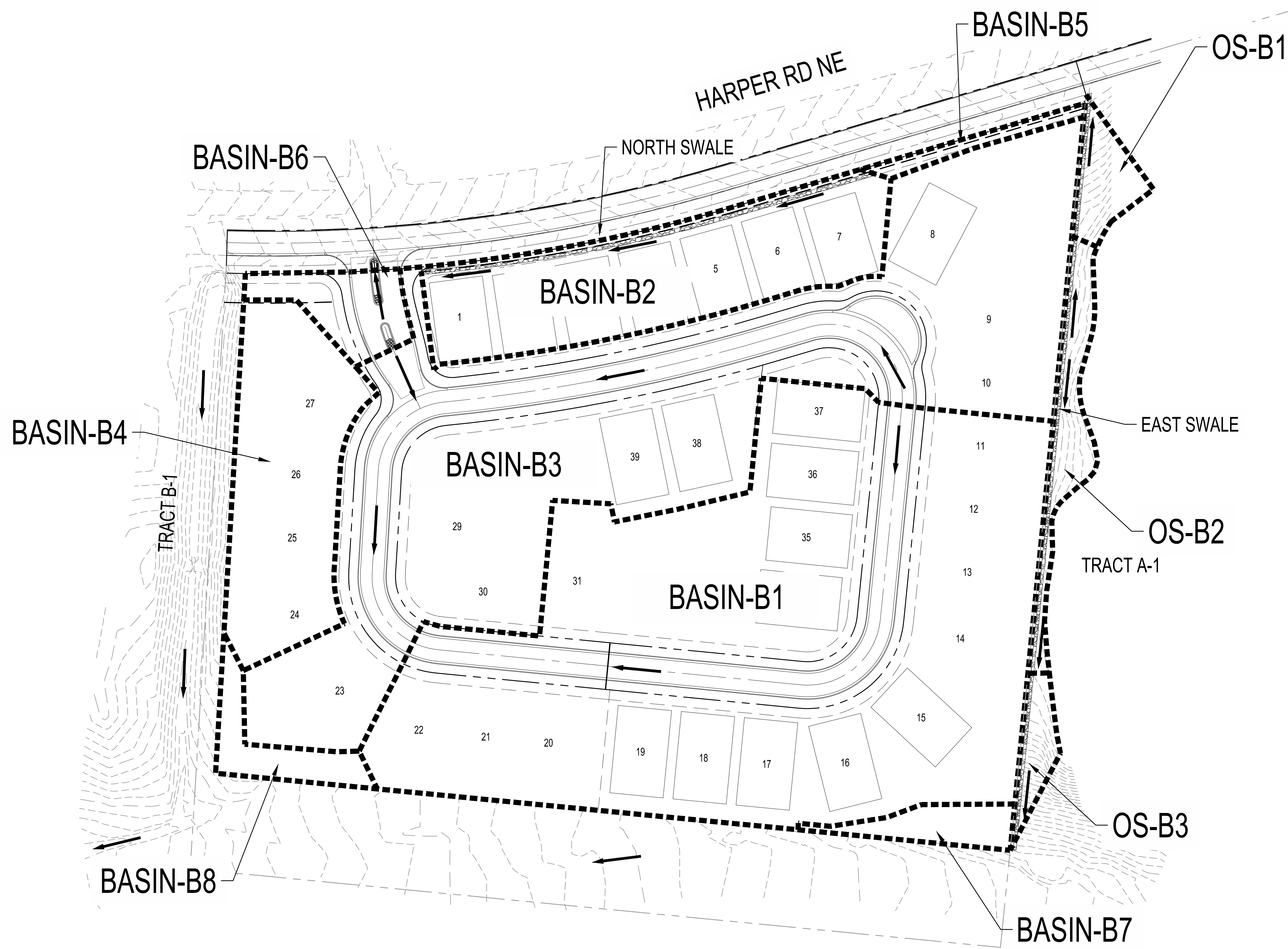
**EXISTING DRAINAGE PLAN**

**HOFFMANTOWN**

DRAWN BY:	SS	DATE:	10/12/2022
CHECKED BY:	YPM	BHI PROJECT NO.	20220092
		SHEET NO.	1



Plot: 13 Oct 2022, 8:58am - Plotter: P102020092.ctb, P102020092.ctb, P102020092.ctb, P102020092.ctb



**LEGEND**  
 - - - - - PROPOSED BASIN BOUNDARY  
 → FLOW ARROW

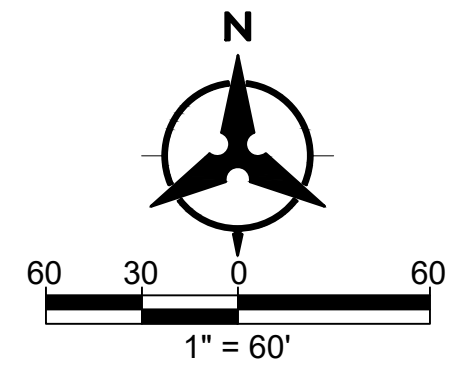
PROPOSED CONDITIONS								
BASIN I.D.	AREA (AC)	UNITS #	% LAND TREATMENT				DISCHARGE (CFS)	
			A	B	C	D	10 YR	100YR
Basin B1	5.0	19	0.0%	31.0%	31.0%	38.0%	9.6	17.3
Basin B2	1.1	7	0.0%	31.0%	31.0%	38.0%	2.2	3.9
Basin B3	4.1	9	0.0%	31.0%	31.0%	38.0%	7.9	14.2
Basin B4	0.9	4	0.0%	31.0%	31.0%	38.0%	1.7	3.1
Basin B5	0.1	0	0.0%	50.0%	50.0%	0.0%	0.1	0.2
Basin B6	0.2	0	0.0%	25.0%	25.0%	50.0%	0.5	0.8
Basin B7	0.1	0	0.0%	50.0%	50.0%	0.0%	0.2	0.4
Basin B8	0.2	0	0.0%	50.0%	50.0%	0.0%	0.2	0.5
OS-B1	0.1	0	10.0%	90.0%	0.0%	0.0%	0.1	0.4
OS-B2	0.2	0	90.0%	10.0%	0.0%	0.0%	0.1	0.5
OS-B3	0.1	0	10.0%	90.0%	0.0%	0.0%	0.1	0.3
<b>TOTAL</b>	<b>12.2</b>	<b>39</b>					<b>22.7</b>	<b>41.6</b>

Only Basin-B1, Basin-B2, Basin-B3 and Basin-B4 is considered in calculating %D

**PROPOSED DRAINAGE PLAN**

**HOFFMANTOWN**

DRAWN BY:	SS	DATE:	08/31/2022
CHECKED BY:	YPM	BHI PROJECT NO.	20220092
		SHEET NO.	1



**V. EXISTING CONDITIONS**

Based on the existing topography, the site is broken into four offsite and six onsite basins. The existing basin and drainage patterns are shown graphically on the Existing Drainage Conditions Map in 'EXHIBIT B- Existing Conditions Basin Map'. The site consists of undeveloped land and currently drains from northeast to southwest towards the South Pino Arroyo located along the southern boundary of the site.

Offsite basins are designated as OS-B1, OS-B2, OS-B2a, OS-B3, and onsite basins are designated as EX-B1, EX-B2, EX-B2a, EX-B3, EX-B4, EX-B5 for this report. Offsite basin OS-B1 consists of steeper slopes and flows northwest toward Harper Rd. Basin EX-B3 is similar to OS-B1 and also flows northwest toward Harper Rd.

Offsite flow from basin OS-B2 enters the proposed site from the east and combines with onsite existing basin EX-B2. The existing slopes of basin EX-B2 ranges between 2% to 20% and drains southeast. The runoff ultimately enters the existing South Pino Arroyo.

Similarly, offsite flow from basin OS-B2a enters the proposed site from the east and combines with onsite existing basin EX-B2a. The runoff ultimately enters existing basin EX-B3 and flows northwest toward Harper Rd.

Offsite basin OS-B3 flows southwest and discharges to the South Pino Arroyo. Basin EX-B1 is similar to basin OS-B3 and consists of steeper slopes and also flows southwest toward the South Pino Arroyo.

Onsite existing basin EX-B4 is located at the northwest corner of the property and flows west. Runoff from this basin enters Tract B-1 and follows the natural topography that flows south and ultimately discharges to the existing South Pino Arroyo.

Onsite basin EX-B5 is located at southwest corner of the site. The runoff from this basin flows south and leaves the site from the southwest corner of the property boundary and ultimately discharges to the existing South Pino Arroyo.

Existing conditions for the proposed site show the total existing discharge is 16.4 cfs to the arroyo and 7.0 cfs at Harper Rd.

**VI. DEVELOPED CONDITIONS**

**A. ALLOWABLE**

In the proposed conditions, the site has free discharge of the developed flow to the South Pino Arroyo. However, the allowable discharge to Harper Rd from the proposed site is assumed to be the historic flow of 7.0 cfs leaving the site in existing undeveloped condition. Existing inlets on Harper Rd located west of the site boundary, collects the drainage from Harper Rd and discharges into the existing drainage swale on Tract B-1. The flow will then continue south to follow the existing runoff pattern and ultimately to the South Pino Arroyo

**B. OFFSITE FLOW MANAGEMENT**

As mentioned in the Existing Conditions, the total offsite flow of 0.5 cfs enters the proposed site on its eastern boundary. Ultimately, these flows will be mitigated by installing a lined swale along the eastern property line within the Hoffmantown Park tract. The swale will have a high point which is the same as existing condition and follow the existing drainage pattern which results in directing the entire runoff from OS-B1 and runoff of 0.23 cfs from OS-B2a north towards Harper Rd, and the remaining runoff from OS-B2a, runoff from OS-B2 and OS-B3 south towards the existing South Pino Arroyo. See 'APPENDIX D- Offsite Swale Calculations' for additional information.

**C. ONSITE**

Hoffmantown is a proposed gated-private single-family residential development with 39 single family residential lots on approximately 12 acres. The proposed development will occur in one phase. Using Section 6-1(A)(2) of the City's DPM, a land treatment was assigned to each onsite basin. Since the number of residential units per acre is less than 6, the percent D land treatment area was determined by "Single Family Residential" equation listed in City's DPM Table 6.2.10. The remaining area was split between land treatments B and C.

Developed flows are calculated for the 100 year – 6 hour storm event and are shown in 'APPENDIX A-Basin Analysis and Summary of Land Treatments'. The developed flows from the subdivision will be conveyed by the internal private streets and proposed private storm drain networks to the existing arroyo and will have free discharge. The private storm

drain system will utilize a stormwater quality inlet/manhole to collect any debris prior to discharging into the South Pino Arroyo. The Onsite Proposed Basin Map, EXHIBIT C, illustrates the basin locations and flow directions for the proposed development as well as the proposed street configurations for the subdivision.

In the developed condition, the entire subdivision is divided into eight onsite basins, Basin-B1 to Basin-B8. The proposed grading has two waterblocks, one at the northeast corner of the subdivision between Lots 10-11 and the other one at the middle of the entrance road to ensure the offsite flow from Harper Rd does not enter the subdivision and goes to the designated existing inlet located north of Tract B-1.

There is a proposed low point located south of Lot 30. The runoff from Basin-B1 flows southwest through the street network toward the low point.

Proposed Basin-B2 consists of lots that drain back towards the back boundary along Harper Rd. A 5' swale is proposed that is designed to carry the developed flow west and daylight west of Lot 1.

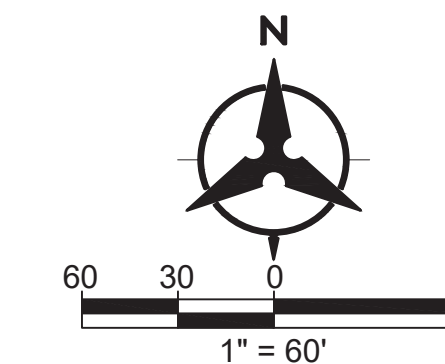
The runoff from Basin-B2 enters into Basin-B3. The combined runoff from these two basins flow to the proposed low point through the street network. Two inlets have been proposed in the sump condition to capture the entire developed flow from Basin-B1, Basin-B2, and Basin-B3, and free discharge to the existing South Pino Arroyo.

Basin-B4 consists of 4 lots that drain back to the west and free discharges to the existing drainage swale located in Tract B-1. Turnblocks and cobble rundowns have been proposed for safe discharge of the developed flow to the existing drainage swale.

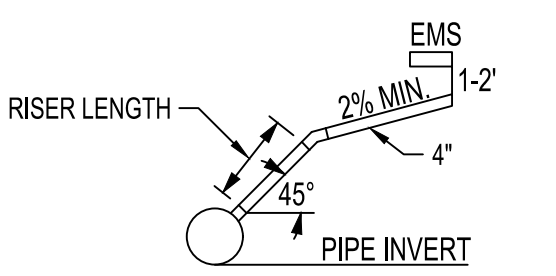
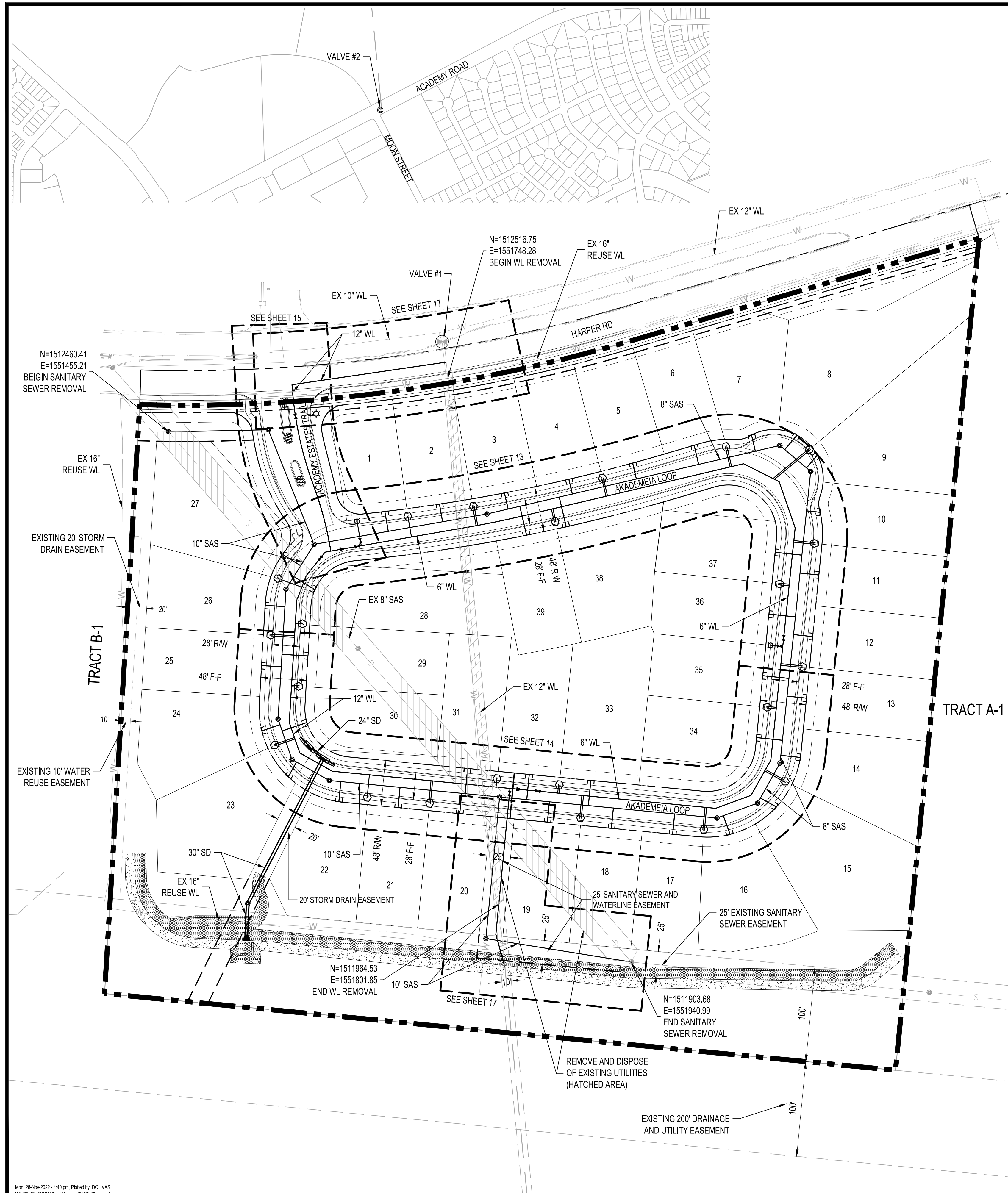
Basin-B5 and Basin-B6 drain north to Harper Rd. The total runoff from these two basins is 1.0 cfs which is less than the historic flow of 3.5 cfs from the site. Therefore, the runoff from the developed site to the Harper Rd will have no negative impact to downstream infrastructure. The flow will ultimately be collected by existing inlets just west of our entrance road and discharge to the South Pino Arroyo via drainage swale located in Tract B-1.

Basin-B6 and Basin-B7 drain south. The runoff from these two basins will follow the existing terrain and free discharge to South Pino Arroyo.

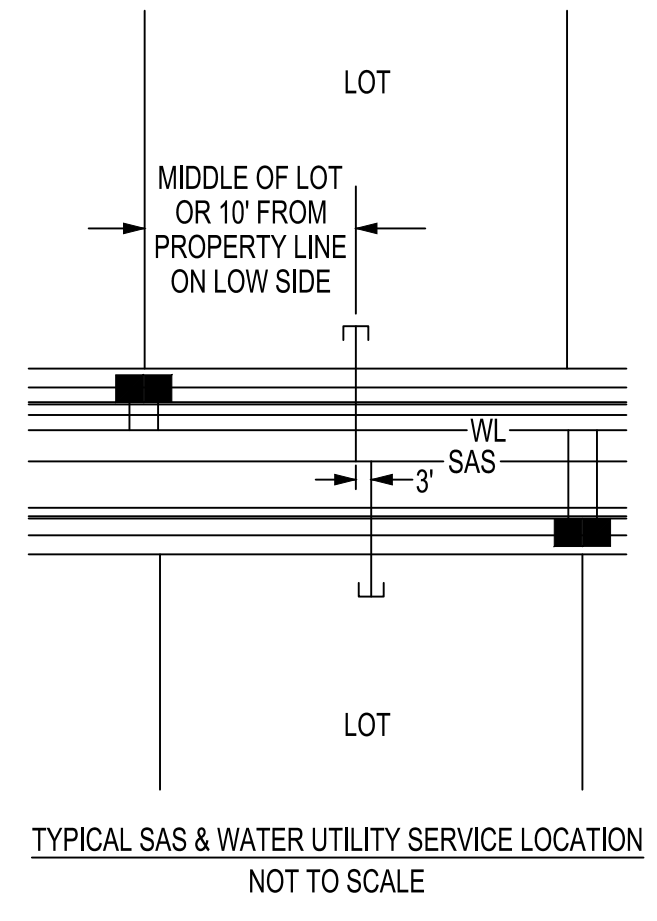
"EXHIBIT D- Inlet and Storm Drain Network Plan", shows the flow, street grade, water depth, flow captured, and type of each inlet and the size, slope, flow, and capacity of the storm drain system. All upstream flows were within the depth of flow in the street and does not exceed the curb height nor the energy grade line does not exceed at the right of way (ROW) of any street. At the downstream end, an inlet in sump condition that captures all the developed flows.



<b>PROPOSED DRAINAGE PLAN</b>			
<b>HOFFMANTOWN</b>			
DRAWN BY:	SS	DATE:	08/31/2022
CHECKED BY:	YPM	BHI PROJECT NO.	20220092
		SHEET NO.	1



(SERVICE CONNECTION INSTALLATION TO CONFORM TO C.O.A. STD. DWG. 2125)



RESTRAINING JOINT TABLE

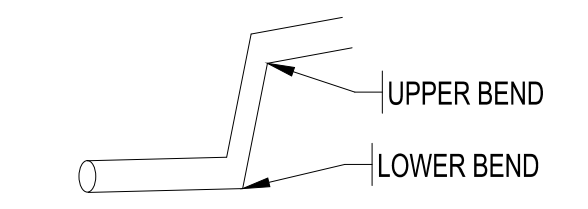
MECHANICAL JOINTS	LENGTH OF RESTRAINED JOINTS	
	6"	12"
6" X 6" TEE	1	
12" X 12" TEE		17
12" X 6" REDUCER		48
90° HORIZ. BEND	25	36
45° HORIZ. BEND	11	15
22.5° HORIZ. BEND	5	8
11.25° HORIZ. BEND	3	4
GATE VALVE/CAP	55	66
22.5° VERT. BEND (UPPER)	11	13
(LOWER)	4	6
11.25° VERT. BEND (UPPER)	23	7
(LOWER)	8	3

\* NOTE:  
6" WL PVC (C-900) & 12" WL TO BE DI

- NOTE:
- ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTING.
  - THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF MJ SHALL BE RESTRAINED AT THE CONTRACTORS EXPENSE.
  - THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE TABLE ABOVE. (SEE NOTE 2 ABOVE).
  - THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.
  - ALL CAPS SHALL UTILIZE PCC BLOCKING, UNLESS OTHERWISE NOTED.
  - RESTRAINED LENGTH IS ON LARGE SIDE ON ALL REDUCERS.
  - RESTRAIN ALL JOINTS BETWEEN UPPER AND LOWER VERTICAL BENDS.

LEGEND

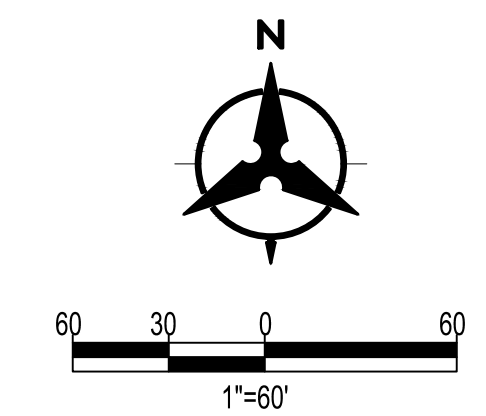
PROPOSED CURB AND GUTTER	---
EXISTING CURB AND GUTTER	---
FUTURE CURB AND GUTTER	---
PROPOSED STORM DRAIN MANHOLE	○
EXISTING STORM DRAIN MANHOLE	○
PROPOSED SANITARY SEWER MANHOLE	●
EXISTING SANITARY SEWER MANHOLE	○
PROPOSED FIRE HYDRANT	●
PROPOSED GATE VALVE	⊗
EXISTING GATE VALVE	⊗
PROPOSED STORM DRAIN	SD
PROPOSED SANITARY SEWER	SAS
PROPOSED WATER LINE	W
STORM DRAIN INLET	—
STORM DRAIN CULVERT	—
EXISTING STORM DRAIN	SD
EXISTING SANITARY SEWER	SAS
EXISTING WATER LINE	W



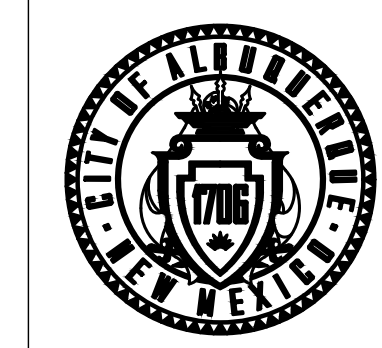
WATER SHUT-OFF PLAN:  
FOR CONNECTION VALVES CLOSED  
HARPER ROAD VALVE #1  
ACADEMY ROAD VALVE #2

CONTRACTOR WILL BE RESPONSIBLE FOR FLUSHING, DISINFECTING, AND TESTING THE LINES AS REQUIRED BY THE ABCWUA.

WATER SHUT-OFF REQUIREMENTS:  
CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF WELL COLLECTORS, TRANSMISSION LINES, OR FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFFS REQUESTS MUST BE MADE ONLINE AT [HTTPS://WWW.ABCWUA.ORG/WATER\\_SHUT\\_OFF\\_AND\\_TURN\\_ON\\_PROCEDURES.ASPX](https://www.abcwua.org/water_shut_off_and_turn_on_procedures.aspx)



CALL NM ONE-CALL SYSTEM SEVEN (7) DAYS PRIOR TO ANY EXCAVATION



CITY OF ALBUQUERQUE  
DEPARTMENT OF MUNICIPAL DEVELOPMENT  
ENGINEERING DIVISION

THE ESTATES AT ACADEMY  
OVERALL UTILITY PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	ZONE MAP NO. E-20-Z
		CITY PROJECT NO. 426181
		SHEET NO. 12 OF 23

CONSULTANTS  
**Bohannon**  
**Huston**  
www.bhinc.com  
800.877.5332

BENCH MARKS  
ACS BRASS DISK STAMPED "2-F19"  
GEOGRAPHIC POSITION (NAD 1983)  
NM STATE PLANE GRID COORDINATES (CENTRAL ZONE)  
N = 1,508,356.006 (USFT), E = 1,547,788.219 (USFT)  
GROUND TO GRID FACTOR = 0.99965028  
DELTA ALPHA = -00°10'42.13"  
NAD 88 ELEVATION = 5386.837 (USFT)

SEAL

NO.	DATE	DESCRIPTION	CONTRACTOR	BY

DESIGNED BY: YPM, SMS  
DRAWN BY: AR, DO  
CHECKED BY: YPM  
DATE: 11/30/2022



**ALBUQUERQUE FIRE MARSHAL'S  
DIVISION OFFICE PLANS  
CHECKING DIVISION**

**PERMIT  
FIRE PLAN  
APPROVED**

PERMIT NUMBER: FP-23-012705  
APPROVED DATE: 01/11/23

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINISH CONDITIONS REQUIRED.

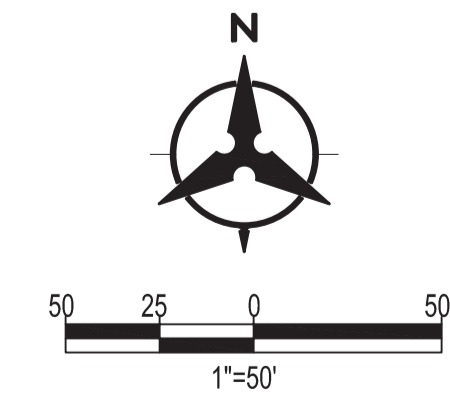
# THE ESTATES AT ACADEMY



NOTE:  
ALL FIRE HYDRANT LEGS ARE 6" DIA.

### LEGEND

PROPOSED CURB AND GUTTER	====
EXISTING CURB AND GUTTER	====
FUTURE CURB AND GUTTER	----
PROPOSED STORM DRAIN MANHOLE	⊙
EXISTING STORM DRAIN MANHOLE	⊙
PROPOSED SANITARY SEWER MANHOLE	●
EXISTING SANITARY SEWER MANHOLE	○
PROPOSED FIRE HYDRANT	⊙
PROPOSED GATE VALVE	⊗
EXISTING GATE VALVE	⊗
PROPOSED STORM DRAIN	SD
PROPOSED SANITARY SEWER	SAS
PROPOSED WATER LINE	W
STORM DRAIN INLET	⊥
STORM DRAIN CULVERT	— —
EXISTING STORM DRAIN	SD
EXISTING SANITARY SEWER	SAS
EXISTING WATER LINE	W













# PR-2018-001560\_SI-2023-00554\_Site\_Plan\_Approved\_3-29-23\_Sheet\_1

Final Audit Report

2023-04-07

Created:	2023-04-05
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAuHktiVxXU0vqMbzc8PBbdTIXN1HoZ4AD

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 Agreement completed.

2023-04-07 - 8:21:26 PM GMT

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# PR-2018-001560\_SI-2023-00554\_Site\_Plan\_Aproved\_3-29-23\_Sheet\_1


Final Audit Report


2023-04-14


Created:	2023-04-11
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
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