

**CONSTRUCTION NOTES**

- A. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL FOR LOCATION OF EXISTING UTILITIES.
- B. ALL WORK WITHIN THE CITY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
- C. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, LAWS, AND RULES CONCERNING SAFETY AND HEALTH.
- D. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE EXISTING SITE CONDITIONS AND INFORM THE ARCHITECT/ENGINEER OF ANY DISCREPANCY BETWEEN THE INFORMATION SHOWN ON THE PLANS AND THOSE OF THE EXISTING SITE.
- E. THE CONTRACTOR SHALL PROVIDE THE ARCHITECT/ENGINEER WITH AN AS BUILT SURVEY FOR ENGINEER'S CERTIFICATION AT PROJECT COMPLETION.
- F. THE CONTRACTOR SHALL MAINTAIN A RECORD DRAWING SET OF PLANS AND PROMPTLY LOCATE EXISTING AND NEW ELEVATIONS (FINISH FLOORS, TOPS OF CURBS AND ASPHALT, FLOW LINE, PIPE INVERTS, ETC.) ON THE RECORD SET. THE RECORD SET SHALL BE MAINTAINED ON THE PROJECT SITE AND SHALL BE AVAILABLE TO THE OWNER AND ARCHITECT AT ANY TIME DURING CONSTRUCTION. UPON COMPLETION OF THE PROJECT, THE RECORD SET SHALL BE TURNED OVER TO THE OWNER.
- G. THE OWNER/CONTRACTOR SHALL SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO BEGINNING OF CONSTRUCTION.
- H. THE CONTRACTOR SHALL PROVIDE AND COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SPECIFIC TO THIS PROJECT.

**FACILITY ACCESSIBILITY**

ALL SURFACES ALONG THE ACCESSIBLE ROUTE SHALL COMPLY WITH ANSI A117-1998. WALKING SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT. THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20 WITH A CROSS SLOPE NOT STEEPER THAN 1:48.

CURB RAMP AND RAMP RUNS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:12 WITH A CROSS SLOPE NOT STEEPER THAN 1:48. COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP OR ACCESSIBLE ROUTE SHALL NOT BE STEEPER THAN 1:20. TRANSITIONS FROM RAMP TO WALKS, GUTTERS OR STREETS SHALL BE AT THE SAME LEVEL. WHERE PEDESTRIANS MUST WALK ACROSS A CURB RAMP, THE RAMP SHALL HAVE FLARED SIDES WITH SLOPES NOT STEEPER THAN 1:10. WHERE THE TOP OF THE RAMP PARALLEL TO THE RUN OF THE RAMP IS LESS THAN 48 INCHES WIDE, THE FLARED SIDES SHALL HAVE A SLOPE NOT STEEPER THAN 1:12.

HANDICAP PARKING SPACES AND ACCESS AISLES SHALL HAVE SURFACE SLOPES NOT STEEPER THAN 1:48. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE.

**TRAFFIC CONTROL**

THE CONTRACTOR SHALL PROVIDE ALL REQUIRED TRAFFIC CONTROL PLANS AND DEVICES. ALL SIGNS, BARRICADES, CHANNELIZATION DEVICES, SIGN FRAMES AND ERECTION OF SUCH DEVICES SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" LATEST EDITION. PRIOR TO CONSTRUCTION PRIOR TO CONSTRUCTION, THE TRAFFIC CONTROL PLAN SHALL BE SUBMITTED AND APPROVED BY THE GOVERNING AUTHORITY.

**GRAVEL PAVEMENT SPECIFICATION:**

**MATERIALS:**  
EXISTING MATERIAL MAY BE USED FOR PARKING AND VEHICLE ACCESS AREAS IF IT MEETS THE LIMITS SPECIFIED BELOW. OTHERWISE USE ONLY APPROVED MATERIALS FROM OFF-SITE BORROW AREAS. PROVIDE TESTING OF EXCAVATED MATERIAL TO SHOW COMPLIANCE:  
SIEVE SIZE: PERCENT PASSING (BY DRY WEIGHT)  
NO. 4 100  
NO. 10 60-100  
NO. 200 15-45

- A. COMPACTION OF THE SUBGRADE SHALL BE 90% OF MAXIMUM DENSITY.
- B. INSTALL BASE COURSE TO A COMPACTED THICKNESS OF 2" MINIMUM AT ALL PAVED AREAS.
- C. SPREAD AND COMPACT THE BASE COURSE IN LAYERS WHICH WILL PERMIT THE REQUIRED DENSITY TO BE OBTAINED. (95%)

**ARCHAEOLOGICAL SURVEY**

AN ARCHAEOLOGICAL SURVEY OF THE SITE WAS COMPLETED IN 2007 BY TRC, INC. IN ALBUQUERQUE. THE SURVEY REPORT IS AVAILABLE FROM THE OWNER, AT THE CONTRACTOR'S REQUEST. THE SAN JOSE CHURCH IS THE MOST NOTABLE FEATURE OF THE REPORT AND HAS HISTORIC VALUE. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO NOT DAMAGE THE STRUCTURE OR ADJACENT GROUND WHICH WOULD DISTURB THE BUILDING. CONTRACTOR SHALL INCLUDE FENCING AROUND THE BUILDING DURING THE ENTIRE CONSTRUCTION PERIOD.

**PROJECT DATA**

ZONING CLASSIFICATION: R1-B  
GROSS SQUARE FOOTAGE  
EXISTING OFFICE BUILDING 3,036 SF  
EXISTING RECTORY BUILDING 6,222 SF  
EXISTING CHURCH BUILDING 12,481 SF  
EXISTING CLASSROOM BUILDING 10,305 SF  
EXISTING CHURCH BUILDING UNUSED 5,130 SF  
GROSS SITE AREA: 294,035 SF

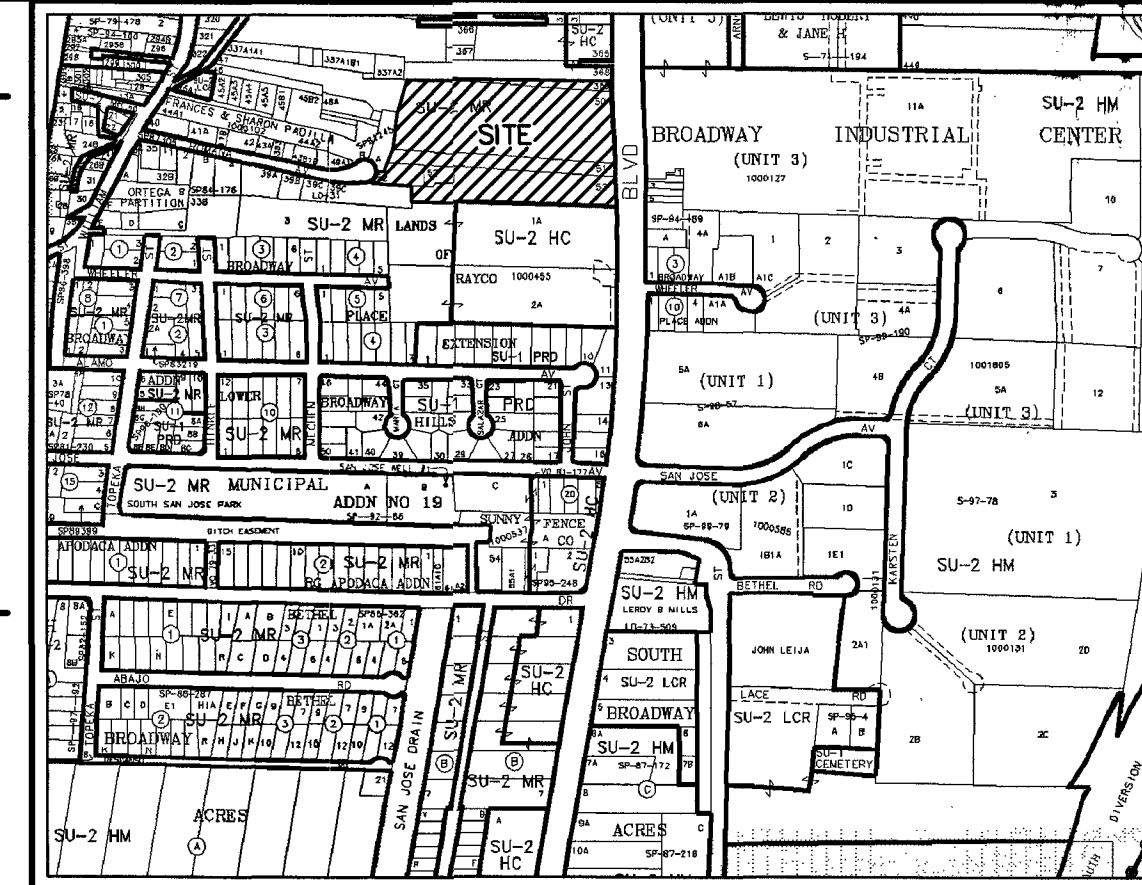
**PARKING CALCULATIONS**

**EXISTING CHURCH**  
1 SPACE OR EVERY 4 SEATS IN MAIN ROOM 628 / 4 = 157  
PARKING REDUCTIONS WITHIN 300 FT OF TRANSIT ROUTE 10% (-15)  
REQUIRED PARKING 157 - 15 = 142 SPACES

**PROPOSED PARISH HALL**  
1 SPACE OR EVERY 4 SEATS IN MAIN ROOM 238 / 4 = 60 SPACES  
REQUIRED PARKING: 142 + 60 = 202 SPACES

**EXISTING PARKING:**  
133 STANDARD PARKING SPACES  
25 COMPACT PARKING SPACES  
8 HANDICAP PARKING SPACES  
166 TOTAL EXISTING PARKING SPACES

**PROPOSED PARKING:**  
33 STANDARD PARKING SPACES  
3 HANDICAP PARKING SPACES  
36 TOTAL PROPOSED PARKING SPACES  
2 MOTORCYCLE PARKING SPACES  
3 BICYCLE SPACES  
TOTAL PARKING: 166 + 36 = 202 SPACES



**VICINITY MAP - M-14-Z**

ADDRESS: 2401 BROADWAY SE ALBUQUERQUE NM  
LEGAL: TRACT A SAN JOSE PARISH

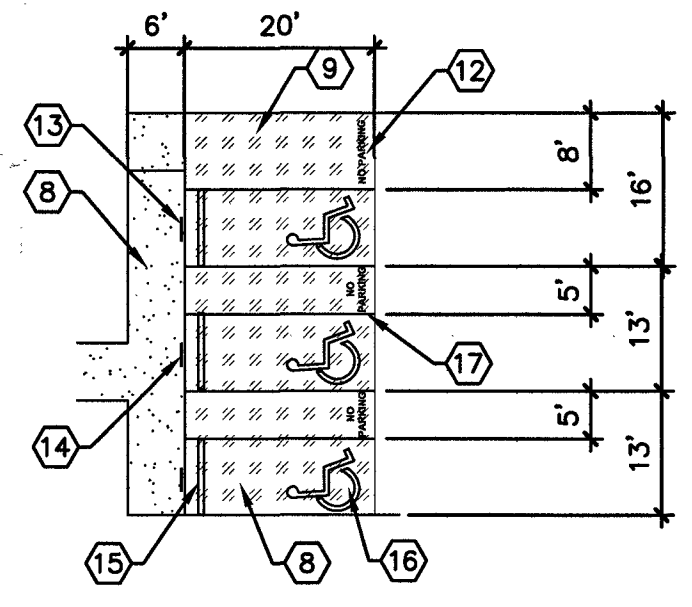
PROPERTY: THE SITE IS A DEVELOPED SU-2 NEIGHBORHOOD ZONE, LOCATED WITHIN THE CITY OF ALBUQUERQUE, VICINITY MAP M-14. THE SITE IS BOUND ON EAST BY BROADWAY BOULEVARD, AND TO THE WEST, SOUTH, AND NORTH BY RESIDENTIAL.

**LEGEND:**

- PROPERTY LINE
- ▨ PROPOSED CONCRETE WALKS
- ▩ PROPOSED CONCRETE PAVING

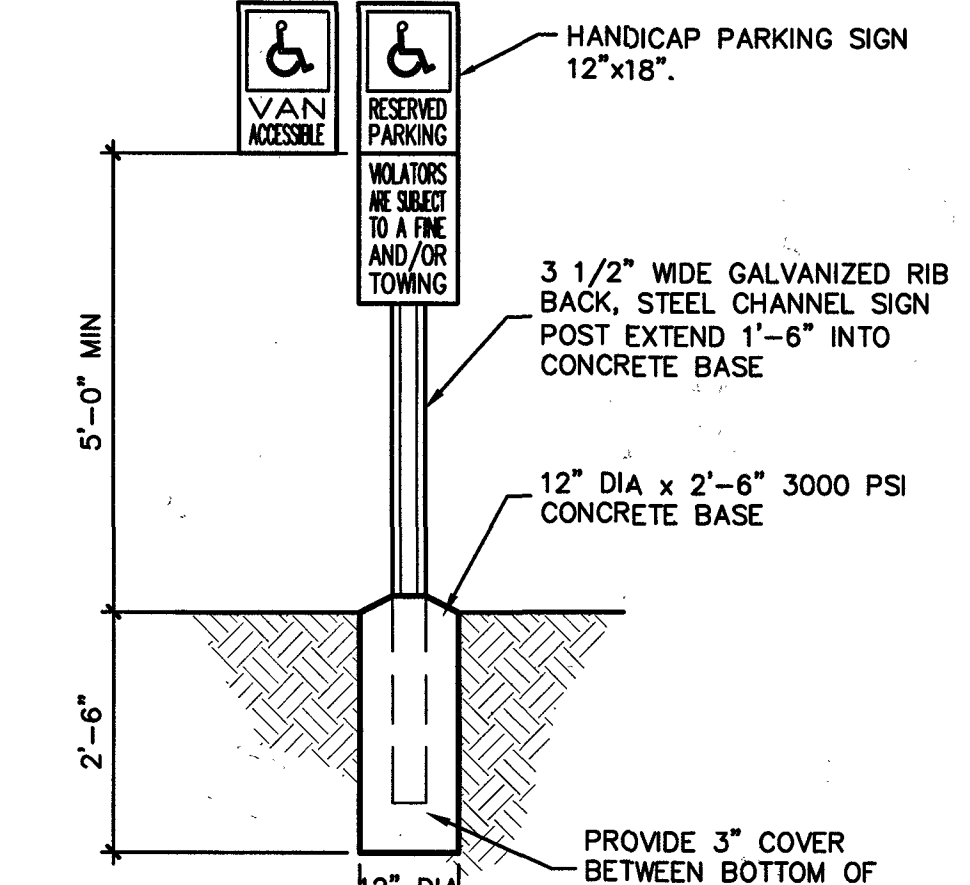
**KEYNOTES**

1. EXISTING BUILDING TO BE REMOVED BY OWNER.
2. EXISTING BICYCLE RACK - 8 SPACES.
3. GROUND MOUNTED MAKE-UP AIR UNIT.
4. HANDICAPPED PARKING SPACES WITH BUMPER AND SIGNS.
5. EXISTING PARKING AND ASPHALT PAVEMENT.
6. EXISTING GRAVEL
7. NEW WHEEL STOP TYPICAL OF 34
8. 3000 PSI CONCRETE WALK (4" THICK W/ WWF 6x6, 10x10)
9. 3000 PSI CONCRETE PAVING (4" THICK W/ WWF 6x6, 10x10) OVER 4" BASECOURSE (COMPACT TO 95% PER ASTM D1557) OVER COMPACTED SUBGRADE (COMPACT TO 95% PER ASTM D-1557)
10. NEW BICYCLE RACK FOR 3 BIKES.
11. 3 MOTORCYCLE SPACES EACH WITH 12"x18" SIGN, SEE B5 THIS SHEET.
12. "NO PARKING" LETTERS 12" HIGH, 2" WIDE.
13. VAN ACCESSIBLE SIGN, SIMILAR TO C5 THIS SHEET.
14. HANDICAPPED SIGN LOCATION, TYPICAL.
15. 8'-0" LONG PRECAST CONCRETE VEHICLE STOP.
16. HANDICAPPED SYMBOL PAINTED ONTO CONCRETE.
17. 4" WIDE PAVEMENT STRIPPING, TYPICAL.

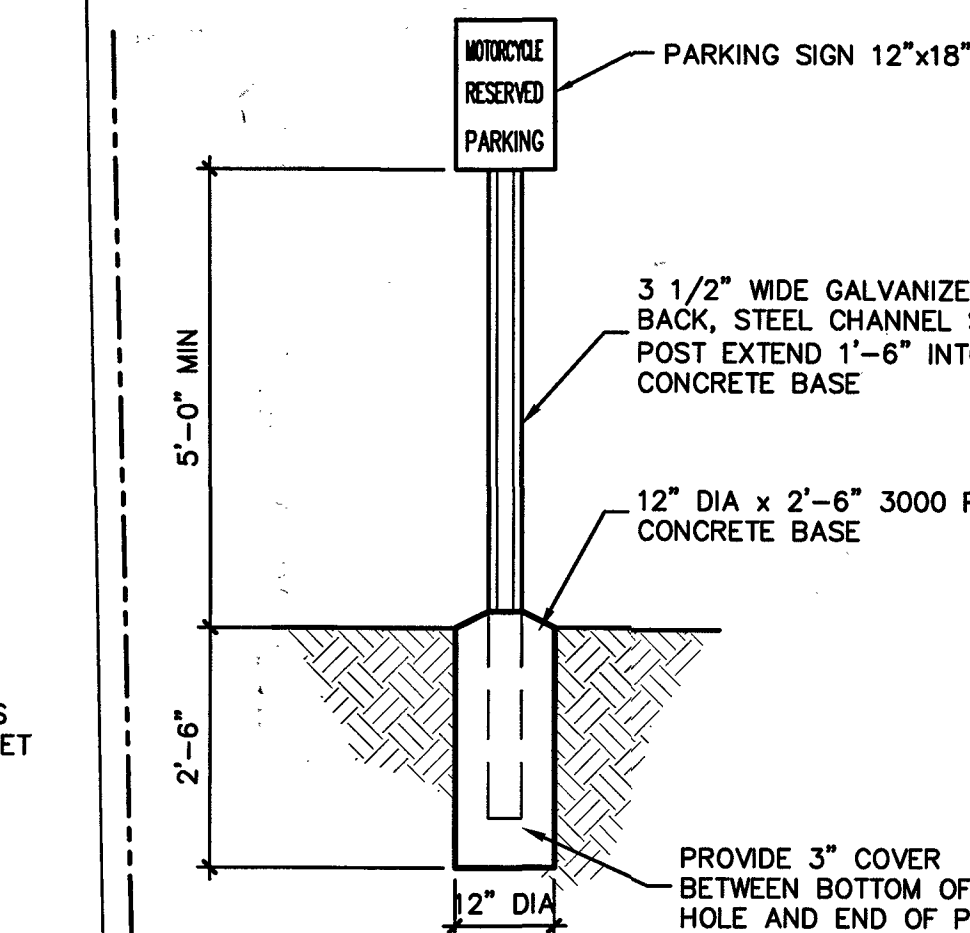


**ACCESSIBLE PARKING DETAIL**

SCALE: 1" = 20'-0"



**C5 HANDICAP PARKING SIGN**  
1/2"=1'-0"



**B5 MOTORCYCLE PARKING SIGN**  
1/2"=1'-0"

PROJECT NUMBER: FR-2018-001578  
APPLICATION NUMBER: SI-2018-00185  
DRB SITE DEVELOPMENT APPROVAL:

*Theresa M. ...* 10/24/18  
Traffic Engineering, Transportation Division Date

*Theresa M. ...* 10-24-18  
ABCWUA Date

Parks and Recreation Department Date  
*Janina D. ...* 10/24/2018  
City Engineer/Hydrology Date

Code Enforcement Date  
\* Environmental Health Department (conditional) Date

Solid Waste Management Date  
*...* 10.24.18 Date  
DRB Chairperson, Planning Department Date

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PROFESSIONAL SEAL



CONSULTANT

**PROJECT NAME**

SAN JOSE CATHOLIC CHURCH  
PARISH HALL

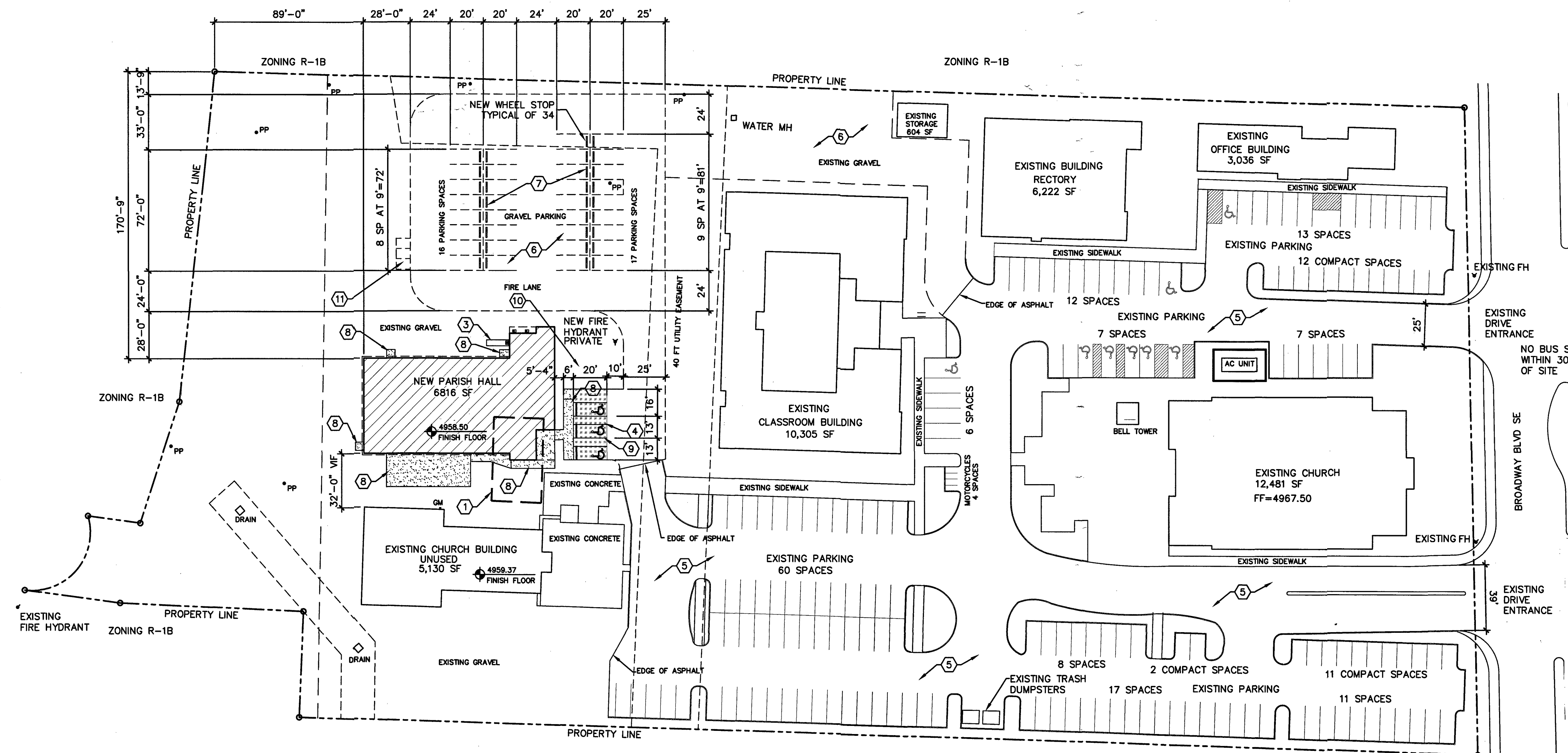
SAN JOSE CATHOLIC CHURCH  
2401 BROADWAY BLVD SE  
ALBUQUERQUE, NM 87102

MARK	DATE	DESCRIPTION
	10.10.18	DRB REVISIONS

PROJECT NUMBER 1724  
DRAWN BY Job  
CHECKED BY KRB  
ISSUE DATE 10-10-18  
FILE NAME: 1724\_AS101\_SITE-PLAN.DWG

SHEET NAME  
TCL  
SITE PLAN

SHEET NUMBER  
C-101



**A1 SITE PLAN**  
1"=40'

