



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)
<input type="checkbox"/> Site Plan Administrative DFT (Forms P & P2)	PRE-APPLICATIONS
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S3)
<input type="checkbox"/> Amendment to Infrastructure List (Form S3)	<input type="checkbox"/> Sketch Plan Review and Comment (Form S3)
<input type="checkbox"/> Temporary Deferral of S/W (Form S3)	APPEAL
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)	<input type="checkbox"/> Administrative Decision (Form A)

BRIEF DESCRIPTION OF REQUEST

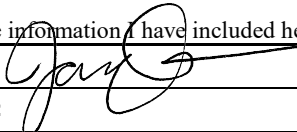
APPLICATION INFORMATION			
Applicant/Owner:		Phone:	
Address:		Email:	
City:	State:	Zip:	
Professional/Agent (if any):		Phone:	
Address:		Email:	
City:	State:	Zip:	
Proprietary Interest in Site:		List <u>all</u> owners:	

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)			
Lot or Tract No.:		Block:	Unit:
Subdivision/Addition:		MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:		Proposed Zoning
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (Acres):	

LOCATION OF PROPERTY BY STREETS		
Site Address/Street:	Between:	and:

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature: 	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

_ FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

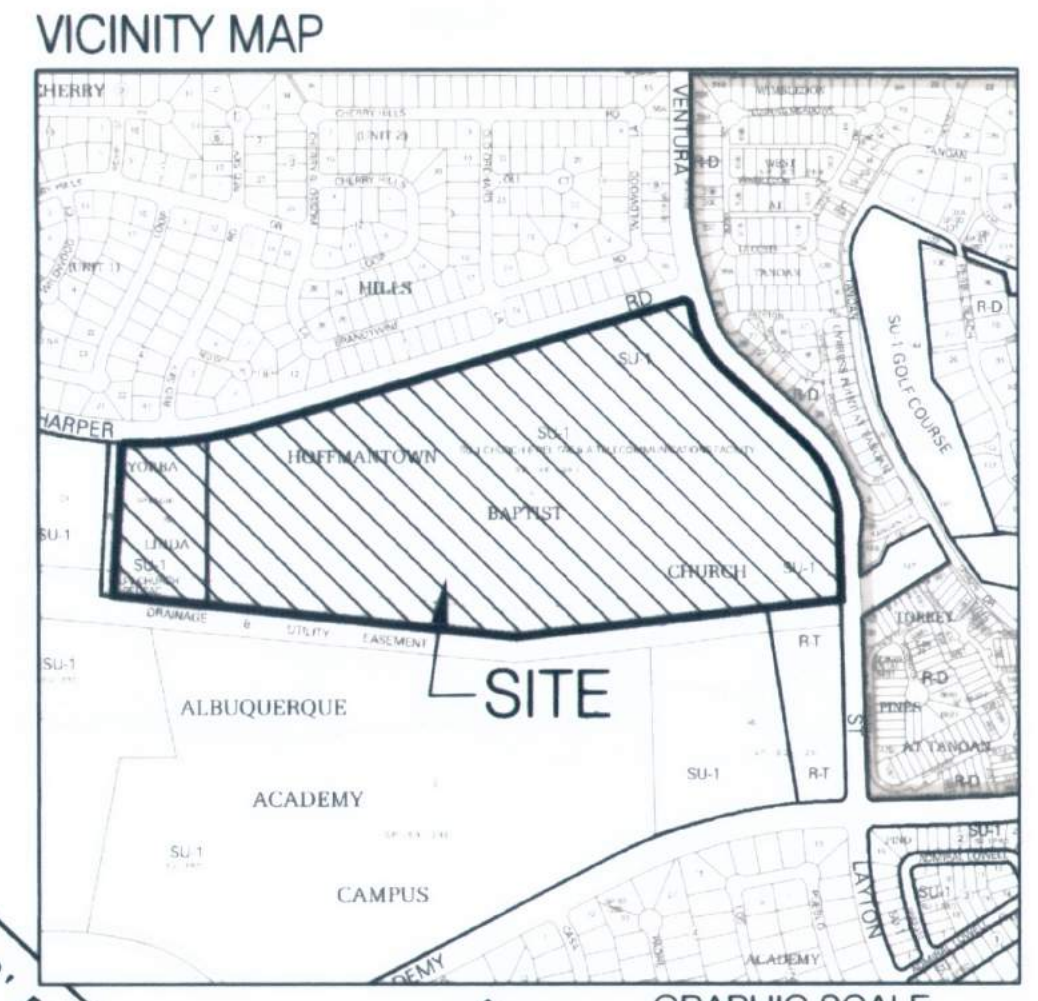
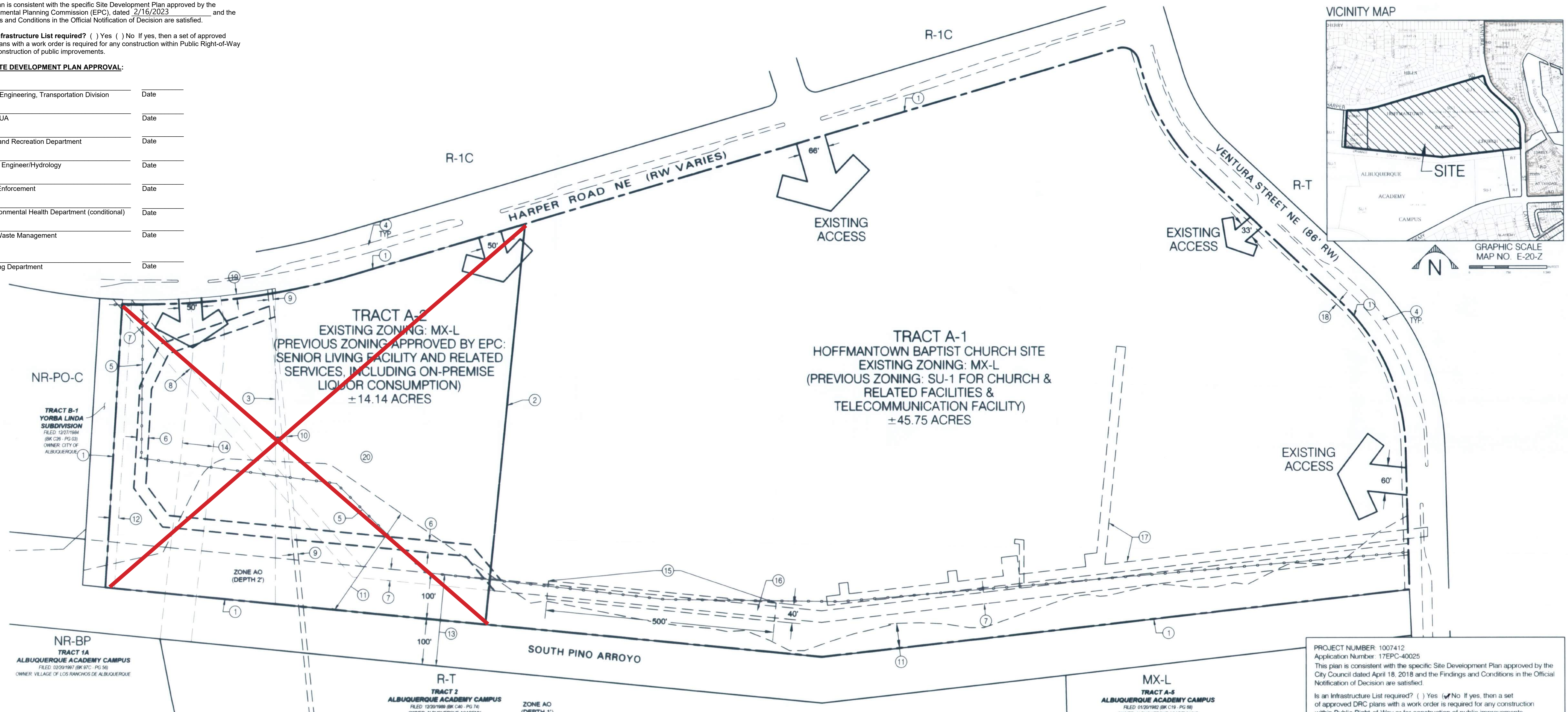
- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form P2 with all the submittal items checked/marked
- ___ 3) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 4) Site Plan and related drawings
- ___ 5) Infrastructure List, if require
- ___ 6) Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- ___ 7) Letter of authorization from the property owner if application is submitted by an agent
- ___ 8) Solid Waste Department signature on Site Plan
- ___ 9) Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- ___ 10) Approved Grading and Drainage Plan
- ___ 11) Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (*not required for Master Development Plans*)

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 2/16/2023 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date



SITE PLAN FOR SUBDIVISION-REQUIRED INFORMATION
 The Site: The site consists of approximately 59.89 acres. Zoning for Tract A-1 (Hoffmantown Baptist Church) and Tract A-2 is MX-L.
 Land Use: Land use for Tract A-1 is Church and Related Facilities and Telecommunication Facility. Land use for Tract A-2 is Senior Living and Related Services, including 180 units/beds.
 Pedestrian and Vehicular Ingress and Egress: Vehicular Access: Vehicular access is from two locations along Harper Road, a minor arterial. The access points are aligned with existing median breaks in Harper Road.
 Pedestrian Access: Primary pedestrian access is provided along Harper Road via a proposed 6 foot sidewalk and a 6 foot proposed crusher fines path. Pedestrian access into the site is provided via 6 foot pedestrian connections and 6 foot crosswalks to the internal pedestrian circulation system.
 Transit Access: Albuquerque Ride Route 2 is along Ventura Street, with a bus stop in proximity to the Harper/Ventura intersection, and Route 93 is along Academy Boulevard. Routes 31/98 are along Wyoming Boulevard.
 Bicycle Access: There is a multi-use trail along Wyoming Boulevard (to the west), a bike route along Ventura Street (to the east), and a proposed paved trail along the South Pino Arroyo (to the south).
 Internal Circulation: Internal circulation is comprised of a primary loop road and sidewalks throughout the site. All sidewalks shall be a minimum of 6 feet in width, except where adjacent to parking. All pedestrian crossings shall be highlighted with colored, textured paving.
 Building Heights: Maximum building height is 40 feet.

Minimum Building Setbacks:
 Front: 20 feet
 Side: 10 feet
 Rear: 10 feet

Maximum FAR and Density: The proposed FAR is 0.41. The proposed number of units is 180, comprised of Independent Living, Assisted Living, and Memory Care, at a density of 13 du/ac.

Landscape Plan: The landscape shall be consistent with the City's Water Conservation Ordinance Comprehensive City Zoning Code, and xeriscape principles of design in regard to placement, water requirements, turf restrictions and coverage. All landscape areas and the automatic irrigation system will be maintained by the owner in good working order.

GENERAL NOTES:
 1. The purpose of this Site Plan for Subdivision is to subdivide Hoffmantown Baptist Church property in order to create a new tract for development of a senior living facility. The existing land uses and zoning on the remaining Tract A-1 (Hoffmantown Baptist Church) is to remain. This Site Plan for Subdivision is accompanied by a Site Plan for Building Permit.
 2. Platting to subdivide the property shall be required.

- KEYED NOTES:**
- Existing Property Line
 - Proposed Property Line
 - Existing Property Line to be vacated
 - Existing roadway medians
 - Portion of fence within proposed tract to be removed. Fence subject to Fence and Boundary Agreement, Filed: November 21, 1991 (BK BCR 91020 - pg 6683-6688)
 - Proposed 26" Water Line and Sewer Line Easement
 - Existing Sanitary Sewer Easement, Filed: May 5, 1983 (BK Misc. 11-A, PG-799-802), Refiled: July 13, 1984 (BK Misc. 134A, PG 326-329)
 - Existing Sanitary Sewer Easement to be vacated, Filed: May 5, 1983 (BK Misc. 11-A, PG-799-802), Refiled: July 13, 1984 (BK Misc. 134A, PG 326-329)
 - Existing 10" Water Line, Sewer Line & Public Utility Easement to remain, Filed: April 2, 1966 (BK D 802, PG 576)
 - Existing 10" Water Line to be vacated, Sewer Line & Public Utility Easement to remain, Filed: April 2, 1966 (BK D 802, PG 576)
 - Temporary AMAFCA Drainage Easement. Permanent drainage easements will be granted and the temporary drainage easements will be vacated, in accordance with the Subdivision Ordinance, upon improvements to the Pino Arroyo, Filed: November 6, 1986, (BK C32, PG 7)
 - Existing 20" Storm Drain Easement to be vacated, Filed: December 27, 1984, (BK C26, PG 3)

- Existing 200' Drainage and Utility Easement, Filed: July 16, 1965, (BK D3, PG 122)
- Existing Agreement to Dedicate R.O.W. for Moon Street extension to be removed per COA Department of Municipal Development, Filed: August 5, 1986 (BK Misc. 379A, PG 652-656)
- Existing Temporary Easement for ingress and egress to manholes
- Existing (40' x 500') Temporary Construction and Maintenance Easement
- Existing 1.867ac. Sewer Easement
- Existing 10' PNM Easement
- Proposed Dedication of Right-of-Way
- A cross lot blanket drainage easement (excluding buildings and structures) granted across Tract A-2 for the benefit of Tract A-1 to be granted with plat. Allowable discharge will be detailed within COA Hydro File E20D020B.

MAJOR AMENDMENT 2.16.2023
 REMOVE TRACT A-2 FROM THIS SITE PLAN FOR SUBDIVISION

PROJECT NUMBER: 1007412
 Application Number: 17EPC-40025
 This plan is consistent with the specific Site Development Plan approved by the City Council dated April 18, 2018 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes (X) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i>	1/23/19
Traffic Engineering, Transportation Division	Date
<i>[Signature]</i>	01-23-19
ABCWUA	Date
N/A	Date
Parks and Recreation Department	Date
<i>[Signature]</i>	1/23/19
City Engineer/Hydrology	Date
<i>[Signature]</i>	1/23/19
Code Enforcement	Date
N/A	Date
*Environmental Health Department	Date
N/A	Date
Solid Waste Management	Date
<i>[Signature]</i>	1-23-19
DRB Chairperson, Planning Department	Date
*Environmental Health Department, if necessary	

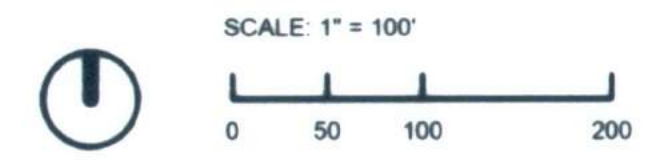


Architecture + Planning
 888.456.5849
 ktgy.com

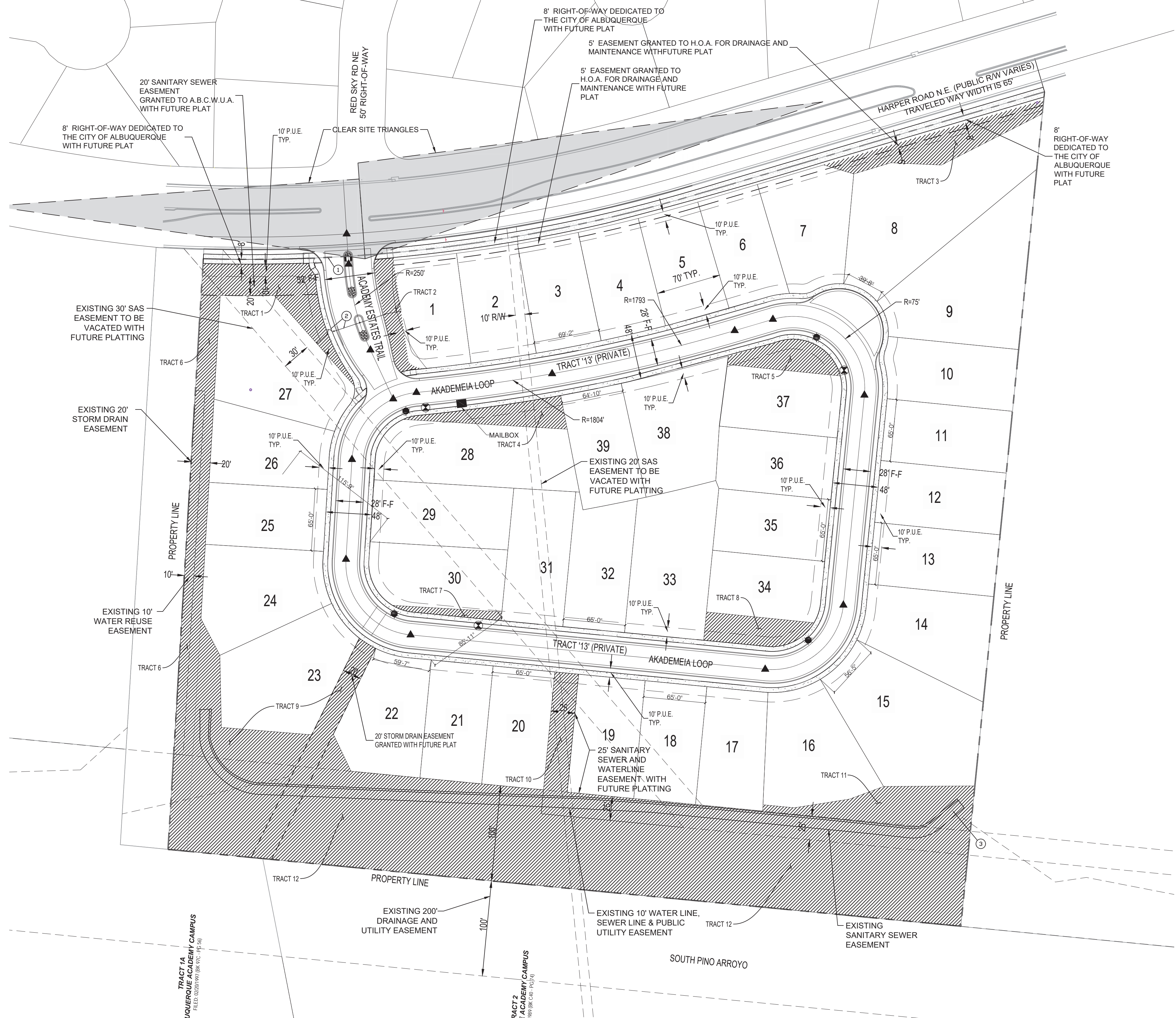


Senior Resource Group
 500 Stephens Avenue
 Solana Beach, CA 92075

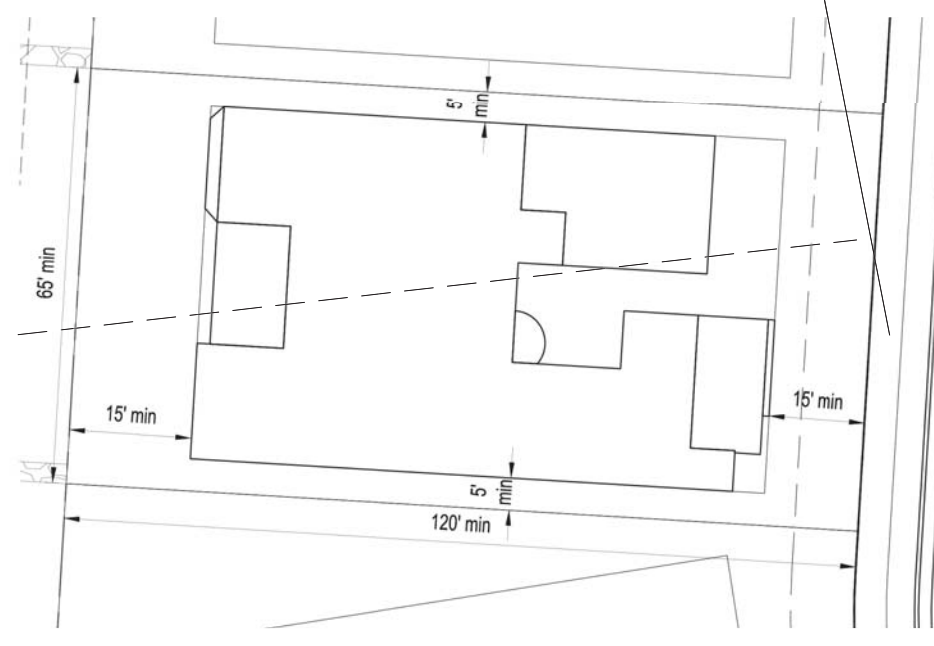
HARPER ROAD SENIOR LIVING
 ALBUQUERQUE, NM # 2017-0235



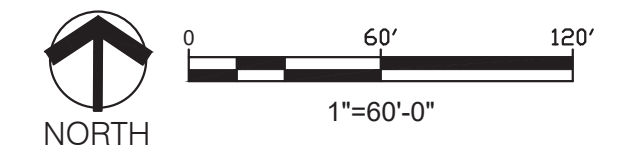
SITE PLAN FOR SUBDIVISION
 JANUARY 23, 2019



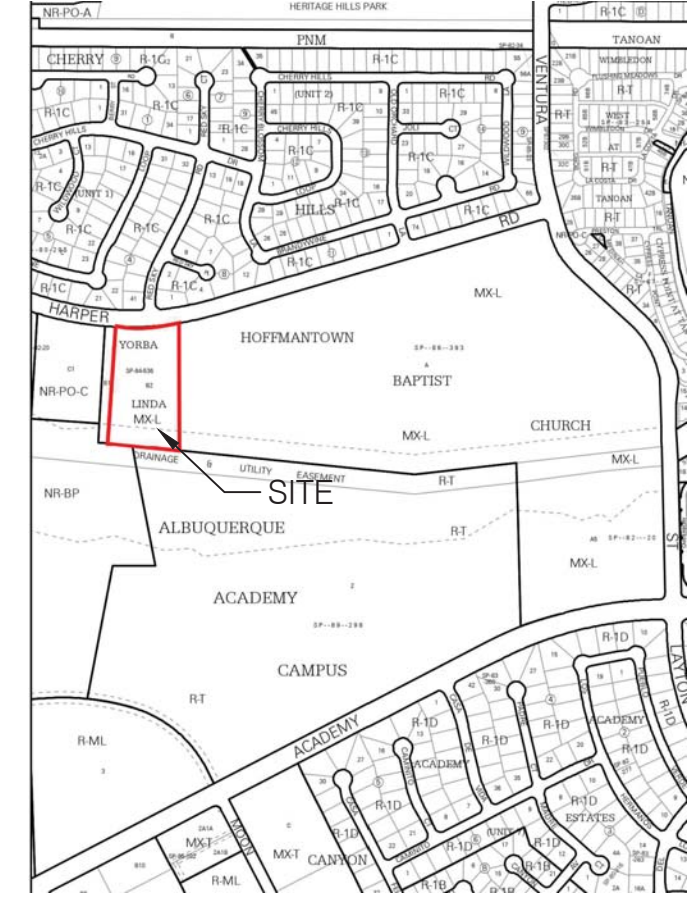
TYPICAL LOT LAYOUT



- LEGEND**
- COMMON TRACTS OWNED AND MAINTAINED BY THE HOA.
 - CONCRETE PAVING.
 - 10' MULTI-PURPOSE TRAIL.



SITE VICINITY



ZONE ATLAS PAGE E-20-Z

DEVELOPMENT DATA
 LEGAL DESCRIPTION: TRACT A-2 PLAT OF TRACTS A-1 AND A-2 HOFFMANTOWN BAPTIST CHURCH SITE (A REPLAT OF TRACT A, HOFFMANTOWN BAPTIST CHURCH SITE AND TRACT B-2, YORBA LINDA SUBDIVISION) CONTAINING 14.0710 ACRES.
 ZONING: R1-C
 LAND USE: SINGLE-FAMILY DETACHED
 PEDESTRIAN AND VEHICULAR ACCESS:

- PRIMARY VEHICULAR ACCESS IS FROM HARPER ROAD NE, AN EXISTING URBAN COLLECTOR. THE SUBDIVISION SHALL BE GATED, AND THE NEW ROADWAY SERVING THE SUBDIVISION SHALL BE PRIVATELY OWNED AND MAINTAINED BY A HOMEOWNERS' ASSOCIATION.
- PEDESTRIAN ACCESS WILL BE PRIVATE, GATED ACCESS FROM HARPER ROAD NE. 5 FOOT SIDEWALKS TO BE PROVIDED WITHIN THE SUBDIVISION. A 10 FOOT ASPHALT TRAIL TO BE PROVIDED ALONG HARPER ROAD.
- TRANSIT ACCESS IS PROVIDED ON WYOMING BOULEVARD (ROUTE 98 & 31) AND VENTANA STREET (ROUTE 2).

LOT SIZES: THE MINIMUM LOT SIZE IN HOFFMANTOWN ESTATES IS 7,000 SQUARE FEET WITH A MINIMUM LOT WIDTH OF 65 FEET.

SETBACKS:
 FRONT, MINIMUM: 15 FEET
 SIDE, MINIMUM: 5 FEET; STREET SIDE OF CORNER LOTS: MINIMUM 10 FEET
 REAR, MINIMUM: 15 FEET

MAXIMUM BUILDING HEIGHT ALLOWED: 26 FEET
 BUILDING DESIGN: SINGLE-FAMILY SHALL COMPLY WITH THE BUILDING DESIGN REQUIREMENTS OF IDO SECTION 14-16-5-11(C) LOW-DENSITY RESIDENTIAL DEVELOPMENT.
 PARKING REQUIREMENTS: DWELLING UNIT IN HOFFMANTOWN ESTATES WILL CONTAIN 3+ BEDROOMS. EACH DWELLING UNITS WILL CONTAIN 4 PARKING SPACES; 2 GARAGE SPACES AND 2 DRIVEWAY SPACES.

GENERAL NOTES

1. THE PROJECT SHALL COMPLY WITH APPLICABLE PROVISIONS OF IDO-14-16-5-2 SITE DESIGN AND SENSITIVE LANDS AND THE DPM UNLESS A WAIVER APPLIES. THE FOLLOWING WAIVERS WERE APPROVED BY THE DEVELOPMENT REVIEW BOARD AND THE ENVIRONMENTAL PLANNING COMMISSION:
 - DPM SECTION 7-4(E) - PEDESTRIAN FACILITIES - WAIVER TO ALLOW A SIDEWALK ON ONE SIDE OF THE STREET AT THE PRIVATE ENTRYWAYS TO THE SUBDIVISION.
 - DPM SECTION 7-2(C) - TEMPORARY SIDEWALK DEFERRAL - WAIVER TO DEFER THE INSTALLATION OF SIDEWALKS UNTIL EACH HOME CONSTRUCTION IS COMPLETED.
 - DPM SECTION 7-4(A)(3) CONNECTIVITY - WAIVER TO ALLOW TWO BLOCKS WITHIN THE HOFFMANTOWN ESTATES SUBDIVISION TO EXCEED 600 FEET, THE MAXIMUM BLOCK LENGTH FOR A LOCAL STREET. AKADEMEIA LOOP, THE PRIMARY LOCAL STREET WITHIN THE SUBDIVISION, IS 1,565 IN LENGTH.
 - DPM SECTION 7-4(I)(2) STANDARD CENTERLINE RADIUS FOR A LOCAL ACCESS STREET OF 75 FEET WITH APPROVAL OF THE TRAFFIC ENGINEER. WAIVER TO THE CENTERLINE RADIUS AT FOUR CORNERS OF THE LOW-SPEED, PRIVATE THOROUGHFARE OF AKADEMEIA LOOP, WHERE THE ROAD IS 90 DEGREES OR NEAR 90 DEGREES.
 - IDO SECTION 5-4(F)(2)(B) - RESIDENTIAL LOTS SHALL AVOID LAYOUTS WHERE THE REAR LOT LINE IS ADJACENT TO A COLLECTOR OR ARTERIAL STREET. WAIVER TO ALLOW FOR THE SEVEN LOTS ON THE NORTH SIDE OF THE SUBDIVISION WITH REAR YARD LOT LINES ADJACENT TO HARPER ROAD, AN URBAN MINOR ARTERIAL.
2. TRACTS 1 - 13 WILL BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION. TRACTS 1-11 FOR BEAUTIFICATION PURPOSES; TRACT 12 FOR THE ARROYO; TRACT 13 FOR VEHICULAR AND PEDESTRIAN ACCESS.
3. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.
4. ALL INTERNAL SIDEWALKS SHALL BE 5' IN WIDTH.
5. PRIVATE ROADWAY IMPROVEMENTS SHALL BE BUILT BY CITY WORK ORDER.
6. PERIMETER WALLS SHALL COMPLY WITH IDO SECTIONS 5-7 (E) (3) WALL DESIGN. WHERE ADJACENT TO THE SOUTH PINO ARROYO, WALLS SHALL COMPLY WITH IDO SECTION 5-7 (3) (4).
7. ON SITE TRANSFORMERS SHALL HAVE A 5-FOOT CLEAR AREA ON THE SIDES AND REAR AND A 10-FOOT CLEAR AREA IN FRONT TO ALLOW FOR ACCESS AND MAINTENANCE.
8. THE SITE PLAN SHALL COMPLY WITH IDO 14-16-5-2(I)(4) SITE DESIGN AND SENSITIVE LANDS - LANDSCAPING ADJACENT TO ARROYOS, AND THE FACILITY PLAN FOR ARROYOS - LANDSCAPING & OPEN SPACE:
 - DISTURBED AREAS SHALL BE RESEEDING AND/OR PLANTED WITH LOW-WATER, LOW-MAINTENANCE, NATIVE, OR NATURALIZED PLANT MATERIALS [14-16-5-2(I)(4)(B)].
 - LANDSCAPING ON LOTS ABUTTING ARROYOS SHALL BE PURSUANT TO 14-16-5(C)(4) - REQUIRED PLANT MATERIALS AND SITE AMENITIES [14-16-5-2(I)(4)(B)].
 - SEE LANDSCAPE PLAN FOR LANDSCAPING ADJACENT TO ARROYO.
9. ALL STREET LIGHT FIXTURES AND SITE LIGHTING SHALL BE IN COMPLIANCE WITH IDO SECTION 5-8 OUTDOOR AND SITE LIGHTING.
10. RETAINING WALLS ALONG HARPER ROAD WILL BE TIERED AND NO HIGHER THAN 8 FOOT
11. A 10 FOOT ASPHALT TRAIL AND STREET TREES SHALL BE PROVIDED ALONG THE HARPER ROAD FRONTAGE (SEE SHEETS 3 & 4 FOR HARPER CROSS SECTIONS)

KEYED NOTES:

1. DIVIDED ENTRY WITH 52' INGRESS AND EGRESS LANES
2. VEHICULAR GATE AND PEDESTRIAN GATE
3. BANK PROTECTION - SEE GRADING AND DRAINAGE PLAN SHEETS

PROJECT NUMBER: PR-2018-001560
 Application Number: SI-2022-2414

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT. SITE DEVELOPMENT PLAN APPROVAL:

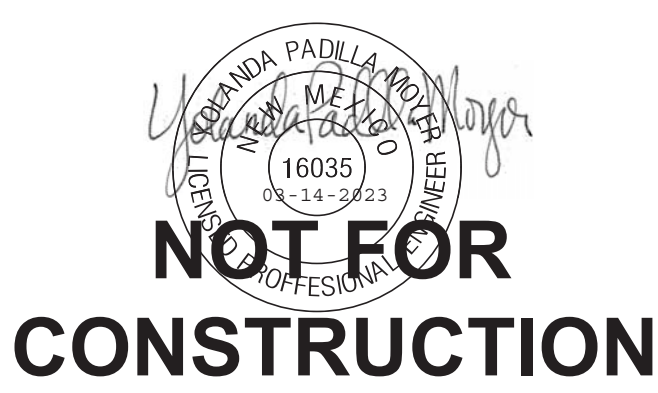
Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date

THE ESTATES AT ACADEMY

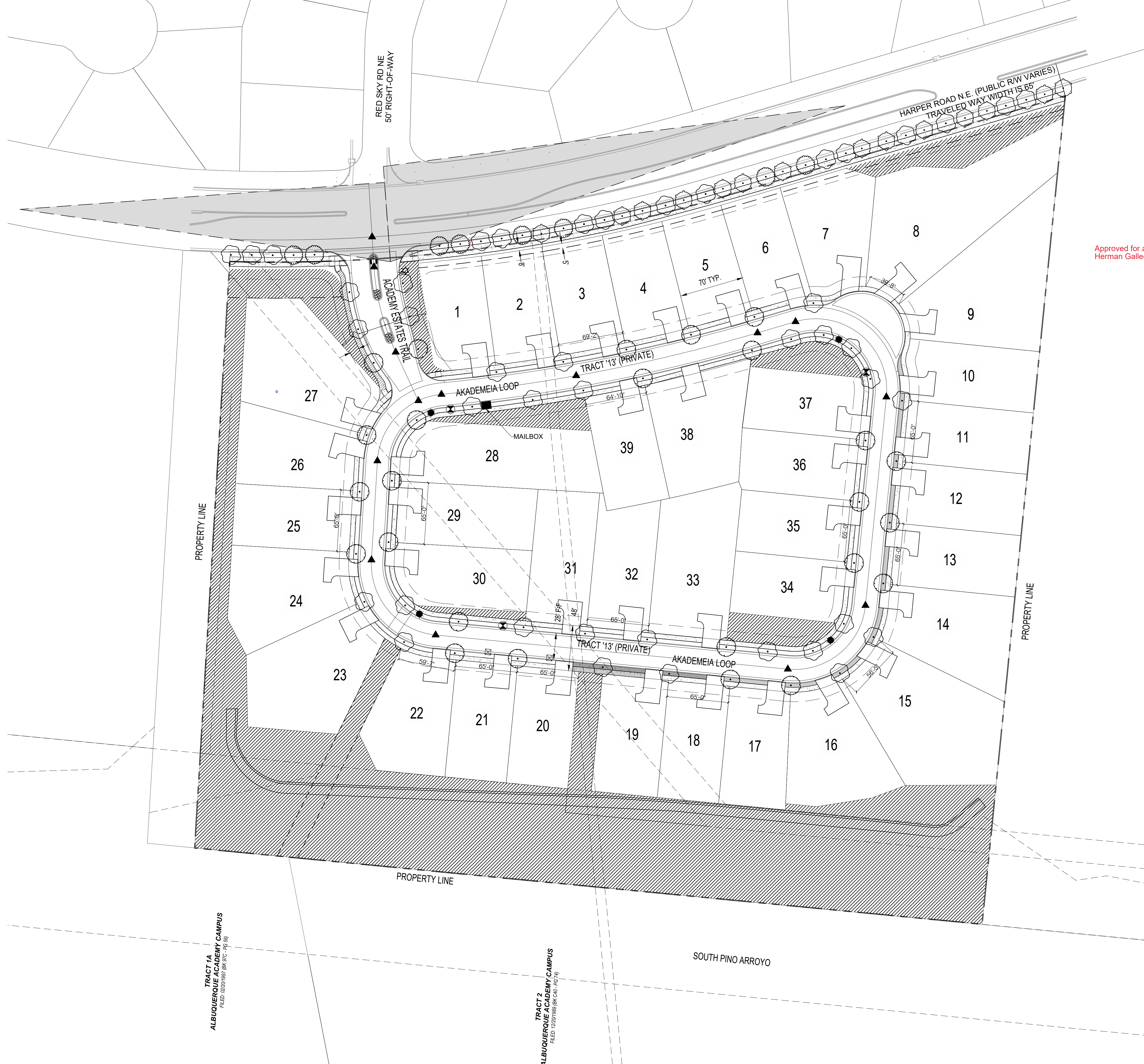
SITE PLAN - EPC

PREPARED FOR:
 PULTE GROUP
 7601 JEFFERSON ST. NE, STE. 320
 ALBUQUERQUE, NM 87109

PREPARED BY:
 CONSENSUS PLANNING, INC.
 302 EIGHTH STREET NW
 ALBUQUERQUE, NM 87102



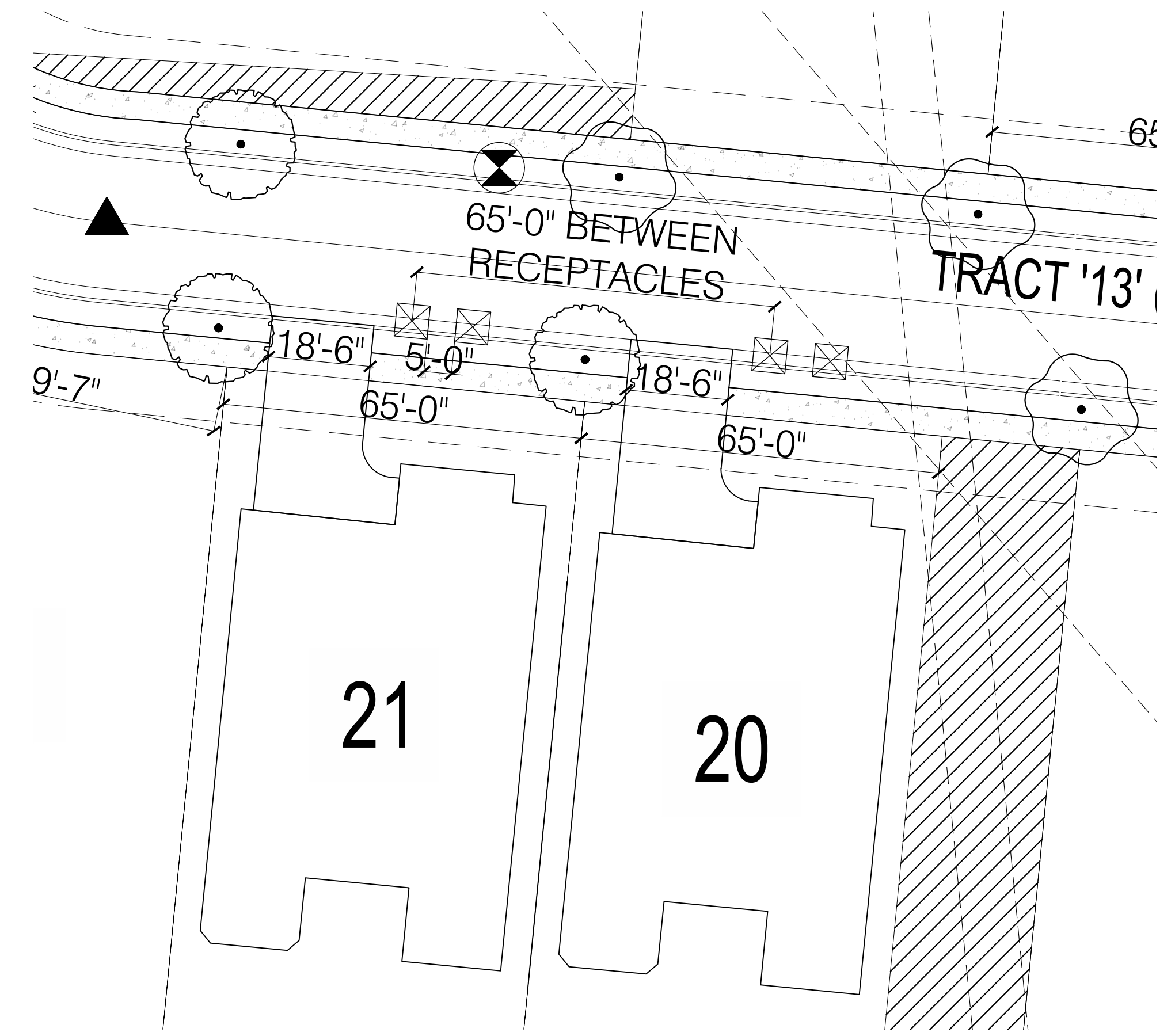
BOHANNAN HUSTON
 7500 JEFFERSON NE
 ALBUQUERQUE, NM



- LEGEND**
- TREES
 - PRIVATE STREET LIGHT
 - FIRE HYDRANT
 - MAILBOX
 - TRASH RECEPTACLE

NOTE: SOLID WASTE WILL BE PROVIDED WITH A CODE FOR THE KEY PAD FOR ACCESS TO THE SUBDIVISION

Approved for access by the Solid Waste Department
Herman Gallegos 03-10-23 *Herman Gallegos*

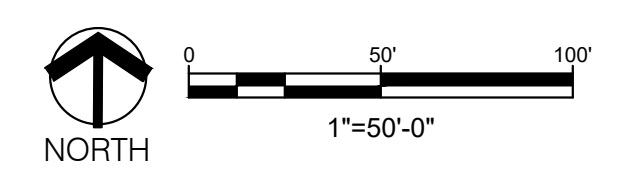


TYPICAL LOT LAYOUT

THE ESTATES AT ACADEMY
SITE PLAN - EPC

TRACT 1A
ALBUQUERQUE ACADEMY CAMPUS
FILED: 02/20/1981 (RM, 915, 145, 145)

TRACT 2
ALBUQUERQUE ACADEMY CAMPUS
FILED: 12/20/1989 (RM, 915, 145, 145)



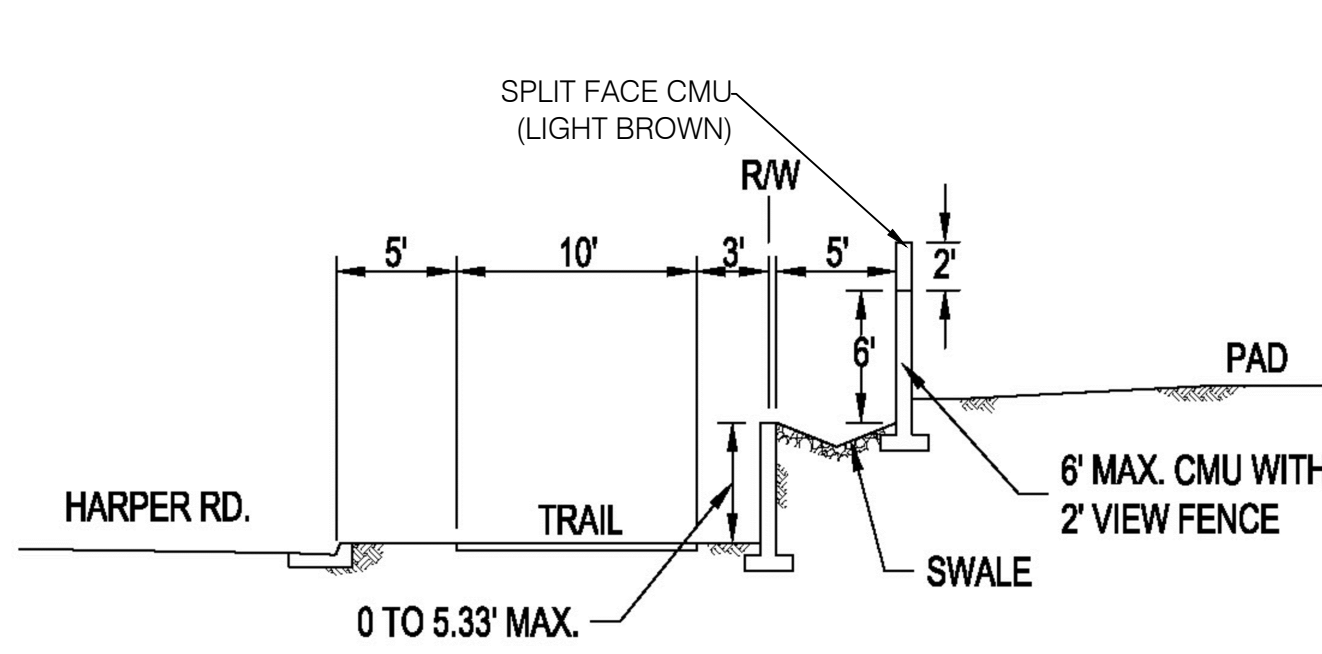
TYPICAL ELEVATIONS



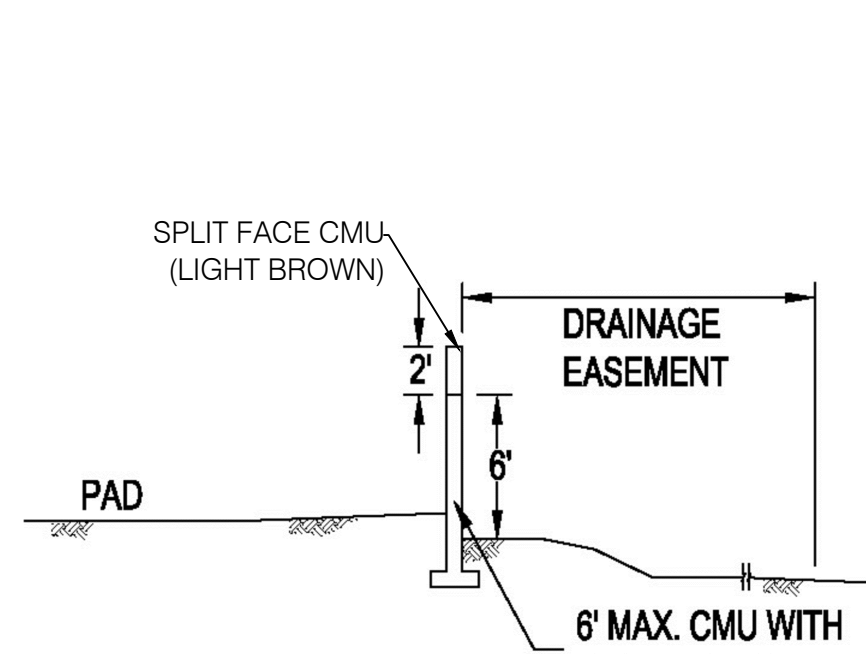
TYPICAL ELEVATIONS

1. THE DWELLING UNITS MAY BE 1 OR 2 STORIES. THE MAXIMUM HEIGHT SHALL BE 26 FEET PER IDO TABLE 2-3-3 R-1 ZONE DISTRICT DIMENSIONAL STANDARDS SUMMARY.
2. PRIMARY FINISH MATERIALS SHALL BE STUCCO. STONE MAY BE USED AS AN ACCENT MATERIAL.
3. ROOFS MAY BE FLAT, PITCHED, OR A COMBINATION.
4. WINDOWS SHALL BE RECESSED NOT LESS THAN 2 INCHES AND / OR SHALL BE SURROUNDED BY A WINDOW CASING NOT LESS THAN 2 INCHES WIDE, PER IDO SECTION 5-11(C)(2).
5. FOR ANY SIDE-ACCESS GARAGE, ANY STREET FACING FACADE OF THE GARAGE SHALL BE ARTICULATED TO RESEMBLE THE FACADE OF THE PRIMARY BUILDING AND SHALL INCLUDE AT LEAST 5 FEET OF WINDOWS ALONG THE LENGTH OF THE STREET-FACING FACADE OF THE GARAGE, PER IDO SECTION 5-11(C)(3)(a).

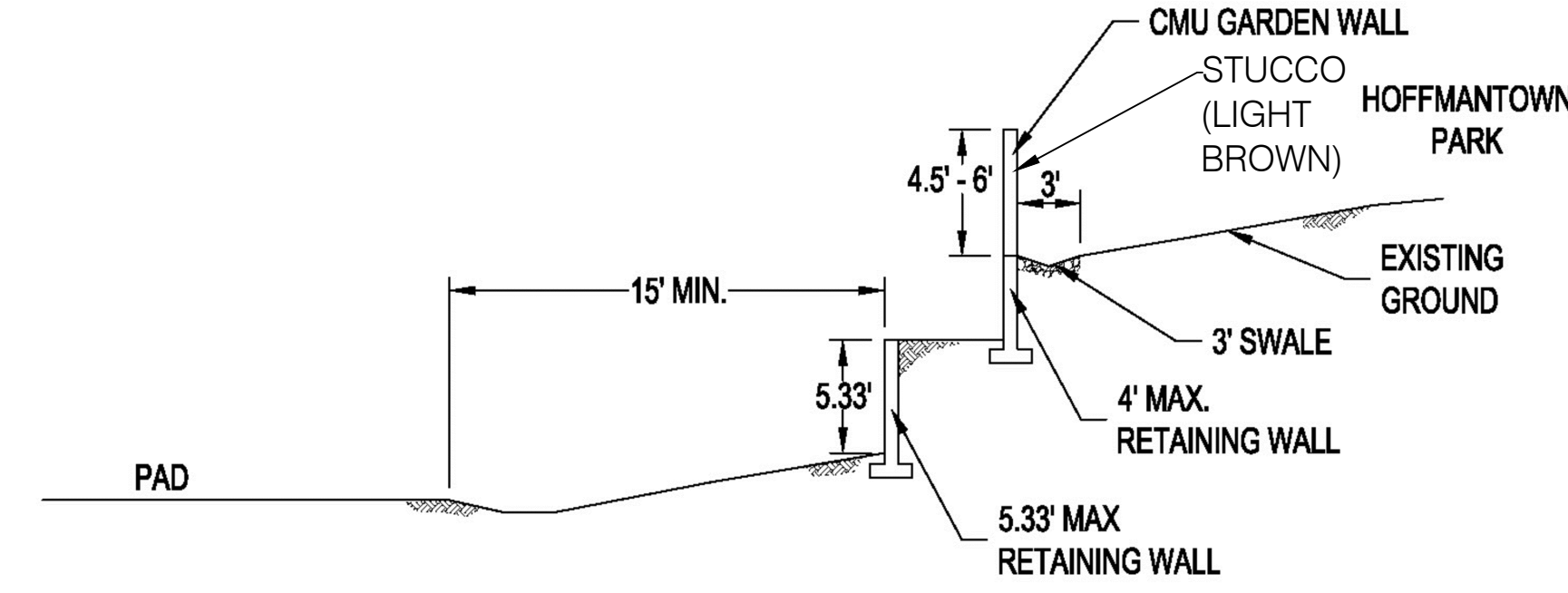
RETAINING WALLS



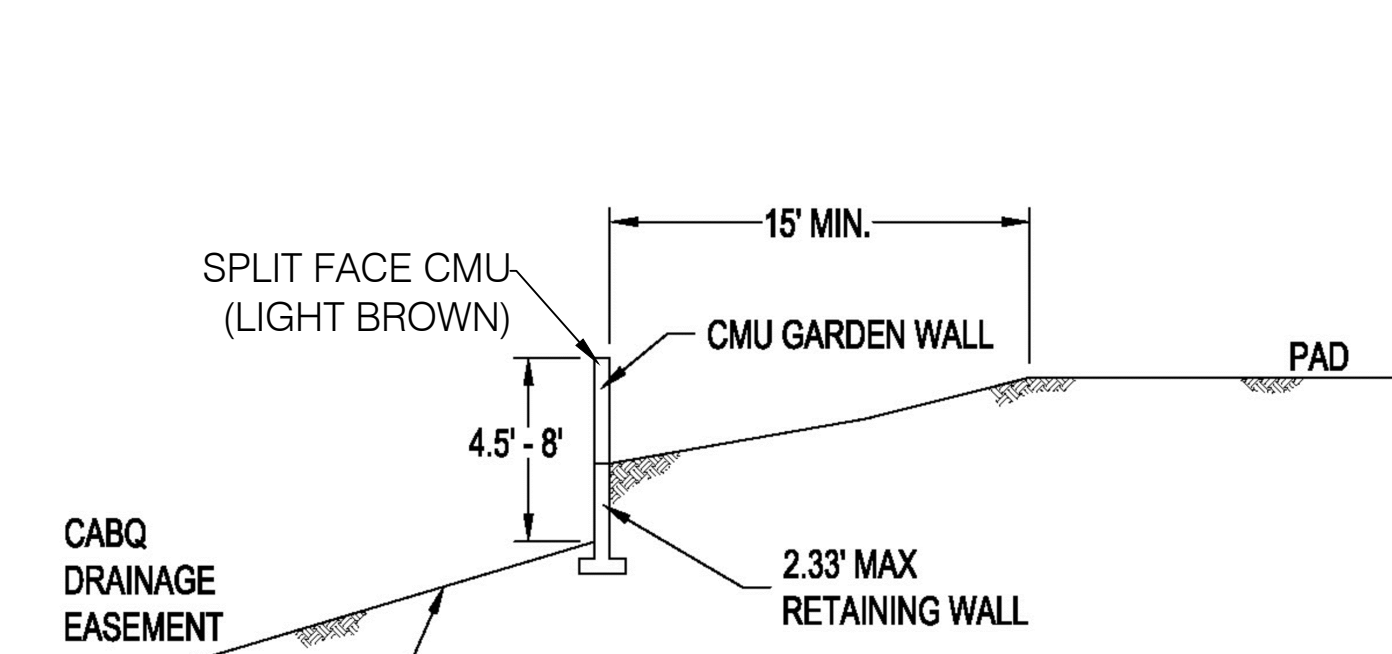
HARPER WALL SECTION
NOT TO SCALE



ARROYO WALL SECTION
NOT TO SCALE



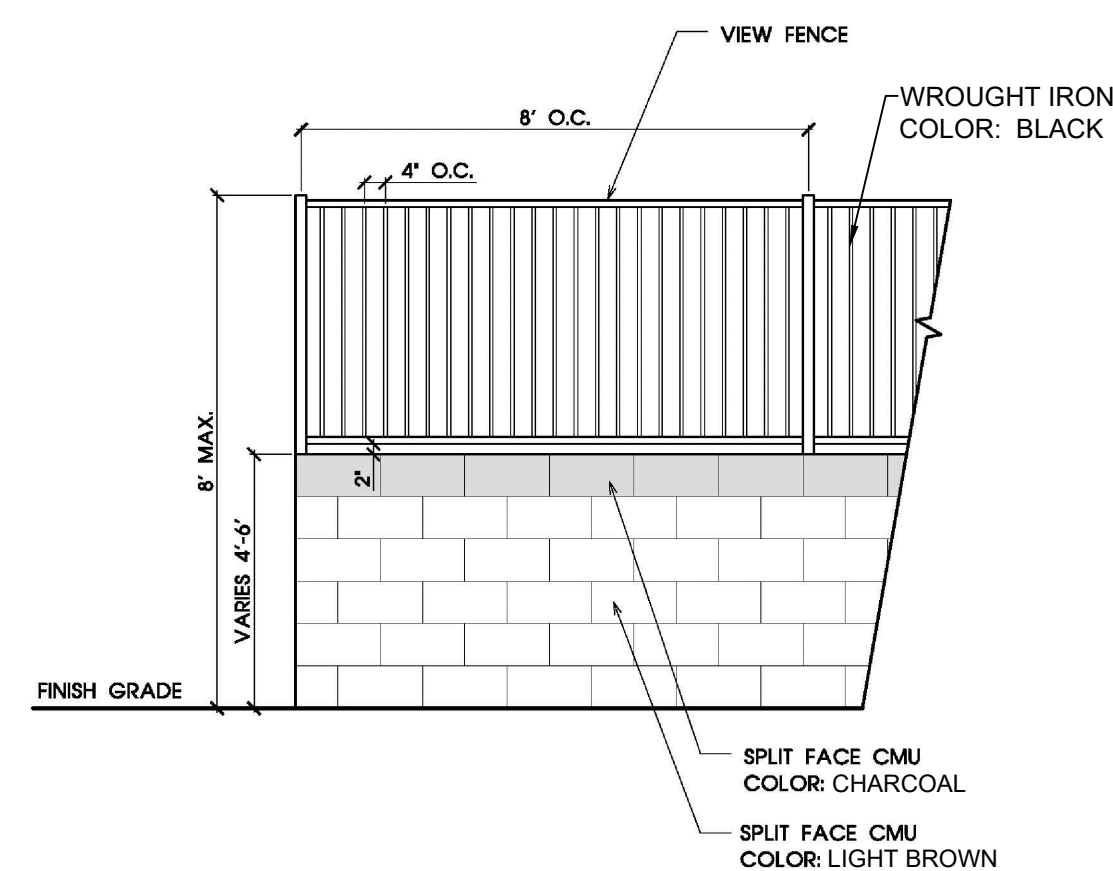
EAST WALL SECTION
NOT TO SCALE



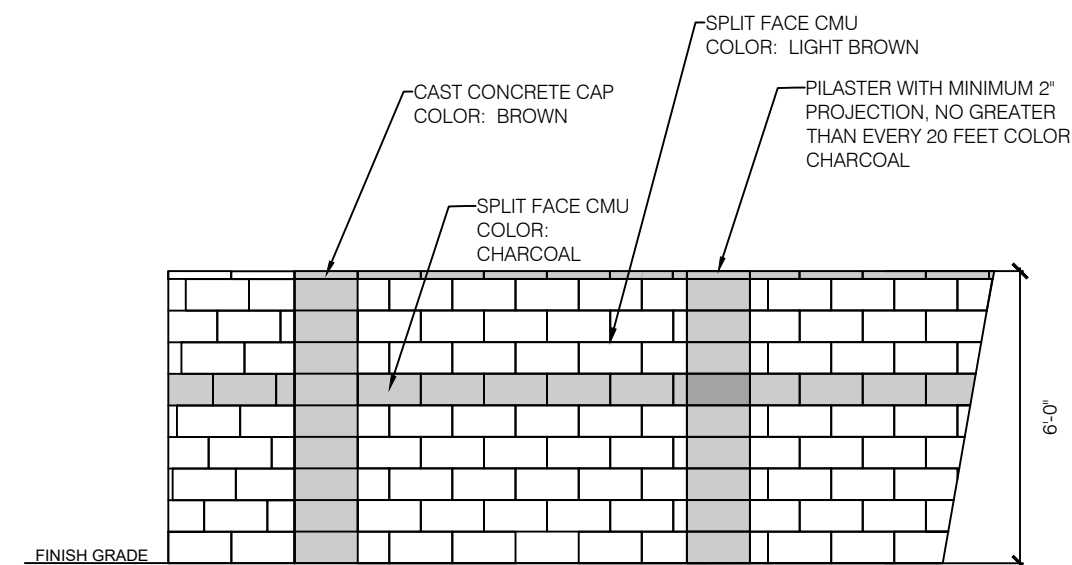
WEST WALL SECTION
NOT TO SCALE

NOTE:
RETAINING WALL HEIGHT SHALL BE IN ACCORDANCE WITH 5-7 (F) RETAINING WALL STANDARDS.

PRIVACY WALL WITH VIEW FENCE



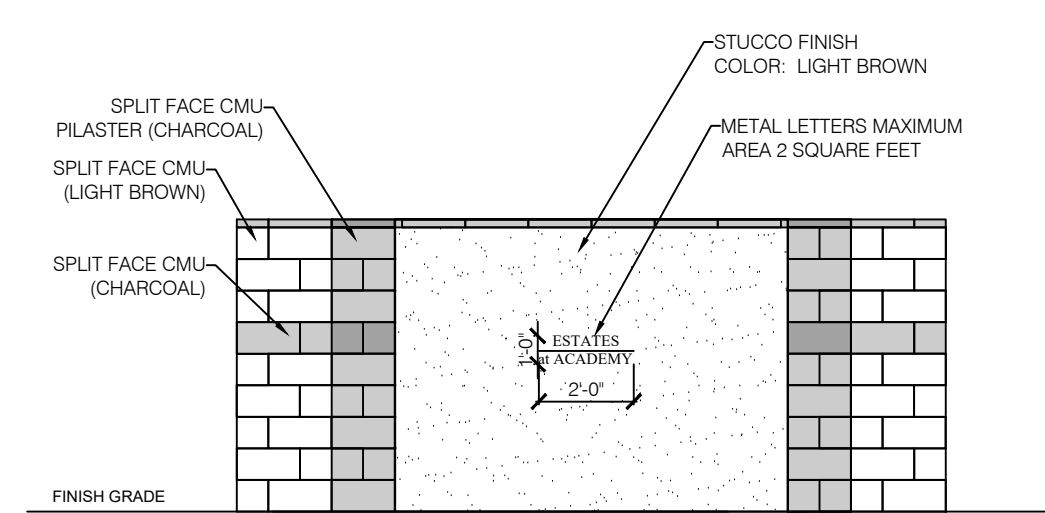
PERIMETER WALL



WALL NOTES:

1. ALL WALLS SHALL MEET THE STANDARDS CONTAINED IN THE IDO SECTION 5-7: WALLS AND FENCES RELATIVE TO HEIGHT, LOCATION, ARTICULATION AND ALIGNMENT, AND MATERIALS AND DESIGN.
2. A CONTINUOUS OVERHANG CAP WILL PROJECT A MINIMUM OF 2 INCHES FROM THE PUBLIC SIDE OF THE WALL.
3. PILASTERS SHALL BE PROVIDED AT INTERVALS OF NO GREATER THAN 20 FEET.

WALL SIGN

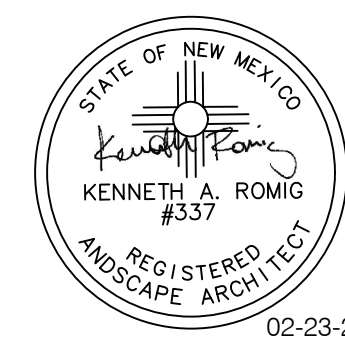


THE ESTATES AT ACADEMY
DETAILS - EPC

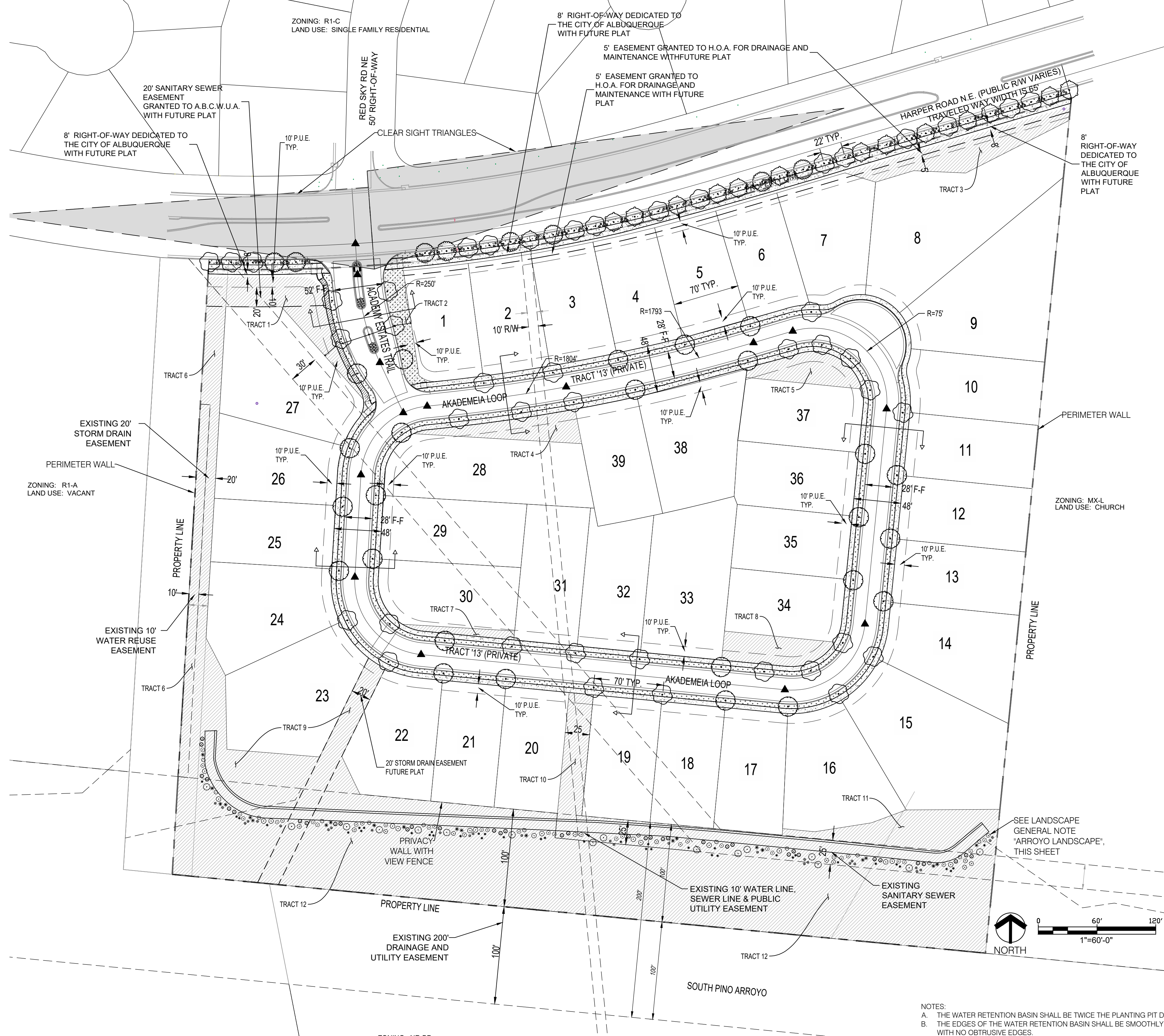
PREPARED FOR:
PULTE GROUP
7601 JEFFERSON ST. NE, STE. 320
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CONSENSUS PLANNING, INC.
302 EIGHTH STREET NW
ALBUQUERQUE, NM 87102

BOHANNAN HUSTON
7500 JEFFERSON NE
ALBUQUERQUE, NM



02-23-2023



GENERAL LANDSCAPE NOTES

IRRIGATION: IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS AND SHRUBS/ GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS.

RESPONSIBILITY OF MAINTENANCE: MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER

DISTURBED AREAS: DISTURBED AREAS SHALL BE RESEED OR PLANTED WITH LOW-WATER, LOW MAINTENANCE, NATIVE, OR NATURALIZED PLANT MATERIALS AND MAINTAINED BY THE HOA FOR THREE (3) YEARS.

ARROYO LANDSCAPE: LANDSCAPE ADJACENT TO THE ARROYO SHALL CONSIST OF LOW MAINTENANCE, NATIVE PLANTS CHOSEN FROM THE ALBUQUERQUE PLANT PALETTE (IDO-14-16-5-6(C)(4)(C)) AND IN THE FACILITY PLAN FOR ARROYOS.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE: THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

PNM COORDINATION: COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

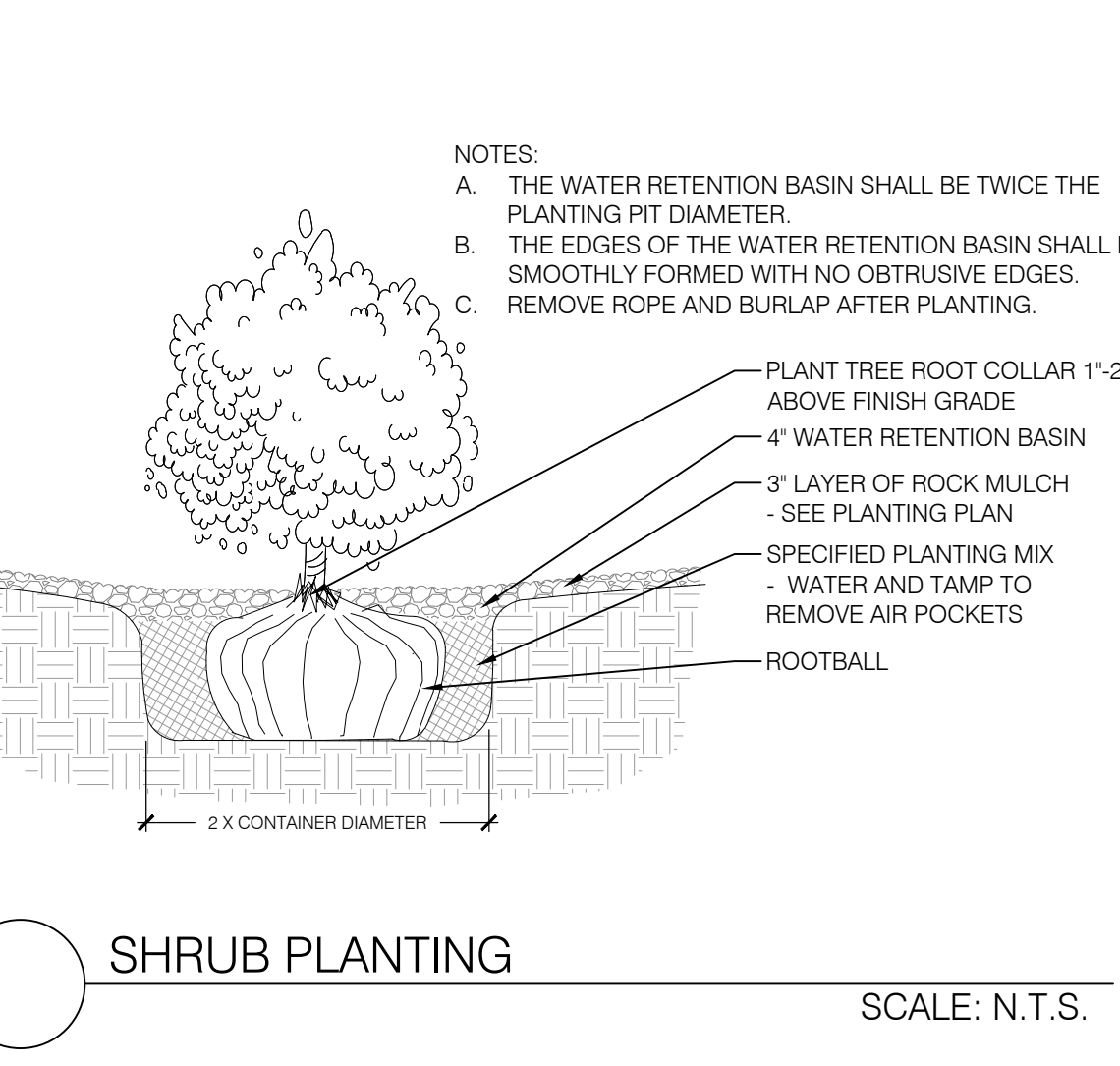
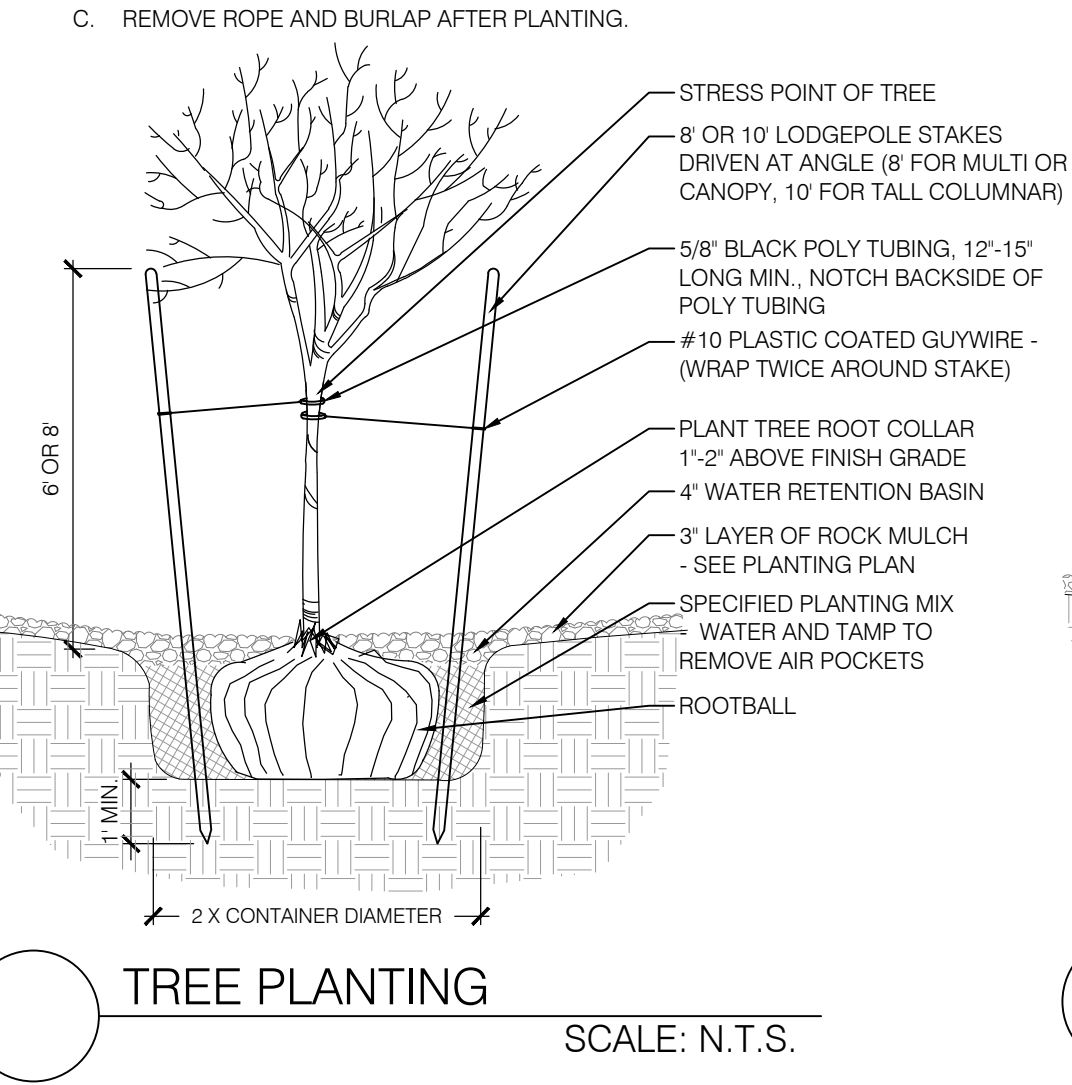
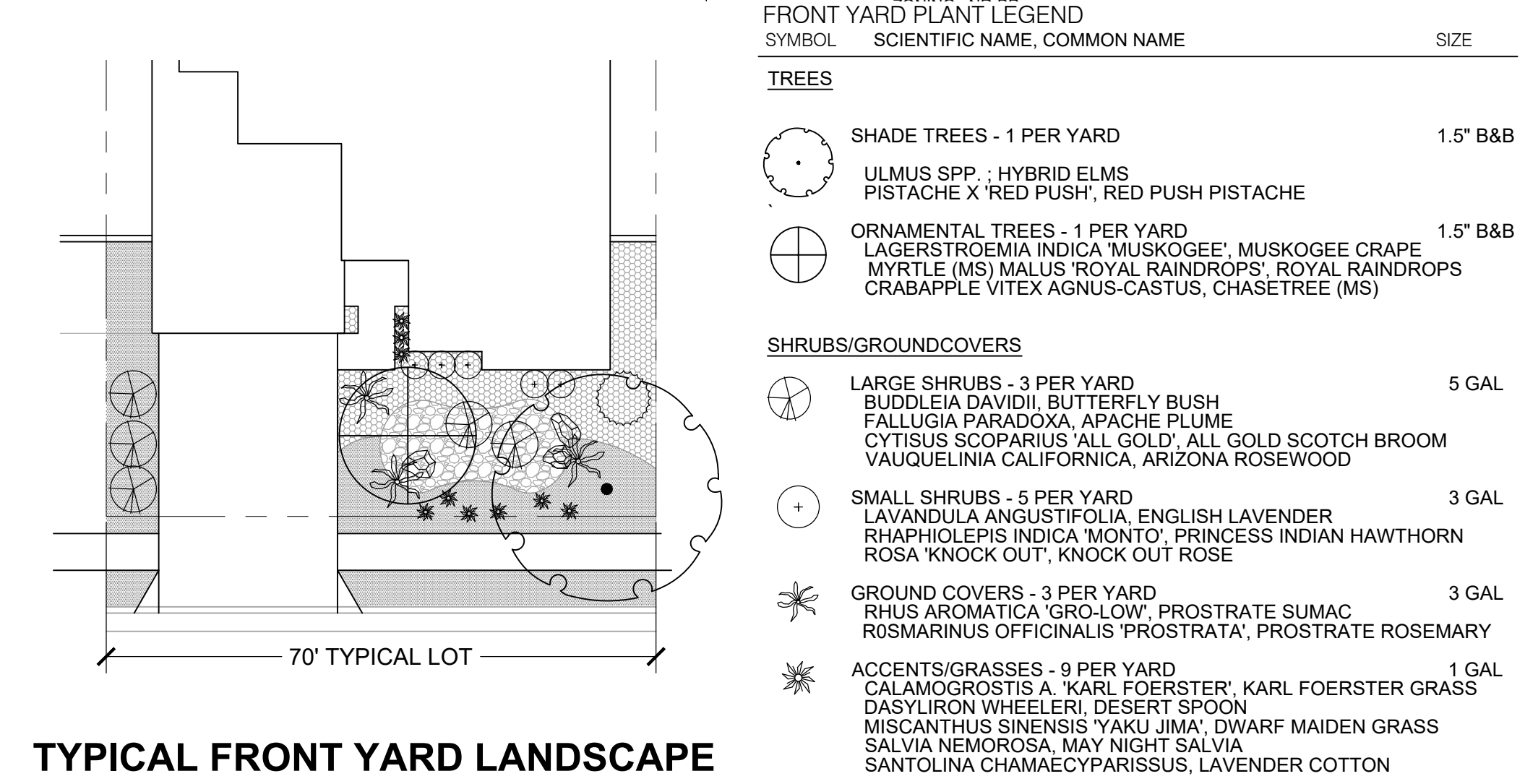
CLEAR SIGHT DISTANCE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

SHREDDED BARK MULCH AT TREES: SHREDDED BARK MULCH WILL BE PROVIDED BENEATH THE ENTIRE TREE CANOPY FOR ALL NEW TREES IN LANDSCAPE AREAS. PROVIDE 3' DIAMETER CIRCLE.

STREET TREES: STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 22' O.C. / HARPER ROAD NE STREET FRONTAGE = 900'
 NUMBER OF TREES REQUIRED: 36 / NUMBER OF TREES PROVIDED: 36

PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	INSTALL SIZE	MATURE WIDTH	WATER USE
	8	<i>Pistacia chinensis</i> / Chinese Pistache	2" Cal. B&B	35' x 25'	Medium
	25	<i>Pyrus calleryana</i> 'Autumn Blaze' / Autumn Blaze Callery Pear	2" Cal. B&B	35' x 25'	Medium
	14	<i>Ulmus carpinifolia</i> x <i>parvifolia</i> 'Frontier' / Frontier Elm	2" Cal. B&B	35' x 25'	Medium
	43	<i>Ulmus davidiana japonica</i> 'JFS-Bieberich' / Emerald Sunshine® Elm	2" Cal. B&B	25' X 25'	Medium
SHRUBS	QTY	BOTANICAL / COMMON NAME	INSTALL SIZE	MATURE SIZE	WATER USE
	35	<i>Achillea millefolium</i> 'Paprika' / Paprika Common Yarrow	1 gal.	2' x 2'	Medium
	36	<i>Artemisia filifolia</i> / Sand Sagebrush	5 gal.	3' x 5'	Low
	16	<i>Atriplex canescens</i> / Fourwing Saltbush	5 gal.	6' x 8'	Low
	70	<i>Calamagrostis x acutiflora</i> 'Karl Foerster' / Karl Foerster Feather Reed Grass	5 gal.	3' x 2'	Medium
	33	<i>Caryopteris x clandonensis</i> 'Dark Knight' / Dark Knight Bluebeard	5 gal.	3' x 5'	Low
	17	<i>Chrysothamnus nauseosus</i> / Rubber Rabbitbrush	5 gal.	5' x 5'	Low
	29	<i>Dasyliiron wheeleri</i> / Grey Desert Spoon	5 gal.	5' x 4'	Low
	15	<i>Ericameria laricifolia</i> 'Aguirre' / Aguirre Turpentine Bush	5 gal.	3' x 4'	Low
	14	<i>Fallugia paradoxa</i> / Apache Plume	5' Ht.	4' x 5'	Low
	90	<i>Nepeta x faassenii</i> 'Walker's Low' / Walker's Low Catmint	1 gal.	1' x 2'	Low
	28	<i>Penstemon pseudospectabilis</i> / Desert Beardtongue	1 gal.	3' x 3'	Low
	14	<i>Purshia mexicana</i> / Mexican Cliffrose	5 gal.	6' x 6'	Low
	39	<i>Yucca glauca</i> / Soapweed	5 gal.	3' x 3'	Low



THE ESTATES AT ACADEMY LANDSCAPE PLAN

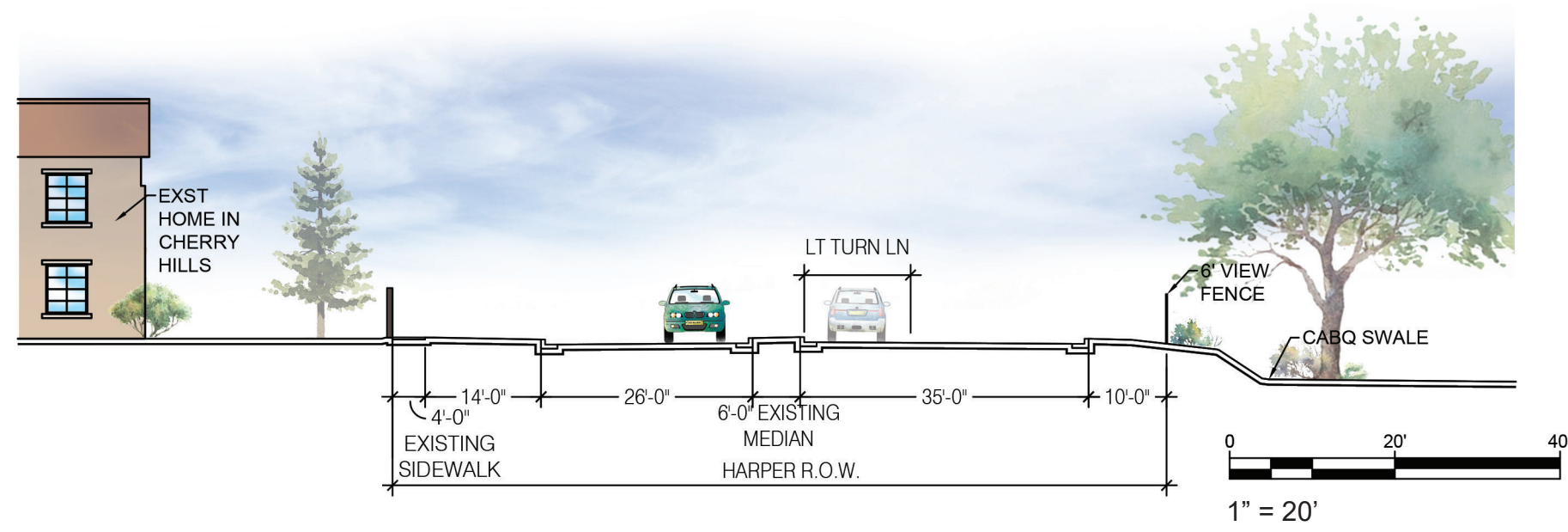
PREPARED FOR:
 PULTE GROUP
 7601 JEFFERSON ST. NE, STE. 320
 ALBUQUERQUE, NM 87109

PREPARED BY:
 CONSENSUS PLANNING, INC.
 302 EIGHTH STREET NW
 ALBUQUERQUE, NM 87102

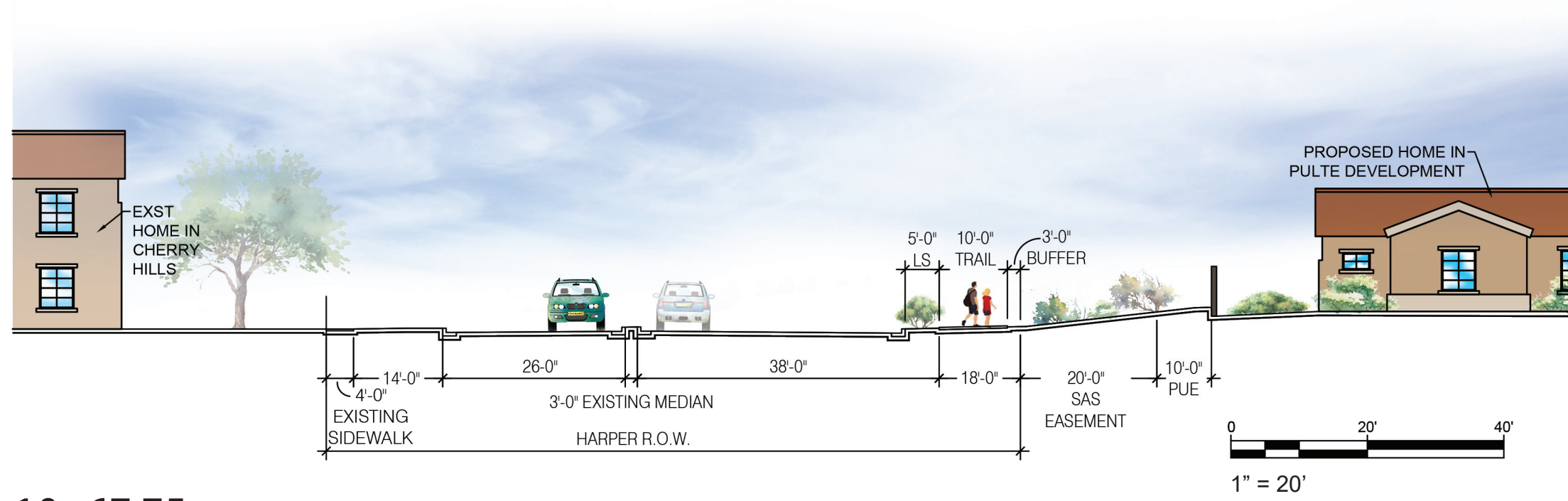
BOHANNAN HUSTON
 7500 JEFFERSON NE
 ALBUQUERQUE, NM 87109

STATE OF NEW MEXICO
 KENNETH ROMIG
 #3372
 REGISTERED LANDSCAPE ARCHITECT
 02-23-2023

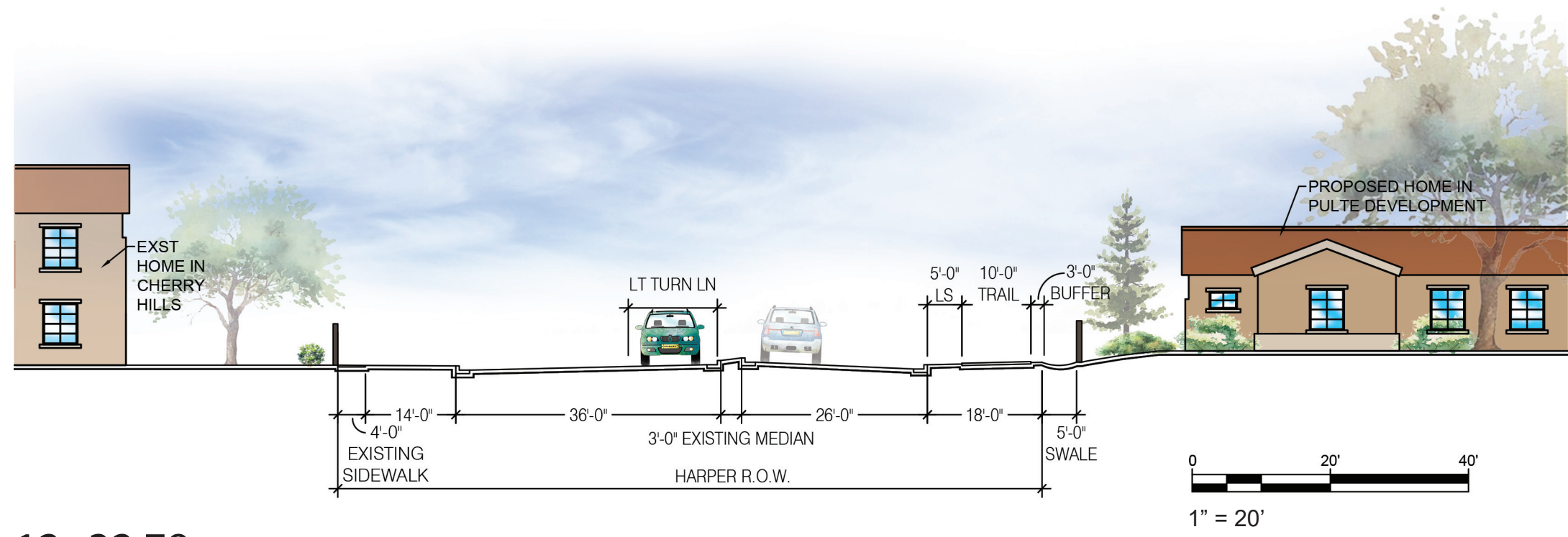
DATE: 02/20/2023
 SHEET 3 OF 12



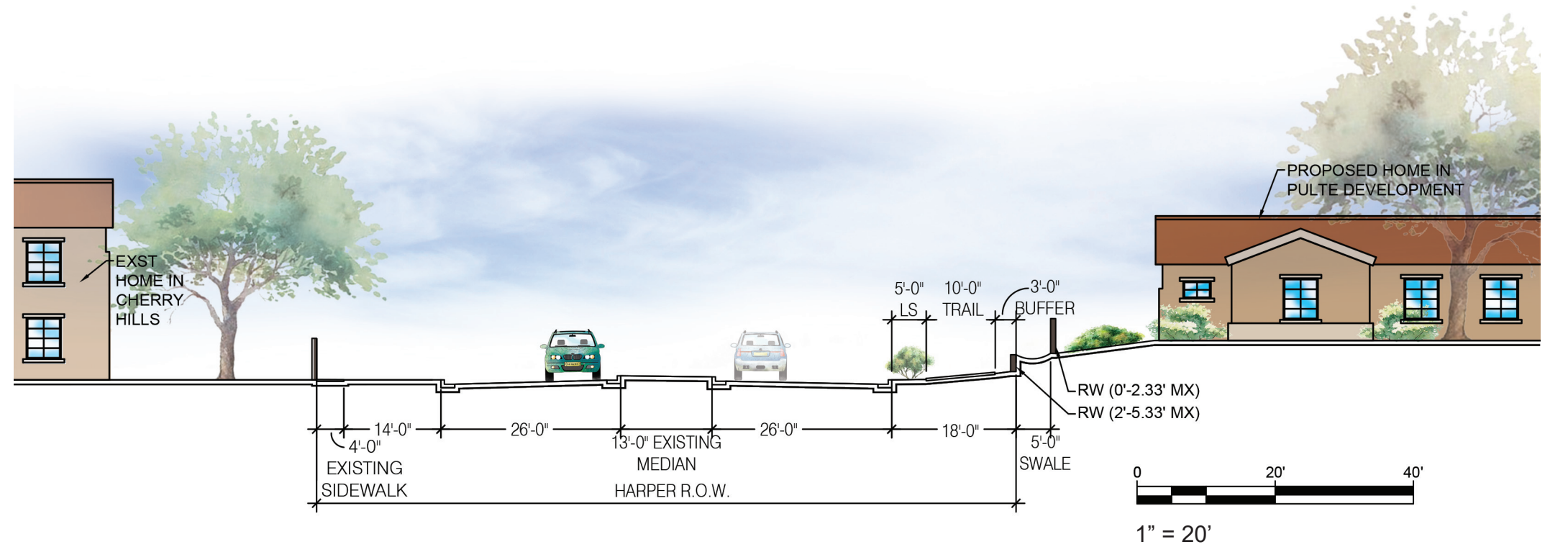
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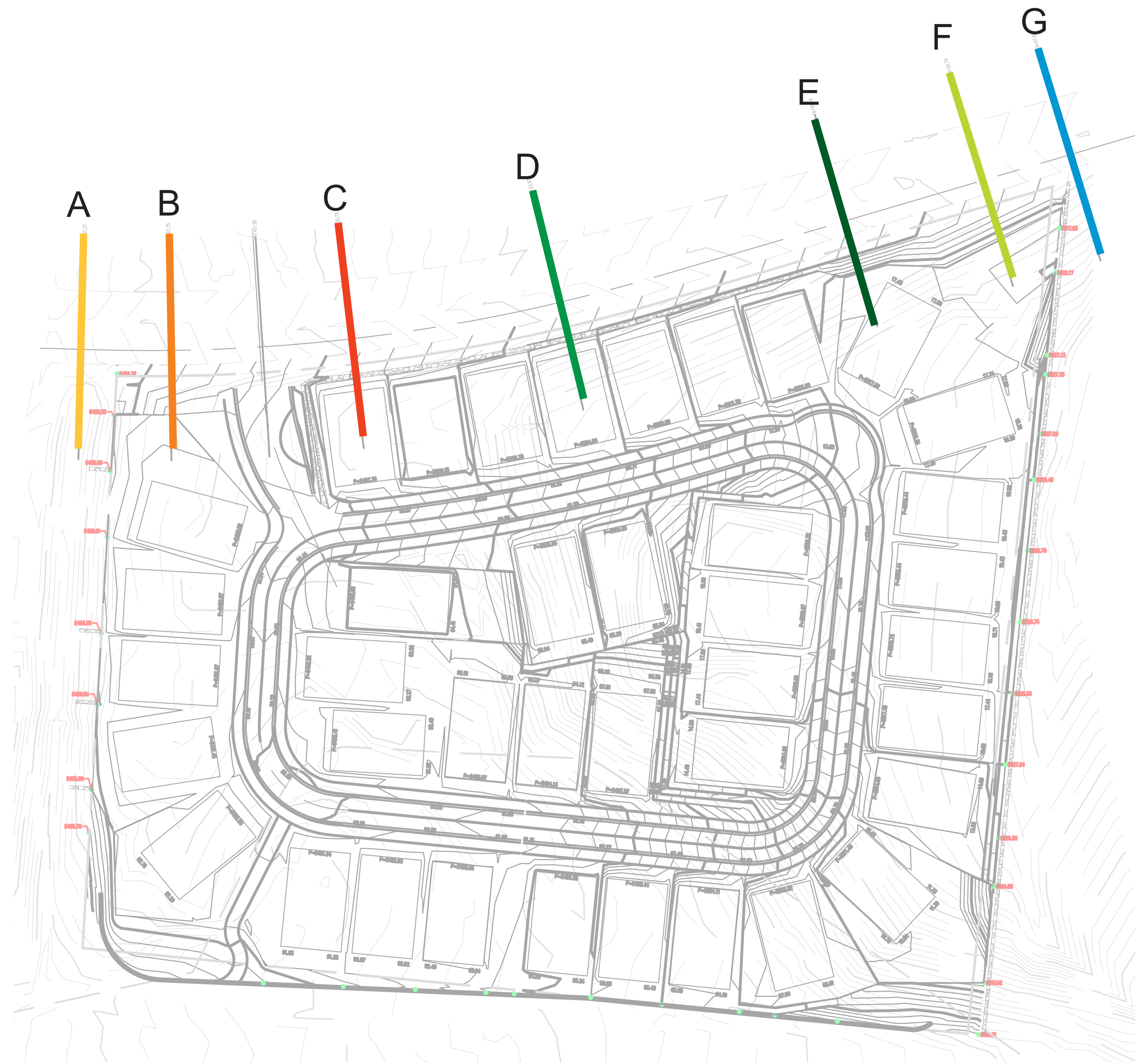
B 10+67.75



C 12+32.78



D 14+23.87

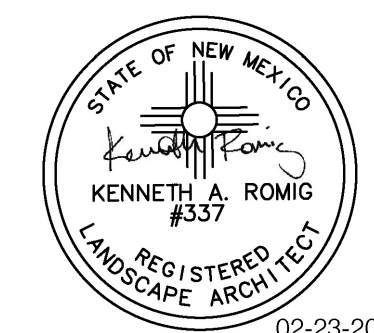


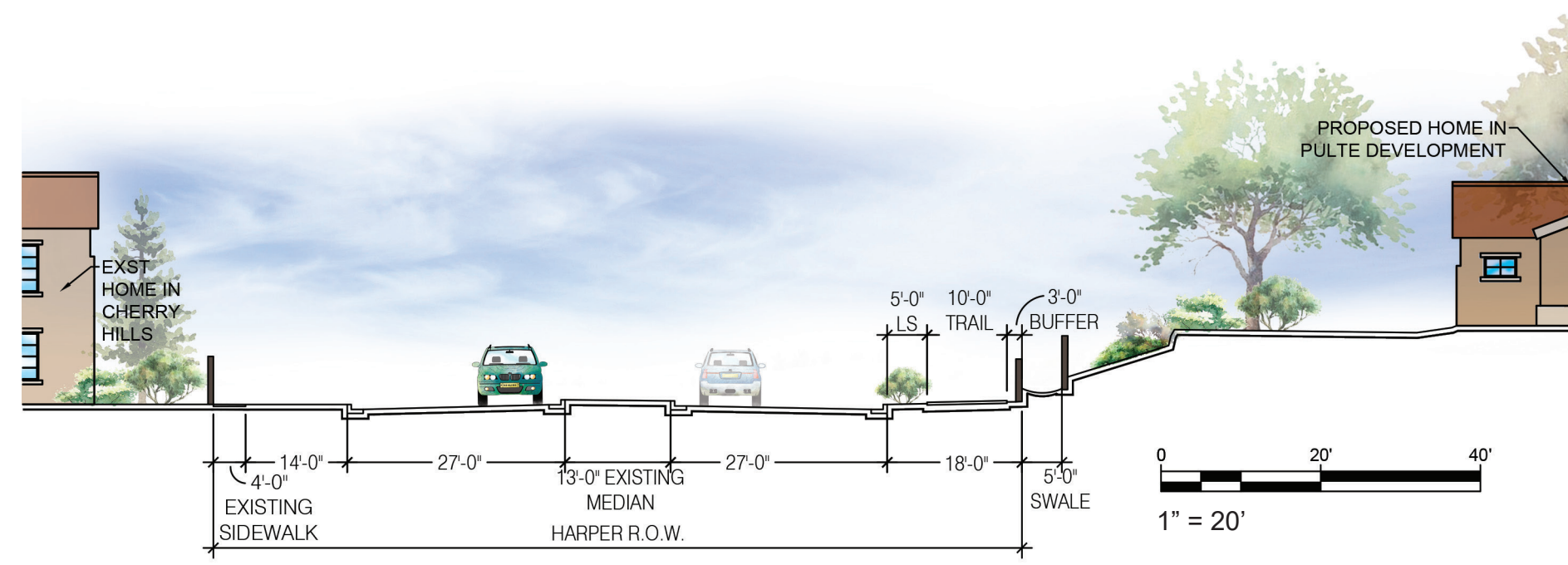
THE ESTATES AT ACADEMY HARPER CROSS SECTIONS

PREPARED FOR:
PULTE GROUP
7601 JEFFERSON ST. NE, STE. 320
ALBUQUERQUE, NM 87109

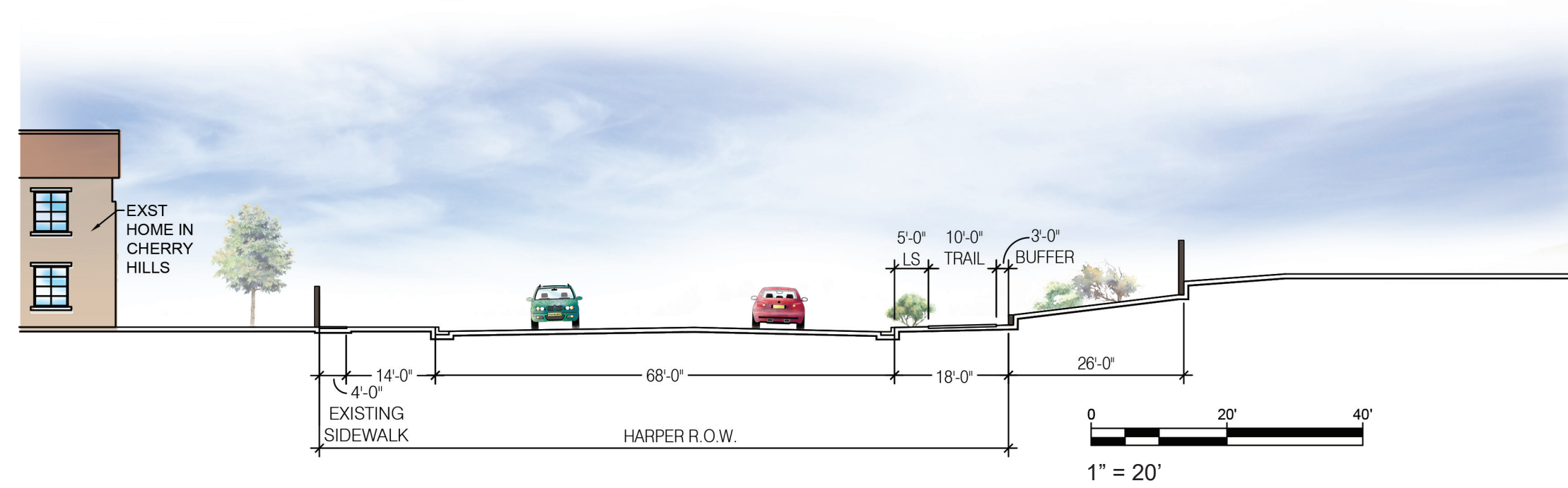
PREPARED BY:
CONSENSUS PLANNING, INC.
302 EIGHTH STREET NW
ALBUQUERQUE, NM 87102

BOHANNAN HUSTON
7500 JEFFERSON STREET NE
ALBUQUERQUE, NM 87109

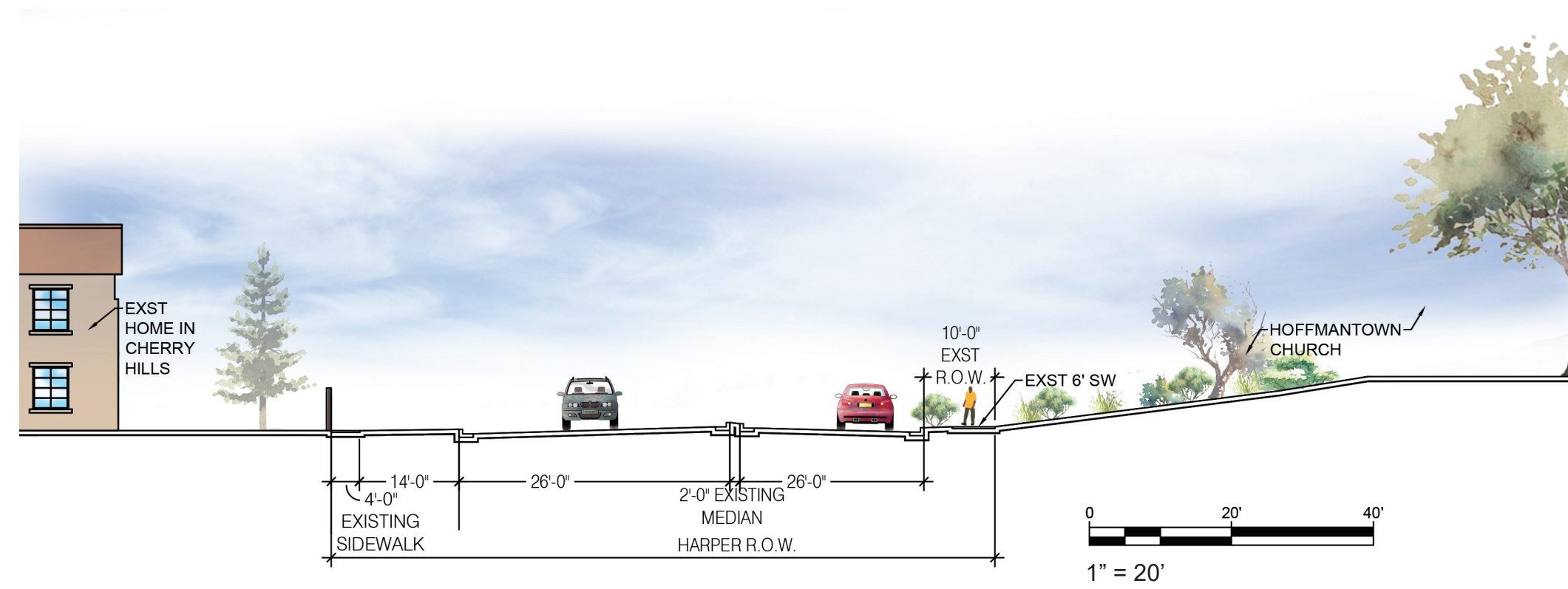




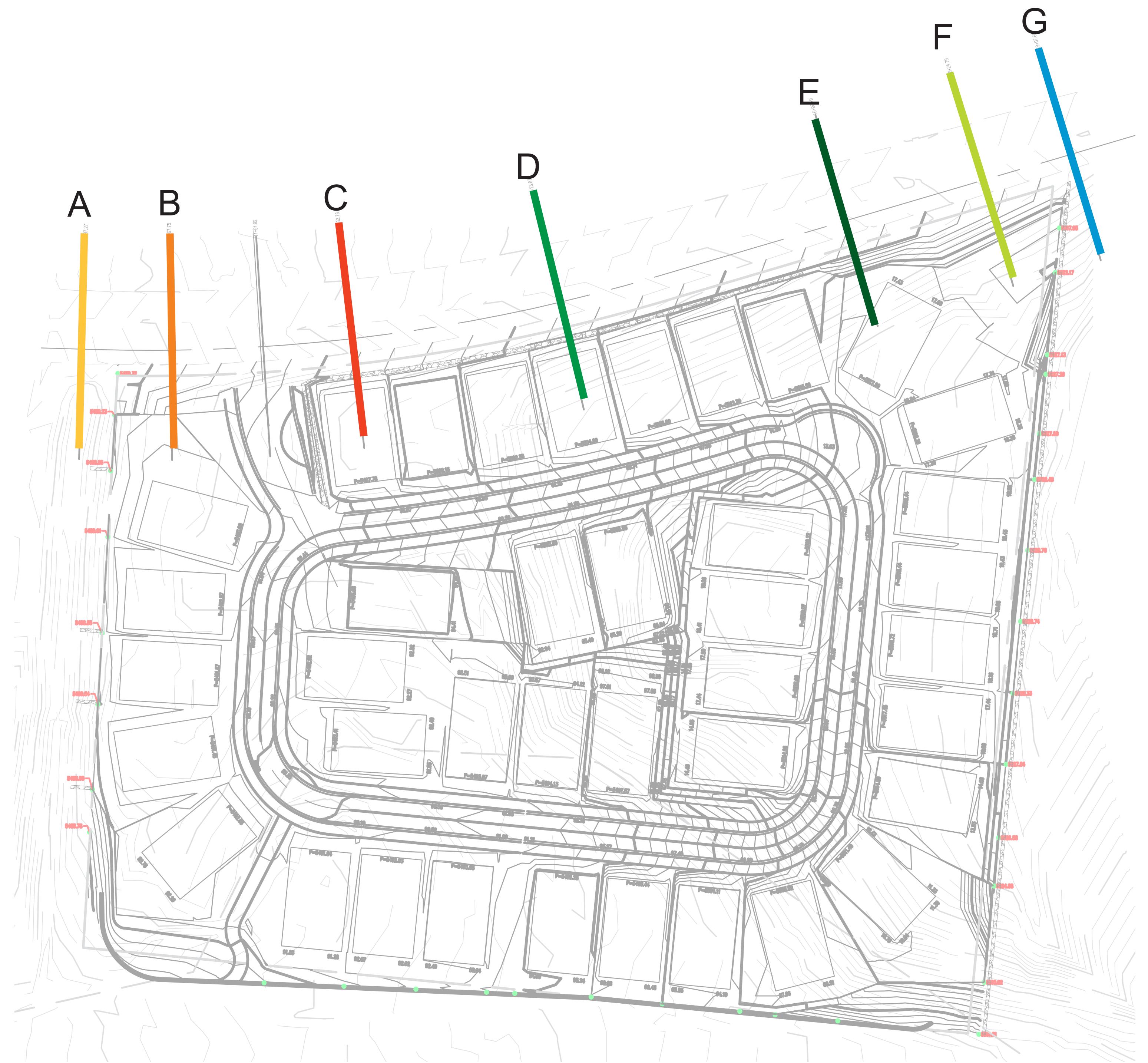
E 16+96.19



F 18+24.79



G 19+07.68

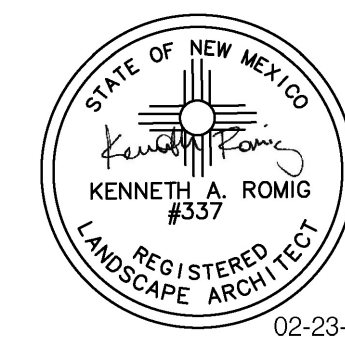


THE ESTATES AT ACADEMY HARPER CROSS SECTIONS

PREPARED FOR:
PULTE GROUP
7601 JEFFERSON ST. NE, STE. 320
ALBUQUERQUE, NM 87109

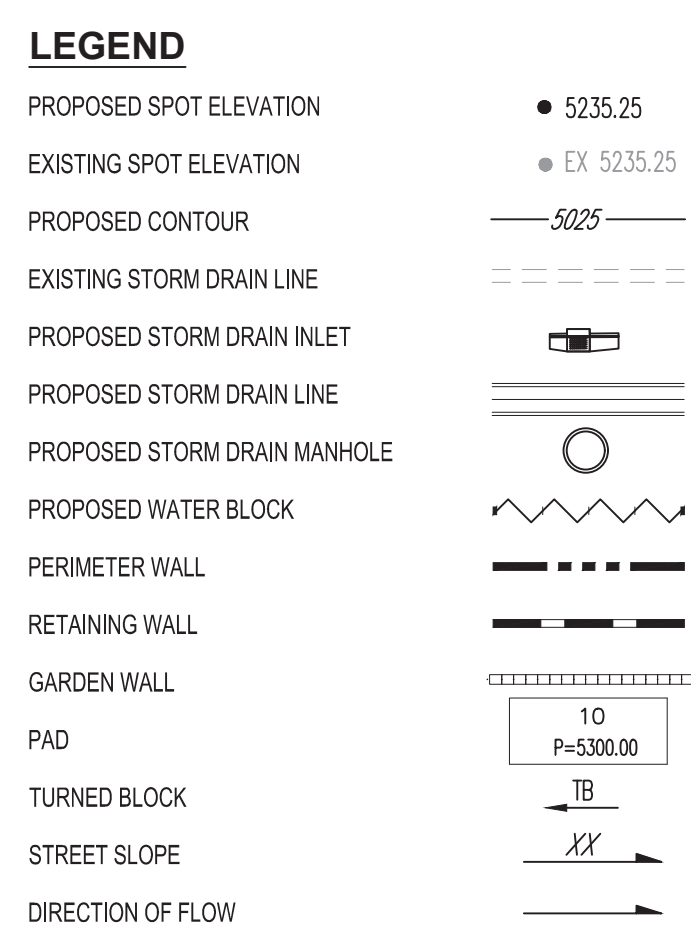
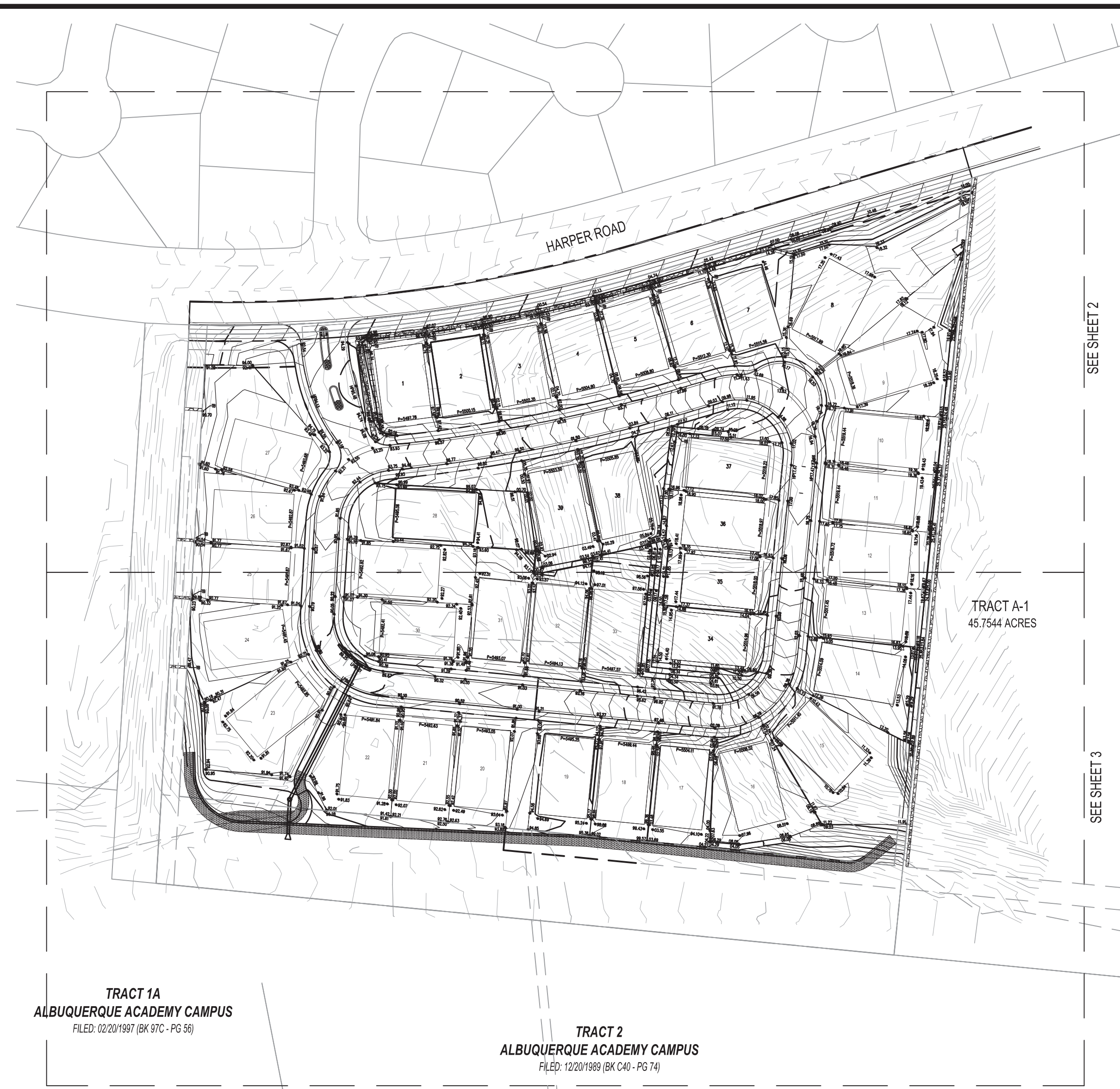
PREPARED BY:
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ALBUQUERQUE, NM 87102

BOHANNAN HUSTON
7500 JEFFERSON STREET NE
ALBUQUERQUE, NM 87109

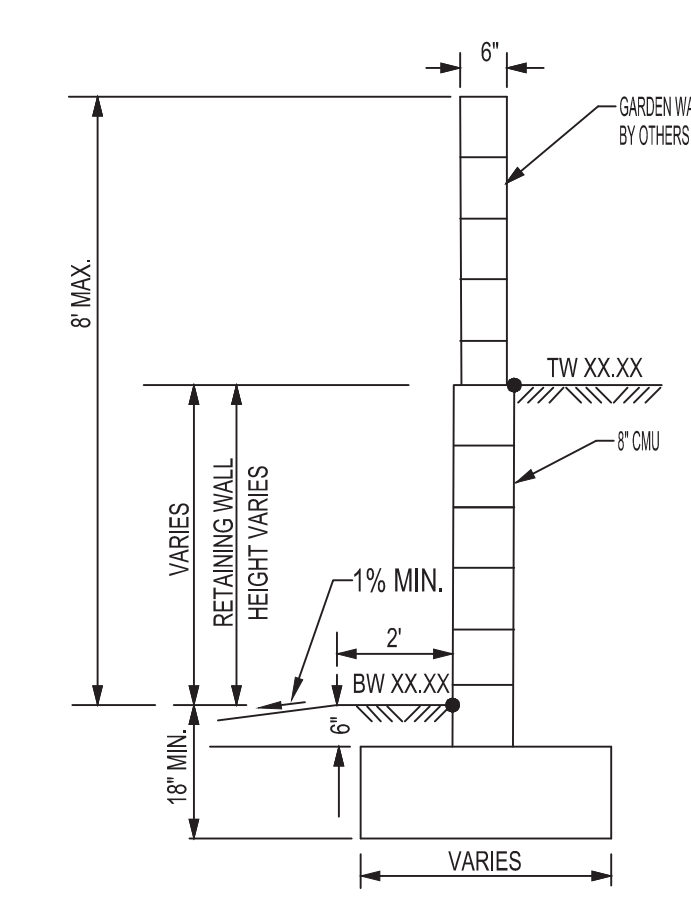


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DATE: 2/23/2023
SHEET 5 OF 11



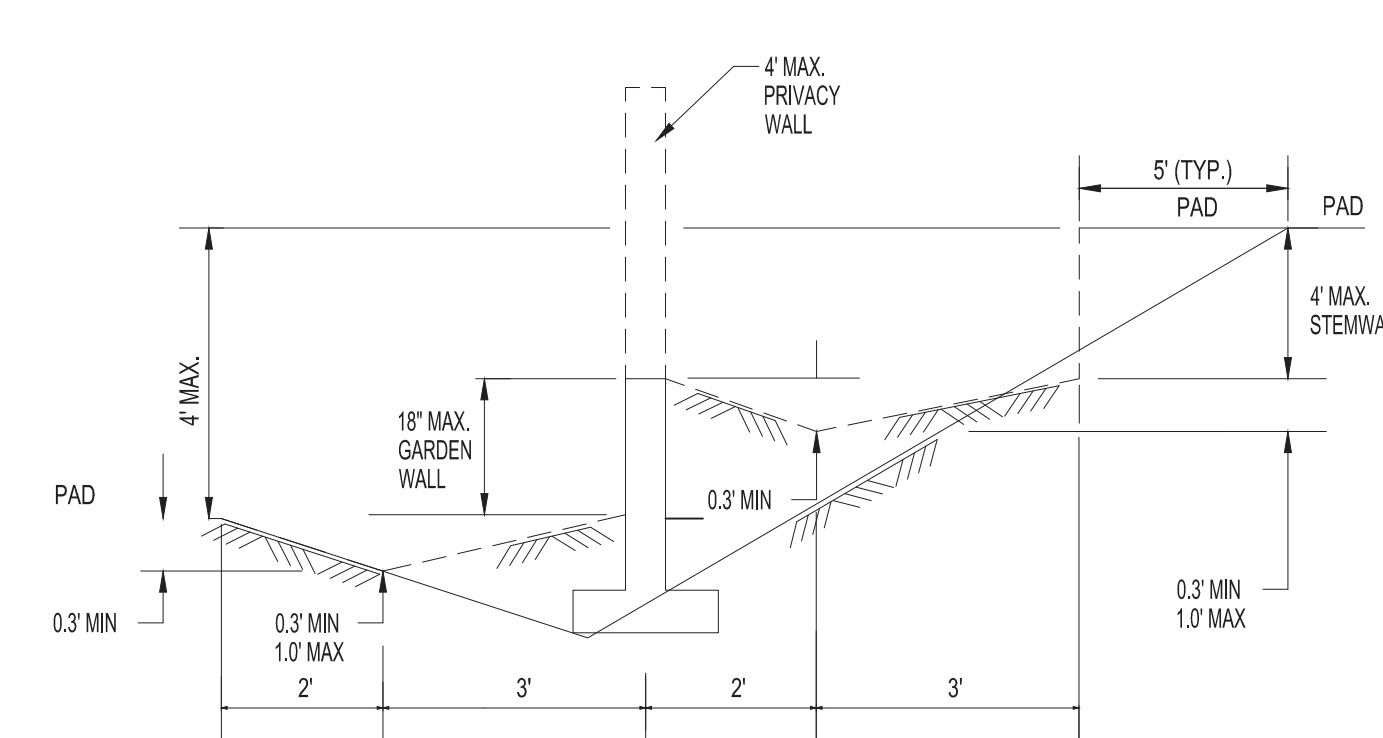
- ### GENERAL NOTES
- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
 - THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
 - ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
 - CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
 - OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
 - THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E. BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
 - ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
 - THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
 - ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
 - THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
 - THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES REQUIREMENTS.



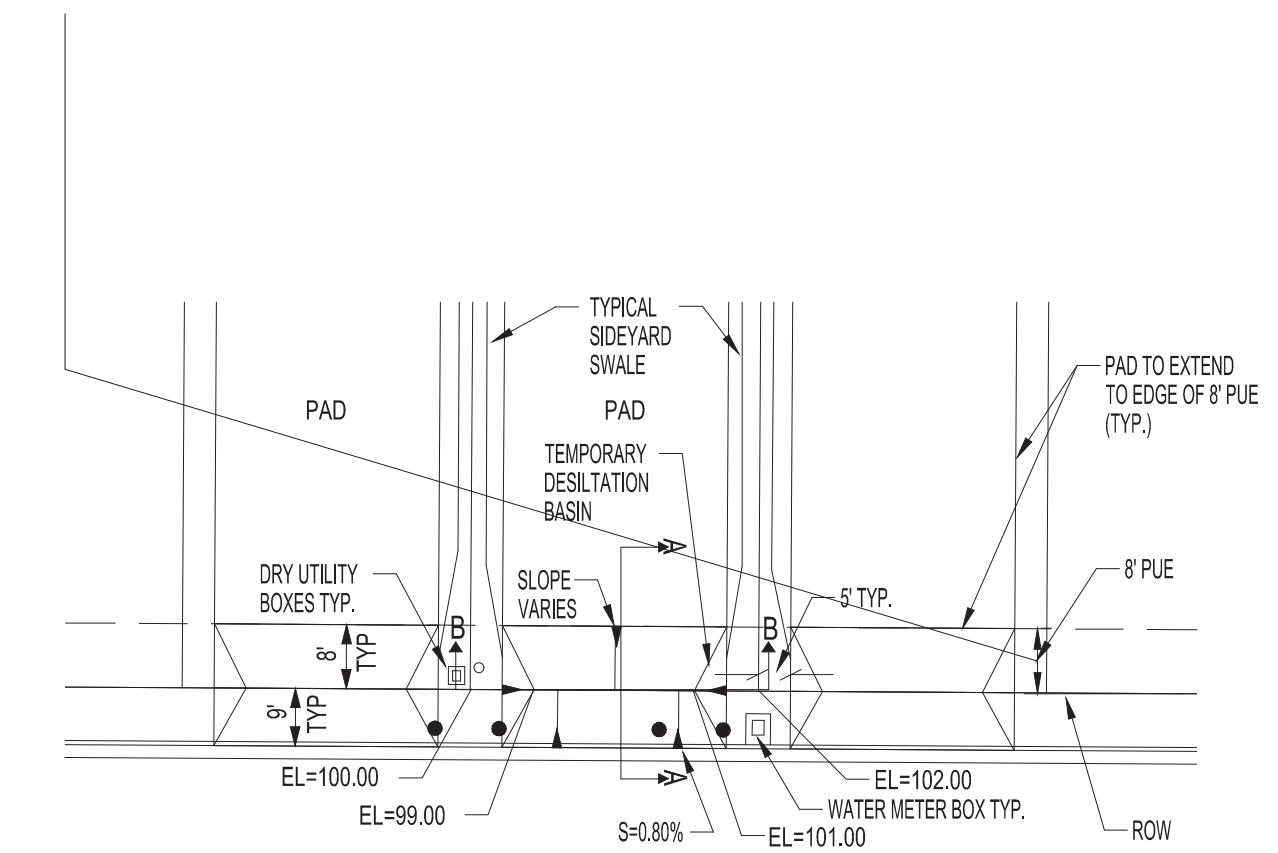
TW=FINISHED GRADE ELEVATION AT TOP OF RETAINING WALL
 BW=FINISHED GRADE ELEVATION AT BOTTOM OF RETAINING WALL
TYPICAL RETAINING WALL NOMENCLATURE
 NOT TO SCALE
 (RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)
 HEIGHT IS IN ACCORDANCE WITH CITY COMPREHENSIVE ZONING CODE, SECTION 14-163-3-1, GENERAL HEIGHT AND DESIGN REGULATIONS FOR WALLS, FENCES, AND RETAINING WALLS.

- ### GRADING NOTES
- EXCEPT AS PROVIDED HERIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
 - CONTRACTOR SHALL OBTAIN AND ABIDE BY A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DIVISION, PRIOR TO CONSTRUCTION. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 - ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SOILS REPORT. ALL OTHER WORK, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS (FIRST PRIORITY), AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
 - TWO WORKING DAYS PRIOR TO EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO GRADING, ALL VEGETATION DEBRIS, AND NEAR SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED OF OFF-SITE OR STOCK-PILED FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.
 - EARTH SLOPES SHALL NOT EXCEED 4 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
 - IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
 - THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
 - A DISPOSAL SITE FOR ALL EXCESS EXCAVATION AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERE TO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT, AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
 - PAVING AND ROADWAY GRADES SHALL BE +0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +0.05' FROM BUILDING PLAN ELEVATIONS.
 - ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED. VALLEY GUTTER ELEVATIONS ARE SHOWN AT FLOWLINE ELEVATION.
 - GRADING SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.

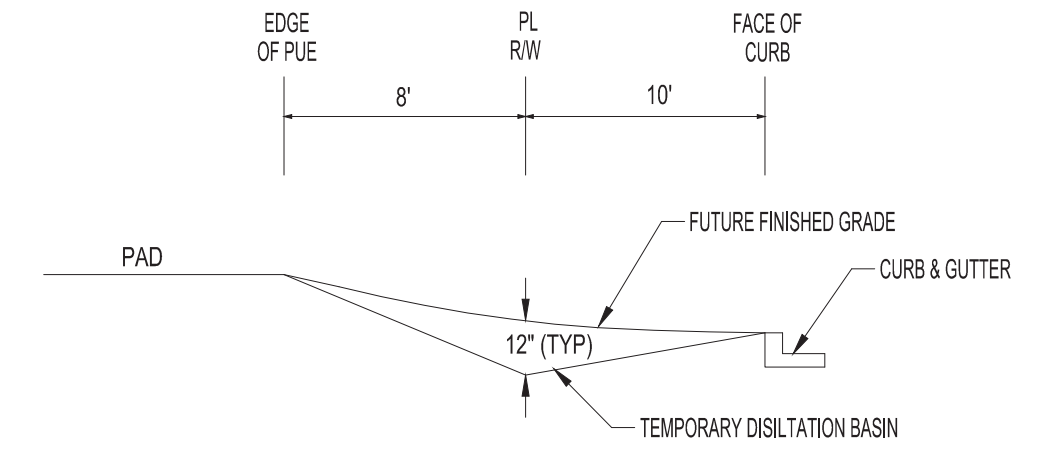
City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
 DATE: 11/16/22
 BY: [Signature]
 HydroTeam # E20D020B
 THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED IN THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.



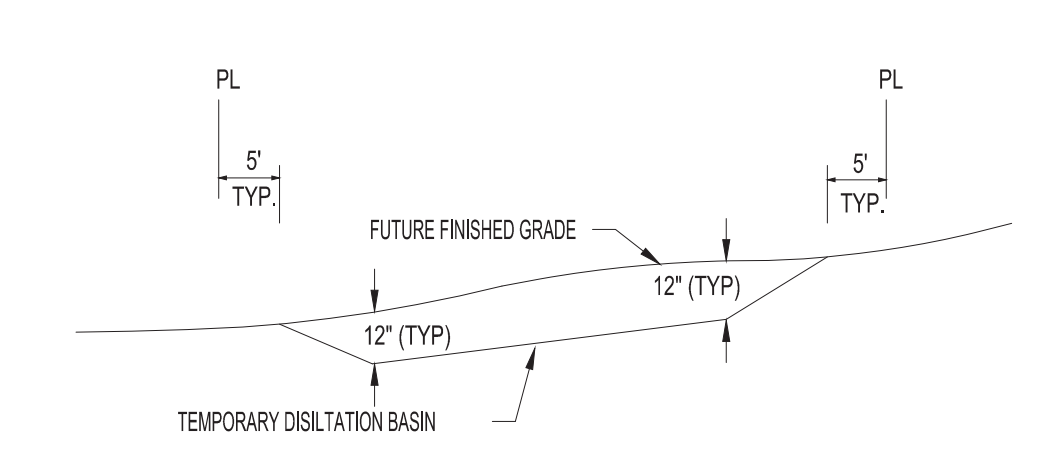
TYPICAL SIDE LOT LINE SECTION
 NOT TO SCALE
 NOTE: DASHED LINES IN TYP. SIDE LOT LINE SECTIONS REPRESENT THE FINAL CONDITION AFTER THE GARDEN, STEM, AND PRIVACY WALLS HAVE BEEN CONSTRUCTED. THE INTERIM CONDITION, WHICH IS TO BE CONSTRUCTED BY THE GRADING CONTRACTOR AND CERTIFIED BY THE ENGINEER, IS REPRESENTED BY THE SOLID LINES. RETAINING WALLS WILL BE CONSTRUCTED PRIOR TO GRADING CERTIFICATION.



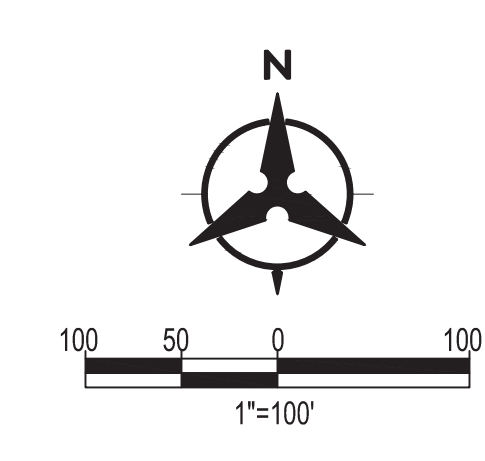
TEMPORARY DESILTATION BASIN
 NOT TO SCALE
 ** BOTTOM OF BASIN IS 1' BELOW PROPERTY LINE ELEVATION SEE GRADING PLANS FOR EXACT ELEVATIONS



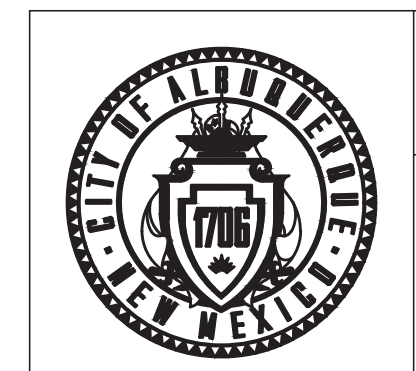
TEMPORARY DESILTATION SECTION A-A
 NOT TO SCALE



TEMPORARY DESILTATION SECTION B-B
 NOT TO SCALE



CALL NM ONE-CALL SYSTEM SEVEN (7) DAYS PRIOR TO ANY EXCAVATION



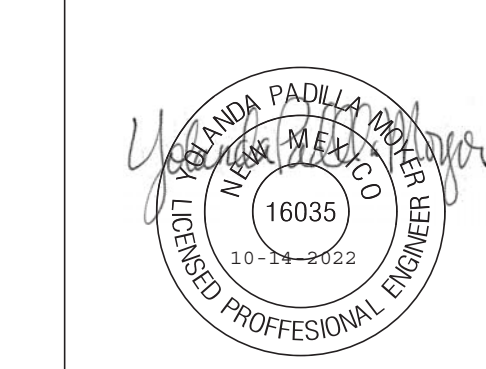
CITY OF ALBUQUERQUE
 DEPARTMENT OF MUNICIPAL DEVELOPMENT
 ENGINEERING DIVISION

HOFFMANTOWN ESTATES
OVERALL GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	ZONE MAP NO.
		CITY PROJECT NO.
		SHEET NO. 1 OF 3

CONSULTANTS
Bohannon
Huston
 www.bhinc.com
 800.877.5332

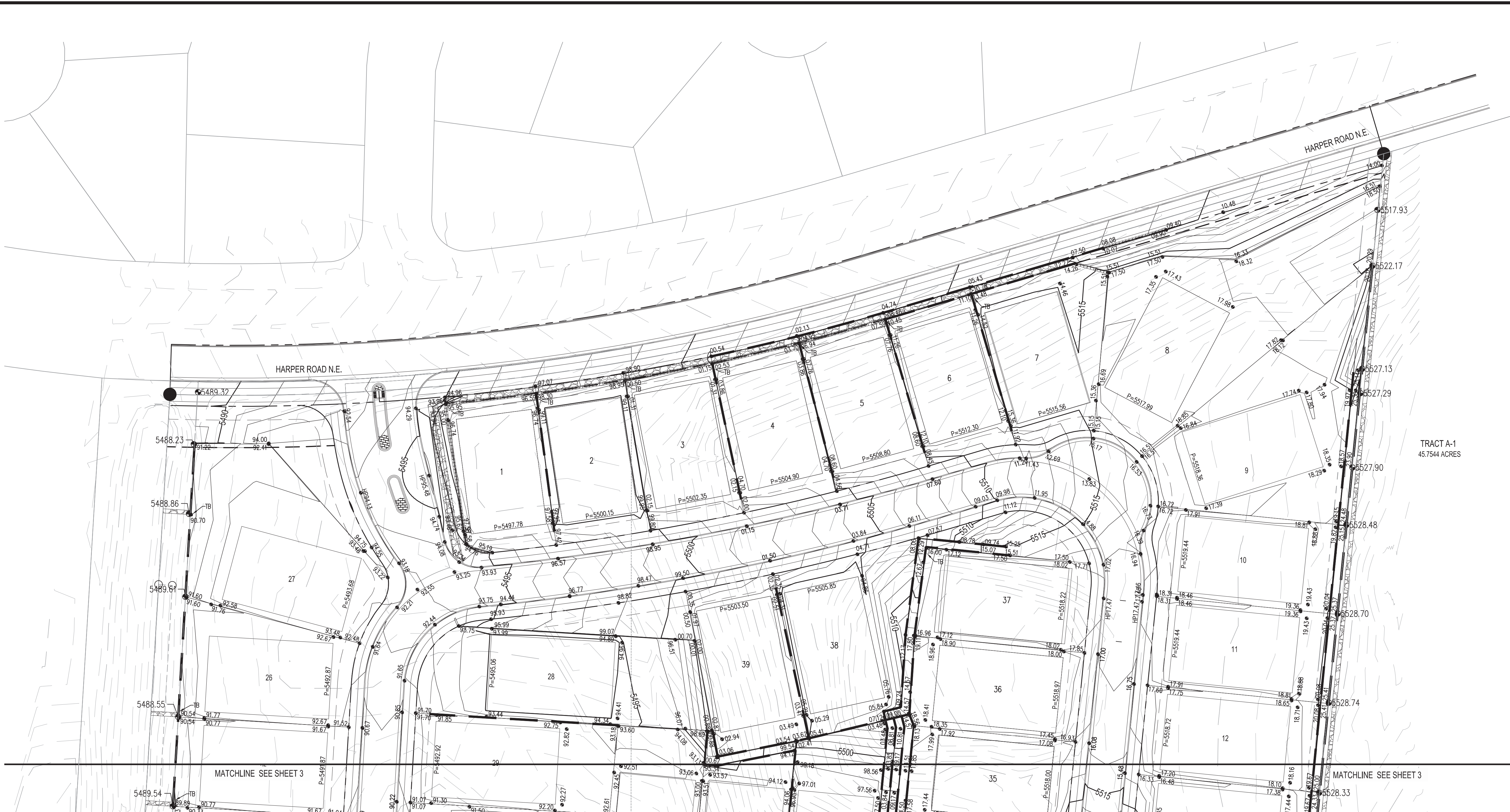
BENCH MARKS
 ACS BRASS DISK STAMPED "13-E20"
 GEOGRAPHIC POSITION (NAD 83)
 NM STATE PLANE GRID COORDINATES (CENTRAL ZONE)
 N = 1,511,612.268 (USFT), E = 1,550,988.401 (USFT)
 GROUND TO GRID FACTOR = 0.999650568
 DELTA ALPHA = -0°10'22.86"



NO.	DATE	DESCRIPTION	BY
		AS-BUILT INFORMATION	
		CONTRACTOR:	
		WORK STAKED BY:	
		INSPECTOR'S ACCEPTANCE BY:	
		FIELD VERIFICATION BY:	
		DRAWINGS CORRECTED BY:	

DESIGNED BY: YPM
 DRAWN BY: AR
 CHECKED BY: YPM
 DATE: 6/28/2022

Thu, 13-Oct-2022 1:20pm, Plotted by: AR0MER0
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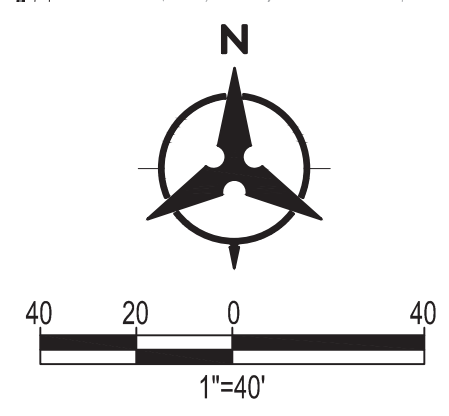
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City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
 DATE: 11/16/22
 BY: *Rosario C. Brissett*
 HydroTeam # E20D020B

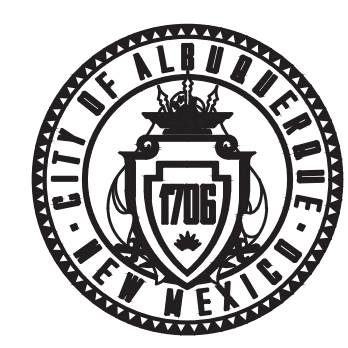
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 HYDROLOGY FOR BUILDING PERMIT APPROVAL.

LEGEND

- PROPOSED SPOT ELEVATION ● 5235.25
- EXISTING SPOT ELEVATION ● EX 5235.25
- PROPOSED CONTOUR - - - - - 5025
- EXISTING STORM DRAIN LINE - - - - -
- PROPOSED STORM DRAIN INLET [Symbol]
- PROPOSED STORM DRAIN LINE [Symbol]
- PROPOSED STORM DRAIN MANHOLE [Symbol]
- PROPOSED WATER BLOCK [Symbol]
- PERIMETER WALL [Symbol]
- RETAINING WALL [Symbol]
- GARDEN WALL [Symbol]
- PAD [Symbol]
- TURNED BLOCK [Symbol]
- STREET SLOPE [Symbol]
- DIRECTION OF FLOW [Symbol]



CALL NM ONE-CALL SYSTEM
 SEVEN (7) DAYS PRIOR TO
 ANY EXCAVATION



CITY OF ALBUQUERQUE
 DEPARTMENT OF MUNICIPAL DEVELOPMENT
 ENGINEERING DIVISION

**HOFFMANTOWN ESTATES
 OVERALL GRADING PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	ZONE MAP NO.
		CITY PROJECT NO.
		SHEET NO. 2 OF 3

CONSULTANTS



BENCH MARKS
 ACS BRASS DISK STAMPED "13-E20"
 GEOGRAPHIC POSITION (NAD 83)
 NM STATE PLANE GRID COORDINATES (CENTRAL ZONE)
 N = 1,511,612.268 (USFT), E = 1,550,988.401 (USFT)
 GROUND TO GRID FACTOR = 0.999650568
 DELTA ALPHA = -0°10'22.86"



SEAL

NO.	DATE	DESCRIPTION	BY
		AS-BUILT INFORMATION <td> </td>	
		WORK STAKED BY: <td> </td>	
		INSPECTOR'S ACCEPTANCE BY: <td> </td>	
		FIELD VERIFICATION BY: <td> </td>	
		DRAWINGS CORRECTED BY: <td> </td>	

DESIGNED BY: YPM
 DRAWN BY: AR
 CHECKED BY: YPM
 DATE: 6/28/2022

TRACT A-1 45.7544 ACRES

CONSULTANTS

BENCH MARKS
ACS BRASS DISK STAMPED "13-E20"
GEOGRAPHIC POSITION (NAD 83)
NM STATE PLANE GRID COORDINATES (CENTRAL ZONE)
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GROUND TO GRID FACTOR = 0.999650568
DELTA ALPHA = -0°10'22.86"



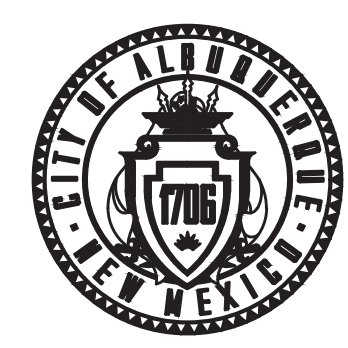
SEAL

NO.	DATE	DESCRIPTION	BY
		AS-BUILT INFORMATION <td> </td>	
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		FIELD VERIFICATION BY: <td> </td>	
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DESIGNED BY: YPM
DRAWN BY: AR
CHECKED BY: YPM
DATE: 6/28/2022



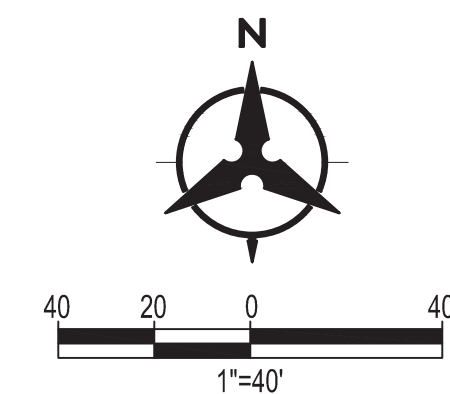
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SEVEN (7) DAYS PRIOR TO
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CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
ENGINEERING DIVISION

**HOFFMANTOWN ESTATES
OVERALL GRADING PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	ZONE MAP NO.
		CITY PROJECT NO.
		SHEET NO. 3 OF 3

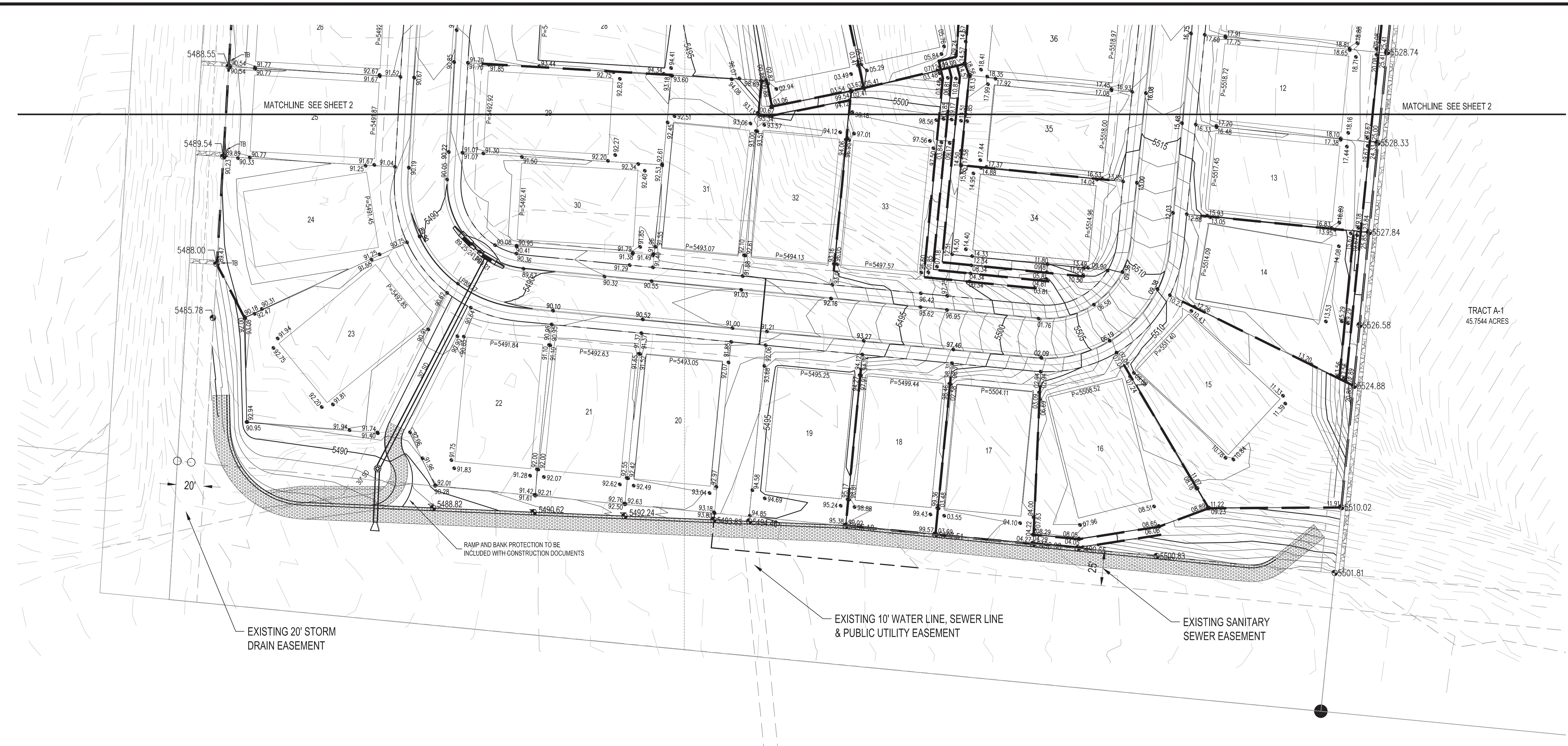


LEGEND

- PROPOSED SPOT ELEVATION ● 5235.25
- EXISTING SPOT ELEVATION ● EX 5235.25
- PROPOSED CONTOUR — 5025
- EXISTING STORM DRAIN LINE - - - - -
- PROPOSED STORM DRAIN INLET [Symbol]
- PROPOSED STORM DRAIN LINE [Symbol]
- PROPOSED STORM DRAIN MANHOLE [Symbol]
- PROPOSED WATER BLOCK [Symbol]
- PERIMETER WALL [Symbol]
- RETAINING WALL [Symbol]
- GARDEN WALL [Symbol]
- PAD [Symbol]
- TURNED BLOCK [Symbol]
- STREET SLOPE [Symbol]
- DIRECTION OF FLOW [Symbol]

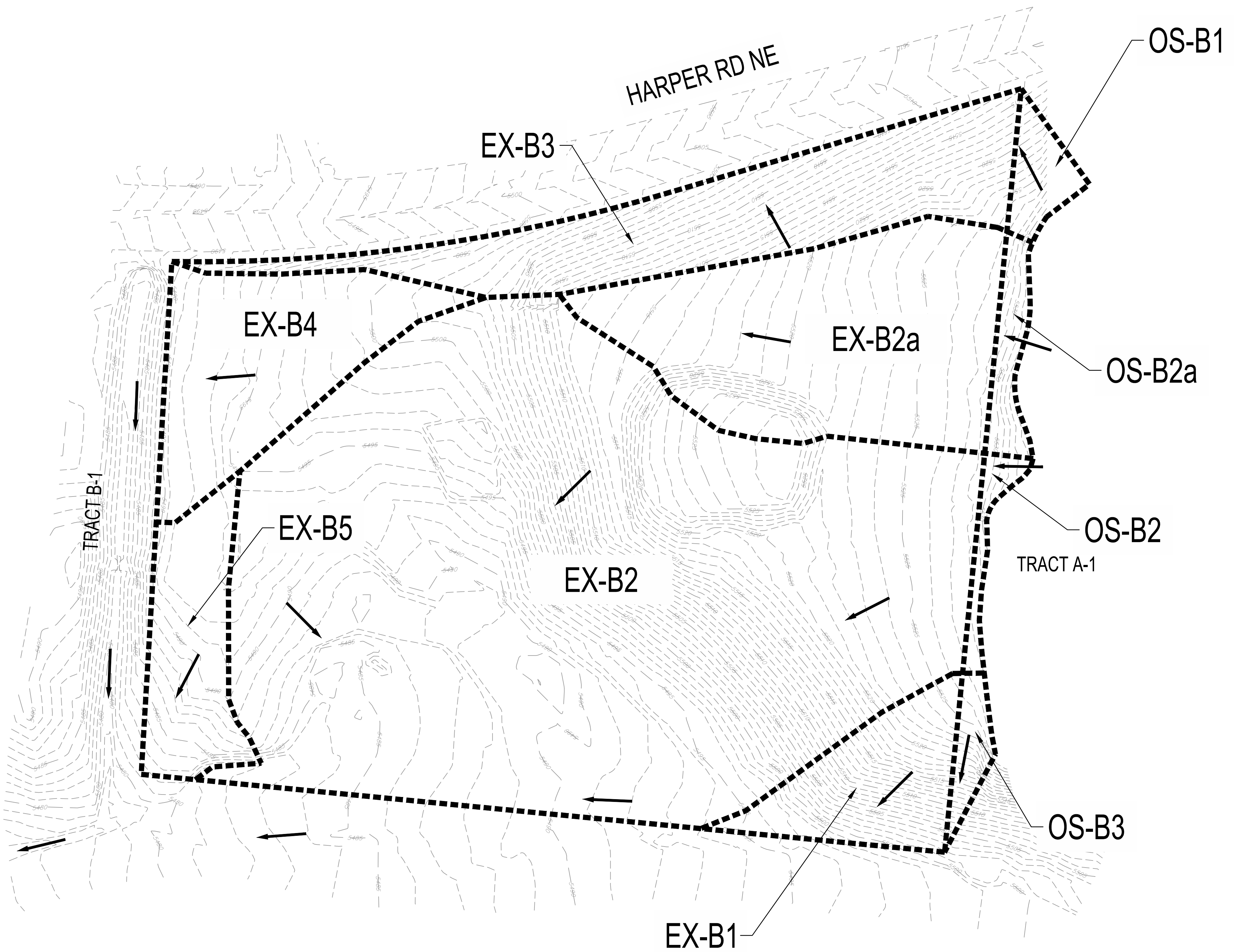
City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
DATE: 11/16/22
BY: *Rosalee Brissette*
HydroTran # E20D020B

THESE PLANS AND/OR REPORT ARE
CONCEPTUAL ONLY. MORE INFORMATION MAY
BE NEEDED ON THEM AND SUBMITTED TO
HYDROLOGY FOR BUILDING PERMIT APPROVAL.



TRACT 1A
ALBUQUERQUE ACADEMY CAMPUS
FILED: 02/20/1997 (BK 97C - PG 36)

TRACT 2
ALBUQUERQUE ACADEMY CAMPUS
FILED: 12/01/1989 (BK C40 - PG 74)



LEGEND

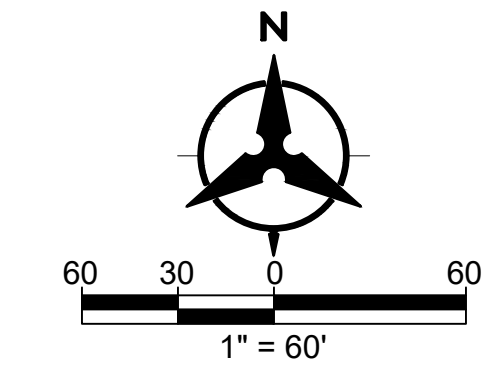
- EXISTING BASIN BOUNDARY
- FLOW ARROW

EXISTING CONDITIONS							
BASIN I.D.	AREA (AC)	% LAND TREATMENT				DISCHARGE (CFS)	
		A	B	C	D	10 YR	100YR
EX-B1	0.5	10.0%	90.0%	0.0%	0.0%	0.5	1.3
EX-B2	6.9	80.0%	20.0%	0.0%	0.0%	4.2	13.6
EX-B2a	1.6	80.0%	20.0%	0.0%	0.0%	1.0	3.2
EX-B3	1.3	10.0%	90.0%	0.0%	0.0%	1.3	3.1
EX-B4	1.0	90.0%	10.0%	0.0%	0.0%	0.5	1.8
EX-B5	0.5	90.0%	10.0%	0.0%	0.0%	0.3	1.0
OS-B1	0.1	10.0%	90.0%	0.0%	0.0%	0.1	0.4
OS-B2	0.1	90.0%	10.0%	0.0%	0.0%	0.1	0.2
OS-B2a	0.2	90.0%	10.0%	0.0%	0.0%	0.1	0.3
OS-B3	0.1	10.0%	90.0%	0.0%	0.0%	0.1	0.3
TOTAL	12.4					8.3	25.2

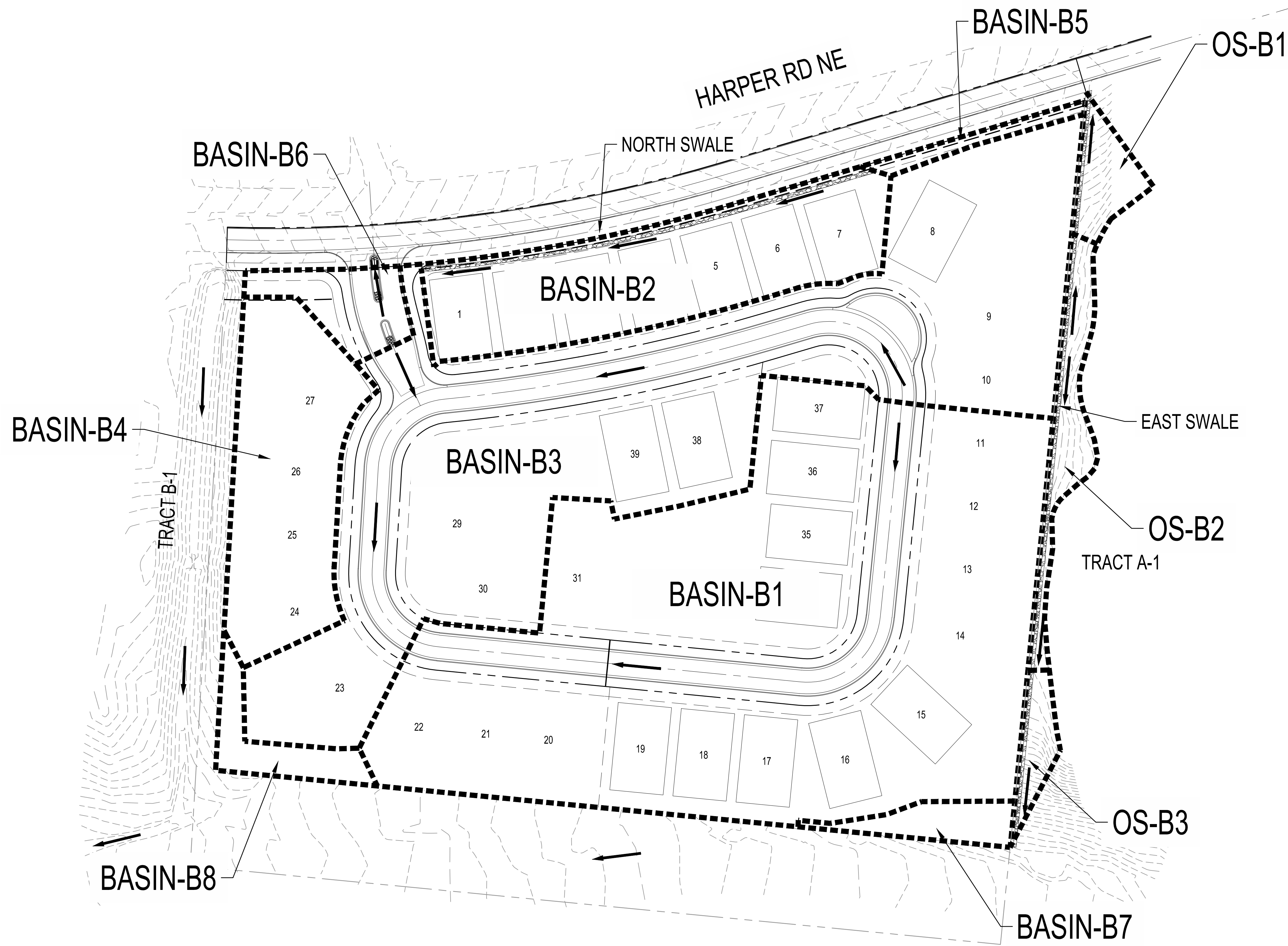
EXISTING DRAINAGE PLAN

HOFFMANTOWN

DRAWN BY:	SS	DATE:	10/12/2022
CHECKED BY:	YPM	BHI PROJECT NO.	20220092
		SHEET NO.	1



File: 13-Oct-2022, 8:49am - Project: 20220092 - Drawing: 20220092_ExistingDrainage.dwg
 P:\20220092\20220092\Drawings\20220092_ExistingDrainage.dwg



LEGEND

- PROPOSED BASIN BOUNDARY
- FLOW ARROW

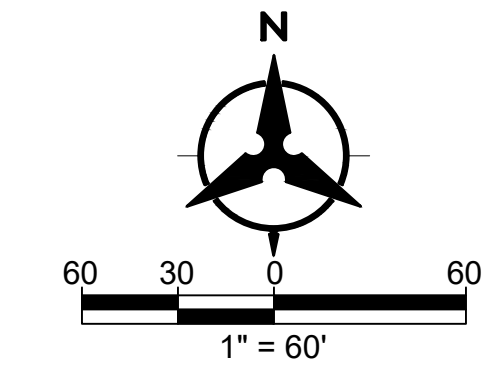
PROPOSED CONDITIONS								
BASIN I.D.	AREA (AC)	UNITS #	% LAND TREATMENT				DISCHARGE (CFS)	
			A	B	C	D	10 YR	100YR
Basin B1	5.0	19	0.0%	31.0%	31.0%	38.0%	9.6	17.3
Basin B2	1.1	7	0.0%	31.0%	31.0%	38.0%	2.2	3.9
Basin B3	4.1	9	0.0%	31.0%	31.0%	38.0%	7.9	14.2
Basin B4	0.9	4	0.0%	31.0%	31.0%	38.0%	1.7	3.1
Basin B5	0.1	0	0.0%	50.0%	50.0%	0.0%	0.1	0.2
Basin B6	0.2	0	0.0%	25.0%	25.0%	50.0%	0.5	0.8
Basin B7	0.1	0	0.0%	50.0%	50.0%	0.0%	0.2	0.4
Basin B8	0.2	0	0.0%	50.0%	50.0%	0.0%	0.2	0.5
OS-B1	0.1	0	10.0%	90.0%	0.0%	0.0%	0.1	0.4
OS-B2	0.2	0	90.0%	10.0%	0.0%	0.0%	0.1	0.5
OS-B3	0.1	0	10.0%	90.0%	0.0%	0.0%	0.1	0.3
TOTAL	12.2	39					22.7	41.6

Only Basin-B1, Basin-B2, Basin-B3 and Basin-B4 is considered in calculating %D

PROPOSED DRAINAGE PLAN

HOFFMANTOWN

DRAWN BY:	SS	DATE:	08/31/2022
CHECKED BY:	YPM	BHI PROJECT NO.	20220092
		SHEET NO.	1



V. EXISTING CONDITIONS

Based on the existing topography, the site is broken into four offsite and six onsite basins. The existing basin and drainage patterns are shown graphically on the Existing Drainage Conditions Map in 'EXHIBIT B- Existing Conditions Basin Map'. The site consists of undeveloped land and currently drains from northeast to southwest towards the South Pino Arroyo located along the southern boundary of the site.

Offsite basins are designated as OS-B1, OS-B2, OS-B2a, OS-B3, and onsite basins are designated as EX-B1, EX-B2, EX-B2a, EX-B3, EX-B4, EX-B5 for this report. Offsite basin OS-B1 consists of steeper slopes and flows northwest toward Harper Rd. Basin EX-B3 is similar to OS-B1 and also flows northwest toward Harper Rd.

Offsite flow from basin OS-B2 enters the proposed site from the east and combines with onsite existing basin EX-B2. The existing slopes of basin EX-B2 ranges between 2% to 20% and drains southeast. The runoff ultimately enters the existing South Pino Arroyo.

Similarly, offsite flow from basin OS-B2a enters the proposed site from the east and combines with onsite existing basin EX-B2a. The runoff ultimately enters existing basin EX-B3 and flows northwest toward Harper Rd.

Offsite basin OS-B3 flows southwest and discharges to the South Pino Arroyo. Basin EX-B1 is similar to basin OS-B3 and consists of steeper slopes and also flows southwest toward the South Pino Arroyo.

Onsite existing basin EX-B4 is located at the northwest corner of the property and flows west. Runoff from this basin enters Tract B-1 and follows the natural topography that flows south and ultimately discharges to the existing South Pino Arroyo.

Onsite basin EX-B5 is located at southwest corner of the site. The runoff from this basin flows south and leaves the site from the southwest corner of the property boundary and ultimately discharges to the existing South Pino Arroyo.

Existing conditions for the proposed site show the total existing discharge is 16.4 cfs to the arroyo and 7.0 cfs at Harper Rd.

VI. DEVELOPED CONDITIONS

A. ALLOWABLE

In the proposed conditions, the site has free discharge of the developed flow to the South Pino Arroyo. However, the allowable discharge to Harper Rd from the proposed site is assumed to be the historic flow of 7.0 cfs leaving the site in existing undeveloped condition. Existing inlets on Harper Rd located west of the site boundary, collects the drainage from Harper Rd and discharges into the existing drainage swale on Tract B-1. The flow will then continue south to follow the existing runoff pattern and ultimately to the South Pino Arroyo

B. OFFSITE FLOW MANAGEMENT

As mentioned in the Existing Conditions, the total offsite flow of 0.5 cfs enters the proposed site on its eastern boundary. Ultimately, these flows will be mitigated by installing a lined swale along the eastern property line within the Hoffmantown Park tract. The swale will have a high point which is the same as existing condition and follow the existing drainage pattern which results in directing the entire runoff from OS-B1 and runoff of 0.23 cfs from OS-B2a north towards Harper Rd, and the remaining runoff from OS-B2a, runoff from OS-B2 and OS-B3 south towards the existing South Pino Arroyo. See 'APPENDIX D- Offsite Swale Calculations' for additional information.

C. ONSITE

Hoffmantown is a proposed gated-private single-family residential development with 39 single family residential lots on approximately 12 acres. The proposed development will occur in one phase. Using Section 6-1(A)(2) of the City's DPM, a land treatment was assigned to each onsite basin. Since the number of residential units per acre is less than 6, the percent D land treatment area was determined by "Single Family Residential" equation listed in City's DPM Table 6.2.10. The remaining area was split between land treatments B and C.

Developed flows are calculated for the 100 year – 6 hour storm event and are shown in 'APPENDIX A-Basin Analysis and Summary of Land Treatments'. The developed flows from the subdivision will be conveyed by the internal private streets and proposed private storm drain networks to the existing arroyo and will have free discharge. The private storm

drain system will utilize a stormwater quality inlet/manhole to collect any debris prior to discharging into the South Pino Arroyo. The Onsite Proposed Basin Map, EXHIBIT C, illustrates the basin locations and flow directions for the proposed development as well as the proposed street configurations for the subdivision.

In the developed condition, the entire subdivision is divided into eight onsite basins, Basin-B1 to Basin-B8. The proposed grading has two waterblocks, one at the northeast corner of the subdivision between Lots 10-11 and the other one at the middle of the entrance road to ensure the offsite flow from Harper Rd does not enter the subdivision and goes to the designated existing inlet located north of Tract B-1.

There is a proposed low point located south of Lot 30. The runoff from Basin-B1 flows southwest through the street network toward the low point.

Proposed Basin-B2 consists of lots that drain back towards the back boundary along Harper Rd. A 5' swale is proposed that is designed to carry the developed flow west and daylight west of Lot 1.

The runoff from Basin-B2 enters into Basin-B3. The combined runoff from these two basins flow to the proposed low point through the street network. Two inlets have been proposed in the sump condition to capture the entire developed flow from Basin-B1, Basin-B2, and Basin-B3, and free discharge to the existing South Pino Arroyo.

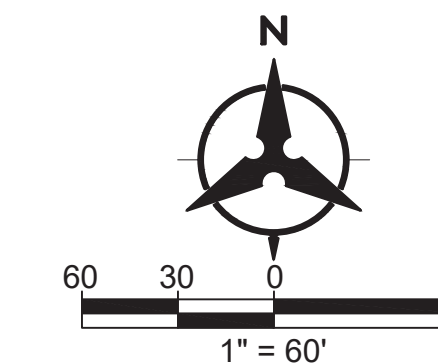
Basin-B4 consists of 4 lots that drain back to the west and free discharges to the existing drainage swale located in Tract B-1. Turnblocks and cobble rundowns have been proposed for safe discharge of the developed flow to the existing drainage swale.

Basin-B5 and Basin-B6 drain north to Harper Rd. The total runoff from these two basins is 1.0 cfs which is less than the historic flow of 3.5 cfs from the site. Therefore, the runoff from the developed site to the Harper Rd will have no negative impact to downstream infrastructure. The flow will ultimately be collected by existing inlets just west of our entrance road and discharge to the South Pino Arroyo via drainage swale located in Tract B-1.

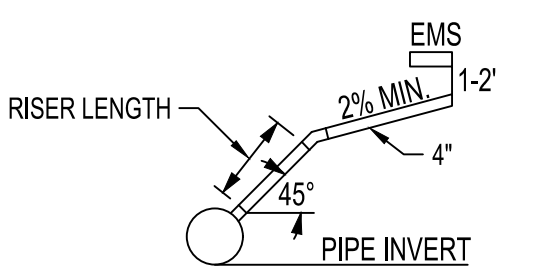
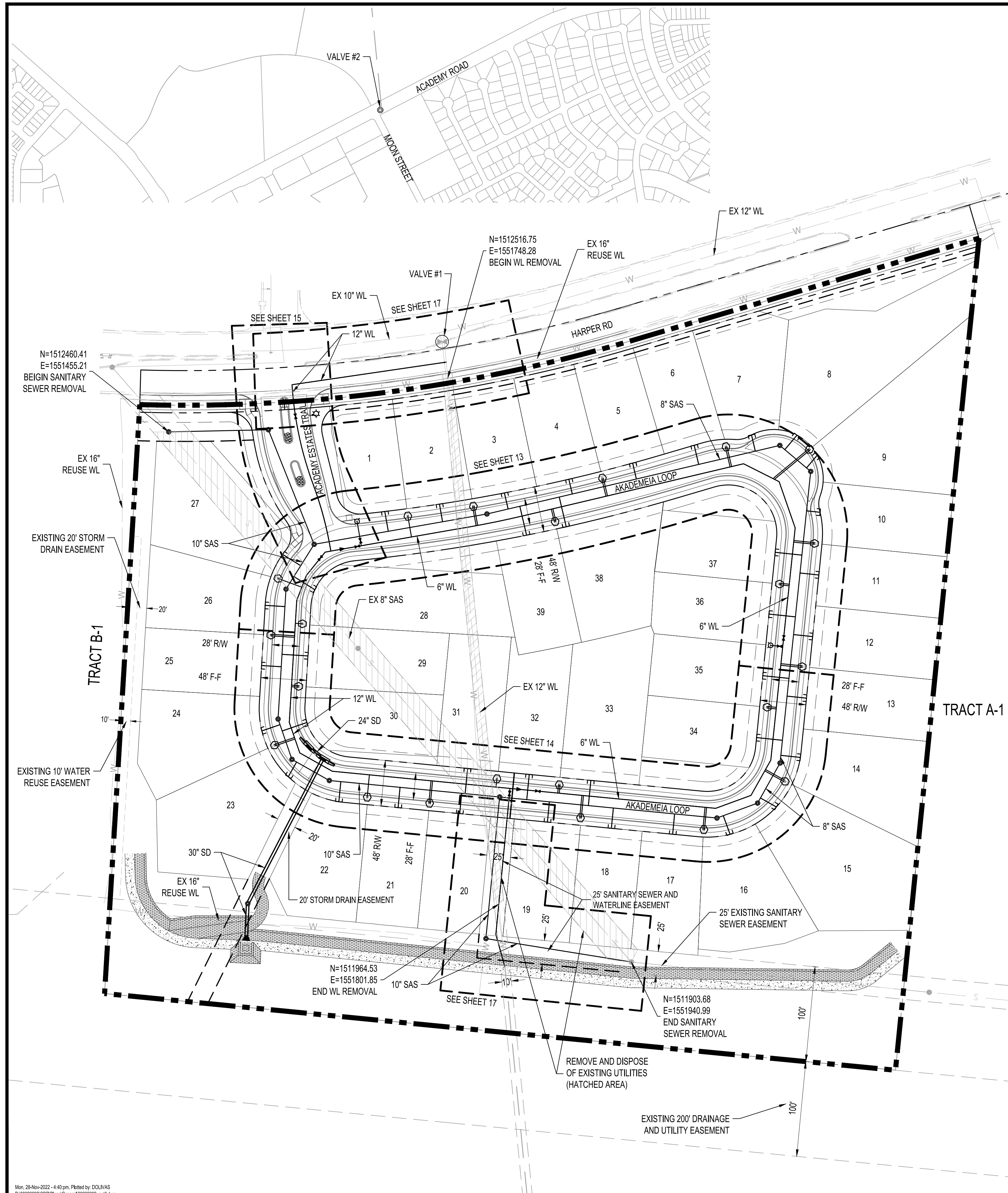
Basin-B6 and Basin-B7 drain south. The runoff from these two basins will follow the existing terrain and free discharge to South Pino Arroyo.

"EXHIBIT D- Inlet and Storm Drain Network Plan", shows the flow, street grade, water depth, flow captured, and type of each inlet and the size, slope, flow, and capacity of the storm drain system. All upstream flows were within the depth of flow in the street and does not exceed the curb height nor the energy grade line does not exceed at the right of way (ROW) of any street. At the downstream end, an inlet in sump condition that captures all the developed flows.

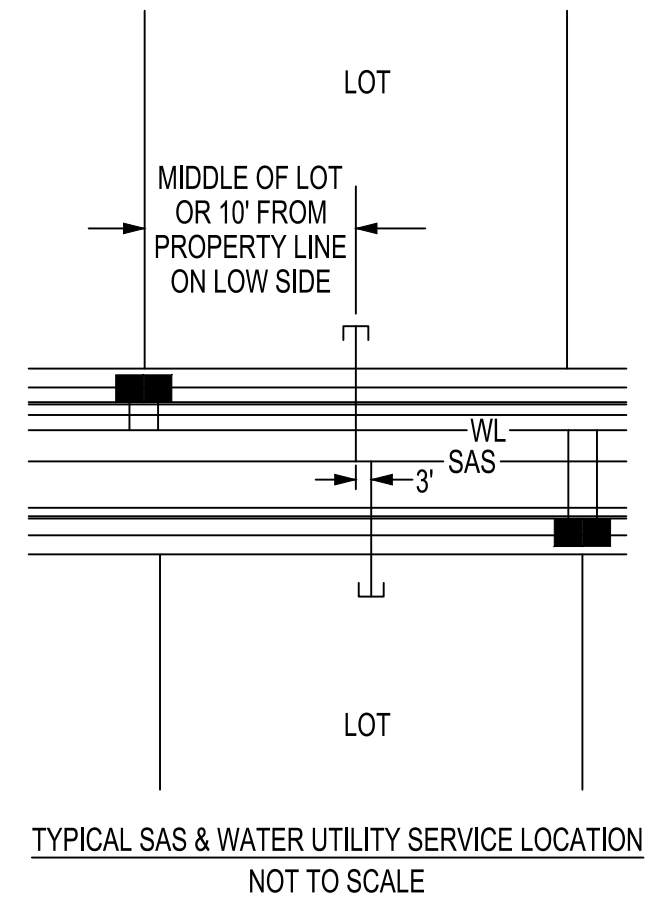
The City of Houston, Texas
 Planning and Development Department
 1100 West 19th Street, Suite 2000
 Houston, Texas 77002-1902
 P: 281.344.2200 F: 281.344.2202
 www.houstontx.gov



PROPOSED DRAINAGE PLAN			
HOFFMANTOWN			
DRAWN BY:	SS	DATE:	08/31/2022
CHECKED BY:	YPM	BHI PROJECT NO.	20220092
		SHEET NO.	1



SERVICE RISER DETAIL
NOT TO SCALE
(SERVICE CONNECTION INSTALLATION TO CONFORM TO C.O.A. STD. DWG. 2125)



TYPICAL SAS & WATER UTILITY SERVICE LOCATION
NOT TO SCALE

RESTRAINING JOINT TABLE

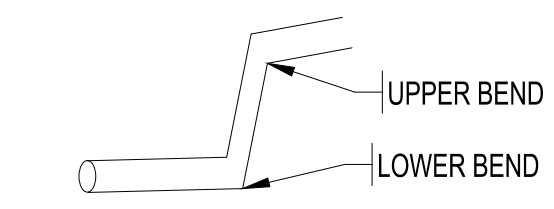
MECHANICAL JOINTS	LENGTH OF RESTRAINED JOINTS	
	6"	12"
6" X 6" TEE	1	
12" X 12" TEE		17
12" X 6" REDUCER		48
90° HORIZ. BEND	25	36
45° HORIZ. BEND	11	15
22.5° HORIZ. BEND	5	8
11.25° HORIZ. BEND	3	4
GATE VALVE/CAP	55	66
22.5° VERT. BEND (UPPER)	11	13
(LOWER)	4	6
11.25° VERT. BEND (UPPER)	23	7
(LOWER)	8	3

* NOTE:
6" WL PVC (C-900) & 12" WL TO BE DI

- NOTE:
- ALL MECHANICAL JOINTS SHALL BE RESTRAINED AT THE FITTING.
 - THE CONTRACTOR SHALL PROVIDE A MINIMUM PIPE LENGTH OF 20 LF FROM ALL MECHANICAL JOINTS. ALL PIPE JOINTS WITHIN 20 LF OF MJ SHALL BE RESTRAINED AT THE CONTRACTORS EXPENSE.
 - THE CONTRACTOR SHALL RESTRAIN ALL PIPE JOINTS IN THE SPECIFIED DISTANCE LISTED IN THE TABLE ABOVE. (SEE NOTE 2 ABOVE).
 - THE CONTRACTOR SHALL RESTRAIN ALL FIRE HYDRANT JOINTS FROM THE TEE ON THE MAIN TO THE FIRE HYDRANT FLANGE.
 - ALL CAPS SHALL UTILIZE PCC BLOCKING, UNLESS OTHERWISE NOTED.
 - RESTRAINED LENGTH IS ON LARGE SIDE ON ALL REDUCERS.
 - RESTRAIN ALL JOINTS BETWEEN UPPER AND LOWER VERTICAL BENDS.

LEGEND

PROPOSED CURB AND GUTTER	———
EXISTING CURB AND GUTTER	———
FUTURE CURB AND GUTTER	- - - - -
PROPOSED STORM DRAIN MANHOLE	⊙
EXISTING STORM DRAIN MANHOLE	⊙
PROPOSED SANITARY SEWER MANHOLE	●
EXISTING SANITARY SEWER MANHOLE	○
PROPOSED FIRE HYDRANT	●
PROPOSED GATE VALVE	⊕
EXISTING GATE VALVE	⊕
PROPOSED STORM DRAIN	SD
PROPOSED SANITARY SEWER	SAS
PROPOSED WATER LINE	W
STORM DRAIN INLET	⊔
STORM DRAIN CULVERT	⊔
EXISTING STORM DRAIN	SD
EXISTING SANITARY SEWER	SAS
EXISTING WATER LINE	W



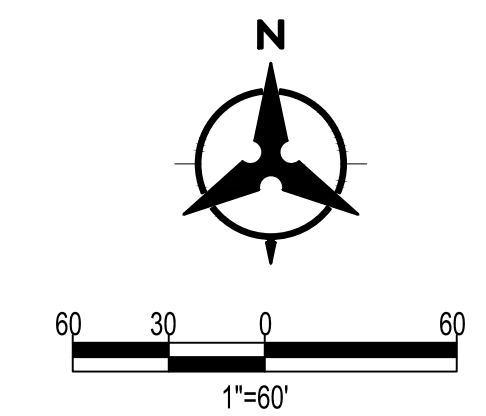
WATER SHUT-OFF PLAN:

FOR CONNECTION VALVES CLOSED
 HARPER ROAD VALVE #1
 ACADEMY ROAD VALVE #2

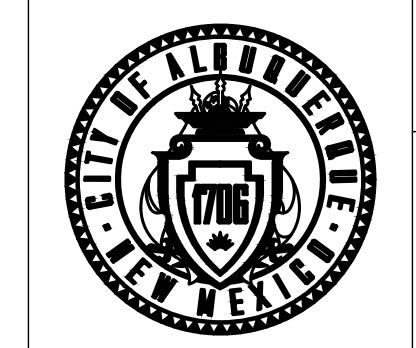
CONTRACTOR WILL BE RESPONSIBLE FOR FLUSHING, DISINFECTING, AND TESTING THE LINES AS REQUIRED BY THE ABCWUA.

WATER SHUT-OFF REQUIREMENTS:

CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF WELL COLLECTORS, TRANSMISSION LINES, OR FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFFS REQUESTS MUST BE MADE ONLINE AT [HTTPS://WWW.ABCWUA.ORG/WATER_SHUT_OFF_AND_TURN_ON_PROCEDURES.ASPX](https://www.abcwua.org/water_shut_off_and_turn_on_procedures.aspx)



CALL NM ONE-CALL SYSTEM SEVEN (7) DAYS PRIOR TO ANY EXCAVATION



CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
ENGINEERING DIVISION

**THE ESTATES AT ACADEMY
OVERALL UTILITY PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	ZONE MAP NO. E-20-Z
		CITY PROJECT NO. 426181
		SHEET NO. 12 OF 23

**Bohannon
Huston**
www.bhinc.com
800.877.5332

CONSULTANTS

ACS BRASS DISK STAMPED "2-F19"
GEOGRAPHIC POSITION (NAD 1983)
NM STATE PLANE GRID COORDINATES (CENTRAL ZONE)
N = 1,508,356.006 (USFT), E = 1,547,788.219 (USFT)
GROUND TO GRID FACTOR = 0.99965028
DELTA ALPHA = -0°10'42.13"
NAD 88 ELEVATION = 5386.837 (USFT)

SEAL

NO.	DATE	DESCRIPTION	BY

DESIGNED BY: YPM, SMS
 DRAWN BY: AR, DO
 CHECKED BY: YPM
 DATE: 11/30/2022

CONTRACTOR:
 AS-BUILT INFORMATION
 WORK STAKED BY:
 INSPECTOR'S ACCEPTANCE BY:
 FIELD VERIFICATION BY:
 DRAWINGS CORRECTED BY:

Mon, 28-Nov-2022 - 4:40 pm. Plotted by: DOLIAS
 P:\2022092\CDP-Plans\General\2022092_001.dwg



ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION
PERMIT
PERMIT NUMBER: FP-22-012705
APPROVED DATE: 01/11/23

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINISH CORRECTIONS REQUIRED.

FIRE PLAN

APPROVED

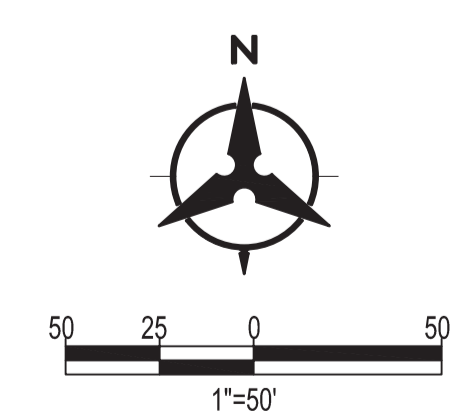
THE ESTATES AT ACADEMY



NOTE:
ALL FIRE HYDRANT LEGS ARE 6" DIA.

LEGEND

PROPOSED CURB AND GUTTER	====
EXISTING CURB AND GUTTER	====
FUTURE CURB AND GUTTER	----
PROPOSED STORM DRAIN MANHOLE	⊙
EXISTING STORM DRAIN MANHOLE	⊙
PROPOSED SANITARY SEWER MANHOLE	●
EXISTING SANITARY SEWER MANHOLE	○
PROPOSED FIRE HYDRANT	⊙
PROPOSED GATE VALVE	⊗
EXISTING GATE VALVE	⊗
PROPOSED STORM DRAIN	SD
PROPOSED SANITARY SEWER	SAS
PROPOSED WATER LINE	W
STORM DRAIN INLET	⊥
STORM DRAIN CULVERT	— —
EXISTING STORM DRAIN	SD
EXISTING SANITARY SEWER	SAS
EXISTING WATER LINE	W



PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, Albuquerque, NM 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339



OFFICIAL NOTIFICATION OF DECISION

February 16, 2023

Pulte Group
7601 Jefferson St. NE
Suite 320
Albuquerque, NM 87109

Project # PR-2018-001560
SI-2022-02318 - Site Plan- Major Amendment
SI-2022-02414 – Site Plan - EPC

LEGAL DESCRIPTION:

Consensus Planning, agent for Pulte Group, requests a Site Plan- Major Amendment and a Site Plan-EPC, for all or a portion of Tract A-1 and Tract A-2, Plat of Tracts A-1 and A-2 Hoffmantown Baptist church site (a replat of Tract A Hoffmantown Baptist church site and Tract B-2 Yorba Linda subdivision), located at 8888 Harper Dr. NE, at the SW corner of Harper Rd. NE and Ventura St. NE, approximately 60 acres. (E-20)

Staff Planners: Megan Jones and Leroy Duarte

On February 16, 2023 the Environmental Planning Commission (EPC) voted to APPROVE Project # PR-2018-001560/SI-2022-02318 - Site Plan - Major Amendment and SI-2022-02414 – Site Plan - EPC, based on the following Findings and subject to the following Conditions of Approval:

FINDINGS – SI-2022-02318, Major Amendment:

1. The request is for a Major Amendment for a property legally described as Tract A1 and Tract A2, Plat of Tracts A-1 and A-2 Hoffmantown Baptist Church Site, at the SW corner of Harper Rd. NE and Ventura Rd. NE, approximately 60-acres (the “subject area”).
2. Tract A2 is approximately 14.5-acres within the controlling Site Development Plan for Subdivision and is located on the western portion of the subject site. The subject site is vacant.
3. The applicant wishes to remove Tract A2 from the controlling Site Development Plan for Subdivision, which would facilitate a future re-plat of the subject site. Tract A-2 would then be controlled by IDO development standards; the Site Development Plan for Subdivision would remain valid on Tract A1.
4. The subject site is zoned R-1C (Single-Family Large Lot). The requested Major Amendment would facilitate development of a 39-lot single-family residential subdivision, which the controlling site development plan for subdivision would not allow.

5. The subject site is in an Area of Consistency and is not in a designated Center or along a designated Corridor. The Facility Plan for Arroyos also applies because the South Pino Arroyo runs along a portion of the subject site's southern boundary and encroaches into it.
6. The EPC is hearing this case as required by IDO section 14-16-6-4(Z) Major Amendment-EPC. Major Amendments shall be reviewed and decided by the decision-making body that issued the permit or approval being amended.
7. IDO 14-16-6-6(I)(1)(c)(4) states that any Subdivision or Site Plan application for development that has not avoided sensitive lands is required to be heard by the EPC pursuant to Subsection 14-16-5-2(C)(4). A Sensitive Lands Analysis is required.
8. The Albuquerque/Bernalillo County Comprehensive Plan, the Facility Plan for Arroyos, and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
9. The request is consistent with the following Comprehensive Plan Goal and policy from Chapter 4: Community Identity:

A. Goal 4.1 – Character: Enhance, protect, and preserve distinct communities.

The request would enhance, protect, and preserve the surrounding residential neighborhoods, specifically the Cherry Hills neighborhood. A zone change was approved by City Council in 2022 to R-1C, which allows single-family residential uses. The proposed amendment to remove Tract A-2 from the controlling SDP for Subdivision would allow the subject site to be developed pursuant to IDO development standards for R-1C uses and would place stringent standards on the subdivision that would protect the character of the surrounding North Albuquerque community.

The subject site is in an Area of Consistency as designated by the Comp Plan, which is intended to be developed consistent with the established character of the surrounding area in order to reinforce the existing character of established neighborhoods. The proposed Site Plan for a single-family residential subdivision would enhance the area by facilitating similar development to the surrounding area and protect the neighborhood by providing a new residential development that would enhance and help to preserve the identity of the community.

B. Policy 4.1.2 – Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

The request to remove Tract A-2 from the controlling SDP for Subdivision which would allow the development of a single-family residential subdivision, included with this request, would help protect the identity and cohesiveness of the surrounding residential neighborhood. The subject site would be controlled by IDO development standards, which the proposed Site Plan-EPC for a 39-lot, low-density residential subdivision is following. The stringent IDO standards will ensure that character of building design on the R-1C zoned site will be consistent with the scale of the low -density land uses in the area. The proposed low-density residential land use will be an appropriate location of development in an Area of Consistency.

10. The request is consistent with the following sub-policies from Comprehensive Plan Chapter 5: Land Use.

- A. Sub-policy(c) 5.2.1 – Land Uses: Maintain the characteristics of distinct communities through zoning and design standards that are consistent with long-established residential development patterns.

The request would allow the development of a low -density, single-family residential subdivision which would be subject to IDO design standards. The proposed use and R-1C zoning on the site would be consistent with the established Cherry Hills Neighborhood to the north, thereby maintaining the character of the surrounding communities long-established residential development patterns.

- B. Sub-policy(h) 5.2.1 – Land Uses: Encourage infill development that adds complementary uses and is compatible in form and scale to the immediately surrounding development.

The requested Major Amendment would facilitate development of the proposed Site Plan for a single-family residential subdivision on an infill site that is compatible to the immediately surrounding residential neighborhoods.

- C. Sub-policy(n) 5.2.1 – Land Uses: Encourage more productive use of vacant lots and under-utilized lots, including surface parking.

The request would facilitate development of a single-family subdivision on the subject site, which has sat vacant for years in an established community. The proposed Site Plan would, would encourage productive use of the underutilized land and discourage surface parking.

11. The request is consistent with the following goal and policies regarding infill and city development areas from Comprehensive Plan Chapter 5: Land Use.

- A. Goal 5.3 Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The request would generally promote efficient use of the land. The proposed Site Plan would promote development patterns that are similar to the Cherry Hills Neighborhood, while also using existing infrastructure that surrounds the site.

- B. Policy 5.3.1 – Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The subject site is currently surrounded by low-density residential development, parks, open space and religious institutions. The proposed Site Plan would utilize existing infrastructure along Harper Rd. including water and sewer.

- C. Goal 5.6 City Development areas: Encourage and direct growth to Areas of Change where it is expected and desired to ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The subject site is located in an Area of Consistency. The request would reinforce the character and intensity of the surrounding area by creating consistency with the existing residential land uses and keeping the character and intensity the same.

- D. Policy 5.6.3 Areas of Consistency: Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, parks, and Major Public Open Space.

The request would generally enhance the character of the existing single-family neighborhoods surrounding the subject area, specifically the Cherry Hills neighborhood to the North. The subject site is outside of Centers and Corridors and a Sensitive Lands Analysis has been provided for the impact of development on the abutting South Pino Arroyo. The proposed Site Plan made possible by the requested amendment would generally protect the character of the surrounding area and amenities.

- E. Sub-policy(b) 5.6.3 Areas of Consistency: Ensure that development reinforces the scale, intensity, and setbacks of the immediately surrounding context.

The proposed Site Plan would follow the development standards of the R-1C zone district and other applicable IDO development standards, which would be consistent with the scale, intensity, and setbacks of the surrounding residential community. The large lot parcels are similar to the design and density characteristics of most development in the area.

12. The request is consistent with the following Comprehensive Plan Goal from Chapter 9: Housing:

Goal 9.2.1 –Compatibility: Encourage housing development that enhances neighborhood character, maintains compatibility with surrounding land uses, and responds to its development context – i.e. urban, suburban, or rural – with appropriate densities, site design, and relationship to the street.

The requested Major Amendment would facilitate development of the proposed Site Plan to develop a new low-density, single-family residential neighborhood in an established residential community. The request would reinforce and strengthen the surrounding neighborhood characteristics and maintain appropriate densities and site design by following IDO development standards for the R-1C zone district. The applicant has provided street sections for Harper Rd. NE which the Site Plan proposes to enhance.

13. The request is consistent with the following Comprehensive Plan Policy and Sub-policy from Chapter 12: Infrastructure, Community Facilities & Services

- A. Policy 12.1.4 Drainage and Flood Control: Reduce or eliminate flooding by improving ponding and drainage capacities in an environmentally sensitive manner through the development process and in coordination with flood control agencies.

The proposed Site Plan includes a Grading and Drainage Plan and Report which aim to eliminate flooding by improving ponding and drainage capacities by following City DPM standards in addition to AMAFCA regulations. The applicant has stated that they will work with FEMA moving forward to ensure proper grading and drainage capacities.

- B. Sub-policy (b): Preserve natural drainage functions of arroyos to the extent possible and use naturalistic design treatment when structural improvements are required for flood control.

The subject site abuts the South Pino Arroyo on the southern edge of the property. The applicant was required to complete a sensitive lands analysis which detailed how negative impacts to the arroyo and its natural drainage functions would be mitigated. The applicant has proposed to provide bank protection that incorporates naturalistic design treatment and encourages the growth of existing native desert plants. Development that encroaches the arroyo cannot be avoided.

14. The request is consistent with the following Policies regarding Major Open Space Link Arroyos from the Facility Plan for Arroyos (FPA)- Rank II:

A. Policy 4- Right-Of-Way: A minimum twenty-foot easement is recommended for trail development and possible landscaping on at least one side of the channel, outside of the 100-year floodplain. If dedicated to the City, this twenty-foot area shall be eligible for either open space credit in the Developing Urban area or for park dedication credit. The actual amount of land area to be credited as dedicated park land will be determined by the City on a case-by-case basis. Specific right-of-way requirements for each Major Open Space Link will be determined through the arroyo corridor planning process.

A 100-foot drainage easement exists along the subject site's southern boundary where the South Pino Arroyo is located. An additional twenty-foot easement for trail development is not proposed in addition to the existing easement.

B. Policy 4- Walls: Continuous perimeter walls should not be located adjacent to the arroyo right-of-way.

Perimeter walls are proposed along the arroyo and do meet the design standards for open space link arroyos.

15. The applicant has adequately justified the request pursuant to the Integrated Development Ordinance (IDO) Section 14-16-6-6(I)(3)-Review and Decision Criteria for Site Plan-EPC, as follows:

A. Criterion A: The applicant's policy-based response demonstrates that the request is consistent with a preponderance of applicable ABC Comprehensive Plan Goals and Policies (and other applicable City Plans), therefore, the request is consistent with the City's health, safety, morals and general welfare.

B. Criterion B: The subject site is zoned R-1C; therefore, criterion B does not apply.

C. Criterion C: The request is for a Major Amendment to the controlling site development plan and for a Site Plan-EPC. The proposed Site Plan is required to comply with all applicable provisions of the IDO, DPM, other adopted City regulations. All conditions must be met prior to building permit approval.

The applicant has stated that the development will comply with all applicable provisions pursuant to the R-1C zone district including lot sizes, setbacks, and parking. Grading and Drainage has been approved by City Hydrology.

D. Criterion D: The subject site is already served by existing infrastructure and public facilities. The applicant has stated that any additional infrastructure improvements necessary to serve the project will be provided by the Applicant through an Infrastructure Improvement Agreement.

E. Criterion E: The applicant was required to provide a sensitive lands analysis due to the bordering South Pino Arroyo on the southern edge of the subject Sit. A detailed analysis was given describing how any significant adverse impacts would be mitigated. The applicant included a memo which provided recommendation from the approved Drainage report on how to best mitigate any impacts identifies.

The Site Plan is required to follow all standards of the IDO, DPM and other applicable City standards, which the applicant has agreed to follow.

F. Criterion F: The subject property is not within an approved Master Development Plan; therefore, criterion F does not apply.

G. Criterion G: The subject property is not within the Railroad and Spur Area and no cumulative impact analysis is required. Therefore, criterion G does not apply.

16. The affected, registered neighborhood organizations are the District 4 Coalition of Neighborhood Associations and the Cherry Hills Civic Association, which were notified as required. Property owners within 100 feet of the subject site were also notified as required.

17. A pre-application facilitated neighborhood meeting was held at the Hoffmantown Church on November 1, 2022. The Cherry Hills NA representatives had questions regarding potential traffic congestion, access, and exterior wall design which the applicant responded to.

18. Staff received comments from the District 4 Coalition of Neighborhood Associations (NA) and the Cherry Hills Neighborhood Association (NA) in regards to the concurrent Site Plan-EPC request (SI-2022-02414). District 4 Coalition of NAs is in opposition to the associated Waiver DRB request. The NAs are not opposed to the proposed use, but are opposed to the proposed Site Plan.

FINDINGS – SI-2022-02414 – Site Plan- EPC:

1. The request is for a Site Plan-EPC for a property legally described as Tract A2, Plat of Tracts A-1 and A-2 Hoffmantown Baptist Church Site, at the SW corner of Harper Rd. NE and Ventura Rd. NE, approximately 14.5-acres (the “subject site”).
2. The approximately 14.5-acre subject site comprises the western portion of a larger, controlling Site Development Plan for Subdivision that covers approximately 60-acres. The subject site is vacant.
3. A request for a Major Amendment to remove Tract A2 from the controlling Site Development Plan for Subdivision (SI-2022-02318) is associated with this request.
4. The subject site is zoned R-1C (Single-Family Large Lot). The request would facilitate development of a 39-lot single-family residential subdivision.
5. The subject site is in an Area of Consistency and is not in a designated Center or along a designated Corridor. The Facility Plan for Arroyos also applies because the South Pino Arroyo runs along the subject site’s southern boundary and encroaches into it.
6. At its December 7, 2022 hearing, the DRB determined that a Preliminary Plat could not be approved until the EPC, as a discretionary body, reviewed the associated Site Plan-EPC, which is required pursuant to IDO 14-16-5-2, Site Design and Sensitive Lands, because the subject site is adjacent to an arroyo, in a flood plain, and contains slopes greater than 9%.

7. IDO 14-16-6-6(I)(1)(c)(4) states that any Subdivision or Site Plan application for development that has not avoided sensitive lands is required to be heard by the EPC pursuant to Subsection 14-16-5-2(C)(4). A Sensitive Lands Analysis is required.
8. The Albuquerque/Bernalillo County Comprehensive Plan, the Facility Plan for Arroyos, and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
9. The request is consistent with the following Comprehensive Plan Goal and policy from Chapter 4: Community Identity

A. Goal 4.1 – Character: Enhance, protect, and preserve distinct communities.

The request would enhance, protect, and preserve the surrounding residential neighborhoods, specifically the Cherry Hills neighborhood. A zone change was approved by City Council in 2022 to R-1C, which allows single-family residential uses. The proposed amendment to remove Tract A-2 from the controlling SDP for Subdivision would allow the subject site to be developed pursuant to IDO development standards for R-1C uses and would place stringent standards on the subdivision that would protect the character of the surrounding North Albuquerque community.

The subject site is in an Area of Consistency as designated by the Comp Plan, which is intended to be developed consistent with the established character of the surrounding area in order to reinforce the existing character of established neighborhoods. The proposed Site Plan for a single-family residential subdivision would enhance the area by facilitating similar development to the surrounding area and protect the neighborhood by providing a new residential development that would enhance and help to preserve the identity of the community.

B. Policy 4.1.2 – Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

The request to remove Tract A-2 from the controlling SDP for Subdivision which would allow the development of a single-family residential subdivision, included with this request, would help protect the identity and cohesiveness of the surrounding residential neighborhood. The subject site would be controlled by IDO development standards, which the proposed Site Plan-EPC for a 39-lot, low-density residential subdivision is following. The stringent IDO standards will ensure that character of building design on the R-1C zoned site will be consistent with the scale of the low -density land uses in the area. The proposed low-density residential land use will be an appropriate location of development in an Area of Consistency.

10. The request is consistent with the following sub-policies from Comprehensive Plan Chapter 5: Land Use.

A. Sub-policy(c) 5.2.1 – Land Uses: Maintain the characteristics of distinct communities through zoning and design standards that are consistent with long-established residential development patterns.

The request would allow the development of a low -density, single-family residential subdivision which would be subject to IDO design standards. The proposed use and R-1C zoning on the site would be consistent with the established Cherry Hills Neighborhood to the north, thereby maintaining the character of the surrounding communities long-established residential development patterns.

- B. Sub-policy(h) 5.2.1 – Land Uses: Encourage infill development that adds complementary uses and is compatible in form and scale to the immediately surrounding development.

The requested Major Amendment would facilitate development of the proposed Site Plan for a single-family residential subdivision on an infill site that is compatible to the immediately surrounding residential neighborhoods.

- C. Sub-policy(n) 5.2.1 – Land Uses: Encourage more productive use of vacant lots and under-utilized lots, including surface parking.

The request would facilitate development of a single-family subdivision on the subject site, which has sat vacant for years in an established community. The proposed Site Plan would, would encourage productive use of the underutilized land and discourage surface parking.

11. The request is consistent with the following goal and policies regarding infill and city development areas from Comprehensive Plan Chapter 5: Land Use:

- A. Goal 5.3 Efficient Development Patterns: Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

The request would generally promote efficient use of the land. The proposed Site Plan would promote development patterns that are similar to the Cherry Hills Neighborhood, while also using existing infrastructure that surrounds the site.

- B. Policy 5.3.1 – Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The subject site is currently surrounded by low-density residential development, parks, open space and religious institutions. The proposed Site Plan would utilize existing infrastructure along Harper Rd. including water and sewer.

- C. Goal 5.6 City Development areas: Encourage and direct growth to Areas of Change where it is expected and desired to ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The subject site is located in an Area of Consistency. The request would reinforce the character and intensity of the surrounding area by creating consistency with the existing residential land uses and keeping the character and intensity the same.

- D. Policy 5.6.3 Areas of Consistency: Protect and enhance the character of existing single-family neighborhoods, areas outside of Centers and Corridors, parks, and Major Public Open Space.

The request would generally enhance the character of the existing single-family neighborhoods surrounding the subject area, specifically the Cherry Hills neighborhood to the North. The subject site is outside of Centers and Corridors and a Sensitive Lands Analysis has been provided for the impact of development on the abutting South Pino Arroyo. The proposed Site Plan made possible by the requested amendment would generally protect the character of the surrounding area and amenities.

- E. Sub-policy(b) 5.6.3 Areas of Consistency: Ensure that development reinforces the scale, intensity, and setbacks of the immediately surrounding context.

The proposed Site Plan would follow the development standards of the R-1C zone district and other applicable IDO development standards, which would be consistent with the scale, intensity, and set backs of the surrounding residential community. The large lot parcels are similar to the design and density characteristics of most development in the area.

12. The request is consistent with the following Comprehensive Plan Goal from Chapter 9: Housing:

Goal 9.2.1 –Compatibility: Encourage housing development that enhances neighborhood character, maintains compatibility with surrounding land uses, and responds to its development context – i.e. urban, suburban, or rural – with appropriate densities, site design, and relationship to the street.

The request would facilitate development of the proposed Site Plan to develop a new low-density, single-family residential neighborhood in an established residential community. The request would reinforce and strengthen the surrounding neighborhood characteristics and maintain appropriate densities and site design by following IDO development standards for the R-1C zone district. The applicant has provided street sections for Harper Rd. NE which the Site Plan proposes to enhance.

13. The request is consistent with the following Comprehensive Plan Policy and Sub-policy from Chapter 12: Infrastructure, Community Facilities & Services:

A. Policy 12.1.4 Drainage and Flood Control: Reduce or eliminate flooding by improving ponding and drainage capacities in an environmentally sensitive manner through the development process and in coordination with flood control agencies.

The proposed Site Plan includes a Grading and Drainage Plan and Report which aim to eliminate flooding by improving ponding and drainage capacities by following City DPM standards in addition to AMAFCA regulations. The applicant has stated that they will work with FEMA moving forward to ensure proper grading and drainage capacities.

B. Sub-policy (b): Preserve natural drainage functions of arroyos to the extent possible and use naturalistic design treatment when structural improvements are required for flood control.

The subject site abuts the South Pino Arroyo on the southern edge of the property. The applicant was required to complete a sensitive lands analysis which detailed how negative impacts to the arroyo and its natural drainage functions would be mitigated. The applicant has proposed to provide bank protection that incorporates naturalistic design treatment and encourages the growth of existing native desert plants. Development that encroaches the arroyo cannot be avoided.

14. The request is consistent with the following Policies regarding Major Open Space Link Arroyos from the Facility Plan for Arroyos (FPA)- Rank II:

A. Policy 4- Right-Of-Way: A minimum twenty-foot easement is recommended for trail development and possible landscaping on at least one side of the channel, outside of the 100-year floodplain. If dedicated to the City, this twenty-foot area shall be eligible for either open space credit in the Developing Urban area or for park dedication credit. The actual amount of land area to be credited as dedicated park land will be determined by the City on a case-by-case basis. Specific right-of-way requirements for each Major Open Space Link will be determined through the arroyo corridor planning process.

A 100-foot drainage easement exists along the subject site's southern boundary where the South Pino Arroyo is located. An additional twenty-foot easement for trail development is not proposed in addition to the existing easement.

- B. Policy 4- Walls: Continuous perimeter walls should not be located adjacent to the arroyo right-of-way.

Perimeter walls are proposed along the arroyo and do meet the design standards for open space link arroyos.

15. The applicant has adequately justified the request pursuant to the Integrated Development Ordinance (IDO) Section 14-16-6-6(I)(3)-Review and Decision Criteria for Site Plan-EPC, as follows:

- A. Criterion A: The applicant's policy-based response demonstrates that the request is consistent with a preponderance of applicable ABC Comprehensive Plan Goals and Policies (and other applicable City Plans), therefore, the request is consistent with the City's health, safety, morals and general welfare.

- B. Criterion B: The subject site is zoned R-1C; therefore, criterion B does not apply.

- C. Criterion C: The request is for a Major Amendment to the controlling site development plan and for a Site Plan-EPC. The proposed Site Plan is required to comply with all applicable provisions of the IDO, DPM, other adopted City regulations. All conditions must be met prior to building permit approval.

The applicant has stated that the development will comply with all applicable provisions pursuant to the R-1C zone district including lot sizes, setbacks, and parking. Grading and Drainage has been approved by City Hydrology.

- D. Criterion D: The subject site is already served by existing infrastructure and public facilities. The applicant has stated that any additional infrastructure improvements necessary to serve the project will be provided by the Applicant through an Infrastructure Improvement Agreement.

- E. Criterion E: The applicant was required to provide a sensitive lands analysis due to the bordering South Pino Arroyo on the southern edge of the subject Sit. A detailed analysis was given describing how any significant adverse impacts would be mitigated. The applicant included a memo which provided recommendation from the approved Drainage report on how to best mitigate any impacts identifies. The Site Plan is required to follow all standards of the IDO, DPM and other applicable City standards, which the applicant has agreed to follow.

- F. Criterion F: The subject property is not within an approved Master Development Plan; therefore, criterion F does not apply.

- G. Criterion G: The subject property is not within the Railroad and Spur Area and no cumulative impact analysis is required. Therefore, criterion G does not apply.

16. As stated in the DRB Notice of Decision from December 7, 2022, the four waivers are contingent upon the Site Plan layout, as determined by the EPC. See DRB NOD Finding number 1.

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17. The DRB reviewed four waivers for technical acceptability for the subdivision layout proposed in the Preliminary Plat. These approvals do not obligate the EPC to approve the subdivision layout presented to the DRB. See NOD dated December 7, 2022.
18. The proposed secondary trail shown along the South Pino Arroyo (Trail #343 in the Trails and Bikeways Facility Plan (Rank II)) is not likely to develop in the near future; AMAFCA and the City do not have an agreement in place at this time regarding the ROW.
19. The affected, registered neighborhood organizations are the District 4 Coalition of Neighborhood Associations and the Cherry Hills Civic Association, which were notified as required. Property owners within 100 feet of the subject site were also notified as required.
20. A pre-application facilitated neighborhood meeting was held at the Hoffmantown Church on November 1, 2022. The Cherry Hills NA representatives had questions regarding potential traffic congestion, access, and exterior wall design which the applicant responded to.
21. A letter was received on January 3, 2023 from the District 4 Coalition of Neighborhood Associations in opposition to the Site Plan request and the associated Waiver DRB requests.
22. Staff received a letter from a representative of the District 4 Coalition of Neighborhood Association's on January 8, 2023. The letter outlined concerns regarding development along the South Pino Arroyo and requests that the developer resubmit the proposed Site Plan with less lots to avoid the floodplain and steep slopes of the Arroyo.
23. Staff received a letter on January 12, 2023 from a representative of the Cherry Hills Neighborhood Association (NA), which outlines their opposition to the development avoiding specific development standards in the IDO. The NA opposes the approved waiver-DRB (VA-2022-00329) which would allow the development of a wall and lots backing up to Harper Rd. NE. The NA is also concerned that the proposed development does not adequately avoid "steep slopes" and the abutting arroyo.
24. The representative of the Cherry Hills NA stated that they are not opposed to the proposed use, but they are opposed to the proposed Site Plan. They request that the EPC review the approved waiver DRB (VA-2022-00329) to 5-4(F)(2)(b)-Residential lots shall avoid layouts where the rear lot line is adjacent to a collector or arterial street, which would allow for the seven lots on the north side of the subdivision with rear yard lot lines adjacent to Harper Rd.
25. The users of the trail along the southern side of Harper Rd. submitted a petition requesting that the EPC deny the site plan as presented because it violates IDO Section 5-2(C) for Sensitive Lands. They are also in opposition to development that would back up to Harper Road.
26. The City Hydrology department preliminarily approved the Grading and Drainage Plan, which is conceptual only; additional information may need to be submitted to Hydrology prior to building permit approval.

CONDITIONS – SI-2022-2414, Site Plan – EPC:

1. The EPC delegates final sign-off authority of the site plan to the Development Facilitation Team (DFT), previously known as the DRB. The reviewer will be responsible for ensuring that the EPC Conditions have been satisfied and that other applicable City requirements have been met.
2. The applicant shall coordinate with the Staff planner prior to re-submitting to the DFT, formally known as DRB, as per the 12/7/2022 DRB Notice of Decision (PR # 2018-001560, VA-2022-00328, VA-2022-00329, VA-2022-00330, VA-2022-00331).
3. The request shall be reviewed by the Development Hearing Officer (DHO) for the final platting action(s) and any infrastructure.
4. Any waivers associated with the EPC-approved subdivision layout, and accepted by the EPC, shall be listed on the Site Plan-EPC.
5. The applicant shall comply with applicable provisions of IDO 14-16-5-2 Site Design and Sensitive Lands and the DPM (unless a waiver applies).
6. The site plan shall comply with IDO 14-16-5-2(I)(4) Site Design and Sensitive Lands- Landscaping Adjacent to Arroyos, and the Facility Plan for Arroyos- Landscaping & Open Space:
 - A. Disturbed areas shall be reseeded and/or planted with low-water, low-maintenance, native, or naturalized plant materials [14-16-5-2(I)(4)(b)].
 - B. Landscaping on lots abutting arroyos shall be pursuant to 14-16-5-6(C)(4)- Required Plant Materials and Site Amenities [14-16-5-2(I)(4)(e)].
 - C. A note shall be added to indicate landscaping adjacent to the arroyo.
7. Landscaping Plan details:
 - A. Landscaping adjacent to arroyos shall consist of low-maintenance, native plants included on the Albuquerque Plant palette [IDO 14-16-5-6(C)(4)(e) and in the FPA].
 - B. Juniper shall be “female only” (ref: Pollen Ordinance) and chosen from the Albuquerque Plant Palette.
 - C. Elm species shall be chosen from the Albuquerque Plant Palette or replaced with another tree on this list.
8. Walls/Fences:
 - A. The applicant shall provide an updated retaining wall detail to reflect 5-7(F)(2) standards for Terracing.
 - B. The retaining wall detail shall be updated note to state that height is in accordance with 5-7(F) Retaining Wall Standards.
 - C. The color and material of the view fencing shall be specified.
9. Signage: The height and materials of the wall sign shall be specified.

10. Elevations: A sample elevation shall be submitted to demonstrate compliance and that development standards are being met [IDO Table 2-3-3: R-1 Zone District Dimensional Standards Summary].
11. A detail sheet shall be provided and contain all the walls, signage, and lighting details.
12. Clarification- the following shall be added to clarify the site plan:
 - A. A legend shall be added.
 - B. What the types of shading indicate shall be specified.
 - C. A note shall be added to indicate the intended use(s) of the cross-hatched area(s).
 - D. A scale shall be added to the sheet with the cross sections.

13. CONDITION FROM THE SOLID WASTE MANAGEMENT DEPARTMENT

The Solid Waste Management Department (SWMD) will require a site plan that shows the dimensions of the proposed curb space and driveways approved for access by SWMD.

14. CONDITIONS FROM PNM:

- A. Any existing and/or new PNM easements and facilities shall be reflected on the Site Plan and any resulting Plat.
- B. Any on-site transformers shall have a five-foot clear area on the sides and rear and ten-foot in front to allow for access and maintenance.

15. CONDITIONS FROM AMAFCA:

- A. The Conditional Letter of Map Revision (CLOMR) shall be approved by FEMA prior to AMAFCA signature.
- B. The building permit for the subdivision shall not be issued until the Conditional Letter of Map Revision (CLOMR) and City Work Order plans for the required flood/scour wall have been reviewed and approved by both the City and AMAFCA, and FEMA has accepted the CLOMR.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **March 3, 2023**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(V) of the Integrated Development Ordinance (IDO), Administration and Enforcement. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal an EPC Recommendation to the City Council since this is not a final decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the IDO must be complied with, even after approval of the referenced application(s).

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Sincerely,

Catalina Lehner

for Alan M. Varela,
Planning Director

AV/CL/LD/MJ

cc: Pulte Group, Kevin.Patton@PulteGroup.com
Jacqueline Fishman, Consensus Planning, fishman@consensusplanning.com
Cherry Hills Civic Association, Hank Happ, hhapp@juno.com
District 4 Coalition of Neighborhood Associations, Mildred Griffiee, mgriffiee@noreste.org
District 4 Coalition of Neighborhood Associations, Mark Reynolds, reynolds@unm.edu
Cherry Hills Civic Association, Ellen Dueweke, edueweke@juno.com
Legal, dking@cabq.gov
EPC File



March 15, 2023

Jolene Wolfley, Associate Director
Planning Department
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Re: Response to Conditions of Approval – SI-2022-2414, Site Plan – EPC

Landscape Architecture
Urban Design
Planning Services

Dear Ms. Wolfley,

The purpose of this letter is to respond to the conditions from the Approved Site Plan-EPC for PR # 2018—001560/SI-2022-2414.

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

1. The EPC delegates final sign-off authority of the site plan to the Development Facilitation Team (DFT), previously known as the DRB. The reviewer will be responsible for ensuring that the EPC Conditions have been satisfied and that other applicable City requirements have been met.

Applicant response: Agreed.

2. The applicant shall coordinate with the Staff planner prior to re-submitting to the DFT, formally known as DRB, as per the 12/7/2022 DRB Notice of Decision (PR # 2018-001560, VA-2022-00328, VA-2022-00329,

Applicant response: We have coordinated with and provided this memo to the Megan Jones, case planner.

3. The request shall be reviewed by the Development Hearing Officer (DHO) for the final platting action(s) and any infrastructure.

Applicant response: Agreed.

4. Any waivers associated with the EPC-approved subdivision layout, and accepted by the EPC, shall be listed on the Site Plan-EPC.

Applicant response: All waivers approved by the Development Review Board on December 7, 2023, are listed on the Site Plan.

5. The applicant shall comply with applicable provisions of IDO 14-16-5-2 Site Design and Sensitive Lands and the DPM (unless a waiver applies).

Applicant response: The site plan complies with the Site Design and Sensitive Lands and the DPM with the exception of the waivers that were approved by the DRB and are noted on the Site Plan.

PRINCIPALS

James K. Strozier, FAICP
Christopher J. Green, PLA,
ASLA, LEED AP
Jacqueline Fishman, AICP



6. The site plan shall comply with IDO 14-16-5-2(l)(4) Site Design and Sensitive Lands- Landscaping Adjacent to Arroyos, and the Facility Plan for Arroyos- Landscaping & Open Space:

- a. Disturbed areas shall be reseeded and/or planted with low-water, low-maintenance, native, or naturalized plant materials [14-16-5-2(l)(4)(b)].

Applicant response: See General Note #8 on the Site Plan.

- b. Landscaping on lots abutting arroyos shall be pursuant to 14-16-5-6(C)(4)- Required Plant Materials and Site Amenities [14-16-5-2(l)(4)(e)].

Applicant response: See General Note #8 on the Site Plan.

- c. A note shall be added to indicate landscaping adjacent to the arroyo.

Applicant response: See General Note #8 on the Site Plan.

7. Landscaping Plan details:

- a. Landscaping adjacent to arroyos shall consist of low-maintenance, native plants included on the Albuquerque Plant palette [IDO 14-16-5-6(C)(4)(e) and in the FPA].

Applicant response: Plant materials added along the arroyo and note added under General Landscape Notes, Arroyo Landscape, see Landscape Plan.

- b. Juniper shall be "female only" (ref: Pollen Ordinance) and chosen from the Albuquerque Plant Palette.

Applicant response: Juniper has been removed from the Landscape Plan.

- c. Elm species shall be chosen from the Albuquerque Plant Palette or replaced with another tree on this list.

Applicant response: The two elm species are listed on the Albuquerque Plant Palette.

8. Walls/Fences:

- a. The applicant shall provide an updated retaining wall detail to reflect 5-7(F)(2) standards for Terracing.

Applicant response: Added on Sheet 2 "Retaining Walls."

- b. The retaining wall detail shall be updated note to state that height is in accordance with 5-7(F) Retaining Wall Standards.

Applicant response: Added on "Retaining Walls."

- c. The color and material of the view fencing shall be specified.



Applicant response: Added on Privacy Wall with View Fence details on Sheet 2.

9. Signage:

- a. The height and materials of the wall sign shall be specified.

Applicant response: Added on Sheet 2 "Wall Sign."

10. Elevations: A sample elevation shall be submitted to demonstrate compliance and that development standards are being met [IDO Table 2-3-3: R-1 Zone District Dimensional Standards Summary].

Applicant response: Two Typical Elevations and general notes were added to Sheet 2.

11. A detail sheet shall be provided and contain all the walls, signage, and lighting details.

Applicant response: Details for walls and signage have been added to Sheet 2. Street lights will be installed by PNM, and a note has been added to General Notes on the Site Plan regarding street and site lighting (General Note 9).

12. Clarification- the following shall be added to clarify the site plan:

- a. A legend shall be added.

Applicant response: A legend was added to the Site Plan.

- b. What the types of shading indicate shall be specified.

Applicant response: The legend specifies the uses for the shading areas on the Site Plan.

- c. A note shall be added to indicate the intended use(s) of the cross-hatched area(s).

Applicant response: The legend indicates the intended use of the cross-hatched areas.

- d. A scale shall be added to the sheet with the cross sections.

Applicant response: Added a scale to the cross-section sheets.

13. CONDITION FROM THE SOLID WASTE MANAGEMENT DEPARTMENT.

The Solid Waste Management Department (SWMD) will require a site plan that shows the dimensions of the proposed curb space and driveways approved for access by SWMD.

Applicant response: We have worked with Herman Gallegos on responding to this condition and he has signed off on the exhibit showing driveways on the subdivision lots (see exhibit included in Site Plan set).



14. CONDITIONS FROM PNM:

- a. Any existing and/or new PNM easements and facilities shall be reflected on the Site Plan and any resulting Plat.

Applicant response: Agreed. All existing PNM easements are reflected on the Site Plan and the Plat.

- b. Any on-site transformers shall have a five-foot clear area on the sides and rear and ten-foot in front to allow for access and maintenance.

Applicant response: Agreed. A note has been added to Sheet 3, Landscape Plan, stating the coordination with PNM regarding tree location and height, sign location and height, and lighting height to ensure sufficient safety clearances.

15. CONDITIONS FROM AMAFCA:

- a. The Conditional Letter of Map Revision (CLOMR) shall be approved by FEMA prior to AMAFCA signature.

Applicant response: Agreed.

- b. The building permit for the subdivision shall not be issued until the Conditional Letter of Map Revision (CLOMR) and City Work Order plans for the required flood/scour wall have been reviewed and approved by both the City and AMAFCA, and FEMA has accepted the CLOMR.

Applicant response: Agreed.

Please do not hesitate to contact me if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jacqueline Fishman', with a long horizontal stroke extending to the right.

Jacqueline Fishman, AICP
Principal



December 7, 2022

Tim MacEachen, Chairman
Environmental Planning Commission
City of Albuquerque
600 Second Street NW
Albuquerque, New Mexico 87102

Dear Mr. Chairman:

The purpose of this letter is to authorize Consensus Planning, Inc. to act as the agent for Hoffmantown Baptist Church for a Zoning Map Amendment and all other related applications for property located along Harper Road NE legally described as follows:

- TR A-2 PLAT OF TRACTS A-1 AND A-2 HOFFMANTOWN BAPTIST CHURCH SITE (A REPLAT OF TRACT A, HOFFMANTOWN BAPTIST CHURCH SITE AND TRACT B-2, YORBA LINDA SUBDIVISION) CONTAINING 14.0710 AC

Hoffmantown Baptist Church is the owner of the property. Thank you for your consideration.

Sincerely,

Sam Mouck
Hoffmantown Baptist Church Operations Director
(505)858-8671



December 7, 2022

Tim MacEachen, Chairman
Environmental Planning Commission
City of Albuquerque
600 Second Street NW
Albuquerque, New Mexico 87102

Dear Mr. Chairman:

The purpose of this letter is to authorize Consensus Planning, Inc. to act as the agent for Pulte Group for a Site Plan-EPC and all other related applications for property located along Harper Road NE legally described as follows:

- TR A-2 PLAT OF TRACTS A-1 AND A-2 HOFFMANTOWN BAPTIST CHURCH SITE (A REPLAT OF TRACT A, HOFFMANTOWN BAPTIST CHURCH SITE AND TRACT B-2, YORBA LINDA SUBDIVISION) CONTAINING 14.0710 AC

Pulte Group is the contract purchaser of the property. Thank you for your consideration.

Sincerely,

Kevin G. Patton, P.E.

Director of Land Planning and Entitlements

The Pulte Group, NM Division

FORM S: PRE-APPROVALS/SIGNATURES


Please refer to the DRB public meeting schedule for meeting dates and deadlines. Your attendance is required.

Legal Description & Location: TR A-2 PLAT OF TRACTS A-1 AND A-2 HOFFMANTOWN BAPTIST CHURCHSITE

Job Description: Preliminary Plat Approval

Hydrology:

- Grading and Drainage Plan Approved NA
- AMAFCA Approved NA
- Bernalillo County Approved NA
- NMDOT Approved NA
- MRGCD Approved NA



 Hydrology Department Date 11/3/2022

Transportation:


- Traffic Circulations Layout (TCL) Approved NA
- Traffic Impact Study (TIS) Approved NA
- Neighborhood Impact Analysis (NIA) Approved NA
- Bernalillo County Approved NA
- NMDOT Approved NA



 Transportation Department Date 10/5/2022

Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

- Availability Statement/Serviceability Letter Approved NA
- ABCWUA Development Agreement Approved NA
- ABCWUA Service Connection Agreement Approved NA



 ABCWUA Date 10/04/2022

- Infrastructure Improvements Agreement (IIA*) Approved
- AGIS (DXF File) Approved
- Fire Marshall Signature on the plan Approved

Signatures on Plat

- Owner(s) Yes
- City Surveyor Yes
- AMAFCA** Yes NA
- NM Gas** Yes
- PNM** Yes
- COMCAST** Yes
- MRGCD** Yes NA

* Prior to Final Plat submittals and/or Final Site Plan approval submittals (include a copy of the recorded IIA)

** Signatures required for **Final Plat** application and not required for **Preliminary Plat** application