

City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: May 21, 1999

OFFICIAL NOTIFICATION OF DECISION

Aviation Department
City of Albuquerque
P.O. Box 9022
Albuq. NM 87119

FILE: Z-99-61

LEGAL DESCRIPTION: for a portion of Tract E, municipal Addition Number 9, (Plate filed 2/5/66, Volume D3, Folio 105), in the North Half of the North half of the Northeast Quarter of Section 4, Township 9 North, Range 3 East, NMPM (Projected), Bernalillo County, New Mexico (Owned by the USA), a portion of Tract D, Municipal Addition Number 9 (plat filed 2/5/66, Volume D3, Folio 105) in the northeast quarter of the Northeast Quarter of Section 4, Township 9 North, Range 3 East, NMPM (projected), Bernalillo County, New Mexico, owned by the City of Albuquerque, all of Tract 2, Airport Technical Center (plat filed 1/19/99, Book 99S, Pg. 18) in the West Half of the Northeast Quarter of Section 4, Township 9 North, Range 3 East, NMPM (projected), Bernalillo County, New Mexico, owned by the Airport Technical Center, Ltd., all of Tract 1, Airport Technical Center (plat filed 7/1/98, Book 98C, Pg. 178) in the Southeast Quarter of the southwest quarter of the northeast quarter of Section 4, Township 9 North, Range 3 East, NMPM (projected), Bernalillo County, New Mexico, owned by the City of Albuquerque, a portion of Tract F, Municipal Addition Number 9 (Plat filed 2/5/66, Volume D3, Folio 105) in the eastern half of the Northeast quarter of Section 4, Township 9 North, Range 3, East, NMPM, (projected) Bernalillo County, New Mexico, owned by the USA, a portion unplatted land, in the south east quarter of the northeast quarter and the north east quarter of the northeast quarter of the southeast quarter of Section 4, Township 9 North, Range 3 East, NMPM, (projected). Bernalillo County, New Mexico, owned by the City of Albuquerque, located on the east side of University Blvd., containing approximately 75 acres. (M-15 & N-15) Bob Torres, Staff Planner

On May 20, 1999, the Environmental Planning Commission voted to approve Z-99-61, a Zone Map Amendment from M-2 to SU-1/Airport and Related Facilities based on the following Findings:

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP.

INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and label

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- The approved Site Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- The approved Site Development Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ACCELERATED EXPIRATION SITE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- Site Plan to be Expired

ALTERNATIVE SIGNAGE PLAN

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- Required notices with content per IDO Section 14-16-6-4(K)
 - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- Sign Posting Agreement

ALTERNATIVE LANDSCAPE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan



April 28, 2022

Mr. Hartwell Briggs, RA
Planning Manager
City of Albuquerque Aviation Department

RE: RENTAL CAR FACILITY (RAC) – Ready & Return Lot Driveway Improvement
Administrative Decisions Submittal for Minor Amendment to Site Plan
3400 University Blvd SE, Albuquerque, NM 87106

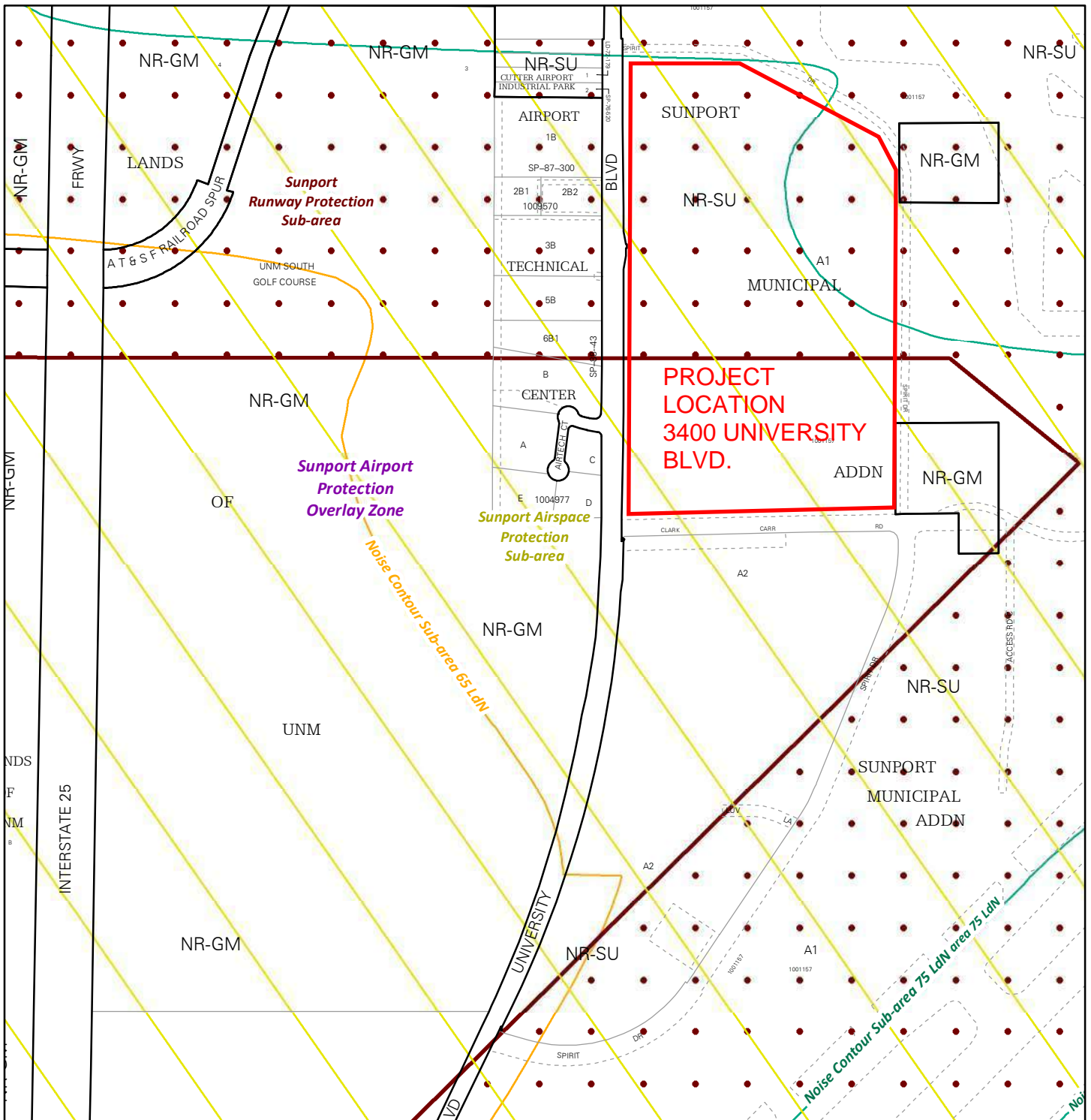
Dear Mr. Briggs,

Our office is making submittal to Building & Development Services for Development Review for Rental Car Facility (RAC) Administrative Decisions Submittal for Site Plan Amendment. The submittal process requires the applicant (City of Albuquerque Aviation Department) to authorize the agent (WHPacific – an NV5 company) to make the submittal and represent Albuquerque Sunport Aviation Department on this specific project for this specific application. Please provide your authorization of WHPacific – an NV5 company with your signature concurrence below.

Thank you.

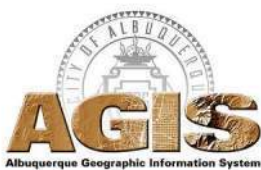
Minxuan (Jacky) Lin, PE
Civil Engineer

DocuSigned by:
Hartwell L. Briggs 5/2/2022
FA007ED546BE493...
Hartwell Briggs, RA date
City of ABQ Aviation/ Planning Manager

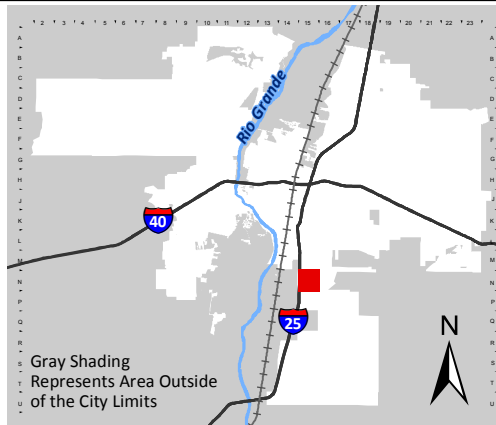


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

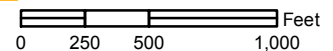


IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
N-15-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone



May 2, 2022

Mr. Jay Rodenbeck
Senior Planner – Planning Department
City of Albuquerque
600 Second St., NW
Albuquerque, New Mexico 87102

**Re: Site Plan Amendment for Rental Car Facility (RAC) – Ready & Return Lot
Driveway Improvement
Project Justification Letter**
Reference:

Dear Mr. Rodenbeck,

This letter provides necessary information supporting a Site Plan Amendment to accommodate the improvement for the existing Ready & Return Lot driveway within the Rental Car Facility (RAC).

The purpose of the project amendment will consist of expand the existing concrete driveway to the west and install a new driveway east of the existing driveway within the existing parking lot for the needs for two separated entrances and exit for (2) two different rental car companies.

Justification per criteria in IDO Section 14-16-6-4(Z)(1)(a)

1. The existing site development plan specifies the requirements in place at the time of approval, and the requested change still meets the original requirements.
Justification: The proposed improvement does not change any design standards or requirements from the original approved site plan and or previously approved Site Plan Administrative Amendment.
2. The requested change is within the thresholds for minor amendments established in Table 6-4-4, cumulative of prior deviations or minor amendments.
Justifications: The proposed project improvement are within Table 6-4-4: the allowable Minor Amendments. a) Building gross floor area: no change or N/A. b) Front, Side Rear setbacks: no change or N/A. c) Building Height: no change or N/A. d) Wall and fence height: remain the same height as existing on site. e) Any other numerical standard: Parking spaces changes within the 10% limit. f) Any other addition or revision that would otherwise be decided as a Permit – Sign, Permit – Wall or Fence – Minor, or Site Plan – Administrative: All new improvement for this project consisted of the same design requirement as it was approved. g) Any standard cited in an application for “reasonable accommodation” or “reasonable modification” under the federal Fair Housing Act Amendments of 1998 (or as amended): No deviation or N/A for this item for project.

3. The requested change does not require major public infrastructure or significant changes to access or circulation patterns on the site, which would warrant additional review by the original decision-making body.

Justifications: The proposed project improvement includes expand the existing concrete driveway and construct new driveway; the improvement does not affect the existing circulation patterns of the vehicle travel within the RAC vehicle return parking lot. Minimal traffic control required during construction, but access or circulation patterns remain.

4. No deviations, Variances, or Waivers shall be granted for minor amendments.

Justification: No deviation, Variances, or Waivers requested for project improvement.

In summary, the site plan amendment as proposed is compliant with the original site development plan and previously approved Site Plan Amendments.

On behalf of the City of Albuquerque Aviation Department, approval of this request by the Environmental Planning Department respectfully requested.

Sincerely,



Minxuan (Jacky) Lin, PE
Civil Engineer
WH Pacific – An NV5 company

Cc: Hartwell Briggs, RA
Planning Manager – ABQ Aviation Department
hbriggs@cabq.gov
Paul Browne, AIA
Project Manager – WHPacific – An NV5 company
Paul.Browne@nv5.com

Designing to Shape the Future

LEGEND

NEW CURB AND GUTTER	=====
NEW BUILDING	-----
6' CHAINLINK FENCE	-X-X-X-X-
SHORT/JERSEY BARRIER FENCE	-S-S-S-S-
6' DECORATIVE FENCE	-D-D-D-D-
LIGHT POLE	□+
SERVICE AREA STRIPING	=====

1195 READY RETURN PARKING STALLS
281 EMPLOYEE PARKING STALLS

TABULATED PARKING

Parking	33 (37 ACTUAL)
Bike Parking	2
Handicap spaces	2 (2 ACTUAL)

NOTE:
SERVICE AREAS ARE SHOWN FOR INFORMATION ONLY AND ARE SUBJECT TO CHANGE.

3400 University

ADMINISTRATIVE APPROVAL
PROJECT # 1000276 / 00440 00000 00238
DATE 12/10/08

REV.	DESCRIPTION	DATE
1	SOLAR PANEL PROJECT	12/10/08

ENGINEER ARCHITECT

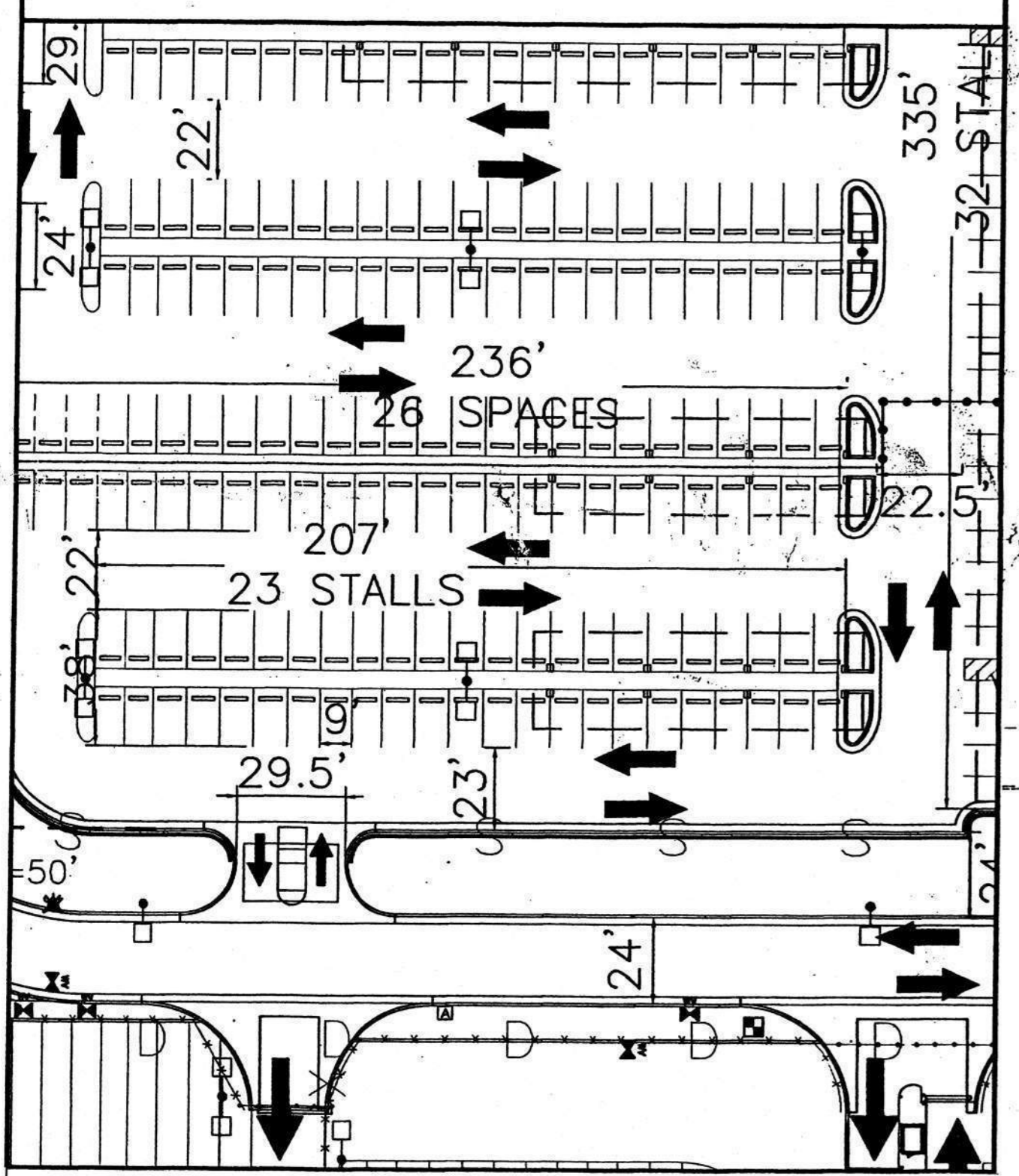
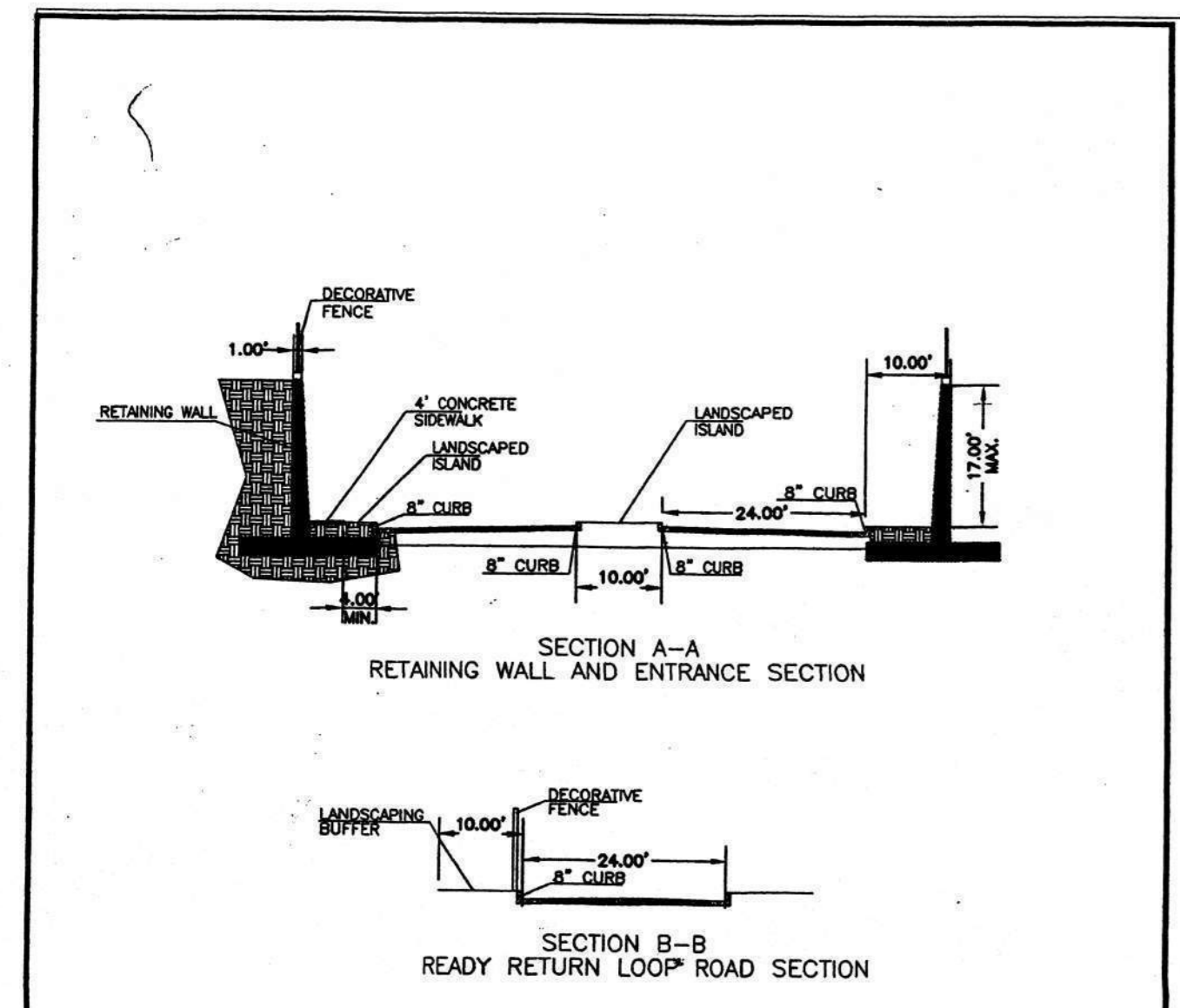
**ALBUQUERQUE INTERNATIONAL SUPPORT
REMOTE RENTAL CAR FACILITY**

ALBUQUERQUE, NEW MEXICO

PROJECT NO. 98096 DATE

SITE PLAN FOR BUILDING PERMIT

DRAWING NO. **C1.0**
SHEET OF



3400 UNIVERSITY BLVD SE
Project # 1000276 / 00440 00000 00238

CASE NUMBER: Z-99-61/DRB-99-11

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on [blank] and that the findings and conditions in the Official Notification of decision have been complied with:

SITE DEVELOPMENT PLAN

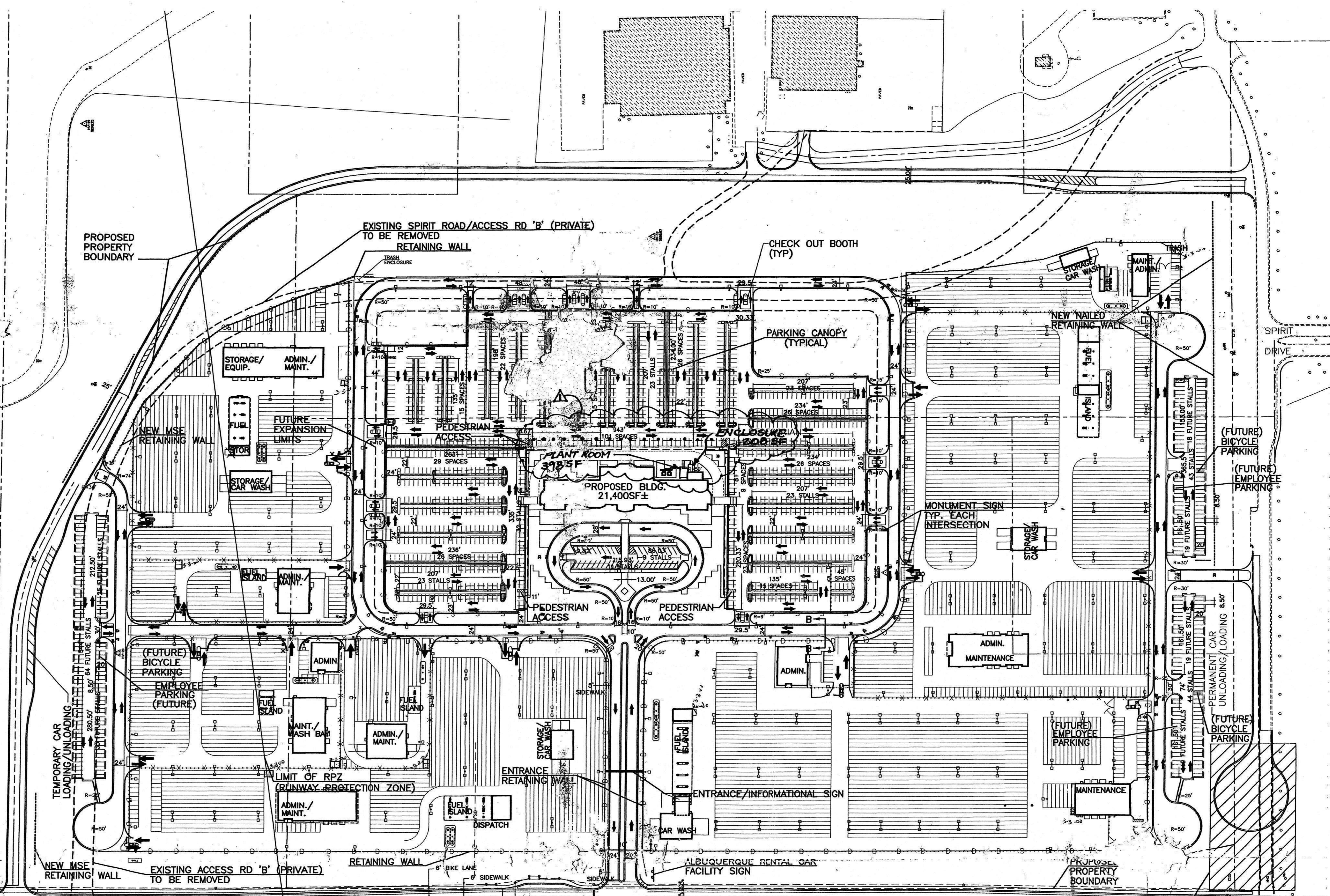
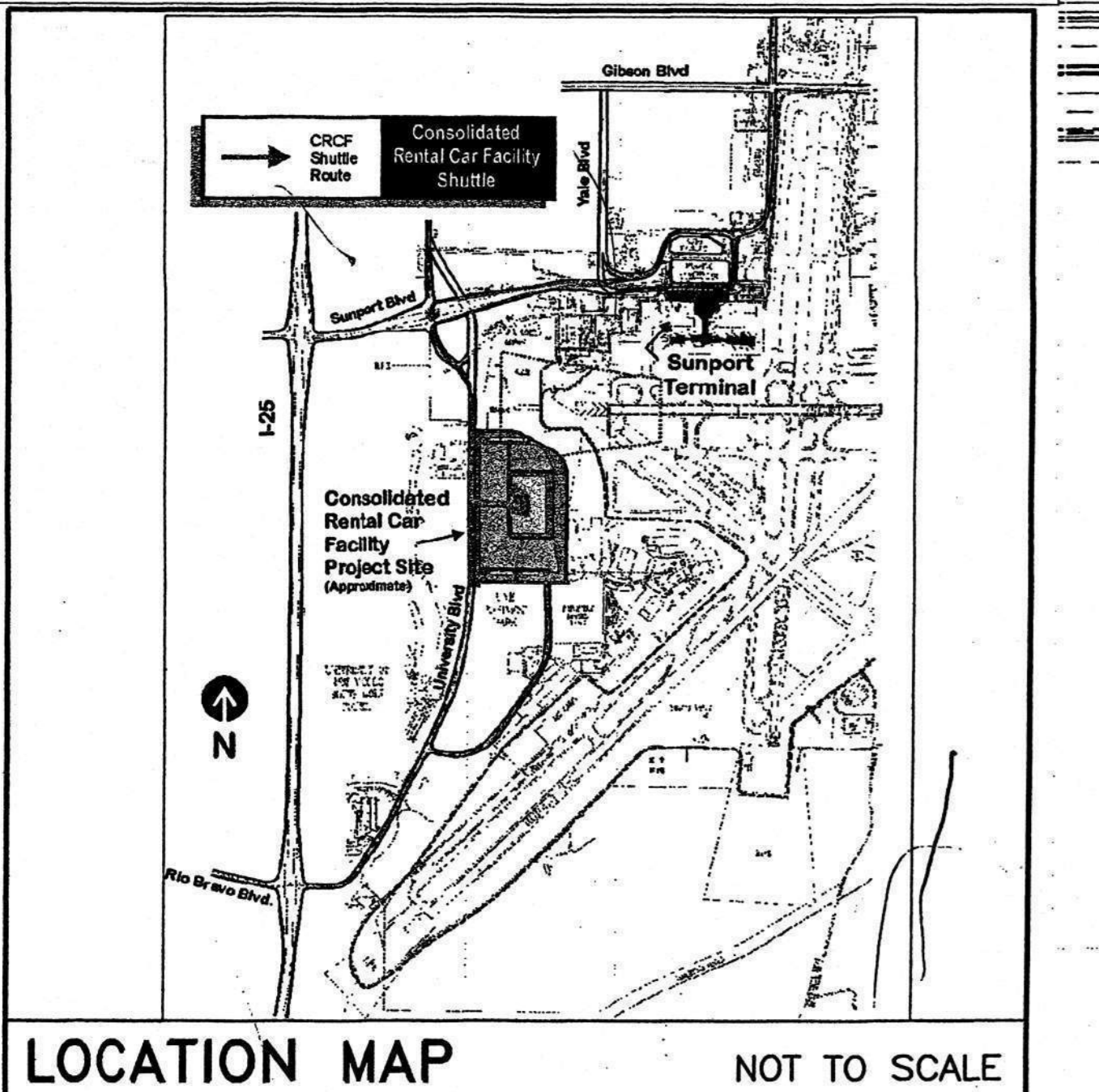
<i>John D. [Signature]</i>	9-29-99	Date
Traffic Engineer, Transportation Division		
<i>Michael L. [Signature]</i>	2-10-00	Date
Parks & Recreation		
<i>Roger L. [Signature]</i>	2-10-00	Date
Public Works, Utilities Development Division		
<i>John [Signature]</i>	2-15-00	Date
City Engineer, Engineering Division/AMAFCA		

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

[Signature] 3/3/2000 Date

City Planner, Albuquerque Planning Department
3-3-00 Date

PLN2 (10706) 4/96



CLARK CARR ACCESS TO UNIVERSITY TO BE REMOVED UPON COMPLETION OF UNIVERSITY BLVD. IN ACCORDANCE WITH THE SUBDIVISION ORDINANCE.

SITE PLAN FOR BUILDING PERMIT
SCALE: 1"=100'

98096C11 6/15/99 JLP

Designing to Shape the Future

LEGEND

- NEW CURB AND GUTTER
- NEW BUILDING
- 6' CHAINLINK FENCE
- SHORT/JERSEY BARRIER FENCE
- 6' DECORATIVE FENCE
- LIGHT POLE
- SERVICE AREA STRIPING

1195 READY RETURN PARKING STALLS
281 EMPLOYEE PARKING STALLS

TABULATED PARKING

Parking 33 (37 ACTUAL)
Bike Parking 2
Handicap spaces 2 (2 ACTUAL)

NOTE:
SERVICE AREAS ARE SHOWN FOR INFORMATION ONLY AND ARE SUBJECT TO CHANGE.

ADMINISTRATIVE AMENDMENT

File # 04AA-00490 Project # 1000818
Block old entrance, install new curb cut/entrance on east side of site
APPROVED BY: [Signature] DATE: 1-8-04

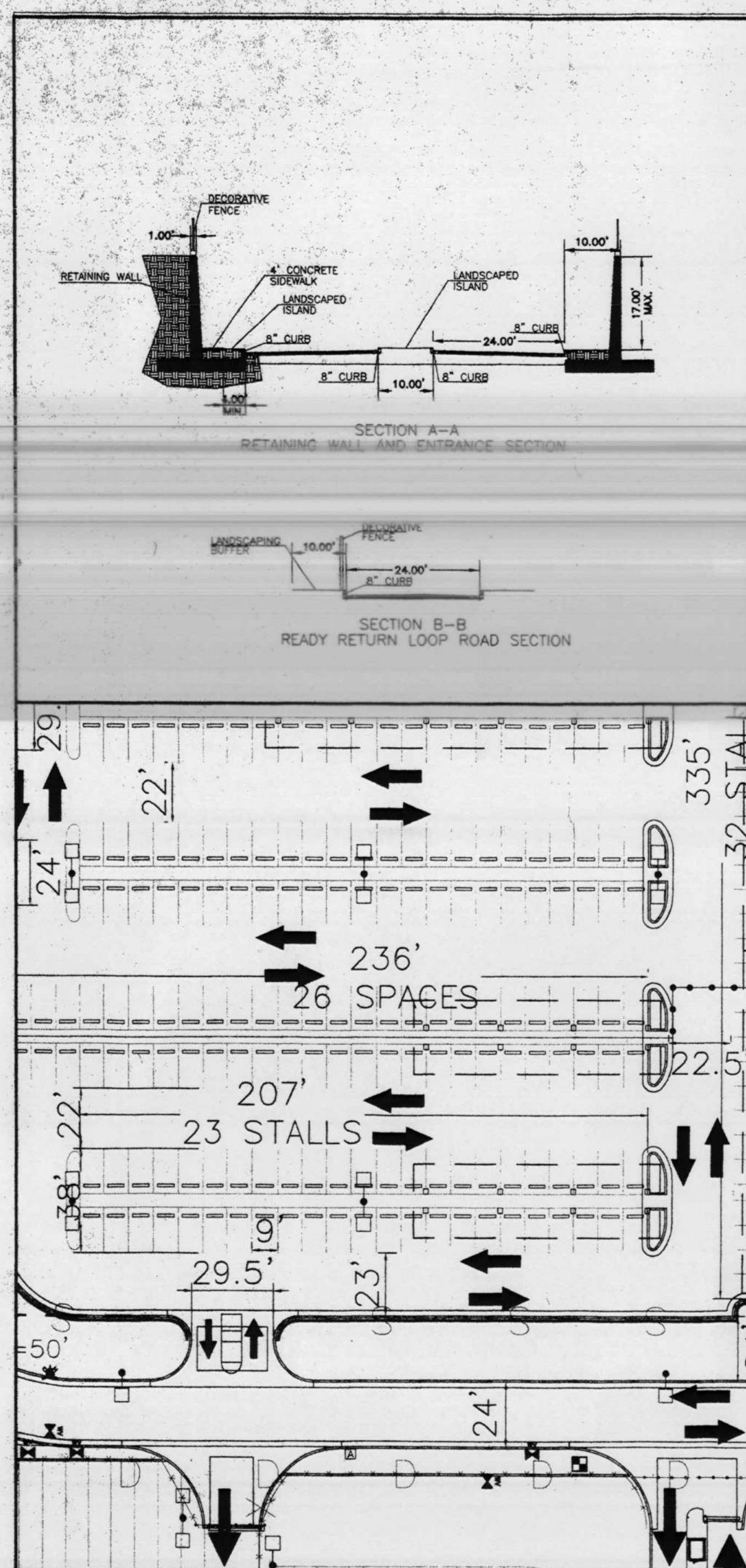
REV.	DESCRIPTION	DATE

ENGINEER ARCHITECT
**ALBUQUERQUE INTERNATIONAL SUPPORT
REMOTE RENTAL
CAR FACILITY**
ALBUQUERQUE, NEW MEXICO

PROJECT NO. DATE
98096

SITE PLAN FOR BUILDING PERMIT

DRAWING NO.
C1.0
SHEET OF



Project # 1000276
CASE NUMBER: Z-
This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on [Date] and that the findings and conditions in the Official Notification of decision have been complied with:

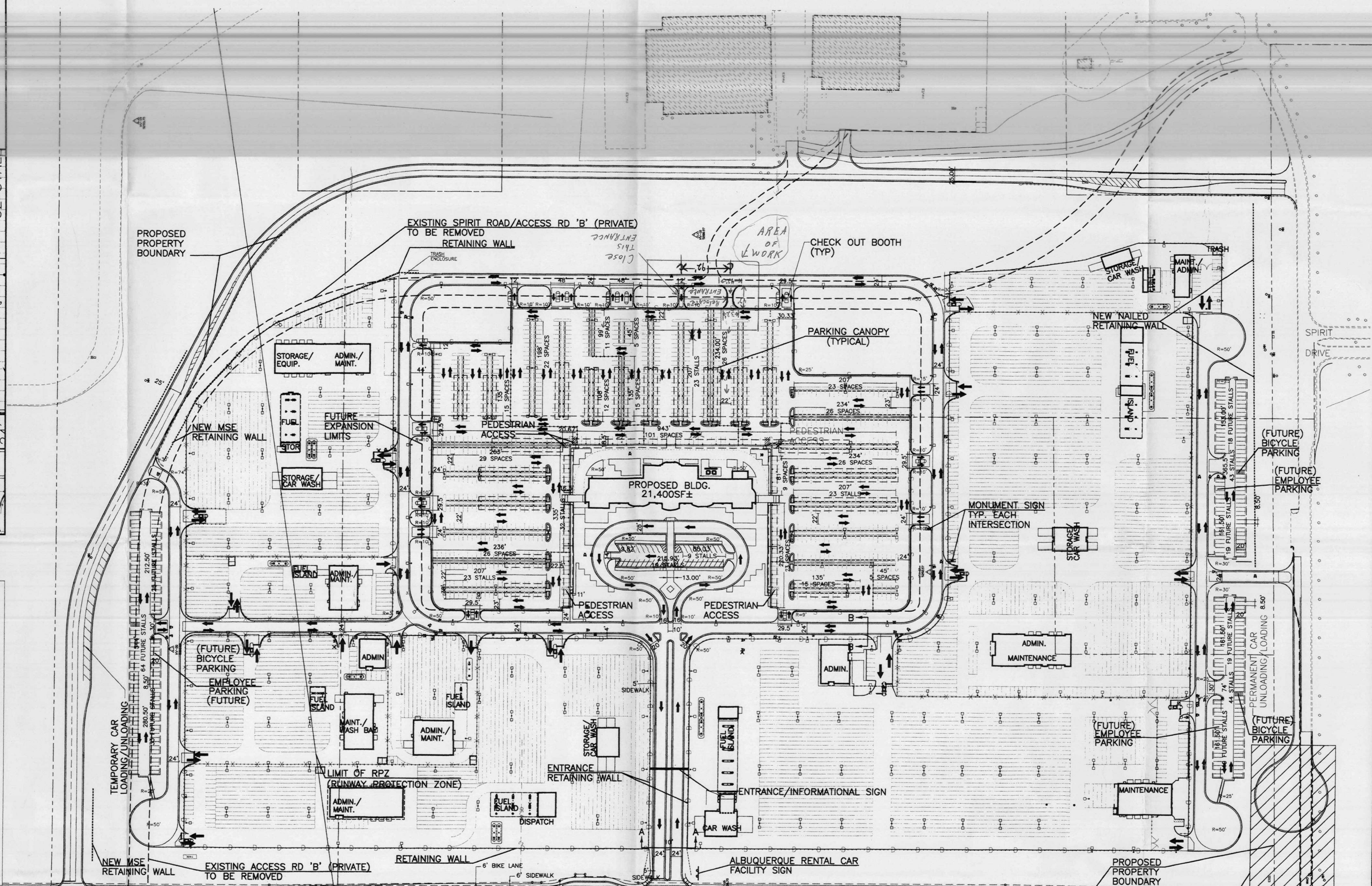
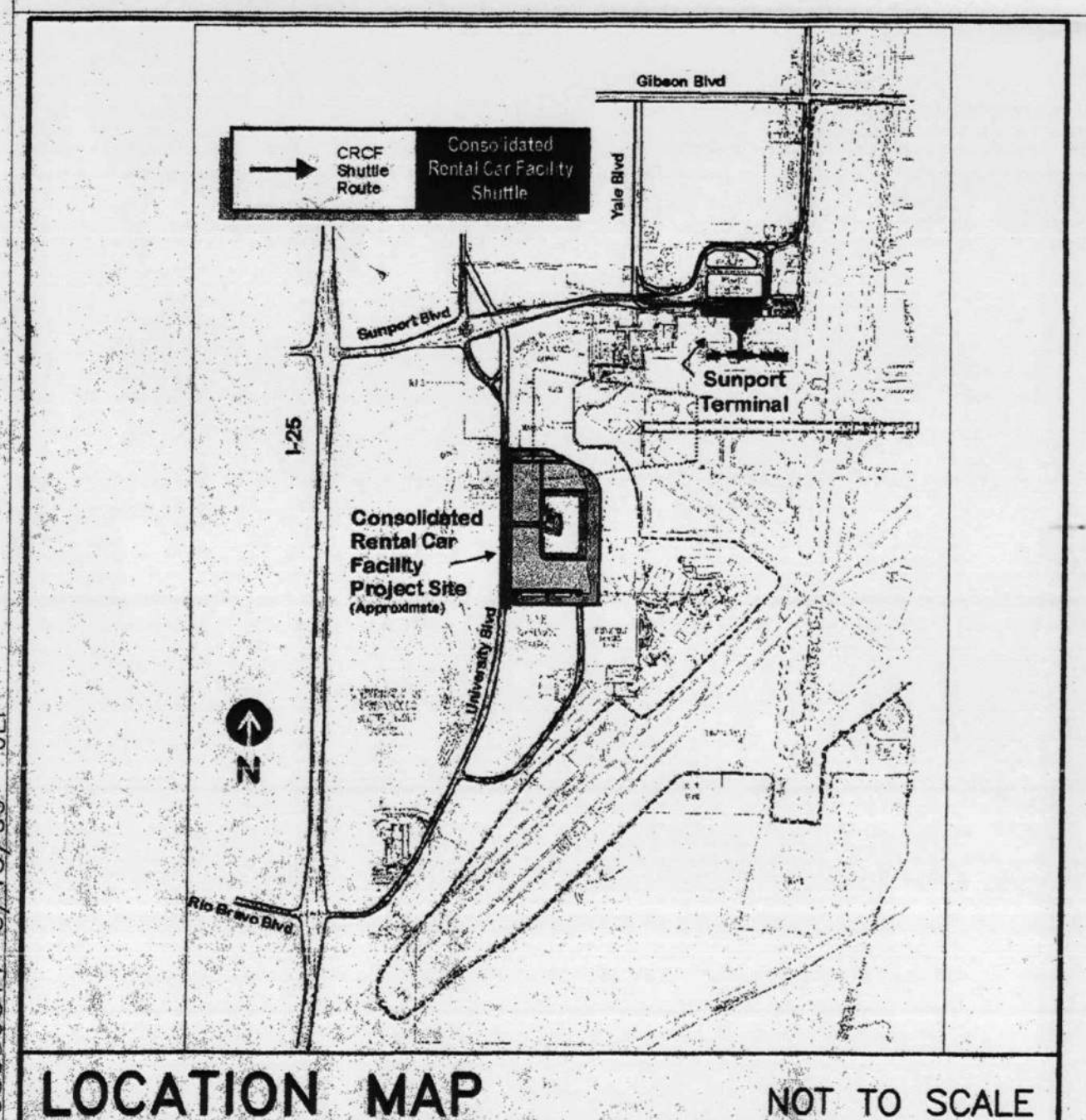
SITE DEVELOPMENT PLAN

[Signature]	9-29-97
[Signature]	2-10-00
[Signature]	2-10-00
[Signature]	2-15-00

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque Planning Department Date

PLNZ (10706) 4/96



SITE PLAN FOR BUILDING PERMIT
SCALE: 1"=100'

CLARK CARR ACCESS TO UNIVERSITY TO BE REMOVED UPON COMPLETION OF UNIVERSITY BLVD. IN ACCORDANCE WITH THE SUBDIVISION ORDINANCE.

1000818

City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: May 21, 1999

OFFICIAL NOTIFICATION OF DECISION

Aviation Department
City of Albuquerque
P.O. Box 9022
Albuq. NM 87119

FILE: Z-99-61

LEGAL DESCRIPTION: for a portion of Tract E, municipal Addition Number 9, (Plate filed 2/5/66, Volume D3, Folio 105), in the North Half of the North half of the Northeast Quarter of Section 4, Township 9 North, Range 3 East, NMPM (Projected), Bernalillo County, New Mexico (Owned by the USA), a portion of Tract D, Municipal Addition Number 9 (plat filed 2/5/66, Volume D3, Folio 105) in the northeast quarter of the Northeast Quarter of Section 4, Township 9 North, Range 3 East, NMPM (projected), Bernalillo County, New Mexico, owned by the City of Albuquerque, all of Tract 2, Airport Technical Center (plat filed 1/19/99, Book 99S, Pg. 18) in the West Half of the Northeast Quarter of Section 4, Township 9 North, Range 3 East, NMPM (projected), Bernalillo County, New Mexico, owned by the Airport Technical Center, Ltd., all of Tract 1, Airport Technical Center (plat filed 7/1/98, Book 98C, Pg. 178) in the Southeast Quarter of the southwest quarter of the northeast quarter of Section 4, Township 9 North, Range 3 East, NMPM (projected), Bernalillo County, New Mexico, owned by the City of Albuquerque, a portion of Tract F, Municipal Addition Number 9 (Plat filed 2/5/66, Volume D3, Folio 105) in the eastern half of the Northeast quarter of Section 4, Township 9 North, Range 3, East, NMPM, (projected) Bernalillo County, New Mexico, owned by the USA, a portion unplatted land, in the south east quarter of the northeast quarter and the north east quarter of the northeast quarter of the southeast quarter of Section 4, Township 9 North, Range 3 East, NMPM, (projected). Bernalillo County, New Mexico, owned by the City of Albuquerque, located on the east side of University Blvd., containing approximately 75 acres. (M-15 & N-15) Bob Torres, Staff Planner

On May 20, 1999, the Environmental Planning Commission voted to approve Z-99-61, a Zone Map Amendment from M-2 to SU-1/Airport and Related Facilities based on the following Findings:

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FINDINGS:

1. This is a request for a Zone Map Amendment to change zoning on approximately 47 acres of land from M-2 to SU-1/ Airport and Related Facilities. The zone change area will be combined with approximately 28 acres of existing SU-1/ Airport and Related Facilities zoned land to facilitate development of a rental car facility on the east side of University Boulevard NE, ½ mile south of Sunport Boulevard, about 1 ½ mile from the main airport terminal facility.
2. This request is in conformance with applicable policies of the *Comprehensive Plan*, which allow a full range of urban land uses in the Established Urban Area; call for new growth to be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be assured. The request is also in conformance with the Plan's stated intent that the *Airport Master Plan* provide the guidelines for the International Airport's expansion.
3. This request is in conformance with the 1998 *Albuquerque International Airport Landside Master Plan* which identified the subject parcel as the location of a future car rental facility and anticipated the need for future zone changes to accommodate airport landslide activities.
4. This request is consistent with *Resolution 91-1998 (R-70)* which encourages infill development consistent with the principal of a compact urban form.
5. This Zone Map Amendment request is justified under Resolution 270-1980 under the changed neighborhood conditions test and also as "more advantageous to the community" because it facilitates airport facilities expansion and improvements as contemplated by the *Comprehensive Plan* and the *Landslide Master Plan*.

On May 20, 1999, the Environmental Planning Commission voted to approve Z-99-61, a Site Plan for Subdivision based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for approval of a Site Plan for Subdivision for a 75 acre site located on the east side of University Boulevard SE, ½ mile south of Sunport Boulevard.
2. This request is in conformance with applicable policies of the *Comprehensive Plan*, which allow a full range of urban land uses in the Established Urban Area; call for new growth to be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be assured. The request is also in conformance with the Plan's stated intent that the *Airport Master Plan* provide the guidelines for the International Airport's expansion.

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3. This request is in conformance with the 1998 *Albuquerque International Airport Landside Master Plan* which identified the subject parcel as the location of a future car rental facility and anticipated the need for future zone changes to accommodate airport landslide activities.
4. This request is consistent with *Resolution 91-1998 (R-70)* which encourages infill development consistent with the principal of a compact urban form.
5. The cul-de-sac at the west end of Clark Car Avenue will require a vacation action.

CONDITIONS :

1. A replat is required to consolidate the approved zoning and to conform the site to dedications along the University Boulevard right of way.
-

On May 20, 1999, the Environmental Planning Commission voted to approve Z-99-61, a Site Plan for Building Permit, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for a Site Plan for Building Permit for a 75 acre site located on the east side of University Boulevard SE, ½ mile south of Sunport Boulevard about 1 ½ miles from the main airport terminal.
2. The principal elements of the site plan are a 22,300 square foot customer service building surrounded by approximately 1000 rental car parking spaces which are in turn surrounded by service areas for the rental cars.
3. This request is in conformance with applicable policies of the *Comprehensive Plan*, which allow a full range of urban land uses in the Established Urban Area; call for new growth to be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be assured. The request is also in conformance with the Plan's stated intent that the *Airport Master Plan* provide the guidelines for the International Airport's expansion.
4. This request is in conformance with the 1998 *Albuquerque International Airport Landside Master Plan* which identified the subject parcel as the location of a future car rental facility and anticipated the need for future zone changes to accommodate airport landslide activities.
5. This request is consistent with *Resolution 91-1998 (R-70)* which encourages infill development consistent with the principal of a compact urban form.

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6. The size and configuration of the car service areas, and the location of buildings in these areas, is of necessity conceptual only because they are subject to change in response to the changing needs of the private lessee car rental companies.

CONDITIONS :

1. The submittal of this site plan to the DRB shall meet all EPC conditions; a letter shall accompany the submittal to the DRB indicating how the site plan has been modified to meet each of the EPC conditions.
2. Provide a 4' sidewalk 3' from back of curb from the University Boulevard bus bay to the customer service building.
3. Specify paving materials at the pedestrian areas near the customer service building; dimension paved plazas and paths; indicate light locations on the plan; provide a lighting detail and specify light fixtures; show benches and other furniture in the pedestrian areas.
4. Show the location of decorative fences and retaining walls on the site plan and provide details and sections of these.
5. The pamphlet submitted with this application entitled "EPC" Submittal Summary, May 1999" is a part of this approval. Standards and specifications in that pamphlet shall be maintained in development of the site except where they may conflict with the Conditions of Approval of this report or with City ordinances.
6. Light poles shall be a maximum height of 30' in the service areas and ready return/pickup areas and 12' maximum in the areas surrounding the customer service buildings.
7. Comply with the following Transportation Development Services Conditions:
 - a. A TIS has been performed for this request. The implementation of mitigation measures as required by the *TIS negotiations* between the developer and the City must be completed prior to DRB sign-off.
 - b. Dedication of needed right-of-way for University Boulevard to include the expanded section which includes a bicycle facility.
 - c. Construction of pavement, medians, curb and gutter, 6 foot sidewalk or 10 pedestrian / bicycle trail facility for University Boulevard.
 - d. The site access, circulation pattern, structure orientation / configuration must be constructed to the satisfaction of the Traffic Engineer.
 - e. The circulation routes for car pick / shuttle bus drop off and car returns must be clearly illustrated on the site plan.
 - f. Provision of adequate pedestrian circulation with handicapped features within the site and to the adjacent streets. Unidirectional handicapped ramps should be used at all entrances.
 - g. The site plan must identify surrounding uses and provide dimensions where appropriate, i.e., structures, streets, medians, drive aisles, parking spaces, walls, signs, etc.
 - h. Location of walls, fences and signs must meet the clear sight distance requirements.

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MAY 20, 1999

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- I. Site grades must accommodate handicapped features and ADA requirements for pedestrian access and circulation .
 - j. Provision of street trees and landscaping in the areas between the curb and the sidewalks on University Boulevard.
 - k. The improvements on the site must comply with the development standards as contained in the DPM.
 - l. Service / loading areas must be provided for on-site, and served by a 30 foot unobstructed service drive. Provision for adequate turnaround area for large vehicles in service areas.
 - m. Location and dimension of proposed fire lanes must meet Fire Code requirements as per the DPM.
 - n. Coordination with the Solid Waste Department with regard to refuse container locations and access.
 - o. Coordination with the Transit Department with regard to location of required bus facilities, with direct bicycle and pedestrian access, on the adjacent streets.
- 8.
- a. The applicant shall provide specific building and sign design criteria for all site buildings.
 - b. Pole mounted signs shall not be permitted other than overhead roadway signage.
 - c. Monument signs shall be permitted.
 - d. No generic franchise buildings shall be allowed.
 - e. All canopies, kiosks, out buildings, etc., shall conform to the design guidelines.
 - f. Plastic awnings and backlit plastic signage boxes shall not be permitted.
 - g. The signage shall follow the design guidelines.
 - h. HVAC shall be screened from view, top of parapet shall be greater than or equal to the top of any HVAC equipment.
 - i. Roof mounted equipment shall be discouraged.
9. Bicycle parking facilities shall be provided in each of the three employee parking lots.
10. Pedestrian access at a 6 foot minimum clear distance shall be provided at a minimum 3 per the north, east, and south boundaries of the convenience center to the parking areas for rental pickup.

IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY JUNE 4, 1999 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE OF \$50 IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

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MAY 20, 1999

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YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Sincerely,



FOR Robert R. McCabe, AIA, APA
Planning Director

RM/BT/ac

cc:

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