

# 01 APPLICATION



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

<b>SUBDIVISIONS</b>	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)	
<input type="checkbox"/> Major – Preliminary Plat (Form P1)	<input checked="" type="checkbox"/> Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	<b>MISCELLANEOUS APPLICATIONS</b>	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Major - Final Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Amendment to Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	<b>PRE-APPLICATIONS</b>
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
	<input type="checkbox"/> Sidewalk Waiver (Form V2)	
<b>SITE PLANS</b>	<input type="checkbox"/> Waiver to IDO (Form V2)	<b>APPEAL</b>
<input checked="" type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)

**BRIEF DESCRIPTION OF REQUEST**  
**A Major Amendment to the approved Site Development Plan for Winrock Town Center to facilitate the development of a new 199 unit multi-family development for a vacant lot at 7500 Indian School.**

<b>APPLICATION INFORMATION</b>		
Applicant: Darin Sand, Winrock Partners LLC		Phone: (505) 881-0100
Address: 100 Sun Avenue NE, Suite 210		Email: sand@goodmanrealty.com
City: Albuquerque	State: New Mexico	Zip: 87109
Professional/Agent (if any): Will Gleason, Dekker Perich Sabatini		Phone: (505) 761-9700
Address: 7601 Jefferson St NE Suite 100		Email: WillG@dpsdesign.org
City: Albuquerque	State: New Mexico	Zip:
Proprietary Interest in Site:	List all owners:	

<b>SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)</b>		
Lot or Tract No.: PARCEL E-1-A REPLAT OF PARCEL A-1-A-1-A-1 & PARCEL E-1-AWINROCK CENTER ADDITION CONT 3.3847 AC	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code: 101905823850920409
Zone Atlas Page(s): J19	Existing Zoning: MX-M	Proposed Zoning MX-M
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (Acres): 3.88

<b>LOCATION OF PROPERTY BY STREETS</b>		
Site Address/Street: 7500 Indian School Rd.	Between: Pennsylvania	and: Indian School

**CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)**

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	Date: 12/17/2020
Printed Name: Will Gleason	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

<b>FOR OFFICIAL USE ONLY</b>					
Case Numbers	Action	Fees	Case Numbers	Action	Fees
Meeting Date:				Fee Total:	
Staff Signature:	Date:			Project #	



**FORM P2: SITE PLAN – DRB**

**Please refer to the DRB public meeting schedules for meeting dates and deadlines. Your attendance is required.**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form P2 at the front followed by the remaining documents in the order provided on this form.

- SITE PLAN – DRB
- MAJOR AMENDMENT TO SITE PLAN – DRB
- EXTENSION OF SITE PLAN – DRB

- \_\_\_ Interpreter Needed for Hearing? **NO** if yes, indicate language: \_\_\_\_\_
- 01** PDF of application as described above
  - 02** Zone Atlas map with the entire site clearly outlined and labeled
  - 03** Letter of authorization from the property owner if application is submitted by an agent
  - 04** Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) *(not required for Extension)*
  - 05** Signed Traffic Impact Study (TIS) Form
  - 06** Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information *(not required for Extension)*
  - 07** Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(G)(3)
  - 08** Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(O)  
*Note: If requesting more than allowed by deviation, a Variance – ZHE or Variance – DRB will be required, as applicable.*
  - 09** Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B) *(not required for Extension)*
  - 10** Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C) *(not required for extension)*
    - A Office of Neighborhood Coordination neighborhood meeting inquiry response
    - B Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
    - C If a meeting was requested or held, copy of sign-in sheet and meeting notes
  - 11** Sign Posting Agreement
  - 12** Required notices with content per IDO Section 14-16-6-4(K)(6) *(not required for extension)*
    - A Office of Neighborhood Coordination notice inquiry response
    - B Copy of notification letter and proof of first-class mailing
    - C Proof of emailed notice to affected Neighborhood Association representatives
    - D Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, and proof of first-class mailing
  - 13** Completed Site Plan Checklist
  - 14** Site Plan and related drawings (7 copies, 24" x 36" folded to fit into an 8.5" x 14" pocket)
  - 15** Copy of the original approved Site Plan or Master Development Plan *(for amendments and extensions)* (1 copy, 24" x 36")
  - 16** Site Plan and related drawings reduced to 8.5" x 11" format (1 copy)
  - 17** Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone
  - 18** Infrastructure List, if required

**FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC**

- \_\_\_ Interpreter Needed for Hearing? \_\_\_ if yes, indicate language: \_\_\_\_\_
- \_\_\_ PDF of application as described above
  - \_\_\_ Zone Atlas map with the entire site clearly outlined and labeled
  - \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
  - \_\_\_ Solid Waste Department signature on Site Plan
  - \_\_\_ Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
  - \_\_\_ Approved Grading and Drainage Plan
  - \_\_\_ Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan *(not required for Master Development Plans)*
  - \_\_\_ Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
  - \_\_\_ Site Plan and related drawings (7 copies, 24" x 36" folded to fit into an 8.5" x 14" pocket)
  - \_\_\_ Site Plan and related drawings reduced to 8.5" x 11" format (1 copy)
  - \_\_\_ Infrastructure List, if required

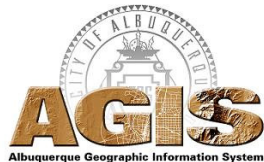
<p><b><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting, if required, or otherwise processed until it is complete.</i></b></p>	
<p>Signature: </p>	<p>Date: 12/17/2020</p>
<p>Printed Name: Will Gleason</p>	<p><input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent</p>
<p><b>FOR OFFICIAL USE ONLY</b></p>	
<p>Case Numbers: _____</p>	<p>Project Number: _____</p>
<p>Staff Signature: _____</p>	
<p>Date: _____</p>	

# 02 ZONE ATLAS MAP

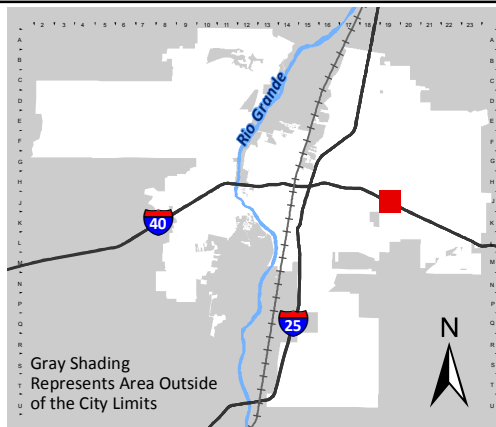


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

# IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).



Zone Atlas Page:  
**J-19-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

# 03 LETTER OF AUTHORIZATION

October 29, 2020

Robert Lucero  
Zoning Hearing Examiner  
City of Albuquerque Planning Department  
600 2nd St NW  
Albuquerque, NM 87102

**RE: Request for ZHE Approval of Variances  
The Lofts at Winrock  
7500 Indian School Rd**

Dear Mr. Lucero:

This Letter authorizes Dekker/Perich/Sabatini LLC and to represent Goodman Reality Group, owner of the property located at 7500 Indian School, with regard to the design and approval of all necessary steps related to the regulatory and permitting process with the City of Albuquerque. This letter authorizes Dekker/Perich/Sabatini LLC to act as Goodman Reality Group's agent as necessary with the permitting and associated approval processes required for the proposed fencing on the property referenced above.

Please contact me at 505-249-4858 if there are any questions.

Sincerely,

*Darin Sand*

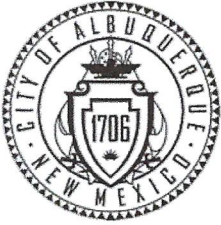
Darin Sand, LEED AP  
Vice President of Development  
Goodman Realty Group

# 04 ARCHAEOLOGICAL CERTIFICATE

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**City of Albuquerque**  
P.O. Box 1293 Albuquerque, NM 87103  
**Planning Department**  
David S. Campbell, Director

**Tim Keller, Mayor**  
**Sarita Nair, CAO**

**DATE:** December 14, 2020

**SUBJECT:** Albuquerque Archaeological Ordinance - Compliance Documentation

**Case Number(s):** PR-2018-001579  
**Agent:** Jessica Lawlis, Dekker / Perrich / Sabatini  
**Applicant:** WINROCK PARTNERS LLC  
**Legal Description:** PCL E-1-A REPLAT OF PCL A-1-A-1-A-1 & PCL E-1-A WINROCK CENTER ADD.  
**Zoning:** MX-M  
**Acreage:** 3.3847  
**Zone Atlas Page(s):** J-19-Z

**CERTIFICATE OF NO EFFECT:**  Yes  No

**CERTIFICATE OF APPROVAL:**  Yes  No

**SUPPORTING DOCUMENTATION:**

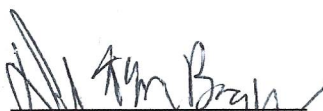
Google Earth historic images

**SITE VISIT:** N/A

**RECOMMENDATIONS:**

The lot appears to have been disturbed by blading and landscaping since prior to 1991.  
Therefore: CERTIFICATE OF NO EFFECT ISSUED-under 6-5(A) (3)(a) criterion 2 "The property has been disturbed through previous land use"

**SUBMITTED BY:**

 12-14-2020

Douglas H. M. Boggess, MA, RPA Date  
Senior Principal Investigator  
Acting City Archaeologist  
Lone Mountain Archaeological Services, Inc.

**SUBMITTED TO:**

Russell Brito, Planning Manager  
City of Albuquerque Planning Department

# 05 TRAFFIC IMPACT STUDY





# City of Albuquerque

Planning Department  
Development Review Services Division

## Traffic Scoping Form (REV 07/2020)

**Project Title:** Pine Tree Multi-Family  
Building Permit #: \_\_\_\_\_ Hydrology File #: D0058  
Zone Atlas Page: J-192 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Parcel E.1.A & D.1A  
Development Street Address: 7500 Indian School Road NE  
**Applicant:** Winrock Partners, LLC Contact: Scott Eddings, PE  
Huitt-Zollars, Inc.  
Address: 100 Sun Avenue NE, Suite 100, Albuquerque, NM 87109  
Phone#: 505-235-7211 or 505-892-5141 Fax#: 505-892-3259  
E-mail: seddings@huitt-zollars.com

### Development Information

Build out/Implementation Year: 2022 Current/Proposed Zoning: MX-M/MX-M

Project Type: New:  Change of Use:  Same Use/Unchanged:  Same Use/Increased Activity:

Proposed Use (mark all that apply): Residential:  Office:  Retail:  Mixed-Use:

Describe development and Uses:

Multi-Family Complex

Days and Hours of Operation (if known): \_\_\_\_\_

### Facility

Building Size (sq. ft.): 227,061

Number of Residential Units: 199 - Multi-Family

Number of Commercial Units: \_\_\_\_\_

### Traffic Considerations

ITE Trip Generation Land Use Code 220

Expected Number of Daily Visitors/Patrons (if known):\* \_\_\_\_\_

Expected Number of Employees (if known):\* \_\_\_\_\_

Expected Number of Delivery Trucks/Buses per Day (if known):\* \_\_\_\_\_

Trip Generations during PM/AM Peak Hour (if known):\* 125 PM / 98 AM

Driveway(s) Located on: Street Name Ex. Winrock Access from Indian School Road

Adjacent Roadway(s) Posted Speed: Street Name Indian School Raod Posted Speed 35  
Street Name Pennsylvania Posted Speed 35

*\* If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required*

**Roadway Information (adjacent to site)**

Comprehensive Plan Corridor Designation/Functional Classification: Multi-Modal  
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: Urban  
(urban center, employment center, activity center)

Jurisdiction of roadway (NMDOT, City, County): City

Adjacent Roadway(s) Traffic Volume: 15,200 Volume-to-Capacity Ratio (v/c): 0.5 to 0.75  
(if applicable)

Adjacent Transit Service(s): Bus Line 6 Nearest Transit Stop(s): Indian School & Pennsylvania

Is site within 660 feet of Premium Transit?: No

Current/Proposed Bicycle Infrastructure: Existing Bike Lane / Indian School - 5'  
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: Existing Sidewalk - 6'

**Relevant Web-sites for Filling out Roadway Information:**

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: <https://abc-zone.com/document/abc-comp-plan-chapter-5-land-use> (map after Page 5-5)

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: [http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL\\_Jun25.pdf](http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf) (Map Pages 75 to 81)

**TIS Determination**

**Note:** Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [ ] No

Thresholds Met? Yes [ ] No

Mitigating Reasons for Not Requiring TIS: Previously Studied: [ ]

Notes: The development is within an Urban Center, No TIS is required only a TSF.

*M.P. P.E.*

10/20/2020

TRAFFIC ENGINEER

DATE

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### **Submittal**

The Scoping Form must be submitted as part of any building permit application, DRB application, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to [plndrs@cabq.gov](mailto:plndrs@cabq.gov) and to the City Traffic Engineer [mgrush@cabq.gov](mailto:mgrush@cabq.gov). Call 924-3362 for information.

### **Site Plan/Traffic Scoping Checklist**

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([check MRCOG Bikeways and Trails in the 2040 MTP map](#))
4. Location of nearby multi-use trails, if applicable ([check MRCOG Bikeways and Trails in the 2040 MTP map](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify volume to capacity (v/c) ratio on this form.

**Winrock Town Center**  
(Indian School Rd. / Louisiana Blvd.)

**Traffic Impact Study**

August 20, 2015

FINAL

**Presented to:**

City of Albuquerque  
Transportation Development Section  
&  
New Mexico Department of Transportation  
District 3

**Prepared for:**

Goodman Realty  
100 Sun Ave. NE #100  
Albuquerque, NM 87109



A handwritten signature in blue ink that reads "Terry O. Brown".

Terry O. Brown P.E.  
P.O. Box 92051  
Albuquerque, NM 87199  
505 · 883 · 8807

**Winrock Masterplanned Redevelopment  
(Indian School Rd. / Louisiana Blvd.)  
Traffic Impact Study**

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**Winrock Masterplanned Redevelopment  
(Indian School Rd / Louisiana Blvd)  
Traffic Impact Study**

## **Introduction**

The purpose of this study is to evaluate the transportation conditions before and after implementation of the proposed Winrock Redevelopment Project and determine the impact of the development on the adjacent transportation system. The recommendations of this study will provide guidelines for measures to mitigate the impact of the development of the site plan on critical intersections and street segments. This study is prepared to meet the requirements of the City of Albuquerque associated with its review of the Winrock Masterplanned Redevelopment plan as shown on the plan on Page A-4 in the Appendix of this report.

The official name of this project is the Winrock Town Center Masterplanned Redevelopment project. For brevity purposes, it may be called either Winrock Masterplanned Redevelopment project or Winrock Town Center project at various places in this report.

## **Study Procedures**

Meetings were held with City of Albuquerque personnel on March 11, 2014, May 2, 2014, and August 15, 2014 to determine the scope of the Traffic Impact Study for this project.

Intersection capacity analyses were performed in accordance with the procedures for signalized and unsignalized intersections utilized in the Synchro (Version 8) Transportation System analysis software program as required by the some agencies. Synchro software deviates from the 2010 Highway Capacity Manual methods in some areas. The results obtained using Synchro software are generally deemed by the reviewing agencies to be close to those based on the 2010 Highway Capacity Manual in most cases. In cases where the Synchro 8 program yields questionable results, another software analysis program was utilized, such as McTrans' HCS 2010 or TEAPAC's Signal 2010.

Intersections targeted for analysis in this study include Indian School Rd. / Pennsylvania St, Winrock Internal Loop Rd. / Pennsylvania St., Americas Parkway (Winrock Loop) / Louisiana Blvd., Indian School Rd. / Louisiana Blvd., Indian School Rd. / Uptown Loop, and Interstate 40 / Louisiana Blvd. Single Point Urban Interchange (SPUI). In addition, the proposed driveways for the site will be analyzed.

## Description of Proposed Development

The subject area of land discussed in this report is bound on the west by Louisiana Blvd, on the south by Interstate 40, and on the north by Indian School Rd. The project extends to the east almost to Pennsylvania St. See the Winrock Town Center Masterplan site map on Pages A-3 & A-4 in the Appendix of this report. The total area encompassed by this project is approximately 8 acres. The project consists of mostly commercial uses with limited residential and office uses. A vicinity map showing the location of the project is included on Page A-1 in the Appendix of this report.

The expected year of full implementation of the Winrock Masterplanned Area is probably well beyond the year 2020. But for purposes of providing a somewhat reliable analysis, it was decided at the City Scoping Meeting that the analysis year should be established at 2020. Also, since this project is located in a fully developed area of the City of Albuquerque, it is anticipated that background traffic volumes on the nearby transportation system will not increase significantly after development of this project, so an analysis further into the future would most likely yield similar results. The City of Albuquerque, therefore, will consider this study to be the only study required for this development whether it develops fully by 2020 or not. The New Mexico Department of Transportation was in substantial agreement with that concept at the Scoping Meetings. However, they did request a “white paper” in five (5) years, updating existing conditions to compare and determine if additional analysis is required.

Access to this new site will be off of Indian School Rd, Louisiana Blvd, Winrock Loop, and Pennsylvania St.

## Study Area Conditions

Louisiana Blvd is classified as a Principal Arterial Roadway on the Long Range Roadway Plan for the Albuquerque Urban Area. Louisiana Blvd is generally an eight lane urban facility with raised medians. The posted speed limit along Louisiana Blvd in the vicinity of this project is 35 MPH.

Indian School Rd and Pennsylvania St are classified as a Minor Arterial Roadways on the Long Range Roadway Plan for the Albuquerque Urban Area. Indian School Rd is generally a four lane urban facility with raised medians while Pennsylvania St is a two lane urban facility with curb and gutters. The posted speed limit along Indian School Rd in the vicinity of this project is 35 MPH and on Pennsylvania St it is 30 MPH.

Winrock Loop / Uptown Loop / Americas Parkway is classified as a Collector Street on the Long Range Roadway Plan for the Albuquerque Urban Area. It is generally a four lane urban facility

with raised medians and some access restrictions. The posted speed limit along Uptown Loop / Winrock Loop / Americas Parkway in the vicinity of this project is 25 MPH. Winrock Loop, Americas Parkway, and Uptown Loop are all parts of the Loop Road around the Uptown area. The names may be utilized interchangeably to some degree in this report. The Winrock Internal Loop, however, should be distinguished from the Winrock Loop Rd. which is a part of the Uptown public loop road system. The Winrock Internal Loop Rd. is the private, internal roadway along the south side of the project which intersects with Pennsylvania St. on the east side and with Driveway "A" on the west side of the project.

Interstate 40 is a Federal Interstate Freeway running in an easterly – westerly direction through Albuquerque. It is a six to eight lane freeway in the vicinity of this project.

The Long Range Roadway Map for the Albuquerque Urban Area is included in the report on Page A-6 of the Appendix.

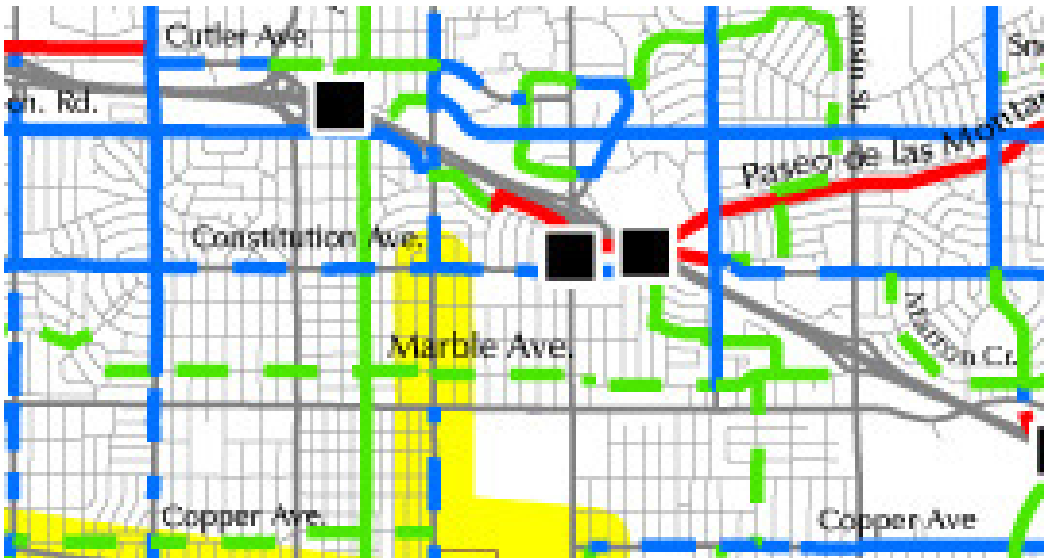
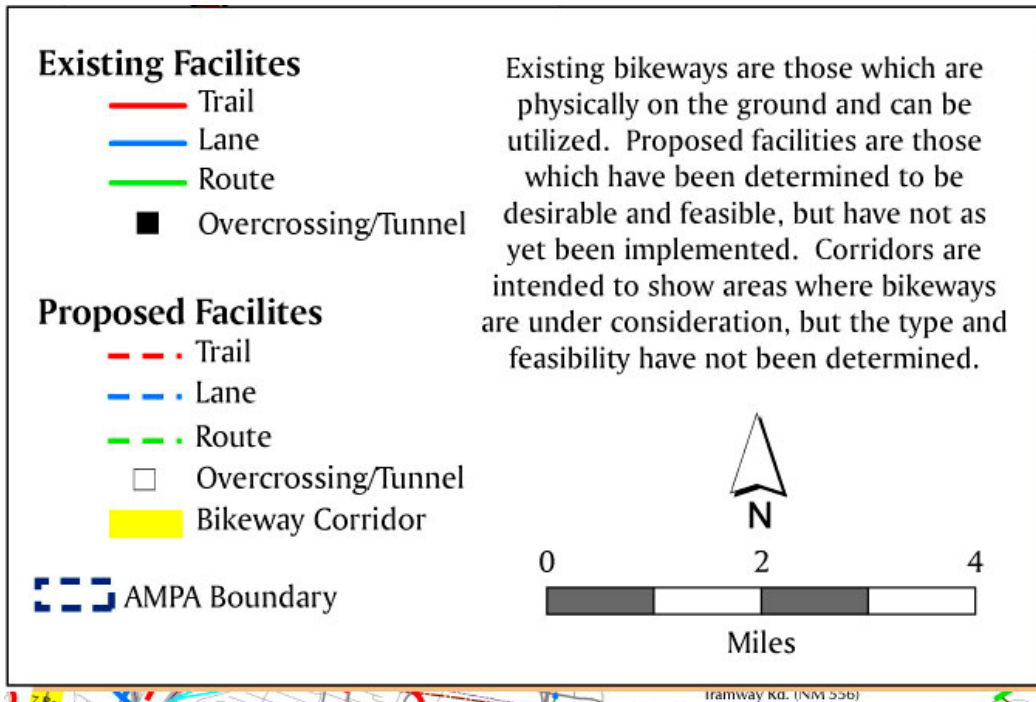
## Study Area Conditions

The Winrock Shopping Center has been dwindling in activity for the past fifteen years or so. An effort to redevelop and revitalize the Center began about five years ago. A relatively small portion of the redevelopment of the Center has occurred prior to this study. That portion of the redevelopment includes the new Regal Winrock Stadium 16 IMAX / RPX Movie Theater and the relatively new BJ's Restaurant and Brewhouse and Genghis Grill restaurant. Traffic from those uses will be included in the traffic count data taken for this study. The Dave & Buster's facility was not open when the traffic counts were conducted for this study. Therefore, calculated trips generated by the Dave & Buster's facility were added into the background traffic for the Winrock redevelopment project study.

There are plans to provide a private shuttle in the future to transport shoppers between the various shopping centers in the area including Winrock, ABQ Uptown, Coronado Mall, etc. No specific reduction in trip generation rates have been assumed in this study as a result of such a shuttle system, but it is likely that a shuttle system of this sort would reduce traffic somewhat. Therefore, it could be considered that this study provides a moderately conservatively high estimate of traffic generated by this development.

There are no programmed transportation improvements to the adjacent roadway system at this time. As shown by a portion of the Bikeway System Map below, there are some bike trails or bike lanes in this area, especially on the Uptown Loop Rd. The bike lanes exist on the Loop Rd. east of Louisiana Blvd. Also, ABQ Ride has several bus routes in the area, including a Rapid Ride station, RR route 766, and routes 3/157. Route 766 runs between the uptown station and the Central / Unser station, and route 3/157 runs north and south on Louisiana and west to the NW Transit Center from 5:30 AM to 10 PM. See Appendix Pages A-202 thru A-206.





## Analysis of Existing Conditions

2013 Average Weekday Traffic Volumes (AWDT) for major streets in the site plan area are shown on Page A-5 of the Appendix.

Current turning movement volumes obtained during the AM and PM Peak Hours for this project were acquired from recent field counts conducted by either Mike Henderson Consulting, Inc. or the consulting engineer conducting the Traffic Impact Study. Existing AM and PM Peak Hour turning movement counts for the year 2014 were provided by the consulting engineer for the following intersections:

*Indian School Rd. / Pennsylvania St.*  
*Winrock Internal Loop Rd. / Pennsylvania St.*  
*Indian School Rd. / Espanola St.*  
*Target Driveway / Winrock Loop (Uptown Loop)*  
*Driveway "A" (by Macaroni Grill) / Louisiana Blvd.*  
*Indian School Rd. / Driveway "B"*  
*Indian School Rd. / Driveway "C"*  
*Driveway to be closed / Pennsylvania St. (to redistribute trips)*  
*I-40 Winrock On-Ramp / I-40*

This study will analyze the projected 2020 NO BUILD and BUILD conditions.

## Current Year Traffic Analysis

The intersections under consideration in this study were analyzed to determine how they currently operate. A summary of the current levels-of-service / delays of the intersections are summarized in the following table:

Intersection	2014 AM Peak	No. of Movements at LOS "F"	2014 PM Peak	No. of Movements at LOS "F"
Indian School Rd. / Pennsylvania St.	C – 24.9	0	C – 25.2	0
Pennsylvania St. / Winrock Internal Loop	A – 3.0	0	A – 3.6	0
Louisiana Blvd. / Americas Pkwy.	C – 29.1	0	C – 29.8	0
Indian School Rd. / Louisiana Blvd.	C - 28.7	0	C – 29.1	0
Indian School Rd. / Winrock Loop	B – 13.4	0	B – 13.7	0
I-40 / Louisiana Blvd. SPUI	D – 51.3	1	E – 58.0	3

See Pages A-100 thru A-111 for detailed HCM 2010 analysis reports for each intersection.

## Trip Generation of Project

The trip generation rate for this project was calculated utilizing data from the Institute of Transportation Engineers' (ITE) *Trip Generation Manual* (9<sup>th</sup> Edition, 2012). The following table summarizes the results of the projected trip generation rate for the Winrock Masterplanned Town Center:

### Winrock - 2014 Plan

#### Trip Generation Data (ITE Trip Generation Manual - 9th Edition)

COMMENT	USE (ITE CODE)	24 HR VOL GROSS	A. M. PEAK HR.		P. M. PEAK HR.		
	DESCRIPTION		ENTER	EXIT	ENTER	EXIT	
<b>Summary Sheet</b>		Units					
All Sections	Shopping Center (820)	963.84	29,617	385	236	1,312	1,422
Section 1	High Turnover (Sit-Down) Restaurant (932)	47.35	6,020	282	230	280	187
Section 2	High Turnover (Sit-Down) Restaurant (932)	2.00	254	12	10	12	8
Section 3	Medical-Dental Office Building (720)	2.47	-	5	1	3	7
Section 3	Hotel (310)	160.00	1,427	55	40	55	57
Section 8	High Turnover (Sit-Down) Restaurant (932)	39.28	4,994	234	191	232	155
All Sections	Apartment (220)	540	3,396	54	215	205	110
Park	High Turnover (Sit-Down) Restaurant (932)	22.00	2,797	131	107	130	87
Pad 1, Section 4	High Turnover (Sit-Down) Restaurant (932)	6.50	826	39	32	38	26
<b>Subtotal</b>			<b>49,331</b>	<b>1,197</b>	<b>1,062</b>	<b>2,267</b>	<b>2,059</b>
Subtotal Retail Commercial Trips			44,508	1,044	774	1,966	1,859
Subtotal Office Trips			-	5	1	3	7
Subtotal Residential Trips			3,396	54	215	205	110
Hotel Trips			1,427	55	40	55	57
Transit Credit		2%	(987)	(24)	(21)	(45)	(41)
Internal Capture Trips		7%	(3,453)	(84)	(74)	(159)	(144)
Subtotal Trips Adjusted for Internal Capture Rate / Transit			44,891	1,089	967	2,063	1,874
Pass-by Trip Adjustment (Retail Commercial)		30%	(12,151)	(285)	(211)	(537)	(508)
<b>Net Total New Trips to System</b>			<b>32,740</b>	<b>804</b>	<b>756</b>	<b>1,526</b>	<b>1,366</b>
Residential Plus Hotel Trips			4,823	109	255	260	167
Internal Capture / Transit Credits			(434)	(10)	(23)	(23)	(15)
<b>Total Offsite Residential + Hotel Trips</b>			<b>4,389</b>	<b>99</b>	<b>232</b>	<b>237</b>	<b>152</b>
Commercial Plus Office Trips			44,508	1,044	774	1,966	1,859
Internal Capture / Transit Credits			(4,006)	(94)	(70)	(177)	(167)
Total Commercial Trips			40,502	950	704	1,789	1,692
Pass-by Trip Reduction		30%	(12,151)	(285)	(211)	(537)	(508)
<b>Total Commercial Trips (Adjusted for Pass-by Trips)</b>			<b>28,351</b>	<b>665</b>	<b>493</b>	<b>1,252</b>	<b>1,184</b>

As shown, pass-by trips were allocated at 30% for the retail commercial components of the project, and a 7% Internal Capture Rate was assumed. Also, a 2% reduction was assumed for access to Public Transit system.

The Trip Generation Table and the individual trip generation worksheets for each land use are also found on Pages A-8 thru A-31 in the Appendix of this report.

The following table is taken from a memo to Mr. Tony Loyd (City of Albuquerque) from Harwick Transportation Group, Inc., **Re: Winrock Center Trip Generation/Comparison – Dave & Buster’s**, dated December 9, 2012. Dave & Busters was constructed but was not open at the time the traffic counts for this study were conducted. Therefore, the Harwick memo numbers were used and are distributed to the appropriate intersections analyzed in this report, See Appendix Pages A-201 and A-77 thru A-99c, for further information. According to the Harwick memo, the trip generation was determined based on existing Dave & Busters locations in other cities.

**Trip Generation Comparison – PM Peak Hour**

<b>Code</b>	<b>Development</b>	<b>SF</b>	<b>PM In</b>	<b>PM Out</b>
445	Multiplex Movie Theater (6 screens)	27,000	83	55
SP (W)	Dave & Buster’s (Weekday)	25,200	31	14
SP (F)	Dave & Buster’s (Friday)	25,200	58	21
	<b>Theater – D&amp;B Weekday</b>		<b>-52</b>	<b>-41</b>
	<b>Theater – D&amp;B Friday</b>		<b>-25</b>	<b>-34</b>

**Implementation Year Traffic Analysis**

Classification of levels-of-service and delay for signalized and unsignalized intersections will be made based on criteria established by Synchro, Version 8 (Build 806, Revision 61) computer modeling software which approximates the 2010 Highway Capacity Manual methodology. The average control delay is calculated for each intersection and for each lane group of each leg of the intersection. The control delay then determines the level-of-service based on the following:

**LEVEL-OF-SERVICE CRITERIA FOR SIGNALIZED INTERSECTIONS**

<b><u>Average Delay</u></b> <b><u>(secs)</u></b>	<b><u>Level-of-Service</u></b>
≤ 10	A
> 10 and ≤ 20	B
> 20 and ≤ 35	C
> 35 and ≤ 55	D
> 55 and ≤ 80	E
> 80	F

## LEVEL-OF-SERVICE CRITERIA FOR UNSIGNALIZED INTERSECTIONS

<u>Average Delay</u> <u>(secs)</u>	<u>Level-of-Service</u>
≤ 10	A
> 10 and ≤ 15	B
> 15 and ≤ 25	C
> 25 and ≤ 35	D
> 35 and ≤ 50	E
> 50	F

Generally speaking, a Level-of-Service D or better is an acceptable parameter for design purposes.

Besides the intersections previously listed, six access driveways are targeted for analysis in this study. They are labeled as Driveways 'A' through 'D', the northbound leg of Indian School Rd / Espanola Street, and the Target Driveway.

The targeted intersections for analysis in this study are:

2020 AM / PM Peak Hour NO BUILD and BUILD Conditions

1. *Indian School Rd. / Pennsylvania St. (Signalized)*
2. *Winrock Internal Loop Rd. / Pennsylvania St. (Signalized)*
3. *Americas Parkway (Winrock Loop) / Louisiana Blvd. (Signalized)*
4. *Indian School Rd. / Louisiana Blvd. (Signalized)*
5. *Indian School Rd. / Uptown Loop Rd. (Signalized)*
6. *I-40 Single Point Urban Interchange / Louisiana Blvd. (Signalized)*
7. *Target Driveway / Uptown Loop Rd.*
8. *Driveway "A" / Louisiana Blvd.*
9. *Indian School Rd. / Driveway "B"*
10. *Indian School Rd / Espanola St. (Driveway "D")*
11. *Indian School Rd. / Driveway "C"*
12. *Driveway "D" / America's Parkway*

Following is a summary of the results of the Synchro Analysis for each of the intersections targeted for evaluation in this report:

**Intersection #1 – Indian School Rd. / Pennsylvania St.**

The following table provides a summary of the Levels-of-Service / delays associated with each case analyzed in this study:

**Intersection: 1 - Indian School Rd. / Pennsylvania St.**

		<u>2020 AM Peak Hour BUILD</u>				<u>2020 PM Peak Hour BUILD</u>				
		(EXIST. GEOM.)				(EXIST. GEOM.)				
		NO BUILD		BUILD		NO BUILD		BUILD		
		Lanes	LOS-Delay	Lanes	LOS-Delay	Lanes	LOS-Delay	Lanes	LOS-Delay	
EB	L	1	D - 39.9	1	C - 20.6	L	1	C - 23.8	1	C - 20.7
	T	1	D - 50.4	1	C - 29.8	T	1	D - 53.4	1	D - 54.2
	R	1	D - 43.3	1	C - 21.9	R	1	C - 30.1	1	C - 24.9
WB	L	1	D - 37.8	1	C - 20.2	L	1	C - 28.6	1	D - 51.5
	T	2	D - 48.3	2	C - 28.2	T	2	C - 28.3	2	C - 26.7
	R	>	D - 48.4	>	C - 28.3	R	>	C - 28.3	>	C - 26.7
NB	L	1	A - 8.9	1	B - 13.6	L	1	C - 23.3	1	C - 32.3
	T	1	A - 0.4	1	C - 23.8	T	1	D - 42.6	1	D - 39.0
	R	1	A - 0.2	1	B - 16.8	R	1	C - 28.3	1	C - 22.8
SB	L	1	A - 8.3	1	B - 11.6	L	1	C - 23.4	1	C - 31.4
	T	1	B - 13.2	1	C - 21.0	T	1	C - 31.1	1	D - 46.3
	R	1	A - 9.6	1	B - 13.9	R	1	C - 21.6	1	C - 29.4
Intersection:		<b>C - 25.3</b>		<b>C - 22.3</b>		<b>C - 35.0</b>		<b>D - 37.4</b>		

Note: ">" designates a shared right or left turn lane.

Indian School Rd. / Pennsylvania St. is a signalized intersection. The analysis of the intersection of Indian School Rd. / Pennsylvania St. in this report demonstrates that the projected levels-of-service and delays are acceptable for all conditions analyzed. Therefore, no recommendation is made for the intersection of Indian School Rd. / Pennsylvania St.

The results of the queuing analysis for the intersection of Indian School Rd. / Pennsylvania St. are summarized in the following table:

## Queueing Analysis Summary Sheet

Project: Winrock Center Re-population (Indian School Rd. / Pennsylvania St.)  
 Intersection: Indian School Rd. / Pennsylvania St.

<b>2020</b>									
<b>Approach</b>	<b>Left Turns</b>			<b>Thru Movements</b>			<b>Right Turns</b>		
<b>Eastbound</b>	# Lanes	Vol.	Length	# Lanes	Vol.	Length	# Lanes	Vol.	Length
<i>Existing Lane Length</i>	1	48	140	1	121	Cont	1	76	250
AM NO BUILD Queue	1	52	75	1	130	125	1	81	100
<b>AM BUILD Queue</b>	<b>1</b>	<b>85</b>	<b>100</b>	<b>1</b>	<b>196</b>	<b>175</b>	<b>1</b>	<b>90</b>	<b>100</b>
<i>Existing Lane Length</i>	1	145	140	1	459	Cont	1	151	250
PM NO BUILD Queue	1	164	250	1	498	600	1	161	225
<b>PM BUILD Queue</b>	<b>1</b>	<b>218</b>	<b>300</b>	<b>1</b>	<b>605</b>	<b>700</b>	<b>1</b>	<b>174</b>	<b>250</b>
<hr/>									
<b>Westbound</b>	# Lanes	Vol.	Length	# Lanes	Vol.	Length	# Lanes	Vol.	Length
<i>Existing Lane Length</i>	1	70	250	2	323	Cont	0	33	0
AM NO BUILD Queue	1	74	75	2	342	175	0	35	50
<b>AM BUILD Queue</b>	<b>1</b>	<b>124</b>	<b>125</b>	<b>2</b>	<b>403</b>	<b>200</b>	<b>0</b>	<b>35</b>	<b>50</b>
<i>Existing Lane Length</i>	1	85	250	2	305	Cont	0	27	0
PM NO BUILD Queue	1	90	150	2	327	250	0	29	75
<b>PM BUILD Queue</b>	<b>1</b>	<b>184</b>	<b>250</b>	<b>2</b>	<b>449</b>	<b>325</b>	<b>0</b>	<b>29</b>	<b>75</b>
<hr/>									
<b>Northbound</b>	# Lanes	Vol.	Length	# Lanes	Vol.	Length	# Lanes	Vol.	Length
<i>Existing Lane Length</i>	1	89	120	1	185	Cont	1	68	130
AM NO BUILD Queue	1	93	100	1	195	175	1	70	75
<b>AM BUILD Queue</b>	<b>1</b>	<b>101</b>	<b>100</b>	<b>1</b>	<b>217</b>	<b>175</b>	<b>1</b>	<b>111</b>	<b>125</b>
<i>Existing Lane Length</i>	1	108	120	1	316	Cont	1	85	130
PM NO BUILD Queue	1	107	175	1	326	425	1	81	150
<b>PM BUILD Queue</b>	<b>1</b>	<b>123</b>	<b>200</b>	<b>1</b>	<b>373</b>	<b>450</b>	<b>1</b>	<b>169</b>	<b>250</b>
<hr/>									
<b>Southbound</b>	# Lanes	Vol.	Length	# Lanes	Vol.	Length	# Lanes	Vol.	Length
<i>Existing Lane Length</i>	1	33	90	1	291	Cont	1	146	90
AM NO BUILD Queue	1	35	50	1	308	250	1	168	150
<b>AM BUILD Queue</b>	<b>1</b>	<b>35</b>	<b>50</b>	<b>1</b>	<b>334</b>	<b>250</b>	<b>1</b>	<b>199</b>	<b>175</b>
<i>Existing Lane Length</i>	1	70	90	1	273	Cont	1	118	90
PM NO BUILD Queue	1	74	125	1	289	375	1	176	250
<b>PM BUILD Queue</b>	<b>1</b>	<b>74</b>	<b>125</b>	<b>1</b>	<b>340</b>	<b>425</b>	<b>1</b>	<b>238</b>	<b>325</b>

AM
PM  
 Cycle Length: **65** **120**

**NOTE: Queue lengths are in feet.**  
 Calculated Right Turn Queue Lengths can be reduced by 50%  
 to account for right-turns-on-red and right turn overlaps.

Most of the left turn lanes at this intersection are constrained by adjacent intersections / driveways so that it is not feasible to lengthen them to accommodate the calculated 2020 95<sup>th</sup>

percentile queue lengths in the preceding table. The one exception is that the northbound left turn lane can be lengthened to approximately 220 feet plus transition since the existing Winrock driveway onto Pennsylvania St. south of Indian School Rd. is proposed to be closed with approval of this Winrock Town Center Masterplanned Development project.

**Intersection #2 – Winrock Loop Rd. / Pennsylvania St.**

The following table provides a summary of the Levels-of-Service / delays associated with each case analyzed in this study:

**Intersection: 2 - Winrock Loop / Pennsylvania St.**

		<u>2020 AM Peak Hour BUILD</u>				<u>2020 PM Peak Hour BUILD</u>				
		<u>(EXIST. GEOM.)</u>				<u>(EXIST. GEOM.)</u>				
		<u>NO BUILD</u>		<u>BUILD</u>		<u>NO BUILD</u>		<u>BUILD</u>		
		<u>Lanes</u>	<u>LOS-Delay</u>	<u>Lanes</u>	<u>LOS-Delay</u>	<u>Lanes</u>	<u>LOS-Delay</u>	<u>Lanes</u>	<u>LOS-Delay</u>	
<b>EB</b>	L	1	D - 51.5	1	C - 32.4	L	1	C - 23.6	1	C - 28.0
	T	1	A - 0.0	1	A - 0.0	T	1	A - 0.0	1	A - 0.0
	R	1	E - 56.1	1	C - 31.5	R	1	C - 27.7	1	C - 25.8
<b>NB</b>	L	1	A - 1.5	1	B - 13.6	L	1	A - 2.8	1	A - 6.5
	T	1	A - 1.5	1	A - 2.7	T	1	A - 4.0	1	A - 6.0
	R	>	A - 0.0	>	A - 0.0	R	>	A - 0.0	>	A - 0.0
<b>SB</b>	L	>	A - 0.0	>	A - 0.0	L	>	A - 0.0	>	A - 0.0
	T	1	A - 0.0	1	A - 0.0	T	1	A - 0.0	1	A - 0.0
	R	>	A - 0.5	>	B - 14.0	R	>	A - 0.7	>	A - 1.5
<b>Intersection:</b>		<b>A - 3.6</b>		<b>B - 13.9</b>		<b>A - 4.8</b>		<b>A - 9.4</b>		

Note: ">" designates a shared right or left turn lane.

The analysis of the intersection of Winrock Internal Loop / Pennsylvania St. in this report demonstrates that the projected levels-of-service and delays are acceptable for all conditions analyzed. Therefore, no recommendations are made for the intersection of Winrock Loop Rd. / Pennsylvania St.

The results of the queuing analysis for the intersection of Winrock Loop / Pennsylvania St. are summarized in the following table:



## Queueing Analysis Summary Sheet

Project: Winrock Center Re-population (Indian School Rd. / Pennsylvania St.)  
 Intersection: Winrock Loop / Pennsylvania St.

<b>2020</b>									
<b>Approach</b>	<b>Left Turns</b>			<b>Thru Movements</b>			<b>Right Turns</b>		
<b>Eastbound</b>	# Lanes	Vol.	Length	# Lanes	Vol.	Length	# Lanes	Vol.	Length
<i>Existing Lane Length</i>	1	12	150	0	0	Cont	1	24	150
AM NO BUILD Queue	1	13	25	0	0	0	1	33	50
<b>AM BUILD Queue</b>	<b>1</b>	<b>97</b>	<b>100</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>1</b>	<b>76</b>	<b>100</b>
<i>Existing Lane Length</i>	1	27	150	0	0	Cont	1	58	150
PM NO BUILD Queue	1	29	50	0	0	0	1	78	75
<b>PM BUILD Queue</b>	<b>1</b>	<b>217</b>	<b>175</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>1</b>	<b>166</b>	<b>150</b>
<hr/>									
<b>Westbound</b>	# Lanes	Vol.	Length	# Lanes	Vol.	Length	# Lanes	Vol.	Length
<i>Existing Lane Length</i>	0	0	0	0	0	Cont	0	0	0
AM NO BUILD Queue	0	0	0	0	0	0	0	0	0
<b>AM BUILD Queue</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>
<i>Existing Lane Length</i>	0	0	0	0	0	Cont	0	0	0
PM NO BUILD Queue	0	0	0	0	0	0	0	0	0
<b>PM BUILD Queue</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>
<hr/>									
<b>Northbound</b>	# Lanes	Vol.	Length	# Lanes	Vol.	Length	# Lanes	Vol.	Length
<i>Existing Lane Length</i>	1	95	120	1	288	Cont	0	0	0
AM NO BUILD Queue	1	111	125	1	305	250	0	0	0
<b>AM BUILD Queue</b>	<b>1</b>	<b>162</b>	<b>150</b>	<b>1</b>	<b>282</b>	<b>225</b>	<b>0</b>	<b>0</b>	<b>0</b>
<i>Existing Lane Length</i>	1	99	120	1	486	Cont	0	0	0
PM NO BUILD Queue	1	110	100	1	516	350	0	0	0
<b>PM BUILD Queue</b>	<b>1</b>	<b>206</b>	<b>175</b>	<b>1</b>	<b>473</b>	<b>325</b>	<b>0</b>	<b>0</b>	<b>0</b>
<hr/>									
<b>Southbound</b>	# Lanes	Vol.	Length	# Lanes	Vol.	Length	# Lanes	Vol.	Length
<i>Existing Lane Length</i>	0	0	0	1	363	Cont	0	100	0
AM NO BUILD Queue	0	0	0	1	377	275	0	106	100
<b>AM BUILD Queue</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>1</b>	<b>355</b>	<b>275</b>	<b>0</b>	<b>212</b>	<b>175</b>
<i>Existing Lane Length</i>	0	0	0	1	364	Cont	0	49	0
PM NO BUILD Queue	0	0	0	1	369	250	0	52	75
<b>PM BUILD Queue</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>1</b>	<b>327</b>	<b>250</b>	<b>0</b>	<b>252</b>	<b>200</b>

AM
PM  
 Cycle Length: **65** **60**

**NOTE: Queue lengths are in feet.**  
 Calculated Right Turn Queue Lengths can be reduced by 50%  
 to account for right-turns-on-red and right turn overlaps.

The northbound left turn lane should both be extended to the maximum length possible up to the calculated lengths in the above table.

**Intersection #3 – Americas Parkway / Louisiana Blvd.**

The following table provides a summary of the Levels-of-Service / delays associated with each case analyzed in this study:

**Intersection: 3 - Americas Parkway / Louisiana Blvd.**

2020 AM Peak Hour BUILD							2020 PM Peak Hour BUILD								
		(EXIST. GEOM.)				(MIT. GEOM.)				(EXIST. GEOM.)				(MIT. GEOM.)	
		NO BUILD		BUILD		BUILD				NO BUILD		BUILD		BUILD	
		Lanes	LOS-Delay	Lanes	LOS-Delay	Lanes	LOS-Delay	Lanes	LOS-Delay	Lanes	LOS-Delay	Lanes	LOS-Delay	Lanes	LOS-Delay
EB	L	1	D - 40.9	1	C - 21.4	1	D - 49.3	L	1	D - 36.9	1	D - 41.9	1	D - 46.9	
	T	2	D - 44.6	2	C - 25.3	2	D - 52.9	T	2	D - 40.5	2	D - 45.6	2	D - 50.6	
	R	1	D - 38.8	1	C - 22.0	1	D - 46.6	R	1	D - 52.0	1	E - 63.1	1	E - 75.6	
WB	L	2	D - 41.1	2	C - 24.1	2	D - 43.9	L	2	D - 37.9	2	D - 42.3	2	D - 48.0	
	T	2	D - 44.5	2	C - 25.3	1	D - 44.3	T	2	D - 40.3	2	C - 33.9	1	D - 37.3	
	R	1	D - 40.2	1	C - 23.2	1	D - 41.3	R	1	D - 36.2	1	C - 30.2	1	C - 33.2	
NB	L	2	E - 55.2	2	C - 31.6	2	E - 59.7	L	2	D - 49.6	2	E - 58.9	2	E - 66.8	
	T	4	C - 25.4	4	A - 5.0	4	A - 8.1	T	4	A - 0.9	4	D - 38.7	4	D - 46.5	
	R	>	C - 26.0	>	A - 7.7	1	A - 0.0	R	>	A - 2.6	>	D - 51.4	1	A - 0.0	
SB	L	2	D - 51.9	2	C - 33.0	2	E - 60.0	L	2	D - 48.8	2	E - 60.8	2	E - 63.8	
	T	4	C - 26.6	4	C - 22.4	4	A - 0.2	T	4	A - 0.6	4	A - 3.2	4	A - 1.6	
	R	>	C - 27.1	>	C - 23.3	>	A - 0.6	R	>	A - 1.6	>	A - 4.5	>	A - 2.5	
<b>Intersection:</b>		<b>C - 29.8</b>		<b>B - 16.5</b>		<b>B - 18.9</b>		<b>A - 8.1</b>		<b>C - 32.9</b>		<b>C - 35.0</b>			

Note: ">" designates a shared right or left turn lane.

Mitigation - Relocate median on east leg to allow one westbound thru lane and three eastbound lanes on Uptown Loop Rd.

The analysis of the intersection of Americas Parkway / Louisiana Blvd. in this report demonstrates that the overall intersection projected levels-of-service and delays are acceptable for all conditions analyzed. The projected westbound thru movement volume at the intersection is 7 vehicles per hour during the 2020 AM Peak Hour and 14 vehicles per hour during the 2020 PM Peak Hour. It is obvious that two westbound thru lanes are not necessary to service such low volumes. Therefore, this report recommends that the westbound approach be modified to reduce the number of westbound thru lanes to one. This can be accomplished by relocating the existing raised median to the north about twelve (12) feet. The new westbound approach will consist of two westbound left turn lanes, a single westbound thru lane, and a westbound right turn lane. Relocating the existing raised median to the north will provide more width for the eastbound lanes on Uptown Loop Rd. east of Louisiana Blvd. This report recommends that the eastbound lanes on Uptown Loop Rd. east of Louisiana Blvd. be increase to three.

The results of the queuing analysis for the intersection of Americas Parkway / Louisiana Blvd. are summarized in the following table:

## Queueing Analysis Summary Sheet

Project: Winrock Center Re-population (Indian School Rd. / Pennsylvania St.)  
 Intersection: America's Pkwy / Louisiana Blvd.

<b>2020</b>									
<b>Approach</b>	<b>Left Turns</b>			<b>Thru Movements</b>			<b>Right Turns</b>		
<b>Eastbound</b>	# Lanes	Vol.	Length	# Lanes	Vol.	Length	# Lanes	Vol.	Length
<i>Existing Lane Length</i>	1	24	60	2	4	Cont	1	125	60
AM NO BUILD Queue	1	25	50	2	4	0	1	133	125
<b>AM BUILD Queue</b>	<b>1</b>	<b>25</b>	<b>50</b>	<b>2</b>	<b>9</b>	<b>0</b>	<b>1</b>	<b>133</b>	<b>125</b>
<i>Existing Lane Length</i>	1	33	60	2	25	Cont	1	250	60
PM NO BUILD Queue	1	35	75	2	27	50	1	265	350
<b>PM BUILD Queue</b>	<b>1</b>	<b>35</b>	<b>75</b>	<b>2</b>	<b>36</b>	<b>50</b>	<b>1</b>	<b>265</b>	<b>350</b>
<hr/>									
<b>Westbound</b>	# Lanes	Vol.	Length	# Lanes	Vol.	Length	# Lanes	Vol.	Length
<i>Existing Lane Length</i>	2	61	230	2	2	Cont	1	2	210
AM NO BUILD Queue	2	65	50	2	2	0	1	2	0
<b>AM BUILD Queue</b>	<b>2</b>	<b>344</b>	<b>175</b>	<b>2</b>	<b>7</b>	<b>0</b>	<b>1</b>	<b>102</b>	<b>100</b>
<i>Existing Lane Length</i>	2	137	230	2	7	Cont	1	8	210
PM NO BUILD Queue	2	145	150	2	7	25	1	8	25
<b>PM BUILD Queue</b>	<b>2</b>	<b>715</b>	<b>475</b>	<b>2</b>	<b>14</b>	<b>25</b>	<b>1</b>	<b>230</b>	<b>300</b>
<hr/>									
<b>Northbound</b>	# Lanes	Vol.	Length	# Lanes	Vol.	Length	# Lanes	Vol.	Length
<i>Existing Lane Length</i>	2	250	175	4	1,257	Cont	0	71	0
AM NO BUILD Queue	2	265	150	4	1,332	300	0	75	75
<b>AM BUILD Queue</b>	<b>2</b>	<b>265</b>	<b>150</b>	<b>4</b>	<b>1,261</b>	<b>275</b>	<b>0</b>	<b>282</b>	<b>225</b>
<i>Existing Lane Length</i>	2	177	175	4	1,814	Cont	0	194	0
PM NO BUILD Queue	2	188	175	4	1,940	675	0	206	275
<b>PM BUILD Queue</b>	<b>2</b>	<b>188</b>	<b>175</b>	<b>4</b>	<b>1,831</b>	<b>650</b>	<b>0</b>	<b>607</b>	<b>700</b>
<hr/>									
<b>Southbound</b>	# Lanes	Vol.	Length	# Lanes	Vol.	Length	# Lanes	Vol.	Length
<i>Existing Lane Length</i>	2	5	140	4	975	Cont	0	27	0
AM NO BUILD Queue	2	5	0	4	1,034	250	0	29	50
<b>AM BUILD Queue</b>	<b>2</b>	<b>139</b>	<b>100</b>	<b>4</b>	<b>977</b>	<b>225</b>	<b>0</b>	<b>29</b>	<b>50</b>
<i>Existing Lane Length</i>	2	31	140	4	1,666	Cont	0	31	0
PM NO BUILD Queue	2	33	50	4	1,771	625	0	33	75
<b>PM BUILD Queue</b>	<b>2</b>	<b>286</b>	<b>225</b>	<b>4</b>	<b>1,651</b>	<b>575</b>	<b>0</b>	<b>33</b>	<b>75</b>

AM
PM  
 Cycle Length: 65 120

**NOTE: Queue lengths are in feet.**  
 Calculated Right Turn Queue Lengths can be reduced by 50%  
 to account for right-turns-on-red and right turn overlaps.

The queuing analysis in the preceding table indicates that the most significant deficits in auxiliary turn lane lengths are the westbound and southbound left turn movements. The westbound left turn movement can be stored beyond the auxiliary left turn lanes into the inside thru lane on Americas Parkway. Still, there will be long queues for this movement.

A schematic diagram of this recommended geometry for Americas Parkway / Louisiana Blvd. east through Driveway "D" is shown on page 34 of this report. The southbound left turn lane cannot be lengthened due to the permanent Changeable Message Sign located in the median.

It should be noted that Americas Parkway at Louisiana Blvd. is a primary access to the new Winrock Town Center Masterplanned Area from Louisiana Blvd. Also, it is the only access from Louisiana Blvd. for southbound traffic on Louisiana entering the new Center, and the only access from the Center for exiting traffic on Louisiana desiring to travel southbound on Louisiana, eastbound on I-40, and to some degree westbound on I-40. Consequently, it will be a very heavily used driveway – probably the most heavily used on the project.

**Intersection #4 – Indian School Rd. / Louisiana Blvd**

The following table provides a summary of the Levels-of-Service / delays associated with each case analyzed in this study:

**Intersection: 4 - Indian School Rd. / Louisiana Blvd.**

		<u>2020 AM Peak Hour BUILD</u>				<u>2020 PM Peak Hour BUILD</u>				
		(EXIST. GEOM.)				(EXIST. GEOM.)				
		NO BUILD		BUILD		NO BUILD		BUILD		
		Lanes	LOS-Delay	Lanes	LOS-Delay	Lanes	LOS-Delay	Lanes	LOS-Delay	
EB	L	1	D - 52.9	1	C - 28.7	L	1	E - 58.9	1	E - 64.6
	T	2	D - 44.1	2	C - 22.7	T	2	D - 47.6	2	D - 53.5
	R	1	A - 0.0	1	A - 0.0	R	1	A - 0.0	1	A - 0.0
WB	L	2	D - 50.2	2	D - 39.8	L	2	E - 56.8	2	E - 64.0
	T	2	D - 41.8	2	C - 29.5	T	2	D - 48.9	2	D - 53.7
	R	>	D - 42.2	>	C - 30.1	R	>	D - 49.8	>	D - 54.7
NB	L	2	E - 55.6	2	C - 34.0	L	2	D - 52.1	2	E - 55.9
	T	4	C - 24.6	4	C - 20.5	T	4	A - 3.4	4	A - 9.0
	R	1	A - 0.0	1	A - 0.0	R	1	A - 0.0	1	A - 0.0
SB	L	2	D - 53.7	2	C - 30.5	L	2	E - 56.1	2	E - 61.8
	T	4	B - 14.5	4	B - 19.5	T	4	B - 18.6	4	C - 23.9
	R	1	A - 0.0	1	A - 0.0	R	1	A - 0.0	1	A - 0.0
<b>Intersection:</b>		<b>C - 29.1</b>		<b>C - 24.5</b>		<b>C - 26.1</b>		<b>C - 33.5</b>		

Note: ">" designates a shared right or left turn lane.

No Mitigation Recommendations.

The analysis of the intersection of Indian School Rd. / Louisiana Blvd. in this report demonstrates that the projected levels-of-service and delays are acceptable for all conditions analyzed. In addition, the Uptown Pedestrian Study, completed by Parametrix, October 27, 2014 recommends making no improvements that would encourage more vehicular traffic at the intersection of Indian School Rd. / Louisiana Blvd. Therefore, no recommendations are made with regard to measures to increase capacity at the existing signalized intersection.

The results of the queuing analysis for the intersection of Indian School Rd. / Louisiana Blvd. are summarized in the following table:

## Queueing Analysis Summary Sheet

Project: Winrock Center Re-population (Indian School Rd. / Pennsylvania St.)  
 Intersection: Indian School Rd. / Louisiana Blvd.

### 2020

<b>Approach</b>	<b>Left Turns</b>			<b>Thru Movements</b>			<b>Right Turns</b>		
<b>Eastbound</b>	# Lanes	Vol.	Length	# Lanes	Vol.	Length	# Lanes	Vol.	Length
<i>Existing Lane Length</i>	1	20	200	2	88	Cont	1	53	75
AM NO BUILD Queue	1	21	50	2	93	75	1	56	75
<b>AM BUILD Queue</b>	<b>1</b>	<b>21</b>	<b>50</b>	<b>2</b>	<b>116</b>	<b>75</b>	<b>1</b>	<b>77</b>	<b>100</b>
<i>Existing Lane Length</i>	1	75	200	2	363	Cont	1	192	75
PM NO BUILD Queue	1	80	150	2	387	300	1	204	275
<b>PM BUILD Queue</b>	<b>1</b>	<b>80</b>	<b>150</b>	<b>2</b>	<b>433</b>	<b>325</b>	<b>1</b>	<b>244</b>	<b>325</b>
<b>Westbound</b>									
<i>Existing Lane Length</i>	2	149	175	2	287	Cont	0	49	0
AM NO BUILD Queue	2	158	100	2	304	150	0	52	75
<b>AM BUILD Queue</b>	<b>2</b>	<b>214</b>	<b>125</b>	<b>2</b>	<b>329</b>	<b>150</b>	<b>0</b>	<b>105</b>	<b>100</b>
<i>Existing Lane Length</i>	2	325	175	2	267	Cont	0	175	0
PM NO BUILD Queue	2	350	275	2	284	225	0	188	275
<b>PM BUILD Queue</b>	<b>2</b>	<b>466</b>	<b>350</b>	<b>2</b>	<b>324</b>	<b>250</b>	<b>0</b>	<b>274</b>	<b>350</b>
<b>Northbound</b>									
<i>Existing Lane Length</i>	2	194	180	4	800	Cont	1	151	175
AM NO BUILD Queue	2	206	125	4	848	200	1	160	150
<b>AM BUILD Queue</b>	<b>2</b>	<b>223</b>	<b>125</b>	<b>4</b>	<b>886</b>	<b>225</b>	<b>1</b>	<b>165</b>	<b>150</b>
<i>Existing Lane Length</i>	2	100	180	4	1,334	Cont	1	316	175
PM NO BUILD Queue	2	106	100	4	1,414	525	1	352	450
<b>PM BUILD Queue</b>	<b>2</b>	<b>143</b>	<b>150</b>	<b>4</b>	<b>1,492</b>	<b>550</b>	<b>1</b>	<b>364</b>	<b>450</b>
<b>Southbound</b>									
<i>Existing Lane Length</i>	2	64	150	4	852	Cont	1	58	210
AM NO BUILD Queue	2	68	50	4	903	225	1	61	75
<b>AM BUILD Queue</b>	<b>2</b>	<b>118</b>	<b>75</b>	<b>4</b>	<b>947</b>	<b>225</b>	<b>1</b>	<b>61</b>	<b>75</b>
<i>Existing Lane Length</i>	2	192	150	4	1,205	Cont	1	38	210
PM NO BUILD Queue	2	208	175	4	1,277	475	1	40	75
<b>PM BUILD Queue</b>	<b>2</b>	<b>307</b>	<b>250</b>	<b>4</b>	<b>1,361</b>	<b>500</b>	<b>1</b>	<b>40</b>	<b>75</b>

Cycle Length: **AM 65**    **PM 120**

**NOTE: Queue lengths are in feet.**  
 Calculated Right Turn Queue Lengths can be reduced by 50%  
 to account for right-turns-on-red and right turn overlaps.

The westbound and southbound left turn lanes and northbound right turn lane at this intersection are constrained by adjacent intersections / driveways so that it is not feasible to lengthen them to accommodate the calculated queue lengths in the preceding table. Both the

Poisson's method (above) and the SimTraffic Simulation show queuing for the southbound left turn lane to be problematic and the northbound right turn lane to be at capacity. Normally, recommendation to extend the lanes would be included in this report. However, the Albuquerque Uptown Pedestrian Study conducted by City Council in 2014 recommended that roadway design should encourage traffic to utilize the loop road and discourage local traffic from driving on Louisiana Blvd. near Indian School Rd. Therefore, it should be considered that improvements to increase the capacity of Indian School Rd. / Louisiana Blvd. should be discouraged so as to encourage traffic to utilize the loop road system.

**Intersection #5 – Indian School Rd / Uptown Loop**

The following table provides a summary of the Levels-of-Service / delays associated with each case analyzed in this study:

**Intersection: 5 - Indian School Rd. / Uptown Loop**

		<u>2020 AM Peak Hour BUILD</u>				<u>2020 PM Peak Hour BUILD</u>				
		(EXIST. GEOM.)				(EXIST. GEOM.)				
		NO BUILD		BUILD		NO BUILD		BUILD		
		Lanes	LOS-Delay	Lanes	LOS-Delay	Lanes	LOS-Delay	Lanes	LOS-Delay	
EB	L	1	A - 5.2	1	A - 9.7	L	1	B - 10.4	1	B - 14.8
	T	2	A - 0.1	2	B - 19.5	T	2	B - 18.6	2	C - 34.2
	R	1	A - 0.0	1	B - 13.2	R	1	A - 10.0	1	B - 18.1
WB	L	1	A - 4.9	1	A - 8.5	L	1	B - 10.1	1	B - 16.6
	T	2	B - 13.8	2	A - 4.5	T	2	C - 26.6	2	C - 33.4
	R	>	B - 13.8	>	A - 4.4	R	>	C - 26.7	>	C - 33.4
NB	L	1	D - 45.0	1	C - 22.4	L	1	D - 40.5	1	D - 38.3
	T	2	D - 50.5	2	C - 26.7	T	2	D - 46.7	2	D - 43.7
	R	>	E - 57.9	>	C - 32.4	R	>	D - 54.5	>	E - 73.4
SB	L	1	D - 45.4	1	C - 22.4	L	1	D - 41.1	1	D - 41.6
	T	2	D - 49.3	2	C - 26.3	T	2	D - 44.1	2	D - 43.3
	R	1	D - 45.8	1	C - 22.5	R	1	D - 41.3	1	D - 39.7
Intersection:		<b>B - 13.7</b>		<b>B - 11.9</b>		<b>C - 26.2</b>		<b>D - 35.3</b>		

Note: ">" designates a shared right or left turn lane.

No Mitigation Recommended.

The intersection of Indian School Rd. / Uptown Loop is an existing signalized full access intersection. The analysis of the intersection of Indian School Rd. / Uptown Loop. demonstrates that the intersection will operate at acceptable levels-of-service with acceptable delays for all conditions analyzed in this report except for the northbound right turn movement during the 2020 PM Peak Hour condition. The northbound right turn volume during the forecast PM Peak Hour conditions is much greater than the northbound projected thru volume (215 vph vs 57

vph). This being the case, it seems that the right-hand thru lane will serve primarily as a right turn lane, and the right turn overlap arrow will allow the right turns to occur with the westbound left turn movement. This will allow more green time for the northbound right turn movement than assumed in the LOS table above which should eliminate the LOS "E" for that movement during the 2020 PM Peak Hour period. Therefore, no recommendations for improvements for mitigation purposes are recommended in this report for this intersection.

The results of the queuing analysis for the intersection of Indian School Rd. / Uptown Loop are summarized in the following table:



## Queueing Analysis Summary Sheet

Project: Winrock Center Re-population (Indian School Rd. / Pennsylvania St.)  
 Intersection: Indian School Rd. / Uptown Loop

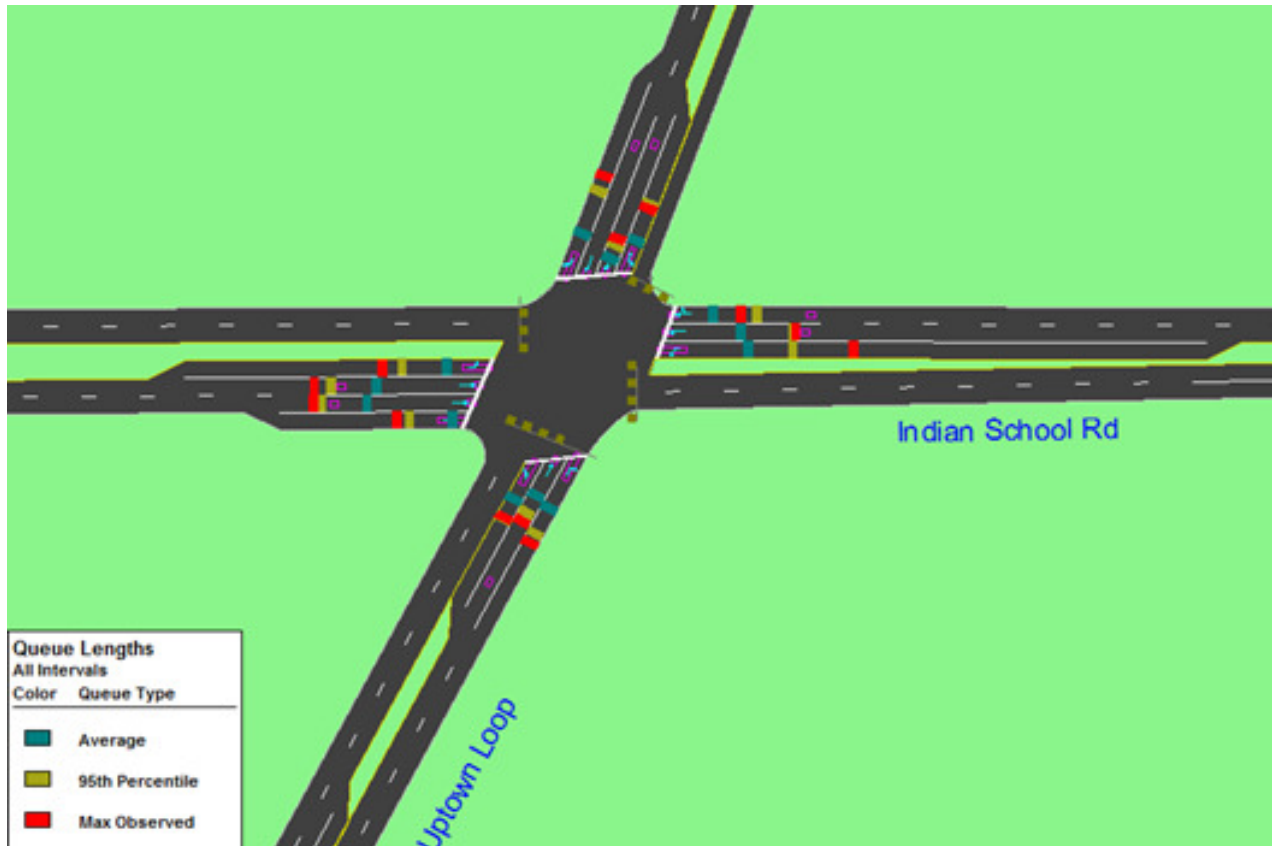
<b>2020</b>									
<b>Approach</b>	<b>Left Turns</b>			<b>Thru Movements</b>			<b>Right Turns</b>		
<b>Eastbound</b>	# Lanes	Vol.	Length	# Lanes	Vol.	Length	# Lanes	Vol.	Length
<i>Existing Lane</i>	1	66	190	2	222	Cont	1	11	125
AM NO BUILD Queue	1	70	75	2	235	125	1	12	25
<b>AM BUILD Queue</b>	<b>1</b>	<b>70</b>	<b>75</b>	<b>2</b>	<b>291</b>	<b>150</b>	<b>1</b>	<b>35</b>	<b>50</b>
<i>Existing Lane</i>	1	162	190	2	596	Cont	1	49	125
PM NO BUILD Queue	1	172	250	2	655	450	1	52	100
<b>PM BUILD Queue</b>	<b>1</b>	<b>172</b>	<b>250</b>	<b>2</b>	<b>768</b>	<b>525</b>	<b>1</b>	<b>94</b>	<b>150</b>
<hr/>									
<b>Westbound</b>	# Lanes	Vol.	Length	# Lanes	Vol.	Length	# Lanes	Vol.	Length
<i>Existing Lane</i>	1	104	365	2	453	Cont	0	42	0
AM NO BUILD Queue	1	110	125	2	480	225	0	45	50
<b>AM BUILD Queue</b>	<b>1</b>	<b>185</b>	<b>175</b>	<b>2</b>	<b>549</b>	<b>250</b>	<b>0</b>	<b>45</b>	<b>50</b>
<i>Existing Lane</i>	1	99	365	2	479	Cont	0	65	0
PM NO BUILD Queue	1	105	175	2	515	375	0	69	125
<b>PM BUILD Queue</b>	<b>1</b>	<b>175</b>	<b>250</b>	<b>2</b>	<b>613</b>	<b>425</b>	<b>0</b>	<b>69</b>	<b>125</b>
<hr/>									
<b>Northbound</b>	# Lanes	Vol.	Length	# Lanes	Vol.	Length	# Lanes	Vol.	Length
<i>Existing Lane</i>	1	14	90	2	15	Cont	0	43	0
AM NO BUILD Queue	1	15	25	2	16	25	0	46	75
<b>AM BUILD Queue</b>	<b>1</b>	<b>28</b>	<b>50</b>	<b>2</b>	<b>16</b>	<b>25</b>	<b>0</b>	<b>87</b>	<b>100</b>
<i>Existing Lane</i>	1	90	90	2	54	Cont	0	109	0
PM NO BUILD Queue	1	95	150	2	57	75	0	116	175
<b>PM BUILD Queue</b>	<b>1</b>	<b>126</b>	<b>200</b>	<b>2</b>	<b>57</b>	<b>75</b>	<b>0</b>	<b>215</b>	<b>300</b>
<hr/>									
<b>Southbound</b>	# Lanes	Vol.	Length	# Lanes	Vol.	Length	# Lanes	Vol.	Length
<i>Existing Lane</i>	1	18	105	2	9	Cont	1	23	120
AM NO BUILD Queue	1	19	25	2	10	0	1	24	50
<b>AM BUILD Queue</b>	<b>1</b>	<b>19</b>	<b>25</b>	<b>2</b>	<b>10</b>	<b>0</b>	<b>1</b>	<b>24</b>	<b>50</b>
<i>Existing Lane</i>	1	105	105	2	50	Cont	1	103	120
PM NO BUILD Queue	1	111	175	2	53	75	1	109	175
<b>PM BUILD Queue</b>	<b>1</b>	<b>111</b>	<b>175</b>	<b>2</b>	<b>53</b>	<b>75</b>	<b>1</b>	<b>109</b>	<b>175</b>

AM
PM  
 Cycle Length: 65 120

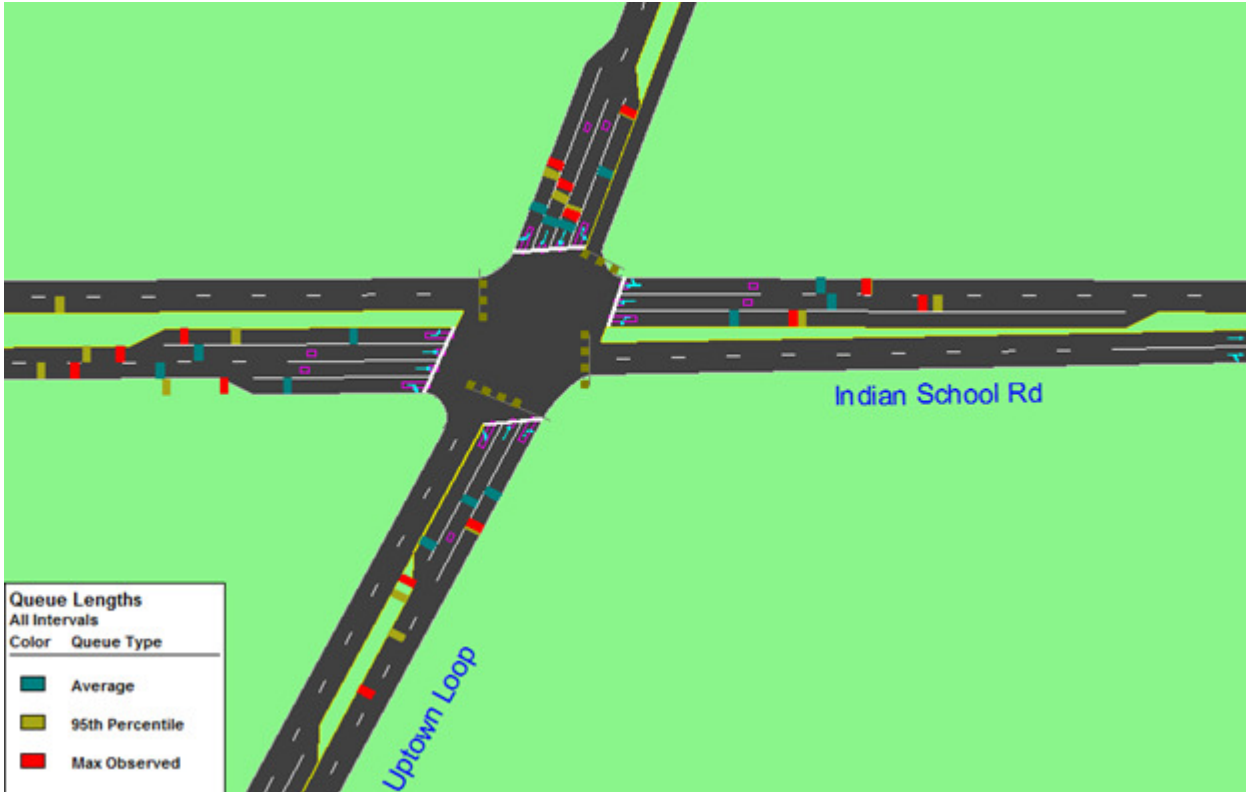
**NOTE: Queue lengths are in feet.**  
 Calculated Right Turn Queue Lengths can be reduced by 50%  
 to account for right-turns-on-red and right turn overlaps.

The eastbound and northbound left turn lanes at this intersection are constrained by adjacent intersections / driveways so that it is not feasible to lengthen them to accommodate the calculated 2020 95th percentile queue lengths in the preceding table. The southbound left turn lane cannot be lengthened due to lack of street section width along Uptown Loop Rd. This

queuing analysis based on Poisson's Arrival Method is actually quite conservative. The Synchro SimTraffic graphics below demonstrates that the existing auxiliary lane lengths are adequate for both the AM Peak Hour and PM Peak Hour queues.



**2020 AM Peak Hour Queue Lengths per SimTraffic –  
Indian School Rd. / Uptown Loop Rd.**



**2020 PM Peak Hour Queue Lengths per SimTraffic –  
Indian School Rd. / Uptown Loop Rd.**

## Intersection #6 - I-40 / Louisiana Blvd

The following table provides a summary of the Levels-of-Service / delays associated with each case analyzed in this study:

Intersection: 6 - I-40 Ramps / Louisiana Blvd.

		2020 AM Peak Hour BUILD						2020 PM Peak Hour BUILD						
		(EXIST. GEOM.)			(MIT. GEOM.)			(EXIST. GEOM.)			(MIT. GEOM.)			
		NO BUILD		BUILD	BUILD		NO BUILD		BUILD	BUILD				
		Lanes	LOS-Delay	Lanes	LOS-Delay	Lanes	LOS-Delay	Lanes	LOS-Delay	Lanes	LOS-Delay			
EB	L	2	E - 64.1	2	F - 83.6	3	E - 55.4	L	2	E - 76.0	2	F - 189	3	F - 85.2
	T	1	A - 0.0	1	A - 0.0	1	A - 0.0	T	1	A - 0.0	1	A - 0.0	1	A - 0.0
	R	2	C - 28.4	2	C - 29.6	2	D - 41.0	R	2	C - 21.3	2	C - 24.0	2	C - 27.9
WB	L	2	E - 56.3	2	E - 68.8	2	E - 68.8	L	2	E - 55.2	2	E - 61.8	2	E - 66.7
	T	1	A - 0.0	1	A - 0.0	1	A - 0.0	T	1	A - 0.0	1	A - 0.0	1	A - 0.0
	R	2	F - 98.8	2	F - 298	2	F - 298	R	2	D - 52.3	2	F - 108	2	E - 80.5
NB	L	2	F - 86.3	>	F - 109	>	E - 70.5	L	2	F - 92.6	>	F - 208	>	F - 110
	T	3	C - 33.0	3	D - 42.6	3	C - 33.3	T	3	D - 38.5	3	E - 57.5	3	D - 46.0
	R	1	A - 0.0	1	A - 0.0	1	A - 0.0	R	1	A - 0.0	1	A - 0.0	1	A - 0.0
SB	L	2	E - 57.4	>	E - 63.9	>	E - 63.9	L	2	E - 63.3	>	F - 110	>	E - 62.3
	T	3	D - 46.3	3	D - 42.6	3	C - 32.1	T	3	D - 45.7	3	D - 49.2	3	C - 26.8
	R	1	A - 0.0	1	A - 0.0	1	A - 0.0	R	1	A - 0.0	1	A - 0.0	1	A - 0.0
Intersection:		E - 58.0		F - 89.4		E - 76.2		E - 55.1		F - 110		E - 62.6		

Note: ">" designates a shared right or left turn lane.

Mitigation - Add third eastbound left turn lane (NMDOT).

The I-40 / Louisiana Blvd. intersection is a Single-Point Urban Interchange that was constructed in late 2004 / early 2005. Even though the interchange is only about ten years old, current observation reveals that there is insufficient capacity at the intersection to handle today's traffic demand. Eastbound off-ramp queues frequently extend back onto the main freeway on an almost daily basis. The obvious conclusion is that the interchange was not sufficiently designed and constructed to handle future traffic demand. The subject redevelopment of the Winrock Town Center will certainly increase traffic at the interchange, especially the eastbound left turn movement, the westbound right turn movement, and all southbound movements (left, thru, and right turns). Mitigation of the long delays for the projected NO BUILD and BUILD conditions can be partially accomplished by constructing a third eastbound left turn lane. The New Mexico Department of Transportation (I-40 / Louisiana Interchange On / Off Ramps Reconstruction, CN A300074) is in the process of designing the lane now. The referenced project is projected for 2016 completion.

The results of the queuing analysis for the intersection of I-40 / Louisiana Blvd. are summarized in the following table:

### Queuing Analysis Summary Sheet

Project: Winrock Center Re-population (Indian School Rd. / Pennsylvania St.)  
 Intersection: Interstate 40 / Louisiana Blvd.

<b>2020</b>									
<b>Approach</b>	<b>Left Turns</b>			<b>Thru Movements</b>			<b>Right Turns</b>		
<b>Eastbound</b>	# Lanes	Vol.	Length	# Lanes	Vol.	Length	# Lanes	Vol.	Length
<i>Existing Lane Length</i>	2	966	700	1	0	Cont	1	585	1,000
AM NO BUILD Queue	2	1,024	700	1	0	0	1	620	450
<b>AM BUILD Queue</b>	<b>2</b>	<b>1,255</b>	<b>825</b>	<b>1</b>	<b>0</b>	<b>0</b>	<b>1</b>	<b>620</b>	<b>450</b>
<i>Existing Lane Length</i>	2	1,045	700	1	0	Cont	1	775	1,000
PM NO BUILD Queue	2	1,117	700	1	0	0	1	822	550
<b>PM BUILD Queue</b>	<b>2</b>	<b>1,565</b>	<b>&gt;1,000</b> *	<b>1</b>	<b>0</b>	<b>0</b>	<b>1</b>	<b>822</b>	<b>550</b>
<hr/>									
<b>Westbound</b>	# Lanes	Vol.	Length	# Lanes	Vol.	Length	# Lanes	Vol.	Length
<i>Existing Lane Length</i>	2	199	250	1	0	Cont	2	346	500
AM NO BUILD Queue	2	211	200	1	0	0	2	367	300
<b>AM BUILD Queue</b>	<b>2</b>	<b>211</b>	<b>200</b>	<b>1</b>	<b>0</b>	<b>0</b>	<b>2</b>	<b>459</b>	<b>350</b>
<i>Existing Lane Length</i>	2	128	250	1	0	Cont	2	348	500
PM NO BUILD Queue	2	136	125	1	0	0	2	373	275
<b>PM BUILD Queue</b>	<b>2</b>	<b>136</b>	<b>125</b>	<b>1</b>	<b>0</b>	<b>0</b>	<b>2</b>	<b>550</b>	<b>400</b>
<hr/>									
<b>Northbound</b>	# Lanes	Vol.	Length	# Lanes	Vol.	Length	# Lanes	Vol.	Length
<i>Existing Lane Length</i>	2	443	310	3	367	Cont	1	98	500
AM NO BUILD Queue	2	470	375	3	389	225	1	104	175
<b>AM BUILD Queue</b>	<b>2</b>	<b>470</b>	<b>375</b>	<b>3</b>	<b>482</b>	<b>275</b>	<b>1</b>	<b>104</b>	<b>175</b>
<i>Existing Lane Length</i>	2	617	310	3	943	Cont	1	239	500
PM NO BUILD Queue	2	654	450	3	1,004	475	1	253	325
<b>PM BUILD Queue</b>	<b>2</b>	<b>654</b>	<b>450</b>	<b>3</b>	<b>1,183</b>	<b>550</b>	<b>1</b>	<b>253</b>	<b>325</b>
<hr/>									
<b>Southbound</b>	# Lanes	Vol.	Length	# Lanes	Vol.	Length	# Lanes	Vol.	Length
<i>Existing Lane Length</i>	2	150	320	3	469	Cont	1	560	550
AM NO BUILD Queue	2	159	150	3	497	275	1	594	725
<b>AM BUILD Queue</b>	<b>2</b>	<b>246</b>	<b>225</b>	<b>3</b>	<b>584</b>	<b>325</b>	<b>1</b>	<b>660</b>	<b>800</b>
<i>Existing Lane Length</i>	2	384	320	3	579	Cont	1	1,130	550
PM NO BUILD Queue	2	409	300	3	616	325	1	1,199	>1,000 *
<b>PM BUILD Queue</b>	<b>2</b>	<b>569</b>	<b>400</b>	<b>3</b>	<b>778</b>	<b>375</b>	<b>1</b>	<b>1,334</b>	<b>&gt;1,000</b> *

AM      PM  
 Cycle Length:    **130**      **120**

**NOTE: Queue lengths are in feet.**  
 Calculated Right Turn Queue Lengths can be reduced by 50%  
 to account for right-turns-on-red and right turn overlaps.

The queuing issues at this interchange can only be solved with a total redesign and reconstruction of the interchange.

**Intersection #7 - Target Driveway / Uptown Loop Rd.**

The following table provides a summary of the Levels-of-Service / delays associated with each case analyzed in this study:

**Intersection: 7 - Target Drive / Uptown Loop**

		<u>2020 AM Peak Hour BUILD</u>				<u>2020 PM Peak Hour BUILD</u>				
		<u>(EXIST. GEOM.)</u>				<u>(EXIST. GEOM.)</u>				
		<u>NO BUILD</u>		<u>BUILD</u>		<u>NO BUILD</u>		<u>BUILD</u>		
		<u>Lanes</u>	<u>LOS-Delay</u>	<u>Lanes</u>	<u>LOS-Delay</u>	<u>Lanes</u>	<u>LOS-Delay</u>	<u>Lanes</u>	<u>LOS-Delay</u>	
<b>EB</b>	L	1	B - 10.2	>	C - 15.5	L	1	B - 10.3	>	C - 19.6
	T	1	A - 8.8	1	A - 9.2	T	1	B - 10.3	1	A - 9.1
	R	>	A - 8.8	>	A - 9.2	R	>	B - 10.3	>	A - 9.1
<b>WB</b>	L	1	A - 0.0	1	C - 15.6	L	1	A - 0.0	1	D - 28.2
	T	1	A - 0.0	1	A - 9.0	T	1	A - 0.0	1	B - 10.1
	R	>	A - 0.0	>	A - 9.0	R	>	A - 0.0	>	B - 10.1
<b>NB</b>	L	1	A - 7.6	1	A - 7.9	L	1	B - 10.3	1	A - 7.9
	T	2	A - 0.0	2	A - 0.0	T	2	A - 0.0	2	A - 0.0
	R	>	A - 0.0	>	A - 0.0	R	>	A - 0.0	>	A - 0.0
<b>SB</b>	L	1	A - 7.5	1	A - 7.8	L	1	A - 0.0	1	A - 8.3
	T	2	A - 0.0	2	A - 0.0	T	2	A - 0.0	2	A - 0.0
	R	>	A - 0.0	>	A - 0.0	R	>	A - 0.0	>	A - 0.0
<b>Intersection:</b>		<b>u - 0.9</b>		<b>u - 3.0</b>		<b>u - 1.8</b>		<b>u - 5.2</b>		

Note: ">" designates a shared right or left turn lane.

The intersection of Target Drive / Uptown Loop will be an unsignalized intersection. The analysis of Target Drive / Uptown Loop demonstrates that the intersection will operate at acceptable levels-of-service with acceptable delays for all conditions analyzed in this report as long as the intersection is constructed with the proposed geometry.

**Intersection #8 – Driveway ‘A’ / Louisiana Blvd.**

Driveway “A” is an existing unsignalized right-in, right-out driveway on the east side of Louisiana Blvd. approximately 375 feet south of Uptown Loop Rd. (centerline to centerline). The current methodology of the Highway Capacity Manual for 2010 does not allow for analysis of an unsignalized intersection on a roadway with more than three lanes in each direction. Louisiana Blvd. currently has four lanes northbound and four lanes southbound. Therefore, it cannot be analyzed.

**Intersection #9 – Indian School Rd. / Driveway ‘B’**

Indian School Rd. / Driveway “B” is an existing right-in, right-out driveway next to the existing Garduno’s restaurant. The following table provides a summary of the Levels-of-Service / delays associated with each case analyzed in this study:

**Intersection: 9 - Indian School Rd. / Driveway "B"**

		<u>2020 AM Peak Hour BUILD</u>				<u>2020 PM Peak Hour BUILD</u>				
		(EXIST. GEOM.)				(EXIST. GEOM.)				
		NO BUILD		BUILD		NO BUILD		BUILD		
		Lanes	LOS-Delay	Lanes	LOS-Delay	Lanes	LOS-Delay	Lanes	LOS-Delay	
EB	L	>	A - 0.0	>	A - 0.0	L	>	A - 0.0	>	A - 0.0
	T	2	A - 0.0	2	A - 0.0	T	2	A - 0.0	2	A - 0.0
	R	>	A - 0.0	1	A - 0.0	R	>	A - 0.0	1	A - 0.0
WB	L	>	A - 0.0	>	A - 0.0	L	>	A - 0.0	>	A - 0.0
	T	2	A - 0.0	2	A - 0.0	T	2	A - 0.0	2	A - 0.0
	R	>	A - 0.0	1	A - 0.0	R	>	A - 0.0	1	A - 0.0
NB	L	>	A - 9.5	1	A - 10.0	L	>	B - 13.3	1	C - 16.3
	T	1	A - 0.0	1	A - 0.0	T	1	A - 0.0	1	A - 0.0
	R	1	A - 0.0	>	A - 0.0	R	1	A - 0.0	>	A - 0.0
Intersection:		<b>u - 0.1</b>		<b>u - 0.2</b>		<b>u - 0.5</b>		<b>u - 0.7</b>		

Note: ">" designates a shared right or left turn lane.

Driveway "B" is restricted to right-in, right-out movements only.

The preceding table demonstrates that the projected levels-of-service and associated delays at the intersection of Indian School Rd. / Driveway “B” are satisfactory for all cases analyzed during the 2020 AM Peak Hour period and the 2012 PM Peak Hour period. Therefore, no recommendation is made for the intersection of Indian School Rd. / Driveway “B”.

**Intersection #10 – Indian School Rd / Espanola St.**

The following table provides a summary of the Levels-of-Service / delays associated with each case analyzed in this study:

**Intersection: 10 - Indian School Rd. / Espanola St.**

		<u>2020 AM Peak Hour BUILD</u>				<u>2020 PM Peak Hour BUILD</u>					
		(EXIST. GEOM.)				(EXIST. GEOM.)					
		NO BUILD		BUILD		NO BUILD		BUILD			
		Lanes	LOS-Delay	Lanes	LOS-Delay	Lanes	LOS-Delay	Lanes	LOS-Delay		
EB	L	1	A - 9.4	>	A - 9.9	L	1	A - 9.5	>	A - 9.8	
	T	2	A - 0.0		2	A - 0.0	T	2	A - 0.0	2	A - 0.0
	R	>	A - 0.0	>	A - 0.0	R	>	A - 0.0	>	A - 0.0	
WB	L	1	A - 8.0	>	A - 8.4	L	1	A - 9.9	>	B - 11.9	
	T	2	A - 0.0		2	A - 0.0	T	2	A - 0.0	2	A - 0.0
	R	>	A - 0.0	>	A - 0.0	R	>	A - 0.0	>	A - 0.0	
NB	L	1	C - 18.7	>	D - 32.9	L	1	F - 53.5	>	F - 123.4	
	T		A - 0.0	1	A - 0.0	T	0	A - 0.0	1	A - 0.0	
	R	1	A - 9.3	>	A - 9.7	R	1	B - 11.5	>	B - 13.5	
SB	L	>	B - 13.0	>	C - 15.2	L	>	B - 14.1	>	C - 18.9	
	T	1	B - 13.0	1	C - 15.2	T	1	B - 14.1	1	C - 18.9	
	R	>	B - 13.0	>	C - 15.2	R	>	B - 14.1	>	C - 18.9	
<b>Intersection:</b>		<b>u - 0.8</b>		<b>u - 2.0</b>		<b>u - 1.2</b>		<b>u - 62.1</b>			

Note: ">" designates a shared right or left turn lane.

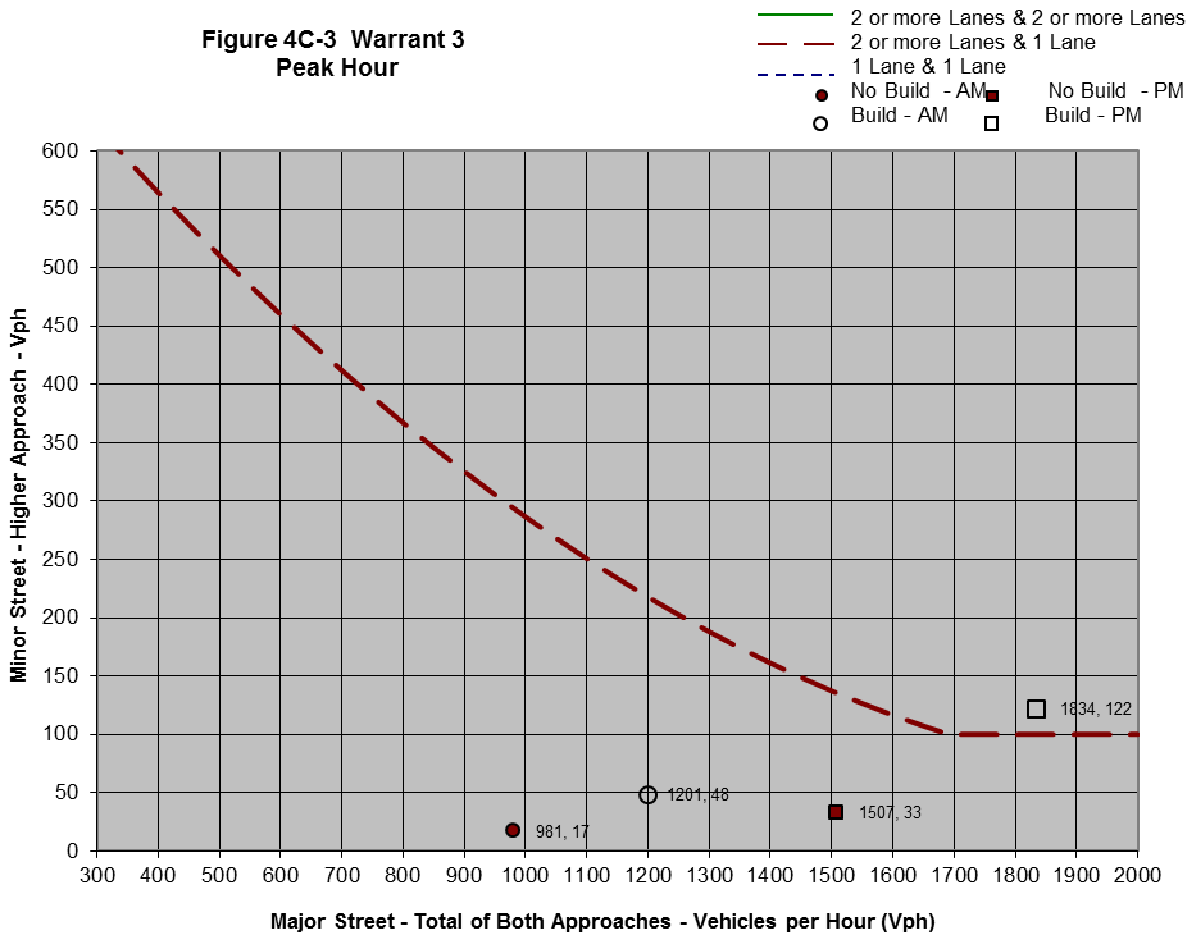
No Mitigation Recommended.

The analysis of Indian School Rd. / Espanola St. demonstrates that the intersection will operate at acceptable levels-of-service with acceptable delays for all conditions analyzed except for the northbound left turn movement which will experience excessive delays during the PM Peak Hour for both the NO BUILD and BUILD conditions. At approximately 50% development, the intersection of Indian School Rd. / Espanola St. will most likely warrant a new traffic signal. At approximately 50% development, vehicles will no longer be able to make left turns onto Indian School Rd. Espanola St. is located approximately 750 feet east of Uptown Loop Rd. (centerline to centerline) and approximately 1,150 feet west of Pennsylvania St. (centerline to centerline). When the intersection is signalized, most of the northbound left turn movements from Driveway "C" will move to this intersection to turn left onto Indian School Rd. at the traffic signal. (See next section of this report).

The following is the graphical representation of the MUTCD's Warrant 3 - Peak Hour Warrant analysis for the intersection of Indian School Rd. / Espanola St. See Appendix Page A-169a for more details.



**Figure 4C-3 Warrant 3  
Peak Hour**



**Intersection #11 – Indian School Rd. / Driveway “C”**

Indian School Rd. / Driveway “C” is a proposed full access unsignalized driveway located at the east side of the existing Toys’R’Us store. It is approximately 475 feet west of Pennsylvania St. and approximately 675 feet east of Espanola St. The following table provides a summary of the Levels-of-Service / delays associated with each case analyzed in this study:

**Intersection: 11 - Indian School Rd. / Driveway "C"**

		<u>2020 AM Peak Hour BUILD</u>				<u>2020 PM Peak Hour BUILD</u>				
		(EXIST. GEOM.)				(EXIST. GEOM.)				
		NO BUILD		BUILD		NO BUILD		BUILD		
		Lanes	LOS-Delay	Lanes	LOS-Delay	Lanes	LOS-Delay	Lanes	LOS-Delay	
EB	L	>	A - 0.0	>	A - 0.0	L	>	A - 0.0	>	A - 0.0
	T	2	A - 0.0	2	A - 0.0	T	2	A - 0.0	2	A - 0.0
	R	>	A - 0.0	>	A - 0.0	R	>	A - 0.0	>	A - 0.0
WB	L	1	A - 8.0	>	A - 8.5	L	1	B - 10.1	>	B - 13.5
	T	2	A - 0.0	2	A - 0.0	T	2	A - 0.0	2	A - 0.0
	R	>	A - 0.0	>	A - 0.0	R	>	A - 0.0	>	A - 0.0
NB	L	1	C - 15.6	>	E - 45.3	L	1	E - 43.7	>	F - 1128
	T		A - 0.0	1	A - 0.0	T	0	A - 0.0	1	A - 0.0
	R	1	A - 9.3	>	B - 10.2	R	1	B - 12.0	>	C - 16.1
Intersection:		<b>u - 0.0</b>		<b>u - 5.4</b>		<b>u - 2.1</b>		<b>u - 78.4</b>		

Note: ">" designates a shared right or left turn lane.

No Mitigation Recommended.

The operation of the proposed Indian School Rd. / Driveway “C” may be problematic during the 2020 AM and PM Peak periods, specifically for the northbound left turning movement at the driveway. It is often the case that a driveway onto a major roadway in Albuquerque will experience long delays for the exiting left turn movement. In this particular case, it is anticipated that the northbound left turn movement will operate satisfactorily most of the day, but will experience long delays during the PM Peak Hour at some point in the future. There will be a signal to the east (Pennsylvania St.) and a signal to the west (Espanola St.) which will create gaps in eastbound and westbound traffic to assist northbound left turn traffic from Driveway “C” in turning onto Indian School Rd., especially during the Peak periods. This study recommends that Driveway “C” be a full access driveway, and suggests that it will be the case that during the PM Peak Hour, many of the vehicles desiring to make the northbound left turn movement onto Indian School Rd. will instead opt to drive over to the signalized access at Indian School Rd. / Espanola St.

**Intersection #12 – Uptown Loop / Driveway “D”**

Driveway “D” is a proposed signalized right-in, right-out, left-out driveway on Uptown Loop Rd. approximately 450 feet east of Louisiana Blvd. that will serve as a primary access to Winrock Town Center off of Uptown Loop Rd. The following table provides a summary of the Levels-of-Service / delays associated with each case analyzed in this study:

**Intersection: 12 - Uptown Loop / Driveway “D”**

		<u>2020 AM Peak Hour BUILD</u>				<u>2020 PM Peak Hour BUILD</u>				
		(EXIST. GEOM.)				(EXIST. GEOM.)				
		NO BUILD		BUILD		NO BUILD		BUILD		
		Lanes	LOS-Delay	Lanes	LOS-Delay	Lanes	LOS-Delay	Lanes	LOS-Delay	
WB	L	2	A - 0.0	2	A - 6.3	L	2	A - 0.0	2	A - 8.0
	R	1	A - 0.0	1	A - 0.0	R	1	A - 0.0	1	A - 0.0
NB	T	2	A - 0.0	2	A - 4.7	T	2	A - 0.0	2	A - 6.5
	R	2	A - 0.0	2	A - 0.0	R	2	A - 0.0	2	A - 0.0
SB	T	2	A - 0.0	2	A - 4.9	T	2	A - 0.0	2	A - 6.3
	R	2	A - 0.0	2	A - 0.0	R	2	A - 0.0	2	A - 0.0
Intersection:		A - 0.0		A - 5.5		A - 0.0		A - 7.2		

Note: ">" designates a shared right or left turn lane.

Driveway "D" is required to be signalized.

The proposed Driveway “D” is projected to operate at satisfactory levels-of-service and delays as a signalized intersection for all cases analyzed in this report. The design of Driveway “D” is rather unique when compared to the other driveways associated with this project. The driveway should be designed with two westbound left turn lanes and one westbound right turn lane. The two eastbound lanes on Driveway “D” will receive traffic from the designated northbound right turn movement on Uptown Loop Rd. as well as from the northbound thru / right turn lane on Uptown Loop Rd. The design of Driveway “D” should comply with the conceptual sketch on page 35.

Driveway “D” was also analyzed as an unsignalized intersection and the results are in the following table.

**Intersection: 12 - Uptown Loop / Driveway "D"**

		<u>2020 AM Peak Hour BUILD</u>				<u>2020 PM Peak Hour BUILD</u>				
		(EXIST. GEOM.)				(EXIST. GEOM.)				
		NO BUILD		BUILD		NO BUILD		BUILD		
		Lanes	LOS-Delay	Lanes	LOS-Delay	Lanes	LOS-Delay	Lanes	LOS-Delay	
WB	L	1	A - 0.0	2	C - 17.6	L	1	A - 0.0	2	F - 261
	R	1	A - 0.0	1	A - 9.0	R	1	A - 0.0	1	B - 10.4
NB	T	2	A - 0.0	2	A - 0.0	T	2	A - 0.0	2	A - 0.0
	R	2	A - 0.0	2	A - 0.0	R	2	A - 0.0	2	A - 0.0
SB	T	2	A - 0.0	2	A - 0.0	T	2	A - 0.0	2	A - 0.0
Intersection:		<b>u - 0.0</b>		<b>u - 7.6</b>		<b>u - 0.0</b>		<b>u - 133</b>		

Note: ">" designates a shared right or left turn lane.

Can only have a single westbound left for an unsignalized Synchro analysis.

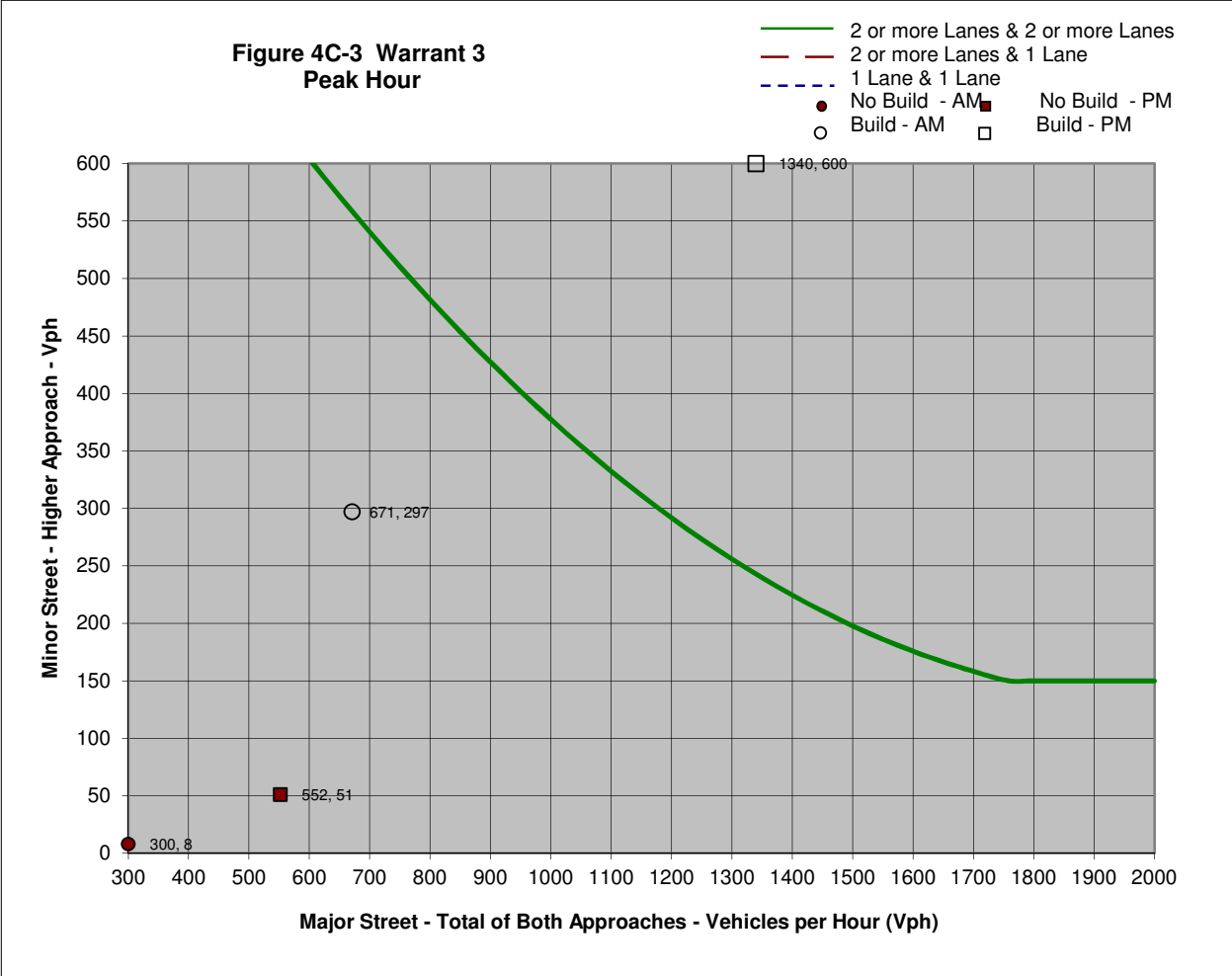
The unsignalized analysis of Driveway "D" demonstrates that the westbound left turn will experience excessive delays during the PM Peak Hour BUILD condition.

It should be noted that the projected westbound left turn movement at this driveway is 289 vehicles per hour during the AM Peak Hour and 675 vehicles per hour during the PM Peak Hour. Therefore, the need for a traffic signal at this location is critical to the operation of the center and the adjacent transportation system.

Also, the signal spacing of approximately 450 feet (centerline to centerline) is of concern to the City of Albuquerque Traffic Operations Division. A micro-simulation of the signals reveal that the westbound queuing on Uptown Loop Rd. at Louisiana Blvd. may queue back almost all the way to the new Driveway "D". Since the signals are closely spaced and the westbound queuing on the Uptown Loop Rd. may be long during the Peak Hour, it is recommended that the signal at Driveway "D" be constructed as a "slave" to the signal at Uptown Loop / Louisiana Blvd.

The signal at Driveway "D" should not be implemented until it can be demonstrated with real traffic volumes (as opposed to forecast volumes) that the intersection does meet the Peak Hour Warrant based on criteria from the Manual On Uniform Traffic Control Devices (current edition).

The following is the graphical representation of the MUTCD's Warrant 3 - Peak Hour Warrant analysis for the intersection of Uptown Loop / Driveway "D". See Appendix Page A-71b for more details.



The analysis in this report suggests that the signalized intersection of Driveway “D” / Uptown Loop Rd. could operate at half cycle length (i.e., one-half of the system cycle length).

## Queueing Analysis Summary Sheet

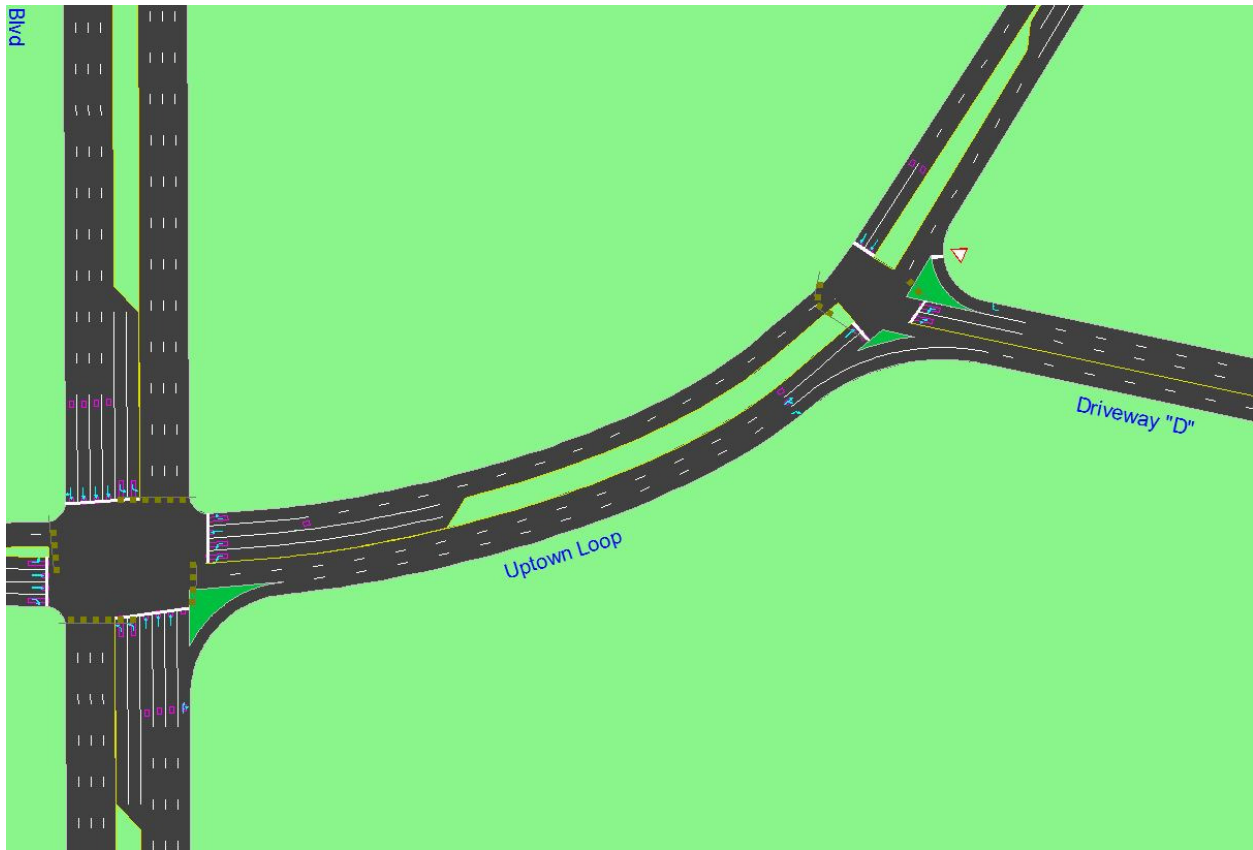
Project: Winrock Center Re-population (Indian School Rd. / Pennsylvania St.)  
 Intersection: Driveway "D" / America's Pky

<b>2020</b>									
<b>Approach</b>	<b>Left Turns</b>			<b>Thru Movements</b>			<b>Right Turns</b>		
<b>Eastbound</b>	# Lanes	Vol.	Length	# Lanes	Vol.	Length	# Lanes	Vol.	Length
<i>Existing Lane Length</i>	0	0	0	0	0	Cont	0	0	0
AM NO BUILD Queue	0	0	0	0	0	0	0	0	0
<b>AM BUILD Queue</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>
<i>Existing Lane Length</i>	0	0	0	0	0	Cont	0	0	0
PM NO BUILD Queue	0	0	0	0	0	0	0	0	0
<b>PM BUILD Queue</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>
<hr/>									
<b>Westbound</b>	# Lanes	Vol.	Length	# Lanes	Vol.	Length	# Lanes	Vol.	Length
<i>Existing Lane Length</i>	2	0	Design	0	0	Cont	1	15	Design
AM NO BUILD Queue	2	0	0	0	0	0	1	16	25
<b>AM BUILD Queue</b>	<b>2</b>	<b>289</b>	<b>150</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>1</b>	<b>16</b>	<b>25</b>
<i>Existing Lane Length</i>	2	0	Design	0	0	Cont	1	96	Design
PM NO BUILD Queue	2	0	0	0	0	0	1	102	100
<b>PM BUILD Queue</b>	<b>2</b>	<b>675</b>	<b>275</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>1</b>	<b>102</b>	<b>100</b>
<hr/>									
<b>Northbound</b>	# Lanes	Vol.	Length	# Lanes	Vol.	Length	# Lanes	Vol.	Length
<i>Existing Lane Length</i>	0	0	0	2	85	Cont	2	19	Design
AM NO BUILD Queue	0	0	0	2	90	75	2	20	25
<b>AM BUILD Queue</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>2</b>	<b>163</b>	<b>100</b>	<b>2</b>	<b>292</b>	<b>150</b>
<i>Existing Lane Length</i>	0	0	0	2	261	Cont	2	67	Design
PM NO BUILD Queue	0	0	0	2	277	125	2	71	50
<b>PM BUILD Queue</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>2</b>	<b>426</b>	<b>175</b>	<b>2</b>	<b>585</b>	<b>225</b>
<hr/>									
<b>Southbound</b>	# Lanes	Vol.	Length	# Lanes	Vol.	Length	# Lanes	Vol.	Length
<i>Existing Lane Length</i>	0	0	0	2	0	Cont	0	115	0
AM NO BUILD Queue	0	0	0	2	0	0	0	122	125
<b>AM BUILD Queue</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>2</b>	<b>94</b>	<b>75</b>	<b>0</b>	<b>122</b>	<b>125</b>
<i>Existing Lane Length</i>	0	0	0	2	0	Cont	0	192	0
PM NO BUILD Queue	0	0	0	2	0	0	0	204	175
<b>PM BUILD Queue</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>2</b>	<b>125</b>	<b>75</b>	<b>0</b>	<b>204</b>	<b>175</b>

**AM**      **PM**  
 Cycle Length:    **65**      **60**

**NOTE: Queue lengths are in feet.**  
 Calculated Right Turn Queue Lengths can be reduced by 50%  
 to account for right-turns-on-red and right turn overlaps.

The westbound left turn lanes should be designed to at least 275 feet plus transition and the northbound right turn lanes should be constructed as previously described and as in the following conceptual sketch.



Note that the northbound outside lane on Louisiana Blvd. turns (free-flow) into an add lane on Uptown Loop Rd., then continues to Driveway "D" where it becomes a designated right turn lane into Driveway "D". The middle lane on Uptown Loop Rd. has the option to turn right into Driveway "D" or continue straight on the Uptown Loop Rd.

## Winrock On-Ramp Analysis

The Winrock On-Ramp Merge Analysis onto I-40 westbound was performed utilizing Highway Capacity Software (HCS) 2010. Utilizing forecast 2020 AM and PM Peak Hour BUILD volumes associated with the Winrock Town Center project, the results were as follows:

2020 AM Peak Hour BUILD Condition – LOS D (34.8 pc / mi / ln)

2020 PM Peak Hour BUILD Condition – LOS D (33.1 pc / mi / ln)

The results of the analysis indicate that the merge operation for the westbound Winrock On-Ramp onto I-40 will operate at acceptable levels-of-service. The percentages of vehicle trips

using the on-ramp will be 20.84% of residential trips, 25.63% of office trips, and 20.00% of commercial trips.

## **Uptown Loop Pedestrian Study Discussion**

The Uptown Pedestrian Study completed by Parametrix dated October 27, 2014 makes several alternative recommendations to improve pedestrian safety and mobility for the Uptown Area. It is not feasible to analyze each and every proposal in the Parametrix Study, nor is it informative. While the Parametrix Study was prepared by a competent Professional Engineer in a professional manner, the scope of the Parametrix Study failed to take into account any traffic generated by future development of the Winrock Center. While some of the recommendations of the study are valid, there are other recommendations that would have been modified had the future Winrock generated traffic been incorporated.

Some of the valid recommendations from the Parametrix Study were those to encourage local traffic to utilize the Loop Rd. rather than the Louisiana Blvd. corridor and / or o the Indian School Rd. corridor. If incorporated and if successful, these measures would likely increase the circulation of traffic on the Loop Rd. It is difficult if not impossible to quantify the increase in the Loop Rd. traffic because 1) we do not at this time know which recommendations of the Parametrix Study might be implemented in the future and 2) it is impossible to quantify the impact of implementing those recommendations. Additionally, the recommendations of the Parametrix Study are questionable since the study did not account for future Winrock Center development which is a substantial volume of traffic.

## **Summary of Deficiencies, Anticipated Impacts, and Recommendations**

The implementation of the proposed Winrock Town Center Masterplan will generate a significant volume of new traffic on the adjacent transportation system and thus, will have a significant impact at some intersections and roadways analyzed in this study. The existing capacity of some of the intersections analyzed in this study is sufficient to accommodate these new volumes of traffic. The projected 2020 BUILD analysis of the signalized and unsignalized intersections demonstrate that they would operate at acceptable levels-of-service with acceptable delays, some requiring improvements to mitigate the increase in delays resulting from the Winrock Town Center Masterplanned Development.

Access to the redeveloped Winrock Center will be from public roadways as summarized in the following list:

- Driveway “A” – a right-in, right-out unsignalized driveway located on the east side of Louisiana Blvd. approximately 375 feet south of Uptown Loop Rd.



- Driveway “B” – a right-in, right-out unsignalized driveway located on the south side of Indian School Rd. approximately 300 feet east of Uptown Loop Rd.
- Espanola St. extension – a full access driveway located as an extension of the existing Espanola St. public roadway. This driveway initially be an unsignalized driveway, but in the future it is anticipated that it will become a signalized intersection.
- Driveway “C” – a full access unsignalized driveway located on the south side of Indian School Rd. approximately 675 feet east of Espanola St.
- Winrock Loop Internal Rd. / Pennsylvania St. – a full access signalized intersection located approximately 1,420 feet south of Indian School Rd. (centerline to centerline).
- Target Driveway / Uptown Loop Rd. – a full access unsignalized driveway located as an extension of the existing Target Driveway located approximately 440 feet south of Indian School Rd. (centerline to centerline).
- Driveway “D” / Uptown Loop Rd. – a right-in, right-out, left-out signalized driveway located approximately 450 feet east of Louisiana Blvd. on Uptown Loop Rd. (Winrock Loop Rd.). This driveway should be designed and constructed to allow right-turns-in from both the outside lane on Uptown Loop Rd. as well as the adjacent thru / right turn lane on Uptown Loop Rd. as generally depicted on page 34 of this report. Additionally, the new signal at Driveway “D” should not be implemented until such time as actual traffic volumes at the intersection can be demonstrated to meet the requirements of the Peak Hour Warrant based on the Manual on Uniform Traffic Control Devices (current edition) and the signal at Driveway “D” should be implemented as a “slave” to the signal at Uptown Loop / Louisiana Blvd.

In all, there are seven access points. The currently existing access driveway off of Pennsylvania approximately 350 feet south of Indian School Rd. (centerline to centerline) will be eliminated from the redevelopment plan.

Recommendations for improvements to the adjacent transportation system include:

**Intersection #1 – Indian School Rd. / Pennsylvania St.** – lengthen northbound left turn lane to 220 feet plus transition.

**Intersection #2 – Winrock Loop / Pennsylvania St.** – extend eastbound left turn lane and northbound left turn lane to 175 feet plus transition or to the maximum length possible (constrained by existing right-of-way / existing structures).

**Intersection # 3 – Uptown Loop Rd. / Louisiana Blvd.** – relocated the existing raised median in the east leg of Uptown Loop Rd. approximately 12 feet to the north. Reconfigure the westbound approach on Uptown Loop Rd. to consist of dual westbound left turn lanes, a single westbound thru lane, and a single westbound right turn lane. Also, configure the outside northbound lane on Louisiana Blvd. at Uptown Loop Rd. to provide a northbound right turn slip ramp type right turn into an add lane. (see diagram on page 34).

**Intersection # 4 – Indian School Rd. / Louisiana Blvd.** – no recommendation

**Intersection # 5 – Indian School Rd. / Uptown Blvd.** – no recommendation

**Intersection # 6 – I-40 / Louisiana Blvd.** – construct third eastbound left turn lane on I-40 eastbound off-ramp (by NM DOT)

**Intersection # 7 – Target Drive / Uptown Loop** – construct an unsignalized driveway to Winrock to align with the existing Target Driveway on the east side of the existing Target Store. The new driveway should be constructed to provide two exiting lanes (a left turn lane and a thru / right turn lane) and one entering lane minimum.

**Intersection # 8 – Driveway “A” / Louisiana Blvd.** – no recommendation. Driveway “A” should remain as a right-in, right-out unsignalized driveway with one entering and one exiting lane. Eastbound traffic after turning into Driveway should be allowed to travel at least three hundred feet before encountering a stop sign or other stop condition.

**Intersection # 9 – Indian School Rd. / Driveway “B”** – no recommendation. Driveway “B” should remain as a right-in, right-out unsignalized driveway with one entering and one exiting lane.

**Intersection # 10 – Indian School Rd. / Espanola** – construct new traffic signal (two phase). The driveway aligned with Espanola Rd. should initially be designed and constructed as an unsignalized intersection with full access except for the restricted northbound thru movement (as per agreement with neighborhood association). At approximately the 50% development level of the Winrock Town Center Masterplanned Redevelopment project, consideration should be given to signalizing the intersection of Indian School Rd. / Espanola St.

**Intersection # 11 – Indian School Rd. / Driveway “C”** – no recommendation. Driveway “C” should be a full access unsignalized driveway.

**Intersection # 12 – Driveway “D” / Uptown Loop** – Driveway “D” should be designed and constructed to be a right-in, right out, left-out signalized driveway. For specific conceptual design parameters, see diagram on page 28. The easterly-bound right turn movements off of Winrock Loop (Uptown Loop) Rd. should be continuous flow from the two outside lanes on the main street. (NOTE: This report recommends that the signal at Driveway “D” could operate at one-half of the system cycle length).

All construction of roadway improvements, driveways, and landscaping, shall preserve adequate sight distances at all existing and proposed intersections and driveways.

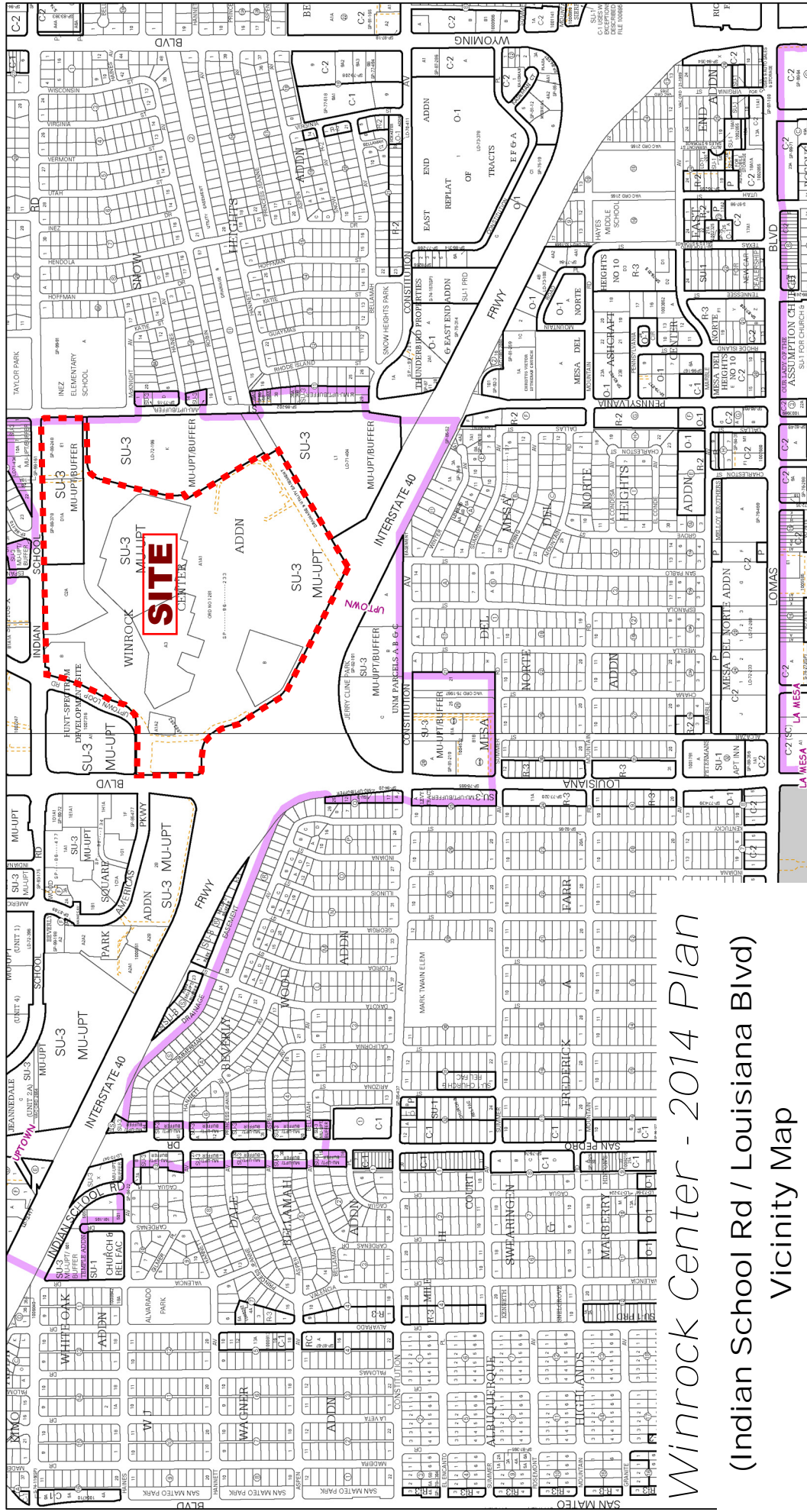
Improvements on City of Albuquerque streets and intersections should comply with requirements of the City of Albuquerque's *Development Process Manual*

**(See graphical depiction of recommendations at back of Appendix – Page A-225)**

## Appendix

<b><u>SITE INFORMATION</u></b>	
Vicinity Map	A – 1
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Traffic Count Data	A-207 thru A-220
Freeway Merge Analysis (I-40 Winrock On-Ramp)	A-221 thru A-224

## APPENDIX



# Winrock Center - 2014 Plan

## (Indian School Rd / Louisiana Blvd)

### Vicinity Map

For more current information and details visit: <http://www.cabq.gov/gis>

**Zone Atlas Pages:**  
J-18-Z & J-19-Z

**Selected Symbols**

- **SECTOR PLANS**
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

Note: Grey Shading  
Represents Area Outside  
of the City Limits



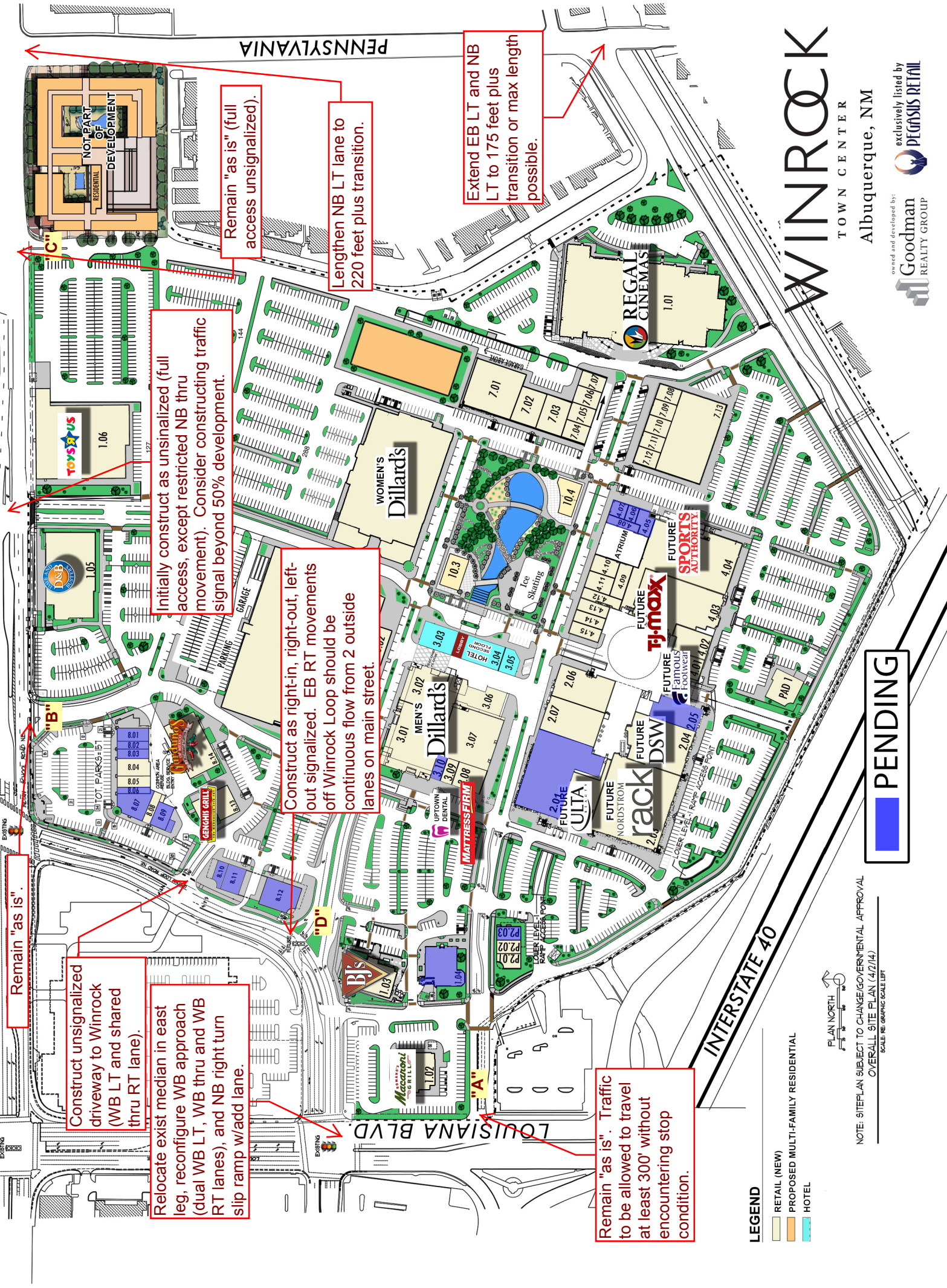
Map amended through: 6/7/2013





Winrock Center - 2014 Plan  
(Indian School Rd / Louisiana Blvd)  
Aerial Map





# WINROCK

TOWN CENTER  
Albuquerque, NM

owned and developed by:  
**Goodman**  
REALTY GROUP

exclusively listed by:  
**PEARSON RETAIL**

PENNSYLVANIA

LOUISIANA BLVD

INTERSTATE 40

Remain "as is".

Relocate exist median in east leg, reconfigure WB approach (dual WB LT, WB thru and WB RT lanes), and NB right turn slip ramp w/add lane.

Construct unsignalized driveway to Winrock (WB LT and shared thru RT lane).

Initially construct as unsignalized (full access, except restricted NB thru movement). Consider constructing traffic signal beyond 50% development.

Remain "as is" (full access unsignalized).

Lengthen NB LT lane to 220 feet plus transition.

Extend EB LT and NB LT to 175 feet plus transition or max length possible.

Construct as right-in, right-out, left-out signalized. EB RT movements off Winrock Loop should be continuous flow from 2 outside lanes on main street.

Remain "as is". Traffic to be allowed to travel at least 300' without encountering stop condition.

PENDING

- LEGEND**
- RETAIL (NEW)
  - PROPOSED MULTI-FAMILY RESIDENTIAL
  - HOTEL

PLAN NORTH

NOTE: SITE PLAN SUBJECT TO CHANGE/GOVERNMENTAL APPROVAL  
OVERALL SITE PLAN (4/7/14)  
SCALE: RE GRAPHIC SCALE LEFT



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## Winrock - 2014 Plan

### Trip Generation Data (ITE Trip Generation Manual - 9th Edition)

COMMENT	USE (ITE CODE)	24 HR VOL	A. M. PEAK HR.		P. M. PEAK HR.		
	DESCRIPTION		GROSS	ENTER	EXIT	ENTER	EXIT
<b>Summary Sheet</b>		Units					
All Sections	Shopping Center (820)	963.84	29,617	385	236	1,312	1,422
Section 1	High Turnover (Sit-Down) Restaurant (932)	47.35	6,020	282	230	280	187
Section 2	High Turnover (Sit-Down) Restaurant (932)	2.00	254	12	10	12	8
Section 3	Medical-Dental Office Building (720)	2.47	-	5	1	3	7
Section 3	Hotel (310)	160.00	1,427	55	40	55	57
Section 8	High Turnover (Sit-Down) Restaurant (932)	39.28	4,994	234	191	232	155
All Sections	Apartment (220)	540	3,396	54	215	205	110
Park	High Turnover (Sit-Down) Restaurant (932)	22.00	2,797	131	107	130	87
Pad 1, Section 4	High Turnover (Sit-Down) Restaurant (932)	6.50	826	39	32	38	26
<b>Subtotal</b>			<b>49,331</b>	<b>1,197</b>	<b>1,062</b>	<b>2,267</b>	<b>2,059</b>
Subtotal Retail Commercial Trips			44,508	1,044	774	1,966	1,859
Subtotal Office Trips			-	5	1	3	7
Subtotal Residential Trips			3,396	54	215	205	110
Hotel Trips			1,427	55	40	55	57
Transit Credit		2%	(987)	(24)	(21)	(45)	(41)
Internal Capture Trips		7%	(3,453)	(84)	(74)	(159)	(144)
Subtotal Trips Adjusted for Internal Capture Rate / Transit			44,891	1,089	967	2,063	1,874
Pass-by Trip Adjustment (Retail Commercial)		30%	(12,151)	(285)	(211)	(537)	(508)
<b>Net Total New Trips to System</b>			<b>32,740</b>	<b>804</b>	<b>756</b>	<b>1,526</b>	<b>1,366</b>
Residential Plus Hotel Trips			4,823	109	255	260	167
Internal Capture / Transit Credits			(434)	(10)	(23)	(23)	(15)
<b>Total Offsite Residential + Hotel Trips</b>			<b>4,389</b>	<b>99</b>	<b>232</b>	<b>237</b>	<b>152</b>
Commercial Plus Office Trips			44,508	1,044	774	1,966	1,859
Internal Capture / Transit Credits			(4,006)	(94)	(70)	(177)	(167)
Total Commercial Trips			40,502	950	704	1,789	1,692
Pass-by Trip Reduction		30%	(12,151)	(285)	(211)	(537)	(508)
<b>Total Commercial Trips (Adjusted for Pass-by Trips)</b>			<b>28,351</b>	<b>665</b>	<b>493</b>	<b>1,252</b>	<b>1,184</b>

# 06 FORM DRWS

**FORM DRWS: DRAINAGE REPORT/GRADING AND DRAINAGE PLAN / WATER & SANITARY SEWER AVAILABILITY**

THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR SUBDIVISIONS AND SITE PLANS.

**PROJECT NAME:** The Lofts @ Winrock

**AGIS MAP #** J-19-Z

**LEGAL DESCRIPTIONS:** Parcel E-1-A Winrock Center Addition

\_\_\_\_\_  
\_\_\_\_\_

X **DRAINAGE REPORT/GRADING AND DRAINAGE PLAN**

A drainage report/grading and drainage plan, as per the Drainage Ordinance, was submitted to the City of Albuquerque Planning Department, Hydrology Division (2<sup>nd</sup> /Ground Floor, Plaza del Sol) on November 30, 2020 (date).

  
\_\_\_\_\_  
Applicant/Agent

December 14, 2020  
Date

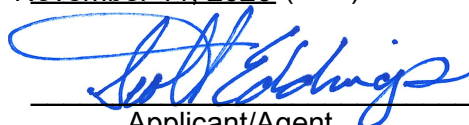
\_\_\_\_\_  
Hydrology Division Representative

\_\_\_\_\_  
Date

**NOTE: A GRADING AND DRAINAGE PLAN MUST BE APPROVED PRIOR TO DRB APPROVAL**

X **WATER AND SEWER AVAILABILITY STATEMENT**

A complete request for Water and Sanitary Sewer Availability was made for this project to the Water Authority (online: [http://www.abcwua.org/Availability\\_Statements.aspx](http://www.abcwua.org/Availability_Statements.aspx)) on November 11, 2020 (date).

  
\_\_\_\_\_  
Applicant/Agent

December 14, 2020  
Date

  
\_\_\_\_\_  
ABCWUA Representative

12/15/2020  
Date

**PROJECT #** \_\_\_\_\_

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

December 9, 2020

Scott Eddings, PE  
Huitt-Zollers Inc.  
333 Rio Rancho Dr NE, Suite 101  
Rio Rancho, NM 87124

**RE: The Lofts at Winrock  
7500 Indian School Road NE  
Conceptual Grading and Drainage Plan  
Engineer's Stamp Date: 11/30/20  
Hydrology File: J19D089**

Dear Mr. Eddings:

PO Box 1293

Based upon the information provided in your submittal received 11/30/2020, the Conceptual Grading & Drainage Plan is approved for action by the DRB on Site Plan for Building Permit.

Albuquerque

If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

NM 87103

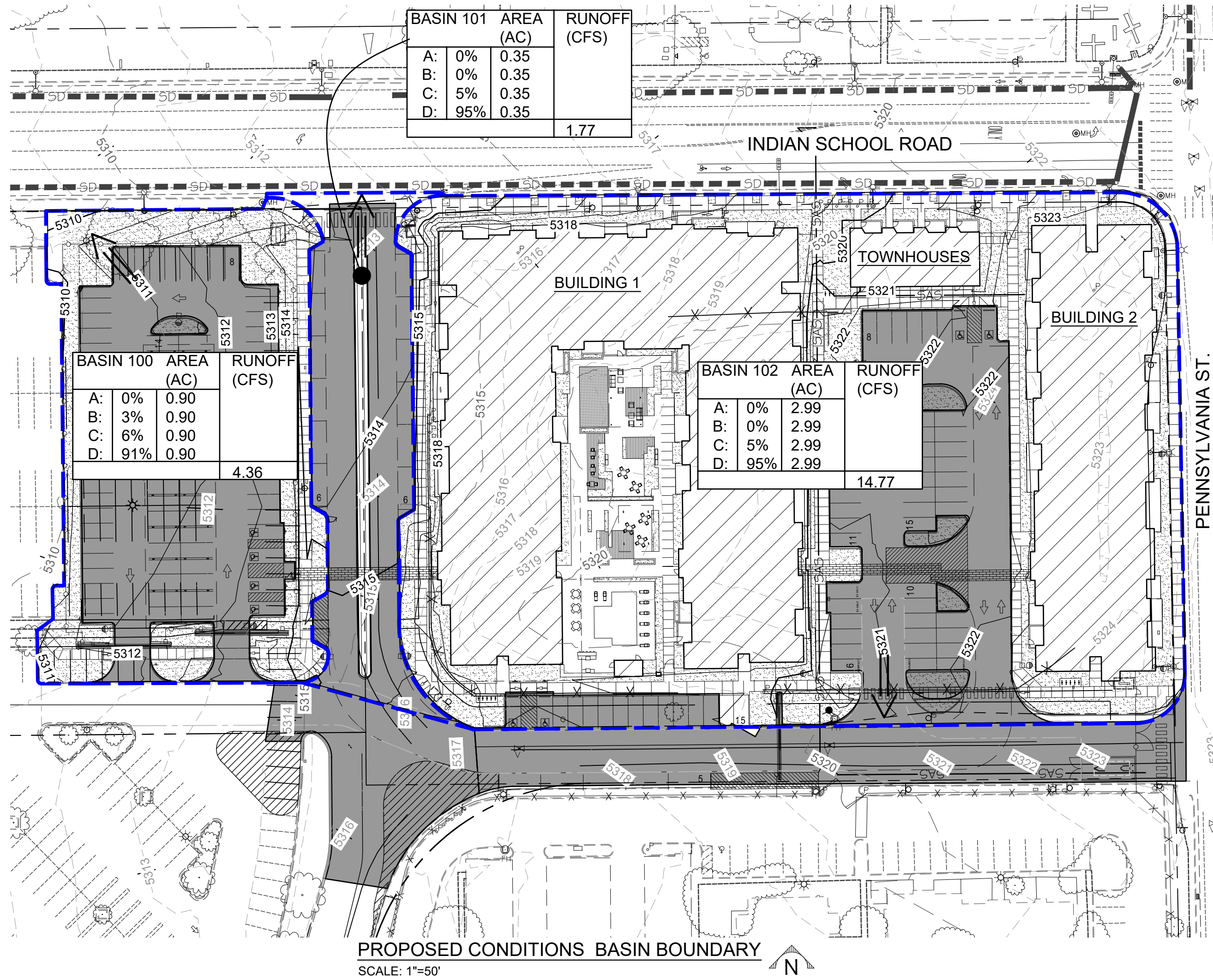
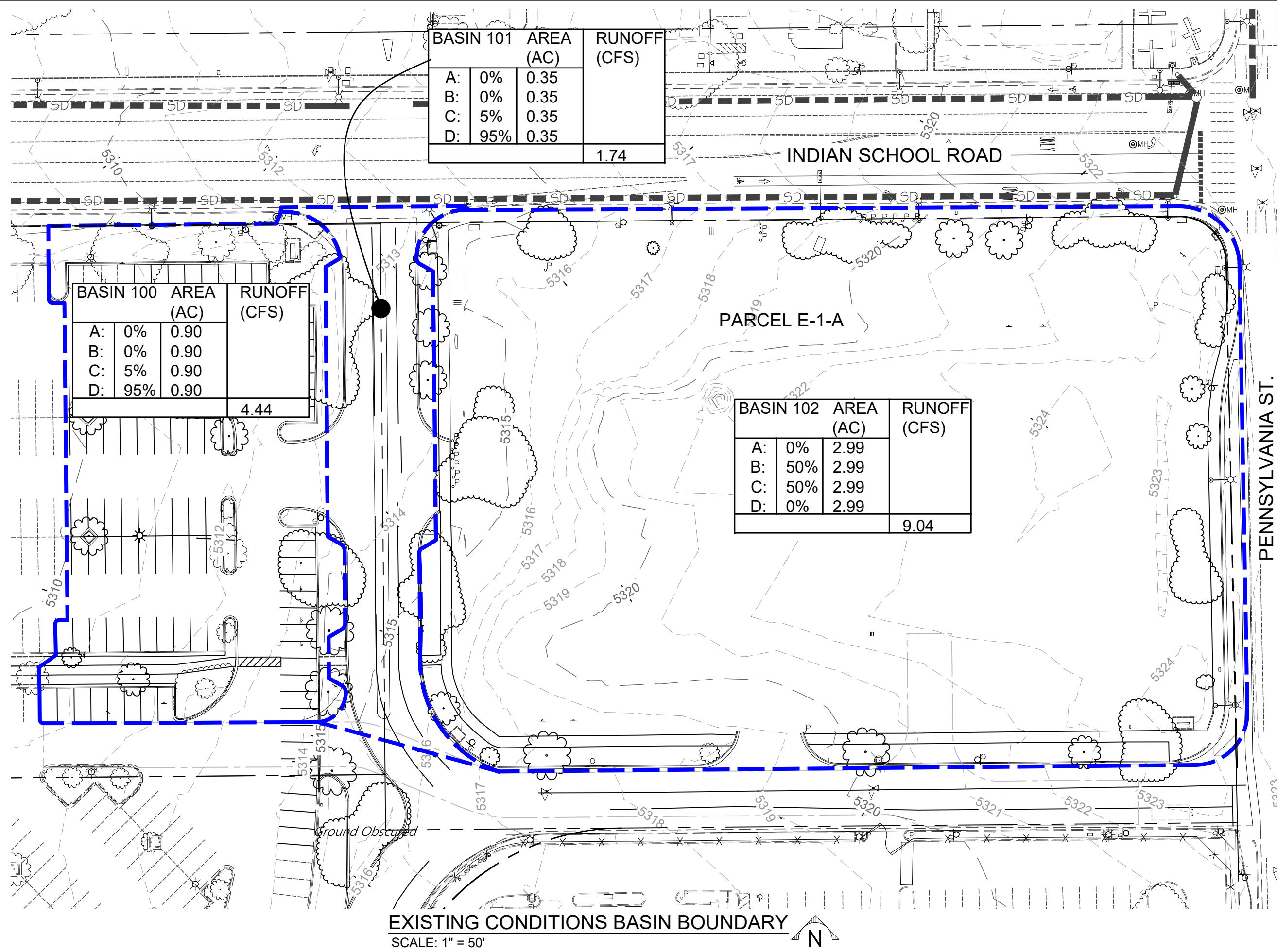
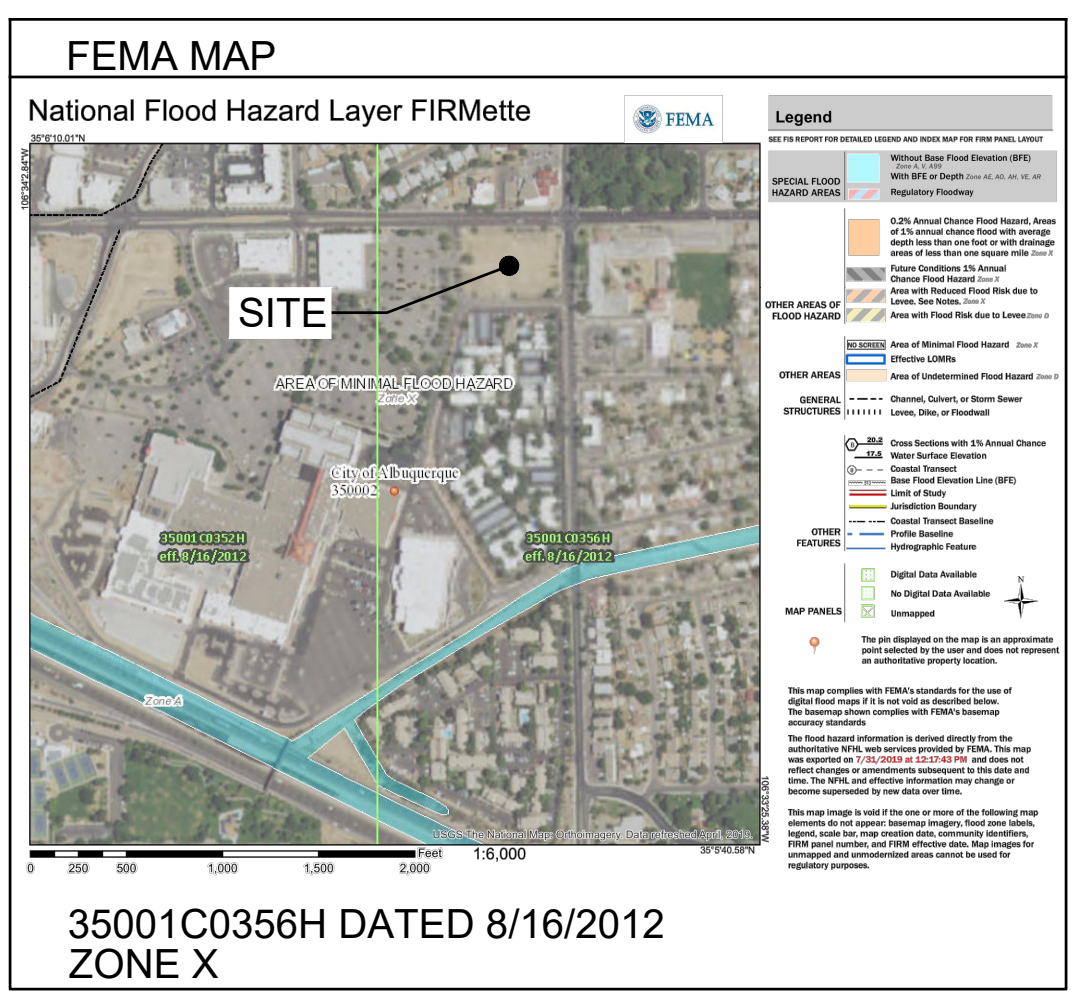
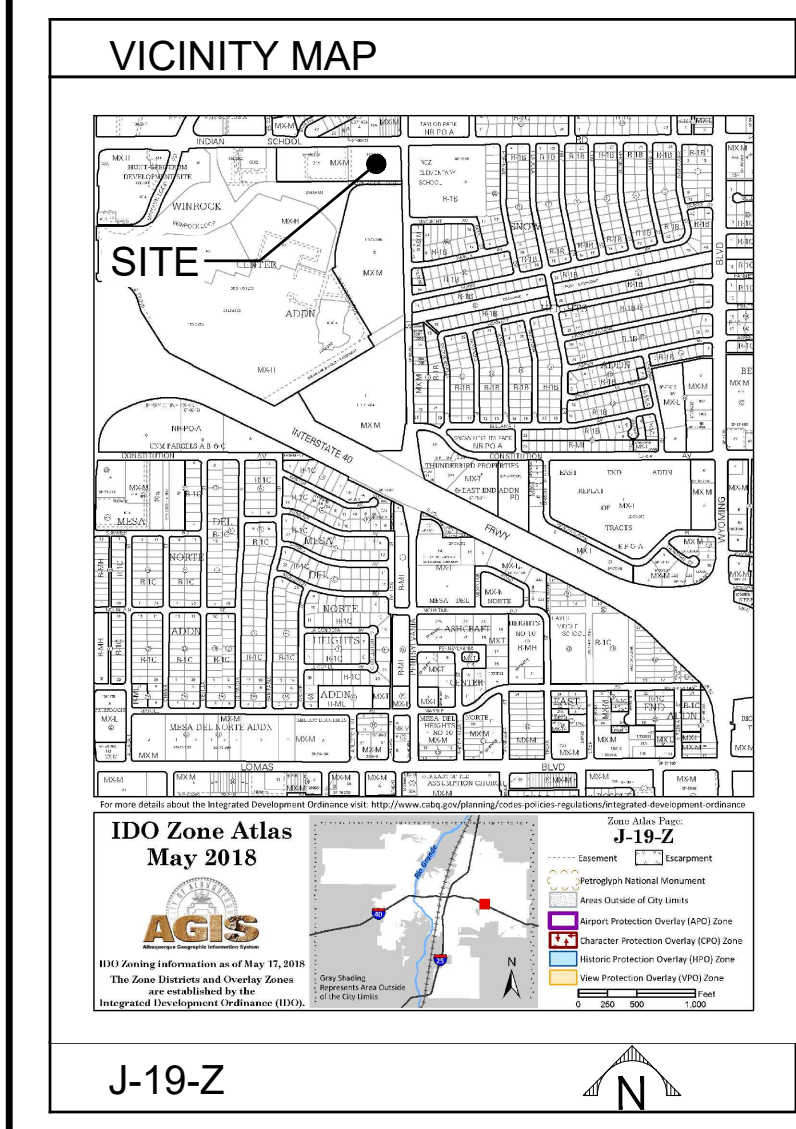
If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department





**INTRODUCTION**  
This drainage report addresses the proposed drainage improvements to support development on Parcel E-1-A.

**FLOOD HAZARD ZONE**  
The site does not lie within a flood zone as shown on Flood Insurance Rate Map Number 35001C0356H, dated August 16, 2012. See Appendix A for the FEMA Flood Insurance Rate Map.

**RELATED REPORTS**  
This report references the Drainage Master Plan for Winrock Town Center (DMP) by Isaacson & Arfman, PA, dated June 26, 2015. The DMP provided analysis for Winrock Town Center plus Parcel D1-A and E-1-A Winrock Center Addition. All hydrology calculations were completed for the 100-year, 6-hour storm. The DMP defines allowable peak flowrates at major analysis points. This drainage study for the Multi-Family project on Parcel E-1-A will utilize hydrology calculations from the DMP.

This report also references the Winrock Town Center Drainage Implementation Plan (DIP) by Huitt-Zollars, Inc., dated May 23, 2019.

**JURISDICTIONS OF PUBLIC AGENCIES**  
This project is located entirely within the City of Albuquerque (CoA) Municipal Limits and is therefore within their jurisdiction and must comply with the City's development requirements.

**METHODOLOGY**  
This drainage report follows procedures outlined in the Development Process Manual, Chapter 22, by City of Albuquerque (DPM). This report will utilize hydrology calculations from the DMP.

**EXISTING CONDITIONS**  
Parcel E-1-A is undeveloped.

Winrock site is a complex of buildings that includes the main mall, a number of outlying restaurants, Chuze, and movie theater. The existing mall building is composed of a number of individual buildings that were closed by an overall structure. The site is approximately 80 acres which is approximately 88% impervious. As previously studied in recent drainage reports, the site has multiple drainage outfalls which are summarized below and shown on Exhibit 1 of the Winrock Town Center Drainage Implementation Plan:

- AP-A - Discharge flowrate = 81.9 CFS
- AP-B - Discharge flowrate = 123.4 CFS
- AP-C - Discharge flowrate = 15.5 CFS
- AP-D - Discharge flowrate = 120.1 CFS
- AP-E - Discharge flowrate = 5.5 CFS
- AP-F - Discharge flowrate = 12.9 CFS
- AP-G - Discharge flowrate = 81.1 CFS

**PROPOSED CONDITIONS**

Construction limits of this project are shown on the Vicinity Map to the left. Basin Maps are shown on this sheet. Existing basins delineated from the DMP are used for this report. This project discharges onto Indian School Road, Analysis Point G (AP-G) of the DMP. AP-G flowrate is 81.1 cfs which includes developed land treatments for this parcel, Parcel E-1-A Winrock Center Addition.

**STORM WATER QUALITY**  
Storm water quality shall be provided within depressed parking islands. Payment-in-Lieu shall be made to the City of Albuquerque for the difference between the required water quality pond capacity and the provided water quality pond capacity.

**STORM WATER QUALITY VOLUME**  
Project Pavements Area = 84,800 sf  
Required Storm Water Quality Volume = 84,800 sf \* (0.26"/12) = **1,838 cf.**

**PUBLIC STORM DRAINAGE INFRASTRUCTURE**  
This project does not require any public drainage infrastructure improvements.

- LEGEND**
- ← DISCHARGE LOCATION
  - FLOW DIRECTION
  - - - BASIN BOUNDARY

**EARTHWORK SUMMARY**

CUT: 4,425 CUBIC YARDS  
FILL: 2,800 CUBIC YARDS  
NET: 1,625 CUBIC YARDS (EXPORT)

Designed By:  
**HUITT-ZOLLARS**  
Huitt-Zollars, Inc. Albuquerque  
6501 Americas Parkway NE, Suite 550  
Albuquerque, New Mexico 87110  
Phone (505) 883-8114 Fax (505) 883-5022

**THE LOFTS @ WINROCK**  
7500 INDIAN SCHOOL ROAD NE  
ALBUQUERQUE, NM

TITLE: **DRAINAGE PLAN**

Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. XXXX.XX Zone Map No. J-19 Sheet C100 Of 3

City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**PRELIMINARY APPROVED**  
DATE: 12/09/20  
BY: *Randy Bernhardt*  
HydroTeam # J19D089  
THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED IN THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.

**AS BUILT INFORMATION**

CONTRACTOR	DATE
WORK DONE BY	DATE
INSPECTOR'S ACCEPTANCE BY	DATE
VERIFICATION BY	DATE
COMPALED BY	DATE
MICRO-FILM INFORMATION	DATE
RECORDED BY	DATE

**BENCH MARKS**

FOUND MONUMENT	"_H19A"
A CITY OF ALBUQUERQUE BRASS DISK SET IN A CONCRETE POST	
0.1 FEET BELOW GROUND LEVEL AND IS STAMPED "1-H19A, 1989"	
X = 1548358.44	
Y = 1493076.47	
ELEVATION IS 5226.611 (NAVD 1988)	

**SURVEY INFORMATION**

FIELD NOTES	DATE
NO.	BY

**ENGINEER'S SEAL**

11/30/20

NO.	DATE	REVISIONS	BY
		DESIGN	

DESIGNED BY: SE DATE: November 30, 2020  
DRAWN BY: LT DATE: November 30, 2020  
DWG NAME: C100.dwg  
CHECKED BY: NY DATE: November 30, 2020



Plotted: 11/30/2020 1:58:11 PM By: Erdings, Scott  
 User: scott.erdings  
 Last Saved: 11/30/2020 1:58:07 PM acaddwg

**DRAINAGE AREA 100**  
 AREA = 39,133 sf  
 AREA = 0.90 ac.

**DRAINAGE ZONE 3**  
 PRECIPITATION: 360 = 2.60 in.  
 1140 = 3.10 in.  
 10day = 4.90 in.

EXCESS PRECIPITATION: PEAK DISCHARGE:

TREATMENT A	0.66 in.	1.87 cfs/ac.
TREATMENT B	0.92 in.	2.60 cfs/ac.
TREATMENT C	1.29 in.	3.45 cfs/ac.
TREATMENT D	2.36 in.	5.02 cfs/ac.

EXISTING CONDITIONS:		PROPOSED CONDITIONS:	
% AREA	% AREA	% AREA	% AREA
TREATMENT A 0%	0.00 ac.	0%	0.00 ac.
TREATMENT B 0%	0.00 ac.	3%	0.03 ac.
TREATMENT C 5%	0.04 ac.	6%	0.05 ac.
TREATMENT D 95%	0.85 ac.	91%	0.82 ac.

**EXISTING EXCESS PRECIPITATION:**

$$\text{Weighted E} = (0.66 \times 0.00) + (0.92 \times 0.00) + (1.29 \times 0.04) + (2.36 \times 0.85) = 2.31 \text{ in.}$$

$$\text{V100-360} = (2.31 \times 0.90) \times 12 = 0.172674 \text{ ac-ft} = 7522 \text{ cf}$$

**EXISTING PEAK DISCHARGE:**

$$Q_{100} = (1.87 \times 0.00) + (2.60 \times 0.00) + (3.45 \times 0.04) + (5.02 \times 0.85) = 4.44 \text{ cfs}$$

**PROPOSED EXCESS PRECIPITATION:**

$$\text{Weighted E} = (0.66 \times 0.00) + (0.92 \times 0.03) + (1.29 \times 0.05) + (2.36 \times 0.82) = 2.25 \text{ in.}$$

$$\text{V100-360} = (2.25 \times 0.90) \times 12 = 0.168639 \text{ ac-ft} = 7346 \text{ cf}$$

$$\text{V100-1440} = (0.17 \times 0.82) \times (3.10 - 2.60) \times 12 = 0.202702 \text{ ac-ft} = 8830 \text{ cf}$$

$$\text{V100-10day} = (0.17 \times 0.82) \times (4.90 - 2.60) \times 12 = 0.325330 \text{ ac-ft} = 14171 \text{ cf}$$

**PROPOSED PEAK DISCHARGE:**

$$Q_{100} = (1.87 \times 0.00) + (2.60 \times 0.03) + (3.45 \times 0.05) + (5.02 \times 0.82) = 4.36 \text{ cfs}$$

**FIRST FLUSH VOLUME: CAPTURE AND MANAGE 0.26" OF RAINFALL**

$$V = 848 \text{ cf}$$

**DRAINAGE BASIN 101**  
 AREA = 15,319 sf  
 AREA = 0.35 ac.

**DRAINAGE ZONE 3**  
 PRECIPITATION: 360 = 2.60 in.  
 1140 = 3.10 in.  
 10day = 4.90 in.

EXCESS PRECIPITATION: PEAK DISCHARGE:

TREATMENT A	0.66 in.	1.87 cfs/ac.
TREATMENT B	0.92 in.	2.60 cfs/ac.
TREATMENT C	1.29 in.	3.45 cfs/ac.
TREATMENT D	2.36 in.	5.02 cfs/ac.

EXISTING CONDITIONS:		PROPOSED CONDITIONS:	
% AREA	% AREA	% AREA	% AREA
TREATMENT A 0%	0.00 ac.	0%	0.00 ac.
TREATMENT B 0%	0.00 ac.	0%	0.00 ac.
TREATMENT C 5%	0.02 ac.	0%	0.00 ac.
TREATMENT D 95%	0.33 ac.	100%	0.35 ac.

**EXISTING EXCESS PRECIPITATION:**

$$\text{Weighted E} = (0.66 \times 0.00) + (0.92 \times 0.00) + (1.29 \times 0.02) + (2.36 \times 0.33) = 2.31 \text{ in.}$$

$$\text{V100-360} = (2.31 \times 0.35) \times 12 = 0.067595 \text{ ac-ft} = 2944 \text{ cf}$$

**EXISTING PEAK DISCHARGE:**

$$Q_{100} = (1.87 \times 0.00) + (2.60 \times 0.00) + (3.45 \times 0.02) + (5.02 \times 0.33) = 1.74 \text{ cfs}$$

**PROPOSED EXCESS PRECIPITATION:**

$$\text{Weighted E} = (0.66 \times 0.00) + (0.92 \times 0.00) + (1.29 \times 0.00) + (2.36 \times 0.35) = 2.36 \text{ in.}$$

$$\text{V100-360} = (2.36 \times 0.35) \times 12 = 0.069163 \text{ ac-ft} = 3013 \text{ cf}$$

$$\text{V100-1440} = (0.07 \times 0.35) \times (3.10 - 2.60) \times 12 = 0.083816 \text{ ac-ft} = 3651 \text{ cf}$$

$$\text{V100-10day} = (0.07 \times 0.35) \times (4.90 - 2.60) \times 12 = 0.136567 \text{ ac-ft} = 5949 \text{ cf}$$

**PROPOSED PEAK DISCHARGE:**

$$Q_{100} = (1.87 \times 0.00) + (2.60 \times 0.00) + (3.45 \times 0.00) + (5.02 \times 0.35) = 1.77 \text{ cfs}$$

**FIRST FLUSH VOLUME: CAPTURE AND MANAGE 0.34" OF RAINFALL**

$$V = 434 \text{ cf}$$

**DRAINAGE BASIN 102**  
 AREA = 130,175 sf  
 AREA = 2.99 ac.

**DRAINAGE ZONE 3**  
 PRECIPITATION: 360 = 2.60 in.  
 1140 = 3.10 in.  
 10day = 4.90 in.

EXCESS PRECIPITATION: PEAK DISCHARGE:

TREATMENT A	0.66 in.	1.87 cfs/ac.
TREATMENT B	0.92 in.	2.60 cfs/ac.
TREATMENT C	1.29 in.	3.45 cfs/ac.
TREATMENT D	2.36 in.	5.02 cfs/ac.

EXISTING CONDITIONS:		PROPOSED CONDITIONS:	
% AREA	% AREA	% AREA	% AREA
TREATMENT A 0%	0.00 ac.	0%	0.00 ac.
TREATMENT B 50%	1.49 ac.	0%	0.00 ac.
TREATMENT C 50%	1.49 ac.	5%	0.15 ac.
TREATMENT D 0%	0.00 ac.	95%	2.84 ac.

**EXISTING EXCESS PRECIPITATION:**

$$\text{Weighted E} = (0.66 \times 0.00) + (0.92 \times 1.49) + (1.29 \times 1.49) + (2.36 \times 0.00) = 1.11 \text{ in.}$$

$$\text{V100-360} = (1.11 \times 2.99) \times 12 = 0.275182 \text{ ac-ft} = 11987 \text{ cf}$$

**EXISTING PEAK DISCHARGE:**

$$Q_{100} = (1.87 \times 0.00) + (2.60 \times 1.49) + (3.45 \times 1.49) + (5.02 \times 0.00) = 9.04 \text{ cfs}$$

**PROPOSED EXCESS PRECIPITATION:**

$$\text{Weighted E} = (0.66 \times 0.00) + (0.92 \times 0.00) + (1.29 \times 0.15) + (2.36 \times 2.84) = 2.31 \text{ in.}$$

$$\text{V100-360} = (2.31 \times 2.99) \times 12 = 0.574397 \text{ ac-ft} = 25021 \text{ cf}$$

$$\text{V100-1440} = (0.57 \times 2.84) \times (3.10 - 2.60) \times 12 = 0.692688 \text{ ac-ft} = 30173 \text{ cf}$$

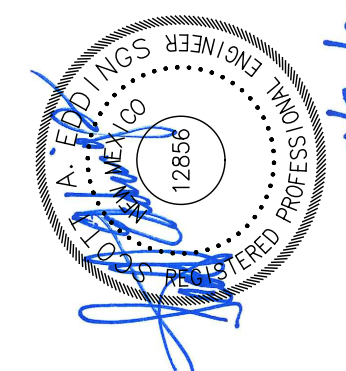
$$\text{V100-10day} = (0.57 \times 2.84) \times (4.90 - 2.60) \times 12 = 1.118536 \text{ ac-ft} = 48723 \text{ cf}$$

**PROPOSED PEAK DISCHARGE:**

$$Q_{100} = (1.87 \times 0.00) + (2.60 \times 0.00) + (3.45 \times 0.15) + (5.02 \times 2.84) = 14.77 \text{ cfs}$$

**FIRST FLUSH VOLUME: CAPTURE AND MANAGE 0.34" OF RAINFALL**

$$V = 3,688 \text{ cf}$$

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	FOUND MONUMENT "L1H19A"	DATE	FIELD NOTES	NO.		REVISIONS DESIGN
WORK ORDER NO.	DATE	A CITY OF ALBUQUERQUE BRASS DISK SET IN A CONCRETE POST	DATE	BY	BY		
INSPECTOR'S ACCEPTANCE BY	DATE	0.1 FEET BELOW GROUND LEVEL AND IS STAMPED "L1H19A, 1989"		DATE: November 30, 2020	DATE: November 30, 2020	DESIGNED BY: SE	DATE: November 30, 2020
VERIFICATION BY	DATE	X = 1548358.44		DWG NAME: C100.dwg	CHECKED BY: NV		
COMPARED BY	DATE	Y = 1483076.47					
MICRO-FILM INFORMATION	DATE	ELEVATION IS 5268.611 (NAVD 1988)					
RECORDED BY	DATE						
NO.							

Designed By:  
**HUITT-ZOLIARS**  
 Huitt-Zollars, Inc. Albuquerque  
 6501 Americas Parkway NE, Suite 550  
 Albuquerque, New Mexico 87110  
 Phone (505) 883-8114 Fax (505) 883-5022



**THE LOFTS @ WINROCK**  
 7500 INDIAN SCHOOL ROAD NE  
 ALBUQUERQUE, NM

TITLE: **HYDROLOGY**

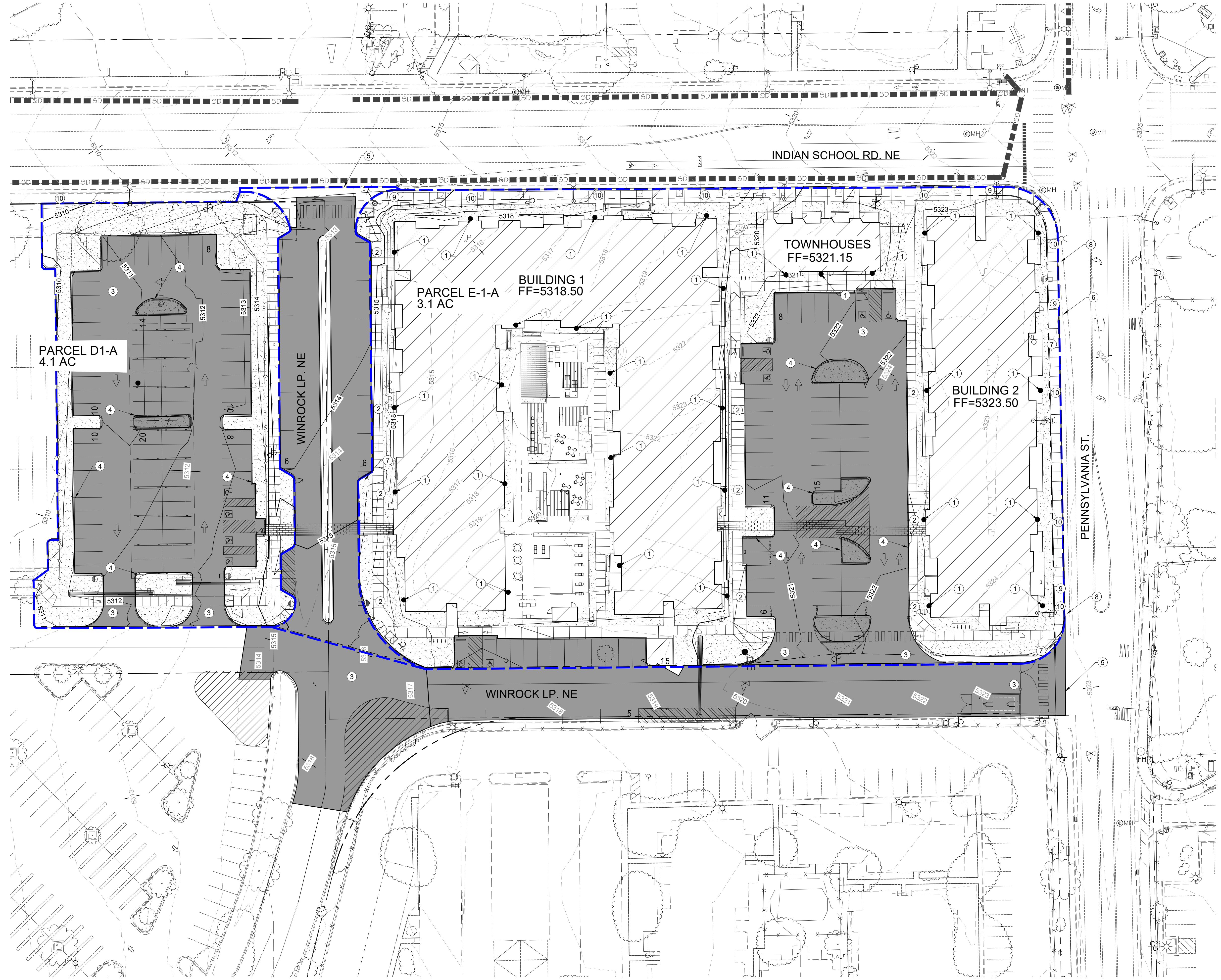
Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. XXXX.XX Zone Map No. J-19 Sheet C101 Of 3

HYDROLOGY - DRB



Plotted: 11/30/2020 1:58:41 PM By: Erdings, Scott  
 User: scott.erdings@cityofalbuquerque.gov  
 Last Saved: 11/30/2020 1:56:07 PM, scott.erdings



- CONSTRUCTION NOTES**
- ① ROOF DRAIN - INSTALL SPLASH BLOCK AND GRADE TO DRAIN
  - ② NEW PRIVATE SIDEWALK CULVERT.
  - ③ NEW PRIVATE PAVEMENT - 3" SP-C ASPHALT.
  - ④ NEW PRIVATE MEDIAN CURB AND GUTTER.
  - ⑤ EXISTING VALLEY GUTTER TO REMAIN.
  - ⑥ REMOVE EXISTING VALLEY GUTTER.
  - ⑦ REMOVE AUXILIARY LANE.
  - ⑧ NEW STANDARD CURB AND GUTTER.
  - ⑨ NEW PUBLIC SIDEWALK.
  - ⑩ NEW PUBLIC SIDEWALK CULVERT.

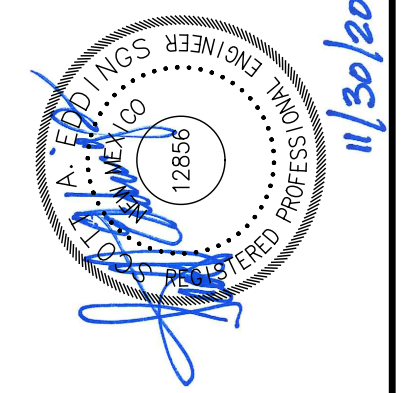
GRADING PLAN  
SCALE: 1"=30'

City of Albuquerque  
 Planning Department  
 Development Review Services  
**HYDROLOGY SECTION**  
**PRELIMINARY APPROVED**  
 DATE: 12/09/20  
 BY: *Renee Brumette*  
 HydroTrans # J19D089  
THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED IN THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.

Designed By:  
**HUITT-ZOLIARS**  
 Huitt-Zoliars, Inc. Albuquerque  
 6501 Americas Parkway NE, Suite 550  
 Albuquerque, New Mexico 87110  
 Phone (505) 883-8114 Fax (505) 883-5022

<b>THE LOFTS @ WINROCK</b>	
7500 INDIAN SCHOOL ROAD NE ALBUQUERQUE, NM	
TITLE: <b>DRB GRADING PLAN</b>	
Design Review Committee	City Engineer
Mo./Day/Yr.	Mo./Day/Yr.
City Project No. XXXX.XX	Zone Map No. J-19
Sheet C102	Of 3

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	FOUND MONUMENT "J1918A"	DATE	FIELD NOTES	NO.	REVISIONS	BY
WORKED BY	DATE	A CITY OF ALBUQUERQUE BRASS DISK SET IN A CONCRETE POST	DATE	BY		DESIGN	
ACCEPTANCE BY	DATE	0.1 FEET BELOWGROUND LEVEL AND IS STAMPED "J-1918A, 1989"	DATE				
VERIFICATION BY	DATE	X = 1548398.44	DATE				
COMPARISON BY	DATE	Y = 1493076.47	DATE				
COMPARISON BY	DATE	ELEVATION IS 5326.611 (NAD 1988)	DATE				
MICRO-FILM INFORMATION	DATE		DATE				
RECORDED BY	DATE		DATE				



HYDROLOGY - DRB



## **07 JUSTIFICATION LETTER**

December 17, 2020

Jolene Wolfley, Chair  
Development Review Board  
600 2nd St NW  
Albuquerque, NM 87102

**RE: Request for a Major Amendment to an Approved Site Development Plan  
The Lofts at Winrock  
7500 Indian School Rd**

Dear Mrs. Wolfley,

This letter is a request for approval of a Major Amendment to an approved Site Development Plan, including a deviation to the minimum ground floor height (5-11(E)(1) and a waiver to the required width of on site pedestrian connections (5-3(D)(3)(b)(4)). This request will facilitate the construction of a new multi-family development within the Winrock Town Center.

The subject site is located at 7500 Indian School Rd, a vacant parcel on the southwest corner of Indian School Rd and Pennsylvania St. The property is zoned Mixed-use Moderate Intensity (MX-M) and is located within the Uptown Urban Center. Per the Albuquerque / Bernalillo County Comprehensive Plan (Comp Plan), Urban Centers incorporate a mix of residential and employment uses and will be more dense than other areas to support activity 18 hours a day. The site is also located within the Winrock Town Center, an 83-acre mixed use development re-designed from the ground up to combine retail, entertainment, office, and hospitality facilities with environmentally responsible development. The Winrock Town Center has a long case history but the most recent governing Site Development Plan was approved in 2018.

This proposed amendment would facilitate a new, upscale four-story multi-family development—the Lofts at Winrock—with approximately 227,000 square feet, proposed to accommodate 199 studio, one-bedroom and two-bedroom apartments, as well as a courtyard, outdoor recreation area, community pool, clubhouse, and a rooftop area for residents. Residential units will be spread over three four-story buildings, two of which are traditional multi-family apartments and one that is classified as a townhouse development that engages Indian School Rd and Pennsylvania St. This use is compatible with existing development on the block and is appropriate for a site within a designated Urban Activity Center. The proposed amendment would make the following amendments in the governing 2018 site development plan as outlined below:

1. **Construction of a new 199-unit multi-family development on the vacant lot located at 7500 Indian School.**

The table below summarizes the changes that would result from the site plan modifications.

Comparison Item	Approved Plan	Proposed AA	Proposed Change	% Change
Total Building Square Footage of Winrock Town Center*	1,212,564 SF	1,439,564 SF	<b>Net Gain 227,000 SF</b>	<b>18.7 % Change</b>
* As the latest 2018 approved plan does not provide overall site information such as square footage and parking, approved square footages are derived from the overall approved square footages listed in the 2012 approved site plan (the latest approved plan that listed site square footages, which approved 1,106,808 sq.ft.) plus the 105,756 sq. ft. of the hotel approved in 2020 (the last AA).				

The requested site improvements outlined above equate to a 18.7 % change and therefore fall within review/approval authority of the DRB. The applicant respectfully requests the approval of this project based on the criteria of **Section 6-6(I)(3) Review and Decision Criteria** for a Site Plan – DRB based on compliance with the following criteria:

**6-6(I)(3)(a) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.**

The property is zoned Mixed-use Moderate Intensity (MX-M) and is located within the Uptown Urban Center, which requires the site to comply with more strenuous building design and pedestrian connection requirements. Due to typical construction standards for multi-family development and unique conditions of the subject site, the applicant is requesting a Deviation, per section 6-4(P) to **Section 5-11(E)(1) Minimum Ground Floor Height as well as a Waiver, per section 14-16-6-6(P), to Section 5-3(D)(3)(b)(4) Pedestrian Connections** as outlined below. The site plan complies with all applicable provisions of the IDO, DPM and other applicable City regulations.

- **6-4(P) DEVIATION to Section 5-11(E)(1) Minimum Ground Floor Height**, which requires the ground floor clear height, defined as the vertical distance of the interior of a ground floor, measured from the slab or top of the sub-floor to the ceiling or the bottom on the exposed support structure for the second floor, of multi-family development within mixed-use zoning districts to be constructed with a minimum height of 10 feet. The required 10-foot height is intended to allow for the ground floor conversion to retail uses. The proposed project will be a multi-family community development with residential apartments, lobbies, and a clubhouse within the ground floor and only the residential units will be facing the public streets. The conversion of these units to retail uses is not anticipated and highly unlikely. The applicant is therefore requesting a deviation to allow a height of 9'-0" rather than 10'-0" for the ground floor. This would allow a more typical ceiling height for proposed residential apartment use.
- **Section 14-16-6-6(P) WAIVER - DRB to Section 5-3(D)(3)(b)(4) Pedestrian Connections**, which requires onsite walkway widths to correlate with the square footage of street facing buildings that contain pedestrian entrances. Since the subject site is surrounded by streets on all sides, this requirement requires all street facing pedestrian walkways to be between 12 and 15 feet in

width. The table below outlines the required walkway widths, the proposed width, and the resulting waiver request:

Proposed Waiver to Pedestrian Walkway Widths			
Street Façade	Required Width	Proposed Width	Requested Waiver
Indian School Rd	15'	8'	7'
Winrock Loop - West	15'	6'	9'
Pennsylvania St	12'	6'	6'
Winrock Loop – South	15'	6'	9'

Compliance with these wide walkway widths is cumbersome on a constrained infill site that is surrounded by streets on all sides. The applicant therefore requests a waiver of 7 feet to the required 15-foot walkway along Indian School Rd, the front property line, to allow a 10-foot-wide walkway along the primary street frontage. The remaining pathways along Pennsylvania St and both segments of Winrock Loop are proposed to be 6 feet in width, requiring a waiver of 6' along Pennsylvania and 9' along both segments of Winrock Loop. The proposed walkway widths either exceed or match the existing facilities. The proposed 10' sidewalk along Indian School Rd exceeds the existing sidewalk width of 6'. The proposed 6' sidewalks along Pennsylvania St and Winrock Loop match the existing 6' sidewalks along those roadways. Given this is a constricted infill site that must also accommodate other requirements such as landscaping and parking, the proposed 6 foot sidewalk will allow us to provide additional amenities including adjacent landscaping, and site furnishings that will increase the overall pedestrian experience and buffer the adjacent residential units. If the sidewalk width were to be increased such amenities could not be included and the sidewalk would be immediately adjacent to ground floor residential units or directly adjacent to car traffic, which creates security and privacy concerns for residents and an imposing experience for pedestrians. The 6 foot width was also used to provide a consistent walking path from the south to the north along Pennsylvania St. The adjacent site to the south has a 6'-0" wide sidewalk.

**6-6(I)(3)(b) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the maximum extent practicable.**

The subject site is an infill site within a designated Urban Center that has existing infrastructure and public improvements that are of adequate capacity to serve the proposed development. The applicant is working with the DRB to determine if an infrastructure list is necessary and will provide required infrastructure as required.

**6-6(I)(3)(c) If the subject property is within an approved Master Development Plan, the Site Plan shall meet any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.**

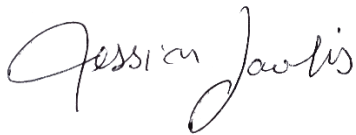
This request is a Major Amendment to the approved Site Development Plan for the Winrock Town Center. The applicant has submitted multiple public records request to obtain all applicable files relevant to this site plan. The latest approved plan, approved in 2018, does not appear to have any additional applicable standards with which the proposed development has to comply.

---

The project team provided all adjacent Neighborhood Associations an opportunity to meet and discuss the proposed amendment prior to this submittal. At the request of the Inez Neighborhood Association, a meeting was held on October 30, 2020 to discuss the proposed project and the requested deviations/waivers. After discussion, the association was generally supportive of the development and had no opposition to the deviations/waivers as requested. A detailed report of the neighborhood concerns and responses are included in the application packet. In addition to the meeting with the Inez Neighborhood Association, the applicant also met with the Board of the New Hope Full Gospel Baptist Church, located directly across the street at 1901 Pennsylvania St NE, Albuquerque, NM 87110 on Dec 3, 2020. The New Hope board expressed no opposition to the request.

Based upon the rationale presented in this letter, we respectfully request approval of the proposed variance to facilitate the development of the Lofts at Winrock. As stated above, this request would add an appropriate use to an underutilized infill parcel in the Uptown area. Upon completion, we feel that this project will contribute to the success of Uptown and further the intent of the IDO and the goals stated in the Comprehensive Plan. If you have any questions or need clarification of anything contained herein, please contact me at (505)761-9700 or [jessical@dpsdesign.org](mailto:jessical@dpsdesign.org).

Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

**08 PROOF OF PRE-APPLICATION MEETING**

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-048 Date: 3-28-2020 Time: 1:30pm

Address: 7500 Indian School Rd. NE

NOTES:

- Duelling Definitions - p. 459. multi-family
- multi-family - permissive use in MXM zone
- locate existing governing site plan:
  - ↳ 1002202-DRB-281 <sup>ams</sup>
  - ↳ 1008660-ERC (2013) <sup>usdp</sup> <sup>amendments</sup> - case tracking layer - go to File Room
- Amendment of Prior approvals - 6-4(Y) - p. 368 (note: prior approvals remain valid - 7-10(A) - p. 4)
- Major or minor amendment - depends if thresholds are met -
  - ↳ see table 6-4-5, p. 367
  - ↳ show math to demonstrate amount of  $\Delta$  from the governing, approved site plan.
- process minor amendments - Staff approval
- major amendments - original, approving body
- Fire - see Fire Marshall office - 5<sup>th</sup> floor
- Solid Waste - East counter - 8-10 am, M-F
- Site plan - DRB 6-6(G) - p. 395 (7500 Dis - multi fam).
  - ↳ DRB will also review for infrastructure
  - ↳ to put a new plan in place
- contact Jeanne Wolfenbarger Re removal of decel lane
- Table 5-1-2, p. 194 - use "UC"
- Design - UC - 5-11(E)(2)(b) - requirements for glazing
- 5-11(E)(1) - 12' min ht ground floor
- variance req - 6-6(N) - p. 412? maybe - to 12' min ht. use Review + Decis Htght.

can be reduced down to 40% - Chief Building Official

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 20-048 Date: 3-25-2020 Time: 1:30pm

Address: 7500 Indran School Rd NE

AGENCY REPRESENTATIVES AT MEETING:

Planning: Catalina Lehner

Code Enforcement: Carl Garcia, ~~Carolee Mason~~

Fire Marshall: \_\_\_\_\_

Transportation: (provided comments)

Other: \_\_\_\_\_

PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY!

THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL..

Additional research may be necessary to determine the exact type of application and/or process needed.

Factors unknown at this time and/or thought of as minor could become significant as the case progresses.

REQUEST: develop an apartment complex (199 units)

SITE INFORMATION:

Zone: MX-M Size: ≈ 3.4 acres

Use: vacant, multi-family Overlay Zone: no

Comp Plan Area Of: Change Comp Plan Corridor: no

Comp Plan Center: Uptown urban center MPOS or Sensitive Lands: no

Parking: Table 5-5-1, p. 229 MR Area: no

Landscaping: 5-6, p 251 Street Trees: 5-6(10), p 258

Use Specific Standards: 4-3(B)(7)-p. 139

Dimensional Standards: Table 5-1-2, p. 194

\*Neighborhood Organization/s: Abby Park NA, Inez NA, Snowheights NA

\*This is preliminary information only. Neighborhood Organization information is only accurate when obtained from the Office of Neighborhood Coordination (ONC) at [www.cabq.gov/neighborhoods/resources](http://www.cabq.gov/neighborhoods/resources).

PROCESS:

Type of Action: ① site plan-DRB or ② amendment ③ variance maybe

Review and Approval Body: ① DRB Is this PRT a requirement? yes

② org approving body or staff

③ variance maybe



Monday March 2, 2020

PRT Comments:

**PA# 20-054**

Transportation comments:

- Closing the curb cut on 8<sup>th</sup> st. can be done through building permit process when they submit a TCL.
- To open a curb cut on Kinley Ave.:
  - o Prepare a sketch ( hand drawn is accepted) and show lot dimensions
  - o Show the desired location of the new curb cut with dimension
  - o Visit one of the transportation engineers so that you CC is approved
  - o Pay at the 8<sup>th</sup> floor

**PA# 20-048**

- Direct access from Indian school rd NE and Pennsylvania St NE is not permitted due to closeness to intersections and the existence of right –turn lane. The sight can use the existing 2 access roads to Winrock town center.
- To remove the deceleration lane from Pennsylvania, please contact the Principal Engineer, Ms. Jeanne Wolfenbarger : 9243991 , [jwolfenbarger@cabq.gov](mailto:jwolfenbarger@cabq.gov)

**PA# 20-057**

- The site can have access from San Antonio dr. and Tennyson St.
- Please consult our Principal engineer: Ms. Jeanne Wolfenbarger : 9243991  
[jwolfenbarger@cabq.gov](mailto:jwolfenbarger@cabq.gov) to see if they need to vacate any land to connect the Tennyson st.?

## **09 PROOF OF NEIGHBORHOOD MEETING**

- A. ONC Response
- B. Proof of Neighborhood Meeting Offer
- C. Meeting Summary

# **09 PROOF OF NEIGHBORHOOD MEETING**

A. ONC Response

**From:** [Corrigan, Delaina L.](#)  
**To:** [Jessica Lewis](#)  
**Subject:** 7500 INDIAN SCHOOL RD NE Public Notice Inquiry  
**Date:** Thursday, November 5, 2020 3:04:21 PM  
**Attachments:** [image001.png](#)  
[image002.png](#)  
[image003.png](#)  
[image004.png](#)  
[image005.png](#)  
[IDOZoneAtlasPage\\_1-19-7.PDF](#)

Dear Applicant,

Please find the neighborhood contact information listed below.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
District 7 Coalition of Neighborhood Associations	Lynne	Martin	lmartin900@aol.com	1531 Espejo NE	Albuquerque	NM	87112	5059804107	5052940435
District 7 Coalition of Neighborhood Associations	David	Haughawout	davidh.d7@comcast.net	2824 Chama Street NE	Albuquerque	NM	87110	5055141965	5058884424
ABQ Park NA	Shirley	Lockyer	shirleylockyer@gmail.com	7501 Sky Court Circle NE	Albuquerque	NM	87110		5057107314
ABQ Park NA	Steve	Randall	srandall52@comcast.net	7424 Arvada NE	Albuquerque	NM	87110		5052648973
Alvarado Park NA	Robert	Habiger	apna87110@gmail.com	PO Box 35704	Albuquerque	NM	87176		
Alvarado Park NA	Darcy	Bushnell	dmc793@gmail.com	PO Box 35704	Albuquerque	NM	87176	5053795335	
Classic Uptown NA	Robert	Lah	robtlah@yahoo.com	2901 Mesilla Street NE	Albuquerque	NM	87110		5058838829
Classic Uptown NA	David	Haughawout	davidh.d7@comcast.net	2824 Chama Street NE	Albuquerque	NM	87110	5055141965	5058884424
Inez NA	Donna	Yetter	donna.yetter3@gmail.com	2111 Hoffman Drive NE	Albuquerque	NM	87110	5055504715	
Inez NA	Maya	Sutton	yemaya@swcp.com	7718 Cutler Avenue NE	Albuquerque	NM	87110		5052478070
Jerry Cline Park NA	Ron	Goldsmith	rongoldsmith@yahoo.com	1216 Alcazar Street NE	Albuquerque	NM	87110		5056630246
Jerry Cline Park NA	Eric	Shirley	ericshirley@comcast.net	900 Grove Street NE	Albuquerque	NM	87110	5052682595	
Mark Twain NA	Barbara	Lohbeck	bardean12@comcast.net	1402 California Street NE	Albuquerque	NM	87110	5052591932	5052540285
Mark Twain NA	Joel	Wooldridge	joel.c.wooldridge@gmail.com	1500 Indiana Street NE	Albuquerque	NM	87110		5053897840
Quigley Park NA	Lisa	Whalen	lisa.whelen@gmail.com	2713 Cardenas Drive NE	Albuquerque	NM	87110		5052770268
Quigley Park NA	Eric	Olivas	eoman505@gmail.com	2708 Valencia Drive NE	Albuquerque	NM	87110		5059344540
Snow Heights NA	Laura	Garcia	laurasmigi@aol.com	1404 Katie Street NE	Albuquerque	NM	87110	5052355858	
Snow Heights NA	Julie	Nielsen	bjdniels@msn.com	8020 Bellamah Avenue NE	Albuquerque	NM	87110	5053622313	5052923989
Winrock South NA	Virginia	Kinney		7110 Constitution Avenue NE	Albuquerque	NM	87110		5053215432
Winrock South NA	John	Kinney		7110 Constitution Avenue NE	Albuquerque	NM	87110		5053215432
Winrock Villas Condo Association	Diane	Rossignol	wvcondos@comcast.net	1601 Pennsylvania Street NE	Albuquerque	NM	87110		5058848280

You will need to e-mail each of the listed contacts and let them know that you are applying for a permit for your project. You can use this online link to find template language if you're not sure what information you need to include in your e-mail. <https://www.cabq.gov/planning/urban-design-development/public-notice>

If your permit application or project requires a neighborhood meeting, you can click on this link to find template language to use in your e-mail notification: <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If you have questions about what type of notification is required for your particular project, please click on the link below to see a table of different types of projects and what notification is required for each: <http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17-Part6.pdf>

Once you have e-mailed the contact individuals in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your permit application and submit it to the Planning Department for approval. PLEASE NOTE: The ONC does not have any jurisdiction over any other aspect of your permit application beyond the neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, or project plans, so we encourage you to contact the Planning Department at: 505-924-3860 or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

**If your permit or project requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.**

Thanks,



*Dalaina L. Carmona*

Senior Administrative Assistant  
Office of Neighborhood Coordination  
Council Services Department  
1 Civic Plaza NW, Suite 9087, 9<sup>th</sup> Floor  
Albuquerque, NM 87102  
505-768-3334  
[dcarmona@cabq.gov](mailto:dcarmona@cabq.gov) or [ONC@cabq.gov](mailto:ONC@cabq.gov)  
Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

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**From:** webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov  
**Sent:** Wednesday, November 04, 2020 4:52 PM  
**To:** Office of Neighborhood Coordination <JESSICAL@DPSDESIGN.ORG>  
**Cc:** Office of Neighborhood Coordination <onc@cabq.gov>  
**Subject:** Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:  
Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name  
JESSICA LAWLIS

Telephone Number  
5056592674

Email Address  
[JESSICAL@DPSDESIGN.ORG](mailto:JESSICAL@DPSDESIGN.ORG)

Company Name  
DPS

Company Address  
7601 Jefferson St

City  
Albuquerque

State  
NM

ZIP  
87109

Legal description of the subject site for this project:  
PARCEL E-1-A REPLAT OF PARCEL A-1-A-1-A-1 & PARCEL E-1-AWINROCK CENTER ADDITION CONT 3.3847 AC

Physical address of subject site:  
7500 INDIAN SCHOOL RD NE ALBUQUERQUE NM 87110

Subject site cross streets:  
Indian School / Pennsylvania

Other subject site identifiers:  
This site is located on the following zone atlas page:  
J-19

=====  
This message has been analyzed by Deep Discovery Email Inspector.

# **09 PROOF OF NEIGHBORHOOD MEETING**

B. Proof of Neighborhood Meeting Offer

## Jessica Lawlis

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**From:** Ewell, Diego <dewell@cabq.gov>  
**Sent:** Thursday, November 12, 2020 9:53 AM  
**To:** Jessica Lawlis  
**Subject:** RE: Property Owners List Request - 7500 Indian School  
**Attachments:** List of Property Owners - 7500 Indian School.docx; Zone Atlas - 7500 Indian School.pdf

Hello again,

I have included the buffer map with 100 Ft. excluding the right of way, also I have included the list of property owners with-in the buffer.

Thank You,



**Diego Ewell**  
senior office assistant  
administration  
o 505.924.3811  
e [dewell@cabq.gov](mailto:dewell@cabq.gov)  
[cabq.gov/planning](http://cabq.gov/planning)

---

**From:** Jessica Lawlis <JessicaL@dpsdesign.org>  
**Sent:** Thursday, November 12, 2020 9:39 AM  
**To:** Ewell, Diego <dewell@cabq.gov>  
**Subject:** Property Owners List Request - 7500 Indian School

### External

Morning Diego,

I'm writing to obtain the list of property owners within 100' of 7500 Indian School, which we need to notify for an DRB request. I've attached the appropriate zone atlas map, are you still the person to reach out to for such a request and if not, can you point me to the appropriate person please.

Thanks,  
Jessica



**Jessica Lawlis**  
Urban Planner  
Dekker/Perich/Sabatini  
505.761.9700 / dpsdesign.org

We're identifying design solutions and [rethinking design](#) for a changed society.

=====

This message has been analyzed by Deep Discovery Email Inspector.



November 12, 2020

**District 7 Coalition of Neighborhood Associations**

David Haughawout  
2824 Chama Street NE  
Albuquerque NM 87110

**RE: Request for Major Amendment to a Previously Approved Site Plan –DRB  
Amendment to the Winrock Town Center Site Plan  
The Lofts at Winrock  
7500 Indian School Rd NE**

Dear Neighborhood Association Representative,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to obtain a Major Amendment to the approved site plan for the Winrock Town Center. In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(C) Pre-submittal Neighborhood Meeting, we are providing you with an opportunity to discuss the DRB application.

The request is for an upscale four-story multi-family development—the Lofts at Winrock—at approximately 227,000 square feet, proposed to accommodate 199 studio, one-bedroom and two-bedroom apartments, as well as a courtyard, outdoor recreation area, community pool, clubhouse, and a rooftop area for residents. Residential units will be spread over three four-story buildings, two of which are traditional multi-family apartments and one that is classified as a townhouse development that engages Indian School Rd and Pennsylvania St. This use is compatible with existing development on the block and is appropriate for a site within a designated Urban Activity Center.

**As of November 2, 2020, a revised Integrated Development Ordinance (IDO) has gone into effect. These updated regulations have resulted in changes to our original request. This project will no longer be required to obtain a variance to the Section 5-11(E)(2)(b) Minimum Ground Floor Glazing as the minimum ground floor glazing standards have been reduced to 30%. Additional changes to procedures have also eliminated the need for us to obtain variances through the ZHE. Instead the deviations to the required Ground Floor Clear Height and the required On-site Pedestrian Connections will now be heard at the DRB hearing.** As part of the site plan approval, the applicant is therefore requesting the following:

- ***A deviation to the Section 5-11(E)(1) Ground Floor Clear Height.*** This section requires the ground floor clear height, defined as “the vertical distance of the interior of a ground floor, measured from the slab or top of the sub-floor to the ceiling or the bottom on the exposed support structure for the second floor” of multi-family development within mixed-use zoning districts to be constructed with a minimum height of 10 feet. The applicant is requesting a deviation of 1 foot to allow a 9-foot ground floor ceiling height that is more on par with typical multi-family construction design.

- **A Waiver to the requirements of Section 5-3(D)(3)(b)(4) On-site Pedestrian Connections.** This section requires on-site walkway widths to correlate with the square footage of street-facing buildings that contain pedestrian entrances. Since the subject site is surrounded by streets on all sides, this requires all street-facing pedestrian walkways to be between 12 and 15 feet in width. The table below outlines the required walkway widths, the proposed width, and the resulting waiver request:

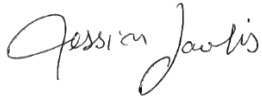
<b>Proposed Variances to Pedestrian Walkway Widths</b>			
<b>Street Façade</b>	<b>Required Width</b>	<b>Proposed Width</b>	<b>Requested Waiver</b>
Indian School Rd	15'	8'	7'
Winrock Loop - West	15'	6'	9'
Pennsylvania St	12'	6'	6'
Winrock Loop – South	15'	6'	9'

Compliance with these wide walkway widths is cumbersome on a constrained infill site that is surrounded by streets on all sides. **The applicant therefore requests a waiver of 7 feet to the required 15-foot walkway along Indian School Rd, the front property line, to allow an 8-foot wide walkway along the primary street frontage. This is a change from the 10-foot width originally discussed and is requested as it allows the proposed sidewalk to be more consistent with the existing 6' sidewalk widths along Indian School and provides additional space for landscape buffers between the street and the residential ground floor units.** The remaining pathways along Pennsylvania St and both segments of Winrock Loop are proposed to be 6 feet in width. All the proposed walkway widths either exceed or match the existing facilities. The proposed 8' sidewalk along Indian School Rd exceeds the existing sidewalk width of 6'. The proposed 6' sidewalks along Pennsylvania St and Winrock Loop match the existing 6' sidewalks along those roadways. Given this is a constrained infill site that must also accommodate other requirements such as landscaping and parking, the proposed 6-foot sidewalk will allow us to provide additional amenities including adjacent landscaping and site furnishings that will increase the overall pedestrian experience and buffer the adjacent residential units. If the sidewalk width were to be increased, such amenities could not be included and the sidewalk would be immediately adjacent to ground floor residential units or directly adjacent to car traffic, which creates security and privacy concerns for residents and an imposing experience for pedestrians. The 6-foot width was also used to provide a consistent walking path from the south to the north along Pennsylvania St. The adjacent site to the south has a 6'-0" wide sidewalk.

**Per the IDO, you have 15 days from the date this letter is mailed, November 12th, 2020, to respond by either (1) requesting a meeting or (2) declining a meeting. If you do not respond within 15 days, you are waiving the opportunity for a neighborhood meeting.** If you would like to request a neighborhood meeting, please contact Jessica Lawlis within the required 15-day period of this mailing date (by Friday, November 27, 2020) at (505)761-9700 or by email at [Jessical@dpsdesign.org](mailto:Jessical@dpsdesign.org).

Enclosed you will find a preliminary site plan and building façade designs exhibits. Please be aware that are still refining our designs and these conditions are subject to minor design changes as the project progresses. Before submitting our application, we will send mailed and/or emailed notice as required by IDO Table 6-1-1 to make you aware of the DRB Meeting date at which time the application will be reviewed and decided on by the City of Albuquerque.

Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

***Attachments: Preliminary Site Plan  
Preliminary Elevations  
Preliminary Sidewalk Exhibits***

November 12, 2020

**District 7 Coalition of Neighborhood Associations**

Lynne Martin  
1531 Espejo NE  
Albuquerque NM 87112

**RE: Request for Major Amendment to a Previously Approved Site Plan –DRB  
Amendment to the Winrock Town Center Site Plan  
The Lofts at Winrock  
7500 Indian School Rd NE**

Dear Neighborhood Association Representative,

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Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

***Attachments: Preliminary Site Plan  
Preliminary Elevations  
Preliminary Sidewalk Exhibits***

[Note: Items with an asterisk (\*) are required.]

## Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request\*: 11/12/2020

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: District 7 Coalition of Neighborhood Associations

Name of NA Representative\*: David Haughawout and Lynne Martin

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: davidh.d7@comcast.net, lmartin900@aol.com

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.<sup>2</sup>

Email address to respond yes or no: [jessical@dpsdesign.org](mailto:jessical@dpsdesign.org)

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location: Meeting must be requested by November 27th, 2020 by 5pm.

### Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 7500 INDIAN SCHOOL RD NE ALBUQUERQUE NM 87110  
Location Description Vacant lot on the southwest corner of Indian School and Pennsylvania
2. Property Owner\* WINROCK PARTNERS LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker/Perich/Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.



[Note: Items with an asterisk (\*) are required.]

- Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: **Deviation to Ground Floor Clear Height** \_\_\_\_\_

Summary of project/request<sup>3\*</sup>:

A major amendment to the approved Winrock Town Center Site Plan to facilitate a 4 story, 199 unit apartment complex.

5. This type of application will be decided by<sup>\*</sup>:  City Staff  
OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE)  Development Review Board (DRB)
  - Landmarks Commission (LC)  Environmental Planning Commission (EPC)
  - City Council
6. Where more information about the project can be found<sup>4\*</sup>:  
Preliminary site plan and elevations are attached to this notification

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)<sup>5</sup> J-19
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant<sup>\*</sup>: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project<sup>\*</sup>:  
 Deviation(s)  Variance(s)  Waiver(s)

Explanation:

A deviation of 1' to the required minimum ground floor height of 10' (5-11(E)(1)) to allow a 9' ground floor clear height. Sidewalk waivers to the required width of on-site pedestrian connections 5-3(D)(3)(b)(4) of 7 feet to the required 15-foot walkway along Indian School Rd to allow a 8-foot wide walkway along the primary street and waivers of 6-9 feet to allow 6-foot wide pathways along Pennsylvania and both segments of Winrock Loop.

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1](#)<sup>\*</sup>:  Yes  No

<sup>3</sup> Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information:**

1. From the IDO Zoning Map<sup>6</sup>:
- a. Area of Property [typically in acres] 3.3847
  - b. IDO Zone District MX-M
  - c. Overlay Zone(s) [if applicable] Uptown Town Center
  - d. Center or Corridor Area [if applicable] \_\_\_\_\_
2. Current Land Use(s) [vacant, if none] Vacant
- \_\_\_\_\_

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: District 7 Coalition of Neighborhood Associations [Other Neighborhood Associations, if any]  
ABQ Park NA  
Alvarado Park NA  
Classic Uptown NA  
Inez NA  
Jerry Cline Park NA  
Mark Twain NA  
Quigley Park NA  
Snow Heights NA  
Winrock South NA  
Winrock Villas Condo Association

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

November 12, 2020

**ABQ Park NA**

Shirley Lockyer  
7501 Sky Court Circle NE  
Albuquerque NM 87110

**RE: Request for Major Amendment to a Previously Approved Site Plan –DRB  
Amendment to the Winrock Town Center Site Plan  
The Lofts at Winrock  
7500 Indian School Rd NE**

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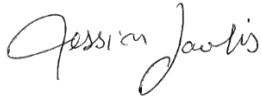
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Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

***Attachments: Preliminary Site Plan  
Preliminary Elevations  
Preliminary Sidewalk Exhibits***

November 12, 2020

**ABQ Park NA**

Steve Randall  
7424 Arvada NE  
Albuquerque NM 87110

**RE: Request for Major Amendment to a Previously Approved Site Plan –DRB  
Amendment to the Winrock Town Center Site Plan  
The Lofts at Winrock  
7500 Indian School Rd NE**

Dear Neighborhood Association Representative,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to obtain a Major Amendment to the approved site plan for the Winrock Town Center. In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(C) Pre-submittal Neighborhood Meeting, we are providing you with an opportunity to discuss the DRB application.

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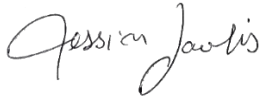
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Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

***Attachments: Preliminary Site Plan  
Preliminary Elevations  
Preliminary Sidewalk Exhibits***



[Note: Items with an asterisk (\*) are required.]

## Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request\*: 11/12/2020

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

ABQ Park NA

Neighborhood Association (NA)\*: \_\_\_\_\_

Name of NA Representative\*: Shirely Lockyer and Steve Randall

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: shirleylockyer@gmail.com, srandall52@comcast.net

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.<sup>2</sup>

Email address to respond yes or no: [jessical@dpsdesign.org](mailto:jessical@dpsdesign.org)

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location: Meeting must be requested by November 27th, 2020 by 5pm.

### Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 7500 INDIAN SCHOOL RD NE ALBUQUERQUE NM 87110  
Location Description Vacant lot on the southwest corner of Indian School and Pennsylvania
2. Property Owner\* WINROCK PARTNERS LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker/Perich/Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (\*) are required.]

- Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: **Deviation to Ground Floor Clear Height** \_\_\_\_\_

Summary of project/request<sup>3\*</sup>:

A major amendment to the approved Winrock Town Center Site Plan to facilitate a 4 story, 199 unit apartment complex.

5. This type of application will be decided by<sup>\*</sup>:  City Staff  
OR at a public meeting or hearing by:  
 Zoning Hearing Examiner (ZHE)  Development Review Board (DRB)  
 Landmarks Commission (LC)  Environmental Planning Commission (EPC)  
 City Council
6. Where more information about the project can be found<sup>4\*</sup>:  
Preliminary site plan and elevations are attached to this notification

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)<sup>5\*</sup> J-19
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant<sup>\*</sup>: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project<sup>\*</sup>:  
 Deviation(s)  Variance(s)  Waiver(s)

Explanation:

A deviation of 1' to the required minimum ground floor height of 10' (5-11(E)(1)) to allow a 9' ground floor clear height. Sidewalk waivers to the required width of on-site pedestrian connections 5-3(D)(3)(b)(4) of 7 feet to the required 15-foot walkway along Indian School Rd to allow a 8-foot wide walkway along the primary street and waivers of 6-9 feet to allow 6-foot wide pathways along Pennsylvania and both segments of Winrock Loop.

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1](#)<sup>\*</sup>:  Yes  No

<sup>3</sup> Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information:**

1. From the IDO Zoning Map<sup>6</sup>:
- a. Area of Property [typically in acres] 3.3847
  - b. IDO Zone District MX-M
  - c. Overlay Zone(s) [if applicable] Uptown Town Center
  - d. Center or Corridor Area [if applicable] \_\_\_\_\_
2. Current Land Use(s) [vacant, if none] Vacant
- \_\_\_\_\_

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: District 7 Coalition of Neighborhood Associations [Other Neighborhood Associations, if any]  
ABQ Park NA  
Alvarado Park NA  
Classic Uptown NA  
Inez NA  
Jerry Cline Park NA  
Mark Twain NA  
Quigley Park NA  
Snow Heights NA  
Winrock South NA  
Winrock Villas Condo Association

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

November 12, 2020

**Alvarado Park NA**

Robert Habiger  
PO Box 35704  
Albuquerque NM 87176

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Amendment to the Winrock Town Center Site Plan  
The Lofts at Winrock  
7500 Indian School Rd NE**

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Agent for Goodman Realty Group

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Preliminary Elevations  
Preliminary Sidewalk Exhibits***

November 12, 2020

**Alvarado Park NA**

Darcy Bushnell  
PO Box 35704  
Albuquerque NM 87176

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Agent for Goodman Realty Group

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Preliminary Sidewalk Exhibits***

[Note: Items with an asterisk (\*) are required.]

## Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request\*: 11/12/2020

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Alvarado Park NA

Name of NA Representative\*: Robert Habiger and Darcey Bushnell

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: apna87110@gmail.com, dmc793@gmail.com

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.<sup>2</sup>

Email address to respond yes or no: [jessical@dpsdesign.org](mailto:jessical@dpsdesign.org)

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location: Meeting must be requested by November 27th, 2020 by 5pm.

### Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 7500 INDIAN SCHOOL RD NE ALBUQUERQUE NM 87110  
Location Description Vacant lot on the southwest corner of Indian School and Pennsylvania
2. Property Owner\* WINROCK PARTNERS LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker/Perich/Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (\*) are required.]

- Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: **Deviation to Ground Floor Clear Height** \_\_\_\_\_

Summary of project/request<sup>3\*</sup>:

A major amendment to the approved Winrock Town Center Site Plan to facilitate a 4 story, 199 unit apartment complex.

5. This type of application will be decided by<sup>\*</sup>:  City Staff  
OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE)  Development Review Board (DRB)
  - Landmarks Commission (LC)  Environmental Planning Commission (EPC)
  - City Council
6. Where more information about the project can be found<sup>4\*</sup>:  
Preliminary site plan and elevations are attached to this notification

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)<sup>5\*</sup> J-19
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant<sup>\*</sup>: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project<sup>\*</sup>:  
 Deviation(s)  Variance(s)  Waiver(s)

Explanation:

A deviation of 1' to the required minimum ground floor height of 10' (5-11(E)(1)) to allow a 9' ground floor clear height. Sidewalk waivers to the required width of on-site pedestrian connections 5-3(D)(3)(b)(4) of 7 feet to the required 15-foot walkway along Indian School Rd to allow a 8-foot wide walkway along the primary street and waivers of 6-9 feet to allow 6-foot wide pathways along Pennsylvania and both segments of Winrock Loop.

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1](#)<sup>\*</sup>:  Yes  No

<sup>3</sup> Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information:**

1. From the IDO Zoning Map<sup>6</sup>:
- a. Area of Property [typically in acres] 3.3847
  - b. IDO Zone District MX-M
  - c. Overlay Zone(s) [if applicable] Uptown Town Center
  - d. Center or Corridor Area [if applicable] \_\_\_\_\_
2. Current Land Use(s) [vacant, if none] Vacant
- \_\_\_\_\_

**Useful Links**

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<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: District 7 Coalition of Neighborhood Associations [Other Neighborhood Associations, if any]  
ABQ Park NA  
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Classic Uptown NA  
Inez NA  
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Mark Twain NA  
Quigley Park NA  
Snow Heights NA  
Winrock South NA  
Winrock Villas Condo Association

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November 12, 2020

**Classic Uptown NA**

Robert Lah  
2901 Mesilla Street NE  
Albuquerque NM 87110

**RE: Request for Major Amendment to a Previously Approved Site Plan –DRB  
Amendment to the Winrock Town Center Site Plan  
The Lofts at Winrock  
7500 Indian School Rd NE**

Dear Neighborhood Association Representative,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to obtain a Major Amendment to the approved site plan for the Winrock Town Center. In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(C) Pre-submittal Neighborhood Meeting, we are providing you with an opportunity to discuss the DRB application.

The request is for an upscale four-story multi-family development—the Lofts at Winrock—at approximately 227,000 square feet, proposed to accommodate 199 studio, one-bedroom and two-bedroom apartments, as well as a courtyard, outdoor recreation area, community pool, clubhouse, and a rooftop area for residents. Residential units will be spread over three four-story buildings, two of which are traditional multi-family apartments and one that is classified as a townhouse development that engages Indian School Rd and Pennsylvania St. This use is compatible with existing development on the block and is appropriate for a site within a designated Urban Activity Center.

**As of November 2, 2020, a revised Integrated Development Ordinance (IDO) has gone into effect. These updated regulations have resulted in changes to our original request. This project will no longer be required to obtain a variance to the Section 5-11(E)(2)(b) Minimum Ground Floor Glazing as the minimum ground floor glazing standards have been reduced to 30%. Additional changes to procedures have also eliminated the need for us to obtain variances through the ZHE. Instead the deviations to the required Ground Floor Clear Height and the required On-site Pedestrian Connections will now be heard at the DRB hearing.** As part of the site plan approval, the applicant is therefore requesting the following:

- ***A deviation to the Section 5-11(E)(1) Ground Floor Clear Height.*** This section requires the ground floor clear height, defined as “the vertical distance of the interior of a ground floor, measured from the slab or top of the sub-floor to the ceiling or the bottom on the exposed support structure for the second floor” of multi-family development within mixed-use zoning districts to be constructed with a minimum height of 10 feet. The applicant is requesting a deviation of 1 foot to allow a 9-foot ground floor ceiling height that is more on par with typical multi-family construction design.

- **A Waiver to the requirements of Section 5-3(D)(3)(b)(4) On-site Pedestrian Connections.** This section requires on-site walkway widths to correlate with the square footage of street-facing buildings that contain pedestrian entrances. Since the subject site is surrounded by streets on all sides, this requires all street-facing pedestrian walkways to be between 12 and 15 feet in width. The table below outlines the required walkway widths, the proposed width, and the resulting waiver request:

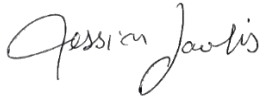
<b>Proposed Variances to Pedestrian Walkway Widths</b>			
<b>Street Façade</b>	<b>Required Width</b>	<b>Proposed Width</b>	<b>Requested Waiver</b>
Indian School Rd	15'	8'	7'
Winrock Loop - West	15'	6'	9'
Pennsylvania St	12'	6'	6'
Winrock Loop – South	15'	6'	9'

Compliance with these wide walkway widths is cumbersome on a constrained infill site that is surrounded by streets on all sides. **The applicant therefore requests a waiver of 7 feet to the required 15-foot walkway along Indian School Rd, the front property line, to allow an 8-foot wide walkway along the primary street frontage. This is a change from the 10-foot width originally discussed and is requested as it allows the proposed sidewalk to be more consistent with the existing 6' sidewalk widths along Indian School and provides additional space for landscape buffers between the street and the residential ground floor units.** The remaining pathways along Pennsylvania St and both segments of Winrock Loop are proposed to be 6 feet in width. All the proposed walkway widths either exceed or match the existing facilities. The proposed 8' sidewalk along Indian School Rd exceeds the existing sidewalk width of 6'. The proposed 6' sidewalks along Pennsylvania St and Winrock Loop match the existing 6' sidewalks along those roadways. Given this is a constrained infill site that must also accommodate other requirements such as landscaping and parking, the proposed 6-foot sidewalk will allow us to provide additional amenities including adjacent landscaping and site furnishings that will increase the overall pedestrian experience and buffer the adjacent residential units. If the sidewalk width were to be increased, such amenities could not be included and the sidewalk would be immediately adjacent to ground floor residential units or directly adjacent to car traffic, which creates security and privacy concerns for residents and an imposing experience for pedestrians. The 6-foot width was also used to provide a consistent walking path from the south to the north along Pennsylvania St. The adjacent site to the south has a 6'-0" wide sidewalk.

**Per the IDO, you have 15 days from the date this letter is mailed, November 12th, 2020, to respond by either (1) requesting a meeting or (2) declining a meeting. If you do not respond within 15 days, you are waiving the opportunity for a neighborhood meeting.** If you would like to request a neighborhood meeting, please contact Jessica Lawlis within the required 15-day period of this mailing date (by Friday, November 27, 2020) at (505)761-9700 or by email at [Jessical@dpsdesign.org](mailto:Jessical@dpsdesign.org).

Enclosed you will find a preliminary site plan and building façade designs exhibits. Please be aware that are still refining our designs and these conditions are subject to minor design changes as the project progresses. Before submitting our application, we will send mailed and/or emailed notice as required by IDO Table 6-1-1 to make you aware of the DRB Meeting date at which time the application will be reviewed and decided on by the City of Albuquerque.

Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

***Attachments: Preliminary Site Plan  
Preliminary Elevations  
Preliminary Sidewalk Exhibits***

November 12, 2020

**Classic Uptown NA**

David Haughawout  
2824 Chama Street NE  
Albuquerque NM 87110

**RE: Request for Major Amendment to a Previously Approved Site Plan –DRB  
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The Lofts at Winrock  
7500 Indian School Rd NE**

Dear Neighborhood Association Representative,

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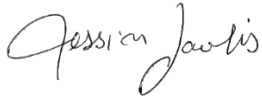
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Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

***Attachments: Preliminary Site Plan  
Preliminary Elevations  
Preliminary Sidewalk Exhibits***

[Note: Items with an asterisk (\*) are required.]

## Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request\*: 11/12/2020

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Classic Uptown NA

Neighborhood Association (NA)\*: \_\_\_\_\_

Name of NA Representative\*: Robert Lah and David Haughawout  
\_\_\_\_\_

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: robtlah@yahoo.com, davidh.d7@comcast.net

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.<sup>2</sup>

Email address to respond yes or no: [jessical@dpsdesign.org](mailto:jessical@dpsdesign.org)

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location: Meeting must be requested by November 27th, 2020 by 5pm.

### Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 7500 INDIAN SCHOOL RD NE ALBUQUERQUE NM 87110  
Location Description Vacant lot on the southwest corner of Indian School and Pennsylvania
2. Property Owner\* WINROCK PARTNERS LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker/Perich/Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

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[Note: Items with an asterisk (\*) are required.]

- Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: **Deviation to Ground Floor Clear Height** \_\_\_\_\_

Summary of project/request<sup>3\*</sup>:

A major amendment to the approved Winrock Town Center Site Plan to facilitate a 4 story, 199 unit apartment complex.

5. This type of application will be decided by<sup>\*</sup>:  City Staff  
OR at a public meeting or hearing by:  
 Zoning Hearing Examiner (ZHE)  Development Review Board (DRB)  
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6. Where more information about the project can be found<sup>4\*</sup>:  
Preliminary site plan and elevations are attached to this notification

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)<sup>5\*</sup> J-19
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant<sup>\*</sup>: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project<sup>\*</sup>:  
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Explanation:

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<sup>3</sup> Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

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**Additional Information:**

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- a. Area of Property [typically in acres] 3.3847
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November 12, 2020

**Inez NA**

Donna Yetter  
2111 Hoffman Drive NE  
Albuquerque NM 87110

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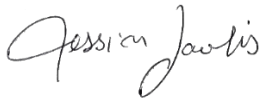
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***Attachments: Preliminary Site Plan  
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Preliminary Sidewalk Exhibits***



November 12, 2020

**Inez NA**

Maya Sutton  
7718 Cutler Avenue NE  
Albuquerque NM 87110

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**As of November 2, 2020, a revised Integrated Development Ordinance (IDO) has gone into effect. These updated regulations have resulted in changes to our original request. This project will no longer be required to obtain a variance to the Section 5-11(E)(2)(b) Minimum Ground Floor Glazing as the minimum ground floor glazing standards have been reduced to 30%. Additional changes to procedures have also eliminated the need for us to obtain variances through the ZHE. Instead the deviations to the required Ground Floor Clear Height and the required On-site Pedestrian Connections will now be heard at the DRB hearing.** As part of the site plan approval, the applicant is therefore requesting the following:

- ***A deviation to the Section 5-11(E)(1) Ground Floor Clear Height.*** This section requires the ground floor clear height, defined as “the vertical distance of the interior of a ground floor, measured from the slab or top of the sub-floor to the ceiling or the bottom on the exposed support structure for the second floor” of multi-family development within mixed-use zoning districts to be constructed with a minimum height of 10 feet. The applicant is requesting a deviation of 1 foot to allow a 9-foot ground floor ceiling height that is more on par with typical multi-family construction design.

- **A Waiver to the requirements of Section 5-3(D)(3)(b)(4) On-site Pedestrian Connections.** This section requires on-site walkway widths to correlate with the square footage of street-facing buildings that contain pedestrian entrances. Since the subject site is surrounded by streets on all sides, this requires all street-facing pedestrian walkways to be between 12 and 15 feet in width. The table below outlines the required walkway widths, the proposed width, and the resulting waiver request:

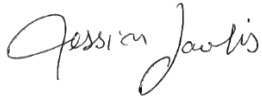
<b>Proposed Variances to Pedestrian Walkway Widths</b>			
<b>Street Façade</b>	<b>Required Width</b>	<b>Proposed Width</b>	<b>Requested Waiver</b>
Indian School Rd	15'	8'	7'
Winrock Loop - West	15'	6'	9'
Pennsylvania St	12'	6'	6'
Winrock Loop – South	15'	6'	9'

Compliance with these wide walkway widths is cumbersome on a constrained infill site that is surrounded by streets on all sides. **The applicant therefore requests a waiver of 7 feet to the required 15-foot walkway along Indian School Rd, the front property line, to allow an 8-foot wide walkway along the primary street frontage. This is a change from the 10-foot width originally discussed and is requested as it allows the proposed sidewalk to be more consistent with the existing 6' sidewalk widths along Indian School and provides additional space for landscape buffers between the street and the residential ground floor units.** The remaining pathways along Pennsylvania St and both segments of Winrock Loop are proposed to be 6 feet in width. All the proposed walkway widths either exceed or match the existing facilities. The proposed 8' sidewalk along Indian School Rd exceeds the existing sidewalk width of 6'. The proposed 6' sidewalks along Pennsylvania St and Winrock Loop match the existing 6' sidewalks along those roadways. Given this is a constrained infill site that must also accommodate other requirements such as landscaping and parking, the proposed 6-foot sidewalk will allow us to provide additional amenities including adjacent landscaping and site furnishings that will increase the overall pedestrian experience and buffer the adjacent residential units. If the sidewalk width were to be increased, such amenities could not be included and the sidewalk would be immediately adjacent to ground floor residential units or directly adjacent to car traffic, which creates security and privacy concerns for residents and an imposing experience for pedestrians. The 6-foot width was also used to provide a consistent walking path from the south to the north along Pennsylvania St. The adjacent site to the south has a 6'-0" wide sidewalk.

**Per the IDO, you have 15 days from the date this letter is mailed, November 12th, 2020, to respond by either (1) requesting a meeting or (2) declining a meeting. If you do not respond within 15 days, you are waiving the opportunity for a neighborhood meeting.** If you would like to request a neighborhood meeting, please contact Jessica Lawlis within the required 15-day period of this mailing date (by Friday, November 27, 2020) at (505)761-9700 or by email at [Jessical@dpsdesign.org](mailto:Jessical@dpsdesign.org).

Enclosed you will find a preliminary site plan and building façade designs exhibits. Please be aware that are still refining our designs and these conditions are subject to minor design changes as the project progresses. Before submitting our application, we will send mailed and/or emailed notice as required by IDO Table 6-1-1 to make you aware of the DRB Meeting date at which time the application will be reviewed and decided on by the City of Albuquerque.

Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

***Attachments: Preliminary Site Plan  
Preliminary Elevations  
Preliminary Sidewalk Exhibits***

[Note: Items with an asterisk (\*) are required.]

## Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request\*: 11/12/2020

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Inez NA

Neighborhood Association (NA)\*: \_\_\_\_\_

Name of NA Representative\*: Donna Yetter and Maya Sutton  
\_\_\_\_\_

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: donna.yetter3@gmail.com, yemaya@swcp.com

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.<sup>2</sup>

Email address to respond yes or no: [jessical@dpsdesign.org](mailto:jessical@dpsdesign.org)

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location: Meeting must be requested by November 27th, 2020 by 5pm.

### Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 7500 INDIAN SCHOOL RD NE ALBUQUERQUE NM 87110  
Location Description Vacant lot on the southwest corner of Indian School and Pennsylvania
2. Property Owner\* WINROCK PARTNERS LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker/Perich/Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (\*) are required.]

- Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: **Deviation to Ground Floor Clear Height** \_\_\_\_\_

Summary of project/request<sup>3\*</sup>:

A major amendment to the approved Winrock Town Center Site Plan to facilitate a 4 story, 199 unit apartment complex.

5. This type of application will be decided by<sup>\*</sup>:  City Staff  
OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE)  Development Review Board (DRB)
  - Landmarks Commission (LC)  Environmental Planning Commission (EPC)
  - City Council
6. Where more information about the project can be found<sup>4\*</sup>:  
Preliminary site plan and elevations are attached to this notification

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)<sup>5\*</sup> J-19
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant<sup>\*</sup>: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project<sup>\*</sup>:  
 Deviation(s)  Variance(s)  Waiver(s)

Explanation:

A deviation of 1' to the required minimum ground floor height of 10' (5-11(E)(1)) to allow a 9' ground floor clear height. Sidewalk waivers to the required width of on-site pedestrian connections 5-3(D)(3)(b)(4) of 7 feet to the required 15-foot walkway along Indian School Rd to allow a 8-foot wide walkway along the primary street and waivers of 6-9 feet to allow 6-foot wide pathways along Pennsylvania and both segments of Winrock Loop.

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1](#)<sup>\*</sup>:  Yes  No

<sup>3</sup> Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information:**

1. From the IDO Zoning Map<sup>6</sup>:
- a. Area of Property [typically in acres] 3.3847
  - b. IDO Zone District MX-M
  - c. Overlay Zone(s) [if applicable] Uptown Town Center
  - d. Center or Corridor Area [if applicable] \_\_\_\_\_
2. Current Land Use(s) [vacant, if none] Vacant
- \_\_\_\_\_

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: District 7 Coalition of Neighborhood Associations [Other Neighborhood Associations, if any]  
ABQ Park NA  
Alvarado Park NA  
Classic Uptown NA  
Inez NA  
Jerry Cline Park NA  
Mark Twain NA  
Quigley Park NA  
Snow Heights NA  
Winrock South NA  
Winrock Villas Condo Association

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November 12, 2020

**Jerry Cline Park NA**

Ron Goldsmith  
1216 Alcazar Street NE  
Albuquerque NM 87110

**RE: Request for Major Amendment to a Previously Approved Site Plan –DRB  
Amendment to the Winrock Town Center Site Plan  
The Lofts at Winrock  
7500 Indian School Rd NE**

Dear Neighborhood Association Representative,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to obtain a Major Amendment to the approved site plan for the Winrock Town Center. In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(C) Pre-submittal Neighborhood Meeting, we are providing you with an opportunity to discuss the DRB application.

The request is for an upscale four-story multi-family development—the Lofts at Winrock—at approximately 227,000 square feet, proposed to accommodate 199 studio, one-bedroom and two-bedroom apartments, as well as a courtyard, outdoor recreation area, community pool, clubhouse, and a rooftop area for residents. Residential units will be spread over three four-story buildings, two of which are traditional multi-family apartments and one that is classified as a townhouse development that engages Indian School Rd and Pennsylvania St. This use is compatible with existing development on the block and is appropriate for a site within a designated Urban Activity Center.

**As of November 2, 2020, a revised Integrated Development Ordinance (IDO) has gone into effect. These updated regulations have resulted in changes to our original request. This project will no longer be required to obtain a variance to the Section 5-11(E)(2)(b) Minimum Ground Floor Glazing as the minimum ground floor glazing standards have been reduced to 30%. Additional changes to procedures have also eliminated the need for us to obtain variances through the ZHE. Instead the deviations to the required Ground Floor Clear Height and the required On-site Pedestrian Connections will now be heard at the DRB hearing.** As part of the site plan approval, the applicant is therefore requesting the following:

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- **A Waiver to the requirements of Section 5-3(D)(3)(b)(4) On-site Pedestrian Connections.** This section requires on-site walkway widths to correlate with the square footage of street-facing buildings that contain pedestrian entrances. Since the subject site is surrounded by streets on all sides, this requires all street-facing pedestrian walkways to be between 12 and 15 feet in width. The table below outlines the required walkway widths, the proposed width, and the resulting waiver request:

<b>Proposed Variances to Pedestrian Walkway Widths</b>			
<b>Street Façade</b>	<b>Required Width</b>	<b>Proposed Width</b>	<b>Requested Waiver</b>
Indian School Rd	15'	8'	7'
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Compliance with these wide walkway widths is cumbersome on a constrained infill site that is surrounded by streets on all sides. **The applicant therefore requests a waiver of 7 feet to the required 15-foot walkway along Indian School Rd, the front property line, to allow an 8-foot wide walkway along the primary street frontage. This is a change from the 10-foot width originally discussed and is requested as it allows the proposed sidewalk to be more consistent with the existing 6' sidewalk widths along Indian School and provides additional space for landscape buffers between the street and the residential ground floor units.** The remaining pathways along Pennsylvania St and both segments of Winrock Loop are proposed to be 6 feet in width. All the proposed walkway widths either exceed or match the existing facilities. The proposed 8' sidewalk along Indian School Rd exceeds the existing sidewalk width of 6'. The proposed 6' sidewalks along Pennsylvania St and Winrock Loop match the existing 6' sidewalks along those roadways. Given this is a constrained infill site that must also accommodate other requirements such as landscaping and parking, the proposed 6-foot sidewalk will allow us to provide additional amenities including adjacent landscaping and site furnishings that will increase the overall pedestrian experience and buffer the adjacent residential units. If the sidewalk width were to be increased, such amenities could not be included and the sidewalk would be immediately adjacent to ground floor residential units or directly adjacent to car traffic, which creates security and privacy concerns for residents and an imposing experience for pedestrians. The 6-foot width was also used to provide a consistent walking path from the south to the north along Pennsylvania St. The adjacent site to the south has a 6'-0" wide sidewalk.

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Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

***Attachments: Preliminary Site Plan  
Preliminary Elevations  
Preliminary Sidewalk Exhibits***

November 12, 2020

**Jerry Cline Park NA**

Eric Shirley  
900 Grove Street NE  
Albuquerque NM 87110

**RE: Request for Major Amendment to a Previously Approved Site Plan –DRB  
Amendment to the Winrock Town Center Site Plan  
The Lofts at Winrock  
7500 Indian School Rd NE**

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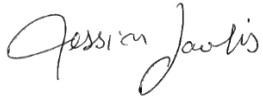
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Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

***Attachments: Preliminary Site Plan  
Preliminary Elevations  
Preliminary Sidewalk Exhibits***

[Note: Items with an asterisk (\*) are required.]

## Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request\*: 11/12/2020

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Jerry Cline Park NA

Neighborhood Association (NA)\*: \_\_\_\_\_

Name of NA Representative\*: Ron Goldsmith and Eric Shirley  
\_\_\_\_\_

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: rongoldsmith@yahoo.com, ericshirley@comcast.net

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.<sup>2</sup>

Email address to respond yes or no: [jessical@dpsdesign.org](mailto:jessical@dpsdesign.org)

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location: Meeting must be requested by November 27th, 2020 by 5pm.

### Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 7500 INDIAN SCHOOL RD NE ALBUQUERQUE NM 87110  
Location Description Vacant lot on the southwest corner of Indian School and Pennsylvania
2. Property Owner\* WINROCK PARTNERS LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker/Perich/Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (\*) are required.]

- Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: **Deviation to Ground Floor Clear Height** \_\_\_\_\_

Summary of project/request<sup>3\*</sup>:

A major amendment to the approved Winrock Town Center Site Plan to facilitate a 4 story, 199 unit apartment complex.

5. This type of application will be decided by<sup>\*</sup>:  City Staff  
OR at a public meeting or hearing by:  
 Zoning Hearing Examiner (ZHE)  Development Review Board (DRB)  
 Landmarks Commission (LC)  Environmental Planning Commission (EPC)  
 City Council
6. Where more information about the project can be found<sup>4\*</sup>:  
Preliminary site plan and elevations are attached to this notification

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)<sup>5\*</sup> J-19
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant<sup>\*</sup>: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project<sup>\*</sup>:  
 Deviation(s)  Variance(s)  Waiver(s)

Explanation:

A deviation of 1' to the required minimum ground floor height of 10' (5-11(E)(1)) to allow a 9' ground floor clear height. Sidewalk waivers to the required width of on-site pedestrian connections 5-3(D)(3)(b)(4) of 7 feet to the required 15-foot walkway along Indian School Rd to allow a 8-foot wide walkway along the primary street and waivers of 6-9 feet to allow 6-foot wide pathways along Pennsylvania and both segments of Winrock Loop.

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1](#)<sup>\*</sup>:  Yes  No

<sup>3</sup> Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

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5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.\*
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  - d. **For residential development\***: Maximum number of proposed dwelling units.
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    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information:**

1. From the IDO Zoning Map<sup>6</sup>:
- a. Area of Property [typically in acres] 3.3847
  - b. IDO Zone District MX-M
  - c. Overlay Zone(s) [if applicable] Uptown Town Center
  - d. Center or Corridor Area [if applicable] \_\_\_\_\_
2. Current Land Use(s) [vacant, if none] Vacant
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Cc: District 7 Coalition of Neighborhood Associations [Other Neighborhood Associations, if any]  
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Winrock Villas Condo Association

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November 12, 2020

**Mark Twain NA**

Barbara Lohbeck  
1402 California Street NE  
Albuquerque NM 87110

**RE: Request for Major Amendment to a Previously Approved Site Plan –DRB  
Amendment to the Winrock Town Center Site Plan  
The Lofts at Winrock  
7500 Indian School Rd NE**

Dear Neighborhood Association Representative,

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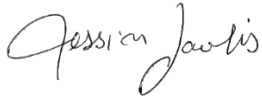
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Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

***Attachments: Preliminary Site Plan  
Preliminary Elevations  
Preliminary Sidewalk Exhibits***

November 12, 2020

**Mark Twain NA**

Joel Wooldridge  
1500 Indiana Street NE  
Albuquerque NM 87110

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Amendment to the Winrock Town Center Site Plan  
The Lofts at Winrock  
7500 Indian School Rd NE**

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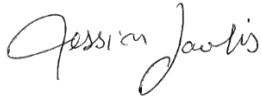
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Preliminary Elevations  
Preliminary Sidewalk Exhibits***

[Note: Items with an asterisk (\*) are required.]

## Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request\*: 11/12/2020

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Mark Twain NA

Name of NA Representative\*: Barabara Lohbeck and Joel Wooldridge

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: bardean12@comcast.net, joel.c.wooldridge@gmail.com

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.<sup>2</sup>

Email address to respond yes or no: [jessical@dpsdesign.org](mailto:jessical@dpsdesign.org)

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location: Meeting must be requested by November 27th, 2020 by 5pm.

### Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 7500 INDIAN SCHOOL RD NE ALBUQUERQUE NM 87110  
Location Description Vacant lot on the southwest corner of Indian School and Pennsylvania
2. Property Owner\* WINROCK PARTNERS LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker/Perich/Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (\*) are required.]

- Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: **Deviation to Ground Floor Clear Height** \_\_\_\_\_

Summary of project/request<sup>3\*</sup>:

A major amendment to the approved Winrock Town Center Site Plan to facilitate a 4 story, 199 unit apartment complex.

5. This type of application will be decided by<sup>\*</sup>:  City Staff  
 OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE)  Development Review Board (DRB)
  - Landmarks Commission (LC)  Environmental Planning Commission (EPC)
  - City Council
6. Where more information about the project can be found<sup>\*4</sup>:  
Preliminary site plan and elevations are attached to this notification

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)<sup>\*5</sup> J-19
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant<sup>\*</sup>: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project<sup>\*</sup>:  
 Deviation(s)       Variance(s)       Waiver(s)

Explanation:

A deviation of 1' to the required minimum ground floor height of 10' (5-11(E)(1)) to allow a 9' ground floor clear height. Sidewalk waivers to the required width of on-site pedestrian connections 5-3(D)(3)(b)(4) of 7 feet to the required 15-foot walkway along Indian School Rd to allow a 8-foot wide walkway along the primary street and waivers of 6-9 feet to allow 6-foot wide pathways along Pennsylvania and both segments of Winrock Loop.

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1](#)<sup>\*</sup>:  Yes     No

<sup>3</sup> Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

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- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information:**

- 1. From the IDO Zoning Map<sup>6</sup>:
    - a. Area of Property [typically in acres] 3.3847
    - b. IDO Zone District MX-M
    - c. Overlay Zone(s) [if applicable] Uptown Town Center
    - d. Center or Corridor Area [if applicable] \_\_\_\_\_
  - 2. Current Land Use(s) [vacant, if none] Vacant
- 

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: District 7 Coalition of Neighborhood Associations [Other Neighborhood Associations, if any]  
ABQ Park NA  
Alvarado Park NA  
Classic Uptown NA  
Inez NA  
Jerry Cline Park NA  
Mark Twain NA  
Quigley Park NA  
Snow Heights NA  
Winrock South NA  
 Winrock Villas Condo Association

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>



November 12, 2020

**Quigley Park NA**

Lisa Whalen  
2713 Cardenas Drive NE  
Albuquerque NM 87110

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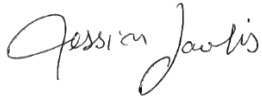
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Eric Olivas  
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Name of NA Representative\*: Lisa Wahlen and Eric Olivas

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: lisa.whalen@gmail.com, eoman505@gmail.com

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.<sup>2</sup>

Email address to respond yes or no: [jessical@dpsdesign.org](mailto:jessical@dpsdesign.org)

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location: Meeting must be requested by November 27th, 2020 by 5pm.

### Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 7500 INDIAN SCHOOL RD NE ALBUQUERQUE NM 87110  
Location Description Vacant lot on the southwest corner of Indian School and Pennsylvania
2. Property Owner\* WINROCK PARTNERS LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker/Perich/Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (\*) are required.]

- Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: **Deviation to Ground Floor Clear Height** \_\_\_\_\_

Summary of project/request<sup>3\*</sup>:

A major amendment to the approved Winrock Town Center Site Plan to facilitate a 4 story, 199 unit apartment complex.

5. This type of application will be decided by<sup>\*</sup>:  City Staff  
OR at a public meeting or hearing by:  
 Zoning Hearing Examiner (ZHE)  Development Review Board (DRB)  
 Landmarks Commission (LC)  Environmental Planning Commission (EPC)  
 City Council
6. Where more information about the project can be found<sup>4\*</sup>:  
Preliminary site plan and elevations are attached to this notification

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)<sup>5\*</sup> J-19
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant<sup>\*</sup>: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project<sup>\*</sup>:  
 Deviation(s)  Variance(s)  Waiver(s)

Explanation:

A deviation of 1' to the required minimum ground floor height of 10' (5-11(E)(1)) to allow a 9' ground floor clear height. Sidewalk waivers to the required width of on-site pedestrian connections 5-3(D)(3)(b)(4) of 7 feet to the required 15-foot walkway along Indian School Rd to allow a 8-foot wide walkway along the primary street and waivers of 6-9 feet to allow 6-foot wide pathways along Pennsylvania and both segments of Winrock Loop.

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1](#)<sup>\*</sup>:  Yes  No

<sup>3</sup> Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>



[Note: Items with an asterisk (\*) are required.]

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information:**

- 1. From the IDO Zoning Map<sup>6</sup>:
    - a. Area of Property [typically in acres] 3.3847
    - b. IDO Zone District MX-M
    - c. Overlay Zone(s) [if applicable] Uptown Town Center
    - d. Center or Corridor Area [if applicable] \_\_\_\_\_
  - 2. Current Land Use(s) [vacant, if none] Vacant
- 

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: District 7 Coalition of Neighborhood Associations [Other Neighborhood Associations, if any]  
ABQ Park NA  
Alvarado Park NA  
Classic Uptown NA  
Inez NA  
Jerry Cline Park NA  
Mark Twain NA  
Quigley Park NA  
Snow Heights NA  
Winrock South NA  
 Winrock Villas Condo Association

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

November 12, 2020

**Snow Heights NA**

Laura Garcia  
1404 Katie Street NE  
Albuquerque NM 87110

**RE: Request for Major Amendment to a Previously Approved Site Plan –DRB  
Amendment to the Winrock Town Center Site Plan  
The Lofts at Winrock  
7500 Indian School Rd NE**

Dear Neighborhood Association Representative,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to obtain a Major Amendment to the approved site plan for the Winrock Town Center. In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(C) Pre-submittal Neighborhood Meeting, we are providing you with an opportunity to discuss the DRB application.

The request is for an upscale four-story multi-family development—the Lofts at Winrock—at approximately 227,000 square feet, proposed to accommodate 199 studio, one-bedroom and two-bedroom apartments, as well as a courtyard, outdoor recreation area, community pool, clubhouse, and a rooftop area for residents. Residential units will be spread over three four-story buildings, two of which are traditional multi-family apartments and one that is classified as a townhouse development that engages Indian School Rd and Pennsylvania St. This use is compatible with existing development on the block and is appropriate for a site within a designated Urban Activity Center.

**As of November 2, 2020, a revised Integrated Development Ordinance (IDO) has gone into effect. These updated regulations have resulted in changes to our original request. This project will no longer be required to obtain a variance to the Section 5-11(E)(2)(b) Minimum Ground Floor Glazing as the minimum ground floor glazing standards have been reduced to 30%. Additional changes to procedures have also eliminated the need for us to obtain variances through the ZHE. Instead the deviations to the required Ground Floor Clear Height and the required On-site Pedestrian Connections will now be heard at the DRB hearing.** As part of the site plan approval, the applicant is therefore requesting the following:

- ***A deviation to the Section 5-11(E)(1) Ground Floor Clear Height.*** This section requires the ground floor clear height, defined as “the vertical distance of the interior of a ground floor, measured from the slab or top of the sub-floor to the ceiling or the bottom on the exposed support structure for the second floor” of multi-family development within mixed-use zoning districts to be constructed with a minimum height of 10 feet. The applicant is requesting a deviation of 1 foot to allow a 9-foot ground floor ceiling height that is more on par with typical multi-family construction design.

- **A Waiver to the requirements of Section 5-3(D)(3)(b)(4) On-site Pedestrian Connections.** This section requires on-site walkway widths to correlate with the square footage of street-facing buildings that contain pedestrian entrances. Since the subject site is surrounded by streets on all sides, this requires all street-facing pedestrian walkways to be between 12 and 15 feet in width. The table below outlines the required walkway widths, the proposed width, and the resulting waiver request:

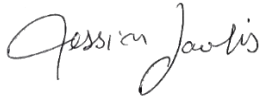
<b>Proposed Variances to Pedestrian Walkway Widths</b>			
<b>Street Façade</b>	<b>Required Width</b>	<b>Proposed Width</b>	<b>Requested Waiver</b>
Indian School Rd	15'	8'	7'
Winrock Loop - West	15'	6'	9'
Pennsylvania St	12'	6'	6'
Winrock Loop – South	15'	6'	9'

Compliance with these wide walkway widths is cumbersome on a constrained infill site that is surrounded by streets on all sides. **The applicant therefore requests a waiver of 7 feet to the required 15-foot walkway along Indian School Rd, the front property line, to allow an 8-foot wide walkway along the primary street frontage. This is a change from the 10-foot width originally discussed and is requested as it allows the proposed sidewalk to be more consistent with the existing 6' sidewalk widths along Indian School and provides additional space for landscape buffers between the street and the residential ground floor units.** The remaining pathways along Pennsylvania St and both segments of Winrock Loop are proposed to be 6 feet in width. All the proposed walkway widths either exceed or match the existing facilities. The proposed 8' sidewalk along Indian School Rd exceeds the existing sidewalk width of 6'. The proposed 6' sidewalks along Pennsylvania St and Winrock Loop match the existing 6' sidewalks along those roadways. Given this is a constrained infill site that must also accommodate other requirements such as landscaping and parking, the proposed 6-foot sidewalk will allow us to provide additional amenities including adjacent landscaping and site furnishings that will increase the overall pedestrian experience and buffer the adjacent residential units. If the sidewalk width were to be increased, such amenities could not be included and the sidewalk would be immediately adjacent to ground floor residential units or directly adjacent to car traffic, which creates security and privacy concerns for residents and an imposing experience for pedestrians. The 6-foot width was also used to provide a consistent walking path from the south to the north along Pennsylvania St. The adjacent site to the south has a 6'-0" wide sidewalk.

**Per the IDO, you have 15 days from the date this letter is mailed, November 12th, 2020, to respond by either (1) requesting a meeting or (2) declining a meeting. If you do not respond within 15 days, you are waiving the opportunity for a neighborhood meeting.** If you would like to request a neighborhood meeting, please contact Jessica Lawlis within the required 15-day period of this mailing date (by Friday, November 27, 2020) at (505)761-9700 or by email at [Jessical@dpsdesign.org](mailto:Jessical@dpsdesign.org).

Enclosed you will find a preliminary site plan and building façade designs exhibits. Please be aware that are still refining our designs and these conditions are subject to minor design changes as the project progresses. Before submitting our application, we will send mailed and/or emailed notice as required by IDO Table 6-1-1 to make you aware of the DRB Meeting date at which time the application will be reviewed and decided on by the City of Albuquerque.

Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

***Attachments: Preliminary Site Plan  
Preliminary Elevations  
Preliminary Sidewalk Exhibits***

November 12, 2020

**Snow Heights NA**

Julie Nielsen  
8020 Bellamah Avenue NE  
Albuquerque NM 87110

**RE: Request for Major Amendment to a Previously Approved Site Plan –DRB  
Amendment to the Winrock Town Center Site Plan  
The Lofts at Winrock  
7500 Indian School Rd NE**

Dear Neighborhood Association Representative,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to obtain a Major Amendment to the approved site plan for the Winrock Town Center. In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(C) Pre-submittal Neighborhood Meeting, we are providing you with an opportunity to discuss the DRB application.

The request is for an upscale four-story multi-family development—the Lofts at Winrock—at approximately 227,000 square feet, proposed to accommodate 199 studio, one-bedroom and two-bedroom apartments, as well as a courtyard, outdoor recreation area, community pool, clubhouse, and a rooftop area for residents. Residential units will be spread over three four-story buildings, two of which are traditional multi-family apartments and one that is classified as a townhouse development that engages Indian School Rd and Pennsylvania St. This use is compatible with existing development on the block and is appropriate for a site within a designated Urban Activity Center.

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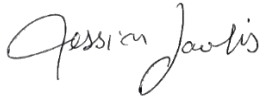
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Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

***Attachments: Preliminary Site Plan  
Preliminary Elevations  
Preliminary Sidewalk Exhibits***

[Note: Items with an asterisk (\*) are required.]

## Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request\*: 11/12/2020

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Snow Heights NA

Name of NA Representative\*: Laura Garcia and Julie Nielsen

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: laurasmigi@aol.com, bjdniels@msn.com

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.<sup>2</sup>

Email address to respond yes or no: [jessical@dpsdesign.org](mailto:jessical@dpsdesign.org)

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location: Meeting must be requested by November 27th, 2020 by 5pm.

### Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 7500 INDIAN SCHOOL RD NE ALBUQUERQUE NM 87110  
Location Description Vacant lot on the southwest corner of Indian School and Pennsylvania
2. Property Owner\* WINROCK PARTNERS LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker/Perich/Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.



[Note: Items with an asterisk (\*) are required.]

- Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: **Deviation to Ground Floor Clear Height** \_\_\_\_\_

Summary of project/request<sup>3\*</sup>:

A major amendment to the approved Winrock Town Center Site Plan to facilitate a 4 story, 199 unit apartment complex.

5. This type of application will be decided by<sup>\*</sup>:  City Staff  
OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE)  Development Review Board (DRB)
  - Landmarks Commission (LC)  Environmental Planning Commission (EPC)
  - City Council
6. Where more information about the project can be found<sup>4\*</sup>:  
Preliminary site plan and elevations are attached to this notification

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)<sup>5\*</sup> J-19
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant<sup>\*</sup>: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project<sup>\*</sup>:

Deviation(s)       Variance(s)       Waiver(s)

Explanation:

A deviation of 1' to the required minimum ground floor height of 10' (5-11(E)(1)) to allow a 9' ground floor clear height. Sidewalk waivers to the required width of on-site pedestrian connections 5-3(D)(3)(b)(4) of 7 feet to the required 15-foot walkway along Indian School Rd to allow a 8-foot wide walkway along the primary street and waivers of 6-9 feet to allow 6-foot wide pathways along Pennsylvania and both segments of Winrock Loop.

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1](#)<sup>\*</sup>:  Yes     No

<sup>3</sup> Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.\*
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**Additional Information:**

1. From the IDO Zoning Map<sup>6</sup>:
- a. Area of Property [typically in acres] 3.3847
  - b. IDO Zone District MX-M
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Winrock South NA  
Winrock Villas Condo Association

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

November 12, 2020

**Winrock South NA**

Virginia Kinney  
7110 Constitution Avenue NE  
Albuquerque NM 87110

**RE: Request for Major Amendment to a Previously Approved Site Plan –DRB  
Amendment to the Winrock Town Center Site Plan  
The Lofts at Winrock  
7500 Indian School Rd NE**

Dear Neighborhood Association Representative,

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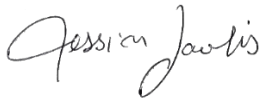
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Sincerely,



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Agent for Goodman Realty Group

***Attachments: Preliminary Site Plan  
Preliminary Elevations  
Preliminary Sidewalk Exhibits***

November 12, 2020

**Winrock South NA**

John Kinney  
7110 Constitution Avenue NE  
Albuquerque NM 87110

**RE: Request for Major Amendment to a Previously Approved Site Plan –DRB  
Amendment to the Winrock Town Center Site Plan  
The Lofts at Winrock  
7500 Indian School Rd NE**

Dear Neighborhood Association Representative,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to obtain a Major Amendment to the approved site plan for the Winrock Town Center. In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(C) Pre-submittal Neighborhood Meeting, we are providing you with an opportunity to discuss the DRB application.

The request is for an upscale four-story multi-family development—the Lofts at Winrock—at approximately 227,000 square feet, proposed to accommodate 199 studio, one-bedroom and two-bedroom apartments, as well as a courtyard, outdoor recreation area, community pool, clubhouse, and a rooftop area for residents. Residential units will be spread over three four-story buildings, two of which are traditional multi-family apartments and one that is classified as a townhouse development that engages Indian School Rd and Pennsylvania St. This use is compatible with existing development on the block and is appropriate for a site within a designated Urban Activity Center.

**As of November 2, 2020, a revised Integrated Development Ordinance (IDO) has gone into effect. These updated regulations have resulted in changes to our original request. This project will no longer be required to obtain a variance to the Section 5-11(E)(2)(b) Minimum Ground Floor Glazing as the minimum ground floor glazing standards have been reduced to 30%. Additional changes to procedures have also eliminated the need for us to obtain variances through the ZHE. Instead the deviations to the required Ground Floor Clear Height and the required On-site Pedestrian Connections will now be heard at the DRB hearing.** As part of the site plan approval, the applicant is therefore requesting the following:

- ***A deviation to the Section 5-11(E)(1) Ground Floor Clear Height.*** This section requires the ground floor clear height, defined as “the vertical distance of the interior of a ground floor, measured from the slab or top of the sub-floor to the ceiling or the bottom on the exposed support structure for the second floor” of multi-family development within mixed-use zoning districts to be constructed with a minimum height of 10 feet. The applicant is requesting a deviation of 1 foot to allow a 9-foot ground floor ceiling height that is more on par with typical multi-family construction design.

- **A Waiver to the requirements of Section 5-3(D)(3)(b)(4) On-site Pedestrian Connections.** This section requires on-site walkway widths to correlate with the square footage of street-facing buildings that contain pedestrian entrances. Since the subject site is surrounded by streets on all sides, this requires all street-facing pedestrian walkways to be between 12 and 15 feet in width. The table below outlines the required walkway widths, the proposed width, and the resulting waiver request:

<b>Proposed Variances to Pedestrian Walkway Widths</b>			
<b>Street Façade</b>	<b>Required Width</b>	<b>Proposed Width</b>	<b>Requested Waiver</b>
Indian School Rd	15'	8'	7'
Winrock Loop - West	15'	6'	9'
Pennsylvania St	12'	6'	6'
Winrock Loop – South	15'	6'	9'

Compliance with these wide walkway widths is cumbersome on a constrained infill site that is surrounded by streets on all sides. **The applicant therefore requests a waiver of 7 feet to the required 15-foot walkway along Indian School Rd, the front property line, to allow an 8-foot wide walkway along the primary street frontage. This is a change from the 10-foot width originally discussed and is requested as it allows the proposed sidewalk to be more consistent with the existing 6' sidewalk widths along Indian School and provides additional space for landscape buffers between the street and the residential ground floor units.** The remaining pathways along Pennsylvania St and both segments of Winrock Loop are proposed to be 6 feet in width. All the proposed walkway widths either exceed or match the existing facilities. The proposed 8' sidewalk along Indian School Rd exceeds the existing sidewalk width of 6'. The proposed 6' sidewalks along Pennsylvania St and Winrock Loop match the existing 6' sidewalks along those roadways. Given this is a constrained infill site that must also accommodate other requirements such as landscaping and parking, the proposed 6-foot sidewalk will allow us to provide additional amenities including adjacent landscaping and site furnishings that will increase the overall pedestrian experience and buffer the adjacent residential units. If the sidewalk width were to be increased, such amenities could not be included and the sidewalk would be immediately adjacent to ground floor residential units or directly adjacent to car traffic, which creates security and privacy concerns for residents and an imposing experience for pedestrians. The 6-foot width was also used to provide a consistent walking path from the south to the north along Pennsylvania St. The adjacent site to the south has a 6'-0" wide sidewalk.

**Per the IDO, you have 15 days from the date this letter is mailed, November 12th, 2020, to respond by either (1) requesting a meeting or (2) declining a meeting. If you do not respond within 15 days, you are waiving the opportunity for a neighborhood meeting.** If you would like to request a neighborhood meeting, please contact Jessica Lawlis within the required 15-day period of this mailing date (by Friday, November 27, 2020) at (505)761-9700 or by email at [Jessical@dpsdesign.org](mailto:Jessical@dpsdesign.org).



Enclosed you will find a preliminary site plan and building façade designs exhibits. Please be aware that are still refining our designs and these conditions are subject to minor design changes as the project progresses. Before submitting our application, we will send mailed and/or emailed notice as required by IDO Table 6-1-1 to make you aware of the DRB Meeting date at which time the application will be reviewed and decided on by the City of Albuquerque.

Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

***Attachments: Preliminary Site Plan  
Preliminary Elevations  
Preliminary Sidewalk Exhibits***

[Note: Items with an asterisk (\*) are required.]

## Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request\*: 11/12/2020

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Winrock South NA

Name of NA Representative\*: Virginia Kinney and John Kinney

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: 7110 Constitution Avenue NE

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.<sup>2</sup>

Email address to respond yes or no: [jessical@dpsdesign.org](mailto:jessical@dpsdesign.org)

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location: Meeting must be requested by November 27th, 2020 by 5pm.

### Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 7500 INDIAN SCHOOL RD NE ALBUQUERQUE NM 87110  
Location Description Vacant lot on the southwest corner of Indian School and Pennsylvania
2. Property Owner\* WINROCK PARTNERS LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker/Perich/Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (\*) are required.]

- Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: **Deviation to Ground Floor Clear Height** \_\_\_\_\_

Summary of project/request<sup>3\*</sup>:

A major amendment to the approved Winrock Town Center Site Plan to facilitate a 4 story, 199 unit apartment complex.

5. This type of application will be decided by<sup>\*</sup>:  City Staff  
OR at a public meeting or hearing by:  
 Zoning Hearing Examiner (ZHE)  Development Review Board (DRB)  
 Landmarks Commission (LC)  Environmental Planning Commission (EPC)  
 City Council
6. Where more information about the project can be found<sup>4\*</sup>:  
Preliminary site plan and elevations are attached to this notification

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)<sup>5\*</sup> J-19
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant<sup>\*</sup>: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project<sup>\*</sup>:

Deviation(s)  Variance(s)  Waiver(s)

Explanation:

A deviation of 1' to the required minimum ground floor height of 10' (5-11(E)(1)) to allow a 9' ground floor clear height. Sidewalk waivers to the required width of on-site pedestrian connections 5-3(D)(3)(b)(4) of 7 feet to the required 15-foot walkway along Indian School Rd to allow a 8-foot wide walkway along the primary street and waivers of 6-9 feet to allow 6-foot wide pathways along Pennsylvania and both segments of Winrock Loop.

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1](#)<sup>\*</sup>:  Yes  No

<sup>3</sup> Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information:**

- 1. From the IDO Zoning Map<sup>6</sup>:
    - a. Area of Property [typically in acres] 3.3847
    - b. IDO Zone District MX-M
    - c. Overlay Zone(s) [if applicable] Uptown Town Center
    - d. Center or Corridor Area [if applicable] \_\_\_\_\_
  - 2. Current Land Use(s) [vacant, if none] Vacant
- 

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: District 7 Coalition of Neighborhood Associations [Other Neighborhood Associations, if any]  
ABQ Park NA  
Alvarado Park NA  
Classic Uptown NA  
Inez NA  
Jerry Cline Park NA  
Mark Twain NA  
Quigley Park NA  
Snow Heights NA  
Winrock South NA  
 Winrock Villas Condo Association

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

November 12, 2020

**Winrock Villas Condo Association**

Diane Rossignol  
1601 Pennsylvania Street NE  
Albuquerque NM 87110

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The Lofts at Winrock  
7500 Indian School Rd NE**

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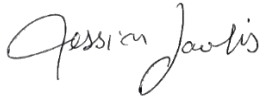
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Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

***Attachments: Preliminary Site Plan  
Preliminary Elevations  
Preliminary Sidewalk Exhibits***



[Note: Items with an asterisk (\*) are required.]

## Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request\*: 11/12/2020

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Winrock Villas Condo Association

Neighborhood Association (NA)\*: \_\_\_\_\_

Name of NA Representative\*: Diane Rossignol \_\_\_\_\_

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: wvcondos@comcast.net

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.<sup>2</sup>

Email address to respond yes or no: [jessical@dpsdesign.org](mailto:jessical@dpsdesign.org)

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location: Meeting must be requested by November 27th, 2020 by 5pm.

### Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 7500 INDIAN SCHOOL RD NE ALBUQUERQUE NM 87110  
Location Description Vacant lot on the southwest corner of Indian School and Pennsylvania
2. Property Owner\* WINROCK PARTNERS LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker/Perich/Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

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- Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: **Deviation to Ground Floor Clear Height** \_\_\_\_\_

Summary of project/request<sup>3\*</sup>:

A major amendment to the approved Winrock Town Center Site Plan to facilitate a 4 story, 199 unit apartment complex.

5. This type of application will be decided by<sup>\*</sup>:  City Staff  
OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE)  Development Review Board (DRB)
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6. Where more information about the project can be found<sup>4\*</sup>:  
Preliminary site plan and elevations are attached to this notification

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1. Zone Atlas Page(s)<sup>5</sup> J-19
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant<sup>\*</sup>: Attached to notice or provided via website noted above
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Explanation:

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<sup>3</sup> Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

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  - d. **For residential development\***: Maximum number of proposed dwelling units.
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    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information:**

- 1. From the IDO Zoning Map<sup>6</sup>:
    - a. Area of Property [typically in acres] 3.3847
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  - 2. Current Land Use(s) [vacant, if none] Vacant
- 

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Cc: District 7 Coalition of Neighborhood Associations [Other Neighborhood Associations, if any]  
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Alvarado Park NA  
Classic Uptown NA  
Inez NA  
Jerry Cline Park NA  
Mark Twain NA  
Quigley Park NA  
Snow Heights NA  
Winrock South NA  
 Winrock Villas Condo Association

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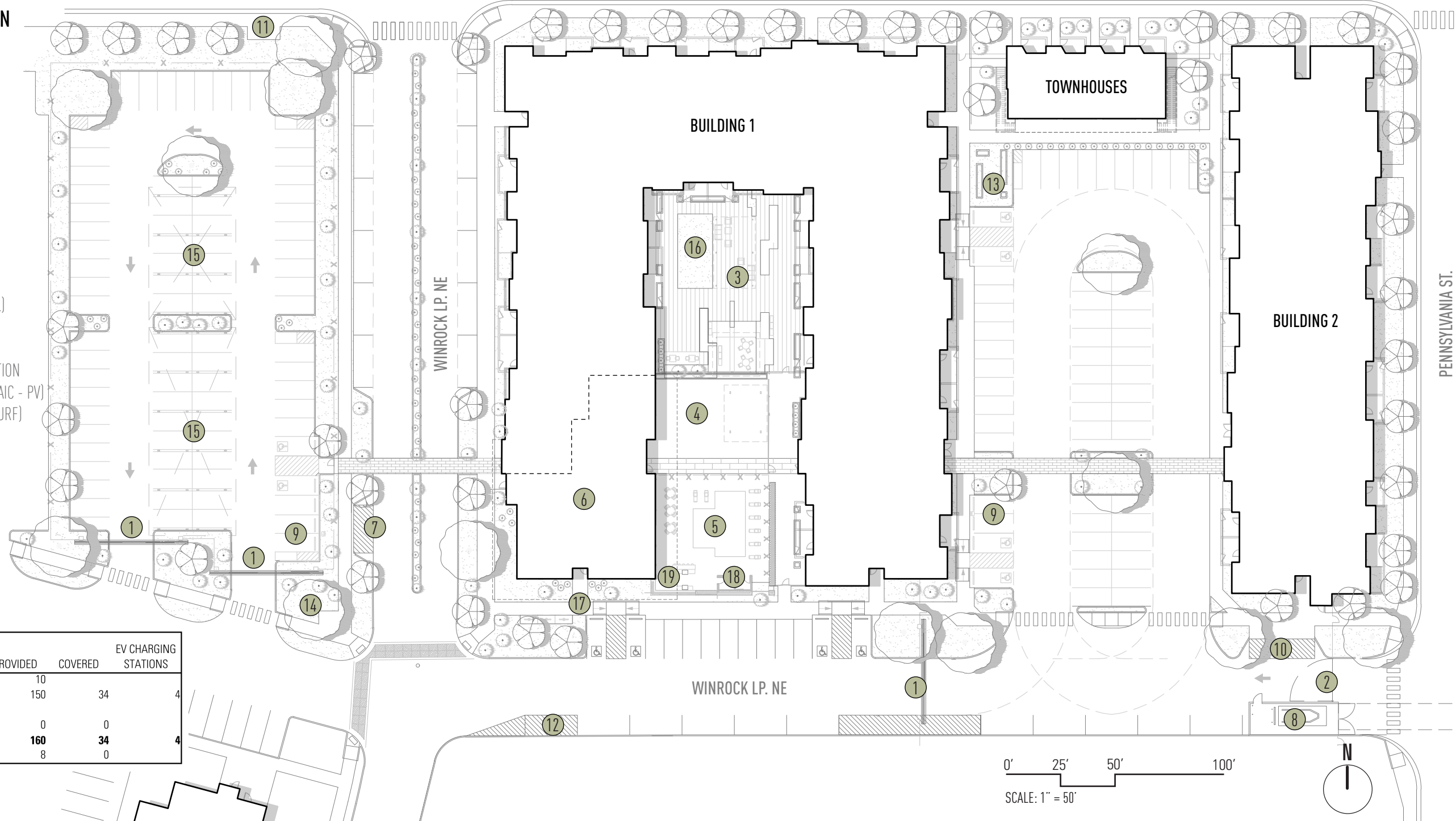
# THE PINE NEEDLE

ALBUQUERQUE, NM

INDIAN SCHOOL RD. NE

## KEYNOTES SITE PLAN

- 1 ACCESS CONTROL GATE
- 2 CRASH GATE
- 3 COURTYARD
- 4 OUTDOOR FLEX FITNESS SPACE
- 5 POOL
- 6 CLUBHOUSE
- 7 LOADING ZONE
- 8 REFUSE ENCLOSURE
- 9 ELECTRIC CHARGING STATIONS
- 10 CAR WASH AREA
- 11 PROPOSED BUS STOP (OPTIONAL)
- 12 RIDE SHARE
- 13 COMMUNITY GARDEN
- 14 ELECTRIC SCOOTER RENTAL STATION
- 15 COVERED PARKING (SOLAR VOLTAIC - PV)
- 16 LAWN GAME AREA (SYNTHETIC TURF)
- 17 MAIN ENTRY
- 18 POOL EQUIPMENT ROOM
- 19 BBQ



PARKING DATA	ALLOWED	REQUIRED	PROVIDED	COVERED	EV CHARGING STATIONS
	ACCESSIBLE SPACES		8	10	
STANDARD SPACES		142	150	34	4
COMPACT SPACES	15% OF TOTAL	0	0	0	
<b>TOTAL PROVIDED PARKING SPACES</b>		<b>150</b>	<b>160</b>	<b>34</b>	<b>4</b>
MOTORCYCLE SPACES		8	8	0	





BECKER PERIC SABATINI  
7601  
ALB. R. 4001 1004  
1000 PINE ST. N.W.  
ALBUQUERQUE, NM 87102

BECKER PERIC SABATINI  
7601  
FRANK SPUSINSKI  
1000 PINE ST. N.W.  
ALBUQUERQUE, NM 87102

BECKER PERIC SABATINI  
7601  
ERIC SIMILEY  
2708 WILSON ST. N.W.  
ALBUQUERQUE, NM 87102

BECKER PERIC SABATINI  
7601  
JOEL WOODBRIDGE  
1000 PINE ST. N.W.  
ALBUQUERQUE, NM 87102

BECKER PERIC SABATINI  
7601  
ERIC OL FORD  
2708 WILSON ST. N.W.  
ALBUQUERQUE, NM 87102

BECKER PERIC SABATINI  
7601  
ROBERT LAH  
2001 MESSIA ST. N.W.  
ALBUQUERQUE, NM 87102

BECKER PERIC SABATINI  
7601  
STEVE RABDALL  
TARA ARRADA N.E.  
ALBUQUERQUE, NM 87102

BECKER PERIC SABATINI  
7601  
BARBARA LONSBUCK  
1302 CALIFORNIA ST. N.E.  
ALBUQUERQUE, NM 87102

BECKER PERIC SABATINI  
7601  
LYNNE MARTIN  
1001 ESPERANZA N.E.  
ALBUQUERQUE, NM 87102

BECKER PERIC SABATINI  
7601  
LISA VINNEN  
7743 GARDENAS DR. N.E.  
ALBUQUERQUE, NM 87102

BECKER PERIC SABATINI  
7601  
SHIRLEY LOCKYER  
1501 8TH CT. CIRCLE N.E.  
ALBUQUERQUE, NM 87102

BECKER PERIC SABATINI  
7601  
VIRGINIA KINNEY  
7110 CONSTITUTION AVE. N.E.  
ALBUQUERQUE, NM 87102

BECKER PERIC SABATINI  
7601  
DANICY BUSHNELL  
P.O. BOX 90704  
ALBUQUERQUE, NM 87102

BECKER PERIC SABATINI  
7601  
LAURA GARCIA  
1404 KATIE ST. N.E.  
ALBUQUERQUE, NM 87102

BECKER PERIC SABATINI  
7601  
ROBERT HANIGER  
P.O. BOX 30704  
ALBUQUERQUE, NM 87102

BECKER PERIC SABATINI  
7601  
JOHN KINNEY  
7110 CONSTITUTION AVE. N.E.  
ALBUQUERQUE, NM 87102

BECKER PERIC SABATINI  
7601  
DANIEL HUGHENBOUT  
2004 CHAMA ST. N.E.  
ALBUQUERQUE, NM 87102

BECKER PERIC SABATINI  
7601  
RON SOLOSMITH  
1216 ALCAZAR ST. N.E.  
ALBUQUERQUE, NM 87102

BECKER PERIC SABATINI  
7601  
DANIEL HUGHENBOUT  
2004 CHAMA ST. N.E.  
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BECKER PERIC SABATINI  
7601  
DONNA VETTER  
3711 HOFFMAN DR. N.E.  
ALBUQUERQUE, NM 87102

BECKER PERIC SABATINI  
7601  
BARTY BLITTON  
7718 CUTLER AVE. N.E.  
ALBUQUERQUE, NM 87102



DEKKER PERICH SABATINI 7601 JEFFERSON NE, SUITE 100 ALBUQUERQUE, NM 87109  
JULIE NIELSEN  
8020 BELLAH AVE NE  
ALBUQUERQUE NM 87110

DEKKER PERICH SABATINI 7601 JEFFERSON NE, SUITE 100 ALBUQUERQUE, NM 87109  
DIANE ROSSIGNOL  
1601 PENNSYLVANIA ST NE  
ALBUQUERQUE NM 87110

DEKKER PERICH SABATINI 7601 JEFFERSON NE, SUITE 100 ALBUQUERQUE, NM 87109  
ERIC SHIRLEY  
900 GROVE ST NE  
ALBUQUERQUE NM 87110

DEKKER PERICH SABATINI 7601 JEFFERSON NE, SUITE 100 ALBUQUERQUE, NM 87109  
JOEL WOOLDRIDGE  
1500 INDIANA ST NE  
ALBUQUERQUE NM 87110

DEKKER PERICH SABATINI 7601 JEFFERSON NE, SUITE 100 ALBUQUERQUE, NM 87109  
ERIC OLIVAS  
2708 VALENCIA DR NE  
ALBUQUERQUE NM 87110

DEKKER PERICH SABATINI 7601 JEFFERSON NE, SUITE 100 ALBUQUERQUE, NM 87109  
ROBERT LAH  
2901 MESILLA ST NE  
ALBUQUERQUE NM 87110

DEKKER PERICH SABATINI 7601 JEFFERSON NE, SUITE 100 ALBUQUERQUE, NM 87109  
STEVE RANDALL  
7424 ARVADA NE  
ALBUQUERQUE NM 87110

DEKKER PERICH SABATINI 7601 JEFFERSON NE, SUITE 100 ALBUQUERQUE, NM 87109  
BARBARA LOHBECK  
1302 CALIFORNIA ST NE  
ALBUQUERQUE NM 87110

DEKKER PERICH SABATINI 7601 JEFFERSON NE, SUITE 100 ALBUQUERQUE, NM 87109  
LYNNE MARTIN  
1531 ESPEJO NE  
ALBUQUERQUE NM 87112

DEKKER PERICH SABATINI 7601 JEFFERSON NE, SUITE 100 ALBUQUERQUE, NM 87109  
LISA WHALEN  
2713 CARDENAS DR NE  
ALBUQUERQUE NM 87110

DEKKER PERICH SABATINI 7601 JEFFERSON NE, SUITE 100 ALBUQUERQUE, NM 87109  
SHIRLEY LOCKYER  
7501 SKY CT CIRCLE NE  
ALBUQUERQUE NM 87110



DEKKER  
PERICH  
SABATINI

7601 JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109

VIRGINIA KINNEY  
7110 CONSTITUTION AVE NE  
ALBUQUERQUE NM 87110



DEKKER  
PERICH  
SABATINI

7601 JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109

DARCY BUSHNELL  
P O BOX 35704  
ALBUQUERQUE NM 87176



DEKKER  
PERICH  
SABATINI

7601 JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109

LAURA GARCIA  
1404 KATIE ST NE  
ALBUQUERQUE NM 87110



DEKKER  
PERICH  
SABATINI

7601 JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109

ROBERT HABIGER  
PO BOX 35704  
ALBUQUERQUE NM 87176



DEKKER  
PERICH  
SABATINI

7601 JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109

JOHN KINNEY  
7110 CONSTITUTION AVE NE  
ALBUQUERQUE NM 87110



DEKKER  
PERICH  
SABATINI

7601 JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109

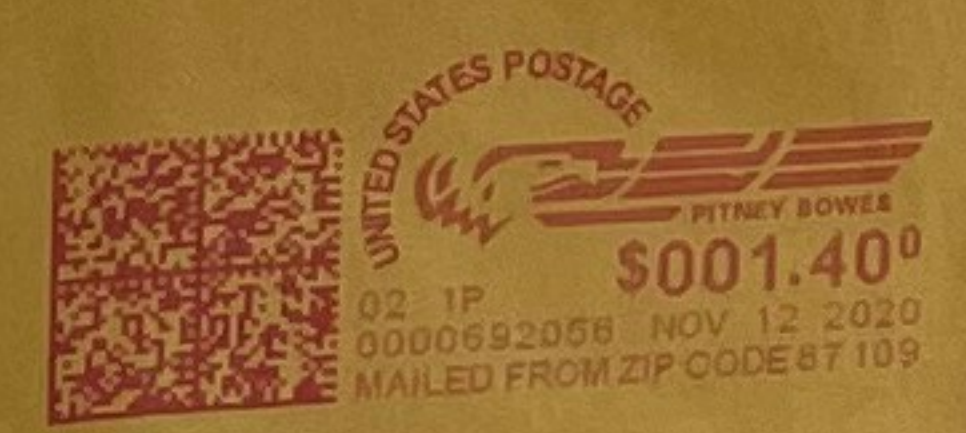
DAVID HAUGHAWOUT  
2824 CHAMA ST NE  
ALBUQUERQUE NM 87110



DEKKER  
PERICH  
SABATINI

7601 JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109

RON GOLDSMITH  
1216 ALCAZAR ST NE  
ALBUQUERQUE NM 87110



DEKKER  
PERICH  
SABATINI

7601 JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109

DAVID HAUGHAWOUT  
2824 CHAMA ST NE  
ALBUQUERQUE NM 87110



DEKKER  
PERICH  
SABATINI

7601 JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109

DONNA YETTER  
2111 HOFFMAN DR NE  
ALBUQUERQUE NM 87110

DEKKER  
PERICH  
SABATINI

7601 JEFFERSON NE, SUITE 100  
ALBUQUERQUE, NM 87109

MAYA SUTTON  
7718 CUTLER AVE NE  
ALBUQUERQUE NM 87110



# **09 PROOF OF NEIGHBORHOOD MEETING**

## C. Meeting Summary

## Neighborhood Meeting Report



Project: **Lofts at Winrock**  
Date: 10-30-2020  
Place: Virtual through Go-to-Meeting

Attendees: Darin Sand – Goodman Reality Group; Will Gleason, Hannah Feil Greenhood, Christopher Whyman, Jitka Dekojova and Jessica Lawlis - DPS; Maya Sutton, Karen Campbell, Toni, and Donna Yetter- Inez Neighborhood Association

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, Goodman Reality Group, owners of the subject property, provided all adjacent Neighborhood and an opportunity to meet and discuss the proposed site development plan amendment for the Lofts at Winrock. At the request of the neighborhood meeting, the applicant held a neighborhood meeting with the board of the Inez neighborhood association on October 30<sup>th</sup>, 2020 over Go-To-Meeting to discuss the project and respond to potential concerns. Detailed meeting notes documenting the conversations that occurred are outlined below. **At the conclusion of the meeting the Inez Neighborhood Association stated they were in support of the variances as proposed.**

### Discussion Items:

1. Introductions and Welcome
  - a. Overview by Ms. Lawlis/Ms. Greenhood with details of the proposed multi-family development within the Winrock Town Center
2. Discussion of the three Variances to be sent to the ZHE for approval
  - a. Minimum Ground Floor Height
    - i. Min 12' ground floor height. Asking for 9' instead of 12', which is more typical for residential development, especially for the size of the units as they are designed.
    - ii. One of the elevations shown looked like it has retail on the bottom floor, but the section cuts don't appear to have retail. Those images don't actually show retail, they show some of the residential amenities including the clubhouse, these spaces would also have a 9' ceiling height.
  - b. Minimum Ground Floor Glazing
    - iii. Requirement is 60% and the request is to allow 40% glazing. 40% is on par with the energy code and the proposed residential uses.
    - iv. Even with this percentage of glazing it, these ground-floor uses feel a bit like fish bowls.
  - c. Pedestrian Connections
    - v. Sidewalk widths are determine by the building size, which would require 12' on Pennsylvania and 15' on the remaining roadways. We are proposing 10' along Indian school and 6' on the remaining roadways.
    - vi. Existing sidewalk is 6'7" will you match that condition, that measurement includes the curb. The proposed condition will be the same.
    - vii. NA acknowledges that on Pennsylvania, you aren't going to get a 12' sidewalk in there
3. Questions from INA Board Members (for questions not answered in the Overview):
  - b. What would be the height of the apartment buildings? Of the townhouse building?
    - i. Highest parapet on buildings 1 and 2 is 50'-6" – 53'-6"
    - ii. Building 2 steps down at the northwest corner to 36'-6"
    - iii. Townhouses are 48'-0"
    - iv. Where is the extra height coming from? Wood-frame construction utilizes 12' floor-to-floor (12X4=48") then the necessary area for roofing and parapet.
    - v. The 4 foot grade change also comes into play across the site.
  - c. Also, what would be the length and width of each of those 3 buildings?

- i. Approx. 240' long (north-south) / Building 1 200' wide east west (Building 2 – 67-70' wide X 240' long)
  - ii. Townhouse building is 90' wide east/west
- d. Considering how close the proposed apartments would be to Inez Elementary School, what is the IDO specification for the allowed height of any new residential buildings within 100 feet (or less) of a school? In the past, INA Boards of Directors have not opposed structures 3 stories high on Winrock property.
  - i. Lot is zoned MX-M, no items in the IDO for this lot indicate any lower height restrictions relative to adjacent school buildings. 65'-0" height.
  - ii. Neighborhood Edge Protections provide protection for single-family residences, the school, but since the adjacent lot contains a school not a single-family residence these requirements don't apply.
- e. From the Uptown Sector Plan, the corner lot at Indian School and Penna is a "Buffer Zone," with protections regarding setbacks and height restrictions. Please inform us of how your proposed development plan meets those protections.
  - i. Uptown Sector Plan is no longer valid with IDO in place. (Previous height restriction was 30'-0". See roof terrace.
- f. Does the designation of the corner lot as a Buffer Zone make it not part of a Major Urban Center? Therefore, is it subject to height limitations on buildings near a City park, public school, or neighborhood "edge" zoned R-1? [All three apply to this lot]
  - i. According to code enforcement at the PRT, we are not required to provide the height step-down from the neighborhood edge regulations within the IDO (5-9) because the adjacent site zoned R-1 contains a school and not a single-family residence.
  - ii. The site design steps down the building at the corner, which will have a rooftop terrace
- g. How many apartments are planned? How many 1, 2, or 3 bedroom apartments?
  - i. 199 units. 39 studios, 96 ones, 56 twos, and 8 townhouses (829sf)
  - ii. Second story is lofted to the second floor- all 1 bedroom townhouses
- h. How many units will be in the townhouse building?
  - i. 8
- i. Do you plan for residents to lease, or to purchase the units?
  - i. Rental only.
  - ii. Units will not be owned
- j. Will there be a Homeowners Association?
  - i. Professional Management Company will be managing the complex.
- k. Is the financing for this project already obtained, and is it solid? Will some HUD be used?
  - i. Financing is not obtained yet, the applicant is seeking HUB financing
- l. What will be on the ground floor of the apartment buildings? Apartments?
  - i. Apartments and apartment amenities.
- m. What is the projected price range for leasing and/or selling the units?
  - i. Average 190 per square foot – 1900 a month approximately
  - ii. These units
- n. Is the development going to be an over-55 community? Anyone under 18 allowed?
  - i. Studio, 1 and 2 bedrooms,
- o. What is the official name of this project?
  - i. Currently being called the Lofts at Winrock. Have not settled on a name yet. The associations did not like Pine Needle. Only the townhouses have the lofts, the other units have a loft feel.
  - ii. Any naming suggestion are welcome.



- p. Would you please show us an “elevation view” so we can see the front of the buildings? Horizontal and vertical setbacks break up a building and aesthetically look better than a flat box look. Will there be balconies?
  - i. Yes, there will be balconies.
- q. Please tell us what the building materials and colors will be.
  - i. Wood finish metal panel, white metal panel or stucco, and accent masonry.
- r. Will there be as many street trees as shown on the site plan? What variety – flowering pear, ash, or other? Will there be lower bushes to add more green foliage?
  - i. Street trees per City Ordinance. Landscape plan is not finalized.
  - ii. Planning as many street trees as we can place – the specific species haven’t been selected, but we will explore variety
  - iii. Underneath will be native landscaping
- s. Will the ground cover be rock, grass, or other?
  - i. Rock mulch or organic mulch
  - ii. No plans for turf as of now.
- t. Will the clubhouse have a meeting room that outside groups could use?
  - i. Don’t anticipate that there will be a meeting room that the public can use.
- u. Will the drapes/blinds facing Indian School and Pennsylvania be uniform in appearance?
  - i. Horizontal louver blinds are planned for all residences, roller shades for common spaces.
  - ii. Yes consistent from what we can control
- v. How much of parking next to Chuze Gym will be used for covered parking (keynote 15)?
  - i. 34 covered spaces currently proposed. Total number not finalized.
  - ii. Covered parking is being contemplated within the center island, but that is still in flux
- w. The plan shows a thin double line going around the property. Is that a security fence?
  - i. Buildings form the majority of the perimeter with small portions between and to the south at parking area.
- x. The plan shows a narrow landscaped median strip on Winrock Loop, north/south section. There is not one there now. Are you going to redo that street?
  - i. Roll curb now, per Fire Marshal. No landscaping unfortunately.
- y. Will there be a security fence along the development?
  - i. There will not a be fence, the building edges are meant to create a defensible space. There will be fencing between the buildings.
  - ii. There is a lot of foot traffic along there and there may be people walking up the windows. You may want to consider putting a fence around the perimeter. The apartments near Trader Joes weren’t going to put fencing around the units, but the NA convinced them to, the fenced units are rented and those without fencing have a harder time being fenced. Abq uptown units are garden style apartments that have the ability to walk right up to them and the design of these units. The existing zoning only allows 3’ fence height within this zone.
  - iii. Taylor Park is kiddy corner and people do congregate there, which may attract people that are casing the apartments. There is a lot of traffic in the area and security may be crucial.
  - iv. May want to consider looking at crime maps.
- z. Will there be human security guards? Or a security patrol?
  - i. There will be security guards on site and this onsite security will be increased as development onsite continues.
- aa. How will the locked gates be accessed by residents?
  - i. Access control gates on the site

#### **4. Conclusion**

- a. Based on the information discussed at the meeting, the Inez NA indicated that they are in support of the variances as proposed. No opposition expressed.**

End of Report

# Conference Report



Project No.: 19-0087  
Project: **Apartments at Indian School and Pennsylvania**  
Date: December 3, 2020 @ 4pm  
Place: Zoom

Attending: Bishop Cooper (New Hope Church), Melissa Lott (New Hope Church), Elder Beverly Jordan (New Hope Church), Elder Patrick (New Hope Church), Elbert Milton (New Hope Church), Darin Sand (Goodman Realty), Hannah Greenhood (Dekker Perich Sabatini)  
By: Hannah Greenhood

Copies To: Parties Present, to file for DRB Application  
Issue Date: December 4, 2020

## Discussion Items:

1. Introductions led by Bishop Cooper of New Hope Church Board of Directors and honorable clergy in attendance
  - a. Brief overview of the church's interest in the site across the street, about the church and the attendees on the line.
2. Project Overview provided by Development Team Lead: Darin Sand
  - a. Status Update on overall Master Plan progress including new retail, office space, possible hotel, infrastructure updates and central park.
  - b. Discussion regarding the progress on the overall Winrock Town Center development including high interest in the park and retail amenities.
  - c. New Hope Church expressed appreciation for keeping their community informed – Darin Sand has given multiple presentations over the years to keep the community up to date.
  - d. Overview of the partnership with the development team and the property management team.
    - i. Question regarding if the Church could use any of the community facilities.
    - ii. Response: Seems feasible but would need to confirm with the selected Property Management Team as they will have full control of the management of the property.
  - e. Overview of financing for the project including HUD Financing options and the contribution the project would be giving towards Work Force Housing support. (This was in response to an attendee's question about affordability integration. This response satisfied the attendee.)
3. Design Overview provided by Project Manager: Hannah Greenhood
  - a. General overview of building types, unit counts, and overall community programming to meet market rate apartment standards – focus on wellness and connections throughout the community.
  - b. Review of overall site plan including sidewalk width deviations, landscape requirements, and traffic.
  - c. Interest was expressed by the New Hope Church in the number of units, sizes of units and demographic. Clergy team mentioned possible new church members and new community members to the area was a positive.
  - d. Review of overall building layout of all three buildings
  - e. Review of unit plan options
  - f. Review of building elevations
    - i. Most interested in the main entrance to the community, amenity spaces, and the elevation facing north towards New Hope Church.
    - ii. The building step down to a terrace at the fourth level was intriguing to the Church Clergy.
    - iii. Overall focus was on how the project would or could affect the valuation of the Church and it's property. Upon discussion, the clergy expressed a very positive response to project and its major enhancement to an empty lot, design that fits the market, and fulfillment of a need for rental housing in the area.



4. Bishop Cooper and his team expressed their support for the project and offered to help move the development forward however needed.

*This report is assumed to be a true and accurate account of this communication unless notice to the contrary is received within 10 calendar days of issue.*

**End of Report**



# **10 SIGN POSTING AGREEMENT**

# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

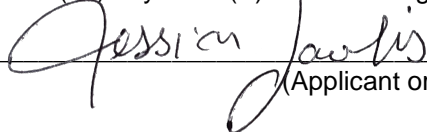
4. TIME

Signs must be posted from \_\_\_\_\_ To \_\_\_\_\_

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

  
\_\_\_\_\_  
(Applicant or Agent)

11.17.2020  
\_\_\_\_\_  
(Date)

I issued \_\_\_\_\_ signs for this application, \_\_\_\_\_, \_\_\_\_\_  
(Date) (Staff Member)

**PROJECT NUMBER:** \_\_\_\_\_



# **11 HEARING NOTIFICATIONS**

- A. ONC Response**
- B. Copy of notification and proof of mailing**
- C. Proof of email notice to NS reps**
- D. Property owners notification : Map and list of Property owners within 100ft, notifying letter, proof of mailing**

# **11 HEARING NOTIFICATIONS**

## **A. ONC Response**

**From:** [Cormons, Delaina L.](#)  
**To:** [Jessica Lewis](#)  
**Subject:** 7500 INDIAN SCHOOL RD NE Public Notice Inquiry  
**Date:** Thursday, November 5, 2020 3:04:21 PM  
**Attachments:** [image001.png](#)  
[image002.png](#)  
[image003.png](#)  
[image004.png](#)  
[image005.png](#)  
[IDOZoneAtlasPage\\_1:19:7.PDF](#)

Dear Applicant,

Please find the neighborhood contact information listed below.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
District 7 Coalition of Neighborhood Associations	Lynne	Martin	lmartin900@aol.com	1531 Espejo NE	Albuquerque	NM	87112	5059804107	5052940435
District 7 Coalition of Neighborhood Associations	David	Haughawout	davidh.d7@comcast.net	2824 Chama Street NE	Albuquerque	NM	87110	5055141965	5058884424
ABQ Park NA	Shirley	Lockyer	shirleylockyer@gmail.com	7501 Sky Court Circle NE	Albuquerque	NM	87110		5057107314
ABQ Park NA	Steve	Randall	srandall52@comcast.net	7424 Arvada NE	Albuquerque	NM	87110		5052648973
Alvarado Park NA	Robert	Habiger	apna87110@gmail.com	PO Box 35704	Albuquerque	NM	87176		
Alvarado Park NA	Darcy	Bushnell	dmc793@gmail.com	PO Box 35704	Albuquerque	NM	87176	5053795335	
Classic Uptown NA	Robert	Lah	robtlah@yahoo.com	2901 Mesilla Street NE	Albuquerque	NM	87110		5058838829
Classic Uptown NA	David	Haughawout	davidh.d7@comcast.net	2824 Chama Street NE	Albuquerque	NM	87110	5055141965	5058884424
Inez NA	Donna	Yetter	donna.yetter3@gmail.com	2111 Hoffman Drive NE	Albuquerque	NM	87110	5055504715	
Inez NA	Maya	Sutton	yemaya@swcp.com	7718 Cutler Avenue NE	Albuquerque	NM	87110		5052478070
Jerry Cline Park NA	Ron	Goldsmith	rongoldsmith@yahoo.com	1216 Alcazar Street NE	Albuquerque	NM	87110		5056630246
Jerry Cline Park NA	Eric	Shirley	ericshirley@comcast.net	900 Grove Street NE	Albuquerque	NM	87110	5052682595	
Mark Twain NA	Barbara	Lohbeck	bardean12@comcast.net	1402 California Street NE	Albuquerque	NM	87110	5052591932	5052540285
Mark Twain NA	Joel	Wooldridge	joel.c.wooldridge@gmail.com	1500 Indiana Street NE	Albuquerque	NM	87110		5053897840
Quigley Park NA	Lisa	Whalen	lisa.whelen@gmail.com	2713 Cardenas Drive NE	Albuquerque	NM	87110		5052770268
Quigley Park NA	Eric	Olivas	eoman505@gmail.com	2708 Valencia Drive NE	Albuquerque	NM	87110		5059344540
Snow Heights NA	Laura	Garcia	laurasmigi@aol.com	1404 Katie Street NE	Albuquerque	NM	87110	5052355858	
Snow Heights NA	Julie	Nielsen	bjdniels@msn.com	8020 Bellamah Avenue NE	Albuquerque	NM	87110	5053622313	5052923989
Winrock South NA	Virginia	Kinney		7110 Constitution Avenue NE	Albuquerque	NM	87110		5053215432
Winrock South NA	John	Kinney		7110 Constitution Avenue NE	Albuquerque	NM	87110		5053215432
Winrock Villas Condo Association	Diane	Rossignol	wvcondos@comcast.net	1601 Pennsylvania Street NE	Albuquerque	NM	87110		5058848280

You will need to e-mail each of the listed contacts and let them know that you are applying for a permit for your project. You can use this online link to find template language if you're not sure what information you need to include in your e-mail. <https://www.cabq.gov/planning/urban-design-development/public-notice>

If your permit application or project requires a neighborhood meeting, you can click on this link to find template language to use in your e-mail notification: <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If you have questions about what type of notification is required for your particular project, please click on the link below to see a table of different types of projects and what notification is required for each: <http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17-Part6.pdf>

Once you have e-mailed the contact individuals in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your permit application and submit it to the Planning Department for approval. PLEASE NOTE: The ONC does not have any jurisdiction over any other aspect of your permit application beyond the neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, or project plans, so we encourage you to contact the Planning Department at: 505-924-3860 or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

**If your permit or project requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.**

Thanks,





*Dalaina L. Carmona*

Senior Administrative Assistant  
Office of Neighborhood Coordination  
Council Services Department  
1 Civic Plaza NW, Suite 9087, 9<sup>th</sup> Floor  
Albuquerque, NM 87102  
505-768-3334  
[dcarmona@cabq.gov](mailto:dcarmona@cabq.gov) or [ONC@cabq.gov](mailto:ONC@cabq.gov)  
Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

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**From:** webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov  
**Sent:** Wednesday, November 04, 2020 4:52 PM  
**To:** Office of Neighborhood Coordination <JESSICAL@DPSDESIGN.ORG>  
**Cc:** Office of Neighborhood Coordination <onc@cabq.gov>  
**Subject:** Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:  
Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name  
JESSICA LAWLIS

Telephone Number  
5056592674

Email Address  
[JESSICAL@DPSDESIGN.ORG](mailto:JESSICAL@DPSDESIGN.ORG)

Company Name  
DPS

Company Address  
7601 Jefferson St

City  
Albuquerque

State  
NM

ZIP  
87109

Legal description of the subject site for this project:  
PARCEL E-1-A REPLAT OF PARCEL A-1-A-1-A-1 & PARCEL E-1-AWINROCK CENTER ADDITION CONT 3.3847 AC

Physical address of subject site:  
7500 INDIAN SCHOOL RD NE ALBUQUERQUE NM 87110

Subject site cross streets:  
Indian School / Pennsylvania

Other subject site identifiers:  
This site is located on the following zone atlas page:  
J-19

=====  
This message has been analyzed by Deep Discovery Email Inspector.

# **11 HEARING NOTIFICATIONS**

## **B. Copy of notification and proof of mailing**



**OFFICIAL PUBLIC NOTIFICATION FORM  
FOR MAILED OR ELECTRONIC MAIL NOTICE  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



<b>PART I - PROCESS</b>		
Use <a href="#">Table 6-1-1</a> in the Integrated Development Ordinance (IDO) to answer the following:		
Application Type:		
Decision-making Body:		
Pre-Application meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Neighborhood meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Mailed Notice required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Electronic Mail required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Is this a Site Plan Application:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<b>Note: if yes, see second page</b>
<b>PART II – DETAILS OF REQUEST</b>		
Address of property listed in application:	7500 Indian School Rd	
Name of property owner:	WINROCK PARTNERS LLC	
Name of applicant:	Will Gleason, Dekker Perich Sabatini	
Date, time, and place of public meeting or hearing, if applicable:	January 6, 2021	
Address, phone number, or website for additional information:	<a href="https://www.cabq.gov/planning/boards-commissions/development-review-board">https://www.cabq.gov/planning/boards-commissions/development-review-board</a>	
<b>PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE</b>		
<input checked="" type="checkbox"/> Zone Atlas page indicating subject property.		
<input checked="" type="checkbox"/> Drawings, elevations, or other illustrations of this request.		
<input checked="" type="checkbox"/> Summary of pre-submittal neighborhood meeting, if applicable.		
<input type="checkbox"/> Summary of request, including explanations of deviations, variances, or waivers.		
<b>IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO <a href="#">SUBSECTION 14-16-6-4(K)</a> OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.</b>		

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

\_\_\_\_\_ (Applicant signature)      12/17/2020 (Date)

**Note:** Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.





**OFFICIAL PUBLIC NOTIFICATION FORM  
FOR MAILED OR ELECTRONIC MAIL NOTICE  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



**PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY**

Provide a site plan that shows, at a minimum, the following:

- a. Location of proposed buildings and landscape areas.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations.
- d. For residential development: Maximum number of proposed dwelling units.
- e. For non-residential development:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

## Jessica Lawlis

---

**From:** Jessica Lawlis  
**Sent:** Thursday, December 17, 2020 3:23 PM  
**To:** 'shirleylockyer@gmail.com'; 'srandall52@comcast.net'  
**Subject:** DRB Submission Notification- Apartments at Indian School & Pennsylvania  
**Attachments:** ABQ Park NA\_.pdf; Site Plan.pdf

Dear Neighborhood Representative,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Site Development Plan for the Winrock Town Center with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is for an upscale four-story multi-family development approximately 227,000 square feet, proposed to accommodate 199 studio, one-bedroom and two-bedroom apartments, as well as a courtyard, outdoor recreation area, community pool, clubhouse, and a rooftop area for residents. Residential units will be spread over three four-story buildings, two of which are traditional multi-family apartments and one that is classified as a townhouse development that engages Indian School Rd and Pennsylvania St. This use is compatible with existing development on the block and is appropriate for a site within a designated Urban Activity Center.

**As of November 2, 2020, a revised Integrated Development Ordinance (IDO) has gone into effect. These updated regulations have resulted in changes to our original request. This project will no longer be required to obtain a variance to the Section 5-11(E)(2)(b) Minimum Ground Floor Glazing as the minimum ground floor glazing standards have been reduced to 30%. Additional changes to procedures have also eliminated the need for us to obtain variances through the ZHE. Instead the deviations to the required Ground Floor Clear Height and the required On-site Pedestrian Connections will now be heard at the DRB hearing.** As part of the site plan approval, the applicant is therefore requesting the following:

- **A deviation to the Section 5-11(E)(1) Ground Floor Clear Height.** This section requires the ground floor clear height, defined as "the vertical distance of the interior of a ground floor, measured from the slab or top of the sub-floor to the ceiling or the bottom on the exposed support structure for the second floor" of multi-family development within mixed-use zoning districts to be constructed with a minimum height of 10 feet. The applicant is requesting a deviation of 1 foot to allow a 9-foot ground floor ceiling height that is more on par with typical multi-family construction design.
- **A Waiver to the requirements of Section 5-3(D)(3)(b)(4) On-site Pedestrian Connections.** This section requires on-site walkway widths to correlate with the square footage of street-facing buildings that contain pedestrian entrances. Since the subject site is surrounded by streets on all sides, this requires all street-facing pedestrian walkways to be between 12 and 15 feet in width. The table below outlines the required walkway widths, the proposed width, and the resulting waiver request:

Proposed Variances to Pedestrian Walkway Widths			
Street Façade	Required Width	Proposed Width	Requested Waiver
Indian School Rd	15'	8'	7'
Winrock Loop - West	15'	6'	9'
Pennsylvania St	12'	6'	6'

Winrock Loop – South	15'	6'	9'
----------------------	-----	----	----

Compliance with these wide walkway widths is cumbersome on a constrained infill site that is surrounded by streets on all sides. The applicant therefore requests a waiver of 7 feet to the required 15-foot walkway along Indian School Rd, the front property line, to allow an 8-foot wide walkway along the primary street frontage. This is a change from the 10-foot width originally discussed and is requested as it allows for more landscape buffer along Indian School along with a closer relationship to existing sidewalks to the east and west on Indian School. The remaining pathways along Pennsylvania St and both segments of Winrock Loop are proposed to be 6 feet in width. The proposed walkway widths either exceed or match the existing facilities. The proposed 8' sidewalk along Indian School Rd exceeds the existing sidewalk width of 6'. The proposed 6' sidewalks along Pennsylvania St and Winrock Loop match the existing 6' sidewalks along those roadways. Given this is a constrained infill site that must also accommodate other requirements such as landscaping and parking, the proposed 6-foot sidewalk will allow us to provide additional amenities including adjacent landscaping and site furnishings that will increase the overall pedestrian experience and buffer the adjacent residential units. If the sidewalk width were to be increased, such amenities could not be included and the sidewalk would be immediately adjacent to ground floor residential units or directly adjacent to car traffic, which creates security and privacy concerns for residents and an imposing experience for pedestrians. The 6-foot width was also used to provide a consistent walking path from the south to the north along Pennsylvania St. The adjacent site to the south has a 6'-0" wide sidewalk.

As required by IDO Table 6-1-1, we are making you aware of the ZHE Public Hearing date of **January 6th, 2021 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>.

Enclosed you will find a preliminary site plan and building façade designs exhibits. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at [Jessical@dpsdesign.org](mailto:Jessical@dpsdesign.org).

Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

**Attachments:**

- **Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association**
- **Preliminary Site Plan**



Jessica Lawlis  
Urban Planner  
Dekker/Perich/Sabatini  
505.761.9700 / [dpsdesign.org](http://dpsdesign.org)

We're identifying design solutions and [rethinking design](#) for a changed society.



[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed/Emailed to a Neighborhood Association**

Date of Notice\*: 12/17/2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: ABQ Park NA

Name of NA Representative\*: Shirley Lockyer, Steve Randall

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: 7501 Sky Court Circle NE, 7424 Arvada NE

**Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 7500 Indian School Rd.  
Location Description \_\_\_\_\_
2. Property Owner\* Winrock Partners LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>2</sup>\*:

The request is for an Amendment to an Approved Site Plan to accommodate an upscale four-story multi-family development—at approximately 227,000 square feet.

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

5. This application will be decided at a public meeting or hearing by\*:

- Zoning Hearing Examiner (ZHE)                       Development Review Board (DRB)  
 Landmarks Commission (LC)                       Environmental Planning Commission (EPC)

Date/Time\*: January 6, 2021 at 9 AM

Location\*<sup>3</sup>: ZOOM, see DRB webpage for the latest Hearing information :https://  
www.cabq.gov/planning/boards-commissions/development-review-board

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>:

Enclosed within this mailing or by contacting [Jessical@dpsdesign.org](mailto:Jessical@dpsdesign.org)

**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> J19

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project\*:

- Deviation(s)                       Variance(s)                       Waiver(s)

Explanation\*:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes  No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, Goodman Reality Group, provided all adjacent Neighborhood and an opportunity to meet and discuss the proposed site development plan amendment and variances for a proposed multifamily development located at 7500 Indian School. At the request of the neighborhood meeting, the applicant held a neighborhood meeting with the board of the Inez neighborhood association on October 30th, 2020 over Go-To-Meeting to discuss the project and respond to potential concerns. At the conclusion of the meeting the Inez Neighborhood Association stated no opposition to the proposed variances as proposed.

<sup>3</sup> Physical address or Zoom link

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

- 1. Area of Property [typically in acres] 3.88 acres
- 2. IDO Zone District MX- M
- 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
- 4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] \_\_\_\_\_

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

- Cc: District 7 Coalition of Neighborhood Associations  
 ABQ Park NA  
 Alvarado Park NA  
 Classic Uptown NA \_\_\_\_\_ [Other Neighborhood Associations, if any]  
 Inez NA  
 Jerry Cline Park NA  
 Mark Twain NA  
 Quigley Park NA  
 Snow Heights NA  
 Winrock South NA  
 Winrock Villas Condo Association

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>



## Jessica Lawlis

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**From:** Jessica Lawlis  
**Sent:** Thursday, December 17, 2020 3:25 PM  
**To:** 'apna87110@gmail.com'; 'dmc793@gmail.com'  
**Subject:** DRB Submission Notification- Apartments at Indian School & Pennsylvania  
**Attachments:** Alvarado Park NA.pdf; Site Plan.pdf

. Dear Neighborhood Representative,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Site Development Plan for the Winrock Town Center with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is for an upscale four-story multi-family development approximately 227,000 square feet, proposed to accommodate 199 studio, one-bedroom and two-bedroom apartments, as well as a courtyard, outdoor recreation area, community pool, clubhouse, and a rooftop area for residents. Residential units will be spread over three four-story buildings, two of which are traditional multi-family apartments and one that is classified as a townhouse development that engages Indian School Rd and Pennsylvania St. This use is compatible with existing development on the block and is appropriate for a site within a designated Urban Activity Center.

**As of November 2, 2020, a revised Integrated Development Ordinance (IDO) has gone into effect. These updated regulations have resulted in changes to our original request. This project will no longer be required to obtain a variance to the Section 5-11(E)(2)(b) Minimum Ground Floor Glazing as the minimum ground floor glazing standards have been reduced to 30%. Additional changes to procedures have also eliminated the need for us to obtain variances through the ZHE. Instead the deviations to the required Ground Floor Clear Height and the required On-site Pedestrian Connections will now be heard at the DRB hearing.** As part of the site plan approval, the applicant is therefore requesting the following:

- **A deviation to the Section 5-11(E)(1) Ground Floor Clear Height.** This section requires the ground floor clear height, defined as "the vertical distance of the interior of a ground floor, measured from the slab or top of the sub-floor to the ceiling or the bottom on the exposed support structure for the second floor" of multi-family development within mixed-use zoning districts to be constructed with a minimum height of 10 feet. The applicant is requesting a deviation of 1 foot to allow a 9-foot ground floor ceiling height that is more on par with typical multi-family construction design.
- **A Waiver to the requirements of Section 5-3(D)(3)(b)(4) On-site Pedestrian Connections.** This section requires on-site walkway widths to correlate with the square footage of street-facing buildings that contain pedestrian entrances. Since the subject site is surrounded by streets on all sides, this requires all street-facing pedestrian walkways to be between 12 and 15 feet in width. The table below outlines the required walkway widths, the proposed width, and the resulting waiver request:

Proposed Variances to Pedestrian Walkway Widths			
Street Façade	Required Width	Proposed Width	Requested Waiver
Indian School Rd	15'	8'	7'
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Pennsylvania St	12'	6'	6'

Winrock Loop – South	15'	6'	9'
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Compliance with these wide walkway widths is cumbersome on a constrained infill site that is surrounded by streets on all sides. The applicant therefore requests a waiver of 7 feet to the required 15-foot walkway along Indian School Rd, the front property line, to allow an 8-foot wide walkway along the primary street frontage. This is a change from the 10-foot width originally discussed and is requested as it allows for more landscape buffer along Indian School along with a closer relationship to existing sidewalks to the east and west on Indian School. The remaining pathways along Pennsylvania St and both segments of Winrock Loop are proposed to be 6 feet in width. The proposed walkway widths either exceed or match the existing facilities. The proposed 8' sidewalk along Indian School Rd exceeds the existing sidewalk width of 6'. The proposed 6' sidewalks along Pennsylvania St and Winrock Loop match the existing 6' sidewalks along those roadways. Given this is a constrained infill site that must also accommodate other requirements such as landscaping and parking, the proposed 6-foot sidewalk will allow us to provide additional amenities including adjacent landscaping and site furnishings that will increase the overall pedestrian experience and buffer the adjacent residential units. If the sidewalk width were to be increased, such amenities could not be included and the sidewalk would be immediately adjacent to ground floor residential units or directly adjacent to car traffic, which creates security and privacy concerns for residents and an imposing experience for pedestrians. The 6-foot width was also used to provide a consistent walking path from the south to the north along Pennsylvania St. The adjacent site to the south has a 6'-0" wide sidewalk.

As required by IDO Table 6-1-1, we are making you aware of the ZHE Public Hearing date of **January 6th, 2021 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>.

Enclosed you will find a preliminary site plan and building façade designs exhibits. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at [Jessical@dpsdesign.org](mailto:Jessical@dpsdesign.org).

Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

**Attachments:**

- **Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association**
- **Preliminary Site Plan**



Jessica Lawlis  
Urban Planner  
Dekker/Perich/Sabatini  
505.761.9700 / [dpsdesign.org](http://dpsdesign.org)

We're identifying design solutions and [rethinking design](#) for a changed society.

[Note: Items with an asterisk (\*) are required.]

## Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association

Date of Notice\*: 12/17/2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Alvarado Park NA

Name of NA Representative\*: Robert Habiger, Darcy Bushnell

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: PO Box 35704, PO Box 35704

### Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 7500 Indian School Rd.  
Location Description \_\_\_\_\_
2. Property Owner\* Winrock Partners LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Deviation to Section 5-11(E)(1) Minimum Ground Floor Height

Summary of project/request<sup>2</sup>\*:

The request is for an Amendment to an Approved Site Plan to accommodate an upscale four-story multi-family development—at approximately 227,000 square feet.

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.



[Note: Items with an asterisk (\*) are required.]

5. This application will be decided at a public meeting or hearing by\*:

- Zoning Hearing Examiner (ZHE)                       Development Review Board (DRB)  
 Landmarks Commission (LC)                       Environmental Planning Commission (EPC)

Date/Time\*: January 6, 2021 at 9 AM

Location\*<sup>3</sup>: ZOOM, see DRB webpage for the latest Hearing information :https://  
www.cabq.gov/planning/boards-commissions/development-review-board

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>:

Enclosed within this mailing or by contacting Jessical@dpsdesign.org

**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> J19
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

- Deviation(s)                       Variance(s)                       Waiver(s)

Explanation\*:

Deviation to Section 5-11(E)(1) Minimum Ground Floor Height and a Wavier to Section 5-3(D)

(3)(b)(4) Pedestrian Connections.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes  No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, Goodman Reality Group, provided all adjacent Neighborhood and an opportunity to meet and discuss the proposed site development plan amendment and variances for a proposed multifamily development located at 7500 Indian School. At the request of the neighborhood meeting, the applicant held a neighborhood meeting with the board of the Inez neighborhood association on October 30th, 2020 over Go-To-Meeting to discuss the project and respond to potential concerns. At the conclusion of the meeting the Inez Neighborhood Association stated no opposition to the proposed variances as proposed.

<sup>3</sup> Physical address or Zoom link

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- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\*
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    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

- 1. Area of Property [typically in acres] 3.88 acres
  - 2. IDO Zone District MX- M
  - 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - 4. Center or Corridor Area [if applicable] Uptown Urban Center
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

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- Cc: District 7 Coalition of Neighborhood Associations  
 ABQ Park NA  
 Alvarado Park NA  
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 Inez NA  
 Jerry Cline Park NA  
 Mark Twain NA  
 Quigley Park NA  
 Snow Heights NA  
 Winrock South NA  
 Winrock Villas Condo Association

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

## Jessica Lawlis

---

**From:** Jessica Lawlis  
**Sent:** Thursday, December 17, 2020 3:34 PM  
**To:** robtlah@yahoo.com; davidh.d7@comcast.net  
**Subject:** DRB Submission Notification- Apartments at Indian School & Pennsylvania  
**Attachments:** Classic Uptown NA.pdf; Site Plan.pdf

Dear Neighborhood Representative,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Site Development Plan for the Winrock Town Center with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

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**As of November 2, 2020, a revised Integrated Development Ordinance (IDO) has gone into effect. These updated regulations have resulted in changes to our original request. This project will no longer be required to obtain a variance to the Section 5-11(E)(2)(b) Minimum Ground Floor Glazing as the minimum ground floor glazing standards have been reduced to 30%. Additional changes to procedures have also eliminated the need for us to obtain variances through the ZHE. Instead the deviations to the required Ground Floor Clear Height and the required On-site Pedestrian Connections will now be heard at the DRB hearing.** As part of the site plan approval, the applicant is therefore requesting the following:

- **A deviation to the Section 5-11(E)(1) Ground Floor Clear Height.** This section requires the ground floor clear height, defined as "the vertical distance of the interior of a ground floor, measured from the slab or top of the sub-floor to the ceiling or the bottom on the exposed support structure for the second floor" of multi-family development within mixed-use zoning districts to be constructed with a minimum height of 10 feet. The applicant is requesting a deviation of 1 foot to allow a 9-foot ground floor ceiling height that is more on par with typical multi-family construction design.
- **A Waiver to the requirements of Section 5-3(D)(3)(b)(4) On-site Pedestrian Connections.** This section requires on-site walkway widths to correlate with the square footage of street-facing buildings that contain pedestrian entrances. Since the subject site is surrounded by streets on all sides, this requires all street-facing pedestrian walkways to be between 12 and 15 feet in width. The table below outlines the required walkway widths, the proposed width, and the resulting waiver request:

Proposed Variances to Pedestrian Walkway Widths			
Street Façade	Required Width	Proposed Width	Requested Waiver
Indian School Rd	15'	8'	7'
Winrock Loop - West	15'	6'	9'
Pennsylvania St	12'	6'	6'



Winrock Loop – South	15'	6'	9'
----------------------	-----	----	----

Compliance with these wide walkway widths is cumbersome on a constrained infill site that is surrounded by streets on all sides. The applicant therefore requests a waiver of 7 feet to the required 15-foot walkway along Indian School Rd, the front property line, to allow an 8-foot wide walkway along the primary street frontage. This is a change from the 10-foot width originally discussed and is requested as it allows for more landscape buffer along Indian School along with a closer relationship to existing sidewalks to the east and west on Indian School. The remaining pathways along Pennsylvania St and both segments of Winrock Loop are proposed to be 6 feet in width. The proposed walkway widths either exceed or match the existing facilities. The proposed 8' sidewalk along Indian School Rd exceeds the existing sidewalk width of 6'. The proposed 6' sidewalks along Pennsylvania St and Winrock Loop match the existing 6' sidewalks along those roadways. Given this is a constrained infill site that must also accommodate other requirements such as landscaping and parking, the proposed 6-foot sidewalk will allow us to provide additional amenities including adjacent landscaping and site furnishings that will increase the overall pedestrian experience and buffer the adjacent residential units. If the sidewalk width were to be increased, such amenities could not be included and the sidewalk would be immediately adjacent to ground floor residential units or directly adjacent to car traffic, which creates security and privacy concerns for residents and an imposing experience for pedestrians. The 6-foot width was also used to provide a consistent walking path from the south to the north along Pennsylvania St. The adjacent site to the south has a 6'-0" wide sidewalk.

As required by IDO Table 6-1-1, we are making you aware of the ZHE Public Hearing date of **January 6th, 2021 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>.

Enclosed you will find a preliminary site plan and building façade designs exhibits. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at [Jessical@dpsdesign.org](mailto:Jessical@dpsdesign.org).

Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

**Attachments:**

- **Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association**
- **Preliminary Site Plan**



Jessica Lawlis  
Urban Planner  
Dekker/Perich/Sabatini  
505.761.9700 / [dpsdesign.org](http://dpsdesign.org)

We're identifying design solutions and [rethinking design](#) for a changed society.

[Note: Items with an asterisk (\*) are required.]

## Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association

Date of Notice\*: 12/17/2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Classic Uptown NA

Name of NA Representative\*: Robert Lah, David Haughawout

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: 2901 Mesilla Street NE, 2824 Chama Street NE

### Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 7500 Indian School Rd.  
Location Description \_\_\_\_\_
2. Property Owner\* Winrock Partners LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Deviation to Section 5-11(E)(1) Minimum Ground Floor Height

Summary of project/request<sup>2</sup>\*:

The request is for an Amendment to an Approved Site Plan to accommodate an upscale four-story multi-family development—at approximately 227,000 square feet.

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

5. This application will be decided at a public meeting or hearing by\*:

- Zoning Hearing Examiner (ZHE)                       Development Review Board (DRB)  
 Landmarks Commission (LC)                       Environmental Planning Commission (EPC)

Date/Time\*: January 6, 2021 at 9 AM

Location\*<sup>3</sup>: ZOOM, see DRB webpage for the latest Hearing information :https://  
www.cabq.gov/planning/boards-commissions/development-review-board

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>:

Enclosed within this mailing or by contacting Jessical@dpsdesign.org

**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> J19
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

- Deviation(s)                       Variance(s)                       Waiver(s)

Explanation\*:

Deviation to Section 5-11(E)(1) Minimum Ground Floor Height and a Wavier to Section 5-3(D)

(3)(b)(4) Pedestrian Connections.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes  No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, Goodman Reality Group, provided all adjacent Neighborhood and an opportunity to meet and discuss the proposed site development plan amendment and variances for a proposed multifamily development located at 7500 Indian School. At the request of the neighborhood meeting, the applicant held a neighborhood meeting with the board of the Inez neighborhood association on October 30th, 2020 over Go-To-Meeting to discuss the project and respond to potential concerns. At the conclusion of the meeting the Inez Neighborhood Association stated no opposition to the proposed variances as proposed.

<sup>3</sup> Physical address or Zoom link

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>



[Note: Items with an asterisk (\*) are required.]

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

- 1. Area of Property [typically in acres] 3.88 acres
  - 2. IDO Zone District MX- M
  - 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - 4. Center or Corridor Area [if applicable] Uptown Urban Center
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

- Cc: District 7 Coalition of Neighborhood Associations  
 ABQ Park NA  
 Alvarado Park NA  
 Classic Uptown NA \_\_\_\_\_ [Other Neighborhood Associations, if any]  
 Inez NA  
 Jerry Cline Park NA  
 Mark Twain NA  
 Quigley Park NA  
 Snow Heights NA  
 Winrock South NA  
 Winrock Villas Condo Association

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

## Jessica Lawlis

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**From:** Jessica Lawlis  
**Sent:** Thursday, December 17, 2020 3:35 PM  
**To:** davidh.d7@comcast.net; lmartin900@aol.com  
**Subject:** DRB Submission Notification- Apartments at Indian School & Pennsylvania  
**Attachments:** District 7 Coalition of Neighborhood Associations.pdf; Site Plan.pdf

Dear Neighborhood Representative,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Site Development Plan for the Winrock Town Center with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is for an upscale four-story multi-family development approximately 227,000 square feet, proposed to accommodate 199 studio, one-bedroom and two-bedroom apartments, as well as a courtyard, outdoor recreation area, community pool, clubhouse, and a rooftop area for residents. Residential units will be spread over three four-story buildings, two of which are traditional multi-family apartments and one that is classified as a townhouse development that engages Indian School Rd and Pennsylvania St. This use is compatible with existing development on the block and is appropriate for a site within a designated Urban Activity Center.

**As of November 2, 2020, a revised Integrated Development Ordinance (IDO) has gone into effect. These updated regulations have resulted in changes to our original request. This project will no longer be required to obtain a variance to the Section 5-11(E)(2)(b) Minimum Ground Floor Glazing as the minimum ground floor glazing standards have been reduced to 30%. Additional changes to procedures have also eliminated the need for us to obtain variances through the ZHE. Instead the deviations to the required Ground Floor Clear Height and the required On-site Pedestrian Connections will now be heard at the DRB hearing.** As part of the site plan approval, the applicant is therefore requesting the following:

- **A deviation to the Section 5-11(E)(1) Ground Floor Clear Height.** This section requires the ground floor clear height, defined as "the vertical distance of the interior of a ground floor, measured from the slab or top of the sub-floor to the ceiling or the bottom on the exposed support structure for the second floor" of multi-family development within mixed-use zoning districts to be constructed with a minimum height of 10 feet. The applicant is requesting a deviation of 1 foot to allow a 9-foot ground floor ceiling height that is more on par with typical multi-family construction design.
- **A Waiver to the requirements of Section 5-3(D)(3)(b)(4) On-site Pedestrian Connections.** This section requires on-site walkway widths to correlate with the square footage of street-facing buildings that contain pedestrian entrances. Since the subject site is surrounded by streets on all sides, this requires all street-facing pedestrian walkways to be between 12 and 15 feet in width. The table below outlines the required walkway widths, the proposed width, and the resulting waiver request:

Proposed Variances to Pedestrian Walkway Widths			
Street Façade	Required Width	Proposed Width	Requested Waiver
Indian School Rd	15'	8'	7'
Winrock Loop - West	15'	6'	9'

Pennsylvania St	12'	6'	6'
Winrock Loop – South	15'	6'	9'

Compliance with these wide walkway widths is cumbersome on a constrained infill site that is surrounded by streets on all sides. The applicant therefore requests a waiver of 7 feet to the required 15-foot walkway along Indian School Rd, the front property line, to allow an 8-foot wide walkway along the primary street frontage. This is a change from the 10-foot width originally discussed and is requested as it allows for more landscape buffer along Indian School along with a closer relationship to existing sidewalks to the east and west on Indian School. The remaining pathways along Pennsylvania St and both segments of Winrock Loop are proposed to be 6 feet in width. The proposed walkway widths either exceed or match the existing facilities. The proposed 8' sidewalk along Indian School Rd exceeds the existing sidewalk width of 6'. The proposed 6' sidewalks along Pennsylvania St and Winrock Loop match the existing 6' sidewalks along those roadways. Given this is a constrained infill site that must also accommodate other requirements such as landscaping and parking, the proposed 6-foot sidewalk will allow us to provide additional amenities including adjacent landscaping and site furnishings that will increase the overall pedestrian experience and buffer the adjacent residential units. If the sidewalk width were to be increased, such amenities could not be included and the sidewalk would be immediately adjacent to ground floor residential units or directly adjacent to car traffic, which creates security and privacy concerns for residents and an imposing experience for pedestrians. The 6-foot width was also used to provide a consistent walking path from the south to the north along Pennsylvania St. The adjacent site to the south has a 6'-0" wide sidewalk.

As required by IDO Table 6-1-1, we are making you aware of the ZHE Public Hearing date of **January 6th, 2021 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>.

Enclosed you will find a preliminary site plan and building façade designs exhibits. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at [Jessical@dpsdesign.org](mailto:Jessical@dpsdesign.org).

Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

**Attachments:**

- **Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association**
- **Preliminary Site Plan**



Jessica Lawlis  
Urban Planner  
Dekker/Perich/Sabatini  
505.761.9700 / [dpsdesign.org](http://dpsdesign.org)

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[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed/Emailed to a Neighborhood Association**

Date of Notice\*: 12/17/2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: District 7 Coalition of Neighborhood Associations

Name of NA Representative\*: David Haughawout, Lynne Martin

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: 2824 Chama Street NE, 1531 Espejo NE

**Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 7500 Indian School Rd.  
Location Description \_\_\_\_\_
2. Property Owner\* Winrock Partners LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Deviation to Section 5-11(E)(1) Minimum Ground Floor Height

Summary of project/request<sup>2</sup>\*:

The request is for an Amendment to an Approved Site Plan to accommodate an upscale four-story multi-family development—at approximately 227,000 square feet.

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

5. This application will be decided at a public meeting or hearing by\*:

- Zoning Hearing Examiner (ZHE)                       Development Review Board (DRB)  
 Landmarks Commission (LC)                       Environmental Planning Commission (EPC)

Date/Time\*: January 6, 2021 at 9 AM

Location\*<sup>3</sup>: ZOOM, see DRB webpage for the latest Hearing information :https://  
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Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>:

Enclosed within this mailing or by contacting Jessical@dpsdesign.org

**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> J19
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

- Deviation(s)                       Variance(s)                       Waiver(s)

Explanation\*:

Deviation to Section 5-11(E)(1) Minimum Ground Floor Height and a Wavier to Section 5-3(D)

(3)(b)(4) Pedestrian Connections.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):     Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, Goodman Reality Group, provided all adjacent Neighborhood and an opportunity to meet and discuss the proposed site development plan amendment and variances for a proposed multifamily development located at 7500 Indian School. At the request of the neighborhood meeting, the applicant held a neighborhood meeting with the board of the Inez neighborhood association on October 30th, 2020 over Go-To-Meeting to discuss the project and respond to potential concerns. At the conclusion of the meeting the Inez Neighborhood Association stated no opposition to the proposed variances as proposed.

<sup>3</sup> Physical address or Zoom link

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- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
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  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

- 1. Area of Property [typically in acres] 3.88 acres
  - 2. IDO Zone District MX- M
  - 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - 4. Center or Corridor Area [if applicable] Uptown Urban Center
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- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

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- Cc: District 7 Coalition of Neighborhood Associations  
 ABQ Park NA  
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 Inez NA  
 Jerry Cline Park NA  
 Mark Twain NA  
 Quigley Park NA  
 Snow Heights NA  
 Winrock South NA  
 Winrock Villas Condo Association

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>



## Jessica Lawlis

---

**From:** Jessica Lawlis  
**Sent:** Thursday, December 17, 2020 3:38 PM  
**To:** donna.yetter3@gmail.com; yemaya@swcp.com  
**Subject:** DRB Submission Notification- Apartments at Indian School & Pennsylvania  
**Attachments:** Inez NA.pdf; Site Plan.pdf

Dear Neighborhood Representative,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Site Development Plan for the Winrock Town Center with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is for an upscale four-story multi-family development approximately 227,000 square feet, proposed to accommodate 199 studio, one-bedroom and two-bedroom apartments, as well as a courtyard, outdoor recreation area, community pool, clubhouse, and a rooftop area for residents. Residential units will be spread over three four-story buildings, two of which are traditional multi-family apartments and one that is classified as a townhouse development that engages Indian School Rd and Pennsylvania St. This use is compatible with existing development on the block and is appropriate for a site within a designated Urban Activity Center.

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Winrock Loop – South	15'	6'	9'
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Compliance with these wide walkway widths is cumbersome on a constrained infill site that is surrounded by streets on all sides. The applicant therefore requests a waiver of 7 feet to the required 15-foot walkway along Indian School Rd, the front property line, to allow an 8-foot wide walkway along the primary street frontage. This is a change from the 10-foot width originally discussed and is requested as it allows for more landscape buffer along Indian School along with a closer relationship to existing sidewalks to the east and west on Indian School. The remaining pathways along Pennsylvania St and both segments of Winrock Loop are proposed to be 6 feet in width. The proposed walkway widths either exceed or match the existing facilities. The proposed 8' sidewalk along Indian School Rd exceeds the existing sidewalk width of 6'. The proposed 6' sidewalks along Pennsylvania St and Winrock Loop match the existing 6' sidewalks along those roadways. Given this is a constrained infill site that must also accommodate other requirements such as landscaping and parking, the proposed 6-foot sidewalk will allow us to provide additional amenities including adjacent landscaping and site furnishings that will increase the overall pedestrian experience and buffer the adjacent residential units. If the sidewalk width were to be increased, such amenities could not be included and the sidewalk would be immediately adjacent to ground floor residential units or directly adjacent to car traffic, which creates security and privacy concerns for residents and an imposing experience for pedestrians. The 6-foot width was also used to provide a consistent walking path from the south to the north along Pennsylvania St. The adjacent site to the south has a 6'-0" wide sidewalk.

As required by IDO Table 6-1-1, we are making you aware of the ZHE Public Hearing date of **January 6th, 2021 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>.

Enclosed you will find a preliminary site plan and building façade designs exhibits. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at [Jessical@dpsdesign.org](mailto:Jessical@dpsdesign.org).

Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

**Attachments:**

- **Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association**
- **Preliminary Site Plan**



Jessica Lawlis  
Urban Planner  
Dekker/Perich/Sabatini  
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We're identifying design solutions and [rethinking design](#) for a changed society.

[Note: Items with an asterisk (\*) are required.]

## Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association

Date of Notice\*: 12/17/2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Inez NA

Name of NA Representative\*: Donna Yetter, Maya Sutton

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: 2111 Hoffman Drive NE, 7718 Cutler Avenue NE

### Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 7500 Indian School Rd.  
Location Description \_\_\_\_\_
2. Property Owner\* Winrock Partners LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Deviation to Section 5-11(E)(1) Minimum Ground Floor Height

Summary of project/request<sup>2</sup>\*:

The request is for an Amendment to an Approved Site Plan to accommodate an upscale four-story multi-family development—at approximately 227,000 square feet.

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

5. This application will be decided at a public meeting or hearing by\*:

- Zoning Hearing Examiner (ZHE)                       Development Review Board (DRB)
- Landmarks Commission (LC)                       Environmental Planning Commission (EPC)

Date/Time\*: January 6, 2021 at 9 AM

Location\*<sup>3</sup>: ZOOM, see DRB webpage for the latest Hearing information :https://  
www.cabq.gov/planning/boards-commissions/development-review-board

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>:

Enclosed within this mailing or by contacting Jessical@dpsdesign.org

**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> J19
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

- Deviation(s)                       Variance(s)                       Waiver(s)

Explanation\*:  
Deviation to Section 5-11(E)(1) Minimum Ground Floor Height and a Wavier to Section 5-3(D)  
(3)(b)(4) Pedestrian Connections.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):     Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:  
In accordance with the procedures of the City of Albuquerque’s Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, Goodman Reality Group, provided all adjacent Neighborhood and an opportunity to meet and discuss the proposed site development plan amendment and variances for a proposed multifamily development located at 7500 Indian School. At the request of the neighborhood meeting, the applicant held a neighborhood meeting with the board of the Inez neighborhood association on October 30th, 2020 over Go-To-Meeting to discuss the project and respond to potential concerns. At the conclusion of the meeting the Inez Neighborhood Association stated no opposition to the proposed variances as proposed.

<sup>3</sup> Physical address or Zoom link

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>



[Note: Items with an asterisk (\*) are required.]

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

- 1. Area of Property [typically in acres] 3.88 acres
  - 2. IDO Zone District MX- M
  - 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - 4. Center or Corridor Area [if applicable] Uptown Urban Center
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: District 7 Coalition of Neighborhood Associations  
 ABQ Park NA  
 Alvarado Park NA  
 Classic Uptown NA \_\_\_\_\_ [Other Neighborhood Associations, if any]  
 Inez NA  
 Jerry Cline Park NA  
 Mark Twain NA  
 Quigley Park NA  
 Snow Heights NA  
 Winrock South NA  
 Winrock Villas Condo Association

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

## Jessica Lawlis

---

**From:** Jessica Lawlis  
**Sent:** Thursday, December 17, 2020 3:39 PM  
**To:** rongoldsmith@yahoo.com; ericshirley@comcast.net  
**Subject:** DRB Submission Notification- Apartments at Indian School & Pennsylvania  
**Attachments:** Jerry Cline Park NA.pdf; Site Plan.pdf

Dear Neighborhood Representative,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Site Development Plan for the Winrock Town Center with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is for an upscale four-story multi-family development approximately 227,000 square feet, proposed to accommodate 199 studio, one-bedroom and two-bedroom apartments, as well as a courtyard, outdoor recreation area, community pool, clubhouse, and a rooftop area for residents. Residential units will be spread over three four-story buildings, two of which are traditional multi-family apartments and one that is classified as a townhouse development that engages Indian School Rd and Pennsylvania St. This use is compatible with existing development on the block and is appropriate for a site within a designated Urban Activity Center.

**As of November 2, 2020, a revised Integrated Development Ordinance (IDO) has gone into effect. These updated regulations have resulted in changes to our original request. This project will no longer be required to obtain a variance to the Section 5-11(E)(2)(b) Minimum Ground Floor Glazing as the minimum ground floor glazing standards have been reduced to 30%. Additional changes to procedures have also eliminated the need for us to obtain variances through the ZHE. Instead the deviations to the required Ground Floor Clear Height and the required On-site Pedestrian Connections will now be heard at the DRB hearing.** As part of the site plan approval, the applicant is therefore requesting the following:

- **A deviation to the Section 5-11(E)(1) Ground Floor Clear Height.** This section requires the ground floor clear height, defined as "the vertical distance of the interior of a ground floor, measured from the slab or top of the sub-floor to the ceiling or the bottom on the exposed support structure for the second floor" of multi-family development within mixed-use zoning districts to be constructed with a minimum height of 10 feet. The applicant is requesting a deviation of 1 foot to allow a 9-foot ground floor ceiling height that is more on par with typical multi-family construction design.
- **A Waiver to the requirements of Section 5-3(D)(3)(b)(4) On-site Pedestrian Connections.** This section requires on-site walkway widths to correlate with the square footage of street-facing buildings that contain pedestrian entrances. Since the subject site is surrounded by streets on all sides, this requires all street-facing pedestrian walkways to be between 12 and 15 feet in width. The table below outlines the required walkway widths, the proposed width, and the resulting waiver request:

Proposed Variances to Pedestrian Walkway Widths			
Street Façade	Required Width	Proposed Width	Requested Waiver
Indian School Rd	15'	8'	7'
Winrock Loop - West	15'	6'	9'
Pennsylvania St	12'	6'	6'

Winrock Loop – South	15'	6'	9'
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Compliance with these wide walkway widths is cumbersome on a constrained infill site that is surrounded by streets on all sides. The applicant therefore requests a waiver of 7 feet to the required 15-foot walkway along Indian School Rd, the front property line, to allow an 8-foot wide walkway along the primary street frontage. This is a change from the 10-foot width originally discussed and is requested as it allows for more landscape buffer along Indian School along with a closer relationship to existing sidewalks to the east and west on Indian School. The remaining pathways along Pennsylvania St and both segments of Winrock Loop are proposed to be 6 feet in width. The proposed walkway widths either exceed or match the existing facilities. The proposed 8' sidewalk along Indian School Rd exceeds the existing sidewalk width of 6'. The proposed 6' sidewalks along Pennsylvania St and Winrock Loop match the existing 6' sidewalks along those roadways. Given this is a constrained infill site that must also accommodate other requirements such as landscaping and parking, the proposed 6-foot sidewalk will allow us to provide additional amenities including adjacent landscaping and site furnishings that will increase the overall pedestrian experience and buffer the adjacent residential units. If the sidewalk width were to be increased, such amenities could not be included and the sidewalk would be immediately adjacent to ground floor residential units or directly adjacent to car traffic, which creates security and privacy concerns for residents and an imposing experience for pedestrians. The 6-foot width was also used to provide a consistent walking path from the south to the north along Pennsylvania St. The adjacent site to the south has a 6'-0" wide sidewalk.

As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **January 6th, 2021 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>.

Enclosed you will find a preliminary site plan and building façade designs exhibits. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at [Jessical@dpsdesign.org](mailto:Jessical@dpsdesign.org).

Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

**Attachments:**

- **Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association**
- **Preliminary Site Plan**



Jessica Lawlis  
Urban Planner  
Dekker/Perich/Sabatini  
505.761.9700 / [dpsdesign.org](http://dpsdesign.org)

We're identifying design solutions and [rethinking design](#) for a changed society.

[Note: Items with an asterisk (\*) are required.]

## Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association

Date of Notice\*: 12/17/2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Jerry Cline Park NA

Name of NA Representative\*: Ron Goldsmith, Eric Shirley

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: 1216 Alcazar Street NE, 900 Grove Street NE

### Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 7500 Indian School Rd.  
Location Description \_\_\_\_\_
2. Property Owner\* Winrock Partners LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Deviation to Section 5-11(E)(1) Minimum Ground Floor Height

Summary of project/request<sup>2</sup>\*:

The request is for an Amendment to an Approved Site Plan to accommodate an upscale four-story multi-family development—at approximately 227,000 square feet.

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.



[Note: Items with an asterisk (\*) are required.]

5. This application will be decided at a public meeting or hearing by\*:

- Zoning Hearing Examiner (ZHE)                       Development Review Board (DRB)  
 Landmarks Commission (LC)                       Environmental Planning Commission (EPC)

Date/Time\*: January 6, 2021 at 9 AM

Location\*<sup>3</sup>: ZOOM, see DRB webpage for the latest Hearing information :https://  
www.cabq.gov/planning/boards-commissions/development-review-board

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>:

Enclosed within this mailing or by contacting Jessical@dpsdesign.org

**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> J19
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

- Deviation(s)                       Variance(s)                       Waiver(s)

Explanation\*:

Deviation to Section 5-11(E)(1) Minimum Ground Floor Height and a Wavier to Section 5-3(D)

(3)(b)(4) Pedestrian Connections.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):     Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, Goodman Reality Group, provided all adjacent Neighborhood and an opportunity to meet and discuss the proposed site development plan amendment and variances for a proposed multifamily development located at 7500 Indian School. At the request of the neighborhood meeting, the applicant held a neighborhood meeting with the board of the Inez neighborhood association on October 30th, 2020 over Go-To-Meeting to discuss the project and respond to potential concerns. At the conclusion of the meeting the Inez Neighborhood Association stated no opposition to the proposed variances as proposed.

<sup>3</sup> Physical address or Zoom link

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

- 1. Area of Property [typically in acres] 3.88 acres
  - 2. IDO Zone District MX- M
  - 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - 4. Center or Corridor Area [if applicable] Uptown Urban Center
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

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- Cc: District 7 Coalition of Neighborhood Associations  
 ABQ Park NA  
 Alvarado Park NA  
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 Inez NA  
 Jerry Cline Park NA  
 Mark Twain NA  
 Quigley Park NA  
 Snow Heights NA  
 Winrock South NA  
 Winrock Villas Condo Association

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

## Jessica Lawlis

---

**From:** Jessica Lawlis  
**Sent:** Thursday, December 17, 2020 3:43 PM  
**To:** bardean12@comcast.net; joel.c.wooldridge@gmail.com  
**Subject:** DRB Submission Notification- Apartments at Indian School & Pennsylvania  
**Attachments:** Mark Twain NA.pdf; Site Plan.pdf

Dear Neighborhood Representative,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Site Development Plan for the Winrock Town Center with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is for an upscale four-story multi-family development approximately 227,000 square feet, proposed to accommodate 199 studio, one-bedroom and two-bedroom apartments, as well as a courtyard, outdoor recreation area, community pool, clubhouse, and a rooftop area for residents. Residential units will be spread over three four-story buildings, two of which are traditional multi-family apartments and one that is classified as a townhouse development that engages Indian School Rd and Pennsylvania St. This use is compatible with existing development on the block and is appropriate for a site within a designated Urban Activity Center.

**As of November 2, 2020, a revised Integrated Development Ordinance (IDO) has gone into effect. These updated regulations have resulted in changes to our original request. This project will no longer be required to obtain a variance to the Section 5-11(E)(2)(b) Minimum Ground Floor Glazing as the minimum ground floor glazing standards have been reduced to 30%. Additional changes to procedures have also eliminated the need for us to obtain variances through the ZHE. Instead the deviations to the required Ground Floor Clear Height and the required On-site Pedestrian Connections will now be heard at the DRB hearing.** As part of the site plan approval, the applicant is therefore requesting the following:

- **A deviation to the Section 5-11(E)(1) Ground Floor Clear Height.** This section requires the ground floor clear height, defined as "the vertical distance of the interior of a ground floor, measured from the slab or top of the sub-floor to the ceiling or the bottom on the exposed support structure for the second floor" of multi-family development within mixed-use zoning districts to be constructed with a minimum height of 10 feet. The applicant is requesting a deviation of 1 foot to allow a 9-foot ground floor ceiling height that is more on par with typical multi-family construction design.
- **A Waiver to the requirements of Section 5-3(D)(3)(b)(4) On-site Pedestrian Connections.** This section requires on-site walkway widths to correlate with the square footage of street-facing buildings that contain pedestrian entrances. Since the subject site is surrounded by streets on all sides, this requires all street-facing pedestrian walkways to be between 12 and 15 feet in width. The table below outlines the required walkway widths, the proposed width, and the resulting waiver request:

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Pennsylvania St	12'	6'	6'

Winrock Loop – South	15'	6'	9'
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Compliance with these wide walkway widths is cumbersome on a constrained infill site that is surrounded by streets on all sides. The applicant therefore requests a waiver of 7 feet to the required 15-foot walkway along Indian School Rd, the front property line, to allow an 8-foot wide walkway along the primary street frontage. This is a change from the 10-foot width originally discussed and is requested as it allows for more landscape buffer along Indian School along with a closer relationship to existing sidewalks to the east and west on Indian School. The remaining pathways along Pennsylvania St and both segments of Winrock Loop are proposed to be 6 feet in width. The proposed walkway widths either exceed or match the existing facilities. The proposed 8' sidewalk along Indian School Rd exceeds the existing sidewalk width of 6'. The proposed 6' sidewalks along Pennsylvania St and Winrock Loop match the existing 6' sidewalks along those roadways. Given this is a constrained infill site that must also accommodate other requirements such as landscaping and parking, the proposed 6-foot sidewalk will allow us to provide additional amenities including adjacent landscaping and site furnishings that will increase the overall pedestrian experience and buffer the adjacent residential units. If the sidewalk width were to be increased, such amenities could not be included and the sidewalk would be immediately adjacent to ground floor residential units or directly adjacent to car traffic, which creates security and privacy concerns for residents and an imposing experience for pedestrians. The 6-foot width was also used to provide a consistent walking path from the south to the north along Pennsylvania St. The adjacent site to the south has a 6'-0" wide sidewalk.

As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **January 6th, 2021 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>.

Enclosed you will find a preliminary site plan and building façade designs exhibits. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at [Jessical@dpsdesign.org](mailto:Jessical@dpsdesign.org).

Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

**Attachments:**

- **Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association**
- **Preliminary Site Plan**



Jessica Lawlis  
Urban Planner  
Dekker/Perich/Sabatini  
505.761.9700 / [dpsdesign.org](http://dpsdesign.org)

We're identifying design solutions and [rethinking design](#) for a changed society.



[Note: Items with an asterisk (\*) are required.]

## Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association

Date of Notice\*: 12/17/2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Mark Twain NA

Name of NA Representative\*: Barbara Lohbeck, Joel Wooldridge

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: 1402 California Street NE, 1500 Indiana Street NE

### Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 7500 Indian School Rd.  
Location Description \_\_\_\_\_
2. Property Owner\* Winrock Partners LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Deviation to Section 5-11(E)(1) Minimum Ground Floor Height

Summary of project/request<sup>2</sup>\*:

The request is for an Amendment to an Approved Site Plan to accommodate an upscale four-story multi-family development—at approximately 227,000 square feet.

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

5. This application will be decided at a public meeting or hearing by\*:

- Zoning Hearing Examiner (ZHE)                       Development Review Board (DRB)  
 Landmarks Commission (LC)                       Environmental Planning Commission (EPC)

Date/Time\*: January 6, 2021 at 9 AM

Location\*<sup>3</sup>: ZOOM, see DRB webpage for the latest Hearing information :https://  
www.cabq.gov/planning/boards-commissions/development-review-board

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>:

Enclosed within this mailing or by contacting Jessical@dpsdesign.org

**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> J19
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

- Deviation(s)                       Variance(s)                       Waiver(s)

Explanation\*:

Deviation to Section 5-11(E)(1) Minimum Ground Floor Height and a Wavier to Section 5-3(D)

(3)(b)(4) Pedestrian Connections.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes  No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, Goodman Reality Group, provided all adjacent Neighborhood and an opportunity to meet and discuss the proposed site development plan amendment and variances for a proposed multifamily development located at 7500 Indian School. At the request of the neighborhood meeting, the applicant held a neighborhood meeting with the board of the Inez neighborhood association on October 30th, 2020 over Go-To-Meeting to discuss the project and respond to potential concerns. At the conclusion of the meeting the Inez Neighborhood Association stated no opposition to the proposed variances as proposed.

<sup>3</sup> Physical address or Zoom link

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

- 1. Area of Property [typically in acres] 3.88 acres
  - 2. IDO Zone District MX- M
  - 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - 4. Center or Corridor Area [if applicable] Uptown Urban Center
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

- Cc: District 7 Coalition of Neighborhood Associations  
 ABQ Park NA  
 Alvarado Park NA  
 Classic Uptown NA \_\_\_\_\_ [Other Neighborhood Associations, if any]  
 Inez NA  
 Jerry Cline Park NA  
 Mark Twain NA  
 Quigley Park NA  
 Snow Heights NA  
 Winrock South NA  
 Winrock Villas Condo Association

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

## Jessica Lawlis

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**From:** Jessica Lawlis  
**Sent:** Thursday, December 17, 2020 3:45 PM  
**To:** lisa.whalen@gmail.com; eoman505@gmail.com  
**Subject:** DRB Submission Notification- Apartments at Indian School & Pennsylvania  
**Attachments:** Quigley Park NA.pdf; Site Plan.pdf

Dear Neighborhood Representative,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Site Development Plan for the Winrock Town Center with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is for an upscale four-story multi-family development approximately 227,000 square feet, proposed to accommodate 199 studio, one-bedroom and two-bedroom apartments, as well as a courtyard, outdoor recreation area, community pool, clubhouse, and a rooftop area for residents. Residential units will be spread over three four-story buildings, two of which are traditional multi-family apartments and one that is classified as a townhouse development that engages Indian School Rd and Pennsylvania St. This use is compatible with existing development on the block and is appropriate for a site within a designated Urban Activity Center.

**As of November 2, 2020, a revised Integrated Development Ordinance (IDO) has gone into effect. These updated regulations have resulted in changes to our original request. This project will no longer be required to obtain a variance to the Section 5-11(E)(2)(b) Minimum Ground Floor Glazing as the minimum ground floor glazing standards have been reduced to 30%. Additional changes to procedures have also eliminated the need for us to obtain variances through the ZHE. Instead the deviations to the required Ground Floor Clear Height and the required On-site Pedestrian Connections will now be heard at the DRB hearing.** As part of the site plan approval, the applicant is therefore requesting the following:

- **A deviation to the Section 5-11(E)(1) Ground Floor Clear Height.** This section requires the ground floor clear height, defined as "the vertical distance of the interior of a ground floor, measured from the slab or top of the sub-floor to the ceiling or the bottom on the exposed support structure for the second floor" of multi-family development within mixed-use zoning districts to be constructed with a minimum height of 10 feet. The applicant is requesting a deviation of 1 foot to allow a 9-foot ground floor ceiling height that is more on par with typical multi-family construction design.
- **A Waiver to the requirements of Section 5-3(D)(3)(b)(4) On-site Pedestrian Connections.** This section requires on-site walkway widths to correlate with the square footage of street-facing buildings that contain pedestrian entrances. Since the subject site is surrounded by streets on all sides, this requires all street-facing pedestrian walkways to be between 12 and 15 feet in width. The table below outlines the required walkway widths, the proposed width, and the resulting waiver request:

Proposed Variances to Pedestrian Walkway Widths			
Street Façade	Required Width	Proposed Width	Requested Waiver
Indian School Rd	15'	8'	7'
Winrock Loop - West	15'	6'	9'
Pennsylvania St	12'	6'	6'



Winrock Loop – South	15'	6'	9'
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Compliance with these wide walkway widths is cumbersome on a constrained infill site that is surrounded by streets on all sides. The applicant therefore requests a waiver of 7 feet to the required 15-foot walkway along Indian School Rd, the front property line, to allow an 8-foot wide walkway along the primary street frontage. This is a change from the 10-foot width originally discussed and is requested as it allows for more landscape buffer along Indian School along with a closer relationship to existing sidewalks to the east and west on Indian School. The remaining pathways along Pennsylvania St and both segments of Winrock Loop are proposed to be 6 feet in width. The proposed walkway widths either exceed or match the existing facilities. The proposed 8' sidewalk along Indian School Rd exceeds the existing sidewalk width of 6'. The proposed 6' sidewalks along Pennsylvania St and Winrock Loop match the existing 6' sidewalks along those roadways. Given this is a constrained infill site that must also accommodate other requirements such as landscaping and parking, the proposed 6-foot sidewalk will allow us to provide additional amenities including adjacent landscaping and site furnishings that will increase the overall pedestrian experience and buffer the adjacent residential units. If the sidewalk width were to be increased, such amenities could not be included and the sidewalk would be immediately adjacent to ground floor residential units or directly adjacent to car traffic, which creates security and privacy concerns for residents and an imposing experience for pedestrians. The 6-foot width was also used to provide a consistent walking path from the south to the north along Pennsylvania St. The adjacent site to the south has a 6'-0" wide sidewalk.

As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **January 6th, 2021 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>.

Enclosed you will find a preliminary site plan and building façade designs exhibits. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at [Jessical@dpsdesign.org](mailto:Jessical@dpsdesign.org).

Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

**Attachments:**

- **Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association**
- **Preliminary Site Plan**



Jessica Lawlis  
Urban Planner  
Dekker/Perich/Sabatini  
505.761.9700 / [dpsdesign.org](http://dpsdesign.org)

We're identifying design solutions and [rethinking design](#) for a changed society.

[Note: Items with an asterisk (\*) are required.]

## Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association

Date of Notice\*: 12/17/2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Quigley Park NA

Name of NA Representative\*: Lisa Whalen, Eric Olivas

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: 2713 Cardenas Drive NE, 2708 Valencia Drive NE

### Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 7500 Indian School Rd.  
Location Description \_\_\_\_\_
2. Property Owner\* Winrock Partners LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Deviation to Section 5-11(E)(1) Minimum Ground Floor Height

Summary of project/request<sup>2</sup>\*:

The request is for an Amendment to an Approved Site Plan to accommodate an upscale four-story multi-family development—at approximately 227,000 square feet.

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

5. This application will be decided at a public meeting or hearing by\*:

- Zoning Hearing Examiner (ZHE)                       Development Review Board (DRB)
- Landmarks Commission (LC)                       Environmental Planning Commission (EPC)

Date/Time\*: January 6, 2021 at 9 AM

Location\*<sup>3</sup>: ZOOM, see DRB webpage for the latest Hearing information :https://  
www.cabq.gov/planning/boards-commissions/development-review-board

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>:

Enclosed within this mailing or by contacting Jessical@dpsdesign.org

**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> J19
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

- Deviation(s)                       Variance(s)                       Waiver(s)

Explanation\*:  
Deviation to Section 5-11(E)(1) Minimum Ground Floor Height and a Wavier to Section 5-3(D)  
(3)(b)(4) Pedestrian Connections.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):     Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:  
In accordance with the procedures of the City of Albuquerque’s Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, Goodman Reality Group, provided all adjacent Neighborhood and an opportunity to meet and discuss the proposed site development plan amendment and variances for a proposed multifamily development located at 7500 Indian School. At the request of the neighborhood meeting, the applicant held a neighborhood meeting with the board of the Inez neighborhood association on October 30th, 2020 over Go-To-Meeting to discuss the project and respond to potential concerns. At the conclusion of the meeting the Inez Neighborhood Association stated no opposition to the proposed variances as proposed.

<sup>3</sup> Physical address or Zoom link

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

- 1. Area of Property [typically in acres] 3.88 acres
  - 2. IDO Zone District MX- M
  - 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - 4. Center or Corridor Area [if applicable] Uptown Urban Center
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

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- Cc: District 7 Coalition of Neighborhood Associations  
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 Inez NA  
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 Quigley Park NA  
 Snow Heights NA  
 Winrock South NA  
 Winrock Villas Condo Association

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>



## Jessica Lawlis

---

**From:** Jessica Lawlis  
**Sent:** Thursday, December 17, 2020 3:46 PM  
**To:** laurasmigi@aol.com; bjdniels@msn.com  
**Subject:** DRB Submission Notification- Apartments at Indian School & Pennsylvania  
**Attachments:** Snow Heights NA.pdf; Site Plan.pdf

Dear Neighborhood Representative,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Site Development Plan for the Winrock Town Center with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is for an upscale four-story multi-family development approximately 227,000 square feet, proposed to accommodate 199 studio, one-bedroom and two-bedroom apartments, as well as a courtyard, outdoor recreation area, community pool, clubhouse, and a rooftop area for residents. Residential units will be spread over three four-story buildings, two of which are traditional multi-family apartments and one that is classified as a townhouse development that engages Indian School Rd and Pennsylvania St. This use is compatible with existing development on the block and is appropriate for a site within a designated Urban Activity Center.

**As of November 2, 2020, a revised Integrated Development Ordinance (IDO) has gone into effect. These updated regulations have resulted in changes to our original request. This project will no longer be required to obtain a variance to the Section 5-11(E)(2)(b) Minimum Ground Floor Glazing as the minimum ground floor glazing standards have been reduced to 30%. Additional changes to procedures have also eliminated the need for us to obtain variances through the ZHE. Instead the deviations to the required Ground Floor Clear Height and the required On-site Pedestrian Connections will now be heard at the DRB hearing.** As part of the site plan approval, the applicant is therefore requesting the following:

- **A deviation to the Section 5-11(E)(1) Ground Floor Clear Height.** This section requires the ground floor clear height, defined as "the vertical distance of the interior of a ground floor, measured from the slab or top of the sub-floor to the ceiling or the bottom on the exposed support structure for the second floor" of multi-family development within mixed-use zoning districts to be constructed with a minimum height of 10 feet. The applicant is requesting a deviation of 1 foot to allow a 9-foot ground floor ceiling height that is more on par with typical multi-family construction design.
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Street Façade	Required Width	Proposed Width	Requested Waiver
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Pennsylvania St	12'	6'	6'

Winrock Loop – South	15'	6'	9'
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Compliance with these wide walkway widths is cumbersome on a constrained infill site that is surrounded by streets on all sides. The applicant therefore requests a waiver of 7 feet to the required 15-foot walkway along Indian School Rd, the front property line, to allow an 8-foot wide walkway along the primary street frontage. This is a change from the 10-foot width originally discussed and is requested as it allows for more landscape buffer along Indian School along with a closer relationship to existing sidewalks to the east and west on Indian School. The remaining pathways along Pennsylvania St and both segments of Winrock Loop are proposed to be 6 feet in width. The proposed walkway widths either exceed or match the existing facilities. The proposed 8' sidewalk along Indian School Rd exceeds the existing sidewalk width of 6'. The proposed 6' sidewalks along Pennsylvania St and Winrock Loop match the existing 6' sidewalks along those roadways. Given this is a constrained infill site that must also accommodate other requirements such as landscaping and parking, the proposed 6-foot sidewalk will allow us to provide additional amenities including adjacent landscaping and site furnishings that will increase the overall pedestrian experience and buffer the adjacent residential units. If the sidewalk width were to be increased, such amenities could not be included and the sidewalk would be immediately adjacent to ground floor residential units or directly adjacent to car traffic, which creates security and privacy concerns for residents and an imposing experience for pedestrians. The 6-foot width was also used to provide a consistent walking path from the south to the north along Pennsylvania St. The adjacent site to the south has a 6'-0" wide sidewalk.

As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **January 6th, 2021 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>.

Enclosed you will find a preliminary site plan and building façade designs exhibits. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at [Jessical@dpsdesign.org](mailto:Jessical@dpsdesign.org).

Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

**Attachments:**

- **Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association**
- **Preliminary Site Plan**



Jessica Lawlis  
Urban Planner  
Dekker/Perich/Sabatini  
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[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed/Emailed to a Neighborhood Association**

Date of Notice\*: 12/17/2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Snow Heights NA

Name of NA Representative\*: Laura Garcia, Julie Nielsen

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: 1404 Katie Street NE, 8020 Bellamah Avenue NE

**Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 7500 Indian School Rd.  
Location Description \_\_\_\_\_
2. Property Owner\* Winrock Partners LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Deviation to Section 5-11(E)(1) Minimum Ground Floor Height

Summary of project/request<sup>2</sup>\*:

The request is for an Amendment to an Approved Site Plan to accommodate an upscale four-story multi-family development—at approximately 227,000 square feet.

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

5. This application will be decided at a public meeting or hearing by\*:

- Zoning Hearing Examiner (ZHE)                       Development Review Board (DRB)
- Landmarks Commission (LC)                       Environmental Planning Commission (EPC)

Date/Time\*: January 6, 2021 at 9 AM

Location\*<sup>3</sup>: ZOOM, see DRB webpage for the latest Hearing information :https://  
www.cabq.gov/planning/boards-commissions/development-review-board

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>:

Enclosed within this mailing or by contacting Jessical@dpsdesign.org

**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> J19
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

- Deviation(s)                       Variance(s)                       Waiver(s)

Explanation\*:  
Deviation to Section 5-11(E)(1) Minimum Ground Floor Height and a Wavier to Section 5-3(D)  
(3)(b)(4) Pedestrian Connections.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):     Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:  
In accordance with the procedures of the City of Albuquerque’s Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, Goodman Reality Group, provided all adjacent Neighborhood and an opportunity to meet and discuss the proposed site development plan amendment and variances for a proposed multifamily development located at 7500 Indian School. At the request of the neighborhood meeting, the applicant held a neighborhood meeting with the board of the Inez neighborhood association on October 30th, 2020 over Go-To-Meeting to discuss the project and respond to potential concerns. At the conclusion of the meeting the Inez Neighborhood Association stated no opposition to the proposed variances as proposed.

<sup>3</sup> Physical address or Zoom link

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- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
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  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

- 1. Area of Property [typically in acres] 3.88 acres
  - 2. IDO Zone District MX- M
  - 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - 4. Center or Corridor Area [if applicable] Uptown Urban Center
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

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 Winrock Villas Condo Association

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

## Jessica Lawlis

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**From:** Jessica Lawlis  
**Sent:** Thursday, December 17, 2020 3:47 PM  
**To:** wvcondos@comcast.net  
**Subject:** DRB Submission Notification- Apartments at Indian School & Pennsylvania  
**Attachments:** Winrock Villas Condo Association.pdf; Site Plan.pdf

Dear Neighborhood Representative,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Site Development Plan for the Winrock Town Center with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

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- **A deviation to the Section 5-11(E)(1) Ground Floor Clear Height.** This section requires the ground floor clear height, defined as "the vertical distance of the interior of a ground floor, measured from the slab or top of the sub-floor to the ceiling or the bottom on the exposed support structure for the second floor" of multi-family development within mixed-use zoning districts to be constructed with a minimum height of 10 feet. The applicant is requesting a deviation of 1 foot to allow a 9-foot ground floor ceiling height that is more on par with typical multi-family construction design.
- **A Waiver to the requirements of Section 5-3(D)(3)(b)(4) On-site Pedestrian Connections.** This section requires on-site walkway widths to correlate with the square footage of street-facing buildings that contain pedestrian entrances. Since the subject site is surrounded by streets on all sides, this requires all street-facing pedestrian walkways to be between 12 and 15 feet in width. The table below outlines the required walkway widths, the proposed width, and the resulting waiver request:

Proposed Variances to Pedestrian Walkway Widths			
Street Façade	Required Width	Proposed Width	Requested Waiver
Indian School Rd	15'	8'	7'
Winrock Loop - West	15'	6'	9'
Pennsylvania St	12'	6'	6'

Winrock Loop – South	15'	6'	9'
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Compliance with these wide walkway widths is cumbersome on a constrained infill site that is surrounded by streets on all sides. The applicant therefore requests a waiver of 7 feet to the required 15-foot walkway along Indian School Rd, the front property line, to allow an 8-foot wide walkway along the primary street frontage. This is a change from the 10-foot width originally discussed and is requested as it allows for more landscape buffer along Indian School along with a closer relationship to existing sidewalks to the east and west on Indian School. The remaining pathways along Pennsylvania St and both segments of Winrock Loop are proposed to be 6 feet in width. The proposed walkway widths either exceed or match the existing facilities. The proposed 8' sidewalk along Indian School Rd exceeds the existing sidewalk width of 6'. The proposed 6' sidewalks along Pennsylvania St and Winrock Loop match the existing 6' sidewalks along those roadways. Given this is a constrained infill site that must also accommodate other requirements such as landscaping and parking, the proposed 6-foot sidewalk will allow us to provide additional amenities including adjacent landscaping and site furnishings that will increase the overall pedestrian experience and buffer the adjacent residential units. If the sidewalk width were to be increased, such amenities could not be included and the sidewalk would be immediately adjacent to ground floor residential units or directly adjacent to car traffic, which creates security and privacy concerns for residents and an imposing experience for pedestrians. The 6-foot width was also used to provide a consistent walking path from the south to the north along Pennsylvania St. The adjacent site to the south has a 6'-0" wide sidewalk.

As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **January 6th, 2021 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>.

Enclosed you will find a preliminary site plan and building façade designs exhibits. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at [Jessical@dpsdesign.org](mailto:Jessical@dpsdesign.org).

Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

**Attachments:**

- **Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association**
- **Preliminary Site Plan**



Jessica Lawlis  
Urban Planner  
Dekker/Perich/Sabatini  
505.761.9700 / [dpsdesign.org](http://dpsdesign.org)

We're identifying design solutions and [rethinking design](#) for a changed society.

[Note: Items with an asterisk (\*) are required.]

## Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association

Date of Notice\*: 12/17/2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Winrock Villas Condo Association

Name of NA Representative\*: Diane Rossignol

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: 1601 Pennsylvania Street NE

### Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 7500 Indian School Rd.  
Location Description \_\_\_\_\_
2. Property Owner\* Winrock Partners LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Deviation to Section 5-11(E)(1) Minimum Ground Floor Height

Summary of project/request<sup>2</sup>\*:

The request is for an Amendment to an Approved Site Plan to accommodate an upscale four-story multi-family development—at approximately 227,000 square feet.

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.



[Note: Items with an asterisk (\*) are required.]

5. This application will be decided at a public meeting or hearing by\*:

- Zoning Hearing Examiner (ZHE)                       Development Review Board (DRB)  
 Landmarks Commission (LC)                       Environmental Planning Commission (EPC)

Date/Time\*: January 6, 2021 at 9 AM

Location\*<sup>3</sup>: ZOOM, see DRB webpage for the latest Hearing information :https://  
www.cabq.gov/planning/boards-commissions/development-review-board

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>:

Enclosed within this mailing or by contacting Jessical@dpsdesign.org

**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> J19
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

- Deviation(s)                       Variance(s)                       Waiver(s)

Explanation\*:

Deviation to Section 5-11(E)(1) Minimum Ground Floor Height and a Wavier to Section 5-3(D)

(3)(b)(4) Pedestrian Connections.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):     Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, Goodman Reality Group, provided all adjacent Neighborhood and an opportunity to meet and discuss the proposed site development plan amendment and variances for a proposed multifamily development located at 7500 Indian School. At the request of the neighborhood meeting, the applicant held a neighborhood meeting with the board of the Inez neighborhood association on October 30th, 2020 over Go-To-Meeting to discuss the project and respond to potential concerns. At the conclusion of the meeting the Inez Neighborhood Association stated no opposition to the proposed variances as proposed.

<sup>3</sup> Physical address or Zoom link

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

- 1. Area of Property [typically in acres] 3.88 acres
  - 2. IDO Zone District MX- M
  - 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - 4. Center or Corridor Area [if applicable] Uptown Urban Center
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

- Cc: District 7 Coalition of Neighborhood Associations  
 ABQ Park NA  
 Alvarado Park NA  
 Classic Uptown NA \_\_\_\_\_ [Other Neighborhood Associations, if any]  
 Inez NA  
 Jerry Cline Park NA  
 Mark Twain NA  
 Quigley Park NA  
 Snow Heights NA  
 Winrock South NA  
 Winrock Villas Condo Association

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

December 17, 2020

Virginia Kenny  
7110 Constitution Avenue NE  
Albuquerque NM  
87110

**RE: Request for Major Amendment to a Previously Approved Site Plan –DRB  
Amendment to the Winrock Town Center Site Plan  
Apartments at Indian School & Pennsylvania  
7500 Indian School Rd NE**

Dear Neighborhood Association Representative,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Site Development Plan for the Winrock Town Center with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is for an upscale four-story multi-family development at approximately 227,000 square feet, proposed to accommodate 199 studio, one-bedroom and two-bedroom apartments, as well as a courtyard, outdoor recreation area, community pool, clubhouse, and a rooftop area for residents. Residential units will be spread over three four-story buildings, two of which are traditional multi-family apartments and one that is classified as a townhouse development that engages Indian School Rd and Pennsylvania St. This use is compatible with existing development on the block and is appropriate for a site within a designated Urban Activity Center.

**As of November 2, 2020, a revised Integrated Development Ordinance (IDO) has gone into effect. These updated regulations have resulted in changes to our original request. This project will no longer be required to obtain a variance to the Section 5-11(E)(2)(b) Minimum Ground Floor Glazing as the minimum ground floor glazing standards have been reduced to 30%. Additional changes to procedures have also eliminated the need for us to obtain variances through the ZHE. Instead the deviations to the required Ground Floor Clear Height and the required On-site Pedestrian Connections will now be heard at the DRB hearing.** As part of the site plan approval, the applicant is therefore requesting the following:

- ***A deviation to the Section 5-11(E)(1) Ground Floor Clear Height.*** This section requires the ground floor clear height, defined as “the vertical distance of the interior of a ground floor, measured from the slab or top of the sub-floor to the ceiling or the bottom on the exposed support structure for the second floor” of multi-family development within mixed-use zoning districts to be constructed with a minimum height of 10 feet. The applicant is requesting a

deviation of 1 foot to allow a 9-foot ground floor ceiling height that is more on par with typical multi-family construction design.

- **A Waiver to the requirements of Section 5-3(D)(3)(b)(4) On-site Pedestrian Connections.** This section requires on-site walkway widths to correlate with the square footage of street-facing buildings that contain pedestrian entrances. Since the subject site is surrounded by streets on all sides, this requires all street-facing pedestrian walkways to be between 12 and 15 feet in width. The table below outlines the required walkway widths, the proposed width, and the resulting waiver request:

<b>Proposed Variances to Pedestrian Walkway Widths</b>			
<b>Street Façade</b>	<b>Required Width</b>	<b>Proposed Width</b>	<b>Requested Waiver</b>
Indian School Rd	15'	8'	7'
Winrock Loop - West	15'	6'	9'
Pennsylvania St	12'	6'	6'
Winrock Loop – South	15'	6'	9'

Compliance with these wide walkway widths is cumbersome on a constrained infill site that is surrounded by streets on all sides. **The applicant therefore requests a waiver of 7 feet to the required 15-foot walkway along Indian School Rd, the front property line, to allow an 8-foot wide walkway along the primary street frontage. This is a change from the 10-foot width originally discussed and is requested as it allows for more landscape buffer along Indian School along with a closer relationship to existing sidewalks to the east and west on Indian School.**

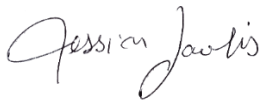
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Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

**Attachments:**

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Preliminary Site Plan***

December 17, 2020

**John Kenny**  
**7110 Constitution Avenue NE**  
**Albuquerque NM**  
**87110**

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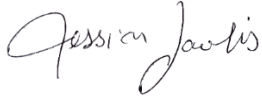
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As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **January 6th, 2021 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>.

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Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

**Attachments:**

***Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association  
Preliminary Site Plan***



[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed/Emailed to a Neighborhood Association**

Date of Notice\*: 12/17/2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Winrock South NA

Name of NA Representative\*: Virginia Kinney, John Kinney

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: 7110 Constitution Avenue NE, 7110 Constitution Avenue NE

**Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 7500 Indian School Rd.  
Location Description \_\_\_\_\_
2. Property Owner\* Winrock Partners LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Deviation to Section 5-11(E)(1) Minimum Ground Floor Height

Summary of project/request<sup>2</sup>\*:

The request is for an Amendment to an Approved Site Plan to accommodate an upscale four-story multi-family development—at approximately 227,000 square feet.

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

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5. This application will be decided at a public meeting or hearing by\*:

- Zoning Hearing Examiner (ZHE)                       Development Review Board (DRB)  
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To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>:

Enclosed within this mailing or by contacting Jessical@dpsdesign.org

**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> J19
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

- Deviation(s)                       Variance(s)                       Waiver(s)

Explanation\*:

Deviation to Section 5-11(E)(1) Minimum Ground Floor Height and a Wavier to Section 5-3(D)

(3)(b)(4) Pedestrian Connections.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):     Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, Goodman Reality Group, provided all adjacent Neighborhood and an opportunity to meet and discuss the proposed site development plan amendment and variances for a proposed multifamily development located at 7500 Indian School. At the request of the neighborhood meeting, the applicant held a neighborhood meeting with the board of the Inez neighborhood association on October 30th, 2020 over Go-To-Meeting to discuss the project and respond to potential concerns. At the conclusion of the meeting the Inez Neighborhood Association stated no opposition to the proposed variances as proposed.

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- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\*
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  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

- 1. Area of Property [typically in acres] 3.88 acres
  - 2. IDO Zone District MX- M
  - 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - 4. Center or Corridor Area [if applicable] Uptown Urban Center
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
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<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

# **11 HEARING NOTIFICATIONS**

**C. Proof of email notice to NS reps**



## Jessica Lawlis

---

**From:** Jessica Lawlis  
**Sent:** Thursday, December 17, 2020 3:23 PM  
**To:** 'shirleylockyer@gmail.com'; 'srandall52@comcast.net'  
**Subject:** DRB Submission Notification- Apartments at Indian School & Pennsylvania  
**Attachments:** ABQ Park NA\_.pdf; Site Plan.pdf

Dear Neighborhood Representative,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Site Development Plan for the Winrock Town Center with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is for an upscale four-story multi-family development approximately 227,000 square feet, proposed to accommodate 199 studio, one-bedroom and two-bedroom apartments, as well as a courtyard, outdoor recreation area, community pool, clubhouse, and a rooftop area for residents. Residential units will be spread over three four-story buildings, two of which are traditional multi-family apartments and one that is classified as a townhouse development that engages Indian School Rd and Pennsylvania St. This use is compatible with existing development on the block and is appropriate for a site within a designated Urban Activity Center.

**As of November 2, 2020, a revised Integrated Development Ordinance (IDO) has gone into effect. These updated regulations have resulted in changes to our original request. This project will no longer be required to obtain a variance to the Section 5-11(E)(2)(b) Minimum Ground Floor Glazing as the minimum ground floor glazing standards have been reduced to 30%. Additional changes to procedures have also eliminated the need for us to obtain variances through the ZHE. Instead the deviations to the required Ground Floor Clear Height and the required On-site Pedestrian Connections will now be heard at the DRB hearing.** As part of the site plan approval, the applicant is therefore requesting the following:

- **A deviation to the Section 5-11(E)(1) Ground Floor Clear Height.** This section requires the ground floor clear height, defined as "the vertical distance of the interior of a ground floor, measured from the slab or top of the sub-floor to the ceiling or the bottom on the exposed support structure for the second floor" of multi-family development within mixed-use zoning districts to be constructed with a minimum height of 10 feet. The applicant is requesting a deviation of 1 foot to allow a 9-foot ground floor ceiling height that is more on par with typical multi-family construction design.
- **A Waiver to the requirements of Section 5-3(D)(3)(b)(4) On-site Pedestrian Connections.** This section requires on-site walkway widths to correlate with the square footage of street-facing buildings that contain pedestrian entrances. Since the subject site is surrounded by streets on all sides, this requires all street-facing pedestrian walkways to be between 12 and 15 feet in width. The table below outlines the required walkway widths, the proposed width, and the resulting waiver request:

Proposed Variances to Pedestrian Walkway Widths			
Street Façade	Required Width	Proposed Width	Requested Waiver
Indian School Rd	15'	8'	7'
Winrock Loop - West	15'	6'	9'
Pennsylvania St	12'	6'	6'

Winrock Loop – South	15'	6'	9'
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Compliance with these wide walkway widths is cumbersome on a constrained infill site that is surrounded by streets on all sides. The applicant therefore requests a waiver of 7 feet to the required 15-foot walkway along Indian School Rd, the front property line, to allow an 8-foot wide walkway along the primary street frontage. This is a change from the 10-foot width originally discussed and is requested as it allows for more landscape buffer along Indian School along with a closer relationship to existing sidewalks to the east and west on Indian School. The remaining pathways along Pennsylvania St and both segments of Winrock Loop are proposed to be 6 feet in width. The proposed walkway widths either exceed or match the existing facilities. The proposed 8' sidewalk along Indian School Rd exceeds the existing sidewalk width of 6'. The proposed 6' sidewalks along Pennsylvania St and Winrock Loop match the existing 6' sidewalks along those roadways. Given this is a constrained infill site that must also accommodate other requirements such as landscaping and parking, the proposed 6-foot sidewalk will allow us to provide additional amenities including adjacent landscaping and site furnishings that will increase the overall pedestrian experience and buffer the adjacent residential units. If the sidewalk width were to be increased, such amenities could not be included and the sidewalk would be immediately adjacent to ground floor residential units or directly adjacent to car traffic, which creates security and privacy concerns for residents and an imposing experience for pedestrians. The 6-foot width was also used to provide a consistent walking path from the south to the north along Pennsylvania St. The adjacent site to the south has a 6'-0" wide sidewalk.

As required by IDO Table 6-1-1, we are making you aware of the ZHE Public Hearing date of **January 6th, 2021 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>.

Enclosed you will find a preliminary site plan and building façade designs exhibits. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at [Jessical@dpsdesign.org](mailto:Jessical@dpsdesign.org).

Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

**Attachments:**

- **Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association**
- **Preliminary Site Plan**



Jessica Lawlis  
Urban Planner  
Dekker/Perich/Sabatini  
505.761.9700 / [dpsdesign.org](http://dpsdesign.org)

We're identifying design solutions and [rethinking design](#) for a changed society.

[Note: Items with an asterisk (\*) are required.]

## Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association

Date of Notice\*: 12/17/2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: ABQ Park NA

Name of NA Representative\*: Shirley Lockyer, Steve Randall

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: 7501 Sky Court Circle NE, 7424 Arvada NE

### Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 7500 Indian School Rd.  
Location Description \_\_\_\_\_
2. Property Owner\* Winrock Partners LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>2</sup>\*:

The request is for an Amendment to an Approved Site Plan to accommodate an upscale four-story multi-family development—at approximately 227,000 square feet.

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

5. This application will be decided at a public meeting or hearing by\*:

- Zoning Hearing Examiner (ZHE)                       Development Review Board (DRB)
- Landmarks Commission (LC)                       Environmental Planning Commission (EPC)

Date/Time\*: January 6, 2021 at 9 AM

Location\*<sup>3</sup>: ZOOM, see DRB webpage for the latest Hearing information :https://www.cabq.gov/planning/boards-commissions/development-review-board

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>:

Enclosed within this mailing or by contacting Jessical@dpsdesign.org

**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> J19

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project\*:

- Deviation(s)                       Variance(s)                       Waiver(s)

Explanation\*:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):     Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

In accordance with the procedures of the City of Albuquerque’s Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, Goodman Reality Group, provided all adjacent Neighborhood and an opportunity to meet and discuss the proposed site development plan amendment and variances for a proposed multifamily development located at 7500 Indian School. At the request of the neighborhood meeting, the applicant held a neighborhood meeting with the board of the Inez neighborhood association on October 30th, 2020 over Go-To-Meeting to discuss the project and respond to potential concerns. At the conclusion of the meeting the Inez Neighborhood Association stated no opposition to the proposed variances as proposed.

<sup>3</sup> Physical address or Zoom link

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>



[Note: Items with an asterisk (\*) are required.]

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

- 1. Area of Property [typically in acres] 3.88 acres
- 2. IDO Zone District MX- M
- 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
- 4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] \_\_\_\_\_

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

- Cc: District 7 Coalition of Neighborhood Associations  
 ABQ Park NA  
 Alvarado Park NA  
 Classic Uptown NA \_\_\_\_\_ [Other Neighborhood Associations, if any]  
 Inez NA  
 Jerry Cline Park NA  
 Mark Twain NA  
 Quigley Park NA  
 Snow Heights NA  
 Winrock South NA  
 Winrock Villas Condo Association

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

## Jessica Lawlis

---

**From:** Jessica Lawlis  
**Sent:** Thursday, December 17, 2020 3:25 PM  
**To:** 'apna87110@gmail.com'; 'dmc793@gmail.com'  
**Subject:** DRB Submission Notification- Apartments at Indian School & Pennsylvania  
**Attachments:** Alvarado Park NA.pdf; Site Plan.pdf

. Dear Neighborhood Representative,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Site Development Plan for the Winrock Town Center with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is for an upscale four-story multi-family development approximately 227,000 square feet, proposed to accommodate 199 studio, one-bedroom and two-bedroom apartments, as well as a courtyard, outdoor recreation area, community pool, clubhouse, and a rooftop area for residents. Residential units will be spread over three four-story buildings, two of which are traditional multi-family apartments and one that is classified as a townhouse development that engages Indian School Rd and Pennsylvania St. This use is compatible with existing development on the block and is appropriate for a site within a designated Urban Activity Center.

**As of November 2, 2020, a revised Integrated Development Ordinance (IDO) has gone into effect. These updated regulations have resulted in changes to our original request. This project will no longer be required to obtain a variance to the Section 5-11(E)(2)(b) Minimum Ground Floor Glazing as the minimum ground floor glazing standards have been reduced to 30%. Additional changes to procedures have also eliminated the need for us to obtain variances through the ZHE. Instead the deviations to the required Ground Floor Clear Height and the required On-site Pedestrian Connections will now be heard at the DRB hearing.** As part of the site plan approval, the applicant is therefore requesting the following:

- **A deviation to the Section 5-11(E)(1) Ground Floor Clear Height.** This section requires the ground floor clear height, defined as "the vertical distance of the interior of a ground floor, measured from the slab or top of the sub-floor to the ceiling or the bottom on the exposed support structure for the second floor" of multi-family development within mixed-use zoning districts to be constructed with a minimum height of 10 feet. The applicant is requesting a deviation of 1 foot to allow a 9-foot ground floor ceiling height that is more on par with typical multi-family construction design.
- **A Waiver to the requirements of Section 5-3(D)(3)(b)(4) On-site Pedestrian Connections.** This section requires on-site walkway widths to correlate with the square footage of street-facing buildings that contain pedestrian entrances. Since the subject site is surrounded by streets on all sides, this requires all street-facing pedestrian walkways to be between 12 and 15 feet in width. The table below outlines the required walkway widths, the proposed width, and the resulting waiver request:

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Street Façade	Required Width	Proposed Width	Requested Waiver
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Winrock Loop – South	15'	6'	9'
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Compliance with these wide walkway widths is cumbersome on a constrained infill site that is surrounded by streets on all sides. The applicant therefore requests a waiver of 7 feet to the required 15-foot walkway along Indian School Rd, the front property line, to allow an 8-foot wide walkway along the primary street frontage. This is a change from the 10-foot width originally discussed and is requested as it allows for more landscape buffer along Indian School along with a closer relationship to existing sidewalks to the east and west on Indian School. The remaining pathways along Pennsylvania St and both segments of Winrock Loop are proposed to be 6 feet in width. The proposed walkway widths either exceed or match the existing facilities. The proposed 8' sidewalk along Indian School Rd exceeds the existing sidewalk width of 6'. The proposed 6' sidewalks along Pennsylvania St and Winrock Loop match the existing 6' sidewalks along those roadways. Given this is a constrained infill site that must also accommodate other requirements such as landscaping and parking, the proposed 6-foot sidewalk will allow us to provide additional amenities including adjacent landscaping and site furnishings that will increase the overall pedestrian experience and buffer the adjacent residential units. If the sidewalk width were to be increased, such amenities could not be included and the sidewalk would be immediately adjacent to ground floor residential units or directly adjacent to car traffic, which creates security and privacy concerns for residents and an imposing experience for pedestrians. The 6-foot width was also used to provide a consistent walking path from the south to the north along Pennsylvania St. The adjacent site to the south has a 6'-0" wide sidewalk.

As required by IDO Table 6-1-1, we are making you aware of the ZHE Public Hearing date of **January 6th, 2021 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>.

Enclosed you will find a preliminary site plan and building façade designs exhibits. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at [Jessical@dpsdesign.org](mailto:Jessical@dpsdesign.org).

Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

**Attachments:**

- **Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association**
- **Preliminary Site Plan**



Jessica Lawlis  
Urban Planner  
Dekker/Perich/Sabatini  
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[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed/Emailed to a Neighborhood Association**

Date of Notice\*: 12/17/2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Alvarado Park NA

Name of NA Representative\*: Robert Habiger, Darcy Bushnell

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: PO Box 35704, PO Box 35704

**Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 7500 Indian School Rd.  
Location Description \_\_\_\_\_
2. Property Owner\* Winrock Partners LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Deviation to Section 5-11(E)(1) Minimum Ground Floor Height

Summary of project/request<sup>2</sup>\*:

The request is for an Amendment to an Approved Site Plan to accommodate an upscale four-story multi-family development—at approximately 227,000 square feet.

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.



[Note: Items with an asterisk (\*) are required.]

5. This application will be decided at a public meeting or hearing by\*:

- Zoning Hearing Examiner (ZHE)                       Development Review Board (DRB)  
 Landmarks Commission (LC)                       Environmental Planning Commission (EPC)

Date/Time\*: January 6, 2021 at 9 AM

Location\*<sup>3</sup>: ZOOM, see DRB webpage for the latest Hearing information :https://  
www.cabq.gov/planning/boards-commissions/development-review-board

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>:

Enclosed within this mailing or by contacting Jessical@dpsdesign.org

**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> J19
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

- Deviation(s)                       Variance(s)                       Waiver(s)

Explanation\*:

Deviation to Section 5-11(E)(1) Minimum Ground Floor Height and a Wavier to Section 5-3(D)

(3)(b)(4) Pedestrian Connections.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):     Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, Goodman Reality Group, provided all adjacent Neighborhood and an opportunity to meet and discuss the proposed site development plan amendment and variances for a proposed multifamily development located at 7500 Indian School. At the request of the neighborhood meeting, the applicant held a neighborhood meeting with the board of the Inez neighborhood association on October 30th, 2020 over Go-To-Meeting to discuss the project and respond to potential concerns. At the conclusion of the meeting the Inez Neighborhood Association stated no opposition to the proposed variances as proposed.

<sup>3</sup> Physical address or Zoom link

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- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\*
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  - d. **For residential development\***: Maximum number of proposed dwelling units.
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    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

- 1. Area of Property [typically in acres] 3.88 acres
  - 2. IDO Zone District MX- M
  - 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - 4. Center or Corridor Area [if applicable] Uptown Urban Center
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

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Cc: District 7 Coalition of Neighborhood Associations  
 ABQ Park NA  
 Alvarado Park NA  
 Classic Uptown NA \_\_\_\_\_ [Other Neighborhood Associations, if any]  
 Inez NA  
 Jerry Cline Park NA  
 Mark Twain NA  
 Quigley Park NA  
 Snow Heights NA  
 Winrock South NA  
 Winrock Villas Condo Association

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

## Jessica Lawlis

---

**From:** Jessica Lawlis  
**Sent:** Thursday, December 17, 2020 3:34 PM  
**To:** robtlah@yahoo.com; davidh.d7@comcast.net  
**Subject:** DRB Submission Notification- Apartments at Indian School & Pennsylvania  
**Attachments:** Classic Uptown NA.pdf; Site Plan.pdf

Dear Neighborhood Representative,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Site Development Plan for the Winrock Town Center with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is for an upscale four-story multi-family development approximately 227,000 square feet, proposed to accommodate 199 studio, one-bedroom and two-bedroom apartments, as well as a courtyard, outdoor recreation area, community pool, clubhouse, and a rooftop area for residents. Residential units will be spread over three four-story buildings, two of which are traditional multi-family apartments and one that is classified as a townhouse development that engages Indian School Rd and Pennsylvania St. This use is compatible with existing development on the block and is appropriate for a site within a designated Urban Activity Center.

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Winrock Loop – South	15'	6'	9'
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Compliance with these wide walkway widths is cumbersome on a constrained infill site that is surrounded by streets on all sides. The applicant therefore requests a waiver of 7 feet to the required 15-foot walkway along Indian School Rd, the front property line, to allow an 8-foot wide walkway along the primary street frontage. This is a change from the 10-foot width originally discussed and is requested as it allows for more landscape buffer along Indian School along with a closer relationship to existing sidewalks to the east and west on Indian School. The remaining pathways along Pennsylvania St and both segments of Winrock Loop are proposed to be 6 feet in width. The proposed walkway widths either exceed or match the existing facilities. The proposed 8' sidewalk along Indian School Rd exceeds the existing sidewalk width of 6'. The proposed 6' sidewalks along Pennsylvania St and Winrock Loop match the existing 6' sidewalks along those roadways. Given this is a constrained infill site that must also accommodate other requirements such as landscaping and parking, the proposed 6-foot sidewalk will allow us to provide additional amenities including adjacent landscaping and site furnishings that will increase the overall pedestrian experience and buffer the adjacent residential units. If the sidewalk width were to be increased, such amenities could not be included and the sidewalk would be immediately adjacent to ground floor residential units or directly adjacent to car traffic, which creates security and privacy concerns for residents and an imposing experience for pedestrians. The 6-foot width was also used to provide a consistent walking path from the south to the north along Pennsylvania St. The adjacent site to the south has a 6'-0" wide sidewalk.

As required by IDO Table 6-1-1, we are making you aware of the ZHE Public Hearing date of **January 6th, 2021 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>.

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Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

**Attachments:**

- **Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association**
- **Preliminary Site Plan**



Jessica Lawlis  
Urban Planner  
Dekker/Perich/Sabatini  
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[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed/Emailed to a Neighborhood Association**

Date of Notice\*: 12/17/2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Classic Uptown NA

Name of NA Representative\*: Robert Lah, David Haughawout

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: 2901 Mesilla Street NE, 2824 Chama Street NE

**Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 7500 Indian School Rd.  
Location Description \_\_\_\_\_
2. Property Owner\* Winrock Partners LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Deviation to Section 5-11(E)(1) Minimum Ground Floor Height

Summary of project/request<sup>2</sup>\*:

The request is for an Amendment to an Approved Site Plan to accommodate an upscale four-story multi-family development—at approximately 227,000 square feet.

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

5. This application will be decided at a public meeting or hearing by\*:

- Zoning Hearing Examiner (ZHE)                       Development Review Board (DRB)  
 Landmarks Commission (LC)                       Environmental Planning Commission (EPC)

Date/Time\*: January 6, 2021 at 9 AM

Location\*<sup>3</sup>: ZOOM, see DRB webpage for the latest Hearing information :https://  
www.cabq.gov/planning/boards-commissions/development-review-board

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>:

Enclosed within this mailing or by contacting Jessical@dpsdesign.org

**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> J19
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

- Deviation(s)                       Variance(s)                       Waiver(s)

Explanation\*:

Deviation to Section 5-11(E)(1) Minimum Ground Floor Height and a Wavier to Section 5-3(D)

(3)(b)(4) Pedestrian Connections.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes  No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, Goodman Reality Group, provided all adjacent Neighborhood and an opportunity to meet and discuss the proposed site development plan amendment and variances for a proposed multifamily development located at 7500 Indian School. At the request of the neighborhood meeting, the applicant held a neighborhood meeting with the board of the Inez neighborhood association on October 30th, 2020 over Go-To-Meeting to discuss the project and respond to potential concerns. At the conclusion of the meeting the Inez Neighborhood Association stated no opposition to the proposed variances as proposed.

<sup>3</sup> Physical address or Zoom link

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

- 1. Area of Property [typically in acres] 3.88 acres
  - 2. IDO Zone District MX- M
  - 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - 4. Center or Corridor Area [if applicable] Uptown Urban Center
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: District 7 Coalition of Neighborhood Associations  
 ABQ Park NA  
 Alvarado Park NA  
 Classic Uptown NA \_\_\_\_\_ [Other Neighborhood Associations, if any]  
 Inez NA  
 Jerry Cline Park NA  
 Mark Twain NA  
 Quigley Park NA  
 Snow Heights NA  
 Winrock South NA  
 Winrock Villas Condo Association

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

**Jessica Lawlis**

---

**From:** Jessica Lawlis  
**Sent:** Thursday, December 17, 2020 3:35 PM  
**To:** davidh.d7@comcast.net; lmartin900@aol.com  
**Subject:** DRB Submission Notification- Apartments at Indian School & Pennsylvania  
**Attachments:** District 7 Coalition of Neighborhood Associations.pdf; Site Plan.pdf

Dear Neighborhood Representative,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Site Development Plan for the Winrock Town Center with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque’s Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is for an upscale four-story multi-family development approximately 227,000 square feet, proposed to accommodate 199 studio, one-bedroom and two-bedroom apartments, as well as a courtyard, outdoor recreation area, community pool, clubhouse, and a rooftop area for residents. Residential units will be spread over three four-story buildings, two of which are traditional multi-family apartments and one that is classified as a townhouse development that engages Indian School Rd and Pennsylvania St. This use is compatible with existing development on the block and is appropriate for a site within a designated Urban Activity Center.

**As of November 2, 2020, a revised Integrated Development Ordinance (IDO) has gone into effect. These updated regulations have resulted in changes to our original request. This project will no longer be required to obtain a variance to the Section 5-11(E)(2)(b) Minimum Ground Floor Glazing as the minimum ground floor glazing standards have been reduced to 30%. Additional changes to procedures have also eliminated the need for us to obtain variances through the ZHE. Instead the deviations to the required Ground Floor Clear Height and the required On-site Pedestrian Connections will now be heard at the DRB hearing.** As part of the site plan approval, the applicant is therefore requesting the following:

- **A deviation to the Section 5-11(E)(1) Ground Floor Clear Height.** This section requires the ground floor clear height, defined as “the vertical distance of the interior of a ground floor, measured from the slab or top of the sub-floor to the ceiling or the bottom on the exposed support structure for the second floor” of multi-family development within mixed-use zoning districts to be constructed with a minimum height of 10 feet. The applicant is requesting a deviation of 1 foot to allow a 9-foot ground floor ceiling height that is more on par with typical multi-family construction design.
- **A Waiver to the requirements of Section 5-3(D)(3)(b)(4) On-site Pedestrian Connections.** This section requires on-site walkway widths to correlate with the square footage of street-facing buildings that contain pedestrian entrances. Since the subject site is surrounded by streets on all sides, this requires all street-facing pedestrian walkways to be between 12 and 15 feet in width. The table below outlines the required walkway widths, the proposed width, and the resulting waiver request:

<b>Proposed Variances to Pedestrian Walkway Widths</b>			
<b>Street Façade</b>	<b>Required Width</b>	<b>Proposed Width</b>	<b>Requested Waiver</b>
Indian School Rd	15’	8’	7’
Winrock Loop - West	15’	6’	9’



Pennsylvania St	12'	6'	6'
Winrock Loop – South	15'	6'	9'

Compliance with these wide walkway widths is cumbersome on a constrained infill site that is surrounded by streets on all sides. The applicant therefore requests a waiver of 7 feet to the required 15-foot walkway along Indian School Rd, the front property line, to allow an 8-foot wide walkway along the primary street frontage. This is a change from the 10-foot width originally discussed and is requested as it allows for more landscape buffer along Indian School along with a closer relationship to existing sidewalks to the east and west on Indian School. The remaining pathways along Pennsylvania St and both segments of Winrock Loop are proposed to be 6 feet in width. The proposed walkway widths either exceed or match the existing facilities. The proposed 8' sidewalk along Indian School Rd exceeds the existing sidewalk width of 6'. The proposed 6' sidewalks along Pennsylvania St and Winrock Loop match the existing 6' sidewalks along those roadways. Given this is a constrained infill site that must also accommodate other requirements such as landscaping and parking, the proposed 6-foot sidewalk will allow us to provide additional amenities including adjacent landscaping and site furnishings that will increase the overall pedestrian experience and buffer the adjacent residential units. If the sidewalk width were to be increased, such amenities could not be included and the sidewalk would be immediately adjacent to ground floor residential units or directly adjacent to car traffic, which creates security and privacy concerns for residents and an imposing experience for pedestrians. The 6-foot width was also used to provide a consistent walking path from the south to the north along Pennsylvania St. The adjacent site to the south has a 6'-0" wide sidewalk.

As required by IDO Table 6-1-1, we are making you aware of the ZHE Public Hearing date of **January 6th, 2021 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>.

Enclosed you will find a preliminary site plan and building façade designs exhibits. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at [Jessical@dpsdesign.org](mailto:Jessical@dpsdesign.org).

Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

**Attachments:**

- **Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association**
- **Preliminary Site Plan**



Jessica Lawlis  
Urban Planner  
Dekker/Perich/Sabatini  
505.761.9700 / [dpsdesign.org](http://dpsdesign.org)

We're identifying design solutions and [rethinking design](#) for a changed society.

[Note: Items with an asterisk (\*) are required.]

## Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association

Date of Notice\*: 12/17/2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: District 7 Coalition of Neighborhood Associations

Name of NA Representative\*: David Haughawout, Lynne Martin

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: 2824 Chama Street NE, 1531 Espejo NE

### Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 7500 Indian School Rd.  
Location Description \_\_\_\_\_
2. Property Owner\* Winrock Partners LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Deviation to Section 5-11(E)(1) Minimum Ground Floor Height

Summary of project/request<sup>2</sup>\*:

The request is for an Amendment to an Approved Site Plan to accommodate an upscale four-story multi-family development—at approximately 227,000 square feet.

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

5. This application will be decided at a public meeting or hearing by\*:

- Zoning Hearing Examiner (ZHE)                       Development Review Board (DRB)
- Landmarks Commission (LC)                       Environmental Planning Commission (EPC)

Date/Time\*: January 6, 2021 at 9 AM

Location\*<sup>3</sup>: ZOOM, see DRB webpage for the latest Hearing information :https://www.cabq.gov/planning/boards-commissions/development-review-board

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>:

Enclosed within this mailing or by contacting Jessical@dpsdesign.org

**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> J19
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

- Deviation(s)                       Variance(s)                       Waiver(s)

Explanation\*:  
Deviation to Section 5-11(E)(1) Minimum Ground Floor Height and a Wavier to Section 5-3(D)  
(3)(b)(4) Pedestrian Connections.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):    Yes    No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:  
In accordance with the procedures of the City of Albuquerque’s Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, Goodman Reality Group, provided all adjacent Neighborhood and an opportunity to meet and discuss the proposed site development plan amendment and variances for a proposed multifamily development located at 7500 Indian School. At the request of the neighborhood meeting, the applicant held a neighborhood meeting with the board of the Inez neighborhood association on October 30th, 2020 over Go-To-Meeting to discuss the project and respond to potential concerns. At the conclusion of the meeting the Inez Neighborhood Association stated no opposition to the proposed variances as proposed.

<sup>3</sup> Physical address or Zoom link

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

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[Note: Items with an asterisk (\*) are required.]

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\*
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  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

- 1. Area of Property [typically in acres] 3.88 acres
  - 2. IDO Zone District MX- M
  - 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - 4. Center or Corridor Area [if applicable] Uptown Urban Center
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

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- Cc: District 7 Coalition of Neighborhood Associations  
 ABQ Park NA  
 Alvarado Park NA  
 Classic Uptown NA \_\_\_\_\_ [Other Neighborhood Associations, if any]  
 Inez NA  
 Jerry Cline Park NA  
 Mark Twain NA  
 Quigley Park NA  
 Snow Heights NA  
 Winrock South NA  
 Winrock Villas Condo Association

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>



## Jessica Lawlis

---

**From:** Jessica Lawlis  
**Sent:** Thursday, December 17, 2020 3:38 PM  
**To:** donna.yetter3@gmail.com; yemaya@swcp.com  
**Subject:** DRB Submission Notification- Apartments at Indian School & Pennsylvania  
**Attachments:** Inez NA.pdf; Site Plan.pdf

Dear Neighborhood Representative,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Site Development Plan for the Winrock Town Center with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is for an upscale four-story multi-family development approximately 227,000 square feet, proposed to accommodate 199 studio, one-bedroom and two-bedroom apartments, as well as a courtyard, outdoor recreation area, community pool, clubhouse, and a rooftop area for residents. Residential units will be spread over three four-story buildings, two of which are traditional multi-family apartments and one that is classified as a townhouse development that engages Indian School Rd and Pennsylvania St. This use is compatible with existing development on the block and is appropriate for a site within a designated Urban Activity Center.

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- **A deviation to the Section 5-11(E)(1) Ground Floor Clear Height.** This section requires the ground floor clear height, defined as "the vertical distance of the interior of a ground floor, measured from the slab or top of the sub-floor to the ceiling or the bottom on the exposed support structure for the second floor" of multi-family development within mixed-use zoning districts to be constructed with a minimum height of 10 feet. The applicant is requesting a deviation of 1 foot to allow a 9-foot ground floor ceiling height that is more on par with typical multi-family construction design.
- **A Waiver to the requirements of Section 5-3(D)(3)(b)(4) On-site Pedestrian Connections.** This section requires on-site walkway widths to correlate with the square footage of street-facing buildings that contain pedestrian entrances. Since the subject site is surrounded by streets on all sides, this requires all street-facing pedestrian walkways to be between 12 and 15 feet in width. The table below outlines the required walkway widths, the proposed width, and the resulting waiver request:

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Street Façade	Required Width	Proposed Width	Requested Waiver
Indian School Rd	15'	8'	7'
Winrock Loop - West	15'	6'	9'
Pennsylvania St	12'	6'	6'

Winrock Loop – South	15'	6'	9'
----------------------	-----	----	----

Compliance with these wide walkway widths is cumbersome on a constrained infill site that is surrounded by streets on all sides. The applicant therefore requests a waiver of 7 feet to the required 15-foot walkway along Indian School Rd, the front property line, to allow an 8-foot wide walkway along the primary street frontage. This is a change from the 10-foot width originally discussed and is requested as it allows for more landscape buffer along Indian School along with a closer relationship to existing sidewalks to the east and west on Indian School. The remaining pathways along Pennsylvania St and both segments of Winrock Loop are proposed to be 6 feet in width. The proposed walkway widths either exceed or match the existing facilities. The proposed 8' sidewalk along Indian School Rd exceeds the existing sidewalk width of 6'. The proposed 6' sidewalks along Pennsylvania St and Winrock Loop match the existing 6' sidewalks along those roadways. Given this is a constrained infill site that must also accommodate other requirements such as landscaping and parking, the proposed 6-foot sidewalk will allow us to provide additional amenities including adjacent landscaping and site furnishings that will increase the overall pedestrian experience and buffer the adjacent residential units. If the sidewalk width were to be increased, such amenities could not be included and the sidewalk would be immediately adjacent to ground floor residential units or directly adjacent to car traffic, which creates security and privacy concerns for residents and an imposing experience for pedestrians. The 6-foot width was also used to provide a consistent walking path from the south to the north along Pennsylvania St. The adjacent site to the south has a 6'-0" wide sidewalk.

As required by IDO Table 6-1-1, we are making you aware of the ZHE Public Hearing date of **January 6th, 2021 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>.

Enclosed you will find a preliminary site plan and building façade designs exhibits. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at [Jessical@dpsdesign.org](mailto:Jessical@dpsdesign.org).

Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

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- **Preliminary Site Plan**



Jessica Lawlis  
Urban Planner  
Dekker/Perich/Sabatini  
505.761.9700 / [dpsdesign.org](http://dpsdesign.org)

We're identifying design solutions and [rethinking design](#) for a changed society.

[Note: Items with an asterisk (\*) are required.]

## Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association

Date of Notice\*: 12/17/2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Inez NA

Name of NA Representative\*: Donna Yetter, Maya Sutton

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: 2111 Hoffman Drive NE, 7718 Cutler Avenue NE

### Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 7500 Indian School Rd.  
Location Description \_\_\_\_\_
2. Property Owner\* Winrock Partners LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Deviation to Section 5-11(E)(1) Minimum Ground Floor Height

Summary of project/request<sup>2</sup>\*:

The request is for an Amendment to an Approved Site Plan to accommodate an upscale four-story multi-family development—at approximately 227,000 square feet.

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

5. This application will be decided at a public meeting or hearing by\*:

- Zoning Hearing Examiner (ZHE)                       Development Review Board (DRB)  
 Landmarks Commission (LC)                       Environmental Planning Commission (EPC)

Date/Time\*: January 6, 2021 at 9 AM

Location\*<sup>3</sup>: ZOOM, see DRB webpage for the latest Hearing information :https://  
www.cabq.gov/planning/boards-commissions/development-review-board

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>:

Enclosed within this mailing or by contacting Jessical@dpsdesign.org

**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> J19
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

- Deviation(s)                       Variance(s)                       Waiver(s)

Explanation\*:

Deviation to Section 5-11(E)(1) Minimum Ground Floor Height and a Wavier to Section 5-3(D)

(3)(b)(4) Pedestrian Connections.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes  No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, Goodman Reality Group, provided all adjacent Neighborhood and an opportunity to meet and discuss the proposed site development plan amendment and variances for a proposed multifamily development located at 7500 Indian School. At the request of the neighborhood meeting, the applicant held a neighborhood meeting with the board of the Inez neighborhood association on October 30th, 2020 over Go-To-Meeting to discuss the project and respond to potential concerns. At the conclusion of the meeting the Inez Neighborhood Association stated no opposition to the proposed variances as proposed.

<sup>3</sup> Physical address or Zoom link

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[Note: Items with an asterisk (\*) are required.]

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  - a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
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  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

- 1. Area of Property [typically in acres] 3.88 acres
  - 2. IDO Zone District MX- M
  - 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - 4. Center or Corridor Area [if applicable] Uptown Urban Center
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: District 7 Coalition of Neighborhood Associations  
 ABQ Park NA  
 Alvarado Park NA  
 Classic Uptown NA \_\_\_\_\_ [Other Neighborhood Associations, if any]  
 Inez NA  
 Jerry Cline Park NA  
 Mark Twain NA  
 Quigley Park NA  
 Snow Heights NA  
 Winrock South NA  
 Winrock Villas Condo Association

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

## Jessica Lawlis

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**From:** Jessica Lawlis  
**Sent:** Thursday, December 17, 2020 3:39 PM  
**To:** rongoldsmith@yahoo.com; ericshirley@comcast.net  
**Subject:** DRB Submission Notification- Apartments at Indian School & Pennsylvania  
**Attachments:** Jerry Cline Park NA.pdf; Site Plan.pdf

Dear Neighborhood Representative,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Site Development Plan for the Winrock Town Center with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is for an upscale four-story multi-family development approximately 227,000 square feet, proposed to accommodate 199 studio, one-bedroom and two-bedroom apartments, as well as a courtyard, outdoor recreation area, community pool, clubhouse, and a rooftop area for residents. Residential units will be spread over three four-story buildings, two of which are traditional multi-family apartments and one that is classified as a townhouse development that engages Indian School Rd and Pennsylvania St. This use is compatible with existing development on the block and is appropriate for a site within a designated Urban Activity Center.

**As of November 2, 2020, a revised Integrated Development Ordinance (IDO) has gone into effect. These updated regulations have resulted in changes to our original request. This project will no longer be required to obtain a variance to the Section 5-11(E)(2)(b) Minimum Ground Floor Glazing as the minimum ground floor glazing standards have been reduced to 30%. Additional changes to procedures have also eliminated the need for us to obtain variances through the ZHE. Instead the deviations to the required Ground Floor Clear Height and the required On-site Pedestrian Connections will now be heard at the DRB hearing.** As part of the site plan approval, the applicant is therefore requesting the following:

- **A deviation to the Section 5-11(E)(1) Ground Floor Clear Height.** This section requires the ground floor clear height, defined as "the vertical distance of the interior of a ground floor, measured from the slab or top of the sub-floor to the ceiling or the bottom on the exposed support structure for the second floor" of multi-family development within mixed-use zoning districts to be constructed with a minimum height of 10 feet. The applicant is requesting a deviation of 1 foot to allow a 9-foot ground floor ceiling height that is more on par with typical multi-family construction design.
- **A Waiver to the requirements of Section 5-3(D)(3)(b)(4) On-site Pedestrian Connections.** This section requires on-site walkway widths to correlate with the square footage of street-facing buildings that contain pedestrian entrances. Since the subject site is surrounded by streets on all sides, this requires all street-facing pedestrian walkways to be between 12 and 15 feet in width. The table below outlines the required walkway widths, the proposed width, and the resulting waiver request:

Proposed Variances to Pedestrian Walkway Widths			
Street Façade	Required Width	Proposed Width	Requested Waiver
Indian School Rd	15'	8'	7'
Winrock Loop - West	15'	6'	9'
Pennsylvania St	12'	6'	6'

Winrock Loop – South	15'	6'	9'
----------------------	-----	----	----

Compliance with these wide walkway widths is cumbersome on a constrained infill site that is surrounded by streets on all sides. The applicant therefore requests a waiver of 7 feet to the required 15-foot walkway along Indian School Rd, the front property line, to allow an 8-foot wide walkway along the primary street frontage. This is a change from the 10-foot width originally discussed and is requested as it allows for more landscape buffer along Indian School along with a closer relationship to existing sidewalks to the east and west on Indian School. The remaining pathways along Pennsylvania St and both segments of Winrock Loop are proposed to be 6 feet in width. The proposed walkway widths either exceed or match the existing facilities. The proposed 8' sidewalk along Indian School Rd exceeds the existing sidewalk width of 6'. The proposed 6' sidewalks along Pennsylvania St and Winrock Loop match the existing 6' sidewalks along those roadways. Given this is a constrained infill site that must also accommodate other requirements such as landscaping and parking, the proposed 6-foot sidewalk will allow us to provide additional amenities including adjacent landscaping and site furnishings that will increase the overall pedestrian experience and buffer the adjacent residential units. If the sidewalk width were to be increased, such amenities could not be included and the sidewalk would be immediately adjacent to ground floor residential units or directly adjacent to car traffic, which creates security and privacy concerns for residents and an imposing experience for pedestrians. The 6-foot width was also used to provide a consistent walking path from the south to the north along Pennsylvania St. The adjacent site to the south has a 6'-0" wide sidewalk.

As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **January 6th, 2021 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>.

Enclosed you will find a preliminary site plan and building façade designs exhibits. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at [Jessical@dpsdesign.org](mailto:Jessical@dpsdesign.org).

Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

**Attachments:**

- **Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association**
- **Preliminary Site Plan**



Jessica Lawlis  
Urban Planner  
Dekker/Perich/Sabatini  
505.761.9700 / [dpsdesign.org](http://dpsdesign.org)

We're identifying design solutions and [rethinking design](#) for a changed society.

[Note: Items with an asterisk (\*) are required.]

## Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association

Date of Notice\*: 12/17/2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Jerry Cline Park NA

Name of NA Representative\*: Ron Goldsmith, Eric Shirley

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: 1216 Alcazar Street NE, 900 Grove Street NE

### Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 7500 Indian School Rd.  
Location Description \_\_\_\_\_
2. Property Owner\* Winrock Partners LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Deviation to Section 5-11(E)(1) Minimum Ground Floor Height

Summary of project/request<sup>2</sup>\*:

The request is for an Amendment to an Approved Site Plan to accommodate an upscale four-story multi-family development—at approximately 227,000 square feet.

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.



[Note: Items with an asterisk (\*) are required.]

5. This application will be decided at a public meeting or hearing by\*:

- Zoning Hearing Examiner (ZHE)                       Development Review Board (DRB)
- Landmarks Commission (LC)                       Environmental Planning Commission (EPC)

Date/Time\*: January 6, 2021 at 9 AM

Location\*<sup>3</sup>: ZOOM, see DRB webpage for the latest Hearing information :https://  
www.cabq.gov/planning/boards-commissions/development-review-board

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>:

Enclosed within this mailing or by contacting Jessical@dpsdesign.org

**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> J19
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

- Deviation(s)                       Variance(s)                       Waiver(s)

Explanation\*:  
Deviation to Section 5-11(E)(1) Minimum Ground Floor Height and a Wavier to Section 5-3(D)  
(3)(b)(4) Pedestrian Connections.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):     Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:  
In accordance with the procedures of the City of Albuquerque’s Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, Goodman Reality Group, provided all adjacent Neighborhood and an opportunity to meet and discuss the proposed site development plan amendment and variances for a proposed multifamily development located at 7500 Indian School. At the request of the neighborhood meeting, the applicant held a neighborhood meeting with the board of the Inez neighborhood association on October 30th, 2020 over Go-To-Meeting to discuss the project and respond to potential concerns. At the conclusion of the meeting the Inez Neighborhood Association stated no opposition to the proposed variances as proposed.

<sup>3</sup> Physical address or Zoom link

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

- 1. Area of Property [typically in acres] 3.88 acres
  - 2. IDO Zone District MX- M
  - 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - 4. Center or Corridor Area [if applicable] Uptown Urban Center
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

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Cc: District 7 Coalition of Neighborhood Associations  
 ABQ Park NA  
 Alvarado Park NA  
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 Inez NA  
 Jerry Cline Park NA  
 Mark Twain NA  
 Quigley Park NA  
 Snow Heights NA  
 Winrock South NA  
 Winrock Villas Condo Association

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

## Jessica Lawlis

---

**From:** Jessica Lawlis  
**Sent:** Thursday, December 17, 2020 3:43 PM  
**To:** bardean12@comcast.net; joel.c.wooldridge@gmail.com  
**Subject:** DRB Submission Notification- Apartments at Indian School & Pennsylvania  
**Attachments:** Mark Twain NA.pdf; Site Plan.pdf

Dear Neighborhood Representative,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Site Development Plan for the Winrock Town Center with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is for an upscale four-story multi-family development approximately 227,000 square feet, proposed to accommodate 199 studio, one-bedroom and two-bedroom apartments, as well as a courtyard, outdoor recreation area, community pool, clubhouse, and a rooftop area for residents. Residential units will be spread over three four-story buildings, two of which are traditional multi-family apartments and one that is classified as a townhouse development that engages Indian School Rd and Pennsylvania St. This use is compatible with existing development on the block and is appropriate for a site within a designated Urban Activity Center.

**As of November 2, 2020, a revised Integrated Development Ordinance (IDO) has gone into effect. These updated regulations have resulted in changes to our original request. This project will no longer be required to obtain a variance to the Section 5-11(E)(2)(b) Minimum Ground Floor Glazing as the minimum ground floor glazing standards have been reduced to 30%. Additional changes to procedures have also eliminated the need for us to obtain variances through the ZHE. Instead the deviations to the required Ground Floor Clear Height and the required On-site Pedestrian Connections will now be heard at the DRB hearing.** As part of the site plan approval, the applicant is therefore requesting the following:

- **A deviation to the Section 5-11(E)(1) Ground Floor Clear Height.** This section requires the ground floor clear height, defined as "the vertical distance of the interior of a ground floor, measured from the slab or top of the sub-floor to the ceiling or the bottom on the exposed support structure for the second floor" of multi-family development within mixed-use zoning districts to be constructed with a minimum height of 10 feet. The applicant is requesting a deviation of 1 foot to allow a 9-foot ground floor ceiling height that is more on par with typical multi-family construction design.
- **A Waiver to the requirements of Section 5-3(D)(3)(b)(4) On-site Pedestrian Connections.** This section requires on-site walkway widths to correlate with the square footage of street-facing buildings that contain pedestrian entrances. Since the subject site is surrounded by streets on all sides, this requires all street-facing pedestrian walkways to be between 12 and 15 feet in width. The table below outlines the required walkway widths, the proposed width, and the resulting waiver request:

Proposed Variances to Pedestrian Walkway Widths			
Street Façade	Required Width	Proposed Width	Requested Waiver
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Winrock Loop – South	15'	6'	9'
----------------------	-----	----	----

Compliance with these wide walkway widths is cumbersome on a constrained infill site that is surrounded by streets on all sides. The applicant therefore requests a waiver of 7 feet to the required 15-foot walkway along Indian School Rd, the front property line, to allow an 8-foot wide walkway along the primary street frontage. This is a change from the 10-foot width originally discussed and is requested as it allows for more landscape buffer along Indian School along with a closer relationship to existing sidewalks to the east and west on Indian School. The remaining pathways along Pennsylvania St and both segments of Winrock Loop are proposed to be 6 feet in width. The proposed walkway widths either exceed or match the existing facilities. The proposed 8' sidewalk along Indian School Rd exceeds the existing sidewalk width of 6'. The proposed 6' sidewalks along Pennsylvania St and Winrock Loop match the existing 6' sidewalks along those roadways. Given this is a constrained infill site that must also accommodate other requirements such as landscaping and parking, the proposed 6-foot sidewalk will allow us to provide additional amenities including adjacent landscaping and site furnishings that will increase the overall pedestrian experience and buffer the adjacent residential units. If the sidewalk width were to be increased, such amenities could not be included and the sidewalk would be immediately adjacent to ground floor residential units or directly adjacent to car traffic, which creates security and privacy concerns for residents and an imposing experience for pedestrians. The 6-foot width was also used to provide a consistent walking path from the south to the north along Pennsylvania St. The adjacent site to the south has a 6'-0" wide sidewalk.

As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **January 6th, 2021 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>.

Enclosed you will find a preliminary site plan and building façade designs exhibits. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at [Jessical@dpsdesign.org](mailto:Jessical@dpsdesign.org).

Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

**Attachments:**

- **Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association**
- **Preliminary Site Plan**



Jessica Lawlis  
Urban Planner  
Dekker/Perich/Sabatini  
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We're identifying design solutions and [rethinking design](#) for a changed society.



[Note: Items with an asterisk (\*) are required.]

## Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association

Date of Notice\*: 12/17/2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Mark Twain NA

Name of NA Representative\*: Barbara Lohbeck, Joel Wooldridge

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: 1402 California Street NE, 1500 Indiana Street NE

### Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 7500 Indian School Rd.  
Location Description \_\_\_\_\_
2. Property Owner\* Winrock Partners LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Deviation to Section 5-11(E)(1) Minimum Ground Floor Height

Summary of project/request<sup>2</sup>\*:

The request is for an Amendment to an Approved Site Plan to accommodate an upscale four-story multi-family development—at approximately 227,000 square feet.

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

5. This application will be decided at a public meeting or hearing by\*:

- Zoning Hearing Examiner (ZHE)                       Development Review Board (DRB)
- Landmarks Commission (LC)                       Environmental Planning Commission (EPC)

Date/Time\*: January 6, 2021 at 9 AM

Location\*<sup>3</sup>: ZOOM, see DRB webpage for the latest Hearing information :https://www.cabq.gov/planning/boards-commissions/development-review-board

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>:

Enclosed within this mailing or by contacting Jessical@dpsdesign.org

**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> J19
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

- Deviation(s)                       Variance(s)                       Waiver(s)

Explanation\*:  
Deviation to Section 5-11(E)(1) Minimum Ground Floor Height and a Wavier to Section 5-3(D)  
(3)(b)(4) Pedestrian Connections.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):     Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:  
In accordance with the procedures of the City of Albuquerque’s Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, Goodman Reality Group, provided all adjacent Neighborhood and an opportunity to meet and discuss the proposed site development plan amendment and variances for a proposed multifamily development located at 7500 Indian School. At the request of the neighborhood meeting, the applicant held a neighborhood meeting with the board of the Inez neighborhood association on October 30th, 2020 over Go-To-Meeting to discuss the project and respond to potential concerns. At the conclusion of the meeting the Inez Neighborhood Association stated no opposition to the proposed variances as proposed.

<sup>3</sup> Physical address or Zoom link

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- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
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  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

- 1. Area of Property [typically in acres] 3.88 acres
  - 2. IDO Zone District MX- M
  - 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
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- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

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 Winrock Villas Condo Association

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

## Jessica Lawlis

---

**From:** Jessica Lawlis  
**Sent:** Thursday, December 17, 2020 3:45 PM  
**To:** lisa.whalen@gmail.com; eoman505@gmail.com  
**Subject:** DRB Submission Notification- Apartments at Indian School & Pennsylvania  
**Attachments:** Quigley Park NA.pdf; Site Plan.pdf

Dear Neighborhood Representative,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Site Development Plan for the Winrock Town Center with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

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- **A deviation to the Section 5-11(E)(1) Ground Floor Clear Height.** This section requires the ground floor clear height, defined as "the vertical distance of the interior of a ground floor, measured from the slab or top of the sub-floor to the ceiling or the bottom on the exposed support structure for the second floor" of multi-family development within mixed-use zoning districts to be constructed with a minimum height of 10 feet. The applicant is requesting a deviation of 1 foot to allow a 9-foot ground floor ceiling height that is more on par with typical multi-family construction design.
- **A Waiver to the requirements of Section 5-3(D)(3)(b)(4) On-site Pedestrian Connections.** This section requires on-site walkway widths to correlate with the square footage of street-facing buildings that contain pedestrian entrances. Since the subject site is surrounded by streets on all sides, this requires all street-facing pedestrian walkways to be between 12 and 15 feet in width. The table below outlines the required walkway widths, the proposed width, and the resulting waiver request:

Proposed Variances to Pedestrian Walkway Widths			
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Winrock Loop - West	15'	6'	9'
Pennsylvania St	12'	6'	6'



Winrock Loop – South	15'	6'	9'
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Compliance with these wide walkway widths is cumbersome on a constrained infill site that is surrounded by streets on all sides. The applicant therefore requests a waiver of 7 feet to the required 15-foot walkway along Indian School Rd, the front property line, to allow an 8-foot wide walkway along the primary street frontage. This is a change from the 10-foot width originally discussed and is requested as it allows for more landscape buffer along Indian School along with a closer relationship to existing sidewalks to the east and west on Indian School. The remaining pathways along Pennsylvania St and both segments of Winrock Loop are proposed to be 6 feet in width. The proposed walkway widths either exceed or match the existing facilities. The proposed 8' sidewalk along Indian School Rd exceeds the existing sidewalk width of 6'. The proposed 6' sidewalks along Pennsylvania St and Winrock Loop match the existing 6' sidewalks along those roadways. Given this is a constrained infill site that must also accommodate other requirements such as landscaping and parking, the proposed 6-foot sidewalk will allow us to provide additional amenities including adjacent landscaping and site furnishings that will increase the overall pedestrian experience and buffer the adjacent residential units. If the sidewalk width were to be increased, such amenities could not be included and the sidewalk would be immediately adjacent to ground floor residential units or directly adjacent to car traffic, which creates security and privacy concerns for residents and an imposing experience for pedestrians. The 6-foot width was also used to provide a consistent walking path from the south to the north along Pennsylvania St. The adjacent site to the south has a 6'-0" wide sidewalk.

As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **January 6th, 2021 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>.

Enclosed you will find a preliminary site plan and building façade designs exhibits. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at [Jessical@dpsdesign.org](mailto:Jessical@dpsdesign.org).

Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

**Attachments:**

- **Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association**
- **Preliminary Site Plan**



Jessica Lawlis  
Urban Planner  
Dekker/Perich/Sabatini  
505.761.9700 / [dpsdesign.org](http://dpsdesign.org)

We're identifying design solutions and [rethinking design](#) for a changed society.

[Note: Items with an asterisk (\*) are required.]

## Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association

Date of Notice\*: 12/17/2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Quigley Park NA

Name of NA Representative\*: Lisa Whalen, Eric Olivas

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: 2713 Cardenas Drive NE, 2708 Valencia Drive NE

### Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 7500 Indian School Rd.  
Location Description \_\_\_\_\_
2. Property Owner\* Winrock Partners LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Deviation to Section 5-11(E)(1) Minimum Ground Floor Height

Summary of project/request<sup>2</sup>\*:

The request is for an Amendment to an Approved Site Plan to accommodate an upscale four-story multi-family development—at approximately 227,000 square feet.

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

5. This application will be decided at a public meeting or hearing by\*:

- Zoning Hearing Examiner (ZHE)                       Development Review Board (DRB)  
 Landmarks Commission (LC)                       Environmental Planning Commission (EPC)

Date/Time\*: January 6, 2021 at 9 AM

Location\*<sup>3</sup>: ZOOM, see DRB webpage for the latest Hearing information :https://  
www.cabq.gov/planning/boards-commissions/development-review-board

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>:

Enclosed within this mailing or by contacting Jessical@dpsdesign.org

**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> J19
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

- Deviation(s)                       Variance(s)                       Waiver(s)

Explanation\*:

Deviation to Section 5-11(E)(1) Minimum Ground Floor Height and a Wavier to Section 5-3(D)

(3)(b)(4) Pedestrian Connections.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes  No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, Goodman Reality Group, provided all adjacent Neighborhood and an opportunity to meet and discuss the proposed site development plan amendment and variances for a proposed multifamily development located at 7500 Indian School. At the request of the neighborhood meeting, the applicant held a neighborhood meeting with the board of the Inez neighborhood association on October 30th, 2020 over Go-To-Meeting to discuss the project and respond to potential concerns. At the conclusion of the meeting the Inez Neighborhood Association stated no opposition to the proposed variances as proposed.

<sup>3</sup> Physical address or Zoom link

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

- 1. Area of Property [typically in acres] 3.88 acres
  - 2. IDO Zone District MX- M
  - 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - 4. Center or Corridor Area [if applicable] Uptown Urban Center
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

- Cc: District 7 Coalition of Neighborhood Associations  
 ABQ Park NA  
 Alvarado Park NA  
 Classic Uptown NA \_\_\_\_\_ [Other Neighborhood Associations, if any]  
 Inez NA  
 Jerry Cline Park NA  
 Mark Twain NA  
 Quigley Park NA  
 Snow Heights NA  
 Winrock South NA  
 Winrock Villas Condo Association

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>



## Jessica Lawlis

---

**From:** Jessica Lawlis  
**Sent:** Thursday, December 17, 2020 3:46 PM  
**To:** laurasmigi@aol.com; bjdniels@msn.com  
**Subject:** DRB Submission Notification- Apartments at Indian School & Pennsylvania  
**Attachments:** Snow Heights NA.pdf; Site Plan.pdf

Dear Neighborhood Representative,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Site Development Plan for the Winrock Town Center with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is for an upscale four-story multi-family development approximately 227,000 square feet, proposed to accommodate 199 studio, one-bedroom and two-bedroom apartments, as well as a courtyard, outdoor recreation area, community pool, clubhouse, and a rooftop area for residents. Residential units will be spread over three four-story buildings, two of which are traditional multi-family apartments and one that is classified as a townhouse development that engages Indian School Rd and Pennsylvania St. This use is compatible with existing development on the block and is appropriate for a site within a designated Urban Activity Center.

**As of November 2, 2020, a revised Integrated Development Ordinance (IDO) has gone into effect. These updated regulations have resulted in changes to our original request. This project will no longer be required to obtain a variance to the Section 5-11(E)(2)(b) Minimum Ground Floor Glazing as the minimum ground floor glazing standards have been reduced to 30%. Additional changes to procedures have also eliminated the need for us to obtain variances through the ZHE. Instead the deviations to the required Ground Floor Clear Height and the required On-site Pedestrian Connections will now be heard at the DRB hearing.** As part of the site plan approval, the applicant is therefore requesting the following:

- **A deviation to the Section 5-11(E)(1) Ground Floor Clear Height.** This section requires the ground floor clear height, defined as "the vertical distance of the interior of a ground floor, measured from the slab or top of the sub-floor to the ceiling or the bottom on the exposed support structure for the second floor" of multi-family development within mixed-use zoning districts to be constructed with a minimum height of 10 feet. The applicant is requesting a deviation of 1 foot to allow a 9-foot ground floor ceiling height that is more on par with typical multi-family construction design.
- **A Waiver to the requirements of Section 5-3(D)(3)(b)(4) On-site Pedestrian Connections.** This section requires on-site walkway widths to correlate with the square footage of street-facing buildings that contain pedestrian entrances. Since the subject site is surrounded by streets on all sides, this requires all street-facing pedestrian walkways to be between 12 and 15 feet in width. The table below outlines the required walkway widths, the proposed width, and the resulting waiver request:

Proposed Variances to Pedestrian Walkway Widths			
Street Façade	Required Width	Proposed Width	Requested Waiver
Indian School Rd	15'	8'	7'
Winrock Loop - West	15'	6'	9'
Pennsylvania St	12'	6'	6'

Winrock Loop – South	15'	6'	9'
----------------------	-----	----	----

Compliance with these wide walkway widths is cumbersome on a constrained infill site that is surrounded by streets on all sides. The applicant therefore requests a waiver of 7 feet to the required 15-foot walkway along Indian School Rd, the front property line, to allow an 8-foot wide walkway along the primary street frontage. This is a change from the 10-foot width originally discussed and is requested as it allows for more landscape buffer along Indian School along with a closer relationship to existing sidewalks to the east and west on Indian School. The remaining pathways along Pennsylvania St and both segments of Winrock Loop are proposed to be 6 feet in width. The proposed walkway widths either exceed or match the existing facilities. The proposed 8' sidewalk along Indian School Rd exceeds the existing sidewalk width of 6'. The proposed 6' sidewalks along Pennsylvania St and Winrock Loop match the existing 6' sidewalks along those roadways. Given this is a constrained infill site that must also accommodate other requirements such as landscaping and parking, the proposed 6-foot sidewalk will allow us to provide additional amenities including adjacent landscaping and site furnishings that will increase the overall pedestrian experience and buffer the adjacent residential units. If the sidewalk width were to be increased, such amenities could not be included and the sidewalk would be immediately adjacent to ground floor residential units or directly adjacent to car traffic, which creates security and privacy concerns for residents and an imposing experience for pedestrians. The 6-foot width was also used to provide a consistent walking path from the south to the north along Pennsylvania St. The adjacent site to the south has a 6'-0" wide sidewalk.

As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **January 6th, 2021 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>.

Enclosed you will find a preliminary site plan and building façade designs exhibits. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at [Jessical@dpsdesign.org](mailto:Jessical@dpsdesign.org).

Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

**Attachments:**

- **Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association**
- **Preliminary Site Plan**



Jessica Lawlis  
Urban Planner  
Dekker/Perich/Sabatini  
505.761.9700 / [dpsdesign.org](http://dpsdesign.org)

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[Note: Items with an asterisk (\*) are required.]

## Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association

Date of Notice\*: 12/17/2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Snow Heights NA

Name of NA Representative\*: Laura Garcia, Julie Nielsen

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: 1404 Katie Street NE, 8020 Bellamah Avenue NE

### Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 7500 Indian School Rd.  
Location Description \_\_\_\_\_
2. Property Owner\* Winrock Partners LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Deviation to Section 5-11(E)(1) Minimum Ground Floor Height

Summary of project/request<sup>2</sup>\*:

The request is for an Amendment to an Approved Site Plan to accommodate an upscale four-story multi-family development—at approximately 227,000 square feet.

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

5. This application will be decided at a public meeting or hearing by\*:

- Zoning Hearing Examiner (ZHE)                       Development Review Board (DRB)
- Landmarks Commission (LC)                       Environmental Planning Commission (EPC)

Date/Time\*: January 6, 2021 at 9 AM

Location\*<sup>3</sup>: ZOOM, see DRB webpage for the latest Hearing information :https://  
www.cabq.gov/planning/boards-commissions/development-review-board

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>:

Enclosed within this mailing or by contacting Jessical@dpsdesign.org

**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> J19
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

- Deviation(s)                       Variance(s)                       Waiver(s)

Explanation\*:  
Deviation to Section 5-11(E)(1) Minimum Ground Floor Height and a Wavier to Section 5-3(D)  
(3)(b)(4) Pedestrian Connections.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):     Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:  
In accordance with the procedures of the City of Albuquerque’s Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, Goodman Reality Group, provided all adjacent Neighborhood and an opportunity to meet and discuss the proposed site development plan amendment and variances for a proposed multifamily development located at 7500 Indian School. At the request of the neighborhood meeting, the applicant held a neighborhood meeting with the board of the Inez neighborhood association on October 30th, 2020 over Go-To-Meeting to discuss the project and respond to potential concerns. At the conclusion of the meeting the Inez Neighborhood Association stated no opposition to the proposed variances as proposed.

<sup>3</sup> Physical address or Zoom link

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>



[Note: Items with an asterisk (\*) are required.]

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
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  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

- 1. Area of Property [typically in acres] 3.88 acres
  - 2. IDO Zone District MX- M
  - 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - 4. Center or Corridor Area [if applicable] Uptown Urban Center
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

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<https://ido.abc-zone.com/>

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<https://tinyurl.com/IDOzoningmap>

- Cc: District 7 Coalition of Neighborhood Associations  
 ABQ Park NA  
 Alvarado Park NA  
 Classic Uptown NA \_\_\_\_\_ [Other Neighborhood Associations, if any]  
 Inez NA  
 Jerry Cline Park NA  
 Mark Twain NA  
 Quigley Park NA  
 Snow Heights NA  
 Winrock South NA  
 Winrock Villas Condo Association

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

## Jessica Lawlis

---

**From:** Jessica Lawlis  
**Sent:** Thursday, December 17, 2020 3:47 PM  
**To:** wvcondos@comcast.net  
**Subject:** DRB Submission Notification- Apartments at Indian School & Pennsylvania  
**Attachments:** Winrock Villas Condo Association.pdf; Site Plan.pdf

Dear Neighborhood Representative,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Site Development Plan for the Winrock Town Center with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is for an upscale four-story multi-family development approximately 227,000 square feet, proposed to accommodate 199 studio, one-bedroom and two-bedroom apartments, as well as a courtyard, outdoor recreation area, community pool, clubhouse, and a rooftop area for residents. Residential units will be spread over three four-story buildings, two of which are traditional multi-family apartments and one that is classified as a townhouse development that engages Indian School Rd and Pennsylvania St. This use is compatible with existing development on the block and is appropriate for a site within a designated Urban Activity Center.

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- **A deviation to the Section 5-11(E)(1) Ground Floor Clear Height.** This section requires the ground floor clear height, defined as "the vertical distance of the interior of a ground floor, measured from the slab or top of the sub-floor to the ceiling or the bottom on the exposed support structure for the second floor" of multi-family development within mixed-use zoning districts to be constructed with a minimum height of 10 feet. The applicant is requesting a deviation of 1 foot to allow a 9-foot ground floor ceiling height that is more on par with typical multi-family construction design.
- **A Waiver to the requirements of Section 5-3(D)(3)(b)(4) On-site Pedestrian Connections.** This section requires on-site walkway widths to correlate with the square footage of street-facing buildings that contain pedestrian entrances. Since the subject site is surrounded by streets on all sides, this requires all street-facing pedestrian walkways to be between 12 and 15 feet in width. The table below outlines the required walkway widths, the proposed width, and the resulting waiver request:

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Street Façade	Required Width	Proposed Width	Requested Waiver
Indian School Rd	15'	8'	7'
Winrock Loop - West	15'	6'	9'
Pennsylvania St	12'	6'	6'

Winrock Loop – South	15'	6'	9'
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Compliance with these wide walkway widths is cumbersome on a constrained infill site that is surrounded by streets on all sides. The applicant therefore requests a waiver of 7 feet to the required 15-foot walkway along Indian School Rd, the front property line, to allow an 8-foot wide walkway along the primary street frontage. This is a change from the 10-foot width originally discussed and is requested as it allows for more landscape buffer along Indian School along with a closer relationship to existing sidewalks to the east and west on Indian School. The remaining pathways along Pennsylvania St and both segments of Winrock Loop are proposed to be 6 feet in width. The proposed walkway widths either exceed or match the existing facilities. The proposed 8' sidewalk along Indian School Rd exceeds the existing sidewalk width of 6'. The proposed 6' sidewalks along Pennsylvania St and Winrock Loop match the existing 6' sidewalks along those roadways. Given this is a constrained infill site that must also accommodate other requirements such as landscaping and parking, the proposed 6-foot sidewalk will allow us to provide additional amenities including adjacent landscaping and site furnishings that will increase the overall pedestrian experience and buffer the adjacent residential units. If the sidewalk width were to be increased, such amenities could not be included and the sidewalk would be immediately adjacent to ground floor residential units or directly adjacent to car traffic, which creates security and privacy concerns for residents and an imposing experience for pedestrians. The 6-foot width was also used to provide a consistent walking path from the south to the north along Pennsylvania St. The adjacent site to the south has a 6'-0" wide sidewalk.

As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **January 6th, 2021 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>.

Enclosed you will find a preliminary site plan and building façade designs exhibits. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at [Jessical@dpsdesign.org](mailto:Jessical@dpsdesign.org).

Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

**Attachments:**

- **Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association**
- **Preliminary Site Plan**



Jessica Lawlis  
Urban Planner  
Dekker/Perich/Sabatini  
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We're identifying design solutions and [rethinking design](#) for a changed society.

[Note: Items with an asterisk (\*) are required.]

## Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association

Date of Notice\*: 12/17/2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Winrock Villas Condo Association

Name of NA Representative\*: Diane Rossignol

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: 1601 Pennsylvania Street NE

### Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 7500 Indian School Rd.  
Location Description \_\_\_\_\_
2. Property Owner\* Winrock Partners LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Deviation to Section 5-11(E)(1) Minimum Ground Floor Height

Summary of project/request<sup>2</sup>\*:

The request is for an Amendment to an Approved Site Plan to accommodate an upscale four-story multi-family development—at approximately 227,000 square feet.

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.



[Note: Items with an asterisk (\*) are required.]

5. This application will be decided at a public meeting or hearing by\*:

- Zoning Hearing Examiner (ZHE)                       Development Review Board (DRB)  
 Landmarks Commission (LC)                       Environmental Planning Commission (EPC)

Date/Time\*: January 6, 2021 at 9 AM

Location\*<sup>3</sup>: ZOOM, see DRB webpage for the latest Hearing information :https://  
www.cabq.gov/planning/boards-commissions/development-review-board

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>:

Enclosed within this mailing or by contacting Jessical@dpsdesign.org

**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> J19
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

- Deviation(s)                       Variance(s)                       Waiver(s)

Explanation\*:

Deviation to Section 5-11(E)(1) Minimum Ground Floor Height and a Wavier to Section 5-3(D)

(3)(b)(4) Pedestrian Connections.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes  No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, Goodman Reality Group, provided all adjacent Neighborhood and an opportunity to meet and discuss the proposed site development plan amendment and variances for a proposed multifamily development located at 7500 Indian School. At the request of the neighborhood meeting, the applicant held a neighborhood meeting with the board of the Inez neighborhood association on October 30th, 2020 over Go-To-Meeting to discuss the project and respond to potential concerns. At the conclusion of the meeting the Inez Neighborhood Association stated no opposition to the proposed variances as proposed.

<sup>3</sup> Physical address or Zoom link

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

- 1. Area of Property [typically in acres] 3.88 acres
  - 2. IDO Zone District MX- M
  - 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - 4. Center or Corridor Area [if applicable] Uptown Urban Center
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: District 7 Coalition of Neighborhood Associations  
 ABQ Park NA  
 Alvarado Park NA  
 Classic Uptown NA \_\_\_\_\_ [Other Neighborhood Associations, if any]  
 Inez NA  
 Jerry Cline Park NA  
 Mark Twain NA  
 Quigley Park NA  
 Snow Heights NA  
 Winrock South NA  
 Winrock Villas Condo Association

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

December 17, 2020

Virginia Kenny  
7110 Constitution Avenue NE  
Albuquerque NM  
87110

**RE: Request for Major Amendment to a Previously Approved Site Plan –DRB  
Amendment to the Winrock Town Center Site Plan  
Apartments at Indian School & Pennsylvania  
7500 Indian School Rd NE**

Dear Neighborhood Association Representative,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Site Development Plan for the Winrock Town Center with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is for an upscale four-story multi-family development at approximately 227,000 square feet, proposed to accommodate 199 studio, one-bedroom and two-bedroom apartments, as well as a courtyard, outdoor recreation area, community pool, clubhouse, and a rooftop area for residents. Residential units will be spread over three four-story buildings, two of which are traditional multi-family apartments and one that is classified as a townhouse development that engages Indian School Rd and Pennsylvania St. This use is compatible with existing development on the block and is appropriate for a site within a designated Urban Activity Center.

**As of November 2, 2020, a revised Integrated Development Ordinance (IDO) has gone into effect. These updated regulations have resulted in changes to our original request. This project will no longer be required to obtain a variance to the Section 5-11(E)(2)(b) Minimum Ground Floor Glazing as the minimum ground floor glazing standards have been reduced to 30%. Additional changes to procedures have also eliminated the need for us to obtain variances through the ZHE. Instead the deviations to the required Ground Floor Clear Height and the required On-site Pedestrian Connections will now be heard at the DRB hearing.** As part of the site plan approval, the applicant is therefore requesting the following:

- ***A deviation to the Section 5-11(E)(1) Ground Floor Clear Height.*** This section requires the ground floor clear height, defined as “the vertical distance of the interior of a ground floor, measured from the slab or top of the sub-floor to the ceiling or the bottom on the exposed support structure for the second floor” of multi-family development within mixed-use zoning districts to be constructed with a minimum height of 10 feet. The applicant is requesting a

deviation of 1 foot to allow a 9-foot ground floor ceiling height that is more on par with typical multi-family construction design.

- **A Waiver to the requirements of Section 5-3(D)(3)(b)(4) On-site Pedestrian Connections.** This section requires on-site walkway widths to correlate with the square footage of street-facing buildings that contain pedestrian entrances. Since the subject site is surrounded by streets on all sides, this requires all street-facing pedestrian walkways to be between 12 and 15 feet in width. The table below outlines the required walkway widths, the proposed width, and the resulting waiver request:

<b>Proposed Variances to Pedestrian Walkway Widths</b>			
<b>Street Façade</b>	<b>Required Width</b>	<b>Proposed Width</b>	<b>Requested Waiver</b>
Indian School Rd	15'	8'	7'
Winrock Loop - West	15'	6'	9'
Pennsylvania St	12'	6'	6'
Winrock Loop – South	15'	6'	9'

Compliance with these wide walkway widths is cumbersome on a constrained infill site that is surrounded by streets on all sides. **The applicant therefore requests a waiver of 7 feet to the required 15-foot walkway along Indian School Rd, the front property line, to allow an 8-foot wide walkway along the primary street frontage. This is a change from the 10-foot width originally discussed and is requested as it allows for more landscape buffer along Indian School along with a closer relationship to existing sidewalks to the east and west on Indian School.**

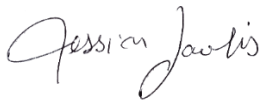
The remaining pathways along Pennsylvania St and both segments of Winrock Loop are proposed to be 6 feet in width. The proposed walkway widths either exceed or match the existing facilities. The proposed 8' sidewalk along Indian School Rd exceeds the existing sidewalk width of 6'. The proposed 6' sidewalks along Pennsylvania St and Winrock Loop match the existing 6' sidewalks along those roadways. Given this is a constrained infill site that must also accommodate other requirements such as landscaping and parking, the proposed 6-foot sidewalk will allow us to provide additional amenities including adjacent landscaping and site furnishings that will increase the overall pedestrian experience and buffer the adjacent residential units. If the sidewalk width were to be increased, such amenities could not be included and the sidewalk would be immediately adjacent to ground floor residential units or directly adjacent to car traffic, which creates security and privacy concerns for residents and an imposing experience for pedestrians. The 6-foot width was also used to provide a consistent walking path from the south to the north along Pennsylvania St. The adjacent site to the south has a 6'-0" wide sidewalk.

As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **January 6th, 2021 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>.



Enclosed you will find a preliminary site plan and building façade designs exhibits. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at [Jessical@dpsdesign.org](mailto:Jessical@dpsdesign.org).

Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

**Attachments:**

***Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association  
Preliminary Site Plan***

December 17, 2020

**John Kenny**  
**7110 Constitution Avenue NE**  
**Albuquerque NM**  
**87110**

**RE: Request for Major Amendment to a Previously Approved Site Plan –DRB**  
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**Apartments at Indian School & Pennsylvania**  
**7500 Indian School Rd NE**

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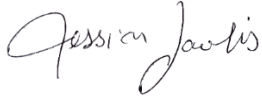
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Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

**Attachments:**

***Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association  
Preliminary Site Plan***



[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed/Emailed to a Neighborhood Association**

Date of Notice\*: 12/17/2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Winrock South NA

Name of NA Representative\*: Virginia Kinney, John Kinney

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: 7110 Constitution Avenue NE, 7110 Constitution Avenue NE

**Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 7500 Indian School Rd.  
Location Description \_\_\_\_\_
2. Property Owner\* Winrock Partners LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Deviation to Section 5-11(E)(1) Minimum Ground Floor Height

Summary of project/request<sup>2</sup>\*:

The request is for an Amendment to an Approved Site Plan to accommodate an upscale four-story multi-family development—at approximately 227,000 square feet.

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

5. This application will be decided at a public meeting or hearing by\*:

- Zoning Hearing Examiner (ZHE)                       Development Review Board (DRB)  
 Landmarks Commission (LC)                       Environmental Planning Commission (EPC)

Date/Time\*: January 6, 2021 at 9 AM

Location\*<sup>3</sup>: ZOOM, see DRB webpage for the latest Hearing information :https://  
www.cabq.gov/planning/boards-commissions/development-review-board

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>:

Enclosed within this mailing or by contacting Jessical@dpsdesign.org

**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> J19
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

- Deviation(s)                       Variance(s)                       Waiver(s)

Explanation\*:

Deviation to Section 5-11(E)(1) Minimum Ground Floor Height and a Wavier to Section 5-3(D)

(3)(b)(4) Pedestrian Connections.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes  No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, Goodman Reality Group, provided all adjacent Neighborhood and an opportunity to meet and discuss the proposed site development plan amendment and variances for a proposed multifamily development located at 7500 Indian School. At the request of the neighborhood meeting, the applicant held a neighborhood meeting with the board of the Inez neighborhood association on October 30th, 2020 over Go-To-Meeting to discuss the project and respond to potential concerns. At the conclusion of the meeting the Inez Neighborhood Association stated no opposition to the proposed variances as proposed.

<sup>3</sup> Physical address or Zoom link

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<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

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- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\*
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  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

- 1. Area of Property [typically in acres] 3.88 acres
  - 2. IDO Zone District MX- M
  - 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - 4. Center or Corridor Area [if applicable] Uptown Urban Center
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

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 Winrock South NA  
 Winrock Villas Condo Association

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

# **11 HEARING NOTIFICATIONS**

## **D. Property owner's notification**

- i. Map and list of Property owners within 100ft,**
- ii. Copy of Notifying letter,**
- iii. Proof of mailing**



Owner	Owner Address	Owner Address 2	
New Hope Missionary Baptist Church	Po Box 11785	Albuquerque NM 87192-0785	
Minority Business Enterprises LLC	7611 Indian School Rd Ne	Albuquerque NM 87110-1389	
ISR LLC	6871 Mossman Pl Ne	Albuquerque NM 87110	
New Hope Missionary Baptist Church	Po Box 11785	Albuquerque NM 87192-0785	
ISR LLC	6871 Mossman Pl Ne	Albuquerque NM 87110	
Regents Of UNM Real Estate Dept	Msc06-3595-1 University Of Nm	Albuquerque NM 87131-0001	
Rio Office Building LLC	7615 Indian School Rd Ne	Albuquerque NM 87110-5407	
Winrock Partners LLC	100 Sun Ave Ne Suite 100	Albuquerque NM 87109-4659	
Winrock Partners LLC	100 Sun Ave Ne Suite 100	Albuquerque NM 87109-4659	
ALB Winrock LLC	3234 Riverview Ln	Daytona Beach FL 32118-6218	
Winrock Partners LLC	100 Sun Ave Ne Suite 100	Albuquerque NM 87109-4659	
Winrock Villas Condos Assoc	1601 Pennsylvania St Ne	Albuquerque NM 87110-5546	
Winrock South Na John Kinney	7110 Constitution Avenue Ne	Albuquerque NM 87110	
Winrock South Na Virginia Kinney	7111 Constitution Avenue Ne	Albuquerque NM 87110	
Mark Twain Na Joel Woolridge	1500 Indiana Ne	Albuquerque NM 87110	

## Jessica Lawlis

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**From:** Ewell, Diego <dewell@cabq.gov>  
**Sent:** Thursday, November 12, 2020 9:53 AM  
**To:** Jessica Lawlis  
**Subject:** RE: Property Owners List Request - 7500 Indian School  
**Attachments:** List of Property Owners - 7500 Indian School.docx; Zone Atlas - 7500 Indian School.pdf

Hello again,

I have included the buffer map with 100 Ft. excluding the right of way, also I have included the list of property owners with-in the buffer.

Thank You,



**Diego Ewell**  
senior office assistant  
administration  
o 505.924.3811  
e [dewell@cabq.gov](mailto:dewell@cabq.gov)  
[cabq.gov/planning](http://cabq.gov/planning)

---

**From:** Jessica Lawlis <JessicaL@dpsdesign.org>  
**Sent:** Thursday, November 12, 2020 9:39 AM  
**To:** Ewell, Diego <dewell@cabq.gov>  
**Subject:** Property Owners List Request - 7500 Indian School

### External

Morning Diego,

I'm writing to obtain the list of property owners within 100' of 7500 Indian School, which we need to notify for an DRB request. I've attached the appropriate zone atlas map, are you still the person to reach out to for such a request and if not, can you point me to the appropriate person please.

Thanks,  
Jessica



**Jessica Lawlis**  
Urban Planner  
Dekker/Perich/Sabatini  
505.761.9700 / dpsdesign.org

We're identifying design solutions and [rethinking design](#) for a changed society.

=====

This message has been analyzed by Deep Discovery Email Inspector.

December 17, 2020

**New Hope Missionary Baptist Church  
Po Box 11785  
Albuquerque NM 87192-0785**

**RE: Request for Major Amendment to a Previously Approved Site Plan –DRB  
Amendment to the Winrock Town Center Site Development Plan  
Apartments at Indian School & Pennsylvania  
7500 Indian School Rd NE**

Dear New Hope Missionary Baptist Church,

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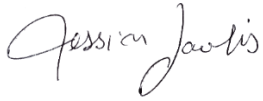
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The remaining pathways along Pennsylvania St and both segments of Winrock Loop are proposed to be 6 feet in width. The proposed walkway widths either exceed or match the existing facilities. The proposed 8' sidewalk along Indian School Rd exceeds the existing sidewalk width of 6'. The proposed 6' sidewalks along Pennsylvania St and Winrock Loop match the existing 6' sidewalks along those roadways. Given this is a constrained infill site that must also accommodate other requirements such as landscaping and parking, the proposed 6-foot sidewalk will allow us to provide additional amenities including adjacent landscaping and site furnishings that will increase the overall pedestrian experience and buffer the adjacent residential units. If the sidewalk width were to be increased, such amenities could not be included and the sidewalk would be immediately adjacent to ground floor residential units or directly adjacent to car traffic, which creates security and privacy concerns for residents and an imposing experience for pedestrians. The 6-foot width was also used to provide a consistent walking path from the south to the north along Pennsylvania St. The adjacent site to the south has a 6'-0" wide sidewalk.

As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **January 6th, 2021 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>.

Enclosed you will find a preliminary site plan and building façade designs exhibits. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at [Jessical@dpsdesign.org](mailto:Jessical@dpsdesign.org).

Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

***Attachments: Preliminary Site Plan  
Preliminary Elevations  
Preliminary Sidewalk Exhibits***

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 12/17/2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: New Hope Missionary Baptist Church

Mailing Address\*: Po Box 11785, Albuquerque NM 87192-0785

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 7500 Indian School Rd.  
Location Description \_\_\_\_\_
2. Property Owner\* Winrock Partners LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Deviation to Section 5-11(E)(1) Minimum Ground Floor Height

Summary of project/request<sup>1</sup>\*:

The request is for an Amendment to an Approved Site Plan to accommodate an upscale four-story multi-family development—at approximately 227,000 square feet.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: January 6, 2021 at 9 AM

Location\*<sup>2</sup>: ZOOM, see DRB webpage for the latest Hearing information :https://  
www.cabq.gov/planning/boards-commissions/development-review-board

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>3</sup>:

Enclosed within this mailing or by contacting JessicaL@dpsdesign.org

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>4</sup> J19
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)       Variance(s)       Waiver(s)

Explanation\*:

Deviation to Section 5-11(E)(1) Minimum Ground Floor Height and a Wavier to Section 5-3(D)

(3)(b)(4) Pedestrian Connections.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):     Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

In accordance with the procedures of the City of Albuquerque’s Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, Goodman Reality Group, provided all adjacent Neighborhood and an opportunity to meet and discuss the proposed site development plan amendment and variances for a proposed multifamily development located at 7500 Indian School. At the request of the neighborhood meeting, the applicant held a neighborhood meeting with the board of the Inez neighborhood association on October 30th, 2020 over Go-To-Meeting to discuss the project and respond to potential concerns. Detailed meeting notes documenting the conversations that occurred are outlined below. At the conclusion of the meeting the Inez Neighborhood Association stated no opposition to the proposed variances as proposed.

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\*
- b. Access and circulation for vehicles and pedestrians.\*
- c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>



[Note: Items with an asterisk (\*) are required.]

- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 3.88 acres
  2. IDO Zone District MX- M
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] Uptown Urban Center
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

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<sup>5</sup> Available here: <https://tinurl.com/idozoningmap>

December 17, 2020

**Minority Business Enterprises LLC  
7611 Indian School Rd Ne  
Albuquerque NM 87110-1389**

**RE: Request for Major Amendment to a Previously Approved Site Plan –DRB  
Amendment to the Winrock Town Center Site Development Plan  
Apartments at Indian School & Pennsylvania  
7500 Indian School Rd NE**

Dear Minority Business Enterprises LLC,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Site Development Plan for the Winrock Town Center with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque’s Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is for an upscale four-story multi-family development—Apartments at Indian School & Pennsylvania—at approximately 227,000 square feet, proposed to accommodate 199 studio, one-bedroom and two-bedroom apartments, as well as a courtyard, outdoor recreation area, community pool, clubhouse, and a rooftop area for residents. Residential units will be spread over three four-story buildings, two of which are traditional multi-family apartments and one that is classified as a townhouse development that engages Indian School Rd and Pennsylvania St. This use is compatible with existing development on the block and is appropriate for a site within a designated Urban Activity Center.

**As of November 2, 2020, a revised Integrated Development Ordinance (IDO) has gone into effect. These updated regulations have resulted in changes to our original request. This project will no longer be required to obtain a variance to the Section 5-11(E)(2)(b) Minimum Ground Floor Glazing as the minimum ground floor glazing standards have been reduced to 30%. Additional changes to procedures have also eliminated the need for us to obtain variances through the DRB. Instead the deviations to the required Ground Floor Clear Height and the required On-site Pedestrian Connections will now be heard at the DRB hearing.** As part of the site plan approval, the applicant is therefore requesting the following:

- ***A deviation to the Section 5-11(E)(1) Ground Floor Clear Height.*** This section requires the ground floor clear height, defined as “the vertical distance of the interior of a ground floor, measured from the slab or top of the sub-floor to the ceiling or the bottom on the exposed support structure for the second floor” of multi-family development within mixed-use zoning districts to be constructed with a minimum height of 10 feet. The applicant is requesting a deviation of 1 foot to allow a 9-foot ground floor ceiling height that is more on par with typical multi-family construction design.

- **A Waiver to the requirements of Section 5-3(D)(3)(b)(4) On-site Pedestrian Connections.** This section requires on-site walkway widths to correlate with the square footage of street-facing buildings that contain pedestrian entrances. Since the subject site is surrounded by streets on all sides, this requires all street-facing pedestrian walkways to be between 12 and 15 feet in width. The table below outlines the required walkway widths, the proposed width, and the resulting waiver request:

<b>Proposed Variances to Pedestrian Walkway Widths</b>			
<b>Street Façade</b>	<b>Required Width</b>	<b>Proposed Width</b>	<b>Requested Waiver</b>
Indian School Rd	15'	8'	7'
Winrock Loop - West	15'	6'	9'
Pennsylvania St	12'	6'	6'
Winrock Loop – South	15'	6'	9'

Compliance with these wide walkway widths is cumbersome on a constrained infill site that is surrounded by streets on all sides. **The applicant therefore requests a waiver of 7 feet to the required 15-foot walkway along Indian School Rd, the front property line, to allow an 8-foot wide walkway along the primary street frontage. This is a change from the 10-foot width originally discussed and is requested as it allows for more landscape buffer along Indian School along with a closer relationship to existing sidewalks to the east and west on Indian School.**

The remaining pathways along Pennsylvania St and both segments of Winrock Loop are proposed to be 6 feet in width. The proposed walkway widths either exceed or match the existing facilities. The proposed 8' sidewalk along Indian School Rd exceeds the existing sidewalk width of 6'. The proposed 6' sidewalks along Pennsylvania St and Winrock Loop match the existing 6' sidewalks along those roadways. Given this is a constrained infill site that must also accommodate other requirements such as landscaping and parking, the proposed 6-foot sidewalk will allow us to provide additional amenities including adjacent landscaping and site furnishings that will increase the overall pedestrian experience and buffer the adjacent residential units. If the sidewalk width were to be increased, such amenities could not be included and the sidewalk would be immediately adjacent to ground floor residential units or directly adjacent to car traffic, which creates security and privacy concerns for residents and an imposing experience for pedestrians. The 6-foot width was also used to provide a consistent walking path from the south to the north along Pennsylvania St. The adjacent site to the south has a 6'-0" wide sidewalk.

As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **January 6th, 2021 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>.

Enclosed you will find a preliminary site plan and building façade designs exhibits. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at [Jessical@dpsdesign.org](mailto:Jessical@dpsdesign.org).

Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

***Attachments: Preliminary Site Plan  
Preliminary Elevations  
Preliminary Sidewalk Exhibits***



[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 12/17/2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: Minority Business Enterprises LLC

Mailing Address\*: 7611 Indian School Rd NE, Albuquerque NM 87110-1389

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 7500 Indian School Rd.  
Location Description \_\_\_\_\_
2. Property Owner\* Winrock Partners LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Deviation to Section 5-11(E)(1) Minimum Ground Floor Height

Summary of project/request<sup>1</sup>\*:

The request is for an Amendment to an Approved Site Plan to accommodate an upscale four-story multi-family development—at approximately 227,000 square feet.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: January 6, 2021 at 9 AM

Location\*<sup>2</sup>: ZOOM, see DRB webpage for the latest Hearing information :https://  
www.cabq.gov/planning/boards-commissions/development-review-board

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found\*<sup>3</sup>:  
Enclosed within this mailing or by contacting JessicaL@dpsdesign.org

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> J19
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)       Variance(s)       Waiver(s)

Explanation\*:

Deviation to Section 5-11(E)(1) Minimum Ground Floor Height and a Wavier to Section 5-3(D)  
(3)(b)(4) Pedestrian Connections.

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):     Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

In accordance with the procedures of the City of Albuquerque’s Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, Goodman Reality Group, provided all adjacent Neighborhood and an opportunity to meet and discuss the proposed site development plan amendment and variances for a proposed multifamily development located at 7500 Indian School. At the request of the neighborhood meeting, the applicant held a neighborhood meeting with the board of the Inez neighborhood association on October 30th, 2020 over Go-To-Meeting to discuss the project and respond to potential concerns. Detailed meeting notes documenting the conversations that occurred are outlined below. At the conclusion of the meeting the Inez Neighborhood Association stated no opposition to the proposed variances as proposed.

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\*
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- c. Maximum height of any proposed structures, with building elevations.\*

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<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

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[Note: Items with an asterisk (\*) are required.]

- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

- 1. Area of Property [typically in acres] 3.88 acres
  - 2. IDO Zone District MX- M
  - 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - 4. Center or Corridor Area [if applicable] Uptown Urban Center
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
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**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

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December 17, 2020

ISR LLC  
 6871 Mossman Pl Ne  
 Albuquerque NM 87110

**RE: Request for Major Amendment to a Previously Approved Site Plan –DRB  
 Amendment to the Winrock Town Center Site Development Plan  
 Apartments at Indian School & Pennsylvania  
 7500 Indian School Rd NE**

Dear ISR LLC,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Site Development Plan for the Winrock Town Center with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque’s Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is for an upscale four-story multi-family development—Apartments at Indian School & Pennsylvania—at approximately 227,000 square feet, proposed to accommodate 199 studio, one-bedroom and two-bedroom apartments, as well as a courtyard, outdoor recreation area, community pool, clubhouse, and a rooftop area for residents. Residential units will be spread over three four-story buildings, two of which are traditional multi-family apartments and one that is classified as a townhouse development that engages Indian School Rd and Pennsylvania St. This use is compatible with existing development on the block and is appropriate for a site within a designated Urban Activity Center.

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- ***A deviation to the Section 5-11(E)(1) Ground Floor Clear Height.*** This section requires the ground floor clear height, defined as “the vertical distance of the interior of a ground floor, measured from the slab or top of the sub-floor to the ceiling or the bottom on the exposed support structure for the second floor” of multi-family development within mixed-use zoning districts to be constructed with a minimum height of 10 feet. The applicant is requesting a deviation of 1 foot to allow a 9-foot ground floor ceiling height that is more on par with typical multi-family construction design.



- **A Waiver to the requirements of Section 5-3(D)(3)(b)(4) On-site Pedestrian Connections.** This section requires on-site walkway widths to correlate with the square footage of street-facing buildings that contain pedestrian entrances. Since the subject site is surrounded by streets on all sides, this requires all street-facing pedestrian walkways to be between 12 and 15 feet in width. The table below outlines the required walkway widths, the proposed width, and the resulting waiver request:

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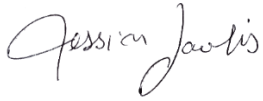
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As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **January 6th, 2021 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>.

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Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

***Attachments: Preliminary Site Plan  
Preliminary Elevations  
Preliminary Sidewalk Exhibits***

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 12/17/2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: ISR LLC

Mailing Address\*: 6871 Mossman Pl NE, Albuquerque NM 87110

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 7500 Indian School Rd.  
Location Description \_\_\_\_\_
2. Property Owner\* Winrock Partners LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Deviation to Section 5-11(E)(1) Minimum Ground Floor Height

Summary of project/request<sup>1</sup>\*:

The request is for an Amendment to an Approved Site Plan to accommodate an upscale four-story multi-family development—at approximately 227,000 square feet.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: January 6, 2021 at 9 AM

Location\*<sup>2</sup>: ZOOM, see DRB webpage for the latest Hearing information :https://  
www.cabq.gov/planning/boards-commissions/development-review-board

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>3</sup>:

Enclosed within this mailing or by contacting JessicaL@dpsdesign.org

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>4</sup> J19
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)       Variance(s)       Waiver(s)

Explanation\*:

Deviation to Section 5-11(E)(1) Minimum Ground Floor Height and a Wavier to Section 5-3(D)

(3)(b)(4) Pedestrian Connections.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):     Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

In accordance with the procedures of the City of Albuquerque’s Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, Goodman Reality Group, provided all adjacent Neighborhood and an opportunity to meet and discuss the proposed site development plan amendment and variances for a proposed multifamily development located at 7500 Indian School. At the request of the neighborhood meeting, the applicant held a neighborhood meeting with the board of the Inez neighborhood association on October 30th, 2020 over Go-To-Meeting to discuss the project and respond to potential concerns. Detailed meeting notes documenting the conversations that occurred are outlined below. At the conclusion of the meeting the Inez Neighborhood Association stated no opposition to the proposed variances as proposed.

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\*
- b. Access and circulation for vehicles and pedestrians.\*
- c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

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[Note: Items with an asterisk (\*) are required.]

- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

- 1. Area of Property [typically in acres] 3.88 acres
  - 2. IDO Zone District MX- M
  - 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - 4. Center or Corridor Area [if applicable] Uptown Urban Center
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

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December 17, 2020

New Hope Missionary Baptist Church  
Po Box 11785  
Albuquerque NM 87192-0785

**RE: Request for Major Amendment to a Previously Approved Site Plan –DRB  
Amendment to the Winrock Town Center Site Development Plan  
Apartments at Indian School & Pennsylvania  
7500 Indian School Rd NE**

Dear New Hope Missionary Baptist Church,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Site Development Plan for the Winrock Town Center with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque’s Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is for an upscale four-story multi-family development—Apartments at Indian School & Pennsylvania—at approximately 227,000 square feet, proposed to accommodate 199 studio, one-bedroom and two-bedroom apartments, as well as a courtyard, outdoor recreation area, community pool, clubhouse, and a rooftop area for residents. Residential units will be spread over three four-story buildings, two of which are traditional multi-family apartments and one that is classified as a townhouse development that engages Indian School Rd and Pennsylvania St. This use is compatible with existing development on the block and is appropriate for a site within a designated Urban Activity Center.

**As of November 2, 2020, a revised Integrated Development Ordinance (IDO) has gone into effect. These updated regulations have resulted in changes to our original request. This project will no longer be required to obtain a variance to the Section 5-11(E)(2)(b) Minimum Ground Floor Glazing as the minimum ground floor glazing standards have been reduced to 30%. Additional changes to procedures have also eliminated the need for us to obtain variances through the DRB. Instead the deviations to the required Ground Floor Clear Height and the required On-site Pedestrian Connections will now be heard at the DRB hearing.** As part of the site plan approval, the applicant is therefore requesting the following:

- ***A deviation to the Section 5-11(E)(1) Ground Floor Clear Height.*** This section requires the ground floor clear height, defined as “the vertical distance of the interior of a ground floor, measured from the slab or top of the sub-floor to the ceiling or the bottom on the exposed support structure for the second floor” of multi-family development within mixed-use zoning districts to be constructed with a minimum height of 10 feet. The applicant is requesting a deviation of 1 foot to allow a 9-foot ground floor ceiling height that is more on par with typical multi-family construction design.

- **A Waiver to the requirements of Section 5-3(D)(3)(b)(4) On-site Pedestrian Connections.** This section requires on-site walkway widths to correlate with the square footage of street-facing buildings that contain pedestrian entrances. Since the subject site is surrounded by streets on all sides, this requires all street-facing pedestrian walkways to be between 12 and 15 feet in width. The table below outlines the required walkway widths, the proposed width, and the resulting waiver request:

<b>Proposed Variances to Pedestrian Walkway Widths</b>			
<b>Street Façade</b>	<b>Required Width</b>	<b>Proposed Width</b>	<b>Requested Waiver</b>
Indian School Rd	15'	8'	7'
Winrock Loop - West	15'	6'	9'
Pennsylvania St	12'	6'	6'
Winrock Loop – South	15'	6'	9'

Compliance with these wide walkway widths is cumbersome on a constrained infill site that is surrounded by streets on all sides. **The applicant therefore requests a waiver of 7 feet to the required 15-foot walkway along Indian School Rd, the front property line, to allow an 8-foot wide walkway along the primary street frontage. This is a change from the 10-foot width originally discussed and is requested as it allows for more landscape buffer along Indian School along with a closer relationship to existing sidewalks to the east and west on Indian School.**

The remaining pathways along Pennsylvania St and both segments of Winrock Loop are proposed to be 6 feet in width. The proposed walkway widths either exceed or match the existing facilities. The proposed 8' sidewalk along Indian School Rd exceeds the existing sidewalk width of 6'. The proposed 6' sidewalks along Pennsylvania St and Winrock Loop match the existing 6' sidewalks along those roadways. Given this is a constrained infill site that must also accommodate other requirements such as landscaping and parking, the proposed 6-foot sidewalk will allow us to provide additional amenities including adjacent landscaping and site furnishings that will increase the overall pedestrian experience and buffer the adjacent residential units. If the sidewalk width were to be increased, such amenities could not be included and the sidewalk would be immediately adjacent to ground floor residential units or directly adjacent to car traffic, which creates security and privacy concerns for residents and an imposing experience for pedestrians. The 6-foot width was also used to provide a consistent walking path from the south to the north along Pennsylvania St. The adjacent site to the south has a 6'-0" wide sidewalk.

As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **January 6th, 2021 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>.

Enclosed you will find a preliminary site plan and building façade designs exhibits. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at [Jessical@dpsdesign.org](mailto:Jessical@dpsdesign.org).

Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

***Attachments: Preliminary Site Plan  
Preliminary Elevations  
Preliminary Sidewalk Exhibits***

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 12/17/2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: New Hope Missionary Baptist Church

Mailing Address\*: Po Box 11785, Albuquerque NM 87192-0785

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 7500 Indian School Rd.  
Location Description \_\_\_\_\_
2. Property Owner\* Winrock Partners LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Deviation to Section 5-11(E)(1) Minimum Ground Floor Height

Summary of project/request<sup>1</sup>\*:

The request is for an Amendment to an Approved Site Plan to accommodate an upscale four-story multi-family development—at approximately 227,000 square feet.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: January 6, 2021 at 9 AM

Location\*<sup>2</sup>: ZOOM, see DRB webpage for the latest Hearing information :https://www.cabq.gov/planning/boards-commissions/development-review-board

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found\*<sup>3</sup>:  
Enclosed within this mailing or by contacting JessicaL@dpsdesign.org

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> J19
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)       Variance(s)       Waiver(s)

Explanation\*:

Deviation to Section 5-11(E)(1) Minimum Ground Floor Height and a Wavier to Section 5-3(D)  
(3)(b)(4) Pedestrian Connections.

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):     Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

In accordance with the procedures of the City of Albuquerque’s Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, Goodman Reality Group, provided all adjacent Neighborhood and an opportunity to meet and discuss the proposed site development plan amendment and variances for a proposed multifamily development located at 7500 Indian School. At the request of the neighborhood meeting, the applicant held a neighborhood meeting with the board of the Inez neighborhood association on October 30th, 2020 over Go-To-Meeting to discuss the project and respond to potential concerns. Detailed meeting notes documenting the conversations that occurred are outlined below. At the conclusion of the meeting the Inez Neighborhood Association stated no opposition to the proposed variances as proposed.

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\*
- b. Access and circulation for vehicles and pedestrians.\*
- c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

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- d. **For residential development\***: Maximum number of proposed dwelling units.
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  - Total gross floor area of proposed project.
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**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

- 1. Area of Property [typically in acres] 3.88 acres
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  - 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - 4. Center or Corridor Area [if applicable] Uptown Urban Center
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

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December 17, 2020

ISR LLC  
6871 Mossman Pl Ne  
Albuquerque NM 87110

**RE: Request for Major Amendment to a Previously Approved Site Plan –DRB  
Amendment to the Winrock Town Center Site Development Plan  
Apartments at Indian School & Pennsylvania  
7500 Indian School Rd NE**

Dear ISR LLC,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Site Development Plan for the Winrock Town Center with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque’s Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is for an upscale four-story multi-family development—Apartments at Indian School & Pennsylvania—at approximately 227,000 square feet, proposed to accommodate 199 studio, one-bedroom and two-bedroom apartments, as well as a courtyard, outdoor recreation area, community pool, clubhouse, and a rooftop area for residents. Residential units will be spread over three four-story buildings, two of which are traditional multi-family apartments and one that is classified as a townhouse development that engages Indian School Rd and Pennsylvania St. This use is compatible with existing development on the block and is appropriate for a site within a designated Urban Activity Center.

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- ***A deviation to the Section 5-11(E)(1) Ground Floor Clear Height.*** This section requires the ground floor clear height, defined as “the vertical distance of the interior of a ground floor, measured from the slab or top of the sub-floor to the ceiling or the bottom on the exposed support structure for the second floor” of multi-family development within mixed-use zoning districts to be constructed with a minimum height of 10 feet. The applicant is requesting a deviation of 1 foot to allow a 9-foot ground floor ceiling height that is more on par with typical multi-family construction design.

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<b>Street Façade</b>	<b>Required Width</b>	<b>Proposed Width</b>	<b>Requested Waiver</b>
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Compliance with these wide walkway widths is cumbersome on a constrained infill site that is surrounded by streets on all sides. **The applicant therefore requests a waiver of 7 feet to the required 15-foot walkway along Indian School Rd, the front property line, to allow an 8-foot wide walkway along the primary street frontage. This is a change from the 10-foot width originally discussed and is requested as it allows for more landscape buffer along Indian School along with a closer relationship to existing sidewalks to the east and west on Indian School.**

The remaining pathways along Pennsylvania St and both segments of Winrock Loop are proposed to be 6 feet in width. The proposed walkway widths either exceed or match the existing facilities. The proposed 8' sidewalk along Indian School Rd exceeds the existing sidewalk width of 6'. The proposed 6' sidewalks along Pennsylvania St and Winrock Loop match the existing 6' sidewalks along those roadways. Given this is a constrained infill site that must also accommodate other requirements such as landscaping and parking, the proposed 6-foot sidewalk will allow us to provide additional amenities including adjacent landscaping and site furnishings that will increase the overall pedestrian experience and buffer the adjacent residential units. If the sidewalk width were to be increased, such amenities could not be included and the sidewalk would be immediately adjacent to ground floor residential units or directly adjacent to car traffic, which creates security and privacy concerns for residents and an imposing experience for pedestrians. The 6-foot width was also used to provide a consistent walking path from the south to the north along Pennsylvania St. The adjacent site to the south has a 6'-0" wide sidewalk.

As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **January 6th, 2021 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>.

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Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

***Attachments: Preliminary Site Plan  
Preliminary Elevations  
Preliminary Sidewalk Exhibits***

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 12/17/2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: ISR LLC

Mailing Address\*: 6871 Mossman Pl NE, Albuquerque NM 87110

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 7500 Indian School Rd.  
Location Description \_\_\_\_\_
2. Property Owner\* Winrock Partners LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
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  - Variance
  - Waiver
  - Other: Deviation to Section 5-11(E)(1) Minimum Ground Floor Height

Summary of project/request<sup>1</sup>\*:

The request is for an Amendment to an Approved Site Plan to accommodate an upscale four-story multi-family development—at approximately 227,000 square feet.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
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[Note: Items with an asterisk (\*) are required.]

Date/Time\*: January 6, 2021 at 9 AM

Location\*<sup>2</sup>: ZOOM, see DRB webpage for the latest Hearing information :https://  
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Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

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- 6. Where more information about the project can be found\*<sup>3</sup>:  
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- 1. Zone Atlas Page(s)\*<sup>4</sup> J19
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)       Variance(s)       Waiver(s)

Explanation\*:

Deviation to Section 5-11(E)(1) Minimum Ground Floor Height and a Wavier to Section 5-3(D)  
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December 17, 2020

Regents Of UNM Real Estate Dept  
 Msc06-3595-1 University Of Nm  
 Albuquerque NM 87131-0001

**RE: Request for Major Amendment to a Previously Approved Site Plan –DRB  
 Amendment to the Winrock Town Center Site Development Plan  
 Apartments at Indian School & Pennsylvania  
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Dear Regents Of UNM Real Estate Dept,

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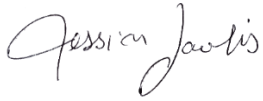
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As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **January 6th, 2021 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>.

Enclosed you will find a preliminary site plan and building façade designs exhibits. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at [Jessical@dpsdesign.org](mailto:Jessical@dpsdesign.org).

Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

***Attachments: Preliminary Site Plan  
Preliminary Elevations  
Preliminary Sidewalk Exhibits***



[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 12/17/2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: ISR LLC

Mailing Address\*: 6871 Mossman Pl NE, Albuquerque NM 87110

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 7500 Indian School Rd.  
Location Description \_\_\_\_\_
2. Property Owner\* Winrock Partners LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Deviation to Section 5-11(E)(1) Minimum Ground Floor Height

Summary of project/request<sup>1</sup>\*:

The request is for an Amendment to an Approved Site Plan to accommodate an upscale four-story multi-family development—at approximately 227,000 square feet.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: January 6, 2021 at 9 AM

Location\*<sup>2</sup>: ZOOM, see DRB webpage for the latest Hearing information :https://  
www.cabq.gov/planning/boards-commissions/development-review-board

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>3</sup>:

Enclosed within this mailing or by contacting JessicaL@dpsdesign.org

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>4</sup> J19

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)       Variance(s)       Waiver(s)

Explanation\*:

Deviation to Section 5-11(E)(1) Minimum Ground Floor Height and a Wavier to Section 5-3(D)

(3)(b)(4) Pedestrian Connections.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):     Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, Goodman Reality Group, provided all adjacent Neighborhood and an opportunity to meet and discuss the proposed site development plan amendment and variances for a proposed multifamily development located at 7500 Indian School. At the request of the neighborhood meeting, the applicant held a neighborhood meeting with the board of the Inez neighborhood association on October 30th, 2020 over Go-To-Meeting to discuss the project and respond to potential concerns. Detailed meeting notes documenting the conversations that occurred are outlined below. At the conclusion of the meeting the Inez Neighborhood Association stated no opposition to the proposed variances as proposed.

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

a. Location of proposed buildings and landscape areas.\*

b. Access and circulation for vehicles and pedestrians.\*

c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

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[Note: Items with an asterisk (\*) are required.]

- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

- 1. Area of Property [typically in acres] 3.88 acres
  - 2. IDO Zone District MX- M
  - 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - 4. Center or Corridor Area [if applicable] Uptown Urban Center
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

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<sup>5</sup> Available here: <https://tinurl.com/idozoningmap>

December 17, 2020

**Rio Office Building LLC  
 7615 Indian School Rd Ne  
 Albuquerque NM 87110-5407**

**RE: Request for Major Amendment to a Previously Approved Site Plan –DRB  
 Amendment to the Winrock Town Center Site Development Plan  
 Apartments at Indian School & Pennsylvania  
 7500 Indian School Rd NE**

Dear Rio Office Building LLC,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Site Development Plan for the Winrock Town Center with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque’s Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is for an upscale four-story multi-family development—Apartments at Indian School & Pennsylvania—at approximately 227,000 square feet, proposed to accommodate 199 studio, one-bedroom and two-bedroom apartments, as well as a courtyard, outdoor recreation area, community pool, clubhouse, and a rooftop area for residents. Residential units will be spread over three four-story buildings, two of which are traditional multi-family apartments and one that is classified as a townhouse development that engages Indian School Rd and Pennsylvania St. This use is compatible with existing development on the block and is appropriate for a site within a designated Urban Activity Center.

**As of November 2, 2020, a revised Integrated Development Ordinance (IDO) has gone into effect. These updated regulations have resulted in changes to our original request. This project will no longer be required to obtain a variance to the Section 5-11(E)(2)(b) Minimum Ground Floor Glazing as the minimum ground floor glazing standards have been reduced to 30%. Additional changes to procedures have also eliminated the need for us to obtain variances through the DRB. Instead the deviations to the required Ground Floor Clear Height and the required On-site Pedestrian Connections will now be heard at the DRB hearing.** As part of the site plan approval, the applicant is therefore requesting the following:

- ***A deviation to the Section 5-11(E)(1) Ground Floor Clear Height.*** This section requires the ground floor clear height, defined as “the vertical distance of the interior of a ground floor, measured from the slab or top of the sub-floor to the ceiling or the bottom on the exposed support structure for the second floor” of multi-family development within mixed-use zoning districts to be constructed with a minimum height of 10 feet. The applicant is requesting a deviation of 1 foot to allow a 9-foot ground floor ceiling height that is more on par with typical multi-family construction design.

- **A Waiver to the requirements of Section 5-3(D)(3)(b)(4) On-site Pedestrian Connections.** This section requires on-site walkway widths to correlate with the square footage of street-facing buildings that contain pedestrian entrances. Since the subject site is surrounded by streets on all sides, this requires all street-facing pedestrian walkways to be between 12 and 15 feet in width. The table below outlines the required walkway widths, the proposed width, and the resulting waiver request:

<b>Proposed Variances to Pedestrian Walkway Widths</b>			
<b>Street Façade</b>	<b>Required Width</b>	<b>Proposed Width</b>	<b>Requested Waiver</b>
Indian School Rd	15'	8'	7'
Winrock Loop - West	15'	6'	9'
Pennsylvania St	12'	6'	6'
Winrock Loop – South	15'	6'	9'

Compliance with these wide walkway widths is cumbersome on a constrained infill site that is surrounded by streets on all sides. **The applicant therefore requests a waiver of 7 feet to the required 15-foot walkway along Indian School Rd, the front property line, to allow an 8-foot wide walkway along the primary street frontage. This is a change from the 10-foot width originally discussed and is requested as it allows for more landscape buffer along Indian School along with a closer relationship to existing sidewalks to the east and west on Indian School.**

The remaining pathways along Pennsylvania St and both segments of Winrock Loop are proposed to be 6 feet in width. The proposed walkway widths either exceed or match the existing facilities. The proposed 8' sidewalk along Indian School Rd exceeds the existing sidewalk width of 6'. The proposed 6' sidewalks along Pennsylvania St and Winrock Loop match the existing 6' sidewalks along those roadways. Given this is a constrained infill site that must also accommodate other requirements such as landscaping and parking, the proposed 6-foot sidewalk will allow us to provide additional amenities including adjacent landscaping and site furnishings that will increase the overall pedestrian experience and buffer the adjacent residential units. If the sidewalk width were to be increased, such amenities could not be included and the sidewalk would be immediately adjacent to ground floor residential units or directly adjacent to car traffic, which creates security and privacy concerns for residents and an imposing experience for pedestrians. The 6-foot width was also used to provide a consistent walking path from the south to the north along Pennsylvania St. The adjacent site to the south has a 6'-0" wide sidewalk.

As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **January 6th, 2021 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>.



Enclosed you will find a preliminary site plan and building façade designs exhibits. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at [Jessical@dpsdesign.org](mailto:Jessical@dpsdesign.org).

Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

***Attachments: Preliminary Site Plan  
Preliminary Elevations  
Preliminary Sidewalk Exhibits***

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 12/17/2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: Rio Office Building LLC

Mailing Address\*: 7615 Indian School Rd NE, Albuquerque NM 87110-5407

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 7500 Indian School Rd.  
Location Description \_\_\_\_\_
2. Property Owner\* Winrock Partners LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Deviation to Section 5-11(E)(1) Minimum Ground Floor Height

Summary of project/request<sup>1</sup>\*:

The request is for an Amendment to an Approved Site Plan to accommodate an upscale four-story multi-family development—at approximately 227,000 square feet.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: January 6, 2021 at 9 AM

Location\*<sup>2</sup>: ZOOM, see DRB webpage for the latest Hearing information :https://  
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Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>3</sup>:

Enclosed within this mailing or by contacting JessicaL@dpsdesign.org

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>4</sup> J19
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)       Variance(s)       Waiver(s)

Explanation\*:

Deviation to Section 5-11(E)(1) Minimum Ground Floor Height and a Wavier to Section 5-3(D)

(3)(b)(4) Pedestrian Connections.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes  No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, Goodman Reality Group, provided all adjacent Neighborhood and an opportunity to meet and discuss the proposed site development plan amendment and variances for a proposed multifamily development located at 7500 Indian School. At the request of the neighborhood meeting, the applicant held a neighborhood meeting with the board of the Inez neighborhood association on October 30th, 2020 over Go-To-Meeting to discuss the project and respond to potential concerns. Detailed meeting notes documenting the conversations that occurred are outlined below. At the conclusion of the meeting the Inez Neighborhood Association stated no opposition to the proposed variances as proposed.

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\*
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- c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

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- d. **For residential development\***: Maximum number of proposed dwelling units.
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  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

- 1. Area of Property [typically in acres] 3.88 acres
  - 2. IDO Zone District MX- M
  - 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
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- Current Land Use(s) [vacant, if none] \_\_\_\_\_
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<sup>5</sup> Available here: <https://tinurl.com/idozoningmap>

December 17, 2020

**Winrock Partners LLC  
100 Sun Ave Ne Suite 100  
Albuquerque NM 87109-4659**

**RE: Request for Major Amendment to a Previously Approved Site Plan –DRB  
Amendment to the Winrock Town Center Site Development Plan  
Apartments at Indian School & Pennsylvania  
7500 Indian School Rd NE**

Dear Winrock Partners LLC,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Site Development Plan for the Winrock Town Center with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque’s Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is for an upscale four-story multi-family development—Apartments at Indian School & Pennsylvania—at approximately 227,000 square feet, proposed to accommodate 199 studio, one-bedroom and two-bedroom apartments, as well as a courtyard, outdoor recreation area, community pool, clubhouse, and a rooftop area for residents. Residential units will be spread over three four-story buildings, two of which are traditional multi-family apartments and one that is classified as a townhouse development that engages Indian School Rd and Pennsylvania St. This use is compatible with existing development on the block and is appropriate for a site within a designated Urban Activity Center.

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- ***A deviation to the Section 5-11(E)(1) Ground Floor Clear Height.*** This section requires the ground floor clear height, defined as “the vertical distance of the interior of a ground floor, measured from the slab or top of the sub-floor to the ceiling or the bottom on the exposed support structure for the second floor” of multi-family development within mixed-use zoning districts to be constructed with a minimum height of 10 feet. The applicant is requesting a deviation of 1 foot to allow a 9-foot ground floor ceiling height that is more on par with typical multi-family construction design.



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As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **January 6th, 2021 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>.

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Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
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***Attachments: Preliminary Site Plan  
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Mailed to a Property Owner**

Date of Notice\*: 12/17/2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: Winrock Partners LLC

Mailing Address\*: 100 Sun Ave Ne Suite 100, Albuquerque NM 87109-4659

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 7500 Indian School Rd.  
Location Description \_\_\_\_\_
2. Property Owner\* Winrock Partners LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
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Summary of project/request<sup>1</sup>\*:

The request is for an Amendment to an Approved Site Plan to accommodate an upscale four-story multi-family development—at approximately 227,000 square feet.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
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Date/Time\*: January 6, 2021 at 9 AM

Location\*<sup>2</sup>: ZOOM, see DRB webpage for the latest Hearing information :https://www.cabq.gov/planning/boards-commissions/development-review-board

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2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project\*:

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Explanation\*:

Deviation to Section 5-11(E)(1) Minimum Ground Floor Height and a Wavier to Section 5-3(D)  
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4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):     Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

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- a. Location of proposed buildings and landscape areas.\*
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<sup>2</sup> Physical address or Zoom link

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[Note: Items with an asterisk (\*) are required.]

- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 3.88 acres
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  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] Uptown Urban Center
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

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**IDO Interactive Map**

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<sup>5</sup> Available here: <https://tinurl.com/idozoningmap>



December 17, 2020

**Winrock Partners LLC  
100 Sun Ave Ne Suite 100  
Albuquerque NM 87109-4659**

**RE: Request for Major Amendment to a Previously Approved Site Plan –DRB  
Amendment to the Winrock Town Center Site Development Plan  
Apartments at Indian School & Pennsylvania  
7500 Indian School Rd NE**

Dear Winrock Partners LLC,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Site Development Plan for the Winrock Town Center with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque’s Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is for an upscale four-story multi-family development—Apartments at Indian School & Pennsylvania—at approximately 227,000 square feet, proposed to accommodate 199 studio, one-bedroom and two-bedroom apartments, as well as a courtyard, outdoor recreation area, community pool, clubhouse, and a rooftop area for residents. Residential units will be spread over three four-story buildings, two of which are traditional multi-family apartments and one that is classified as a townhouse development that engages Indian School Rd and Pennsylvania St. This use is compatible with existing development on the block and is appropriate for a site within a designated Urban Activity Center.

**As of November 2, 2020, a revised Integrated Development Ordinance (IDO) has gone into effect. These updated regulations have resulted in changes to our original request. This project will no longer be required to obtain a variance to the Section 5-11(E)(2)(b) Minimum Ground Floor Glazing as the minimum ground floor glazing standards have been reduced to 30%. Additional changes to procedures have also eliminated the need for us to obtain variances through the DRB. Instead the deviations to the required Ground Floor Clear Height and the required On-site Pedestrian Connections will now be heard at the DRB hearing.** As part of the site plan approval, the applicant is therefore requesting the following:

- ***A deviation to the Section 5-11(E)(1) Ground Floor Clear Height.*** This section requires the ground floor clear height, defined as “the vertical distance of the interior of a ground floor, measured from the slab or top of the sub-floor to the ceiling or the bottom on the exposed support structure for the second floor” of multi-family development within mixed-use zoning districts to be constructed with a minimum height of 10 feet. The applicant is requesting a deviation of 1 foot to allow a 9-foot ground floor ceiling height that is more on par with typical multi-family construction design.

- **A Waiver to the requirements of Section 5-3(D)(3)(b)(4) On-site Pedestrian Connections.** This section requires on-site walkway widths to correlate with the square footage of street-facing buildings that contain pedestrian entrances. Since the subject site is surrounded by streets on all sides, this requires all street-facing pedestrian walkways to be between 12 and 15 feet in width. The table below outlines the required walkway widths, the proposed width, and the resulting waiver request:

<b>Proposed Variances to Pedestrian Walkway Widths</b>			
<b>Street Façade</b>	<b>Required Width</b>	<b>Proposed Width</b>	<b>Requested Waiver</b>
Indian School Rd	15'	8'	7'
Winrock Loop - West	15'	6'	9'
Pennsylvania St	12'	6'	6'
Winrock Loop – South	15'	6'	9'

Compliance with these wide walkway widths is cumbersome on a constrained infill site that is surrounded by streets on all sides. **The applicant therefore requests a waiver of 7 feet to the required 15-foot walkway along Indian School Rd, the front property line, to allow an 8-foot wide walkway along the primary street frontage. This is a change from the 10-foot width originally discussed and is requested as it allows for more landscape buffer along Indian School along with a closer relationship to existing sidewalks to the east and west on Indian School.**

The remaining pathways along Pennsylvania St and both segments of Winrock Loop are proposed to be 6 feet in width. The proposed walkway widths either exceed or match the existing facilities. The proposed 8' sidewalk along Indian School Rd exceeds the existing sidewalk width of 6'. The proposed 6' sidewalks along Pennsylvania St and Winrock Loop match the existing 6' sidewalks along those roadways. Given this is a constrained infill site that must also accommodate other requirements such as landscaping and parking, the proposed 6-foot sidewalk will allow us to provide additional amenities including adjacent landscaping and site furnishings that will increase the overall pedestrian experience and buffer the adjacent residential units. If the sidewalk width were to be increased, such amenities could not be included and the sidewalk would be immediately adjacent to ground floor residential units or directly adjacent to car traffic, which creates security and privacy concerns for residents and an imposing experience for pedestrians. The 6-foot width was also used to provide a consistent walking path from the south to the north along Pennsylvania St. The adjacent site to the south has a 6'-0" wide sidewalk.

As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **January 6th, 2021 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>.

Enclosed you will find a preliminary site plan and building façade designs exhibits. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at [Jessical@dpsdesign.org](mailto:Jessical@dpsdesign.org).

Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

***Attachments: Preliminary Site Plan  
Preliminary Elevations  
Preliminary Sidewalk Exhibits***

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 12/17/2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: Winrock Partners LLC

Mailing Address\*: 100 Sun Ave Ne Suite 100, Albuquerque NM 87109-4659

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 7500 Indian School Rd.  
Location Description \_\_\_\_\_
2. Property Owner\* Winrock Partners LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Deviation to Section 5-11(E)(1) Minimum Ground Floor Height

Summary of project/request<sup>1</sup>\*:

The request is for an Amendment to an Approved Site Plan to accommodate an upscale four-story multi-family development—at approximately 227,000 square feet.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: January 6, 2021 at 9 AM

Location\*<sup>2</sup>: ZOOM, see DRB webpage for the latest Hearing information :https://www.cabq.gov/planning/boards-commissions/development-review-board

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>3</sup>:

Enclosed within this mailing or by contacting JessicaL@dpsdesign.org

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>4</sup> J19

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)       Variance(s)       Waiver(s)

Explanation\*:

Deviation to Section 5-11(E)(1) Minimum Ground Floor Height and a Wavier to Section 5-3(D)

(3)(b)(4) Pedestrian Connections.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):     Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

In accordance with the procedures of the City of Albuquerque’s Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, Goodman Reality Group, provided all adjacent Neighborhood and an opportunity to meet and discuss the proposed site development plan amendment and variances for a proposed multifamily development located at 7500 Indian School. At the request of the neighborhood meeting, the applicant held a neighborhood meeting with the board of the Inez neighborhood association on October 30th, 2020 over Go-To-Meeting to discuss the project and respond to potential concerns. Detailed meeting notes documenting the conversations that occurred are outlined below. At the conclusion of the meeting the Inez Neighborhood Association stated no opposition to the proposed variances as proposed.

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

a. Location of proposed buildings and landscape areas.\*

b. Access and circulation for vehicles and pedestrians.\*

c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

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- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 3.88 acres
  2. IDO Zone District MX- M
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] Uptown Urban Center
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
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**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

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December 17, 2020

**ALB Winrock LLC  
3234 Riverview Ln  
Daytona Beach FL 32118-6218**

**RE: Request for Major Amendment to a Previously Approved Site Plan –DRB  
Amendment to the Winrock Town Center Site Development Plan  
Apartments at Indian School & Pennsylvania  
7500 Indian School Rd NE**

Dear ALB Winrock LLC,

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The request is for an upscale four-story multi-family development—Apartments at Indian School & Pennsylvania—at approximately 227,000 square feet, proposed to accommodate 199 studio, one-bedroom and two-bedroom apartments, as well as a courtyard, outdoor recreation area, community pool, clubhouse, and a rooftop area for residents. Residential units will be spread over three four-story buildings, two of which are traditional multi-family apartments and one that is classified as a townhouse development that engages Indian School Rd and Pennsylvania St. This use is compatible with existing development on the block and is appropriate for a site within a designated Urban Activity Center.

**As of November 2, 2020, a revised Integrated Development Ordinance (IDO) has gone into effect. These updated regulations have resulted in changes to our original request. This project will no longer be required to obtain a variance to the Section 5-11(E)(2)(b) Minimum Ground Floor Glazing as the minimum ground floor glazing standards have been reduced to 30%. Additional changes to procedures have also eliminated the need for us to obtain variances through the DRB. Instead the deviations to the required Ground Floor Clear Height and the required On-site Pedestrian Connections will now be heard at the DRB hearing.** As part of the site plan approval, the applicant is therefore requesting the following:

- ***A deviation to the Section 5-11(E)(1) Ground Floor Clear Height.*** This section requires the ground floor clear height, defined as “the vertical distance of the interior of a ground floor, measured from the slab or top of the sub-floor to the ceiling or the bottom on the exposed support structure for the second floor” of multi-family development within mixed-use zoning districts to be constructed with a minimum height of 10 feet. The applicant is requesting a deviation of 1 foot to allow a 9-foot ground floor ceiling height that is more on par with typical multi-family construction design.

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Mailing Address\*: 3234 Riverview Ln, Daytona Beach FL 32118-6218

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 7500 Indian School Rd.  
Location Description \_\_\_\_\_
2. Property Owner\* Winrock Partners LLC
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4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
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Summary of project/request<sup>1</sup>\*:

The request is for an Amendment to an Approved Site Plan to accommodate an upscale four-story multi-family development—at approximately 227,000 square feet.

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Date/Time\*: January 6, 2021 at 9 AM

Location\*<sup>2</sup>: ZOOM, see DRB webpage for the latest Hearing information :https://  
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6. Where more information about the project can be found\*<sup>3</sup>:

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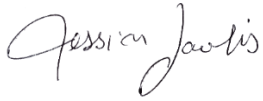
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Mailing Address\*: 100 Sun Ave Ne Suite 100, Albuquerque NM 87109-4659

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 7500 Indian School Rd.  
Location Description \_\_\_\_\_
2. Property Owner\* Winrock Partners LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Deviation to Section 5-11(E)(1) Minimum Ground Floor Height

Summary of project/request<sup>1</sup>\*:

The request is for an Amendment to an Approved Site Plan to accommodate an upscale four-story multi-family development—at approximately 227,000 square feet.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: January 6, 2021 at 9 AM

Location\*<sup>2</sup>: ZOOM, see DRB webpage for the latest Hearing information :https://www.cabq.gov/planning/boards-commissions/development-review-board

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found\*<sup>3</sup>:  
Enclosed within this mailing or by contacting JessicaL@dpsdesign.org

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> J19
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)       Variance(s)       Waiver(s)

Explanation\*:

Deviation to Section 5-11(E)(1) Minimum Ground Floor Height and a Wavier to Section 5-3(D)  
(3)(b)(4) Pedestrian Connections.

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):     Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

In accordance with the procedures of the City of Albuquerque’s Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, Goodman Reality Group, provided all adjacent Neighborhood and an opportunity to meet and discuss the proposed site development plan amendment and variances for a proposed multifamily development located at 7500 Indian School. At the request of the neighborhood meeting, the applicant held a neighborhood meeting with the board of the Inez neighborhood association on October 30th, 2020 over Go-To-Meeting to discuss the project and respond to potential concerns. Detailed meeting notes documenting the conversations that occurred are outlined below. At the conclusion of the meeting the Inez Neighborhood Association stated no opposition to the proposed variances as proposed.

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\*
- b. Access and circulation for vehicles and pedestrians.\*
- c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

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[Note: Items with an asterisk (\*) are required.]

- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

- 1. Area of Property [typically in acres] 3.88 acres
  - 2. IDO Zone District MX- M
  - 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - 4. Center or Corridor Area [if applicable] Uptown Urban Center
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

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<sup>5</sup> Available here: <https://tinurl.com/idozoningmap>

December 17, 2020

**Winrock Villas Condos Assoc  
1601 Pennsylvania St Ne  
Albuquerque NM 87110-5546**

**RE: Request for Major Amendment to a Previously Approved Site Plan –DRB  
Amendment to the Winrock Town Center Site Development Plan  
Apartments at Indian School & Pennsylvania  
7500 Indian School Rd NE**

Dear Winrock Villas Condos Assoc,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Site Development Plan for the Winrock Town Center with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque’s Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is for an upscale four-story multi-family development—Apartments at Indian School & Pennsylvania—at approximately 227,000 square feet, proposed to accommodate 199 studio, one-bedroom and two-bedroom apartments, as well as a courtyard, outdoor recreation area, community pool, clubhouse, and a rooftop area for residents. Residential units will be spread over three four-story buildings, two of which are traditional multi-family apartments and one that is classified as a townhouse development that engages Indian School Rd and Pennsylvania St. This use is compatible with existing development on the block and is appropriate for a site within a designated Urban Activity Center.

**As of November 2, 2020, a revised Integrated Development Ordinance (IDO) has gone into effect. These updated regulations have resulted in changes to our original request. This project will no longer be required to obtain a variance to the Section 5-11(E)(2)(b) Minimum Ground Floor Glazing as the minimum ground floor glazing standards have been reduced to 30%. Additional changes to procedures have also eliminated the need for us to obtain variances through the DRB. Instead the deviations to the required Ground Floor Clear Height and the required On-site Pedestrian Connections will now be heard at the DRB hearing.** As part of the site plan approval, the applicant is therefore requesting the following:

- ***A deviation to the Section 5-11(E)(1) Ground Floor Clear Height.*** This section requires the ground floor clear height, defined as “the vertical distance of the interior of a ground floor, measured from the slab or top of the sub-floor to the ceiling or the bottom on the exposed support structure for the second floor” of multi-family development within mixed-use zoning districts to be constructed with a minimum height of 10 feet. The applicant is requesting a deviation of 1 foot to allow a 9-foot ground floor ceiling height that is more on par with typical multi-family construction design.

- A Waiver to the requirements of Section 5-3(D)(3)(b)(4) On-site Pedestrian Connections.** This section requires on-site walkway widths to correlate with the square footage of street-facing buildings that contain pedestrian entrances. Since the subject site is surrounded by streets on all sides, this requires all street-facing pedestrian walkways to be between 12 and 15 feet in width. The table below outlines the required walkway widths, the proposed width, and the resulting waiver request:

<b>Proposed Variances to Pedestrian Walkway Widths</b>			
<b>Street Façade</b>	<b>Required Width</b>	<b>Proposed Width</b>	<b>Requested Waiver</b>
Indian School Rd	15'	8'	7'
Winrock Loop - West	15'	6'	9'
Pennsylvania St	12'	6'	6'
Winrock Loop – South	15'	6'	9'

Compliance with these wide walkway widths is cumbersome on a constrained infill site that is surrounded by streets on all sides. **The applicant therefore requests a waiver of 7 feet to the required 15-foot walkway along Indian School Rd, the front property line, to allow an 8-foot wide walkway along the primary street frontage. This is a change from the 10-foot width originally discussed and is requested as it allows for more landscape buffer along Indian School along with a closer relationship to existing sidewalks to the east and west on Indian School.**

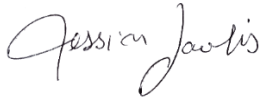
The remaining pathways along Pennsylvania St and both segments of Winrock Loop are proposed to be 6 feet in width. The proposed walkway widths either exceed or match the existing facilities. The proposed 8' sidewalk along Indian School Rd exceeds the existing sidewalk width of 6'. The proposed 6' sidewalks along Pennsylvania St and Winrock Loop match the existing 6' sidewalks along those roadways. Given this is a constrained infill site that must also accommodate other requirements such as landscaping and parking, the proposed 6-foot sidewalk will allow us to provide additional amenities including adjacent landscaping and site furnishings that will increase the overall pedestrian experience and buffer the adjacent residential units. If the sidewalk width were to be increased, such amenities could not be included and the sidewalk would be immediately adjacent to ground floor residential units or directly adjacent to car traffic, which creates security and privacy concerns for residents and an imposing experience for pedestrians. The 6-foot width was also used to provide a consistent walking path from the south to the north along Pennsylvania St. The adjacent site to the south has a 6'-0" wide sidewalk.

As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **January 6th, 2021 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>.



Enclosed you will find a preliminary site plan and building façade designs exhibits. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at [Jessical@dpsdesign.org](mailto:Jessical@dpsdesign.org).

Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

***Attachments: Preliminary Site Plan  
Preliminary Elevations  
Preliminary Sidewalk Exhibits***

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 12/17/2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: Winrock Villas Condos Assoc

Mailing Address\*: 1601 Pennsylvania St NE, Albuquerque NM 87110-5546

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 7500 Indian School Rd.  
Location Description \_\_\_\_\_
2. Property Owner\* Winrock Partners LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Deviation to Section 5-11(E)(1) Minimum Ground Floor Height

Summary of project/request<sup>1</sup>\*:

The request is for an Amendment to an Approved Site Plan to accommodate an upscale four-story multi-family development—at approximately 227,000 square feet.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: January 6, 2021 at 9 AM

Location\*<sup>2</sup>: ZOOM, see DRB webpage for the latest Hearing information :https://www.cabq.gov/planning/boards-commissions/development-review-board

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found\*<sup>3</sup>:  
Enclosed within this mailing or by contacting JessicaL@dpsdesign.org

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> J19
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)       Variance(s)       Waiver(s)

Explanation\*:

Deviation to Section 5-11(E)(1) Minimum Ground Floor Height and a Wavier to Section 5-3(D)  
(3)(b)(4) Pedestrian Connections.

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):     Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

In accordance with the procedures of the City of Albuquerque’s Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, Goodman Reality Group, provided all adjacent Neighborhood and an opportunity to meet and discuss the proposed site development plan amendment and variances for a proposed multifamily development located at 7500 Indian School. At the request of the neighborhood meeting, the applicant held a neighborhood meeting with the board of the Inez neighborhood association on October 30th, 2020 over Go-To-Meeting to discuss the project and respond to potential concerns. Detailed meeting notes documenting the conversations that occurred are outlined below. At the conclusion of the meeting the Inez Neighborhood Association stated no opposition to the proposed variances as proposed.

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\*
- b. Access and circulation for vehicles and pedestrians.\*
- c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

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- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***:
  - Total gross floor area of proposed project.
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**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 3.88 acres
  2. IDO Zone District MX- M
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] Uptown Urban Center
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

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December 17, 2020

**Winrock South Na John Kinney  
 7110 Constitution Avenue Ne  
 Albuquerque NM 87110**

**RE: Request for Major Amendment to a Previously Approved Site Plan –DRB  
 Amendment to the Winrock Town Center Site Development Plan  
 Apartments at Indian School & Pennsylvania  
 7500 Indian School Rd NE**

Dear Winrock South Na John Kinney,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Site Development Plan for the Winrock Town Center with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque’s Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is for an upscale four-story multi-family development—Apartments at Indian School & Pennsylvania—at approximately 227,000 square feet, proposed to accommodate 199 studio, one-bedroom and two-bedroom apartments, as well as a courtyard, outdoor recreation area, community pool, clubhouse, and a rooftop area for residents. Residential units will be spread over three four-story buildings, two of which are traditional multi-family apartments and one that is classified as a townhouse development that engages Indian School Rd and Pennsylvania St. This use is compatible with existing development on the block and is appropriate for a site within a designated Urban Activity Center.

**As of November 2, 2020, a revised Integrated Development Ordinance (IDO) has gone into effect. These updated regulations have resulted in changes to our original request. This project will no longer be required to obtain a variance to the Section 5-11(E)(2)(b) Minimum Ground Floor Glazing as the minimum ground floor glazing standards have been reduced to 30%. Additional changes to procedures have also eliminated the need for us to obtain variances through the DRB. Instead the deviations to the required Ground Floor Clear Height and the required On-site Pedestrian Connections will now be heard at the DRB hearing.** As part of the site plan approval, the applicant is therefore requesting the following:

- ***A deviation to the Section 5-11(E)(1) Ground Floor Clear Height.*** This section requires the ground floor clear height, defined as “the vertical distance of the interior of a ground floor, measured from the slab or top of the sub-floor to the ceiling or the bottom on the exposed support structure for the second floor” of multi-family development within mixed-use zoning districts to be constructed with a minimum height of 10 feet. The applicant is requesting a deviation of 1 foot to allow a 9-foot ground floor ceiling height that is more on par with typical multi-family construction design.



- **A Waiver to the requirements of Section 5-3(D)(3)(b)(4) On-site Pedestrian Connections.** This section requires on-site walkway widths to correlate with the square footage of street-facing buildings that contain pedestrian entrances. Since the subject site is surrounded by streets on all sides, this requires all street-facing pedestrian walkways to be between 12 and 15 feet in width. The table below outlines the required walkway widths, the proposed width, and the resulting waiver request:

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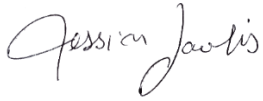
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As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **January 6th, 2021 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>.

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Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

***Attachments: Preliminary Site Plan  
Preliminary Elevations  
Preliminary Sidewalk Exhibits***

[Note: Items with an asterisk (\*) are required.]

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for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 12/17/2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: Winrock South Na John Kinney

Mailing Address\*: 7110 Constitution Avenue NE, Albuquerque NM 87110

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 7500 Indian School Rd.  
Location Description \_\_\_\_\_
2. Property Owner\* Winrock Partners LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
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  - Variance
  - Waiver
  - Other: Deviation to Section 5-11(E)(1) Minimum Ground Floor Height

Summary of project/request<sup>1</sup>\*:

The request is for an Amendment to an Approved Site Plan to accommodate an upscale four-story multi-family development—at approximately 227,000 square feet.

5. This application will be decided at a public meeting or hearing by\*:
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[Note: Items with an asterisk (\*) are required.]

Date/Time\*: January 6, 2021 at 9 AM

Location\*<sup>2</sup>: ZOOM, see DRB webpage for the latest Hearing information :https://  
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Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

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6. Where more information about the project can be found\*<sup>3</sup>:

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1. Zone Atlas Page(s)\*<sup>4</sup> J19

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)       Variance(s)       Waiver(s)

Explanation\*:

Deviation to Section 5-11(E)(1) Minimum Ground Floor Height and a Wavier to Section 5-3(D)

(3)(b)(4) Pedestrian Connections.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes  No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

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<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

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**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

- 1. Area of Property [typically in acres] 3.88 acres
  - 2. IDO Zone District MX- M
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  - 4. Center or Corridor Area [if applicable] Uptown Urban Center
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

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December 17, 2020

**Winrock South Na Virginia Kinney  
7111 Constitution Avenue Ne  
Albuquerque NM 87110**

**RE: Request for Major Amendment to a Previously Approved Site Plan –DRB  
Amendment to the Winrock Town Center Site Development Plan  
Apartments at Indian School & Pennsylvania  
7500 Indian School Rd NE**

Dear Winrock South Na Virginia Kinney,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Site Development Plan for the Winrock Town Center with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque’s Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is for an upscale four-story multi-family development—Apartments at Indian School & Pennsylvania—at approximately 227,000 square feet, proposed to accommodate 199 studio, one-bedroom and two-bedroom apartments, as well as a courtyard, outdoor recreation area, community pool, clubhouse, and a rooftop area for residents. Residential units will be spread over three four-story buildings, two of which are traditional multi-family apartments and one that is classified as a townhouse development that engages Indian School Rd and Pennsylvania St. This use is compatible with existing development on the block and is appropriate for a site within a designated Urban Activity Center.

**As of November 2, 2020, a revised Integrated Development Ordinance (IDO) has gone into effect. These updated regulations have resulted in changes to our original request. This project will no longer be required to obtain a variance to the Section 5-11(E)(2)(b) Minimum Ground Floor Glazing as the minimum ground floor glazing standards have been reduced to 30%. Additional changes to procedures have also eliminated the need for us to obtain variances through the DRB. Instead the deviations to the required Ground Floor Clear Height and the required On-site Pedestrian Connections will now be heard at the DRB hearing.** As part of the site plan approval, the applicant is therefore requesting the following:

- ***A deviation to the Section 5-11(E)(1) Ground Floor Clear Height.*** This section requires the ground floor clear height, defined as “the vertical distance of the interior of a ground floor, measured from the slab or top of the sub-floor to the ceiling or the bottom on the exposed support structure for the second floor” of multi-family development within mixed-use zoning districts to be constructed with a minimum height of 10 feet. The applicant is requesting a deviation of 1 foot to allow a 9-foot ground floor ceiling height that is more on par with typical multi-family construction design.

- **A Waiver to the requirements of Section 5-3(D)(3)(b)(4) On-site Pedestrian Connections.** This section requires on-site walkway widths to correlate with the square footage of street-facing buildings that contain pedestrian entrances. Since the subject site is surrounded by streets on all sides, this requires all street-facing pedestrian walkways to be between 12 and 15 feet in width. The table below outlines the required walkway widths, the proposed width, and the resulting waiver request:

<b>Proposed Variances to Pedestrian Walkway Widths</b>			
<b>Street Façade</b>	<b>Required Width</b>	<b>Proposed Width</b>	<b>Requested Waiver</b>
Indian School Rd	15'	8'	7'
Winrock Loop - West	15'	6'	9'
Pennsylvania St	12'	6'	6'
Winrock Loop – South	15'	6'	9'

Compliance with these wide walkway widths is cumbersome on a constrained infill site that is surrounded by streets on all sides. **The applicant therefore requests a waiver of 7 feet to the required 15-foot walkway along Indian School Rd, the front property line, to allow an 8-foot wide walkway along the primary street frontage. This is a change from the 10-foot width originally discussed and is requested as it allows for more landscape buffer along Indian School along with a closer relationship to existing sidewalks to the east and west on Indian School.**

The remaining pathways along Pennsylvania St and both segments of Winrock Loop are proposed to be 6 feet in width. The proposed walkway widths either exceed or match the existing facilities. The proposed 8' sidewalk along Indian School Rd exceeds the existing sidewalk width of 6'. The proposed 6' sidewalks along Pennsylvania St and Winrock Loop match the existing 6' sidewalks along those roadways. Given this is a constrained infill site that must also accommodate other requirements such as landscaping and parking, the proposed 6-foot sidewalk will allow us to provide additional amenities including adjacent landscaping and site furnishings that will increase the overall pedestrian experience and buffer the adjacent residential units. If the sidewalk width were to be increased, such amenities could not be included and the sidewalk would be immediately adjacent to ground floor residential units or directly adjacent to car traffic, which creates security and privacy concerns for residents and an imposing experience for pedestrians. The 6-foot width was also used to provide a consistent walking path from the south to the north along Pennsylvania St. The adjacent site to the south has a 6'-0" wide sidewalk.

As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **January 6th, 2021 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>.

Enclosed you will find a preliminary site plan and building façade designs exhibits. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at [Jessical@dpsdesign.org](mailto:Jessical@dpsdesign.org).

Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

***Attachments: Preliminary Site Plan  
Preliminary Elevations  
Preliminary Sidewalk Exhibits***

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 12/17/2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: Winrock South Na Virginia Kinney

Mailing Address\*: 7111 Constitution Avenue NE, Albuquerque NM 87110

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 7500 Indian School Rd.  
Location Description \_\_\_\_\_
2. Property Owner\* Winrock Partners LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: Deviation to Section 5-11(E)(1) Minimum Ground Floor Height

Summary of project/request<sup>1</sup>\*:

The request is for an Amendment to an Approved Site Plan to accommodate an upscale four-story multi-family development—at approximately 227,000 square feet.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: January 6, 2021 at 9 AM

Location\*<sup>2</sup>: ZOOM, see DRB webpage for the latest Hearing information :https://  
www.cabq.gov/planning/boards-commissions/development-review-board

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>3</sup>:

Enclosed within this mailing or by contacting JessicaL@dpsdesign.org

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>4</sup> J19

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)       Variance(s)       Waiver(s)

Explanation\*:

Deviation to Section 5-11(E)(1) Minimum Ground Floor Height and a Wavier to Section 5-3(D)

(3)(b)(4) Pedestrian Connections.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes  No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, Goodman Reality Group, provided all adjacent Neighborhood and an opportunity to meet and discuss the proposed site development plan amendment and variances for a proposed multifamily development located at 7500 Indian School. At the request of the neighborhood meeting, the applicant held a neighborhood meeting with the board of the Inez neighborhood association on October 30th, 2020 over Go-To-Meeting to discuss the project and respond to potential concerns. Detailed meeting notes documenting the conversations that occurred are outlined below. At the conclusion of the meeting the Inez Neighborhood Association stated no opposition to the proposed variances as proposed.

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

a. Location of proposed buildings and landscape areas.\*

b. Access and circulation for vehicles and pedestrians.\*

c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>



[Note: Items with an asterisk (\*) are required.]

- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

- 1. Area of Property [typically in acres] 3.88 acres
  - 2. IDO Zone District MX- M
  - 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - 4. Center or Corridor Area [if applicable] Uptown Urban Center
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

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<sup>5</sup> Available here: <https://tinurl.com/idozoningmap>

December 17, 2020

**Mark Twain Na Joel Woolridge  
1500 Indiana Ne  
Albuquerque NM 87110**

**RE: Request for Major Amendment to a Previously Approved Site Plan –DRB  
Amendment to the Winrock Town Center Site Development Plan  
Apartments at Indian School & Pennsylvania  
7500 Indian School Rd NE**

Dear Mark Twain Na Joel Woolridge,

As you have been made aware in our previous notifications, Dekker/Perich/Sabatini, agent for the Goodman Realty Group, owner of the property located at 7500 Indian School Rd NE, is working to gain approvals to construct a new multi-family development within the Winrock Town Center. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved Site Development Plan for the Winrock Town Center with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque’s Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is for an upscale four-story multi-family development—Apartments at Indian School & Pennsylvania—at approximately 227,000 square feet, proposed to accommodate 199 studio, one-bedroom and two-bedroom apartments, as well as a courtyard, outdoor recreation area, community pool, clubhouse, and a rooftop area for residents. Residential units will be spread over three four-story buildings, two of which are traditional multi-family apartments and one that is classified as a townhouse development that engages Indian School Rd and Pennsylvania St. This use is compatible with existing development on the block and is appropriate for a site within a designated Urban Activity Center.

**As of November 2, 2020, a revised Integrated Development Ordinance (IDO) has gone into effect. These updated regulations have resulted in changes to our original request. This project will no longer be required to obtain a variance to the Section 5-11(E)(2)(b) Minimum Ground Floor Glazing as the minimum ground floor glazing standards have been reduced to 30%. Additional changes to procedures have also eliminated the need for us to obtain variances through the DRB. Instead the deviations to the required Ground Floor Clear Height and the required On-site Pedestrian Connections will now be heard at the DRB hearing.** As part of the site plan approval, the applicant is therefore requesting the following:

- ***A deviation to the Section 5-11(E)(1) Ground Floor Clear Height.*** This section requires the ground floor clear height, defined as “the vertical distance of the interior of a ground floor, measured from the slab or top of the sub-floor to the ceiling or the bottom on the exposed support structure for the second floor” of multi-family development within mixed-use zoning districts to be constructed with a minimum height of 10 feet. The applicant is requesting a deviation of 1 foot to allow a 9-foot ground floor ceiling height that is more on par with typical multi-family construction design.

- **A Waiver to the requirements of Section 5-3(D)(3)(b)(4) On-site Pedestrian Connections.** This section requires on-site walkway widths to correlate with the square footage of street-facing buildings that contain pedestrian entrances. Since the subject site is surrounded by streets on all sides, this requires all street-facing pedestrian walkways to be between 12 and 15 feet in width. The table below outlines the required walkway widths, the proposed width, and the resulting waiver request:

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Compliance with these wide walkway widths is cumbersome on a constrained infill site that is surrounded by streets on all sides. **The applicant therefore requests a waiver of 7 feet to the required 15-foot walkway along Indian School Rd, the front property line, to allow an 8-foot wide walkway along the primary street frontage. This is a change from the 10-foot width originally discussed and is requested as it allows for more landscape buffer along Indian School along with a closer relationship to existing sidewalks to the east and west on Indian School.**

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As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of **January 6th, 2021 at 9am**, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information at the DRB website found at: <https://www.cabq.gov/planning/boards-commissions/development-review-board>.

Enclosed you will find a preliminary site plan and building façade designs exhibits. If you have any questions or need clarification of anything contained herein, please contact me at 761-9700 or email at [Jessical@dpsdesign.org](mailto:Jessical@dpsdesign.org).

Sincerely,



Jessica Lawlis, Dekker/Perich/Sabatini  
Agent for Goodman Realty Group

***Attachments: Preliminary Site Plan  
Preliminary Elevations  
Preliminary Sidewalk Exhibits***

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 12/17/2020

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: Mark Twain Na Joel Woolridge

Mailing Address\*: 1500 Indiana NE, Albuquerque NM 87110

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 7500 Indian School Rd.  
Location Description \_\_\_\_\_
2. Property Owner\* Winrock Partners LLC
3. Agent/Applicant\* [if applicable] Jessica Lawlis, Dekker Perich Sabatini
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
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  - Variance
  - Waiver
  - Other: Deviation to Section 5-11(E)(1) Minimum Ground Floor Height

Summary of project/request<sup>1\*</sup>:

The request is for an Amendment to an Approved Site Plan to accommodate an upscale four-story multi-family development—at approximately 227,000 square feet.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
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<sup>1</sup> Attach additional information, as needed to explain the project/request.



[Note: Items with an asterisk (\*) are required.]

Date/Time\*: January 6, 2021 at 9 AM

Location\*<sup>2</sup>: ZOOM, see DRB webpage for the latest Hearing information :https://www.cabq.gov/planning/boards-commissions/development-review-board

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found\*<sup>3</sup>:  
Enclosed within this mailing or by contacting JessicaL@dpsdesign.org

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> J19
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)       Variance(s)       Waiver(s)

Explanation\*:

Deviation to Section 5-11(E)(1) Minimum Ground Floor Height and a Wavier to Section 5-3(D)  
(3)(b)(4) Pedestrian Connections.

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):     Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

In accordance with the procedures of the City of Albuquerque’s Integrated Development Ordinance (IDO) Subsection 14-16-6-4(C) Neighborhood Meeting, Goodman Reality Group, provided all adjacent Neighborhood and an opportunity to meet and discuss the proposed site development plan amendment and variances for a proposed multifamily development located at 7500 Indian School. At the request of the neighborhood meeting, the applicant held a neighborhood meeting with the board of the Inez neighborhood association on October 30th, 2020 over Go-To-Meeting to discuss the project and respond to potential concerns. Detailed meeting notes documenting the conversations that occurred are outlined below. At the conclusion of the meeting the Inez Neighborhood Association stated no opposition to the proposed variances as proposed.

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\*
- b. Access and circulation for vehicles and pedestrians.\*
- c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

- 1. Area of Property [typically in acres] 3.88 acres
  - 2. IDO Zone District MX- M
  - 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - 4. Center or Corridor Area [if applicable] Uptown Urban Center
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

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**IDO Interactive Map**

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Apellido: MARCIA  
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C.P. 06700  
MEXICO D.F.

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# **12** SITE PLAN CHECKLIST

# SITE PLAN CHECKLIST

Project #: \_\_\_\_\_ Application #: \_\_\_\_\_

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

***I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.***

\_\_\_\_\_  
Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

***The electronic format must be organized in the above manner.***

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

**NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.**

**NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.**

## SHEET #1 - SITE PLAN

### A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'  
1.0 - 5.0 acres 1" = 20'  
Over 5 acres 1" = 50'  
Over 20 acres 1" = 100'

scale is set to 1" = 30'-0" to ensure legibility and clarity



# SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify) **shown on plan and identified on legend**
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable  
**no phases**

## B. Proposed Development

### 1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities **N/A**
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site **N/A**
- J. Elevation drawing of refuse container and enclosure, if applicable. **N/A**
- K. Existing zoning/land use of all abutting properties **shown on vicinity map**

### 2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
  - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
  - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
  - 3. On street parking spaces
- B. Bicycle parking & facilities
  - 1. Bicycle racks – location and detail **shown on plan and legend**
  - 2. Other bicycle facilities, if applicable **N/A**
- C. Vehicular Circulation (Refer to DPM and IDO)
  - 1. Ingress and egress locations, including width and curve radii dimensions
  - 2. Drive aisle locations, including width and curve radii dimensions
  - 3. End aisle locations, including width and curve radii dimensions
  - 4. Location & orientation of refuse enclosure, with dimensions
  - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
  - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

# SITE PLAN CHECKLIST

- \_\_\_ 2. Location and dimension of drive aisle crossings, including paving treatment
- \_\_\_ 3. Location and description of amenities, including patios, benches, tables, etc.  
**site furnishing shown on plan and legend**
- \_\_\_ E. Off-Street Loading
  - \_\_\_ 1. Location and dimensions of all off-street loading areas **N/A**
- \_\_\_ F. Vehicle Stacking and Drive-Through or Drive-Up Facilities **N/A**
  - \_\_\_ 1. Location and dimensions of vehicle stacking spaces and queuing lanes
  - \_\_\_ 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
  - \_\_\_ 3. Striping and Sign details for one-way drive through facilities

## 3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
  - \_\_\_ 1. Existing and proposed pavement widths, right-of-way widths and curve radii
  - \_\_\_ 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
  - \_\_\_ 3. Location of traffic signs and signals related to the functioning of the proposal
  - \_\_\_ 4. Identify existing and proposed medians and median cuts
  - \_\_\_ 5. Sidewalk widths and locations, existing and proposed
  - \_\_\_ 6. Location of street lights
  - \_\_\_ 7. Show and dimension clear sight triangle at each site access point
  - \_\_\_ 8. Show location of all existing driveways fronting and near the subject site.
- \_\_\_ B. Identify Alternate transportation facilities within site or adjacent to site
  - \_\_\_ 1. Bikeways and bike-related facilities **N/A**
  - 2. Pedestrian trails and linkages **N/A**
  - 3. Transit facilities, including routes, bus bays and shelters existing or required

## 4. Phasing

- \_\_\_ A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping. **N/A**

## SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines **shown on plan and identified on legend**
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
  - \_\_\_ A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
  - \_\_\_ B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
  - \_\_\_ C. Ponding areas either for drainage or landscaping/recreational use **N/A**

## SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
  - A. Existing, indicating whether it is to be preserved or removed.
  - B. Proposed, to be established for general landscaping.
  - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage. **N/A**
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan) **N/A**
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material **N/A**

### SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

#### A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

#### B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

# SITE PLAN CHECKLIST

## SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)
- F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

## SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

### A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
  - 1. Identify facade orientation
  - 2. Dimensions of facade elements, including overall height and width
  - 3. Location, material and colors of windows, doors and framing
  - 4. Materials and colors of all building elements and structures
  - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)  
**MECNAICAL EQUIPMENT IS MOUNTED ON ROOFTOP CONCEALED BY PARAPET**

### B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO

# **13** SITE PLAN AND RELATED DRAWINGS



**GENERAL SHEET NOTES**

- A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- D. SITE PLAN SHALL COMPLY WITH LOCAL, STATE AND FEDERAL ADA STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
- E. CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- F. LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO); SECTION 14-16-5-8 OUTDOOR LIGHTING.
- G. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- H. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.

**DEVIATIONS**

REQUESTED VARIANCE TO PEDESTRIAN WALKWAY WIDTHS THROUGH ZHE APPLICATION SUBMITTED ON 11.03.2020  
 INDIAN SCHOOL ROAD - DEVIATION OF 7'-0" TO THE REQUIRED 15'-0"  
 WINROCK LOOP - DEVIATION OF 8'-0" TO THE REQUIRED 15'-0"  
 PENNSYLVANIA STREET - DEVIATION OF 4'-0" TO THE REQUIRED 10'-0"

**PROJECT DATA**

**ZONING:** IDO MX-M + URBAN CENTER (UC), PART OF WINROCK MASTER PLAN  
**LEGAL DESCRIPTION:** PARCEL E-1-A REPLAT OF PARCEL A-1-A-1-A-1 & PARCEL E-1-A WINROCK CENTER ADDITION CONT 3.3847 AC  
**SITE AREA:** 3.3847 ACRES  
**IDO ZONE ATLAS:** J-19-2 (MAY 2018)  
**SETBACKS (MIN/MAX):** FRONT 0'/15', SIDE= 0'/15', REAR= 15' MIN  
**BUILDING HEIGHT:** 75'-0" MAX ALLOWED:  
 BUILDING 1: 50'-6"  
 BUILDING 2: 50'-6"  
 TOWNHOUSES: 48'-0"

**FIRE FLOW:** 4,500 GPM  
**HYDRANTS REQUIRED:** 8 TOTAL  
**BUILDING OCCUPANCY:** R-2 (APARTMENTS) + A (COMMONS)  
**CONSTRUCTION TYPE:** VA, FULLY SPRINKLED

**AREA OF LOT COVERED BY BUILDINGS**  
 BUILDING 1: 38,985 SF  
 BUILDING 2: 17,698 SF  
 TOWNHOUSES: 3,776 SF  
**TOTAL: 60,459 SF** *this number is used to calculate net lot*

**GROSS AREA OF BUILDINGS**  
 BUILDING 1 (4 LEVELS): 153,359 GSF  
 BUILDING 2 (4 LEVELS): 66,610 GSF  
 TOWNHOUSES (2 LEVELS): 7,092 GSF  
**TOTAL: 227,061 GSF**

**USABLE OPEN SPACE**  
 1 BR: 200 SF/UNIT, 2 BR: 250 SF/UNIT, 3 BR: 300SF/UNIT  
 STUDIO + 1 BR = 143 \* 200 SF = 28,600 SF  
 2 BR = 56 \* 250 SF = 14,000 SF  
 USABLE OPEN SPACE REQUIRED: 21,300 SF WITH 50% REDUCTION FOR UC  
 USABLE OPEN SPACE PROVIDED: 35,500 SF  
 (courtyard area including pool, landscape areas, private walkways)

**PARKING CALCULATION (IDO Table 5-5-1):**  
 7 SPACE/DWELLING UNIT = 199 PARKING SPACES REQUIRED

**PARKING CREDITS IDO 5-5(C)(6):**  
 2 ELECTRIC VEHICLE CHARGING STATION WITH 2 PORTS (4)  
 1 DESIGNATED SHARED CARPOOL SPACE (4)  
**PARKING REDUCTION:**  
 PROXIMITY TO TRANSIT 30% REDUCTION (59)  
 (Winrock MP located within 1/2 mile of Uptown Transit Center)  
**PARKING SPACES REQUIRED WITH CREDITS/REDUCTIONS = 132**  
**PARKING SPACES PROVIDED = 160**  
 (78 parking spaces are provided off-site via shared parking agreement in a gated parking lot available only to residents)

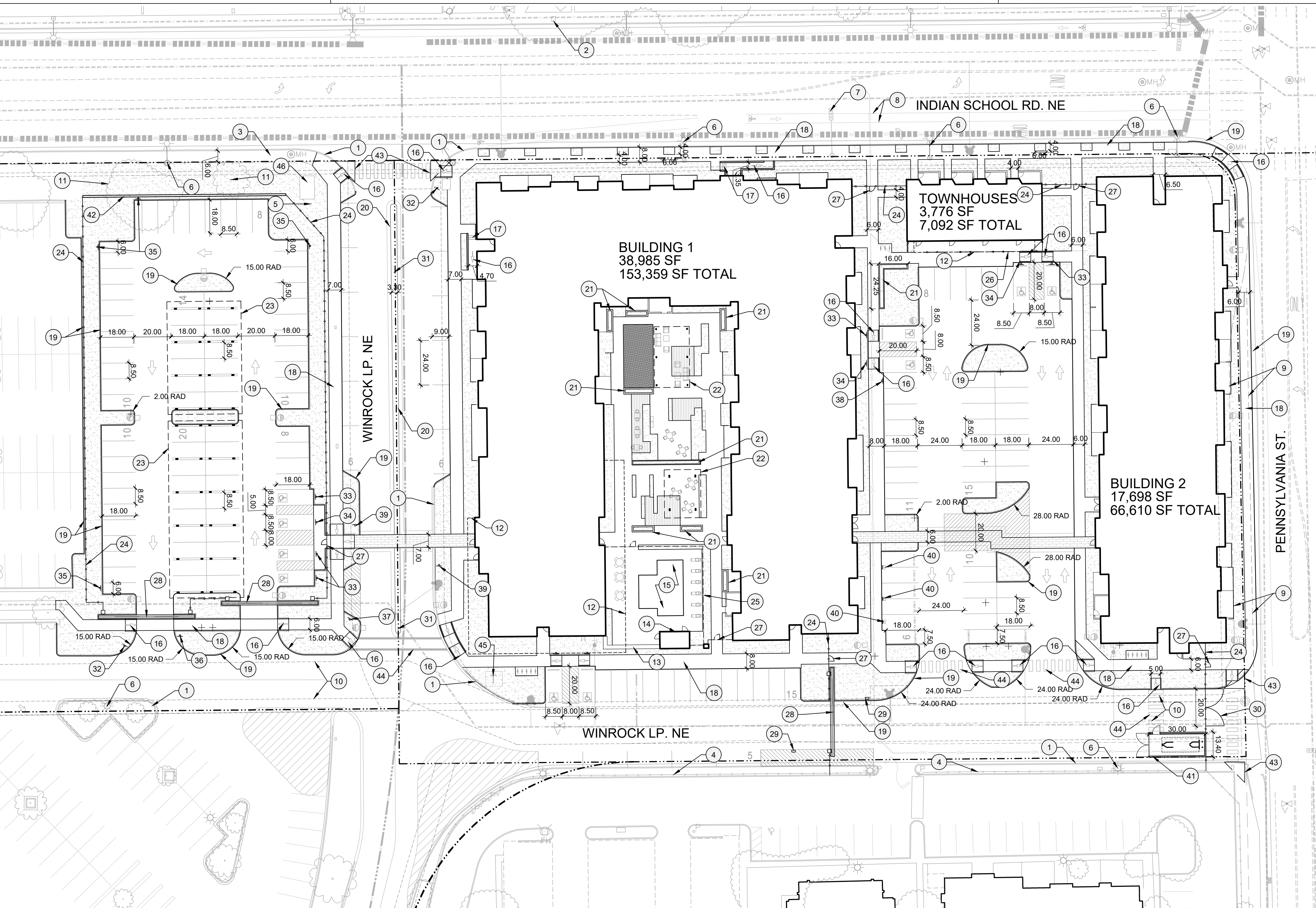
**MOTORCYCLE PARKING REQUIRED = 4**  
**MOTORCYCLE PARKING PROVIDED = 4**  
**BICYCLE PARKING REQUIRED = 3 PER 5 DU = 120**  
**BICYCLE PARKING PROVIDED = 132** (100 interior bike storage, 32 exterior bicycle racks)

**LEGEND**

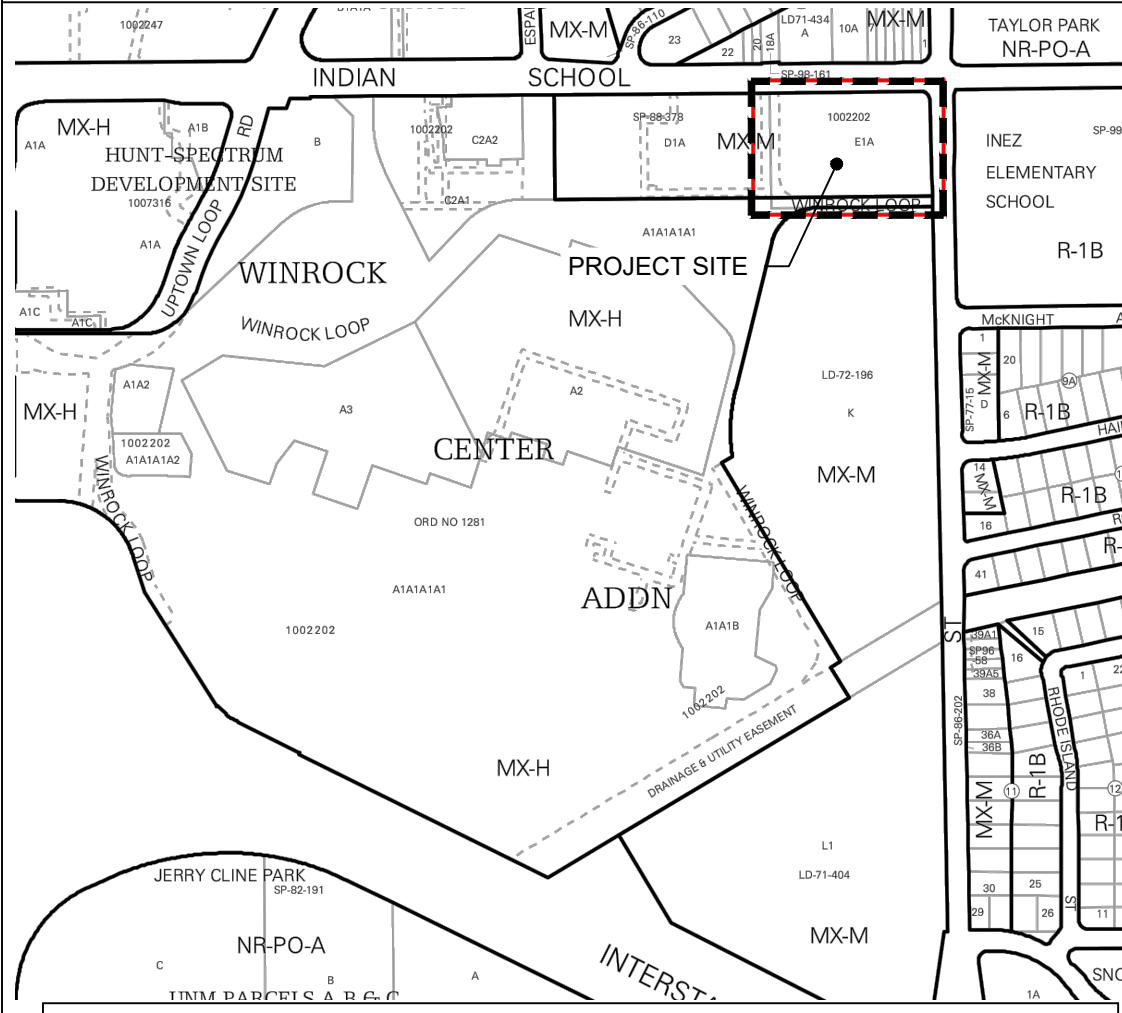
- LANDSCAPE AREA
- STABILIZED CRUSHER FINES OR SYNTHETIC TURF
- ACCENT PAVING: COLORED CONCRETE OR CONCRETE PAVERS
- RAISED PEDESTRIAN CROSSING
- PROPERTY LINE
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION (F.D.C.)
- SITE LIGHTING TO MATCH WINROCK TOWN CENTER
- TWO-POINT LOCK BICYCLE RACK EACH SUPPORTING 2 BICYCLES PER 5-SHE(4)
- SITE FURNITURE: TABLES AND CHAIRS, BENCHES, TRASH RECEPTACLES, POOL FURNITURE

**SHEET KEYNOTES**

CODE	DESCRIPTION
1	EXISTING CONCRETE CURB
2	EXISTING BUS STOP
3	EXISTING SIDEWALK
4	EXISTING FENCE
5	EXISTING MONUMENT SIGN TO BE REMOVED
6	EXISTING LIGHT POLE
7	EXISTING TRAFFIC LIGHT
8	EXISTING BIKE LANE
9	EXISTING LANE TO BE REMOVED
10	EXISTING EASMENT
11	EXISTING TREE
12	BUILDING OVERHANG
13	BUILDING POOL WALL
14	POOL FACILITIES
15	POOL
16	CONCRETE ACCESSIBLE RAMP
17	CONCRETE STAIRS WITH HANDRAILS
18	CONCRETE SIDEWALK/WALKWAY
19	CONCRETE CURB
20	CONCRETE CURB: DRIVABLE
21	RAISED PLANTER
22	SHADE STRUCTURE
23	POSSIBLE CARPORT
24	FENCE: 6'-0" HEIGHT, ORNAMENTAL
25	FENCE: 6'-0" HEIGHT AT POOL
26	FENCE: 3'-0" HEIGHT, ORNAMENTAL
27	GATE: PEDESTRIAN 6'-0" HEIGHT, 3'-0" WIDTH, ORNAMENTAL
28	GATE: VEHICULAR, 6'-0" HEIGHT
29	GATE: KEY PEDESTAL
30	GATE: VEHICULAR EMERGENCY ACCESS ONLY, 6'-0" HEIGHT
31	PAVED MEDIAN
32	SITE SIGNAGE: STOP SIGN
33	SITE SIGNAGE: ACCESSIBLE PARKING
34	SITE SIGNAGE: VAN ACCESSIBLE PARKING
35	SITE SIGNAGE: MOTORCYCLE PARKING ONLY
36	SITE SIGNAGE: DO NOT ENTER
37	SITE SIGNAGE: NO PARKING SERVICE VEHICLES ONLY
38	SITE SIGNAGE: SHARED CARPOOL ONLY
39	SITE SIGNAGE: PEDESTRIAN CROSSING
40	EV CHARGING STATION
41	TRASH COMPACTOR IN ENCLOSURE TO COMPLY WITH IDO/SOLID WASTE REQUIREMENTS
42	SCREEN WALL 4'-0" HEIGHT MAX, MATERIAL TO MATCH BUILDING
43	CLEAR SIGHT TRIANGLE
44	PEDESTRIAN CROSSWALK
45	ELECTRIC TRANSFORMER
46	MONUMENT SIGN PER APPROVED AA #13-10262



**VICINITY MAP**



PROJECT NO.	
APPLICATION NO.	
IS AN APPROVED INFRASTRUCTURE LIST REQUIRED? [ ] YES [ ] NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
DRB SITE DEVELOPMENT PLAN APPROVAL:	
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE:
ABCWUA	DATE:
PARKS & RECREATION DEPARTMENT	DATE:
CITY ENGINEER/HYDROLOGY	DATE:
ENVIRONMENTAL HEALTH (CONDITIONAL)	DATE:
SOLID WASTE MANAGEMENT	DATE:
DRB CHAIRPERSON, PLANNING DEPT.	DATE:
CODE ENFORCEMENT	DATE:



ARCHITECTURE  
 DESIGN  
 INSPIRATION

ARCHITECT



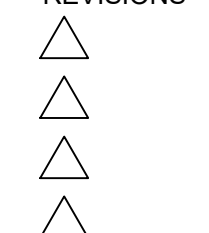
12/18/2020

ENGINEER

PROJECT

**APARTMENTS  
 AT INDIAN SCHOOL & PENNSYLVANIA**  
 7500 INDIAN SCHOOL RD NE  
 ALBUQUERQUE, NM, 87110

REVISIONS

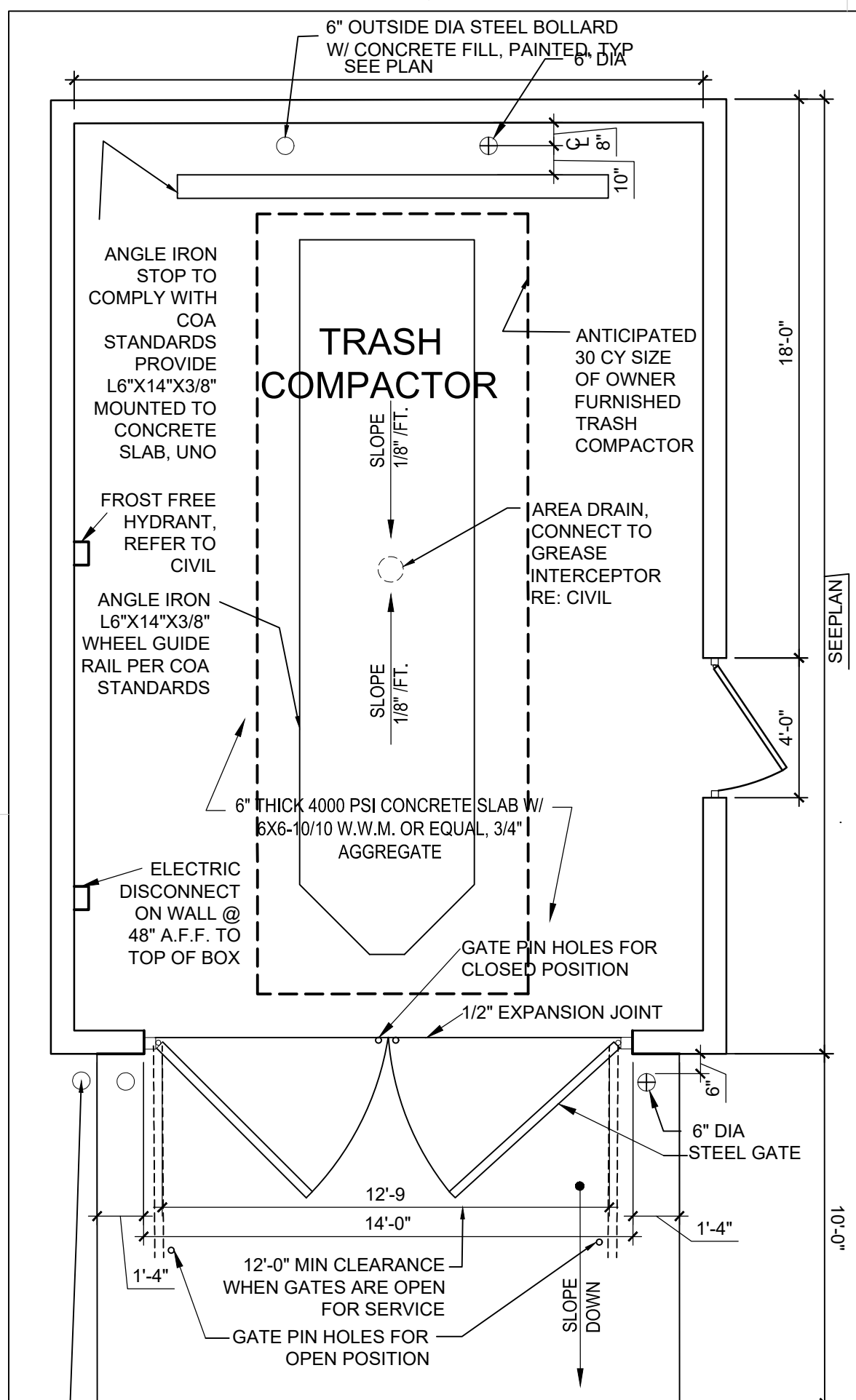


DRAWN BY	D/P/S
REVIEWED BY	D/P/S
DATE	12.18.2020
PROJECT NO.	19-0087
DRAWING NAME	SITE PLAN

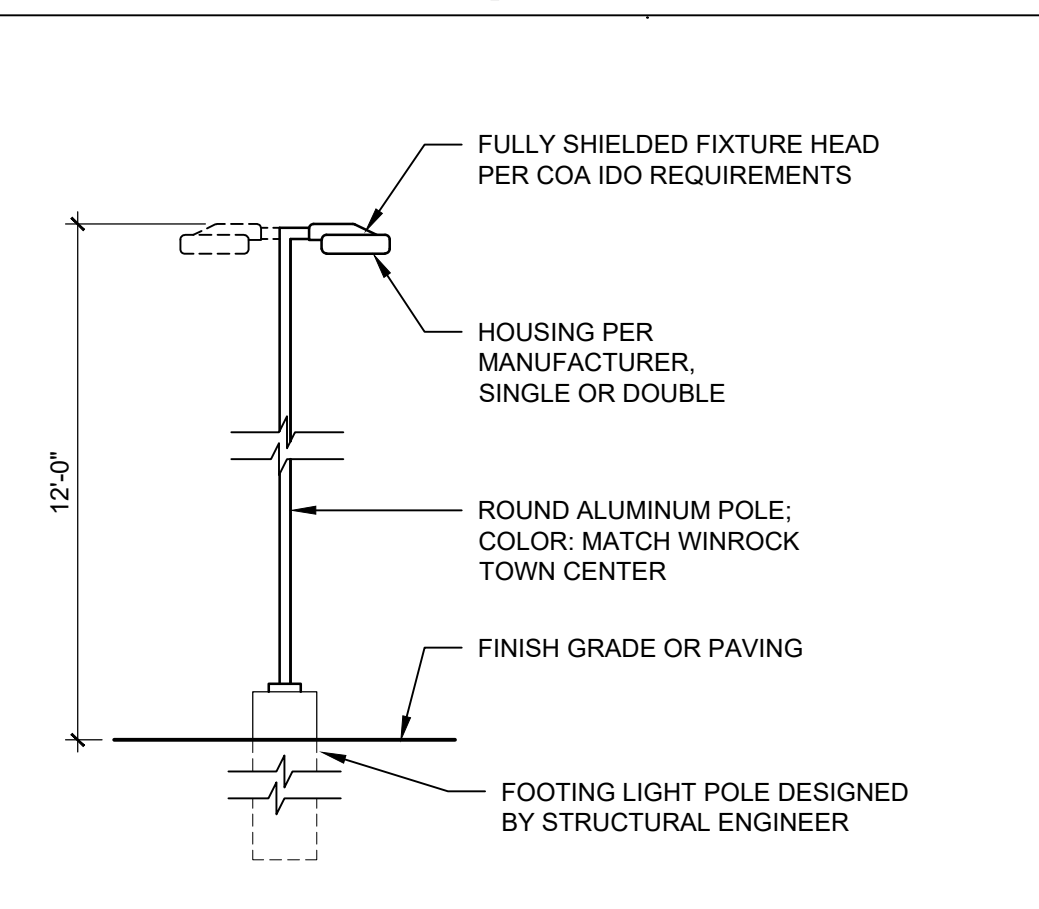
SHEET NO.

**SDP1.1**  
 OF

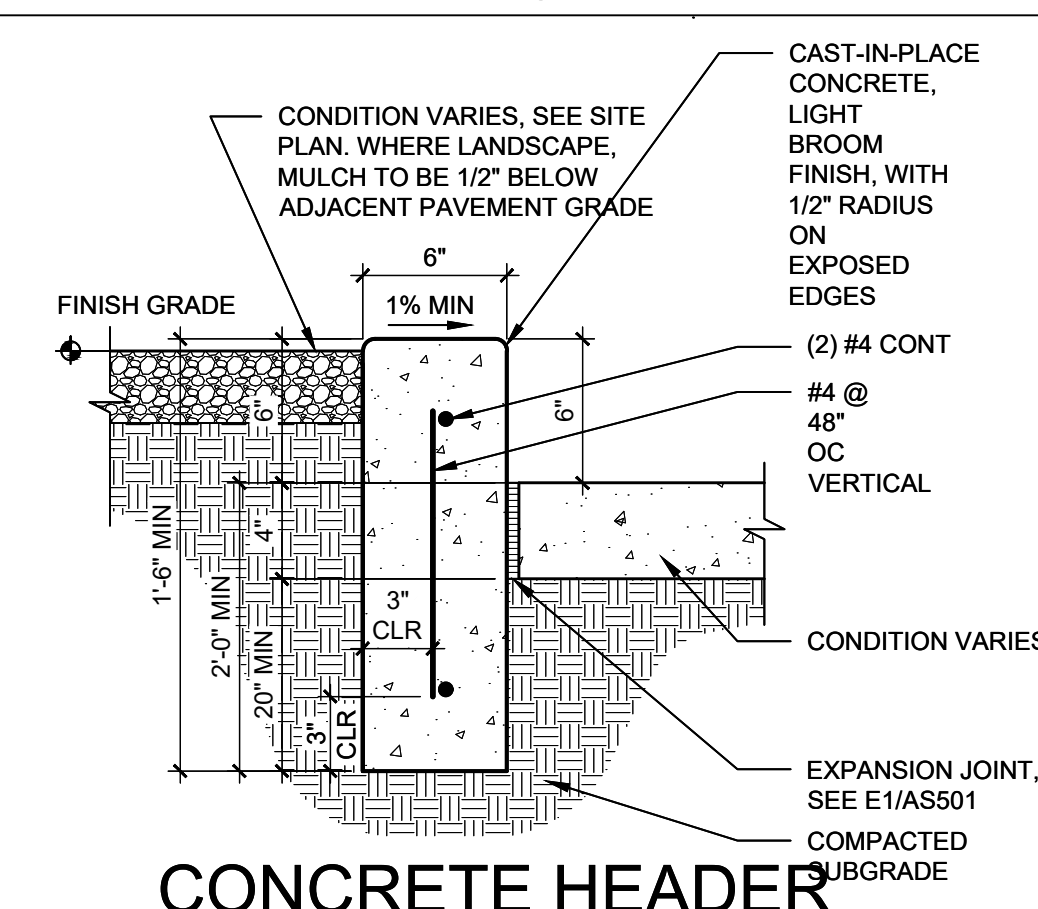




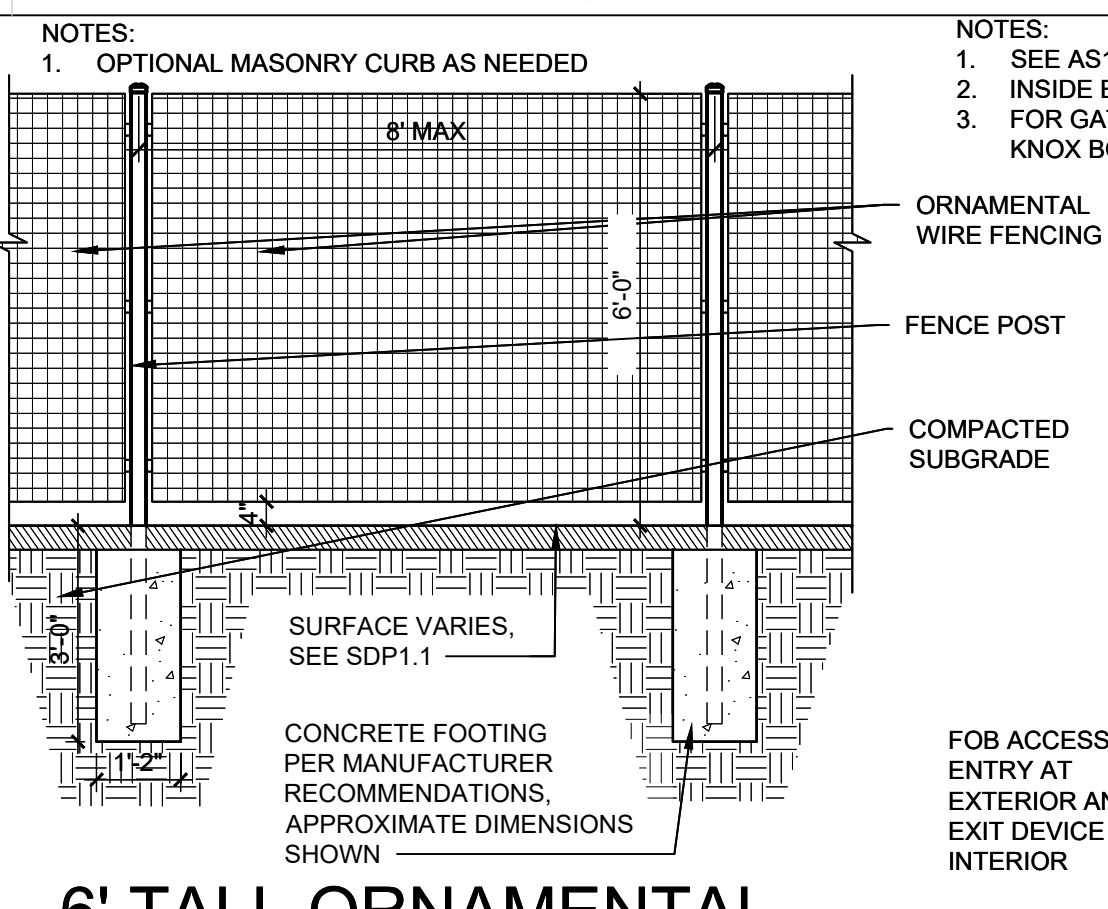
**C1 TRASH COMPACTOR ENCLOSURE**  
1/4" = 1'-0"



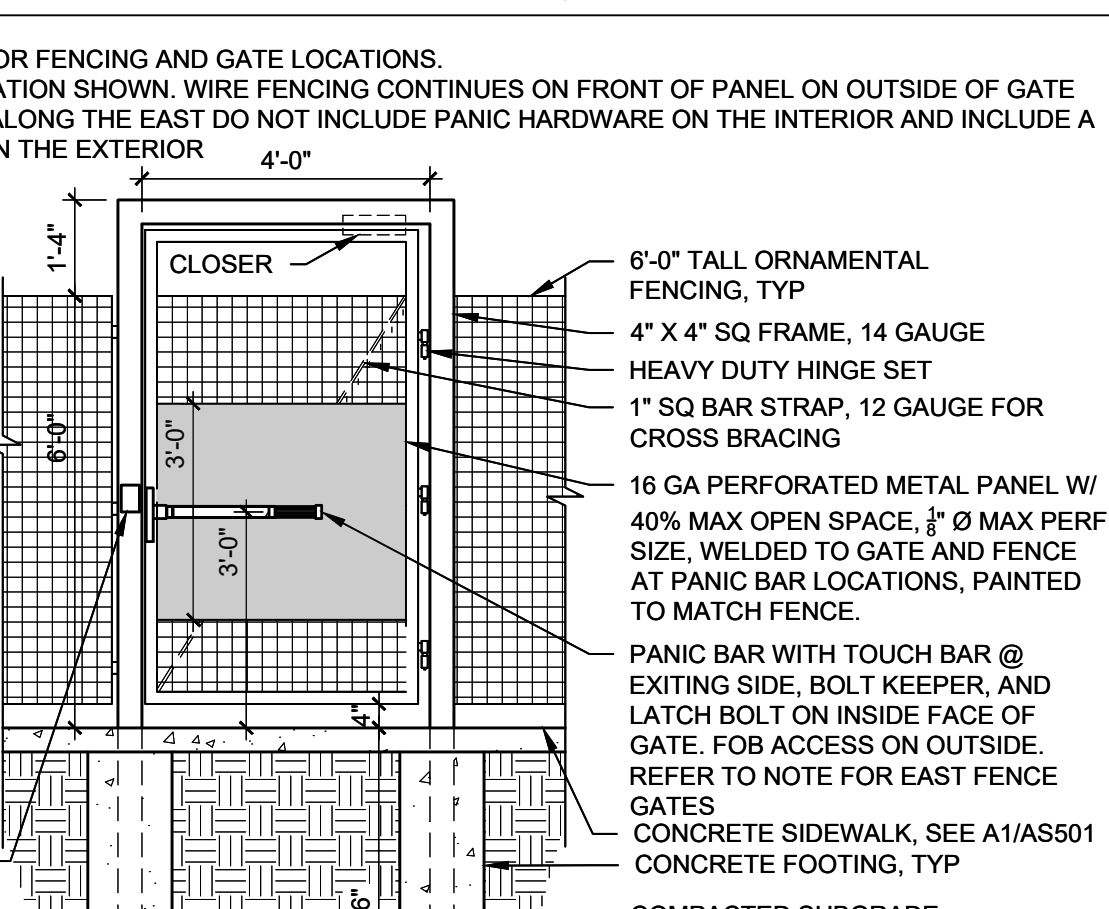
**D2 PARKING LIGHT POLE**  
1/4" = 1'-0"



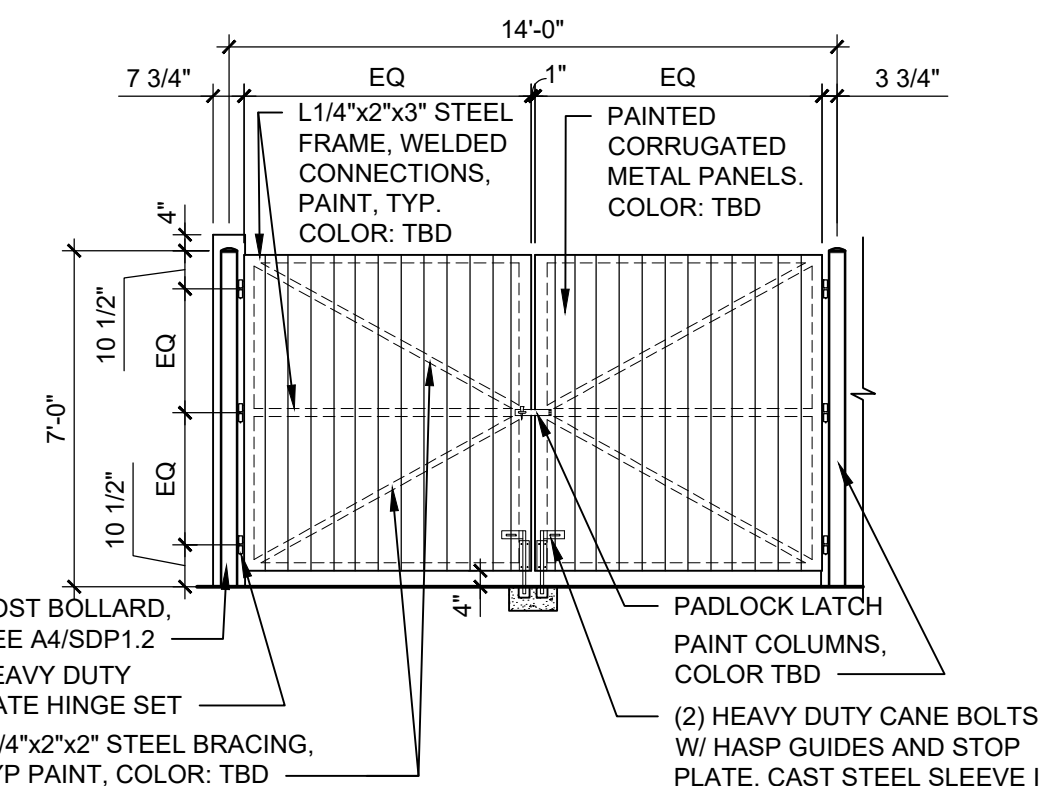
**D3 CONCRETE HEADER CURB**  
1 1/2" = 1'-0"



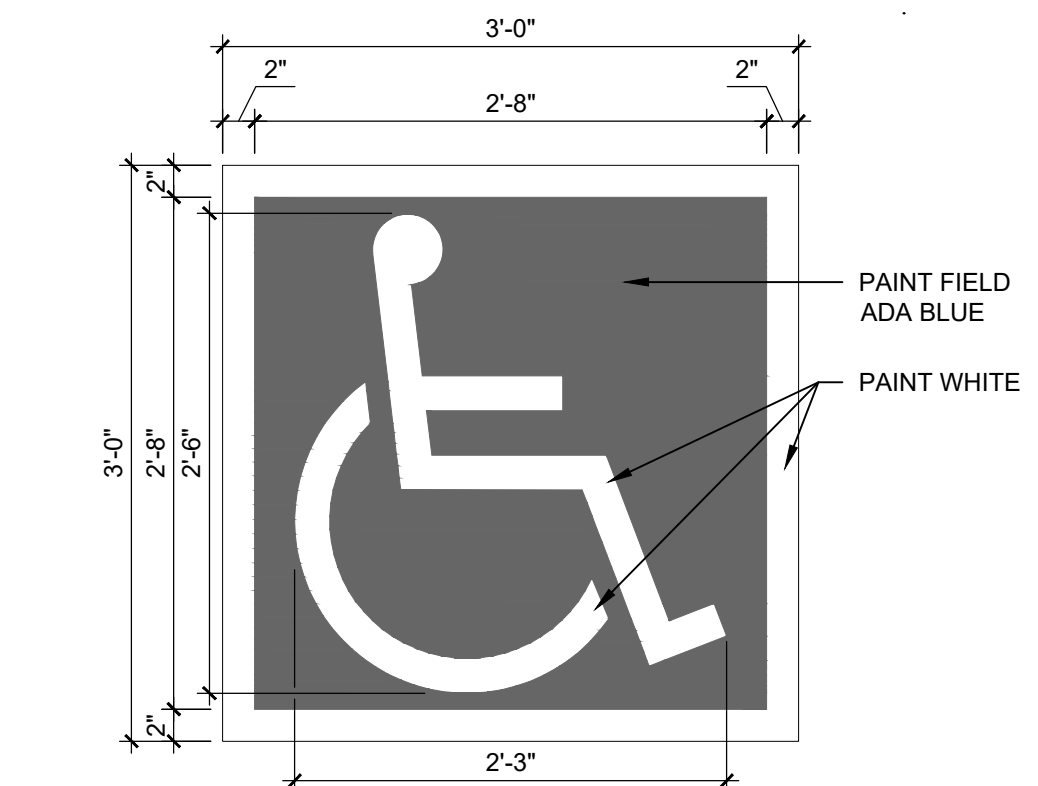
**D4 6' TALL ORNAMENTAL WIRE FENCE**  
3/8" = 1'-0"



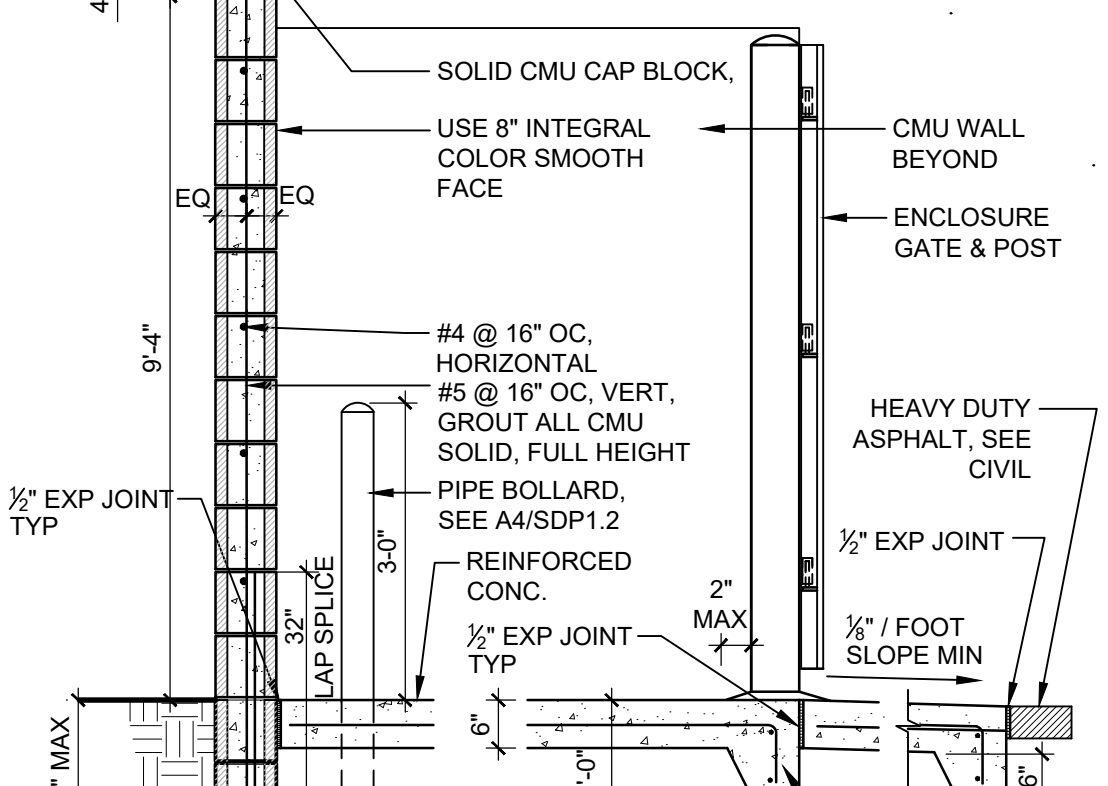
**D5 ORNAMENTAL WIRE PEDESTRIAN GATE**  
3/8" = 1'-0"



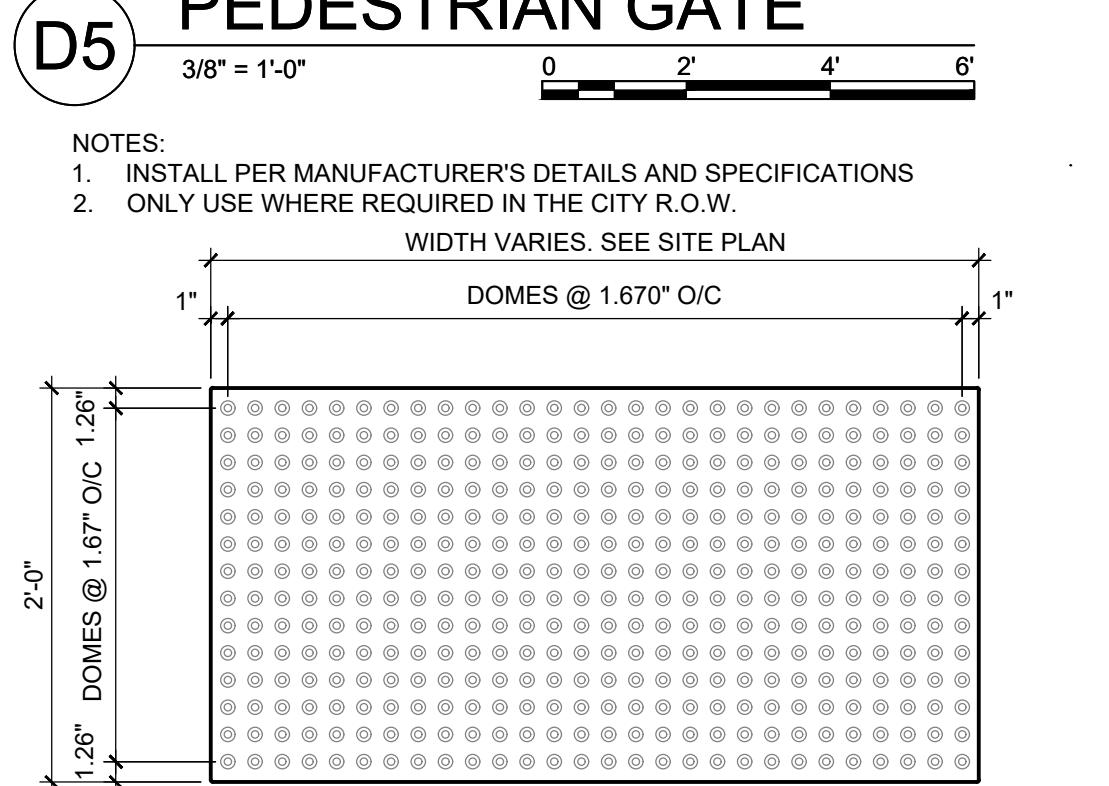
**C2 REFUSE ENCLOSURE GATE**  
1/4" = 1'-0"



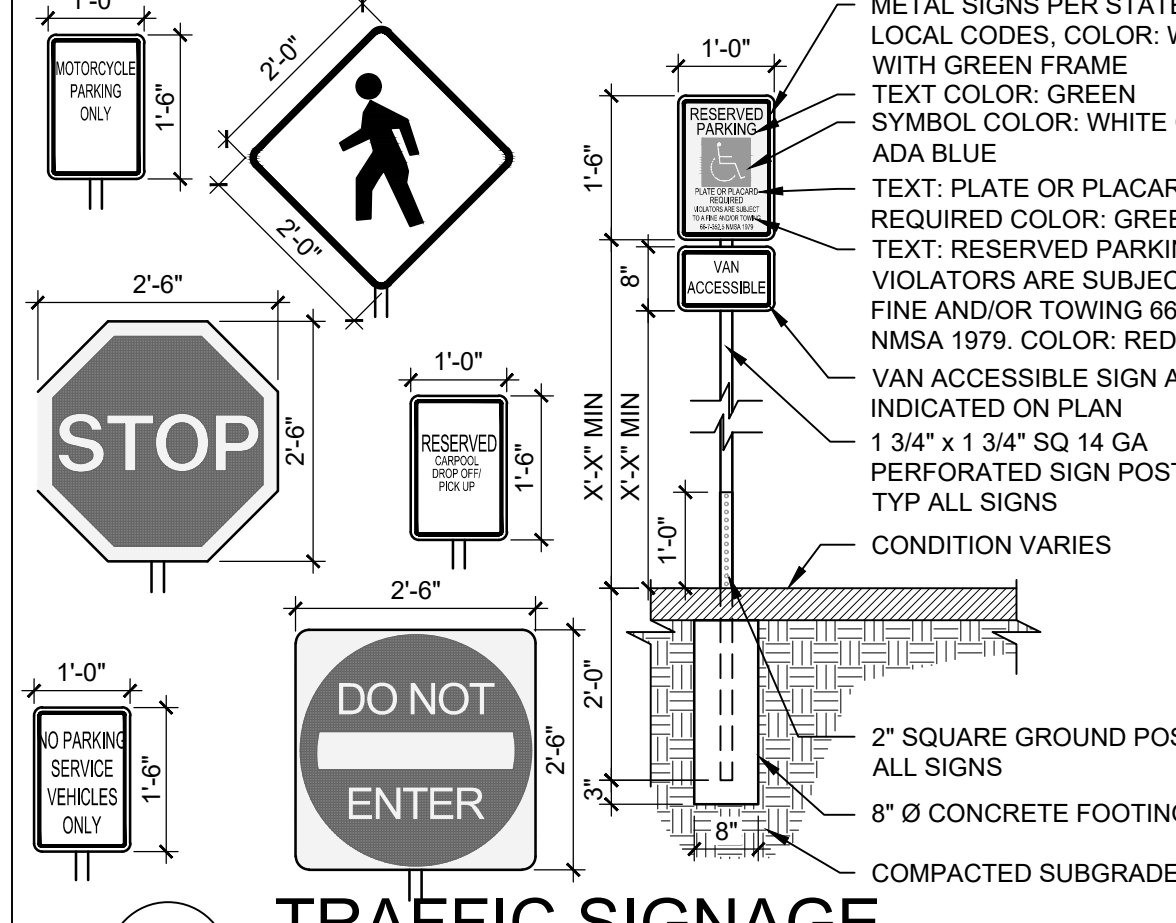
**C3 ACCESSIBLE PAVEMENT MARKING**  
1" = 1'-0"



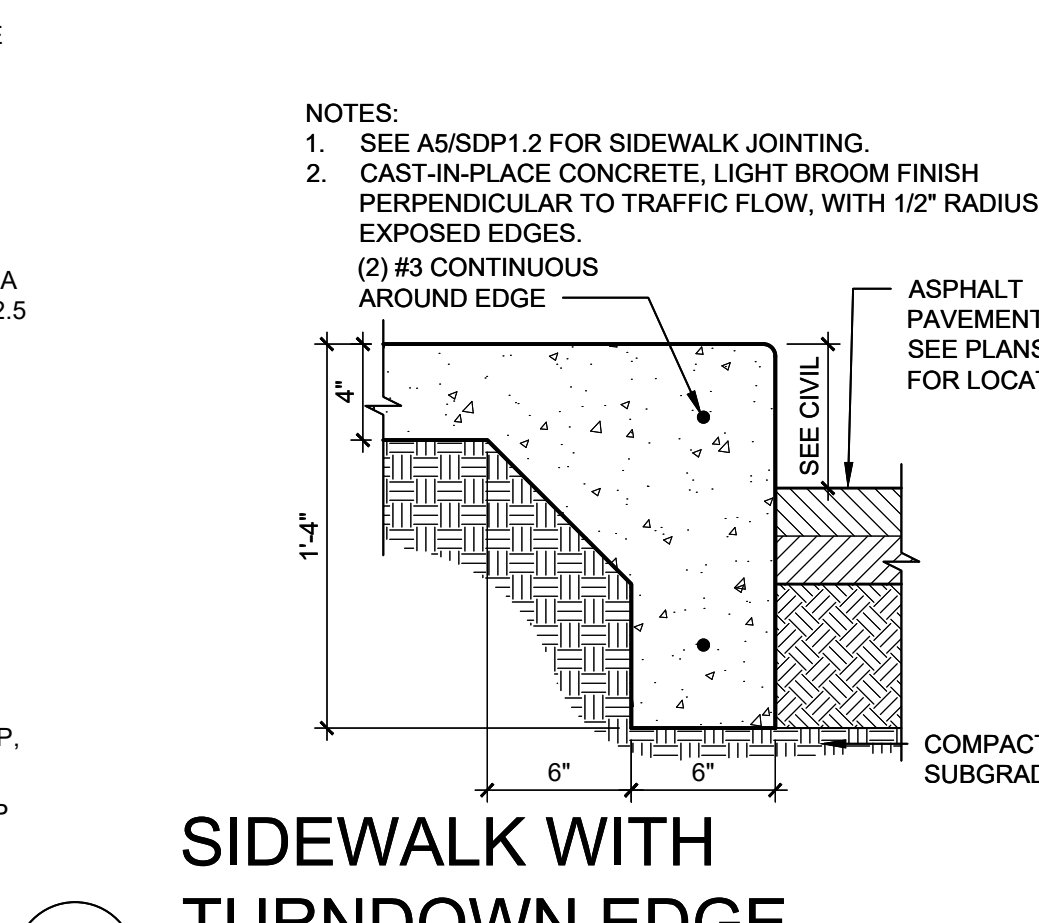
**C4 COMPACTOR ENCLOSURE SECTION**  
1/2" = 1'-0"



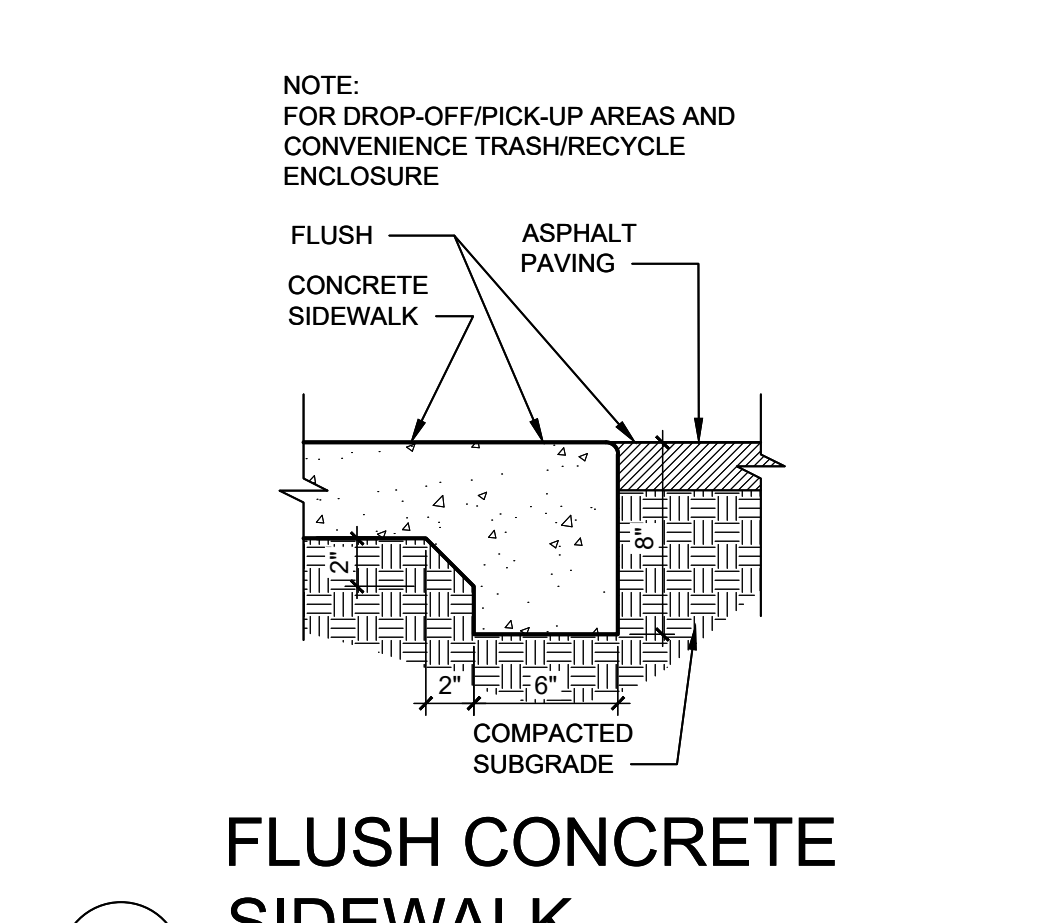
**C5 DETECTABLE WARNING SURFACE**  
1" = 1'-0"



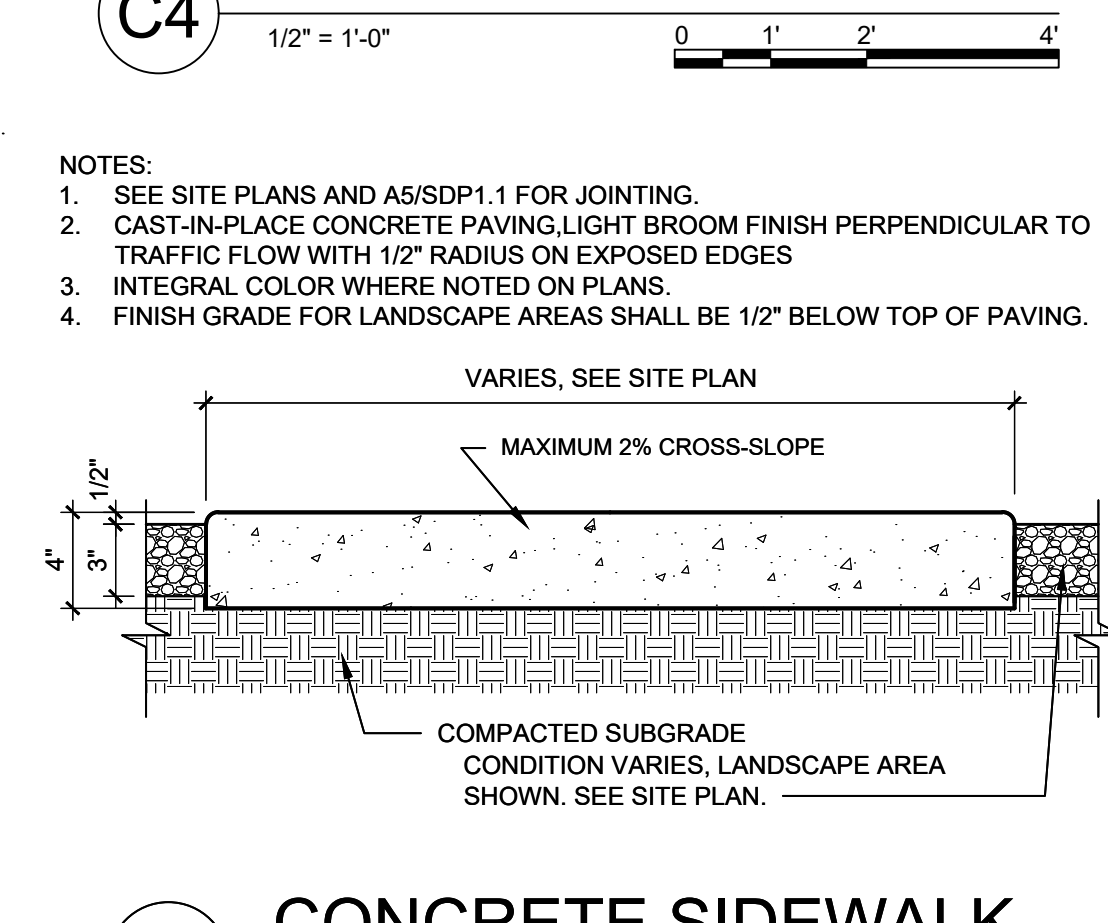
**B1 TRAFFIC SIGNAGE**  
1/2" = 1'-0"



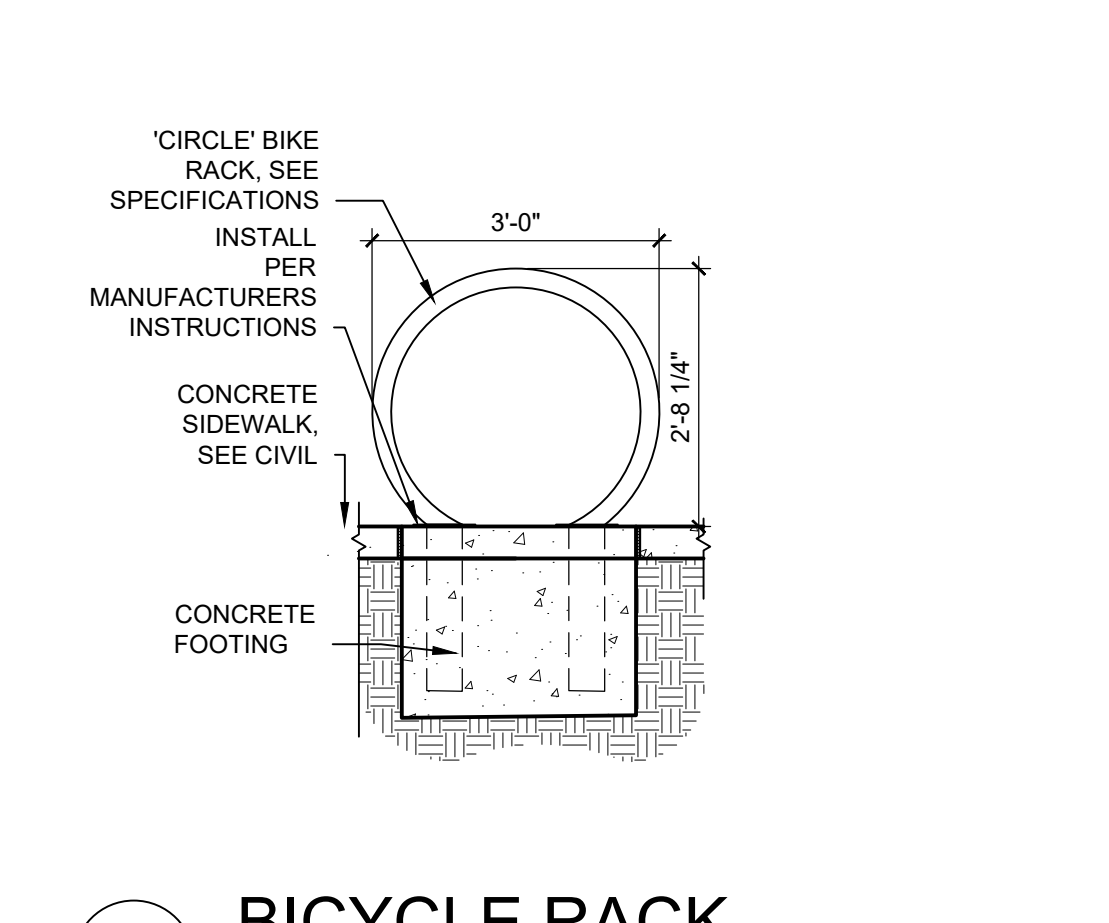
**B2 SIDEWALK WITH TURNDOWN EDGE**  
1 1/2" = 1'-0"



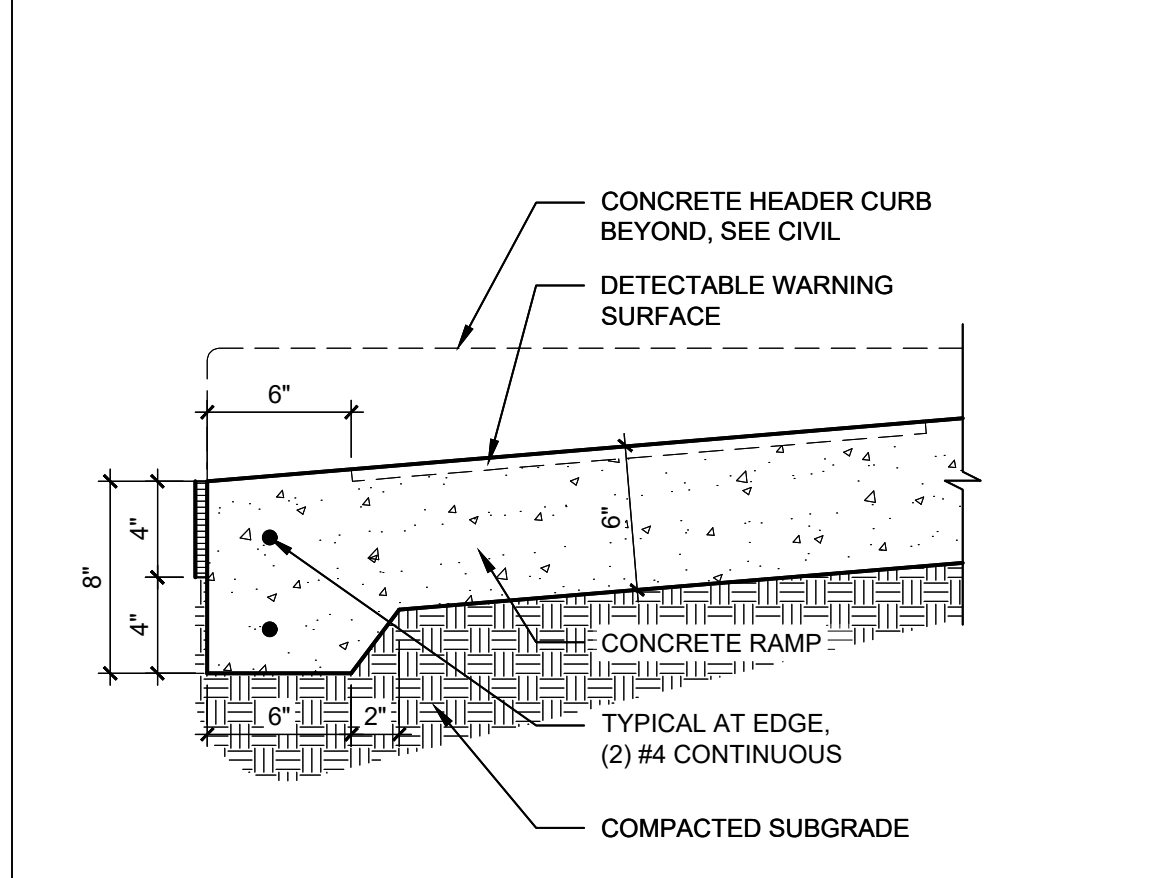
**B3 FLUSH CONCRETE SIDEWALK**  
1 1/2" = 1'-0"



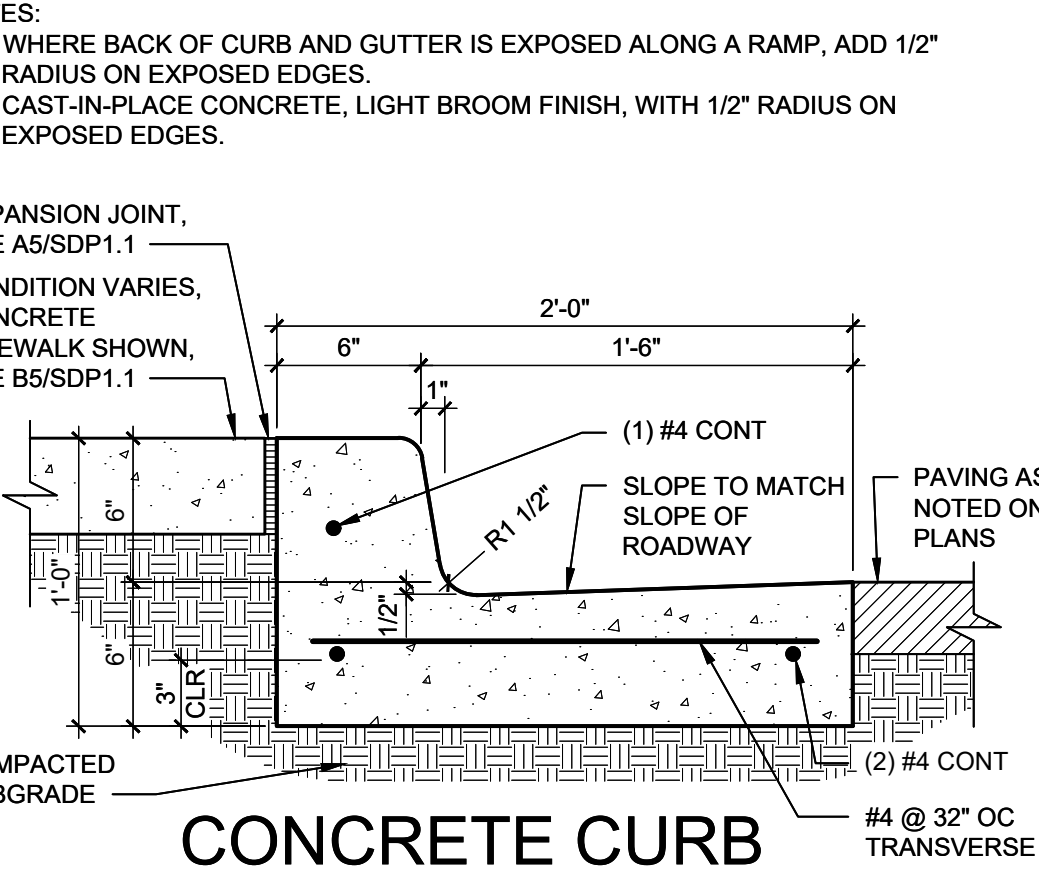
**B4 CONCRETE SIDEWALK**  
1 1/2" = 1'-0"



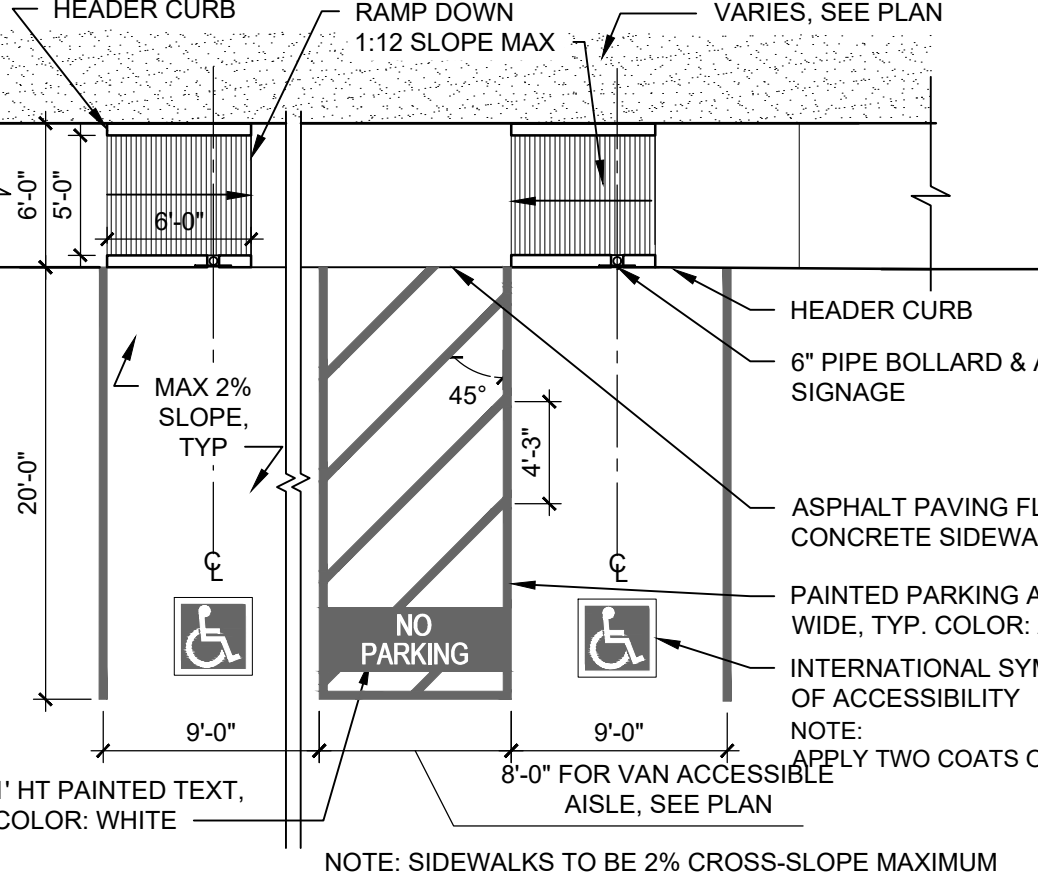
**B5 BICYCLE RACK**  
1/2" = 1'-0"



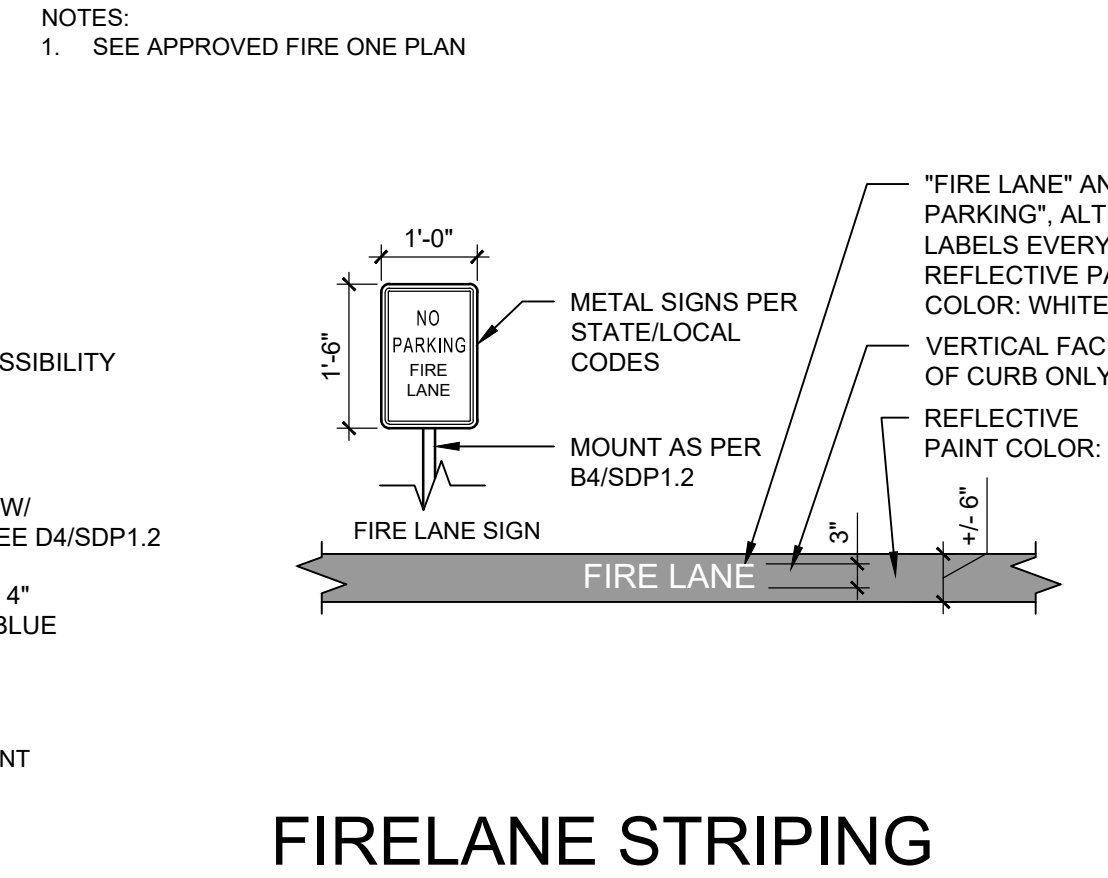
**A1 RAMP TRANSITION**  
1 1/2" = 1'-0"



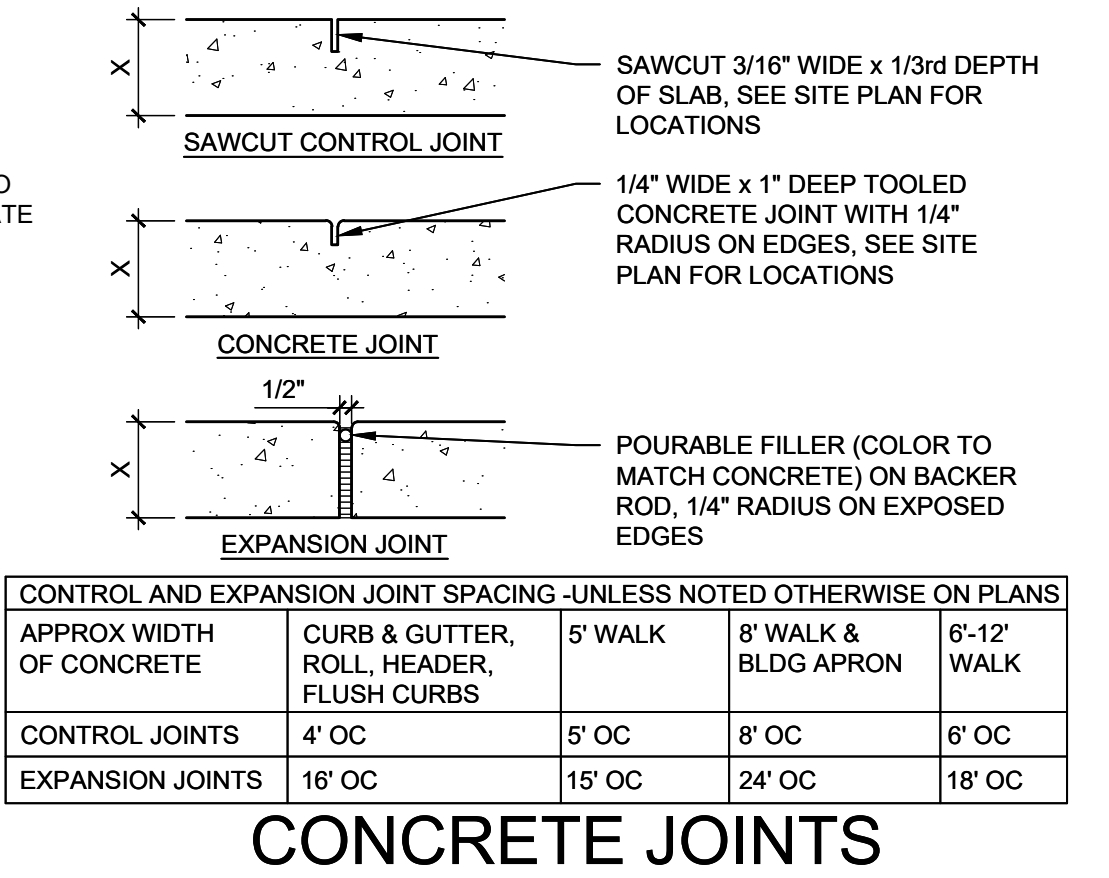
**A2 CONCRETE CURB & GUTTER**  
1 1/2" = 1'-0"



**A3 ACCESSIBLE PARKING**  
1/8" = 1'-0"



**A4 FIRELANE STRIPING AND SIGNAGE**  
1/2" = 1'-0"



**A5 CONCRETE JOINTS & JOINT SPACING**  
1 1/2" = 1'-0"

CONTROL AND EXPANSION JOINT SPACING - UNLESS NOTED OTHERWISE ON PLANS				
APPROX WIDTH OF CONCRETE	CURB & GUTTER, ROLL, HEADER, FLUSH CURBS	5' WALK	8' WALK & BLDG APRON	6'-12' WALK
CONTROL JOINTS	4' OC	5' OC	8' OC	6' OC
EXPANSION JOINTS	16' OC	15' OC	24' OC	18' OC

**DEKKER PERICH SABATINI**

ARCHITECTURE DESIGN INSPIRATION

ARCHITECT



12/18/2020

PROJECT

APARTMENTS AT INDIAN SCHOOL & PENNSYLVANIA  
7500 INDIAN SCHOOL RD NE ALBUQUERQUE, NM, 87110

REVISIONS  
△ D/P/S  
△  
△  
△

DRAWN BY D/P/S  
REVIEWED BY D/P/S  
DATE 12.18.2020  
PROJECT NO. 19-0087  
DRAWING NAME

SITE DETAILS

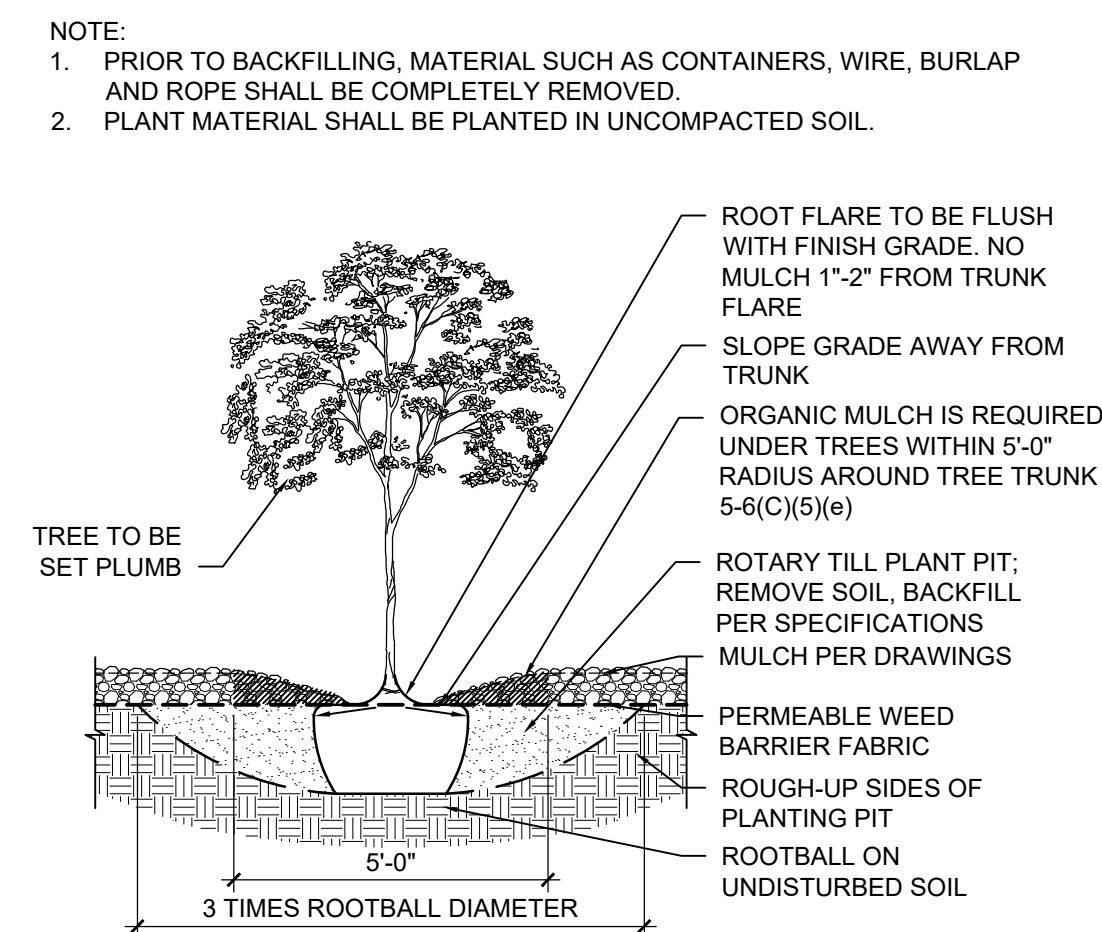
SHEET NO. SDP1.2



### GENERAL SHEET NOTES

- RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S GENERAL LANDSCAPING, BUFFERING, AND SCREENING REGULATIONS AND WATER CONSERVATION ORDINANCE.
- TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- SURFACE TREATMENT: ALL LANDSCAPE AREAS SHALL BE COVERED WITH VEGETATION AND MULCH. ORGANIC MULCH IS REQUIRED AT EACH TREE ROOTBALL AREA/DRIFLINE.
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS, TREES AND SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS: 2" CALIPER TREES, 6" HEIGHT CONIFERS, AND 1 GALLON SHRUBS.
- AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.
- VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5' OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.

### TREE PLANTING DETAIL



### LEGEND

SYMBOL	NOTES	QTY
	PROPERTY LINE	
	3/4" Ø ROCK MULCH 3" DEPTH OVER FILTER FABRIC COLOR: TBD	15,621 SF
	SHREDDED BARK MULCH 3" DEPTH	15,656 SF

### IRRIGATION NOTES

- ALL PLANTINGS SHALL BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM, WITH PROGRAMMABLE SETTINGS, AUTOMATED IRRIGATION CONTROLLER, AND MOISTURE SENSOR TO AVOID OVERWATERING.
- THE IRRIGATION SYSTEM SHALL COMPLY WITH SECTION 8 OF THE ABCWUA LEGISLATION AND ORDINANCES.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MINIMIZE THE USE OF WATER.
- THE IRRIGATION SYSTEM SHALL NOT IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, STREETS AND PARKING OR LOADING AREAS.
- IRRIGATION POINT OF CONNECTION TO THE CITY WATER WILL BE LOCATED WITHIN PROPERTY LIMITS AND SHALL COMPLY WITH THE CITY OF ALBUQUERQUE REDUCED PRESSURE BACKFLOW PREVENTER STANDARDS AND SPECIFICATIONS.
- RUN TIMES AND IRRIGATION ZONES SHALL BE BASED UPON PLANT SPECIES AND THEIR ESTABLISHMENT. RUN TIMES SHALL BE REGULARLY ADJUSTED ACCORDING TO PLANT MATURITY, SEASON, LOCATION AND PERFORMANCE.

### SHEET KEYED NOTES

- EXISTING TREE
- CLEAR SIGHT TRIANGLE
- CLEARANCE AROUND ELECTRICAL EQUIPMENT
- EXISTING EASEMENT
- STREET TREE PLANTER PER 5-6(D)(1)(c)

### LANDSCAPE CALCULATIONS

TOTAL SITE AREA = 3,3847 AC = 147,438 SF  
 AREA OF LOT COVERED BY BUILDINGS = 60,459 SF  
 NET LOT AREA = 86,979 SF

**REQUIRED LANDSCAPE**  
 REQUIRED LANDSCAPE AREA (10% OF NET LOT AREA) = 8,698 SF  
 PROVIDED LANDSCAPE AREA = 31,277 SF = 35%

**REQUIRED TREES: PARKING LOT**  
 REQUIRED NUMBER OF PARKING LOT TREES = 16 TREES  
 TOTAL NUMBER OF PARKING = 160 SPACES  
 REQUIRED = 1 TREE / 10 PARKING SPACES  
 PROVIDED NUMBER OF PARKING LOT TREES = 16 TREES  
 NO PARKING SPACE MAY BE MORE THAN 100 FEET AWAY FROM A TREE TRUNK

**REQUIRED TREES: STREET TREES**  
 REQUIRED STREET TREES = 30 placed at 25' on center  
 (440' of street frontage along Indian School and 300' along Pennsylvania)  
 PROVIDED STREET TREES = 30

**REQUIRED TREES: MULTI-FAMILY DWELLING**  
 REQUIRED TREES = 48 (1 TREE/1 GROUND-FLOOR DWELLING UNIT FOR UC)  
 PROVIDED TREES = 49

**CREDIT FOR PRESERVING TREES (TABLE 5-6-2): 6**  
 2 EXISTING TREES WITH DIAMETER AT BREAST HEIGHT OF 4" AND 10"

**REQUIRED TREES: WALKWAYS**  
 PLACED AT A MAX OF EVERY 25' ALONG REQUIRED PEDESTRIAN WALKWAYS

**REQUIRED VEGETATIVE COVERAGE**  
 REQUIRED COVERAGE = 2,346 SF = 75% OF PROVIDED LANDSCAPE AREA  
 A MINIMUM 25% OF TOTAL LANDSCAPE COVERAGE BY GROUND-LEVEL PLANTS  
 PROVIDED TOTAL GROUND COVERAGE = 36,580 SF = 116%  
 TREE CANOPY COVERAGE (95 TREES TOTAL) = 19,000SF = 51% OF PROVIDED COVERAGE  
 GROUND-LEVEL PLANT COVERAGE (586 GROUND COVER PLANTS TOTAL) = 17,580 SF = 47% OF PROVIDED COVERAGE

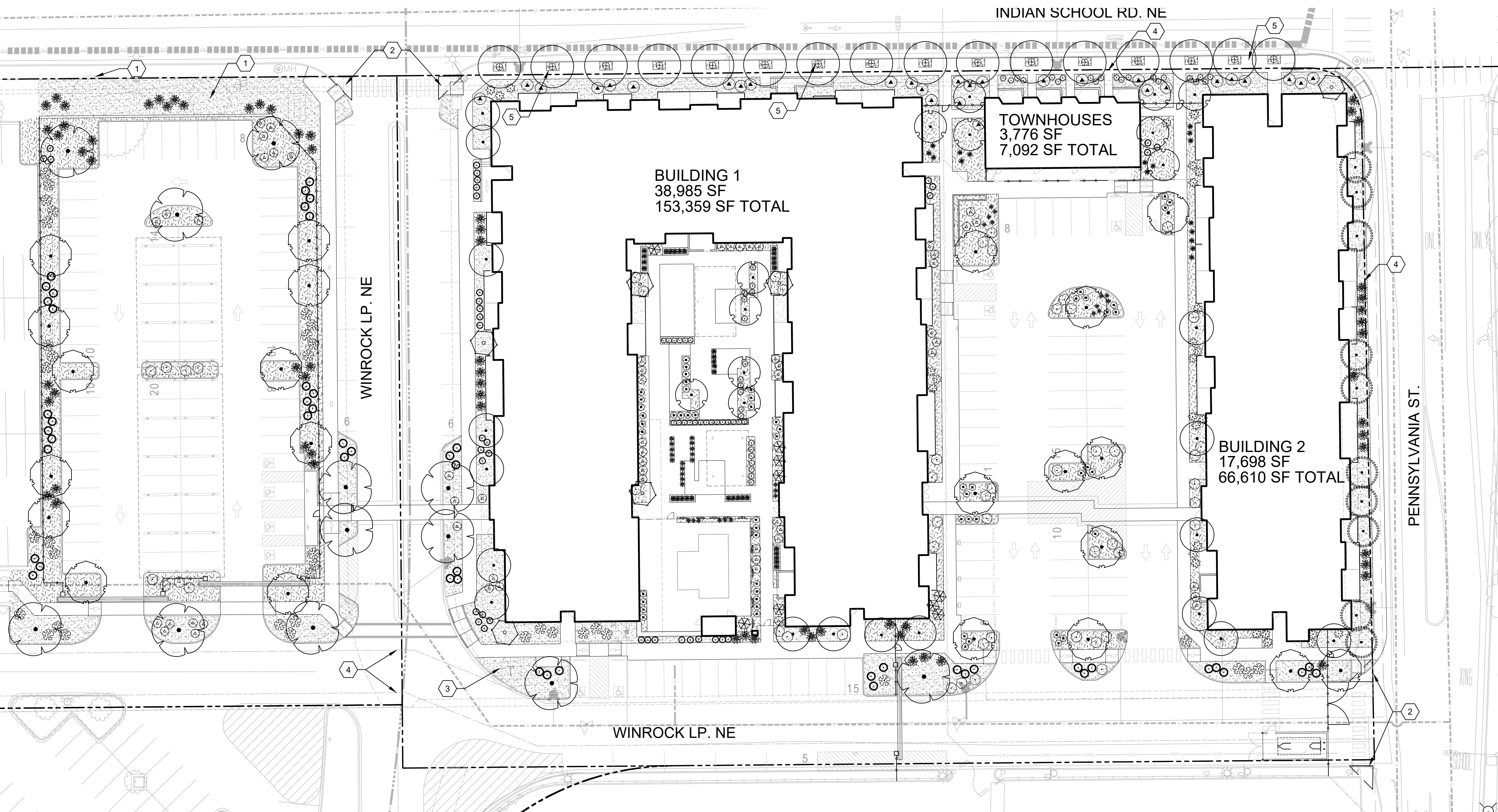
**GROUND COVER MATERIAL**  
 ROCK MULCH GROUND COVER = 15,621 SF = 50% OF PROVIDED LANDSCAPE AREA  
 ORGANIC MULCH GROUND COVER = 15,656 SF = 50% OF PROVIDED LANDSCAPE AREA  
 A MAXIMUM OF 50% OF GRAVEL OR CRUSHER FINES IS PERMITTED

**PARKING LOT EDGE**  
 FRONT LOT EDGE WALL PROVIDED PER 5-6(F)(1)(i)

**LANDSCAPE EDGE BUFFER, NOT REQUIRED**  
 SITE IS ADJACENT TO R-1 BUT NO RESIDENTIAL STRUCTURE IS ON THAT SITE AS IT IS OCCUPIED BY INEZ ELEMENTARY SCHOOL

### PLANT LEGEND

TREES	COMMON NAME
	SENSATION BOX ELDER MAPLE
	EASTERN REDBUD
	CRIMSON SPIRE OAK
	DESERT WILLOW
	NEW MEXICO OLIVE
	CHINESE PISTACHE
	CHINKAPIN OAK
	TEXAS RED OAK
	SOPHORA TREE
	FRONTIER ELM
SHRUBS	COMMON NAME
	PYRENEES COTONEASTER
	BUFFALO JUNIPER
	TURPENTINE BUSH
	THOMPSON BROOM
	INGRAM ROSEMARY
	GRO-LOW FRAGRANT SUMAC
	SAND CHERRY
	AUTUMN AMBER SUMAC
	BEARBERRY COTONEASTER
	FURMAN'S RED SALVIA
DESERT ACCENTS	COMMON NAME
	GREY DESERT SPOON
	GREEN DESERT SPOON
	MEXICAN YUCCA
	AUTUMN SAGE
	BEARGRASS
	NEW MEXICO AGAVE
	BANANA YUCCA
	TWISTED LEAF YUCCA
GRASSES	COMMON NAME
	'BLONDE AMBITION' BLUE GRAMA
	GIANT SACATON
	MEXICAN FEATHER GRASS
	VARIEGATED REED GRASS
	KARL FOERSTER FEATHER REED GRAS
	EL TORO MUHLY GRASS
	LINDHEIMER'S MUHLY
	DEER GRASS
VINES	COMMON NAME
	HONEYSUCKLE
	TRUMPET VINE



ARCHITECTURE  
DESIGN  
INSPIRATION

ARCHITECT



ENGINEER

PROJECT

APARTMENTS  
AT INDIAN SCHOOL & PENNSYLVANIA  
7500 INDIAN SCHOOL RD. NE  
ALBUQUERQUE, NM, 87110

REVISIONS



DRAWN BY	D/P/S
REVIEWED BY	D/P/S
DATE	12.18.2020
PROJECT NO.	19-0087
DRAWING NAME	

LANDSCAPE  
PLAN

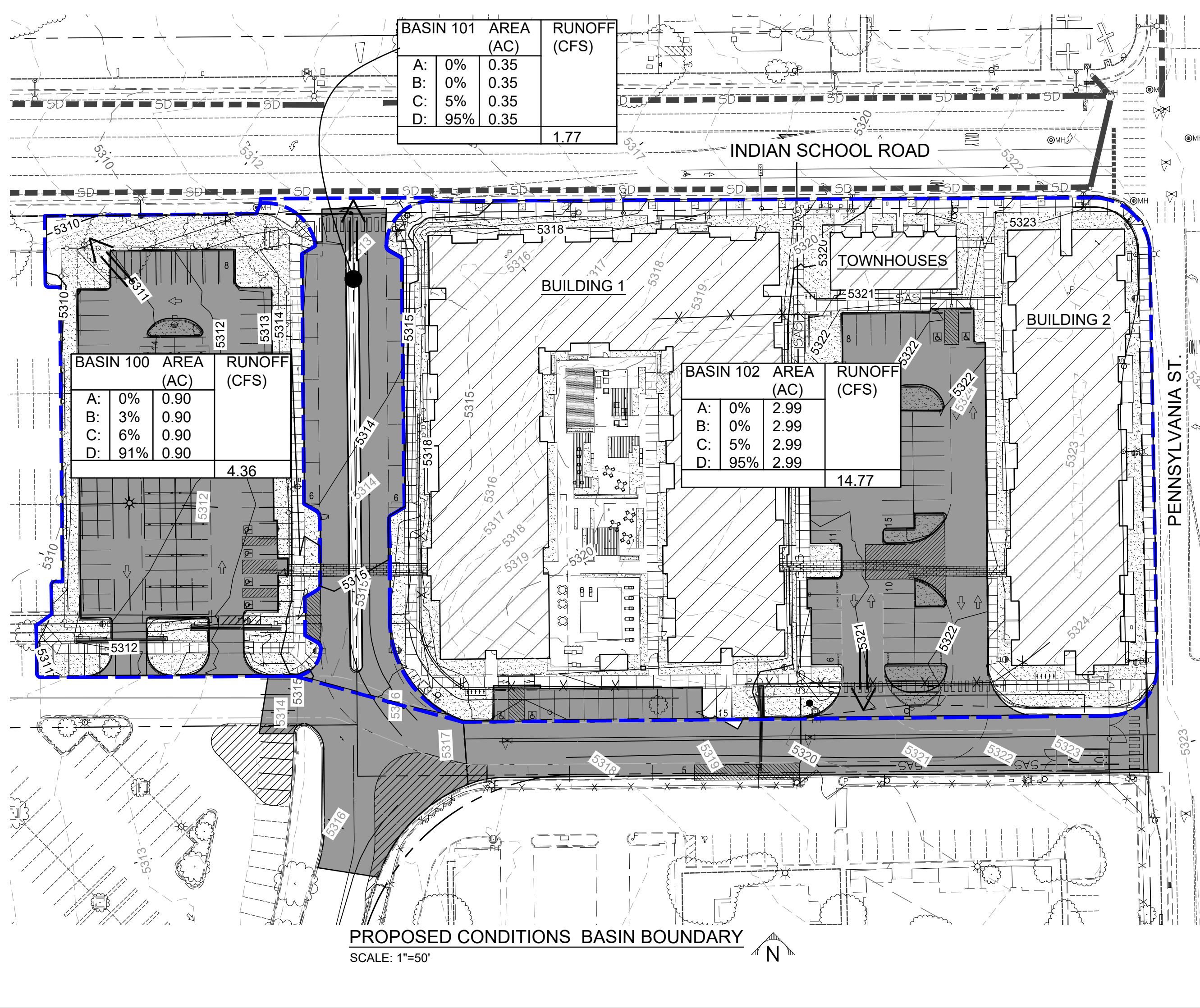
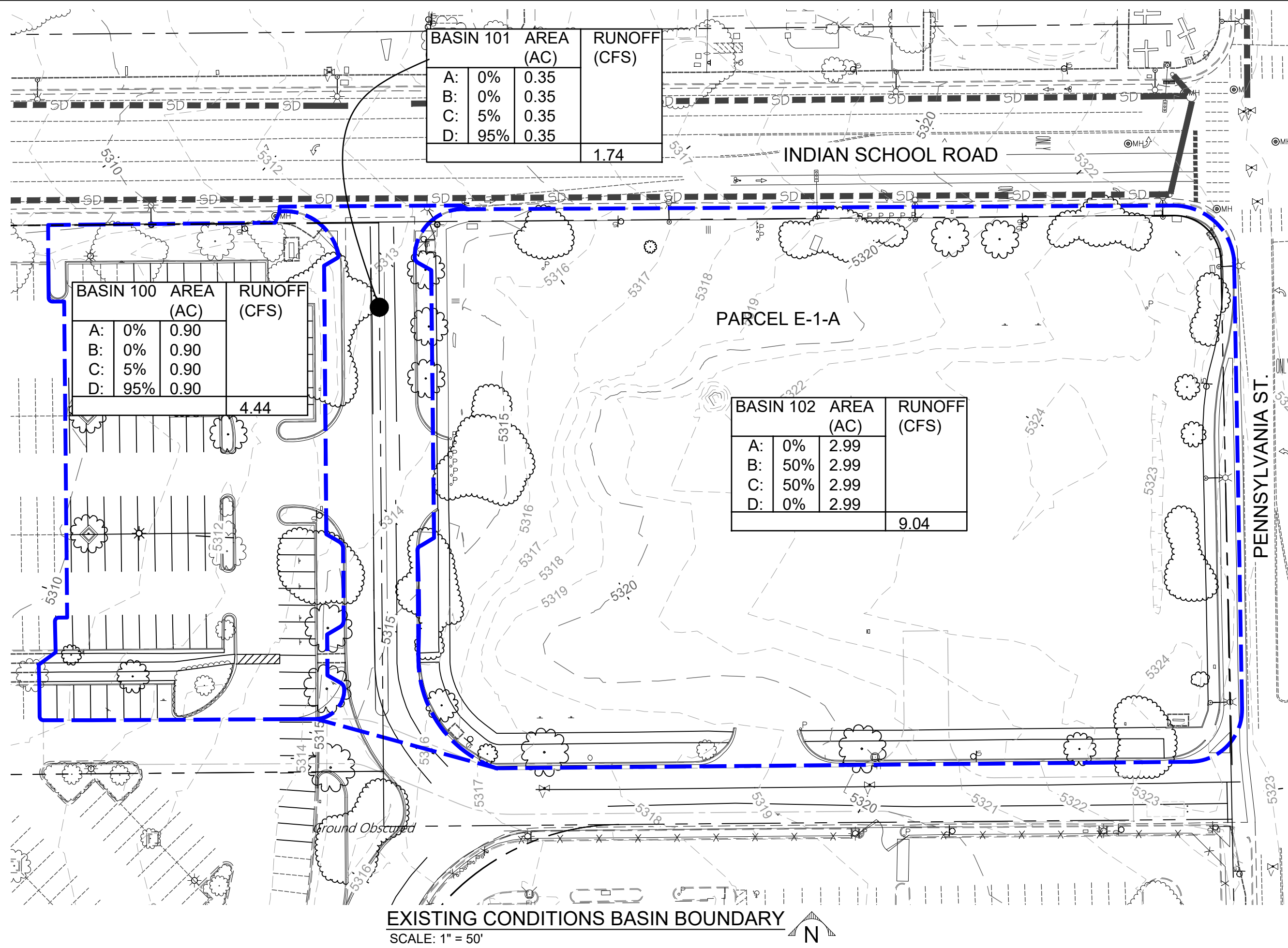
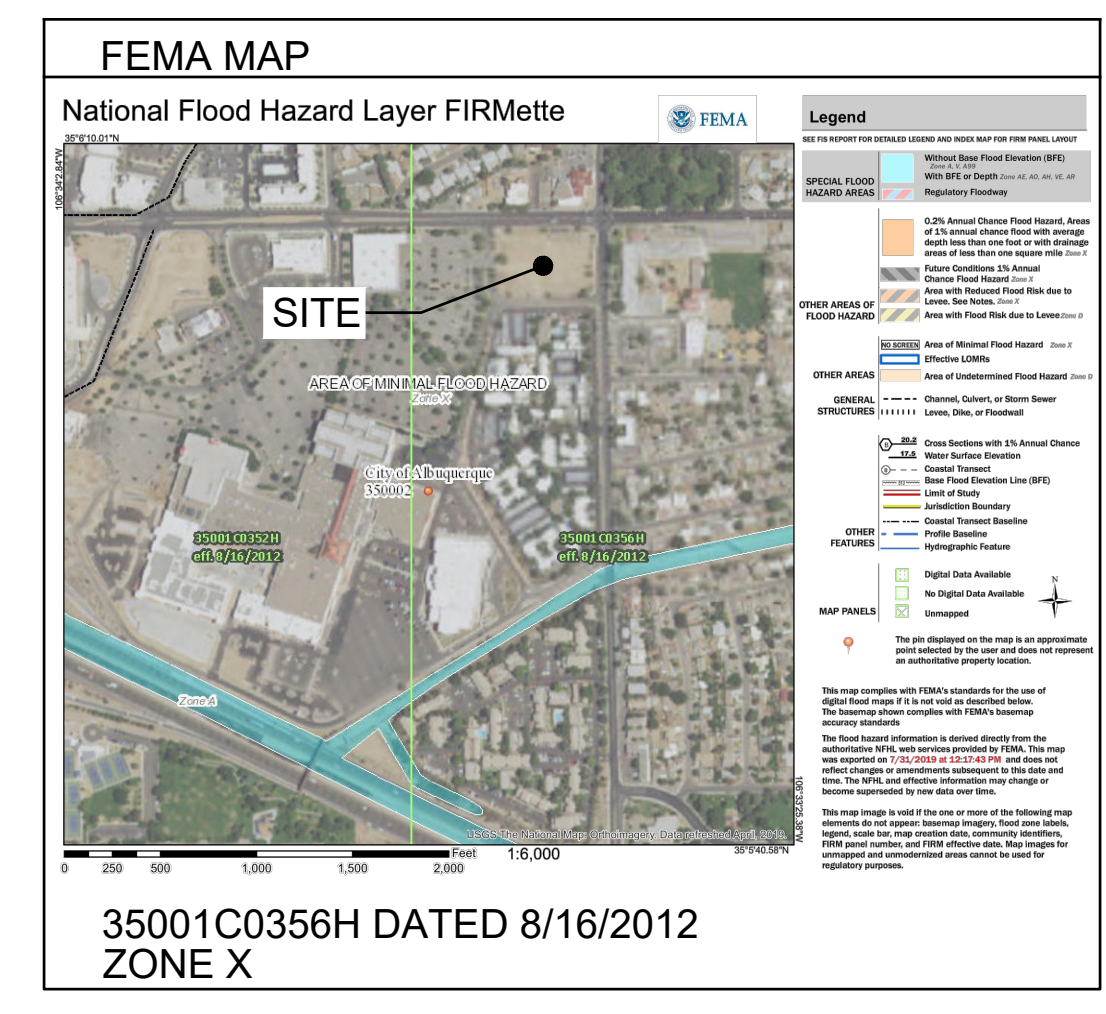
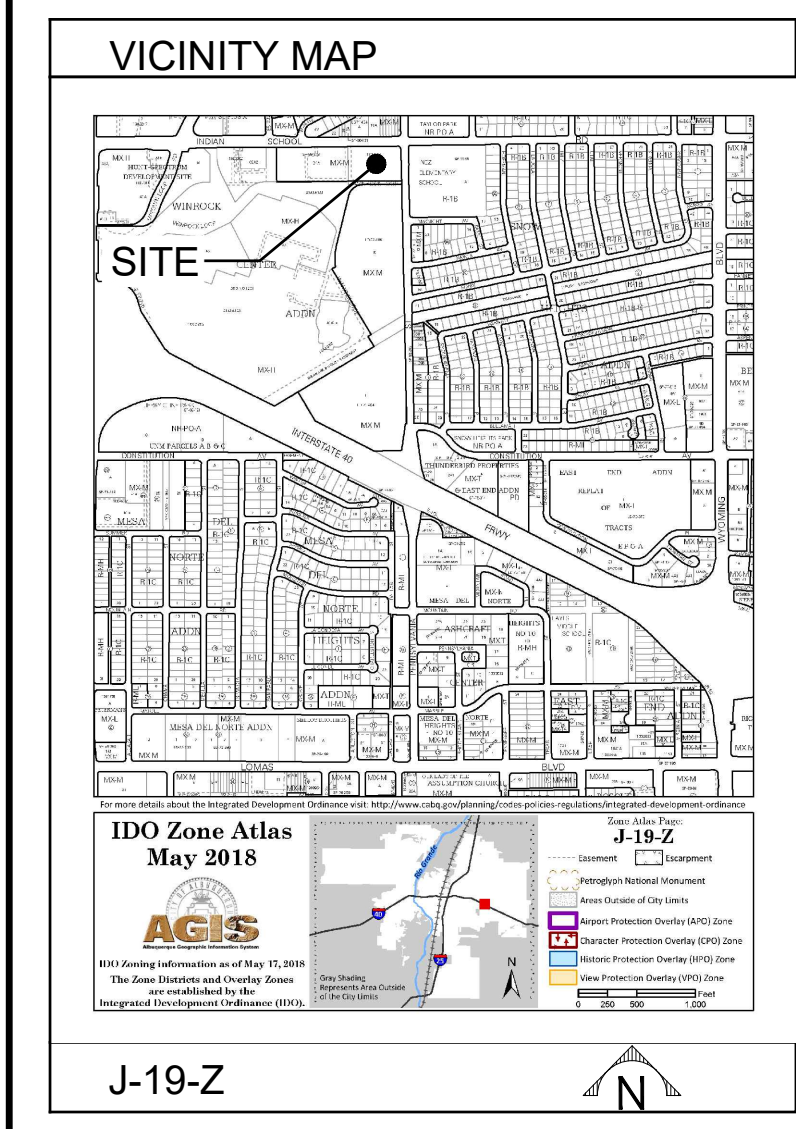
SHEET NO.

SDP2.1

OF







**INTRODUCTION**  
This drainage report addresses the proposed drainage improvements to support development on Parcel E-1-A.

**FLOOD HAZARD ZONE**  
The site does not lie within a flood zone as shown on Flood Insurance Rate Map Number 35001C0352H, dated August 16, 2012. See Appendix A for the FEMA Flood Insurance Rate Map.

**RELATED REPORTS**  
This report references the Drainage Master Plan for Winrock Town Center (DMP) by Isaacson & Arfman, PA, dated June 26, 2015. The DMP provided analysis for Winrock Town Center plus Parcel D1-A and E-1-A Winrock Center Addition. All hydrology calculations were completed for the 100-year, 6-hour storm. The DMP defines allowable peak flowrates at major analysis points. This drainage study for the Multi-Family project on Parcel E-1-A will utilize hydrology calculations from the DMP.

This report also references the Winrock Town Center Drainage Implementation Plan (DIP) by Huitt-Zollars, Inc., dated May 23, 2019.

**JURISDICTIONS OF PUBLIC AGENCIES**  
This project is located entirely within the City of Albuquerque (CoA) Municipal Limits and is therefore within their jurisdiction and must comply with the City's development requirements.

**METHODOLOGY**  
This drainage report follows procedures outlined in the Development Process Manual, Chapter 22, by City of Albuquerque (DPM). This report will utilize hydrology calculations from the DMP.

**EXISTING CONDITIONS**  
Parcel E-1-A is undeveloped.

Winrock site is a complex of buildings that includes the main mall, a number of outlying restaurants, Chuzo, and movie theater. The existing mall building is composed of a number of individual buildings that were closed by an overall structure. The site is approximately 80 acres which is approximately 88% impervious. As previously studied in recent drainage reports, the site has multiple drainage outfalls which are summarized below and shown on Exhibit 1 of the Winrock Town Center Drainage Implementation Plan:

- AP-A - Discharge flowrate = 81.9 CFS
- AP-B - Discharge flowrate = 123.4 CFS
- AP-C - Discharge flowrate = 15.5 CFS
- AP-D - Discharge flowrate = 120.1 CFS
- AP-E - Discharge flowrate = 5.5 CFS
- AP-F - Discharge flowrate = 12.9 CFS
- AP-G - Discharge flowrate = 81.1 CFS

**PROPOSED CONDITIONS**  
Construction limits of this project are shown on the Vicinity Map to the left. Basin Maps are shown on this sheet. Existing basins delineated from the DMP are used for this report. This project discharges onto Indian School Road, Analysis Point G (AP-G) of the DMP. AP-G flowrate is 81.1 cfs which includes developed land treatments for this parcel, Parcel E-1-A Winrock Center Addition.

**STORM WATER QUALITY**  
Storm water quality shall be provided within depressed parking islands. Payment-in-Lieu shall be made to the City of Albuquerque for the difference between the required water quality pond capacity and the provided water quality pond capacity.

**STORM WATER QUALITY VOLUME**  
Project Pavements Area = 84,800 sf  
Required Storm Water Quality Volume = 84,800 sf \* (0.26"/12) = **1,838 cf.**

**PUBLIC STORM DRAINAGE INFRASTRUCTURE**  
This project does not require any public drainage infrastructure improvements.

**LEGEND**

- ← DISCHARGE LOCATION
- FLOW DIRECTION
- BASIN BOUNDARY

**EARTHWORK SUMMARY**

CUT: 4,425 CUBIC YARDS  
FILL: 2,800 CUBIC YARDS  
NET: 1,625 CUBIC YARDS (EXPORT)

Designed By:  
**HUITT-ZOLLARS**  
Huitt-Zollars, Inc.  
6501 Americas Parkway NE, Suite 550  
Albuquerque, New Mexico 87110  
Phone (505) 883-8114 Fax (505) 883-5022

**THE LOFTS @ WINROCK**  
7500 INDIAN SCHOOL ROAD NE  
ALBUQUERQUE, NM

TITLE: **DRAINAGE PLAN**

Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
XXXX.XX	J-19	C100	3

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	FOUND MONUMENT "LH19A"	DATE	FIELD NOTES	NO.	BY	REVISIONS
WORK ORDER NO.	DATE	A CITY OF ALBUQUERQUE BRASS DISK SET IN A CONCRETE POST	DATE				DESIGN
INSPECTOR'S ACCEPTANCE BY	DATE	0.1 FEET BELOW GROUND LEVEL AND IS STAMPED "LH19A, 1989"	DATE				DATE: November 30, 2020
VERIFICATION BY	DATE	X = 1483076.47	DATE				DATE: November 30, 2020
COMPARISON BY	DATE	ELEVATION IS 5226.611 (NAD 1988)	DATE				DATE: November 30, 2020
RECORDED BY	DATE		DATE				

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 Last Saved: 11/30/2020 1:58:07 PM acs@hzi.com

**DRAINAGE AREA 100**  
 AREA = 39,133 sf  
 AREA = 0.90 ac.

**DRAINAGE ZONE 3**  
 PRECIPITATION: 360 = 2.60 in.  
 1140 = 3.10 in.  
 10day = 4.90 in.

EXCESS PRECIPITATION: PEAK DISCHARGE:

TREATMENT A	0.66 in.	1.87 cfs/ac.
TREATMENT B	0.92 in.	2.60 cfs/ac.
TREATMENT C	1.29 in.	3.45 cfs/ac.
TREATMENT D	2.36 in.	5.02 cfs/ac.

EXISTING CONDITIONS:		PROPOSED CONDITIONS:	
% AREA	% AREA	% AREA	% AREA
TREATMENT A 0%	0.00 ac.	0%	0.00 ac.
TREATMENT B 0%	0.00 ac.	3%	0.03 ac.
TREATMENT C 5%	0.04 ac.	6%	0.05 ac.
TREATMENT D 95%	0.85 ac.	91%	0.82 ac.

**EXISTING EXCESS PRECIPITATION:**

$$\text{Weighted E} = (0.66 \times 0.00) + (0.92 \times 0.00) + (1.29 \times 0.04) + (2.36 \times 0.85) = 2.31 \text{ in.}$$

$$V_{100-360} = (2.31 \times 0.90) \times 12 = 0.172674 \text{ ac-ft} = 7522 \text{ cf}$$

**EXISTING PEAK DISCHARGE:**

$$Q_{100} = (1.87 \times 0.00) + (2.60 \times 0.00) + (3.45 \times 0.04) + (5.02 \times 0.85) = 4.44 \text{ cfs}$$

**PROPOSED EXCESS PRECIPITATION:**

$$\text{Weighted E} = (0.66 \times 0.00) + (0.92 \times 0.03) + (1.29 \times 0.05) + (2.36 \times 0.82) = 2.25 \text{ in.}$$

$$V_{100-360} = (2.25 \times 0.90) \times 12 = 0.168639 \text{ ac-ft} = 7346 \text{ cf}$$

$$V_{100-1440} = (0.17 \times 0.82) \times (3.10 - 2.60) \times 12 = 0.202702 \text{ ac-ft} = 8830 \text{ cf}$$

$$V_{100-10day} = (0.17 \times 0.82) \times (4.90 - 2.60) \times 12 = 0.325330 \text{ ac-ft} = 14171 \text{ cf}$$

**PROPOSED PEAK DISCHARGE:**

$$Q_{100} = (1.87 \times 0.00) + (2.60 \times 0.03) + (3.45 \times 0.05) + (5.02 \times 0.82) = 4.36 \text{ cfs}$$

**FIRST FLUSH VOLUME: CAPTURE AND MANAGE 0.26" OF RAINFALL**

$$V = 848 \text{ cf}$$

**DRAINAGE BASIN 101**  
 AREA = 15,319 sf  
 AREA = 0.35 ac.

**DRAINAGE ZONE 3**  
 PRECIPITATION: 360 = 2.60 in.  
 1140 = 3.10 in.  
 10day = 4.90 in.

EXCESS PRECIPITATION: PEAK DISCHARGE:

TREATMENT A	0.66 in.	1.87 cfs/ac.
TREATMENT B	0.92 in.	2.60 cfs/ac.
TREATMENT C	1.29 in.	3.45 cfs/ac.
TREATMENT D	2.36 in.	5.02 cfs/ac.

EXISTING CONDITIONS:		PROPOSED CONDITIONS:	
% AREA	% AREA	% AREA	% AREA
TREATMENT A 0%	0.00 ac.	0%	0.00 ac.
TREATMENT B 0%	0.00 ac.	0%	0.00 ac.
TREATMENT C 5%	0.02 ac.	0%	0.00 ac.
TREATMENT D 95%	0.33 ac.	100%	0.35 ac.

**EXISTING EXCESS PRECIPITATION:**

$$\text{Weighted E} = (0.66 \times 0.00) + (0.92 \times 0.00) + (1.29 \times 0.02) + (2.36 \times 0.33) = 2.31 \text{ in.}$$

$$V_{100-360} = (2.31 \times 0.35) \times 12 = 0.067595 \text{ ac-ft} = 2944 \text{ cf}$$

**EXISTING PEAK DISCHARGE:**

$$Q_{100} = (1.87 \times 0.00) + (2.60 \times 0.00) + (3.45 \times 0.02) + (5.02 \times 0.33) = 1.74 \text{ cfs}$$

**PROPOSED EXCESS PRECIPITATION:**

$$\text{Weighted E} = (0.66 \times 0.00) + (0.92 \times 0.00) + (1.29 \times 0.00) + (2.36 \times 0.35) = 2.36 \text{ in.}$$

$$V_{100-360} = (2.36 \times 0.35) \times 12 = 0.069163 \text{ ac-ft} = 3013 \text{ cf}$$

$$V_{100-1440} = (0.07 \times 0.35) \times (3.10 - 2.60) \times 12 = 0.083816 \text{ ac-ft} = 3651 \text{ cf}$$

$$V_{100-10day} = (0.07 \times 0.35) \times (4.90 - 2.60) \times 12 = 0.136567 \text{ ac-ft} = 5949 \text{ cf}$$

**PROPOSED PEAK DISCHARGE:**

$$Q_{100} = (1.87 \times 0.00) + (2.60 \times 0.00) + (3.45 \times 0.00) + (5.02 \times 0.35) = 1.77 \text{ cfs}$$

**FIRST FLUSH VOLUME: CAPTURE AND MANAGE 0.34" OF RAINFALL**

$$V = 434 \text{ cf}$$

**DRAINAGE BASIN 102**  
 AREA = 130,175 sf  
 AREA = 2.99 ac.

**DRAINAGE ZONE 3**  
 PRECIPITATION: 360 = 2.60 in.  
 1140 = 3.10 in.  
 10day = 4.90 in.

EXCESS PRECIPITATION: PEAK DISCHARGE:

TREATMENT A	0.66 in.	1.87 cfs/ac.
TREATMENT B	0.92 in.	2.60 cfs/ac.
TREATMENT C	1.29 in.	3.45 cfs/ac.
TREATMENT D	2.36 in.	5.02 cfs/ac.

EXISTING CONDITIONS:		PROPOSED CONDITIONS:	
% AREA	% AREA	% AREA	% AREA
TREATMENT A 0%	0.00 ac.	0%	0.00 ac.
TREATMENT B 50%	1.49 ac.	0%	0.00 ac.
TREATMENT C 50%	1.49 ac.	5%	0.15 ac.
TREATMENT D 0%	0.00 ac.	95%	2.84 ac.

**EXISTING EXCESS PRECIPITATION:**

$$\text{Weighted E} = (0.66 \times 0.00) + (0.92 \times 1.49) + (1.29 \times 1.49) + (2.36 \times 0.00) = 1.11 \text{ in.}$$

$$V_{100-360} = (1.11 \times 2.99) \times 12 = 0.275182 \text{ ac-ft} = 11987 \text{ cf}$$

**EXISTING PEAK DISCHARGE:**

$$Q_{100} = (1.87 \times 0.00) + (2.60 \times 1.49) + (3.45 \times 1.49) + (5.02 \times 0.00) = 9.04 \text{ cfs}$$

**PROPOSED EXCESS PRECIPITATION:**

$$\text{Weighted E} = (0.66 \times 0.00) + (0.92 \times 0.00) + (1.29 \times 0.15) + (2.36 \times 2.84) = 2.31 \text{ in.}$$

$$V_{100-360} = (2.31 \times 2.99) \times 12 = 0.574397 \text{ ac-ft} = 25021 \text{ cf}$$

$$V_{100-1440} = (0.57 \times 2.84) \times (3.10 - 2.60) \times 12 = 0.692688 \text{ ac-ft} = 30173 \text{ cf}$$

$$V_{100-10day} = (0.57 \times 2.84) \times (4.90 - 2.60) \times 12 = 1.118536 \text{ ac-ft} = 48723 \text{ cf}$$

**PROPOSED PEAK DISCHARGE:**

$$Q_{100} = (1.87 \times 0.00) + (2.60 \times 0.00) + (3.45 \times 0.15) + (5.02 \times 2.84) = 14.77 \text{ cfs}$$

**FIRST FLUSH VOLUME: CAPTURE AND MANAGE 0.34" OF RAINFALL**

$$V = 3,688 \text{ cf}$$

HYDROLOGY - DRB

Designed By:  
**HUITT-ZOLLARS**  
 Huitt-Zollars, Inc. Albuquerque  
 6501 Americas Parkway NE, Suite 550  
 Albuquerque, New Mexico 87110  
 Phone (505) 883-8114 Fax (505) 883-5022

**THE LOFTS @ WINROCK**  
 7500 INDIAN SCHOOL ROAD NE  
 ALBUQUERQUE, NM

TITLE: **HYDROLOGY**

Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. **XXXX.XX** Zone Map No. **J-19** Sheet **C101** Of **3**

SHEET \_\_\_\_\_

SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
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		0.1 FEET BELOW GROUND LEVEL AND IS STAMPED "1-H19A, 1989"	INSPECTOR'S ACCEPTANCE BY	DATE	DATE
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		Y = 1483076.47	COMPLETED BY	DATE	DATE
		ELEVATION IS 5236.811 (NAD 1988)	MICRO-FILM INFORMATION	DATE	DATE
			RECORDED BY	DATE	DATE
			NO.		

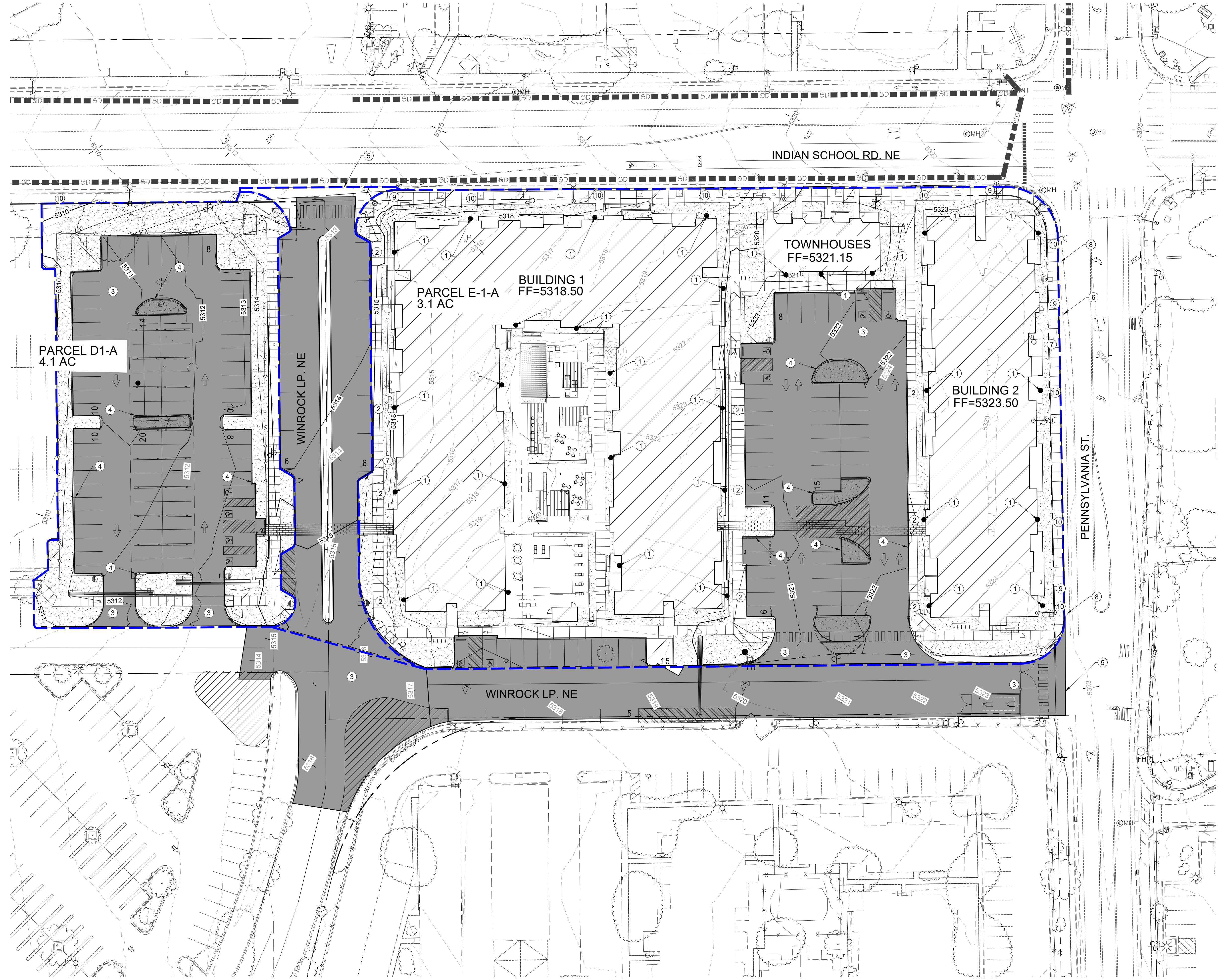
ENGINEER'S SEAL

NO.	DATE	REVISIONS	BY
		DESIGN	

DESIGNED BY: SE DATE: November 30, 2020  
 DRAWN BY: LT DATE: November 30, 2020  
 DWG NAME: C100.dwg  
 CHECKED BY: NV DATE: November 30, 2020



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- CONSTRUCTION NOTES**
- ① ROOF DRAIN - INSTALL SPLASH BLOCK AND GRADE TO DRAIN
  - ② NEW PRIVATE SIDEWALK CULVERT.
  - ③ NEW PRIVATE PAVEMENT - 3" SP-C ASPHALT.
  - ④ NEW PRIVATE MEDIAN CURB AND GUTTER.
  - ⑤ EXISTING VALLEY GUTTER TO REMAIN.
  - ⑥ REMOVE EXISTING VALLEY GUTTER.
  - ⑦ REMOVE AUXILIARY LANE.
  - ⑧ NEW STANDARD CURB AND GUTTER.
  - ⑨ NEW PUBLIC SIDEWALK.
  - ⑩ NEW PUBLIC SIDEWALK CULVERT.

**GRADING PLAN**  
 SCALE: 1"=30'

**HYDROLOGY - DRB**

Designed By:  
**HUIT-ZOLIARS**  
 Huit-Zollars, Inc. Albuquerque  
 6501 Americas Parkway NE, Suite 550  
 Albuquerque, New Mexico 87110  
 Phone (505) 883-8114 Fax (505) 883-5022

**THE LOFTS @ WINROCK**  
 7500 INDIAN SCHOOL ROAD NE  
 ALBUQUERQUE, NM

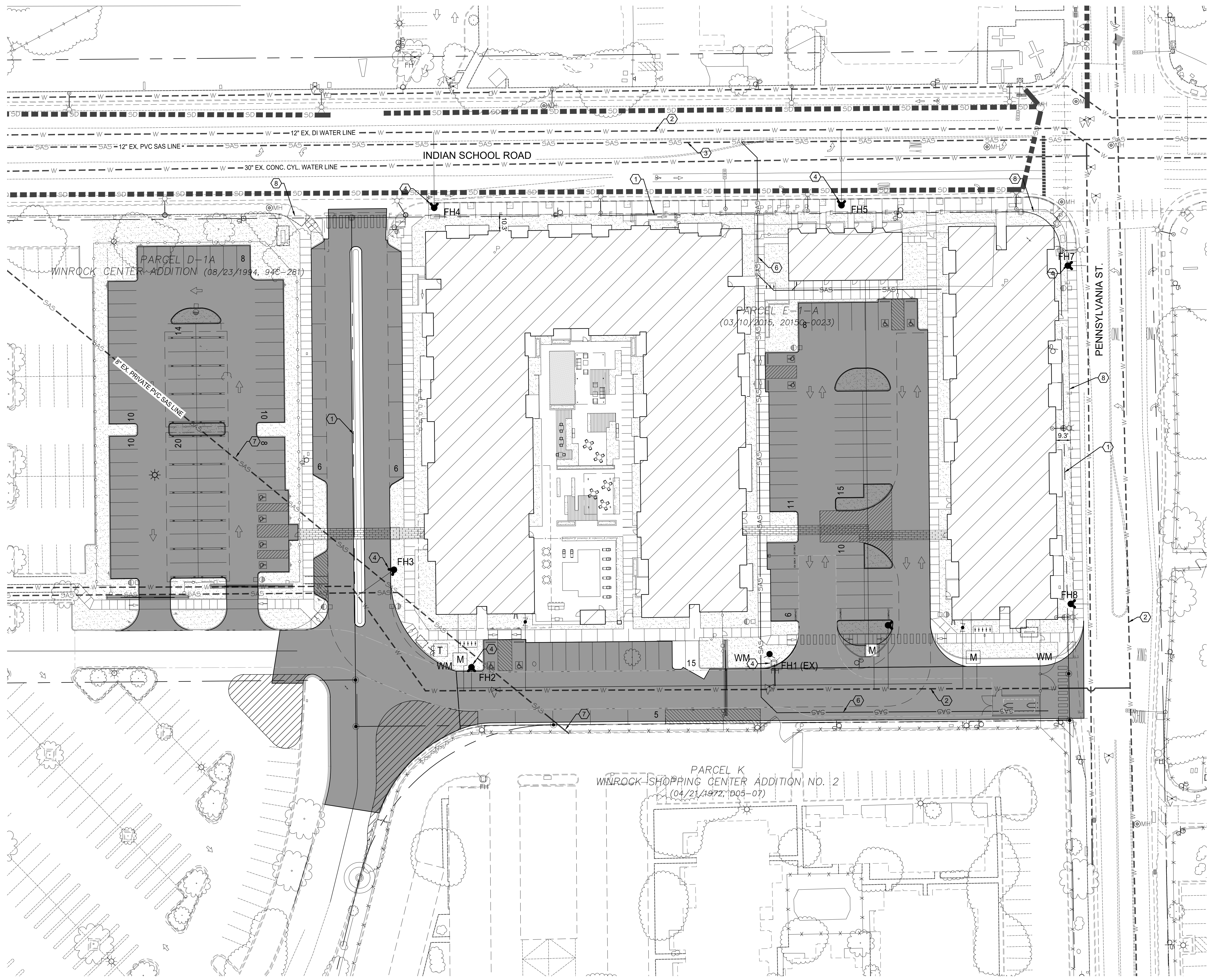
TITLE: **DRB GRADING PLAN**

Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
XXXX.XX	J-19	C102	3

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
		NO.	DATE	FOUND MONUMENT "LH19A"	CONTRACTOR	DATE	DATE
		REVISIONS	BY	A CITY OF ALBUQUERQUE BRASS DISK SET IN A CONCRETE POST	WORKED BY	DATE	DATE
DESIGNED BY: SE	DATE: November 30, 2020	NO.	DATE	0.1 FEET BELOW GROUND LEVEL AND IS STAMPED "LH19A, 1989".	INSPECTOR'S ACCEPTANCE BY	DATE	DATE
DRAWN BY: LT	DATE: November 30, 2020	NO.	DATE	X = 1548398.44	VERIFICATION BY	DATE	DATE
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		NO.	DATE		DATE	DATE	DATE

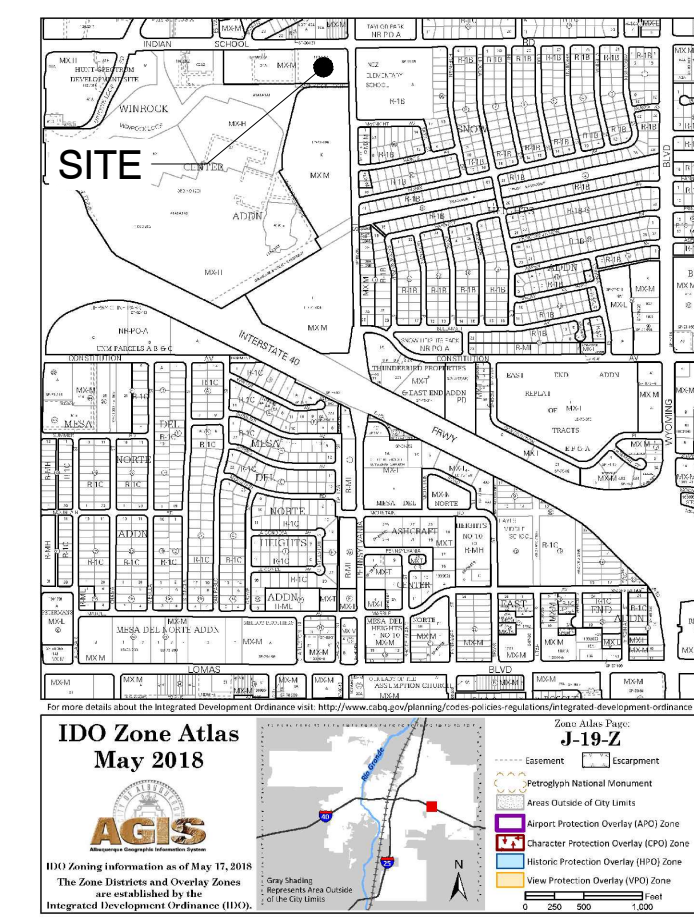


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 User: scott.erdings@huit-zollars.com  
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**CONCEPTUAL UTILITY PLAN**

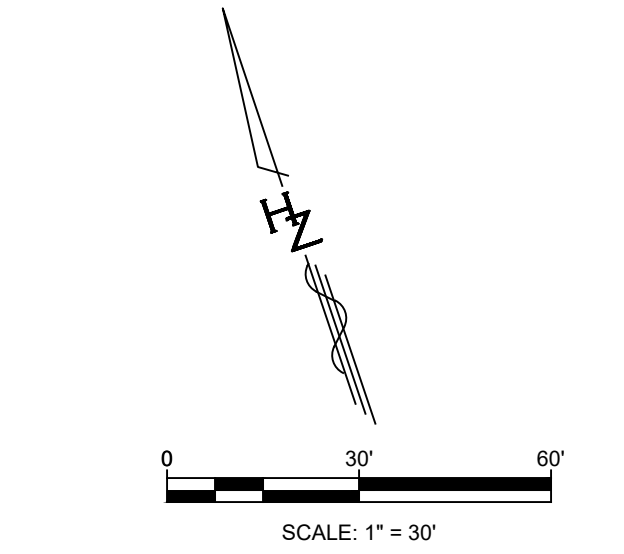
**VICINITY MAP**



**J-19**

**SHEET KEYED NOTES**

1. PROPERTY LINE
2. EXISTING PUBLIC WATER LINE
3. EXISTING SANITARY SEWER
4. PROPOSED PUBLIC FIRE HYDRANT
5. PROPOSED WATER METER
6. PROPOSED SANITARY SEWER YARD LINE
7. EXISTING PRIVATE SANITARY SEWER YARD LINE
8. EXISTING UNDERGROUND ELECTRIC LINE



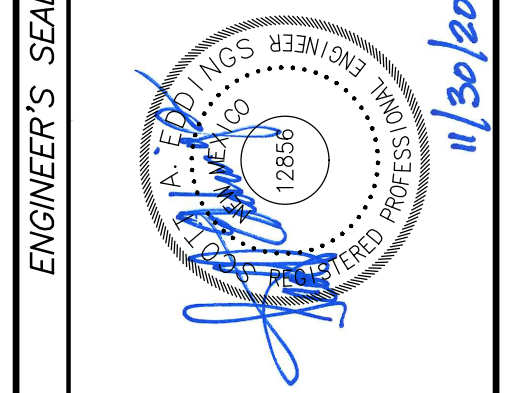
Designed By:  
**HUIT-ZOLLARS**  
 Huit-Zollars, Inc. Albuquerque  
 6501 Americas Parkway NE, Suite 550  
 Albuquerque, New Mexico 87110  
 Phone (505) 883-8114 Fax (505) 883-5022

**THE LOFTS @ WINROCK**  
 7500 INDIAN SCHOOL ROAD NE  
 ALBUQUERQUE, NM

TITLE: **CONCEPTUAL UTILITY PLAN**

Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
XXXX.XX	J-19	C200	

<b>AS BUILT INFORMATION</b>		CONTRACTOR	DATE
<b>BENCH MARKS</b>		WORK BY	DATE
<b>ENGINEER'S SEAL</b>		INSPECTOR'S ACCEPTANCE BY	DATE
<b>REVISIONS</b>		VERIFICATION BY	DATE
<b>DESIGN</b>		COMPARISON BY	DATE
<b>REVISIONS</b>		MICRO-FILM INFORMATION	DATE
<b>DESIGN</b>		RECORDED BY	DATE
<b>REVISIONS</b>		NO.	
<b>DESIGN</b>		NO.	



NO.	DATE	REMARKS	BY
DESIGNED BY: SE	DATE: November 30, 2020		
DRAWN BY: LT	DATE: November 30, 2020		
DWG NAME: C200.dwg			
CHECKED BY: NV	DATE: November 30, 2020		

DRB	City Project No.	Zone Map No.	Sheet	Of
	XXXX.XX	J-19	C200	



**GENERAL SHEET NOTES**

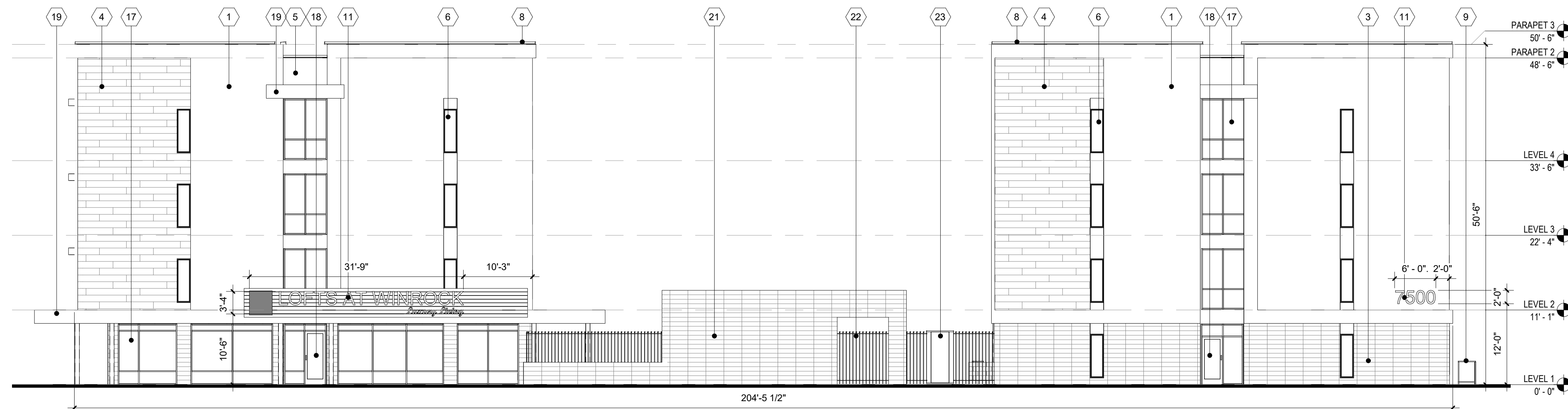
1. ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD, UNLESS NOTED OTHERWISE
2. BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING COLORS LIT FROM DUSK UNTIL DAWN AS WELL AS DAYLIGHT HOURS, PER 2009 IFC, MOUNT AT 15'-0" ABOVE FINISHED FLOOR
3. MECHANICAL EQUIPMENT IS ROOF MOUNTED AND SCREENED FROM VIEW BY THE BUILDING PARAPET.
4. ROOF DRAINAGE BY WAY OF INTERNAL ROOF DRAINS (EXTERNAL DOWNSPOUTS AS REQUIRED FOR DESIGN OPTION).

**KEYNOTES**

1. STUCCO FINISH (COLOR 1)
2. STUCCO FINISH (COLOR 2)
3. BRICK VENEER
4. WOOD LOOK CLADDING
5. METAL PANEL
6. VINYL WINDOW
7. STEEL WINDOW SHADE (OPTIONAL)
8. PREFINISHED METAL COPING
9. STEEL GUARDRAIL, PAINTED
10. STUCCO CONTROL JOINT
11. BUILDING IDENTIFICATION SIGNAGE
12. JULIET BALCONY, PAINTED
13. EXTERIOR STAIR
14. FULL LITE ATRIUM DOOR
15. HOSE BIB
16. FIRE DEPARTMENT CONNECTION
17. CLEAR ANODIZED ALUMINUM STOREFRONT
18. FULL LITE STOREFRONT DOOR
19. STEEL ENTRY SUNSHADE
20. SLIDING GLASS DOOR
21. CAST CONCRETE OR C.M.U., FINISH T.B.D.
22. SITE FENCE
23. ACCESS GATE

**LEGEND**

	STUCCO FINISH (COLOR 1)		CAST CONCRETE OR C.M.U., FINISH T.B.D.
	STUCCO FINISH (COLOR 2)		
	WOOD LOOK CLADDING		
	BRICK VENEER		



**C1 SOUTH ELEVATION - BUILDING A**  
Scale: 3/32" = 1'-0"



**B1 NORTH ELEVATION - BUILDING A**  
Scale: 3/32" = 1'-0"



**A1 WEST ELEVATION - BUILDING A**  
Scale: 3/32" = 1'-0"

**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION



SEAL

PROJECT

**APARTMENTS AT INDIAN SCHOOL &  
PENNSYLVANIA**  
7500 INDIAN SCHOOL RD NE  
ALBUQUERQUE, NM 87110

REVISIONS

- △
- △
- △
- △
- △

DRAWING NAME  
**EXTERIOR  
ELEVATIONS**

SHEET NO

**SDP5.1**

**GENERAL SHEET NOTES**

1. ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD, UNLESS NOTED OTHERWISE
2. BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING COLORS LIT FROM DUSK UNTIL DAWN AS WELL AS DAYLIGHT HOURS, PER 2009 IFC, MOUNT AT 15'-20" ABOVE FINISHED FLOOR
3. MECHANICAL EQUIPMENT IS ROOF MOUNTED AND SCREENED FROM VIEW BY THE BUILDING PARAPET.
4. ROOF DRAINAGE BY WAY OF INTERNAL ROOF DRAINS (EXTERNAL DOWNSPOUTS AS REQUIRED FOR DESIGN OPTION).

**KEYNOTES**

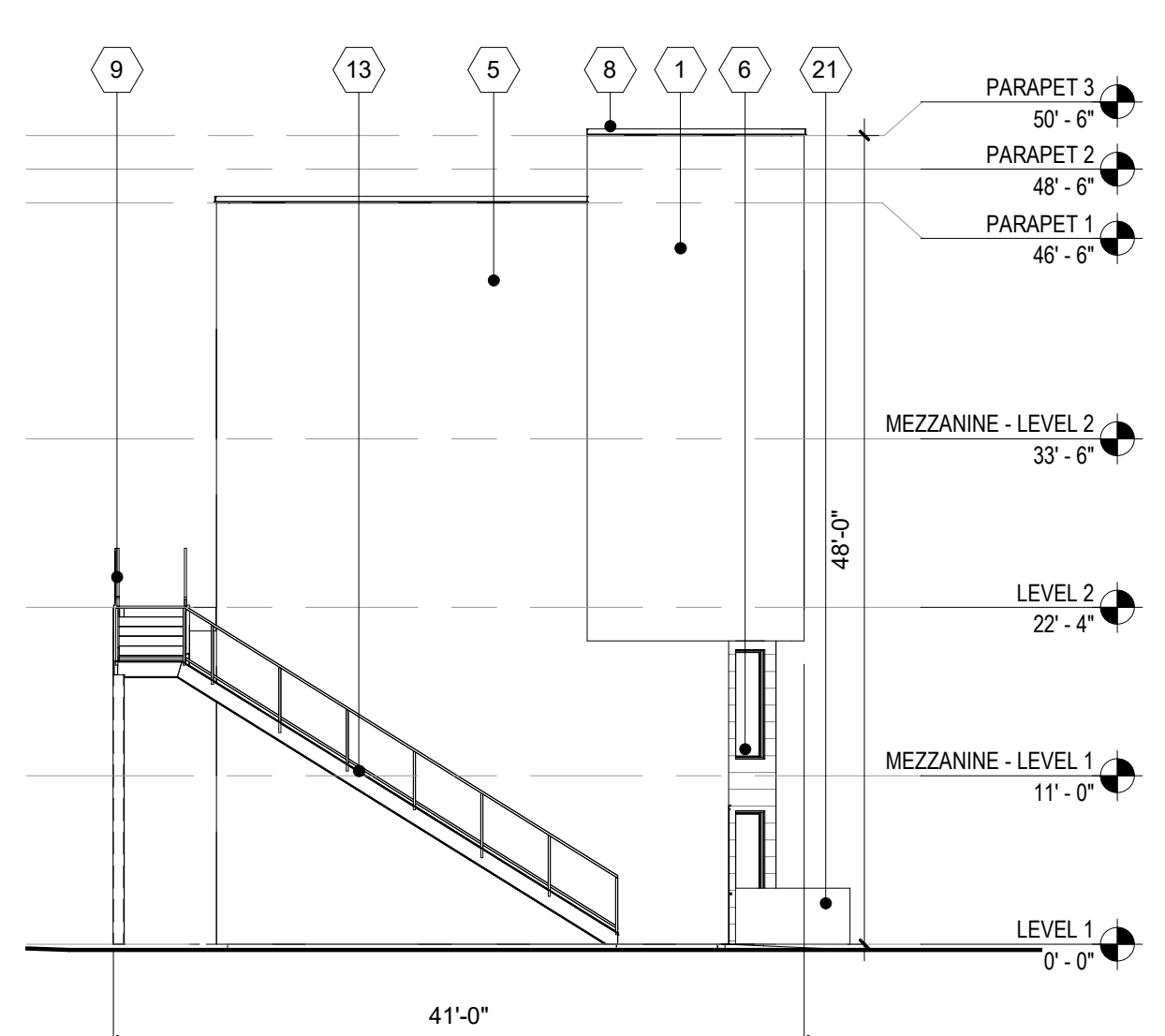
1. STUCCO FINISH (COLOR 1)
2. STUCCO FINISH (COLOR 2)
3. BRICK VENEER
4. WOOD LOOK CLADDING
5. METAL PANEL
6. VINYL WINDOW
7. STEEL WINDOW SHADE (OPTIONAL)
8. PREFINISHED METAL COPING
9. STEEL GUARDRAIL, PAINTED
10. STUCCO CONTROL JOINT
11. BUILDING IDENTIFICATION SIGNAGE
12. JULIET BALCONY, PAINTED
13. EXTERIOR STAIR
14. FULL LITE ATRIUM DOOR
15. HOSE BIB
16. FIRE DEPARTMENT CONNECTION
17. CLEAR ANODIZED ALUMINUM STOREFRONT
18. FULL LITE STOREFRONT DOOR
19. STEEL ENTRY SUNSHADE
20. SLIDING GLASS DOOR
21. CAST CONCRETE OR C.M.U., FINISH T.B.D.
22. SITE FENCE
23. ACCESS GATE

**LEGEND**

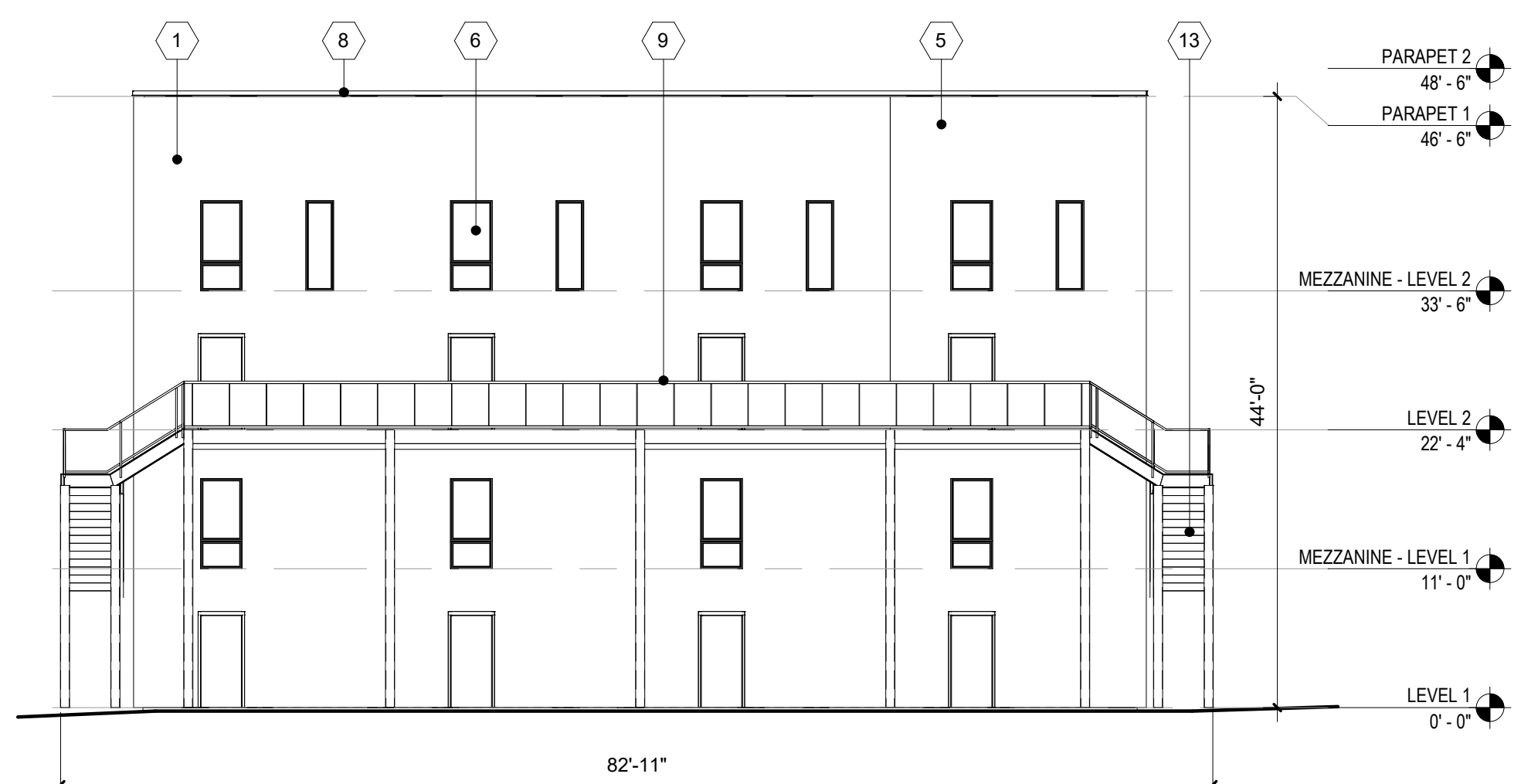
- STUCCO FINISH (COLOR 1)
- STUCCO FINISH (COLOR 2)
- WOOD LOOK CLADDING
- BRICK VENEER
- CAST CONCRETE OR C.M.U., FINISH T.B.D.



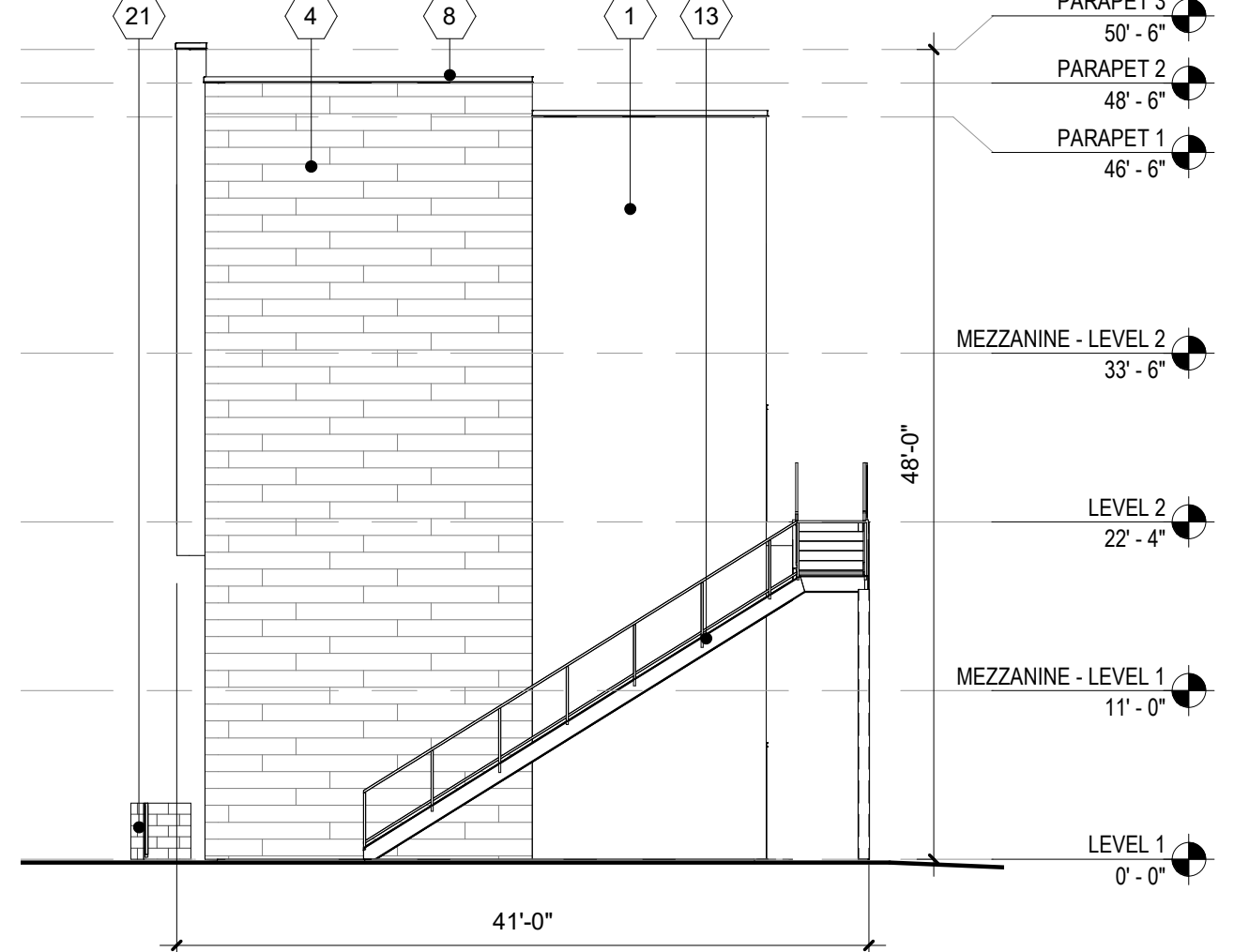
**C1 NORTH ELEVATION - BUILDING C**  
Scale: 3/32" = 1'-0"



**C3 EAST ELEVATION - BUILDING C**  
Scale: 3/32" = 1'-0"



**B1 SOUTH ELEVATION - BUILDING C**  
Scale: 3/32" = 1'-0"



**B3 WEST ELEVATION - BUILDING C**  
Scale: 3/32" = 1'-0"



**A1 EAST ELEVATION - BUILDING A**  
Scale: 3/32" = 1'-0"

**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION



SEAL

PROJECT

**APARTMENTS AT INDIAN SCHOOL &  
PENNSYLVANIA**  
7500 INDIAN SCHOOL RD NE  
ALBUQUERQUE, NM 87110

DRB

REVISIONS

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- △
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- △
- △

DRAWN BY	CWW
REVIEWED BY	RAW
DATE	12.18.2020
PROJECT NO:	19-0087

DRAWING NAME  
**EXTERIOR  
ELEVATIONS**

SHEET NO

**SDP5.2**

12/17/2020 1:54:23 PM



**GENERAL SHEET NOTES**

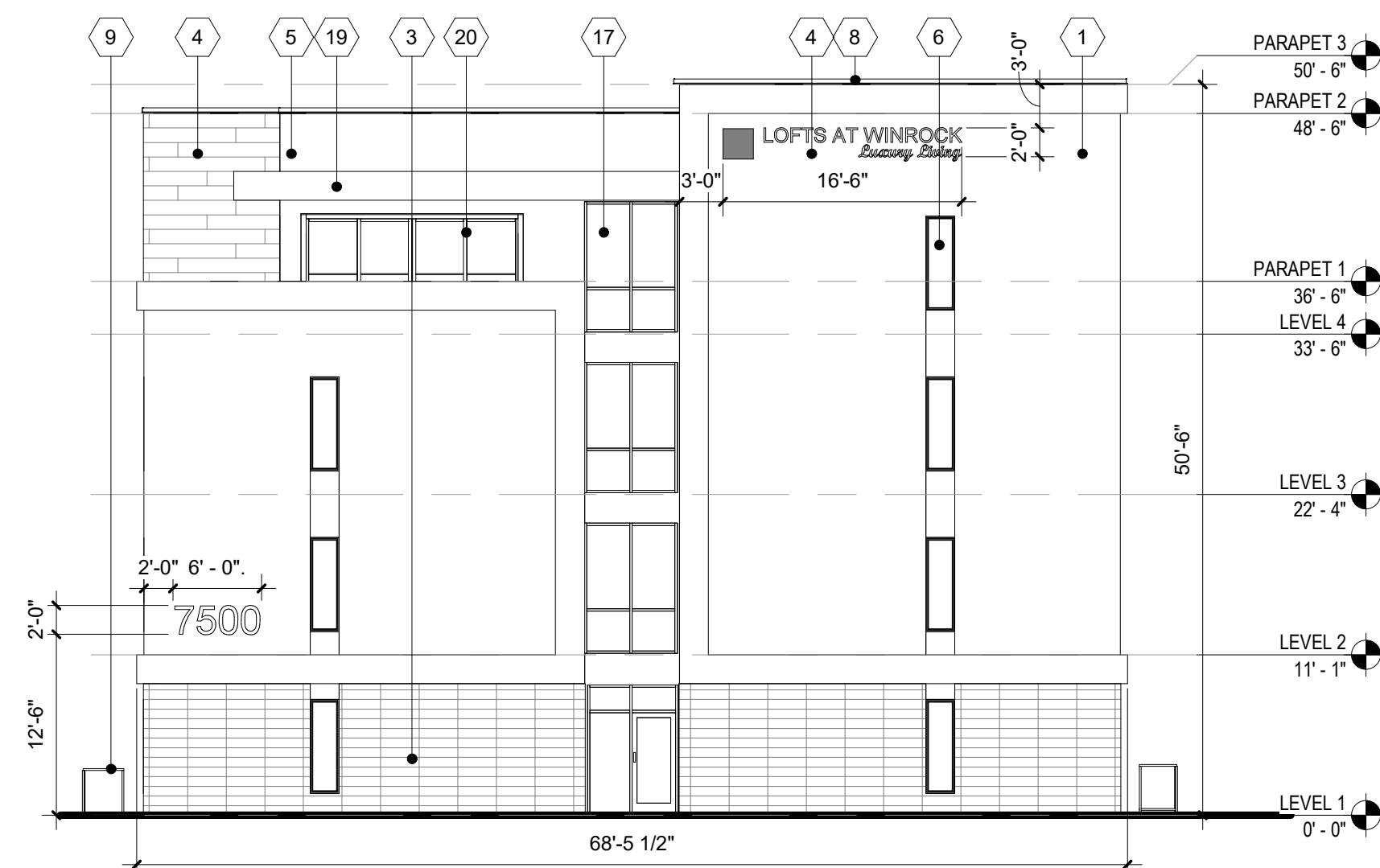
1. ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD, UNLESS NOTED OTHERWISE
2. BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING COLORS LIT FROM DUSK UNTIL DAWN AS WELL AS DAYLIGHT HOURS, PER 2009 IFC, MOUNT AT 15'-20" ABOVE FINISHED FLOOR
3. MECHANICAL EQUIPMENT IS ROOF MOUNTED AND SCREENED FROM VIEW BY THE BUILDING PARAPET.
4. ROOF DRAINAGE BY WAY OF INTERNAL ROOF DRAINS (EXTERNAL DOWNSPOUTS AS REQUIRED FOR DESIGN OPTION).

**KEYNOTES**

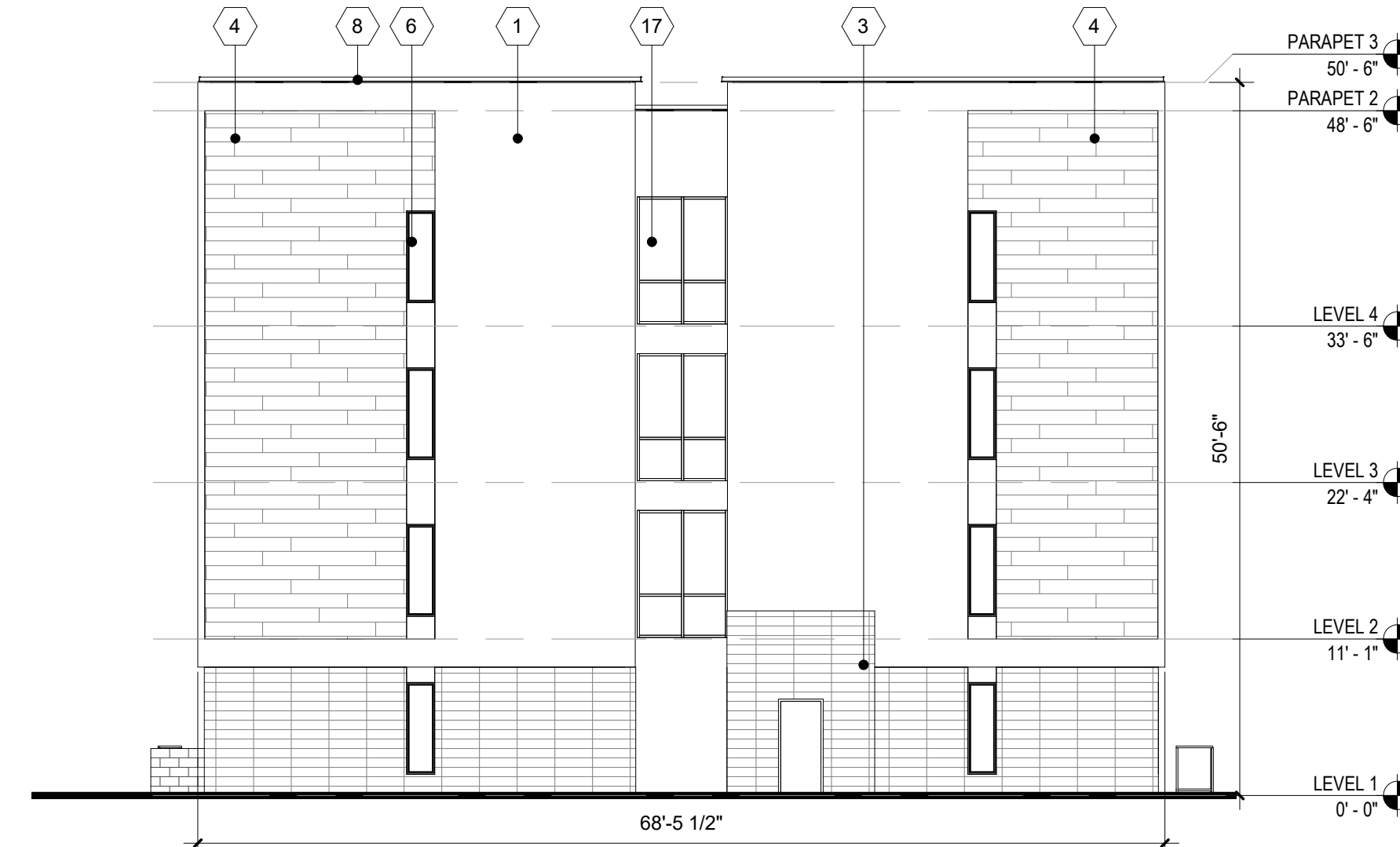
1. STUCCO FINISH (COLOR 1)
2. STUCCO FINISH (COLOR 2)
3. BRICK VENEER
4. WOOD LOOK CLADDING
5. METAL PANEL
6. VINYL WINDOW
7. STEEL WINDOW SHADE (OPTIONAL)
8. PREFINISHED METAL COPING
9. STEEL GUARDRAIL, PAINTED
10. STUCCO CONTROL JOINT
11. BUILDING IDENTIFICATION SIGNAGE
12. JULIET BALCONY, PAINTED
13. EXTERIOR STAIR
14. FULL LITE ATRIUM DOOR
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16. FIRE DEPARTMENT CONNECTION
17. CLEAR ANODIZED ALUMINUM STOREFRONT
18. FULL LITE STOREFRONT DOOR
19. STEEL ENTRY SUNSHADE
20. SLIDING GLASS DOOR
21. CAST CONCRETE OR C.M.U., FINISH T.B.D.
22. SITE FENCE
23. ACCESS GATE

**LEGEND**

- STUCCO FINISH (COLOR 1)
- STUCCO FINISH (COLOR 2)
- WOOD LOOK CLADDING
- BRICK VENEER
- CAST CONCRETE OR C.M.U., FINISH T.B.D.



**C1 NORTH ELEVATION - BUILDING B**  
3/32" = 1'-0"  
Scale: 3/32" = 1'-0"



**C3 SOUTH ELEVATION - BUILDING B**  
3/32" = 1'-0"  
Scale: 3/32" = 1'-0"



**B1 WEST ELEVATION - BUILDING B**  
3/32" = 1'-0"  
Scale: 3/32" = 1'-0"



**A1 EAST ELEVATION - BUILDING B**  
3/32" = 1'-0"  
Scale: 3/32" = 1'-0"

**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION



12/18/2020

SEAL

PROJECT

**APARTMENTS AT INDIAN SCHOOL &  
PENNSYLVANIA**

7500 INDIAN SCHOOL RD NE  
ALBUQUERQUE, NM 87110

DRB

REVISIONS

- △
- △
- △
- △
- △
- △

DRAWN BY	CWW
REVIEWED BY	RAW
DATE	12.18.2020
PROJECT NO:	19-0087

DRAWING NAME  
**EXTERIOR  
ELEVATIONS**

SHEET NO

**SDP5.3**



# **14 ORIGINAL APPROVED SITE PLAN**



## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

November 12, 2014

**Project# 1002202**

14DRB-70376 EXT OF PRELIMINARY PLAT

TIERRA WEST LLC agent(s) for WINROCK PARTNERS LLC C/O GOODMAN REALTY GROUP request(s) the above action(s) for all or a portion of Tract(s) PARCEL A-1-A-1 & E-1, **WINROCK CENTER ADDITION** zoned SU-3 MU-UPT, located on INDIAN SCHOOL RD NE BETWEEN LOUISIANA AND PENNSYLVANIA STREET NE containing approximately 61.09 acre(s). (J-19)

At the **November 12, 2014** Development Review Board meeting, an extension of the preliminary plat was approved to June 23, 2014.

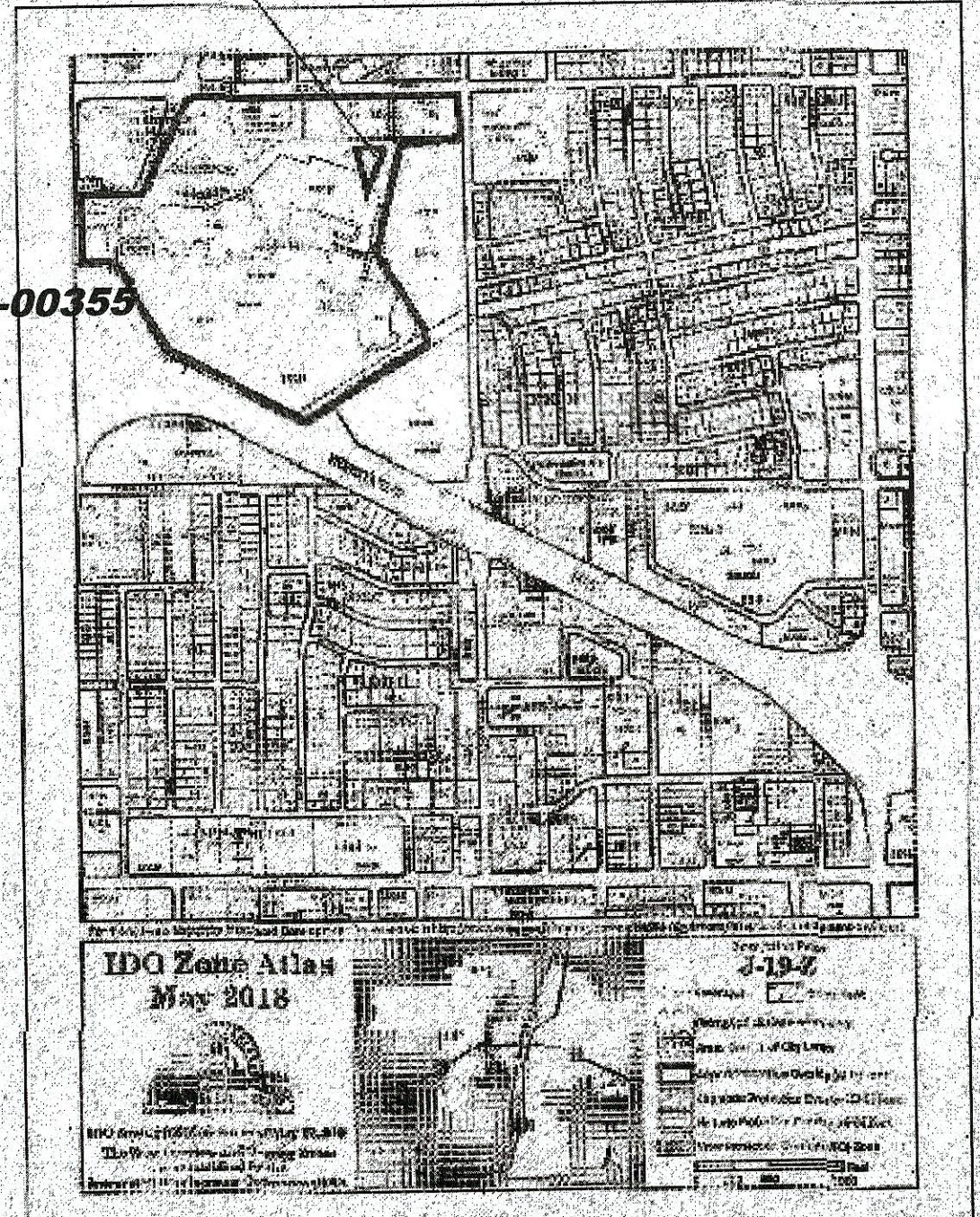
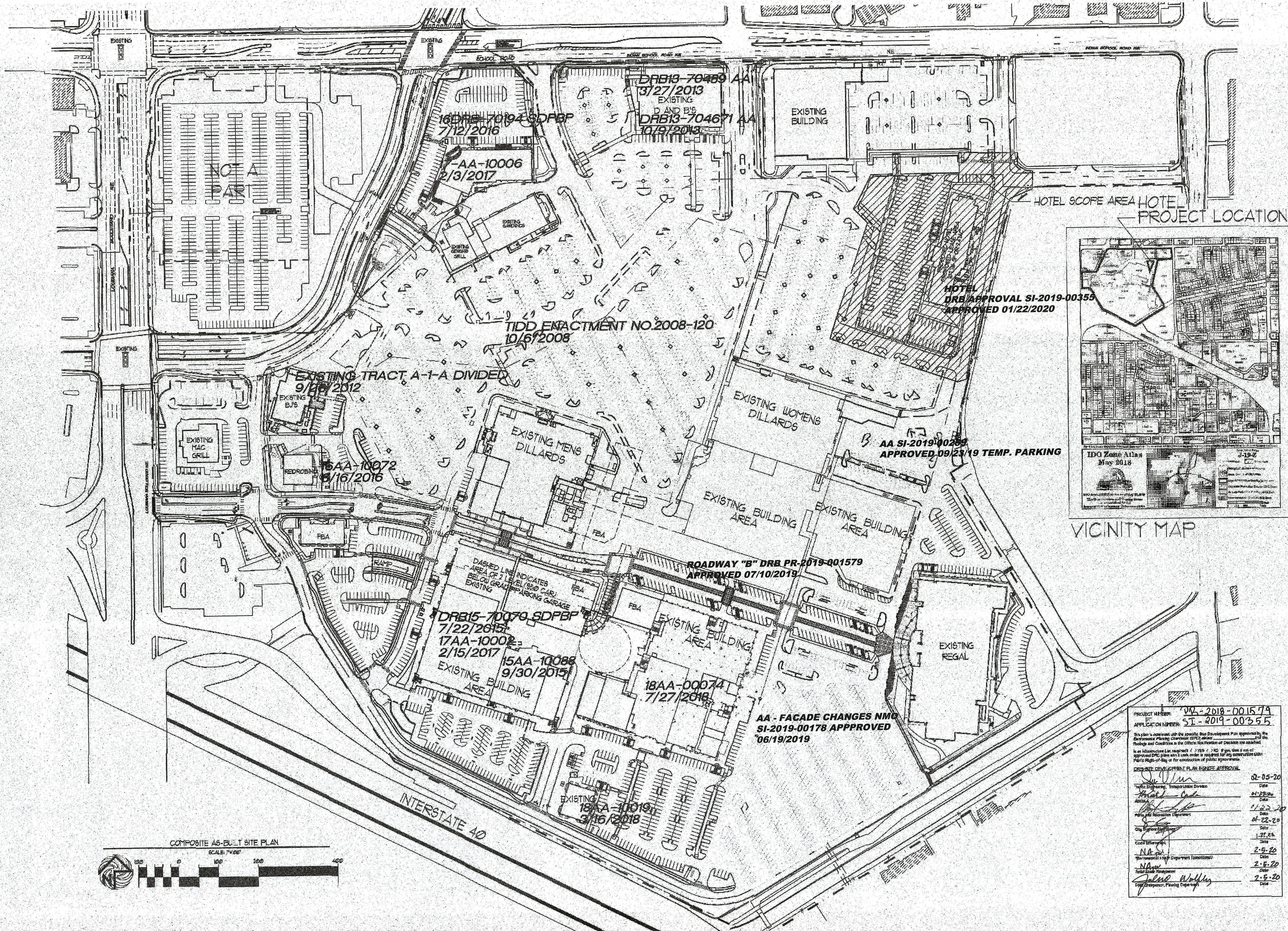
The conditions of final plat still apply.

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

A handwritten signature in black ink, appearing to read "Jack Cloud".

Jack Cloud, DRB Chair


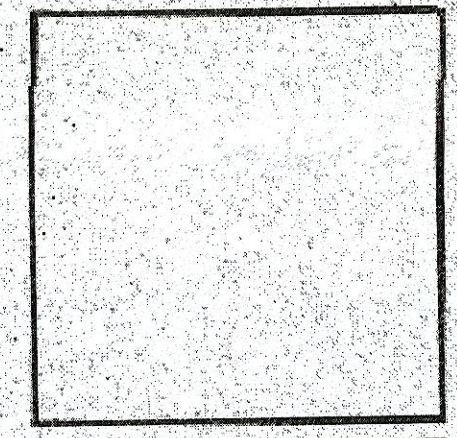




VICINITY MAP

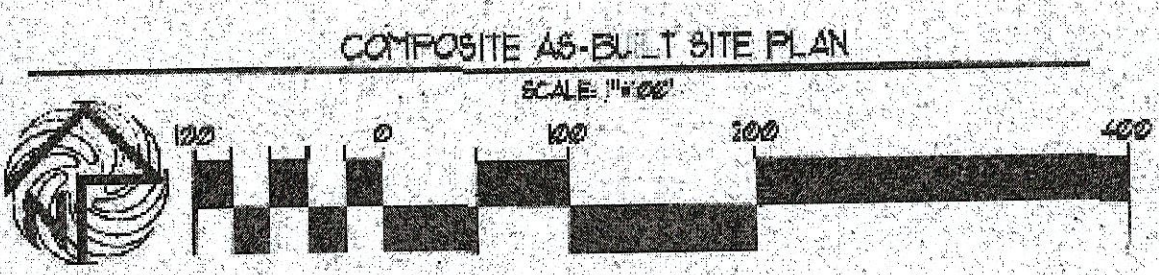
REV	DATE	BY	REVISION
1			
2			
3			
4			

**MODULUS ARCHITECTS**  
 100 SUN AVE. N.W. SUITE 805  
 ALBUQUERQUE, NEW MEXICO 87102  
 PHONE (505) 338-1499 FAX (505) 338-1498

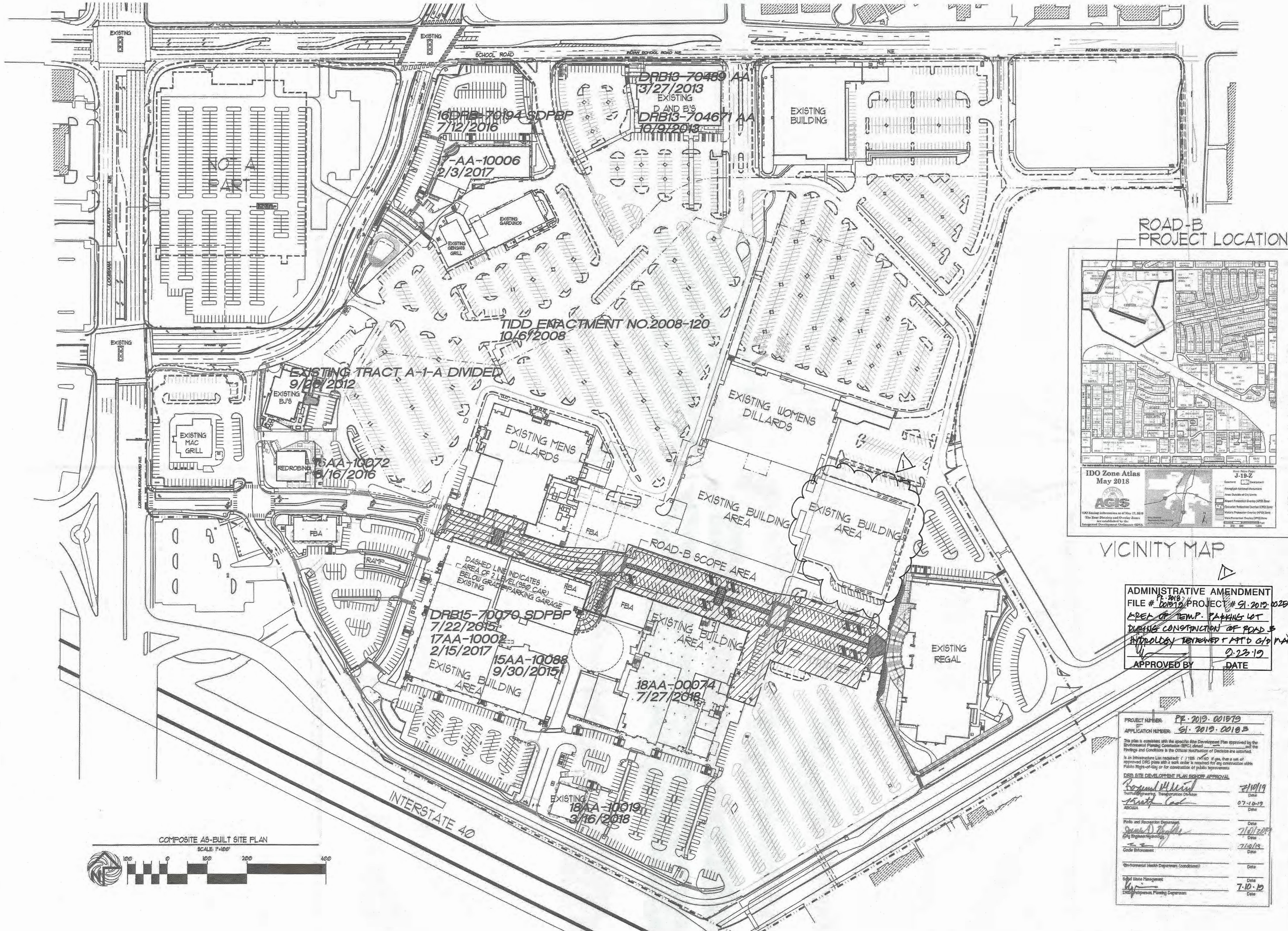



PROJECT TITLE WINROCK TOWN CENTER	DRAWN BY XXX
200 LOUISIANA BLVD ALBUQUERQUE, NEW MEXICO	JOB NO. WIN-ROAD
FRANCIS NUMBER STEPHEN DUNEAR, AIA	SHEET TITLE COMPOSITE AS-BUILT SITE PLAN
DATE 10/25/2019	SCALE SP-1

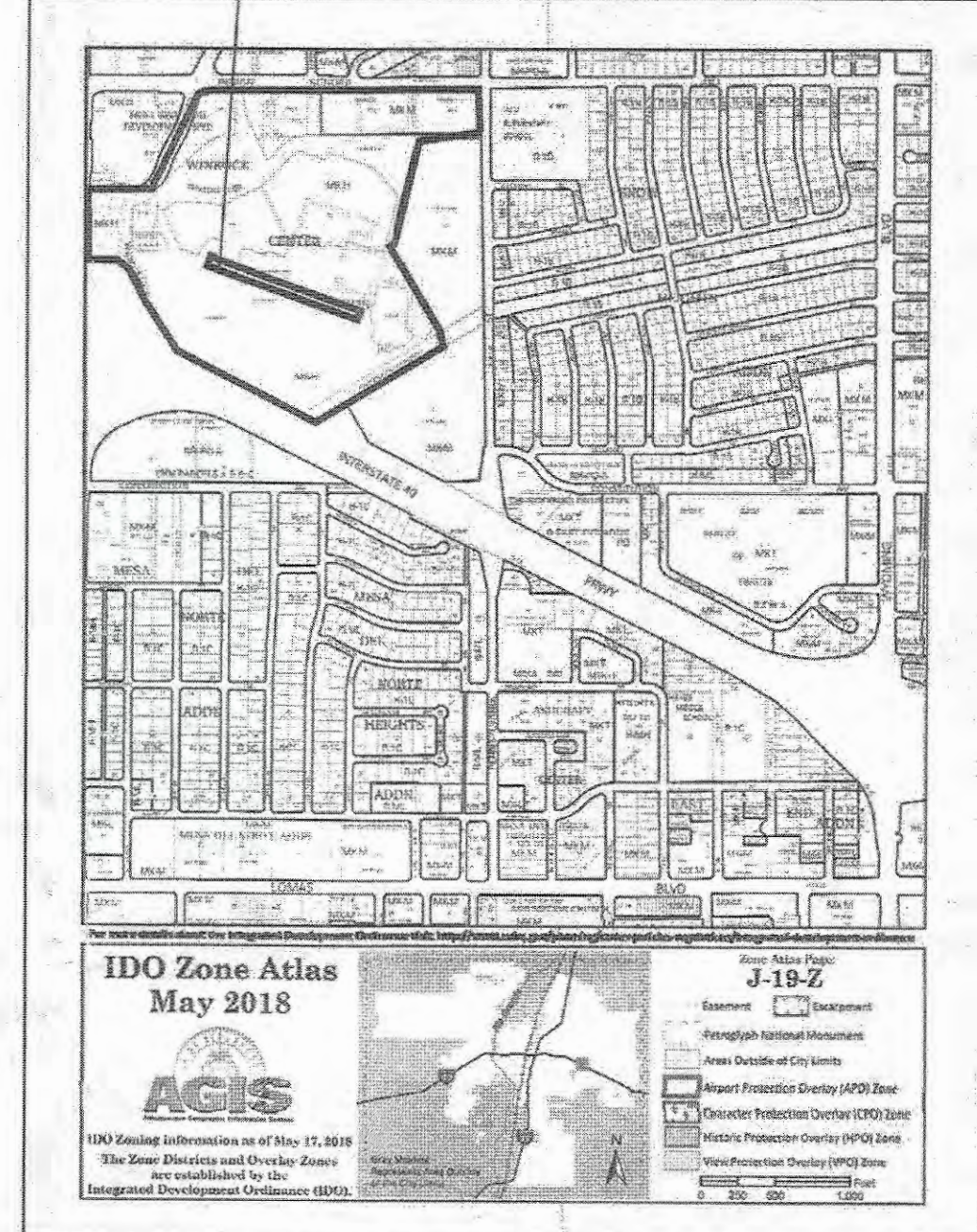
PROJECT NUMBER WB-2018-001579	DATE 02-05-20
APPLICATION NUMBER SI-2019-00355	DATE 01-22-20
This plan is consistent with the specific site Development Plan approved by the Department Planning Commission (DPC) and the Planning and Zoning Commission (PZC) and the findings and conditions in the Official Map Decision No. 2018-001579.	
In accordance with the requirements of the DPC and PZC, this plan is approved on the condition that the applicant shall provide and maintain the following:	
DEPARTMENT OF TRANSPORTATION	DATE 01-22-20
City Engineer/Inspector	DATE 01-22-20
Code Enforcement	DATE 1-27-20
City Manager	DATE 2-5-20
City Council	DATE 2-5-20
City Clerk	DATE 2-5-20
City Attorney	DATE 2-5-20
City Auditor	DATE 2-5-20
City Treasurer	DATE 2-5-20
City Director of Public Works	DATE 2-5-20
City Director of Planning and Development	DATE 2-5-20







ROAD-B PROJECT LOCATION



VICINITY MAP

ADMINISTRATIVE AMENDMENT  
 FILE # ~~PE-2019-001879~~ PROJECT # ~~SI-2019-00185~~ 10287  
 AREA OF TEMP. PARKING LOT  
 DURING CONSTRUCTION OF ROAD-B  
 HYDROLOGY REVIEWED PARTS G/D MAP  
 APPROVED BY *[Signature]* DATE 2-23-19

PROJECT NUMBER: PE-2019-001879  
 APPLICATION NUMBER: SI-2019-00185  
 This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated 7/10/19 and the findings and conditions in the Official Replatment of Districts are satisfied.  
 Is an Intersecting Link required? ( ) YES (X) NO If yes, then a set of approved DRG plans with a work order is required for any construction site.  
 Public Right-of-Way or for construction of public improvements  
 DES SITE DEVELOPMENT PLAN REVIEW APPROVAL  
*[Signature]* 7/10/19 Date  
 Transportation Division 07-10-19 Date  
 Public and Recreation Department Date  
 City Engineer/Hydrology 7/10/19 Date  
 Code Enforcement Date  
 Environmental Health Department (conditional) Date  
 Civil Works Management Date  
 7-10-19 Date  
 District/Department Planning Department Date

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

**MODULUS ARCHITECTS**  
 100 SUN AVE. N.W. SUITE 305  
 ALBUQUERQUE, NEW MEXICO 87102  
 PHONE (505) 338-1499 FAX (505) 338-1498

PROJECT TITLE: WINROCK TOWN CENTER  
 2000 LOUISIANA BLYDNE  
 ALBUQUERQUE, NEW MEXICO

JOB NO. WIN-ROADS  
 PROJECT NUMBER: SI-2019-00185  
 DRAWN BY: XXX  
 SHEET TITLE: COMPOSITE AS-BUILT SITE PLAN

DATE: 9/13/2018  
 SCALE: 1"=100'  
 SHEET: SP-1

COMPOSITE AS-BUILT SITE PLAN  
 SCALE: 1"=100'

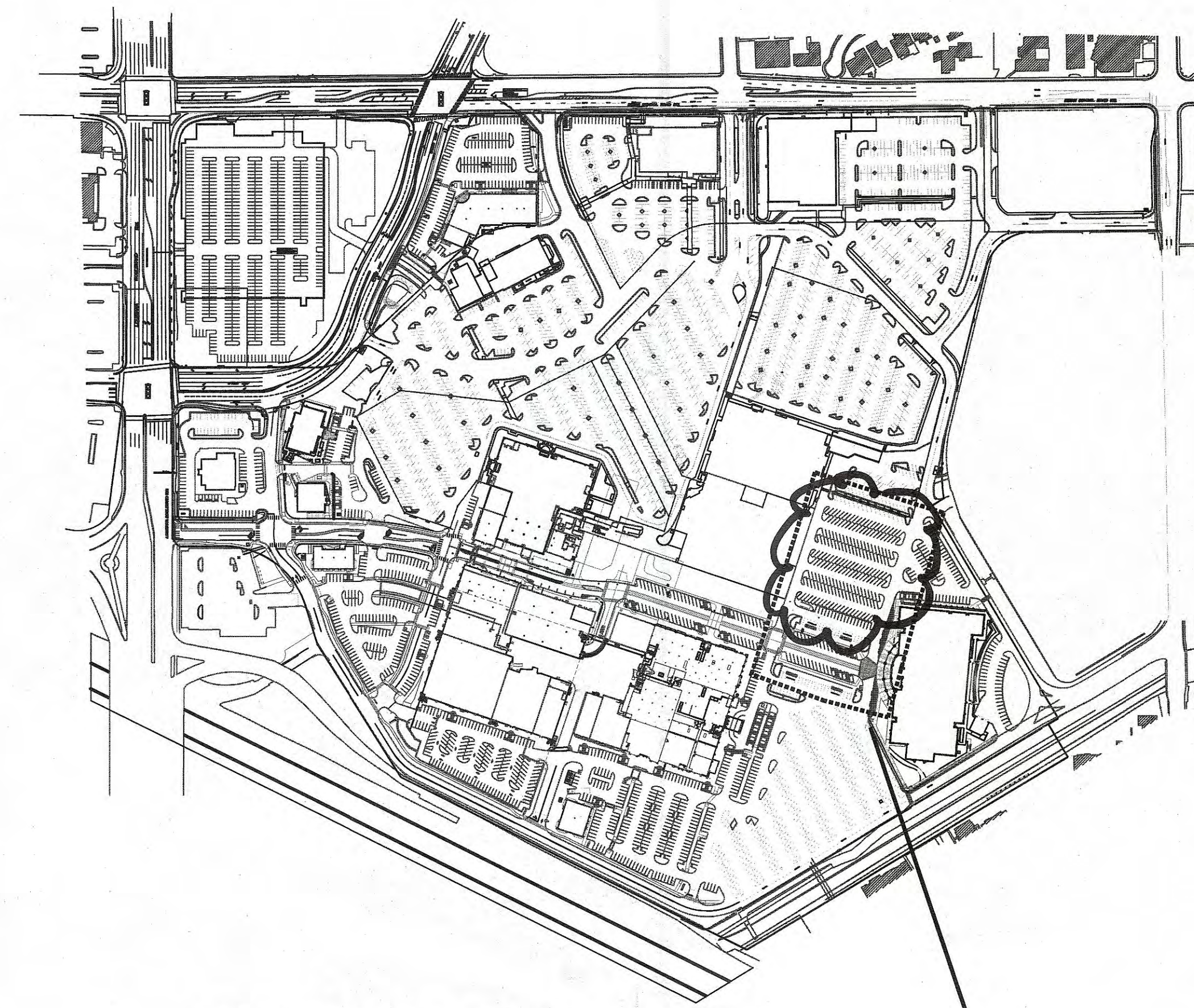


SECTION-4 BLDG

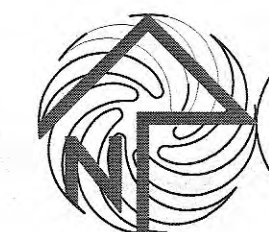
DILLARDS BLDG

REAGAL BLDG

201 PARKS WITHIN TEMP PAVEMENT AREA



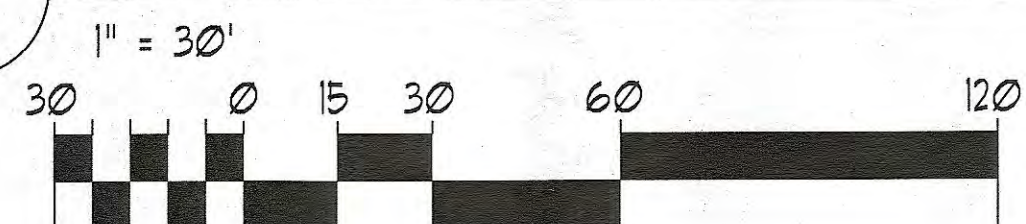
ENLARGED PLAN AREA



KEY PLAN  
NTS



ENLARGED PARTIAL SITE PLAN (TEMP PARKING AREA)



KEYED NOTES

- ① INDICATES EXISTING PARKING AREA TO REMAIN
- ② INDICATES EXISTING DRIVE WAY TO REMAIN
- ③ INDICATES PAVEMENT TO REMAIN
- ③A INDICATES NEW TEMP. PAVEMENT AREA
- ④ INDICATES EXISTING CMU WALL TO REMAIN
- ④A INDICATES METERING/HYDRANT TO REMAIN
- ⑤ INDICATES NEW 4" WIDE PAVEMENT MARKINGS AS SHOWN

AA-PR-2019-001579  
Temp Parking during Construction

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

**MODULUS ARCHITECTS**  
100 SUN AVE. N.W. SUITE 305  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE WINROCK TOWN CENTER 2100 LOUISIANA ALBUQUERQUE, NEW MEXICO	JOB NO. WIN	DRAWN BY: 5
PROJECT MANAGER STEPHEN DUNBAR, AIA	SHEET TITLE ENLARGED TEMP PARKING AREA PLAN	

DATE 8/21/2018	SHEET A-206
SCALE RE: BAR SCALE	



NG  
NG

PROJECT NUMBER	FR-2019-00519
APPLICATION NUMBER	SI-2019-00354
<p>This plan is consistent with the specific site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions of the Official Notification of Decision are established.</p> <p>Is an Interim Use Allowed? YES / NO: If yes, then a set of approved ODC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.</p>	
<p>DISP SITE DEVELOPMENT PLAN SIGNOFF APPROVAL</p>	
<i>Sean Wilson</i>	Date: 02-05-20
Traffic Engineering, Transportation Division	Date: 02-05-20
<i>Michelle Adams</i>	Date: 11-22-2019
Permit & Inspection Department	Date: 01-22-20
<i>John Smith</i>	Date: 1-22-20
City Engineer/Inspector	Date: 2-5-20
Code Enforcement	Date: 2-16-20
NA	Date: 2-6-20
Environmental Health Department (conditional)	Date: 2-6-20
<i>Robert Moya</i>	Date: 2-6-20
Solid Waste Management	Date: 2-6-20
<i>Salvador Wooten</i>	Date: 2-6-20
DISP Grievance Planning Department	Date: 2-6-20

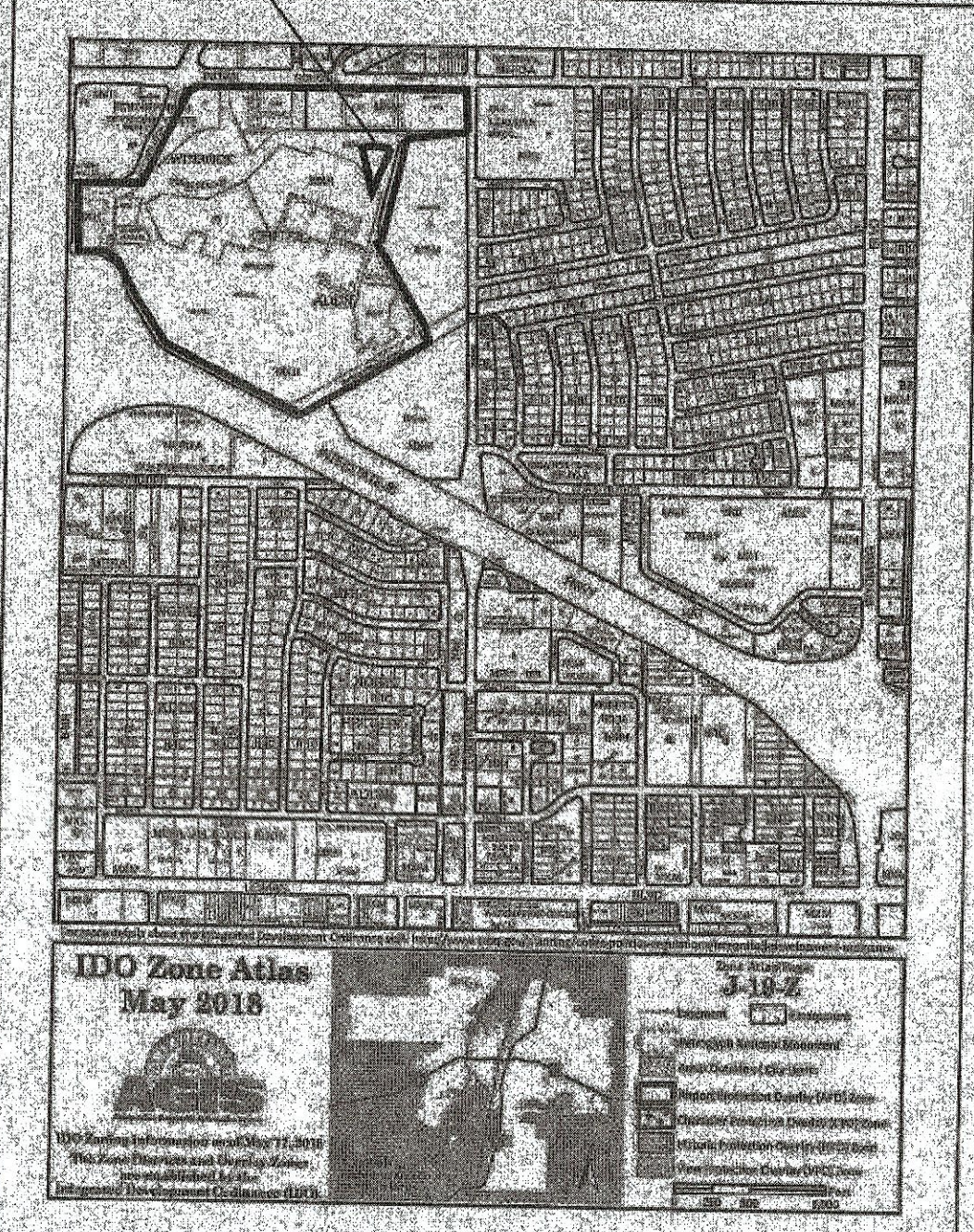
- KEYED NOTE:
- 1 INTEGRALLY COLORED, AND TEXTURED CONC. PEDESTRIAN CROSSWALK RE: DETAIL 1/A1
  - 2 20' LIGHT POLE LOCATION RE: DETAIL 3/A1
  - 3 INTEGRALLY COLORED CONC. SIDEWALK RE: DET 2/A1/2
  - 4 INDICATES EXISTING SIDEWALK SLAB AREA TO REMAIN
  - 5 INDICATES NEW CONC. SIDEWALK FLUME WITH STEEL COVER PLATE RE: DETAIL 1/A1/2
  - 6 INDICATES NEW TEMP ASPHALT 6" EXTRUDED CURB
  - 6A INDICATES NEW TEMP ASPHALT WITHIN TREE WELL LOCATION REMOVE TREE WELL CURB/GUTTER, AND LANDSCAPING
  - 7 INDICATES OFFSITE TEMP LANDSCAPE AREA TO BE GRAVELED ONLY (RE: LANDSCAPE PLAN)
  - 8 INDICATES BIKE RACK LOCATION (5 BIKE CAPACITY) RE: DETAIL 1/A1/2 TYPICAL BIKE RACK GRAPHIC SYMBOL: [Symbol]
  - 9 BENCH LOCATION TYPICAL BENCH GRAPHIC SYMBOL: [Symbol]
  - 10 TRASH RECEPTACLE [Symbol]
  - 11 6" STEEL BOLLARD WITH CUSTOM CAP
  - 12 HANDICAP RAMP RE: 5/A1
  - 13 HANDICAP RAMP RE: 10/A1
  - 14 HANDICAP RAMP RE: 12/A1
  - 15 HANDICAP RAMP RE: 11/A1
  - 16 INDICATES LANDSCAPE AREA GC TO PROVIDE COORDINATE REQ. SLEEVING FOR EA WELL LOCATION RE: LANDSCAPE PLAN FOR INFO
  - 17 INDICATES 1' CURB CUT TO ALLOW FOR PASSIVE WATER SHEET FLOW HARVESTING FROM ADJACENT PAVEMENT SURFACE TO PROPOSED LANDSCAPE PLANT BEDS. RE: DETAIL 1/A1 FOR KNOTCH DETAIL
  - 18 NOT A FURTHER REDEVELOPMENT PHASE
  - 19 6" HIGH CONC. ISLAND RE: DET 4/A1 RE: SITE GRADING PLAN FOR INFO
  - 20 DUAL CONFIGURATION HC PARKING STALL RE: DET 5/A1/2
  - 21 WHEEL STOP RE: DET 5/A1/2
  - 22 INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION NOTE: EACH ONSITE STALL MEASURES 4' x 8' IN SIZE RE: SITE PLAN FOR LOCATIONS. RE: DET. 1/A1/2 FOR "MOTOR CYCLE PARKING" SIGN DETAIL
  - 23 EXTERIOR DECORATIVE CONCRETE ENTRY AREA MAIN BUILDING ENTRY PATHWAY
  - 24 INDICATES PROPOSED CURBING TO RECEIVE FIRE STRIPE PAINT CURB RED IN COLOR
  - 25 EXISTING ASPHALT DRIVE
  - 26 NEW ASPHALT DRIVE RE: CIVIL FOR GRADES/PROFILE
  - 27 TIE NEW SIDEWALK INTO FACE OF EXISTING SIDEWALK LOCATION
  - 28 HC PARKING STALL RE: DET 5/A1/2
  - 29 INDICATES LANDLORD WORK SCOPE AREA
  - 30 INDICATES HOTEL OWNERSHIP WORK SCOPE AREA
  - 31 INDICATES EXISTING PAVEMENT/LANDSCAPE/CURB AND GUTTER TO BE REMOVED
  - 32 INDICATES ISLAND AND LANDSCAPING TO REMAIN
  - 33 INDICATES ISLAND CURB AND GUTTER/LANDSCAPING TO BE REMOVED. PATCH AREA WITH ASPHALT MATCH GRADES TO ADJACENT ASPHALT AREA
  - 34 INDICATES STOP SIGN LOCATION RE: DET 5/A1/2
  - 35 INDICATES CLEAR SITE TRIANGLE. SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL AS MEASURED FROM THE GUTTER PAN ARE NOT ALLOWED WITHIN CLEAR SITE TRIANGLE AREA
- NOTE: REFER TO PLAT FOR ALL EXISTING EASEMENTS WITHIN PROJECT SCOPE AREA.

ITEM	DESCRIPTION	REMARKS
1	SITE DATA TABLE	PROJECT AREA PHASE LIMITS (LOT-A-1A-1-A)
2	LEGAL DESCRIPTION	PARCEL 1-A1 WINROCK CENTER ADDITION
3	TOTAL ACRESAGE	2.17 ACRES PROPOSED
4	EXISTING ZONING	T-1A1
5	PROPOSED USE	HOTEL
6	PROPOSED BUILDING SIZE	148 ROOMS
7	TOTAL PARKING PROVIDED WITHIN PROJECT AREA	148 SPACES
8	TOTAL PARKING REQ.	148 ROOMS 7.5 X 3 + 99 REQUIRED PARKS
9	HC PROVIDED	4 SPACES (NOTE: ALL SPACES VAN ACCESSIBLE)
10	HC REQUIRED	4 SPACES
11	BIKE SPACES PROVIDED	6 SPACES
12	BIKE SPACES REQUIRED	6 SPACES
13	MOTORCYCLE SPACES PROVIDED	3 SPACES
14	MOTORCYCLE SPACES REQUIRED	3 SPACES

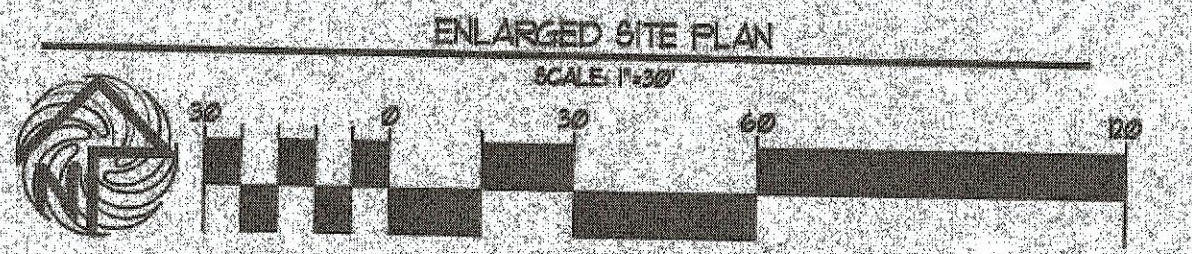
- LINE TYPE LEGEND
- INTERNAL PHASE LINE
  - MATCH LINE
  - EXISTING PROPERTY LINE
  - EXISTING CURB LINE
  - PROPOSED CURB LINE

NOTE: All CURB RAMPs shall be provided with DETECTABLE WARNING SURFACES.

HOTEL PROJECT LOCATION



VICINITY MAP



CITY OF ALBUQUERQUE  
"SOLID WASTE"  
MANAGEMENT DEPARTMENT  
APPROVED  
*Over 2/16/20  
Location  
in Area?*

REV	DATE	BY	REVISION
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**MODULUS ARCHITECTS**  
 100 SUN AVE. N.W. SUITE 305  
 ALBUQUERQUE, NEW MEXICO 87102  
 PHONE (505) 338-1499 FAX (505) 338-1498

PROJECT TITLE: WINROCK TOWN CENTER  
 2100 LOUISIANA BLVD NE ALBUQUERQUE, NEW MEXICO  
 PROJECT NUMBER: WIN-HOTEL  
 DRAWN BY: XXXX  
 PROJECT MANAGER: STEPHEN DANBAR, AIA  
 SHEET TITLE: PROPOSED HOTEL DEVELOPMENT

DATE:	10/15/2019
SCALE:	SP-1A2
RE: SCALE:	



# 16 INFRASTRUCTURE LIST

Current DRC  
Project Number: \_\_\_\_\_

**FIGURE 12**

Date Submitted: 12/18/20

**INFRASTRUCTURE LIST**

Date Site Plan Approved: \_\_\_\_\_

(Rev. 2-16-18)

Date Preliminary Plat Approved: \_\_\_\_\_

**EXHIBIT "A"**

Date Preliminary Plat Expires: \_\_\_\_\_

**TO SUBDIVISION IMPROVEMENTS AGREEMENT**

DRB Project No.: \_\_\_\_\_

**DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

DRB Application No.: \_\_\_\_\_

**Lofts @ Winrock Town Center**

**PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**Parcel E-1-A Winrock Center Addition**

**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>	8-ft	Sidewalk	Indian School	West Property Line	Pennsylvania	/	/	/
<input type="text"/>	<input type="text"/>	Standard	Curb and Gutter	Pennsylvania	Indian School	Southern Driveway	/	/	/
<input type="text"/>	<input type="text"/>	6-ft	Sidewalk	Pennsylvania	Indian School	Southern Driveway	/	/	/
<input type="text"/>	<input type="text"/>	4"	Striping Modificaions - Lengthen Northbound Left to 220' plus trans	Pennsylvania	Penn. Aux Lane	Indian School	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
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The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification				
							Private Inspector	P.E.	City Cnst Engineer		
<input type="text"/>	<input type="text"/>						/	/	/		
<input type="text"/>	<input type="text"/>						/	/	/		
Approval of Creditable Items:							Approval of Creditable Items:				
Impact Fee Administrator Signature							Date		City User Dept. Signature		Date


**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

- 1 \_\_\_\_\_  
\_\_\_\_\_
- 2 \_\_\_\_\_  
\_\_\_\_\_
- 3 \_\_\_\_\_  
\_\_\_\_\_

**AGENT / OWNER**

**DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

NAME (print)  
**Huitt-Zollars, Inc.**  
FIRM  
  
SIGNATURE - date

DRB CHAIR - date  
\_\_\_\_\_  
TRANSPORTATION DEVELOPMENT - date  
\_\_\_\_\_  
UTILITY DEVELOPMENT - date  
\_\_\_\_\_  
CITY ENGINEER - date

\_\_\_\_\_  
AMAFCFA - date  
\_\_\_\_\_  
CODE ENFORCEMENT - date  
\_\_\_\_\_  
\_\_\_\_\_ - date

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER

**17 8.5x11 Site Plans**

**GENERAL SHEET NOTES**

- A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- D. SITE PLAN SHALL COMPLY WITH LOCAL, STATE AND FEDERAL ADA STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
- E. CURBS AND ACCESSIBLE RAMP SHALL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- F. LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO): SECTION 14-16-5-8 OUTDOOR LIGHTING.
- G. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- H. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.

**DEVIATIONS**

REQUESTED VARIANCE TO PEDESTRIAN WALKWAY WIDTHS THROUGH ZHE APPLICATION SUBMITTED ON 11/03/2020  
 INDIAN SCHOOL ROAD - DEVIATION OF 7'-0" TO THE REQUIRED 15'-0" WINDROCK LOOP - DEVIATION OF 8'-0" TO THE REQUIRED 15'-0" PENNSYLVANIA STREET - DEVIATION OF 4'-0" TO THE REQUIRED 10'-0"

**PROJECT DATA**

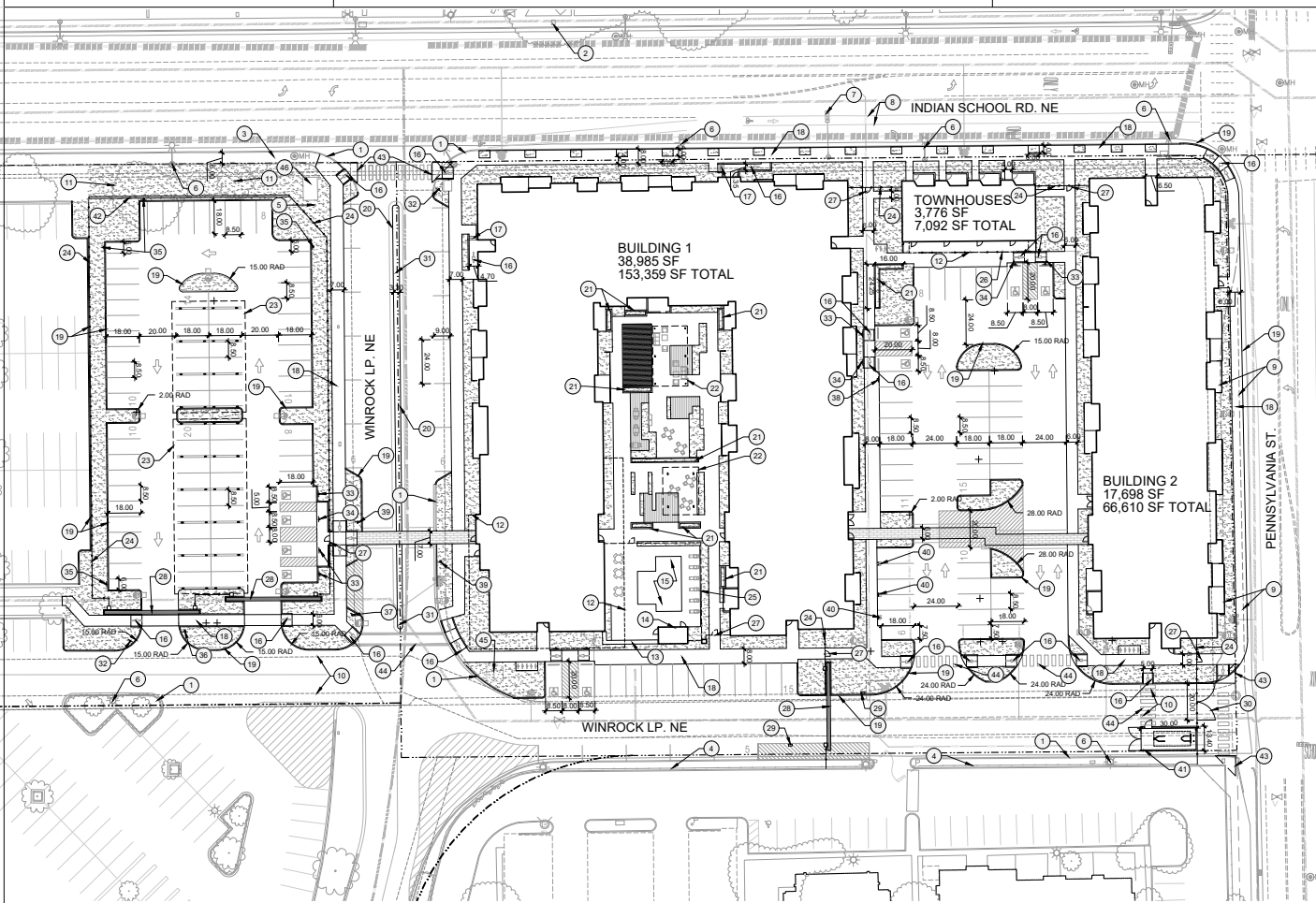
**ZONING:** IDO Mx-M + URBAN CENTER (UC), PART OF WINROCK MASTER PLAN  
**LEGAL DESCRIPTION:**  
 PARCELS: E-1-A, 150' PLAT OF PARCEL A-1-A-1-A-1 & PARCEL E-1-A WINROCK CENTER  
**ADDITION CONT 3.3847 AC**  
**SITE AREA:** 3.3847 ACRES  
**IDO ZONE ATLAS:** J-19-2 (MAY 2018)  
**SETBACKS MINIMUM:** FRONT 30'FS, SIDES 0'11FS, REAR 5' MIN  
**BUILDING HEIGHT:** 75'-0" MAX ALLOWED:  
 BUILDING 1: 57'-0"  
 BUILDING 2: 37'-0"  
 TOWNHOUSES: 48'-0"  
**FIRE FLOW:** 4,500 GPM  
**HYDRANTS REQUIRED:** 1 TOTAL  
**BUILDING OCCUPANCY:** R-2 (APARTMENTS) + A (COMMONS)  
**CONSTRUCTION TYPE:** VA, FULLY SPRINKLED  
**AREA OF LOT COVERED BY BUILDINGS:**  
 BUILDING 1: 38,985 SF  
 BUILDING 2: 17,698 SF  
 TOWNHOUSES: 3,776 SF  
**TOTAL: 60,459 SF** This number is used to calculate net RZ  
**GROSS AREA OF BUILDINGS:**  
 BUILDING 1 (4 LEVELS): 153,359 GSF  
 BUILDING 2 (4 LEVELS): 66,610 GSF  
 TOWNHOUSES (2 LEVELS): 7,092 GSF  
**TOTAL: 227,061 GSF**

**USABLE OPEN SPACE**  
 1 BR: 200 SF/UNIT, 2 BR: 250 SF/UNIT, 3 BR: 300SF/UNIT  
 STUDIO + 1 BR = 143 \* 200 SF = 28,600 SF  
 2 BR = 56 \* 250 SF = 14,000 SF  
**USABLE OPEN SPACE REQUIRED:** 21,300 SF WITH 50% REDUCTION FOR UC  
**USABLE OPEN SPACE PROVIDED:** 35,500 SF  
 (courtyard area including pool, landscape areas, private walkways)  
**PARKING CALCULATION (IDO Table 5-5-1):**  
 1 SPACE/DWELLING UNIT = 199 PARKING SPACES REQUIRED  
**PARKING CREDITS (IDO 5-5-C):**  
 2 ELECTRIC VEHICLE CHARGING STATION WITH 2 PORTS (4)  
 1 DESIGNATED SHARED CARPOOL SPACE (4)  
**PARKING REDUCTION:**  
 PROXIMITY TO TRANSIT 30% REDUCTION (59)  
 (Winrock MP located within 1 mile of Uptown Transit Center)  
**PARKING SPACES REQUIRED WITH CREDITS/REDUCTIONS = 132**  
**PARKING SPACES PROVIDED = 160**  
 (78 parking spaces are provided off-site via shared parking agreement in a gated parking lot available only to residents)  
**MOTORCYCLE PARKING REQUIRED = 4**  
**MOTORCYCLE PARKING PROVIDED = 4**  
**BICYCLE PARKING REQUIRED = 2 PER F 201 = 120**  
**BICYCLE PARKING PROVIDED = 132 (100 interior bike storage, 32 exterior bicycle racks)**

**LEGEND**

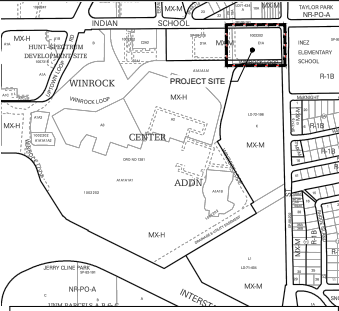
**SHEET KEYNOTES**

CODE	DESCRIPTION
1	EXISTING CONCRETE CURB
2	EXISTING BUS STOP
3	EXISTING SIDEWALK
4	EXISTING FENCE
5	EXISTING MONUMENT SIGN TO BE REMOVED
6	EXISTING LIGHT POLE
7	EXISTING TRAFFIC LIGHT
8	EXISTING BIKE LANE
9	EXISTING LANE TO BE REMOVED
10	EXISTING EASMENT
11	EXISTING TREE
12	BUILDING OVERHANG
13	BUILDING POOL WALL
14	POOL FACILITIES
15	POOL
16	CONCRETE ACCESSIBLE RAMP
17	CONCRETE STAIRS WITH HANDRAILS
18	CONCRETE SIDEWALK/WALKWAY
19	CONCRETE CURB
20	CONCRETE CURB, DRIVABLE
21	RAISED PLANTER
22	SHADE STRUCTURE
23	POSSIBLE CARPORT
24	FENCE: 6'-0" HEIGHT, ORNAMENTAL
25	FENCE: 6'-0" HEIGHT AT POOL
26	FENCE: 3'-0" HEIGHT, ORNAMENTAL
27	GATE: PEDESTRIAN, 6'-0" HEIGHT, 3'-0" WIDTH, ORNAMENTAL
28	GATE: VEHICULAR, 6'-0" HEIGHT
29	GATE: KEY PEDESTAL
30	GATE: VEHICULAR EMERGENCY ACCESS ONLY, 6'-0" HEIGHT
31	PAVED MEDIAN
32	SITE SIGNAGE: STOP SIGN
33	SITE SIGNAGE: ACCESSIBLE PARKING
34	SITE SIGNAGE: VAN ACCESSIBLE PARKING
35	SITE SIGNAGE: MOTORCYCLE PARKING ONLY
36	SITE SIGNAGE: DO NOT ENTER
37	SITE SIGNAGE: NO PARKING SERVICE VEHICLES ONLY
38	SITE SIGNAGE: SHARED CARPOOL ONLY
39	SITE SIGNAGE: PEDESTRIAN CROSSING
40	EV CHARGING STATION
41	TRASH COMPACTOR IN ENCLOSURE TO COMPLY WITH IDO/SOLID WASTE REQUIREMENTS
42	SCREEN WALL 4'-0" HEIGHT MAX. MATERIAL TO MATCH BUILDING
43	CLEAR SIGHT TRIANGLE
44	PEDESTRIAN CROSSWALK
45	ELECTRIC TRANSFORMER
46	MONUMENT SIGN PER APPROVED AA #13-10262



**A1 SITE PLAN**  
 1" = 30'-0"  
 NORTH

**VICINITY MAP**



PROJECT NO. \_\_\_\_\_  
 APPLICATION NO. \_\_\_\_\_

IS AN APPROVED INFRASTRUCTURE LIST REQUIRED?  
 [YES ] [NO. ] IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE:
ABCWUA	DATE:
PARKS & RECREATION DEPARTMENT	DATE:
CITY ENGINEER-HYDROLOGY	DATE:
ENVIRONMENTAL HEALTH (CONDITIONAL)	DATE:
SOLID WASTE MANAGEMENT	DATE:
DRB CHAIRPERSON, PLANNING DEPT.	DATE:
CODE ENFORCEMENT	DATE:

**DEKKER PERICH SABATINI**

ARCHITECTURE DESIGN INSPIRATION

ARCHITECT

12/18/2020

ENGINEER

PROJECT

**APARTMENTS AT INDIAN SCHOOL & PENNSYLVANIA**  
 7500 INDIAN SCHOOL RD NE  
 ALBUQUERQUE, NM, 87110

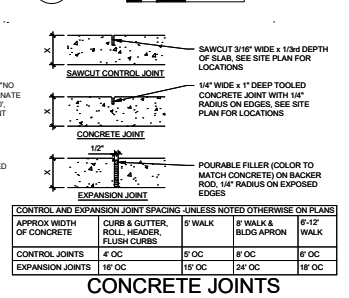
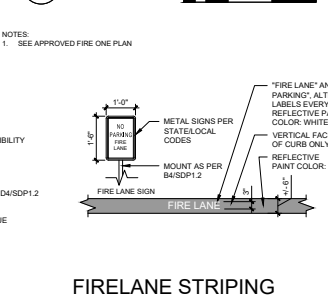
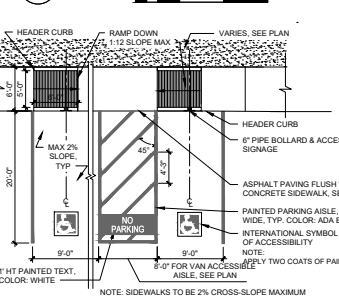
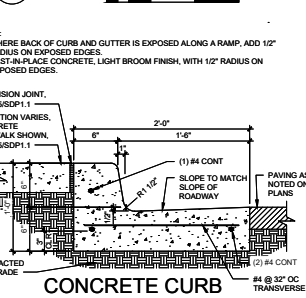
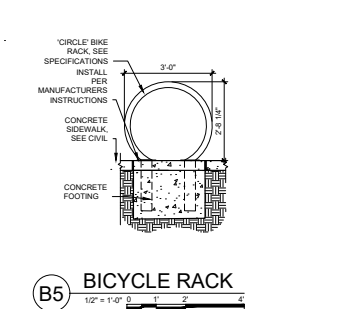
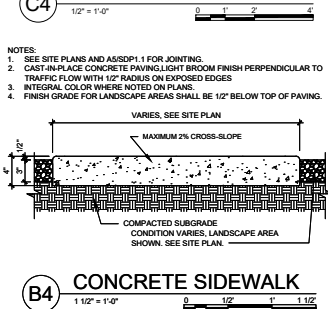
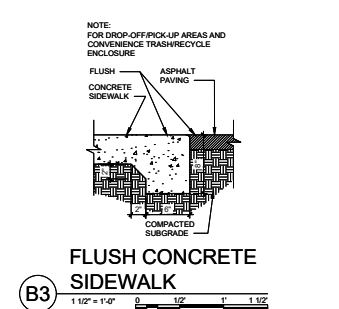
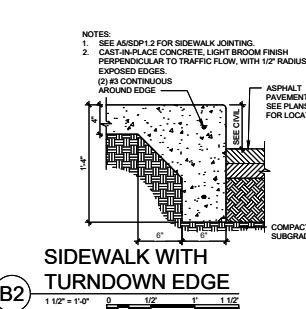
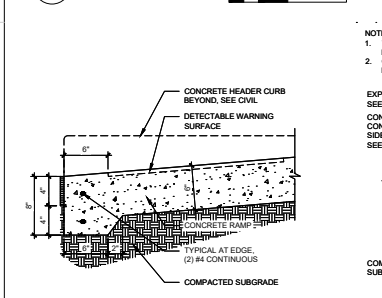
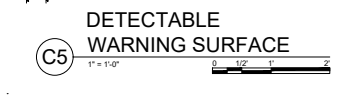
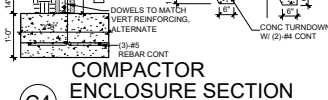
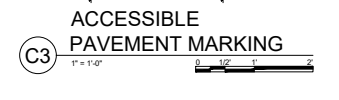
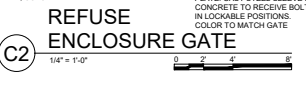
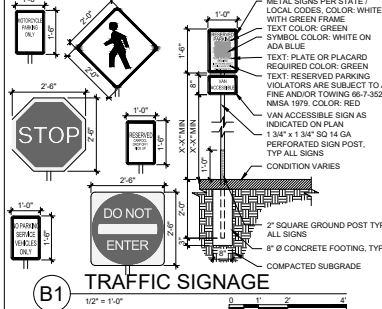
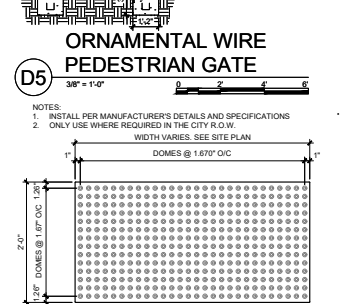
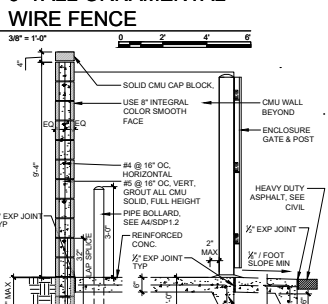
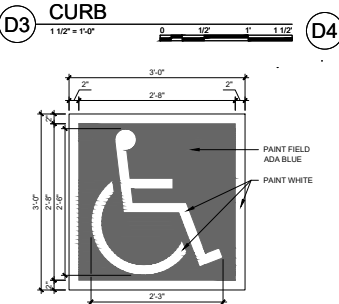
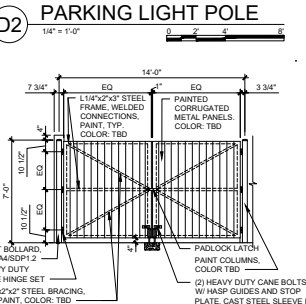
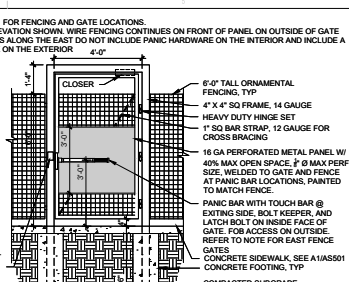
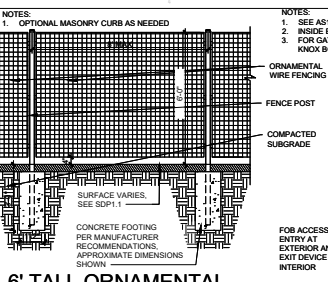
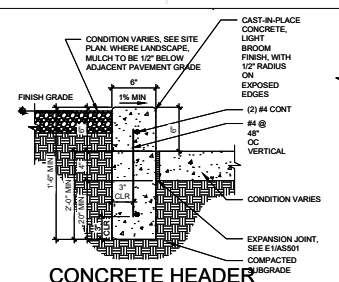
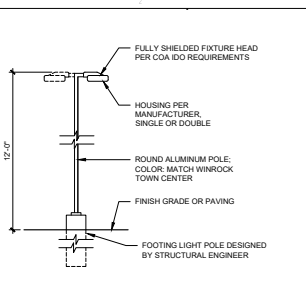
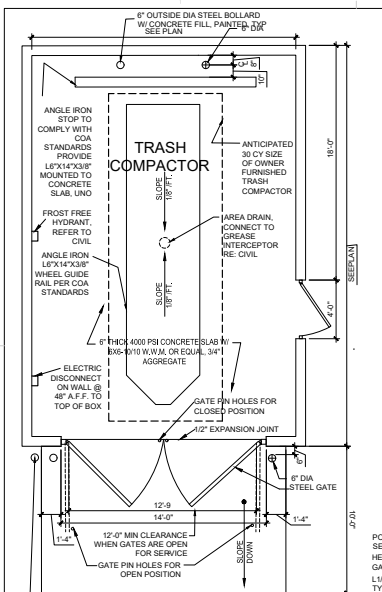
REVISIONS

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DRAWN BY: D/P/S  
 REVIEWED BY: D/P/S  
 DATE: 12.18.2020  
 PROJECT NO.: 19-0087  
 DRAWING NAME: SITE PLAN

SHEET NO. **SDP1.1**  
 OF





**DEKKER PERICH SABATINI**  
ARCHITECTURE DESIGN INSPIRATION  
ARCHITECT  
**SCHELE OF NEW MEANS**  
RONALD A. WITSPRONG  
REGISTERED ARCHITECT  
No. 2502  
12/18/2020

PROJECT  
**APARTMENTS AT INDIAN SCHOOL & PENNSYLVANIA**  
7500 INDIAN SCHOOL RD NE  
ALBUQUERQUE, NM, 87110

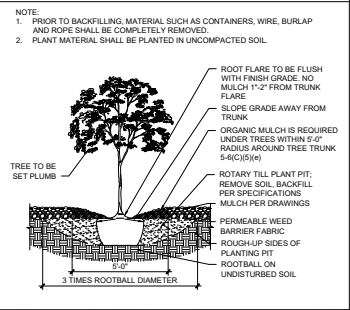
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REVIEWED BY DIP/S  
DATE 12.18.2020  
PROJECT NO. 19-0087  
DRAWING NAME

SITE DETAILS  
SHEET NO.  
**SDP1.2**  
OF

**GENERAL SHEET NOTES**

- RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S GENERAL LANDSCAPING, BUFFERING, AND SCREENING REGULATIONS AND WATER CONSERVATION ORDINANCE.
- TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 90 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- SURFACE TREATMENT: ALL LANDSCAPE AREAS SHALL BE COVERED WITH VEGETATION AND MULCH. ORGANIC MULCH IS REQUIRED AT EACH TREE ROOTBALL AND ASPHALT LINE.
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGN WALLS, TREES, AND SHRUBS BETWEEN 3' AND 8' FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS: 2" CALIPER TREES, 6" HEIGHT CONIFERS, AND 1 GALLON SHRUBS.
- AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.
- VEGETATION SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 12' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 2' OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.

**TREE PLANTING DETAIL**



**LEGEND**

SYMBOL	NOTES	QTY
---	PROPERTY LINE	
[Pattern]	3/4" ROCK MULCH 2" DEPTH OVER FILTER FABRIC COLOR: TRD	15,621 SF
[Pattern]	SHREDDED BARK MULCH 3" DEPTH	15,656 SF

**IRRIGATION NOTES**

- ALL PLANTINGS SHALL BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM, WITH PROGRAMMABLE SETTINGS, AUTOMATED IRRIGATION CONTROLLER, AND MOISTURE SENSOR TO AVOID OVERWATERING.
  - THE IRRIGATION SYSTEM SHALL COMPLY WITH SECTION 8 OF THE ABCWA LEGISLATION AND ORDINANCES.
  - THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MINIMIZE THE USE OF WATER.
  - THE IRRIGATION SYSTEM SHALL NOT IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, STREETS AND PARKING OR LOADING AREAS.
  - IRRIGATION POINT OF CONNECTION TO THE CITY WATER WILL BE LOCATED WITHIN PROPERTY LIMITS AND SHALL COMPLY WITH THE CITY OF ALBUQUERQUE REDUCED PRESSURE BACKFLOW PREVENTER STANDARDS AND SPECIFICATIONS.
  - RUN TIMES AND IRRIGATION ZONES SHALL BE BASED UPON PLANT SPECIES AND THEIR ESTABLISHMENT. RUN TIMES SHALL BE REGULARLY ADJUSTED ACCORDING TO PLANT MATURITY, SEASON, LOCATION AND PERFORMANCE.
- SHEET KEYED NOTES**
- EXISTING TREE
  - CLEAR SIGHT TRIANGLE
  - CLEARANCE AROUND ELECTRICAL EQUIPMENT
  - EXISTING EASEMENT
  - STREET TREE PLANTER PER 5-6(D)(1)(C)

**LANDSCAPE CALCULATIONS**

TOTAL SITE AREA = 3,3847 AC = 147,438 SF  
 AREA OF LOT COVERED BY BUILDINGS = 60,459 SF  
 NET LOT AREA = 86,979 SF

**REQUIRED LANDSCAPE**  
 REQUIRED LANDSCAPE AREA (10% OF NET LOT AREA) = 8,698 SF  
 PROVIDED LANDSCAPE AREA = 31,277 SF = 36%

**REQUIRED TREES, PARKING LOT**  
 REQUIRED NUMBER OF PARKING LOT TREES = 16 TREES  
 TOTAL NUMBER OF PARKING = 100 SPACES  
 REQUIRED = 1 TREE / 10 PARKING SPACES  
 REQUIRED NUMBER OF PARKING LOT TREES = 16 TREES  
 NO PARKING SPACE MAY BE MORE THAN 100 FEET AWAY FROM A TREE TRUNK

**REQUIRED TREES, STREET TREES**  
 REQUIRED STREET TREES = 30 placed at 2' on center  
 1/4" of street setback along Indian School and 30' along Pennsylvania)  
 PROVIDED STREET TREES = 30

**REQUIRED TREES, MULTIFAMILY DWELLING**  
 REQUIRED TREES = 48 (1 TREE/TREY GROUND/FLOOR DWELLING UNIT FOR UC)  
 PROVIDED TREES = 49

**CREDIT FOR PRESERVING TREES (TABLE 5-6-2)(1) & (2)**  
 2 EXISTING TREES WITH DIAMETER AT BREAST HEIGHT OF 4" AND 10"

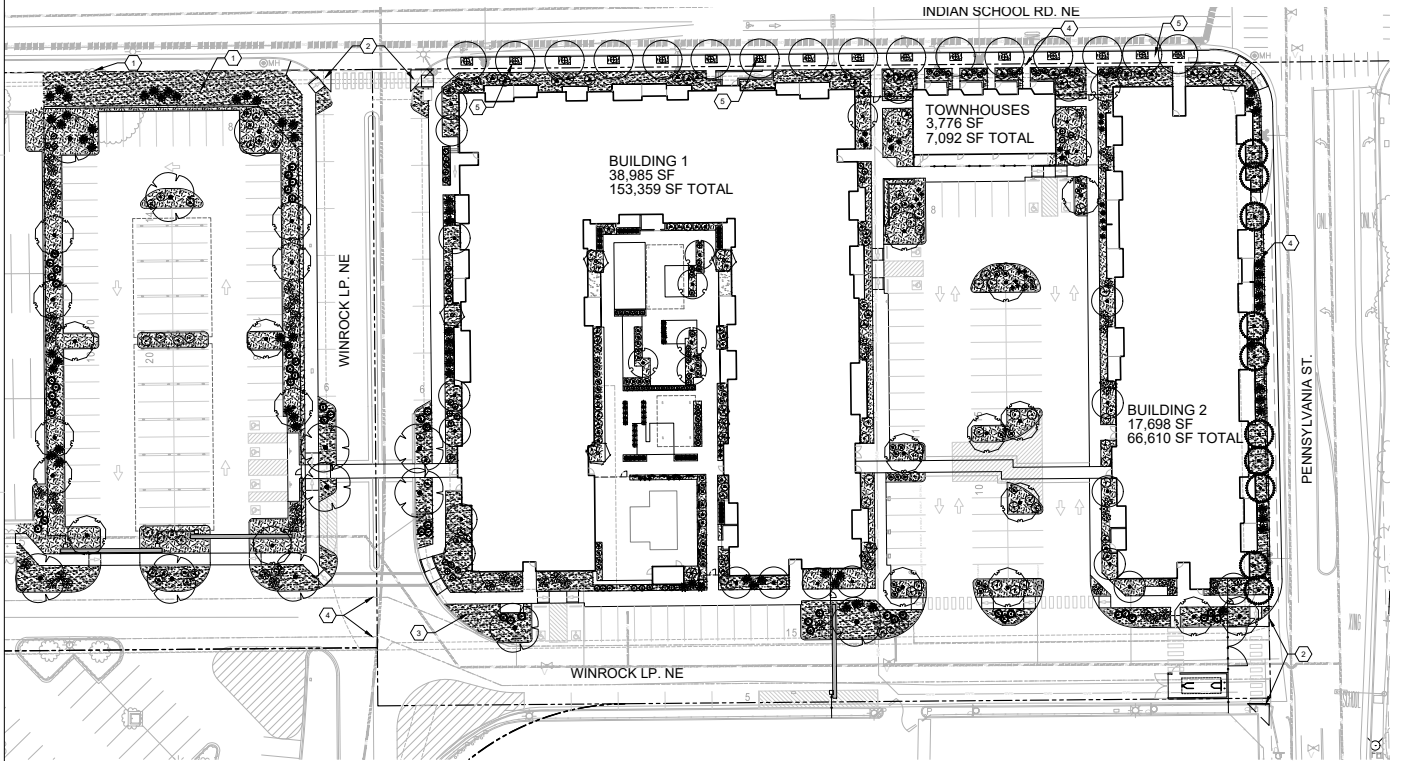
**REQUIRED TREES, WALKWAYS**  
 PLACED AT A MAX OF EVERY 25' ALONG REQUIRED PEDESTRIAN WALKWAYS

**REQUIRED VEGETATIVE COVERAGE**  
 REQUIRED COVERAGE = 2,386 SF = 7% OF PROVIDED LANDSCAPE AREA  
 A MINIMUM 25% OF TOTAL LANDSCAPE COVERAGE BY GROUND-LEVEL PLANTS  
 PROVIDED TOTAL GROUND COVERAGE = 36,380 SF = 116%  
 TREE CANOPY COVERAGE (PER TREES TOTAL) = 19,005SF = 51% OF PROVIDED COVERAGE  
 GROUND-LEVEL PLANT COVERAGE (586 GROUND COVER PLANTS TOTAL) = 17,580 SF = 47% OF PROVIDED COVERAGE

**GROUND COVER MATERIAL**  
 ROCK MULCH GROUND COVER = 15,621 SF = 50% OF PROVIDED LANDSCAPE AREA  
 ORGANIC MULCH GROUND COVER = 15,656 SF = 50% OF PROVIDED LANDSCAPE AREA  
 A MAXIMUM OF 50% OF GRAVEL OR CRUSHER FINES IS PERMITTED

**PARKING LOT EDGE**  
 FRONT LOT EDGE WALL PROVIDED PER 5-6(F)(1)(I))

**LANDSCAPE EDGE BUFFER, NOT REQUIRED**  
 SITE IS ADJACENT TO R.T BUT NO RESIDENTIAL STRUCTURE IS ON THAT SITE AS IT IS OCCUPIED BY WEEZ ELEMENTARY SCHOOL.



**PLANT LEGEND**

TREES	COMMON NAME
[Symbol]	SENSATION BOX ELDER MAPLE
[Symbol]	EASTERN REDBUD
[Symbol]	CRIMSON SPIRE OAK
[Symbol]	DESERT WILLOW
[Symbol]	NEW MEXICO OLIVE
[Symbol]	CHINESE PISTACHE
[Symbol]	CHINKAPIN OAK
[Symbol]	TEXAS RED OAK
[Symbol]	SOPHORA TREE
[Symbol]	FRONTIER ELM
[Symbol]	SHRUBS
[Symbol]	COMMON NAME
[Symbol]	PYRENEES COTONEASTER
[Symbol]	BUFFALO JUNIPER
[Symbol]	TURPENTINE BUSH
[Symbol]	THOMPSON BROOM
[Symbol]	INGRAM ROSEMARY
[Symbol]	GREY LOW FRAGRANT SUMAC
[Symbol]	SAND CHERRY
[Symbol]	AUTUMN AMBER SUMAC
[Symbol]	BEARBERY COTONEASTER
[Symbol]	FURMAN'S RED SALVIA
[Symbol]	DESERT ACCENTS
[Symbol]	COMMON NAME
[Symbol]	GREY DESERT SPOON
[Symbol]	GREEN DESERT SPOON
[Symbol]	MEXICAN YUCCA
[Symbol]	AUTUMN SAGE
[Symbol]	BEARGRASS
[Symbol]	NEW MEXICO AGAVE
[Symbol]	BANANA YUCCA
[Symbol]	TWISTED LEAF YUCCA
[Symbol]	GRASSES
[Symbol]	COMMON NAME
[Symbol]	'BLONDE AMBITION' BLUE GRAMA
[Symbol]	GIANT SACATON
[Symbol]	MEXICAN FEATHER GRASS
[Symbol]	VARIEGATED REED GRASS
[Symbol]	KARL FOERSTER FEATHER REED GRAS
[Symbol]	EL TORO MUHLY GRASS
[Symbol]	LINDHEIMER'S MUHLY
[Symbol]	DEER GRASS
[Symbol]	GRASSES
[Symbol]	COMMON NAME
[Symbol]	HONEYSUCKLE
[Symbol]	TRUMPET VINE



**DEKKER PERICH SABATINI**

ARCHITECTURE DESIGN INSPIRATION

ARCHITECT

ENGINEER

PROJECT

**APARTMENTS AT INDIAN SCHOOL & PENNSYLVANIA**  
 7500 INDIAN SCHOOL RD NE  
 ALBUQUERQUE, NM, 87110

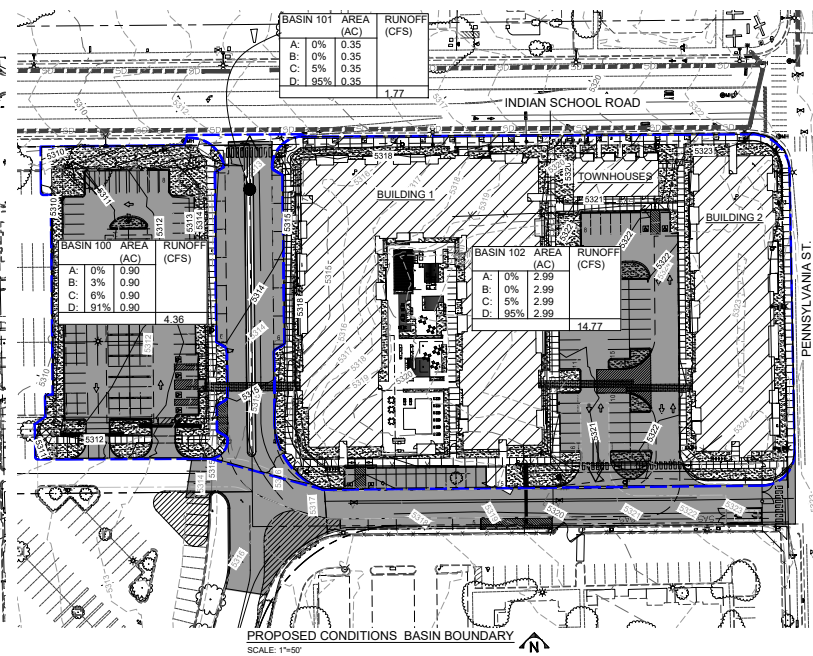
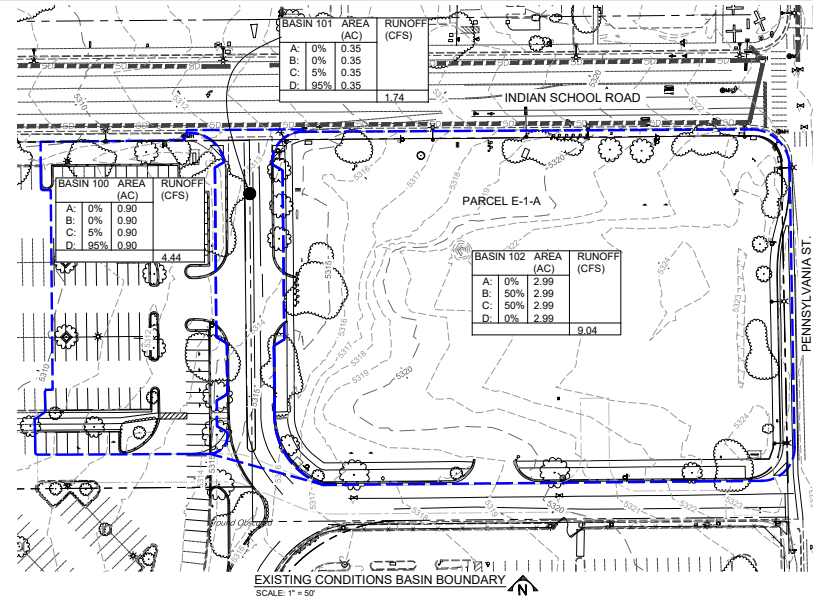
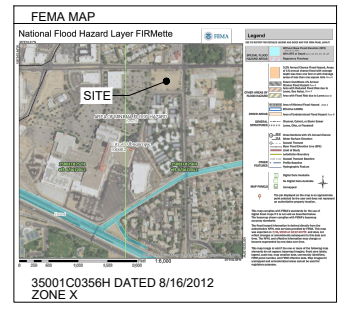
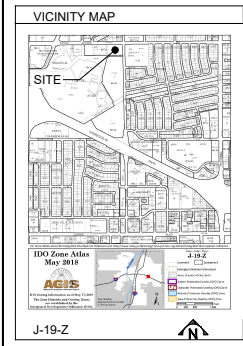
REVISIONS

△	
△	
△	
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DRAWN BY: D/P/S  
 REVIEWED BY: D/P/S  
 DATE: 12.18.2020  
 PROJECT NO: 19-0087  
 DRAWING NAME: LANDSCAPE PLAN

SHEET NO. **SDP2.1**





**INTRODUCTION**  
This drainage report addresses the proposed drainage improvements to support development on Parcel E-1-A.

**FLOOD HAZARD ZONE**  
The site does not lie within a flood zone as shown on Flood Insurance Rate Map Number 35001C0352H, dated August 16, 2012. See Appendix A for the FEMA Flood Insurance Rate Map.

**RELATED REPORTS**  
This report references the Drainage Master Plan for Winrock Town Center (DMP) by Isaacson & Arfman, PA, dated June 26, 2015. The DMP provided analysis for Winrock Town Center plus Parcel D1-A and E-1-A Winrock Center Addition. All hydrology calculations were completed for the 100-year, 6-hour storm. The DMP defines allowable peak flowrates at major analysis points. This drainage study for the Multi-family project on Parcel E-1-A will utilize hydrology calculations from the DMP.

This report also references the Winrock Town Center Drainage Implementation Plan (DIP) by Huitt-Zollars, Inc., dated May 23, 2019.

**JURISDICTIONS OF PUBLIC AGENCIES**  
This project is located entirely within the City of Albuquerque (CoA) Municipal Limits and is therefore within their jurisdiction and must comply with the City's development requirements.

**METHODOLOGY**  
This drainage report follows procedures outlined in the Development Process Manual, Chapter 22, by City of Albuquerque (DPM). This report will utilize hydrology calculations from the DMP.

**EXISTING CONDITIONS**  
Parcel E-1-A is undeveloped.

Winrock site is a complex of buildings that includes the main mall, a number of outlying restaurants, shops, and movie theater. The existing mall building is composed of a number of individual buildings that were closed by an overall structure. The site is approximately 80 acres which is approximately 88% impervious. As previously studied in recent drainage reports, the site has multiple drainage outfalls which are summarized below and shown on Exhibit 1 of the Winrock Town Center Drainage Implementation Plan:

- AP-A - Discharge flowrate = 81.9 CFS
- AP-B - Discharge flowrate = 123.4 CFS
- AP-C - Discharge flowrate = 15.5 CFS
- AP-D - Discharge flowrate = 120.1 CFS
- AP-E - Discharge flowrate = 5.5 CFS
- AP-F - Discharge flowrate = 12.9 CFS
- AP-G - Discharge flowrate = 81.1 CFS

**PROPOSED CONDITIONS**  
Construction limits of this project are shown on the Vicinity Map to the left. Basin Maps are shown on this sheet. Existing basins delineated from the DMP are used for this report. This project discharges onto Indian School Road, Analysis Point G (AP-G) of the DMP. AP-G flowrate is 81.1 cfs which includes developed land treatments for this parcel, Parcel E-1-A Winrock Center Addition.

**STORM WATER QUALITY**  
Storm water quality shall be provided within depressed parking islands. Payment-in-Lieu shall be made to the City of Albuquerque for the difference between the required water quality pond capacity and the provided water quality pond capacity.

**STORM WATER QUALITY VOLUME**  
Project Pavements Area = 84,800 sf  
Required Storm Water Quality Volume =  $84,800 \text{ sf} \times (0.267/12) = 1,838 \text{ cf}$ .

**PUBLIC STORM DRAINAGE INFRASTRUCTURE**  
This project does not require any public drainage infrastructure improvements.

**LEGEND**

- DISCHARGE LOCATION
- FLOW DIRECTION
- BASIN BOUNDARY

**EARTHWORK SUMMARY**

- CUT: 4.425 CUBIC YARDS
- FILL: 2.800 CUBIC YARDS
- NET: 1.625 CUBIC YARDS (EXPORT)

Designed By:

**HUITT-ZOLLARS**

Huitt-Zollars, Inc.  
6501 Americas Parkway NE, Suite 550  
Albuquerque, New Mexico 87115  
Phone (505) 883-8114 Fax (505) 883-5022

**THE LOFTS @ WINROCK**  
7500 INDIAN SCHOOL ROAD NE  
ALBUQUERQUE, NM

TITLE: **DRAINAGE PLAN**

Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.

<b>AST-BUILD INFORMATION</b>		<b>CONTRACTOR</b>	
DATE	DATE	NAME	DATE
<b>FIELD NOTES</b>		<b>SEARCH MARKS</b>	
NO.	BY	FOUND	MARK
<b>ENGINEER'S SEAL</b>			
<b>REVISIONS</b>		<b>DESIGN</b>	
NO.	DATE	BY	
DESIGNED BY: ST	DATE: November 02, 2020		
DRAWN BY: LT	DATE: November 02, 2020		

PROJECT: 35001C0356H - SITE PLAN FOR DEVELOPMENT OF PARCEL E-1-A, 7500 INDIAN SCHOOL ROAD NE, ALBUQUERQUE, NM 87115  
 PREPARED BY: HUITT-ZOLLARS, INC. DATE: 11/02/2020  
 DRAWN BY: L. THOMPSON DATE: 11/02/2020  
 CHECKED BY: T. THOMPSON DATE: 11/02/2020  
 SCALE: AS SHOWN



Project: 11/20/2021 05:11:03 PM, 6:45:00 AM  
 Project: 11/20/2021 05:11:03 PM, 6:45:00 AM  
 User: daniel.flores@cityofalbuquerque.com

**DRAINAGE AREA 100**

AREA = 39.133 ac  
 AREA = 0.90 ac

**DRAINAGE ZONE 3**

PRECIPITATION: 360 = 2.60 in.  
 1140 = 3.10 in.  
 10day = 4.90 in.

**EXCESS PRECIPITATION: PEAK DISCHARGE:**

TREATMENT A	0.66 in.	1.87 cfs/ac.
TREATMENT B	0.92 in.	2.60 cfs/ac.
TREATMENT C	1.29 in.	3.45 cfs/ac.
TREATMENT D	2.36 in.	5.02 cfs/ac.

<b>EXISTING CONDITIONS:</b>		<b>PROPOSED CONDITIONS:</b>	
% AREA	% AREA	% AREA	% AREA
TREATMENT A 0%	0.00 ac	0%	0.00 ac
TREATMENT B 0%	0.00 ac	3%	0.03 ac
TREATMENT C 5%	0.04 ac	6%	0.05 ac
TREATMENT D 95%	0.85 ac	91%	0.82 ac

**EXISTING EXCESS PRECIPITATION:**

Weighted E = ( 0.66 )( 0.00 ) + ( 0.92 )( 0.00 ) + ( 1.29 )( 0.04 ) + ( 2.36 )( 0.85 ) = 0.90 ac  
 = 2.31 in.  
 V100-360 = ( 2.31 )( 0.90 ) = 2.0774 ac-ft = 7522 cf

**EXISTING PEAK DISCHARGE:**

Q100 = ( 1.87 )( 0.00 ) + ( 2.60 )( 0.00 ) + ( 3.45 )( 0.04 ) + ( 5.02 )( 0.85 ) = 4.44 cfs

**PROPOSED EXCESS PRECIPITATION:**

Weighted E = ( 0.66 )( 0.00 ) + ( 0.92 )( 0.03 ) + ( 1.29 )( 0.05 ) + ( 2.36 )( 0.82 ) = 0.90 ac  
 = 2.25 in.  
 V100-360 = ( 2.25 )( 0.90 ) = 2.025 ac-ft = 7346 cf  
 V100-1440 = ( 0.17 )( 0.82 )( 3.10 - 2.60 ) = 0.2027 ac-ft = 8830 cf  
 V100-10day = ( 0.17 )( 0.82 )( 4.90 - 2.60 ) = 0.3253 ac-ft = 14171 cf

**PROPOSED PEAK DISCHARGE:**

Q100 = ( 1.87 )( 0.00 ) + ( 2.60 )( 0.03 ) + ( 3.45 )( 0.05 ) + ( 5.02 )( 0.82 ) = 4.36 cfs

**FIRST FLUSH VOLUME: CAPTURE AND MANAGE 0.4% OF RAINFALL**

V = 848 cf

**DRAINAGE BASIN 101**

AREA = 15.319 ac  
 AREA = 0.35 ac

**DRAINAGE ZONE 3**

PRECIPITATION: 360 = 2.60 in.  
 1140 = 3.10 in.  
 10day = 4.90 in.

**EXCESS PRECIPITATION: PEAK DISCHARGE:**

TREATMENT A	0.66 in.	1.87 cfs/ac.
TREATMENT B	0.92 in.	2.60 cfs/ac.
TREATMENT C	1.29 in.	3.45 cfs/ac.
TREATMENT D	2.36 in.	5.02 cfs/ac.

<b>EXISTING CONDITIONS:</b>		<b>PROPOSED CONDITIONS:</b>	
% AREA	% AREA	% AREA	% AREA
TREATMENT A 0%	0.00 ac	0%	0.00 ac
TREATMENT B 0%	0.00 ac	0%	0.00 ac
TREATMENT C 5%	0.02 ac	0%	0.00 ac
TREATMENT D 95%	0.33 ac	100%	0.35 ac

**EXISTING EXCESS PRECIPITATION:**

Weighted E = ( 0.66 )( 0.00 ) + ( 0.92 )( 0.00 ) + ( 1.29 )( 0.02 ) + ( 2.36 )( 0.35 ) = 0.35 ac  
 = 2.31 in.  
 V100-360 = ( 2.31 )( 0.35 ) = 0.8086 ac-ft = 2944 cf

**EXISTING PEAK DISCHARGE:**

Q100 = ( 1.87 )( 0.00 ) + ( 2.60 )( 0.00 ) + ( 3.45 )( 0.02 ) + ( 5.02 )( 0.33 ) = 1.74 cfs

**PROPOSED EXCESS PRECIPITATION:**

Weighted E = ( 0.66 )( 0.00 ) + ( 0.92 )( 0.00 ) + ( 1.29 )( 0.00 ) + ( 2.36 )( 0.35 ) = 0.35 ac  
 = 2.36 in.  
 V100-360 = ( 2.36 )( 0.35 ) = 0.826 ac-ft = 3013 cf  
 V100-1440 = ( 0.07 )( 0.35 )( 3.10 - 2.60 ) = 0.0838 ac-ft = 3651 cf  
 V100-10day = ( 0.07 )( 0.35 )( 4.90 - 2.60 ) = 0.1365 ac-ft = 5949 cf

**PROPOSED PEAK DISCHARGE:**

Q100 = ( 1.87 )( 0.00 ) + ( 2.60 )( 0.00 ) + ( 3.45 )( 0.00 ) + ( 5.02 )( 0.35 ) = 1.77 cfs

**FIRST FLUSH VOLUME: CAPTURE AND MANAGE 0.34% OF RAINFALL**

V = 434 cf

**DRAINAGE BASIN 102**

AREA = 130.175 ac  
 AREA = 2.99 ac

**DRAINAGE ZONE 3**

PRECIPITATION: 360 = 2.60 in.  
 1140 = 3.10 in.  
 10day = 4.90 in.

**EXCESS PRECIPITATION: PEAK DISCHARGE:**

TREATMENT A	0.66 in.	1.87 cfs/ac.
TREATMENT B	0.92 in.	2.60 cfs/ac.
TREATMENT C	1.29 in.	3.45 cfs/ac.
TREATMENT D	2.36 in.	5.02 cfs/ac.

<b>EXISTING CONDITIONS:</b>		<b>PROPOSED CONDITIONS:</b>	
% AREA	% AREA	% AREA	% AREA
TREATMENT A 0%	0.00 ac	0%	0.00 ac
TREATMENT B 50%	1.49 ac	0%	0.00 ac
TREATMENT C 50%	1.49 ac	5%	0.15 ac
TREATMENT D 0%	0.00 ac	95%	2.84 ac

**EXISTING EXCESS PRECIPITATION:**

Weighted E = ( 0.66 )( 0.00 ) + ( 0.92 )( 1.49 ) + ( 1.29 )( 1.49 ) + ( 2.36 )( 0.00 ) = 2.99 ac  
 = 1.11 in.  
 V100-360 = ( 1.11 )( 2.99 ) = 3.3189 ac-ft = 11987 cf

**EXISTING PEAK DISCHARGE:**

Q100 = ( 1.87 )( 0.00 ) + ( 2.60 )( 1.49 ) + ( 3.45 )( 1.49 ) + ( 5.02 )( 0.00 ) = 9.04 cfs

**PROPOSED EXCESS PRECIPITATION:**

Weighted E = ( 0.66 )( 0.00 ) + ( 0.92 )( 0.00 ) + ( 1.29 )( 0.15 ) + ( 2.36 )( 2.84 ) = 2.99 ac  
 = 2.31 in.  
 V100-360 = ( 2.31 )( 2.99 ) = 6.9069 ac-ft = 25021 cf  
 V100-1440 = ( 0.57 )( 2.84 )( 3.10 - 2.60 ) = 0.6926 ac-ft = 30173 cf  
 V100-10day = ( 0.57 )( 2.84 )( 4.90 - 2.60 ) = 1.1853 ac-ft = 48723 cf

**PROPOSED PEAK DISCHARGE:**

Q100 = ( 1.87 )( 0.00 ) + ( 2.60 )( 0.00 ) + ( 3.45 )( 0.15 ) + ( 5.02 )( 2.84 ) = 14.77 cfs

**FIRST FLUSH VOLUME: CAPTURE AND MANAGE 0.34% OF RAINFALL**

V = 3,688 cf

**HYDROLOGY - DRB**

Designed By:  
**HUNT-ZOLIARS**  
 Hydrologists, Inc.  
 6501 Americas Parkway NE, Suite 550  
 Albuquerque, New Mexico 87110  
 Phone (505) 883-8114 Fax (505) 883-5022

**THE LOFTS @ WINROCK**  
 7500 INDIAN SCHOOL ROAD NE  
 ALBUQUERQUE, NM

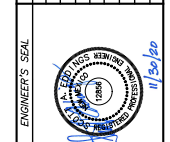
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Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. XXXX.XX Zone Map No. J-19 Sheet C101 Of 3

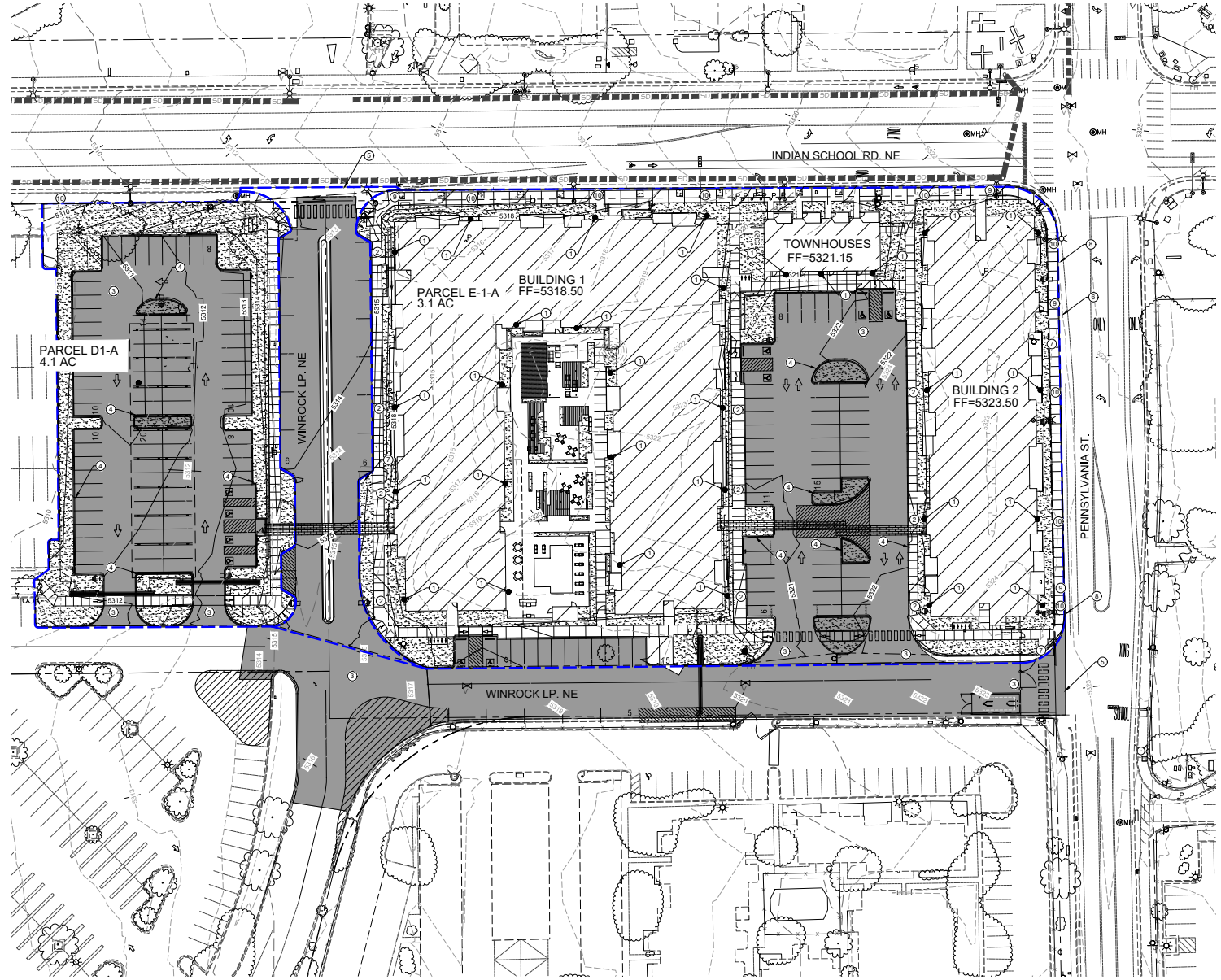
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<b>WORK</b>		<b>DATE</b>	
<b>REVISIONS</b>		<b>DATE</b>	
<b>DESIGN</b>		<b>DATE</b>	
<b>APPROVED BY</b>		<b>DATE</b>	
<b>APPROVED BY</b>		<b>DATE</b>	
<b>APPROVED BY</b>		<b>DATE</b>	
<b>APPROVED BY</b>		<b>DATE</b>	




11/20/2021

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GRADING PLAN  
SCALE: 1"=30'

- CONSTRUCTION NOTES**
- ① ROOF DRAIN - INSTALL SPLASH BLOCK AND GRADE TO DRAIN
  - ② NEW PRIVATE SIDEWALK CULVERT.
  - ③ NEW PRIVATE PAVEMENT - 3" SP-C ASPHALT.
  - ④ NEW PRIVATE MEDIAN CURB AND GUTTER.
  - ⑤ EXISTING VALLEY GUTTER TO REMAIN.
  - ⑥ REMOVE EXISTING VALLEY GUTTER.
  - ⑦ REMOVE AUXILIARY LANE.
  - ⑧ NEW STANDARD CURB AND GUTTER.
  - ⑨ NEW PUBLIC SIDEWALK.
  - ⑩ NEW PUBLIC SIDEWALK CULVERT.

ENGINEER'S SEAL		SURVEY INFORMATION		AS-BUILT INFORMATION	
 11/20/20	NO.	DATE	BY	CONTRACTOR	DATE
	REVISIONS	FIELD NOTES	DATE	WORK PERFORMED BY	DATE
DESIGNED BY: SE	DESIGN	DATE: November 02, 2020	DATE: November 02, 2020	CONTRACTOR BY:	DATE
DWG NAME: C102.dwg	CHECKED: BFT:NV	DATE: November 02, 2020	DATE: November 02, 2020	MICRO-FILM INFORMATION	DATE
				REVISION NO.	DATE

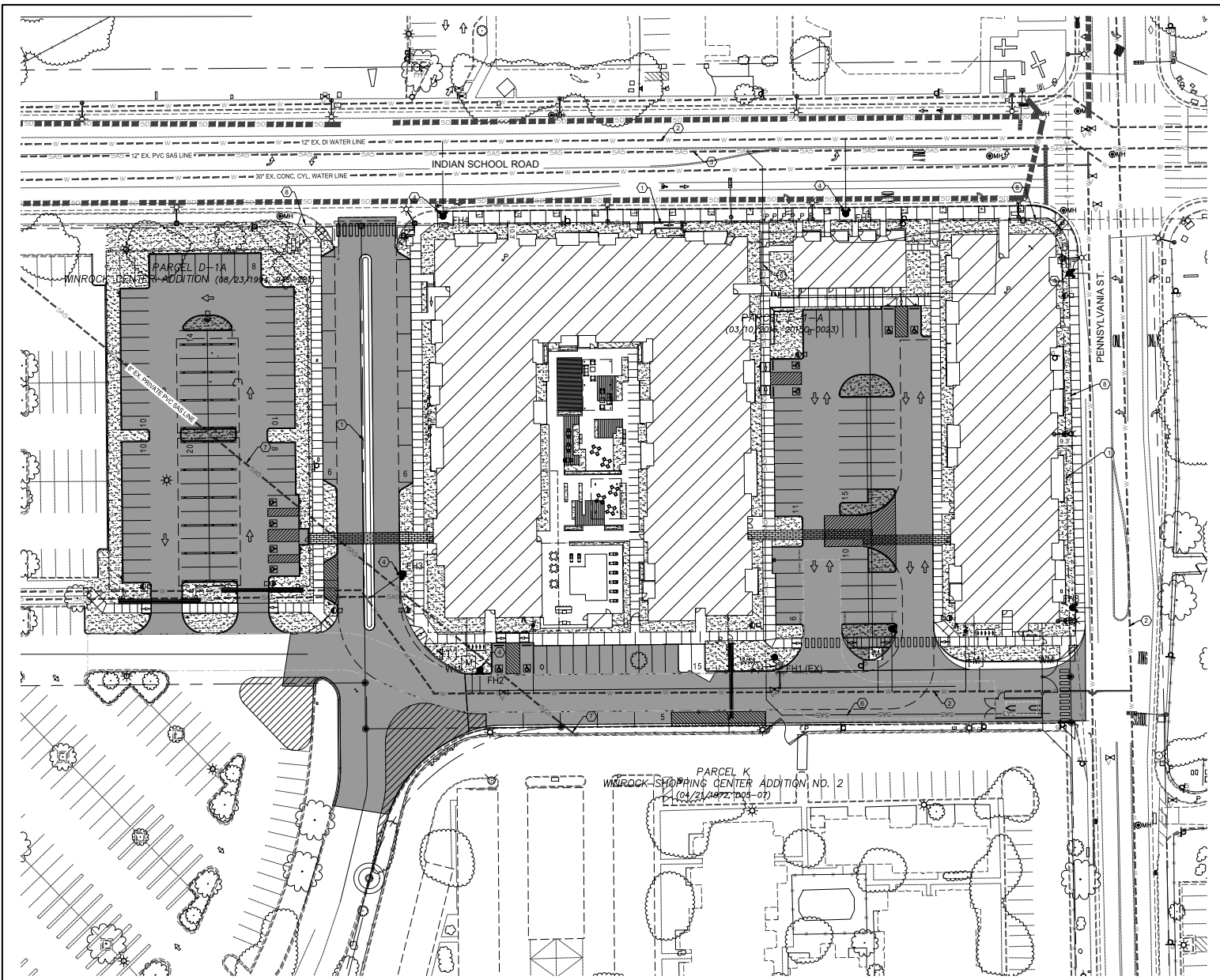
Designed By:  
**HUNT-ZOLIARS**  
 Hunt-Zoliars, Inc.  
 6501 Americas Parkway NE, Suite 550  
 Albuquerque, New Mexico 87110  
 Phone (505) 883-8114 Fax (505) 883-5022

**THE LOFTS @ WINROCK**  
 7500 INDIAN SCHOOL ROAD NE  
 ALBUQUERQUE, NM  
 TITLE: **DRB GRADING PLAN**

Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
XXXX.XX	J-19	C102	3

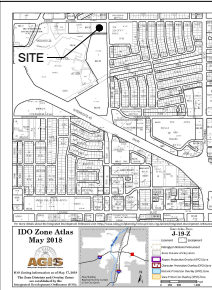
SHEET

Parcel: 10/28/2021 10:29 AM R. Martinez, Esq.  
 Project: 20210001.01 The Lofts @ Winrock, 7500 Indian School Rd NE, Suite 550  
 Last Saved: 2021/11/02 11:27:27 AM



CONCEPTUAL UTILITY PLAN

VICINITY MAP



J-19



SHEET KEYED NOTES

1. PROPERTY LINE
2. EXISTING PUBLIC WATER LINE
3. EXISTING SANITARY SEWER
4. PROPOSED PUBLIC FIRE HYDRANT
5. PROPOSED WATER METER
6. PROPOSED SANITARY SEWER YARD LINE
7. EXISTING PRIVATE SANITARY SEWER YARD LINE
8. EXISTING UNDERGROUND ELECTRIC LINE

<p>CONTRACTOR</p> <p>WORK PROVIDED BY</p> <p>PROPOSED BY</p> <p>DESIGNED BY</p> <p>DATE</p>		<p>DATE</p> <p>DATE</p> <p>DATE</p> <p>DATE</p> <p>DATE</p>	
<p>AST-BUILD INFORMATION</p> <p>FOUND MONUMENT "L" MARK</p> <p>0.1 FEET BELOWGROUND LEVEL AND IS STAMPED "L-HUB, 1987"</p> <p>X = 1434934.44</p> <p>Y = 1492976.47</p> <p>ELEVATION IS 5336.81 (MWD 1988)</p>		<p>REVISIONS</p> <p>NO.</p> <p>DATE</p> <p>REMARKS</p> <p>BY</p>	
<p>PROPERTY INFORMATION</p> <p>NO.</p> <p>DATE</p> <p>FIELD NOTES</p>		<p>DESIGNED BY: SE</p> <p>DATE: November 02, 2020</p> <p>DWG NAME: C200.dwg</p> <p>CHECKED BY: NV</p> <p>DATE: November 02, 2020</p>	
<p>ENGINEER'S SEAL</p>		<p>SCALE: 1" = 30'</p>	
<p>THE LOFTS @ WINROCK</p> <p>7500 INDIAN SCHOOL ROAD NE</p> <p>ALBUQUERQUE, NM</p> <p>TITLE: CONCEPTUAL UTILITY PLAN</p>			
<p>Design Review Committee</p> <p>City Engineer</p>		<p>Mo./Dw./Tr.</p> <p>Mo./Dw./Tr.</p>	
<p>City Project No. XXXX.XX</p>		<p>Zone Map No. J-19</p>	
<p>Sheet C200</p>		<p>Of</p>	
<p>PROJECT INFORMATION</p>			

DRB



**GENERAL SHEET NOTES**

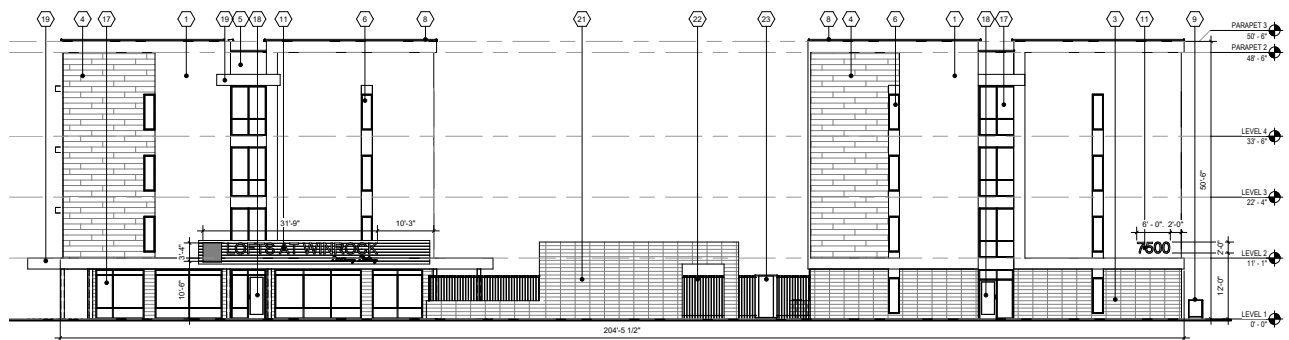
1. ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD, UNLESS NOTED OTHERWISE
2. BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 7" BRUSH STROKE WITH CONTRASTING COLORS, LIT FROM DUSK UNTIL DAWN AS WELL AS DAY-LIGHT HOURS. PER 2009 IFC MOUNT AT 10'-0" ABOVE FINISHED FLOOR
3. MECHANICAL EQUIPMENT IS ROOF MOUNTED AND SCREENED FROM VIEW BY THE BUILDING PARAPET.
4. ROOF DRAINAGE BY WAY OF INTERNAL ROOF DRAINS (EXTERNAL DOWNSPOUTS AS REQUIRED FOR DESIGN OPTION).

**KEYNOTES**

1. STUCCO FINISH (COLOR 1)
2. STUCCO FINISH (COLOR 2)
3. BRICK VENEER
4. WOOD LOOK CLADDING
5. METAL PANEL
6. VINYL WINDOW
7. STEEL WINDOW SHADE (OPTIONAL)
8. PREFINISHED METAL COPING
9. STEEL QUADRANT PAINTED
10. STUCCO CONTROL JOINT
11. BUILDING IDENTIFICATION SIGNAGE
12. BALLET BALCONY PAINTED
13. EXTERIOR STAR
14. FULL LITE ATRIUM DOOR
15. HOSE BIB
16. FIRE SEPARATION CONNECTION
17. CLEAR ANODIZED ALUMINUM STOREFRONT

**LEGEND**

- STUCCO FINISH (COLOR 1)
- STUCCO FINISH (COLOR 2)
- WOOD LOOK CLADDING
- BRICK VENEER
- CAST CONCRETE OR C.M.U. FINISH T.B.D.



**C1 SOUTH ELEVATION - BUILDING A**  
Scale: 3/32" = 1'-0"



**B1 NORTH ELEVATION - BUILDING A**  
Scale: 3/32" = 1'-0"



**A1 WEST ELEVATION - BUILDING A**  
Scale: 3/32" = 1'-0"

**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION



SEAL

PROJECT

APARTMENTS AT INDIAN SCHOOL &  
PENNSYLVANIA  
7500 INDIAN SCHOOL RD NE  
ALBUQUERQUE, NM 87110

DRB

REVISIONS

- △
- △
- △
- △
- △

DRAWING NAME

EXTERIOR  
ELEVATIONS

SHEET NO

SDP5.1

12/17/2020 11:44:03 AM

**GENERAL SHEET NOTES**

1. ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD, UNLESS NOTED OTHERWISE
2. BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 7" BRUSH STROKE WITH CONTRASTING COLORS, LIT FROM DUSK UNTIL DAWN AS WELL AS DAY LIGHT HOURS, PER 2009 IFC, MOUNT AT 10'-0" ABOVE FINISHED FLOOR
3. MECHANICAL EQUIPMENT IS ROOF MOUNTED AND SCREENED FROM VIEW BY THE BUILDING PARAPET.
4. ROOF DRAINAGE BY WAY OF INTERNAL ROOF DRAINS (EXTERNAL DOWNSPOUTS AS REQUIRED FOR DESIGN OPTION).

**KEYNOTES**

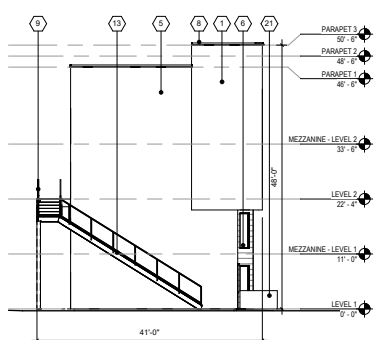
1. STUCCO FINISH (COLOR 1)
2. STUCCO FINISH (COLOR 2)
3. BRICK VENEER
4. WOOD LOOK CLADDING
5. METAL PANEL
6. VINYL WINDOW
7. STEEL WINDOW SHADE (OPTIONAL)
8. PREFINISHED METAL COPING
9. STEEL QUARNIAL PAINTED
10. STUCCO CONTROL JOINT
11. BUILDING IDENTIFICATION SIGNAGE
12. ALIET BALCONY PAINTED
13. EXTERIOR STAR
14. FULL LITE ATRIUM DOOR
15. HOSE BIB
16. FIRE SEPARATION CONNECTION
17. CLEAR ANODIZED ALUMINUM STOREFRONT

**LEGEND**

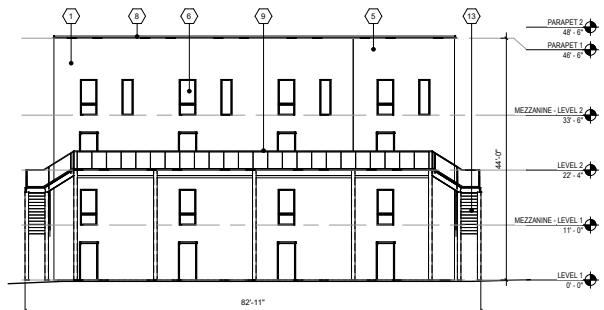
	STUCCO FINISH (COLOR 1)		CAST CONCRETE OR C.M.U. FINISH T.B.D.
	STUCCO FINISH (COLOR 2)		
	WOOD LOOK CLADDING		
	BRICK VENEER		



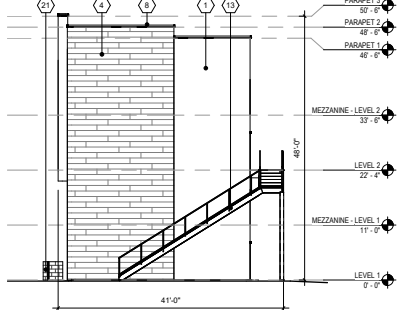
**C1 NORTH ELEVATION - BUILDING C**  
Scale 3/32" = 1'-0"



**C3 EAST ELEVATION - BUILDING C**  
Scale 3/32" = 1'-0"



**B1 SOUTH ELEVATION - BUILDING C**  
Scale 3/32" = 1'-0"



**B3 WEST ELEVATION - BUILDING C**  
Scale 3/32" = 1'-0"



**A1 EAST ELEVATION - BUILDING A**  
Scale 3/32" = 1'-0"



PROJECT  
**APARTMENTS AT INDIAN SCHOOL & PENNSYLVANIA**  
7500 INDIAN SCHOOL RD NE  
ALBUQUERQUE, NM 87110

DRB

REVISIONS

- ▲
- ▲
- ▲
- ▲
- ▲

DRAWN BY: CWW  
REVIEWED BY: RAW  
DATE: 12.18.2020  
PROJECT NO: 19-0087

DRAWING NAME  
**EXTERIOR ELEVATIONS**

SHEET NO  
**SDP5.2**

12/17/2020 11:44:03 AM

**GENERAL SHEET NOTES**

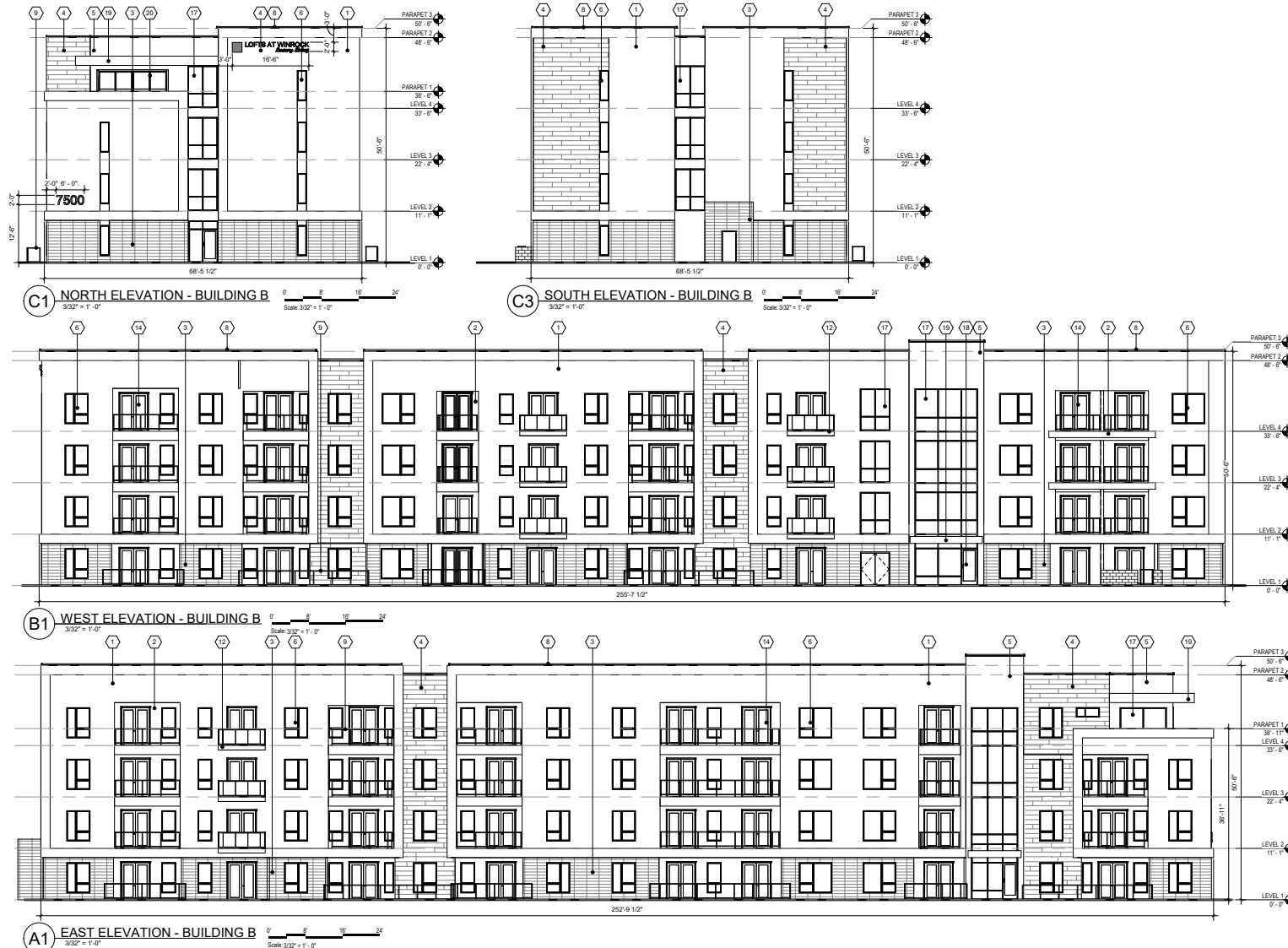
1. ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD, UNLESS NOTED OTHERWISE
2. BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 7" BRUSH STROKE WITH CONTRASTING COLORS LIT FROM DUSK UNTIL DAWN AS WELL AS DAY LIGHT HOURS. FOR 2009 IFC MOUNT AT 10'-0" ABOVE FINISHED FLOOR
3. MECHANICAL EQUIPMENT IS ROOF MOUNTED AND SCREENED FROM VIEW BY THE BUILDING PARAPET
4. ROOF DRAINAGE BY WAY OF INTERNAL ROOF DRAINS (EXTERNAL DOWNSPOUTS AS REQUIRED FOR DESIGN OPTION)

**KEYNOTES**

1. STUCCO FINISH (COLOR 1)
2. STUCCO FINISH (COLOR 2)
3. BRICK VENEER
4. WOOD LOOK CLADDING
5. METAL PANEL
6. VINYL WINDOW
7. STEEL WINDOW SHADE (OPTIONAL)
8. PREFINISHED METAL COPING
9. STEEL QUARNORIAL PAINTED
10. STUCCO CONTROL JOINT
11. BUILDING IDENTIFICATION SIGNAGE
12. ALIET BALCONY PAINTED
13. EXTERIOR STAR
14. FULL LITE ALUMINUM DOOR
15. HOSE BIB
16. FIRE SEPARATION CONNECTION
17. CLEAR ANODIZED ALUMINUM STOREFRONT

**LEGEND**

- |  |                         |  |                                       |
|--|-------------------------|--|---------------------------------------|
|  | STUCCO FINISH (COLOR 1) |  | CAST CONCRETE OR C.M.U. FINISH T.B.D. |
|  | STUCCO FINISH (COLOR 2) |  |                                       |
|  | WOOD LOOK CLADDING      |  |                                       |
|  | BRICK VENEER            |  |                                       |



**DEKKER  
PERICH  
SABATINI**

ARCHITECTURE  
DESIGN  
INSPIRATION



12/18/2020

SEAL

PROJECT

APARTMENTS AT INDIAN SCHOOL &  
PENNSYLVANIA  
7500 INDIAN SCHOOL RD NE  
ALBUQUERQUE, NM 87110

DRB

REVISIONS

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DRAWN BY: CWW  
REVIEWED BY: RAW  
DATE: 12.18.2020  
PROJECT NO: 19-0087

DRAWING NAME  
EXTERIOR  
ELEVATIONS

SHEET NO

**SDP5.3**