



DEVELOPMENT REVIEW BOARD  
**SUPPLEMENTAL SUBMITTAL**

**(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)**

PROJECT NO. PR-2018-001579

Application No. SI-2021-00304 SITE PLAN, SI-2021-00305 SITE PLAN AMENDMENT, PS-2021-00040

TO: SKETCH PLAT

Planning Department/Chair

Hydrology

Transportation Development

ABCWUA

Code Enforcement

Parks & Rec

\*(Please attach this sheet with each collated set for each board member)

**NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.**

DRB SCHEDULED HEARING DATE: January 5, 2022 HEARING DATE OF DEFERRAL: January 19, 2022

SUBMITTAL DESCRIPTION: Based on the comments from the DRB Hearing January 5, 2022 we requested a deferral

to January 19, 2022. Significant comments were address resulting in an update to almost the entire package.

Our updated cover includes the updated sheet index & NEW SHEETS &

Updated Project Narrative with resposnes to DRB comments

CONTACT NAME: Mrs. Angela M. WilliamsonC CEO/Managing Partner (Agent)

TELEPHONE: 505-338-1499 EMAIL: awilliamson@modulusarchitects.com



**Development Review Board  
Jolene Wolfley, DRB Chair, Planning Department**

Email: [jwolfley@cabq.gov](mailto:jwolfley@cabq.gov)  
Development Review Board  
City of Albuquerque  
Plaza Del Sol, 600 Second NW  
Albuquerque, New Mexico 87102

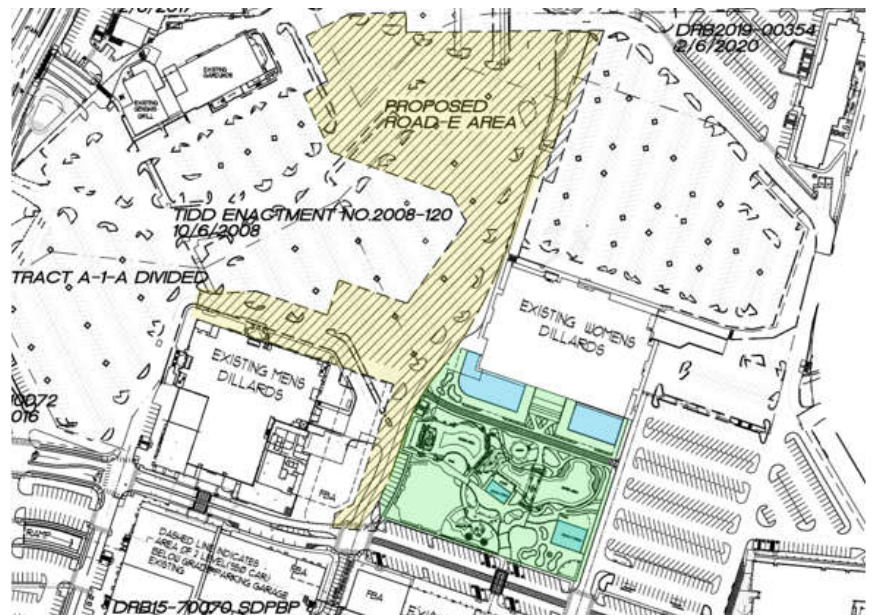
**January 14, 2022**

**RE: PR-2018-001579 – WINROCK TOWN CENTER, SI-2021-00304 SITE PLAN, SI-2021-00305 SITE PLAN AMENDMENT, SUMMARY PLAT (PLAT OF EASEMENTS ONLY)**

Members of the DRB Board,

Modulus Architects, Inc., hereafter referred to as "Agent" for the purpose of this request, represents Winrock Partners, hereafter referred to as "Applicant." We, "Agent" are requesting approval for a DRB Site Plan Amendment to the Master Plan, Site Plan approval specific to the Park and Roadway E, Summary Plan for easements only and Infrastructure List approval. The area of the new park and Roadway "E" are shown below for reference.

NEW/UPDATED DRB SHEETS WITH THIS FILING
SP-1 Composite As-Build Site Plan
SP-1A - Winrock Park Site Plan
A1.2 - Site Plan Details
SP-1B Proposed Road-E
SP-1C Proposed Road-E
SP-1D Proposed Road-E
C001 Fire One Plan
C200 Conceptual Site Utility Plan
C201 - Park Utility Plan
C202 Applicable Easements
C203 DRB Easement Exhibit
C204 EX. Plat and Site Plan Overlay
Infrastructure List Dated 1/14/2022
01 Pond Plan
02 Piping Plan
03 Lake Shoplines
04 Waterfall and Water Wall Options
LC-100 Landscape Schedules and Notes
LC-101 Landscape Site Plan - Park
LP-101 Landscape Planting Plan - Park
LP-102 Landscape Site Plan Calculations - Park
LP-103 Conceptual Landscaping Plan
LP-104 Landscape Planting Plan - Road E
LP-105 Landscape Planting Plan - Road E
LP-106 Landscape Road E Calculations
LP-501 - Landscape Planting Details
Winrock Town Center Drainage Implementation Plan
Signed Availability Statement



## **Transportation Development –**

### SITE PLAN

1. Stamp and sign drawings.
  - **Applicant Response: All drawings have been stamped and signed.**
2. Show cross-sections of Roadway E with cross-slopes, lane widths and sidewalks. Call out details for curb.
  - **Applicant Response: City Project Number 538491 and plans have been submitted to DRC. Shown on work order plans per discussion with Jeanne .**
3. Label all handicapped signage and motorcycle parking signage on the plan.
  - **Applicant Response: All handicap parking adjacent to park is existing. No motorcycle parking provided by park. All H.C. parking along Road E has been labeled.**
4. Provide proposed traffic control at each of the new intersections. Add “Yield to Pedestrians” signage for the new crosswalks that are mid-block.
  - **Applicant Response: Proposed traffic control at each of the new intersections are shown on work order plans. Signage has been identified.**
5. Include civil details with all signage, curb, ramps, and sidewalk, and crosswalk details. For the curb ramp and sidewalk details, indicate a 2% maximum slope for the sidewalk.
  - **Applicant Response: City Project Number 538491 and plans have been submitted to DRC. Shown on work order plans.**
6. Label all new curb ramps on the site plan and reference curb ramp details. (It appears that in some cases, the wrong keyed notes were used for the curb ramps).
  - **Applicant Response: All new and existing curbs have been identified in project area. The details are also shown on work order plans.**
7. “No Parking” shall be called out on all new van accessible aisles. However, this can be handled under the details.
  - **Applicant Response: Identified on details.**

## **Water Utility Authority -**

1. SI-2021-00304 – SITE PLAN & SI-2021-00305 – SITE PLAN AMENDMENT
  - a. PREVIOUS COMMENT: Availability statement #210309 has been requested and is currently holding pending a Fire One Plan submittal. Issuance of this Availability Statement is a requirement for approval.
    - a. **Applicant Response: Water Availability Statement has been issued and included in this submittal.**
  - b. Site Plan
    - i. PREVIOUS COMMENT: Show the water and sewer easements on the utility plan.
      1. **Applicant Response: Water and sewer easements are shown on the utility plan.**
    - ii. PREVIOUS COMMENT: Please dimension the distance between each type of utility on the utility plan.
      1. **Applicant Response: Dimensions have been added on the utility plan.**

iii. COMMENT: Please coordinate with the ABCWUA Utility Development and Project Manager for the WWTP to ensure the proposed use demands and methods of filling the ponds are feasible.

**1. Applicant Response: Coordination in progress.**

iv. PREVIOUS COMMENT: Please demonstrate sufficient easements for the proposed reuse lines, and any other public water and public sewer lines not currently within easements. The easement map provided with the plat does not appear to show easements for all the public lines, in particular the reuse running through the park and the initial sewer connection to existing manhole.

**1. Applicant Response: Easement Ex. Added.**

v. PREVIOUS COMMENT: Please be advised that encroachments shall not be constructed over the reuse water line. Please review the alignment of the reuse line. Can this line run due north similar to the water and sewer mains?

**1. Applicant Response: Reuse Align. Updated.**

vi. PREVIOUS COMMENT: Provide private easements for the yard lines as necessary and depict on the utility plan. Private water/sewer easement shall not coincide with the public easement for the reuse line.

**1. Applicant Response: Added**

c. Infrastructure List

i. Please label the Roads listed in the water/sewer callouts on the utility plan.

ii. It appears the infrastructure list includes the public water, public sewer, and public reuse lines adjacent to this project.

**1. Applicant Response: Infrastructure list has been updated.**

The responses and updated plan submittals should adequately address the comments provided. We are respectfully requesting approval of the Amended Overall Master Plan, the Site Specific Plan for the Park, Roadway E and the Platting Action.

Sincerely,

Angela M. Williamson

**Angela M. Williamson, CEO/Managing Partner  
(Agent) Goodman Realty Group**

**Modulus Architects & Land Use Planning, Inc.**

100 Sun Ave NE, Suite 600

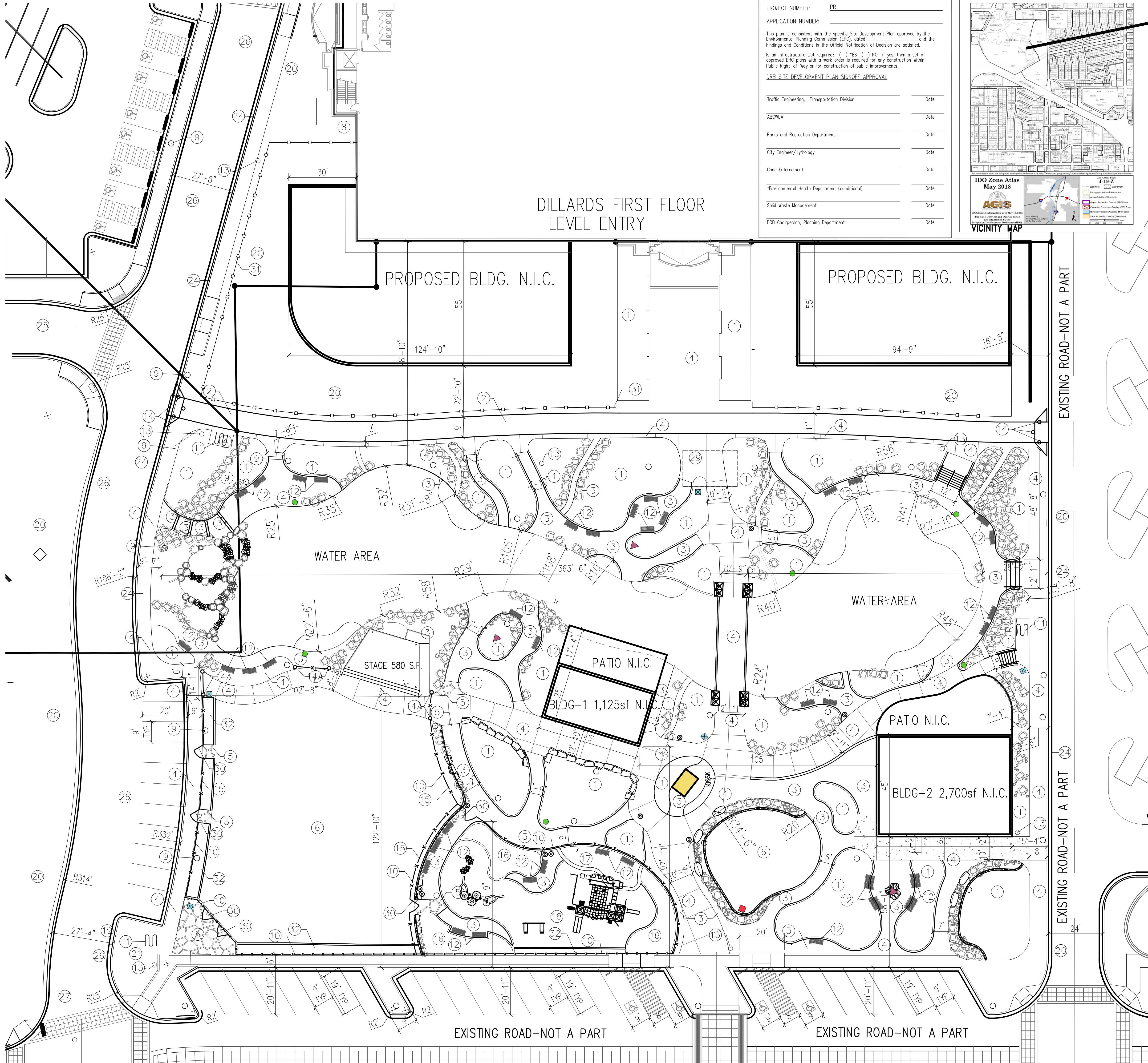
Albuquerque, New Mexico 87109

Office: (505) 338.1499 ext. 1000

Cell + Text: (505) 999.8016

Email: [awilliamson@modulusarchitects.com](mailto:awilliamson@modulusarchitects.com)





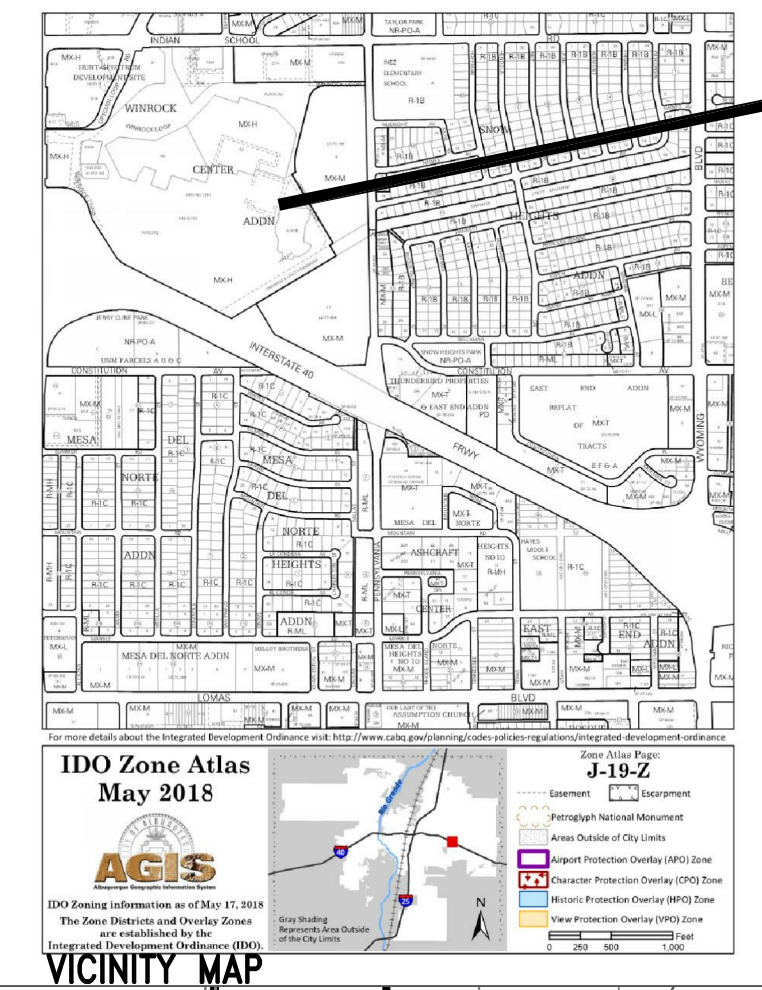
PROJECT NUMBER: PR-  
 APPLICATION NUMBER: \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) YES ( ) NO If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date
ABC/WJA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date



### PROJECT LOCATION

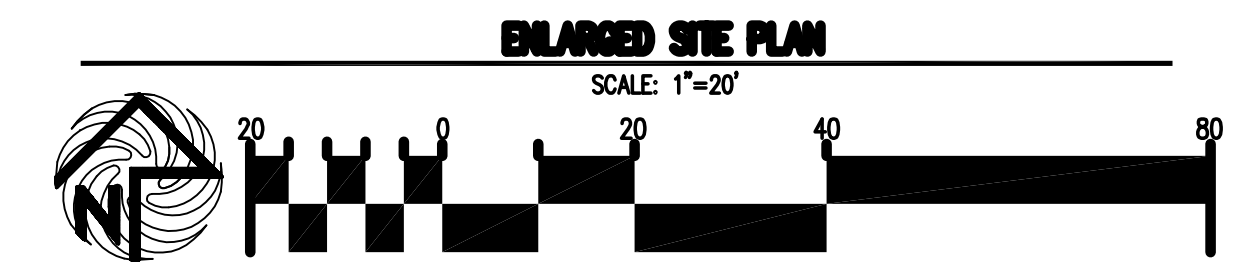
#### KEYED NOTE:

- ① 4" DEEP ANGULAR LANDSCAPE GRAVEL/MULCH AREA G.C. TO PROVIDE/COORD. REQ'D SLEEVING FOR EA. WELL LOCATION RE: LANDSCAPE PLAN FOR DETAILS
- ② INTEGRALLY COLORED/TEXTURED CONCRETE TROLLEY PATHWAY
- ③ 4" DEEP ANGULAR CRUSHER FINE PEDESTRIAN PATHWAY. RE: LANDSCAPE PLAN
- ④ 4" EXPOSED AGGREGATE CONCRETE SURFACE AREA. RE: LANDSCAPE PLAN
- ⑤ FLAGSTONE PAVER SURFACE AREA. RE: LANDSCAPE PLAN
- ⑥ INDICATES LAWN AREA RE: LANDSCAPE PLAN FOR INFO.
- ⑦ INTEGRALLY COLORED CONC. SIDEWALK
- ⑧ INDICATES EXISTING SIDEWALK AREA TO REMAIN
- ⑨ LIGHT POLE LOCATION RE: DETAIL 3/A1.1
- ⑩ ORNAMENTAL ALUM. FENCE RE: 8/A20
- ⑪ INDICATES BIKE RACK LOCATION. (5 BIKE CAPACITY) RE: DETAIL 11/A1.2  
TYPICAL BIKE RACK GRAPHIC SYMBOL=
- ⑫ BENCH LOCATION  
TYPICAL BENCH GRAPHIC SYMBOL=
- ⑬ TRASH RECEPTACLE
- ⑭ 6" STEEL BOLLARD WITH CUSTOM CAP.
- ⑭ 6" STEEL BOLLARD CHAIN LOOP AND CHAIN.
- ⑮ 12" WIDE CONCRETE MOW STRIP AT ORNAMENTAL FENCE.
- ⑯ SHREDDED NATIVE BARK MULCH. RE: LANDSCAPE PLAN.
- ⑰ POURED IN PLACE RUBBER SURFACE. RE: LANDSCAPE PLAN.
- ⑱ ENGINEERED WOOD FIBER, 12" COMPACTED DEPTH. RE: LANDSCAPE PLAN.
- ⑲ INDICATES 1" CURB CUT TO ALLOW FOR PASSIVE WATER SHEET FLOW HARVESTING FROM ADJACENT PAVEMENT SURFACE TO PROPOSED LANDSCAPE PLANT BEDS. RE: DETAIL 1/A1.1 FOR KNOTCH DETAIL
- ⑳ NOT A PART-FUTURE REDEVELOPMENT PHASE, GRADING WORK ONLY.
- ㉑ 6" HIGH CONC. ISLAND RE: DET 4/A1.1  
RE: SITE GRADING PLAN FOR INFO
- ㉒ WHEELSTOP RE: DET 5/A1.2
- ㉓ EXTERIOR DECORATIVE CONCRETE ENTRY AREA  
MAIN BUILDING ENTRY PATHWAY
- ㉔ INDICATES PROPOSED CURBING TO RECEIVE FIRE STRIPE  
PAINT CURB RED IN COLOR
- ㉕ NEW ASPHALT DRIVE TIE INTO EXISTING RE: CIVIL FOR GRADES/PROFILE
- ㉖ NEW ASPHALT DRIVE RE: CIVIL FOR GRADES/PROFILE
- ㉗ TIE NEW SIDEWALK INTO FACE OF EXISTING  
SIDEWALK LOCATION
- ㉘ H.C. PARKING STALL RE: DET 5/A1.2
- ㉙ UNDERGROUND 24'x16'x8" EQUIPMENT PUMP VAULT.
- ㉚ GATE
- ㉛ TEMPORARY CONSTRUCTION FENCE.
- ㉜ HEDGES RE: LANDSCAPE

NOTE: REFER TO PLAT FOR ALL EXISTING EASEMENTS WITHIN PROJECT SCOPE AREA.

SITE DATA TABLE	PROJECT AREA PHASE LIMITS (LOT-A-1-A-1-A)
LEGAL DESCRIPTION	PARCEL 1-A-1 WINROCK CENTER ADDITION
TOTAL ACREAGE:	2.84 ACRES PROPOSED
EXISTING ZONING:	MX-H
PROPOSED USE:	PARK
PROPOSED BUILDING SIZE:	RE: SITE PLAN
TOTAL PARKING PROVIDED WITHIN PROJECT AREA:	11 PARKS
TOTAL H.C. PARKING PROVIDED WITHIN PROJECT AREA:	4 PARKS (EXISTING)

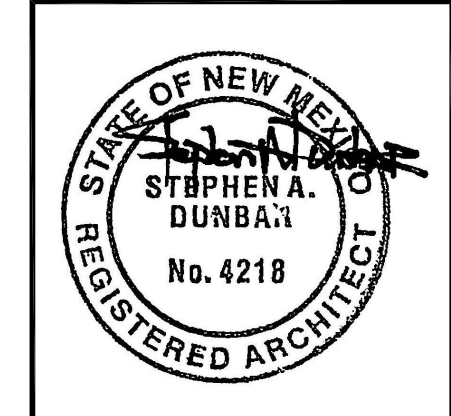
- LINETYPE LEGEND
- PROJECT SCOPE AREA
  - EXISTING PROPERTY LINE
  - EXISTING CURB LINE
  - PROPOSED CURB LINE



REV	DATE	BY	REVISION
△			
△			
△			
△			

**ADOLPHUS ARCHITECTS**

1000 AVENUE N.W. SUITE 100  
 MONROE, LOUISIANA 70130  
 (504) 338-1499 FAX (504) 338-1498



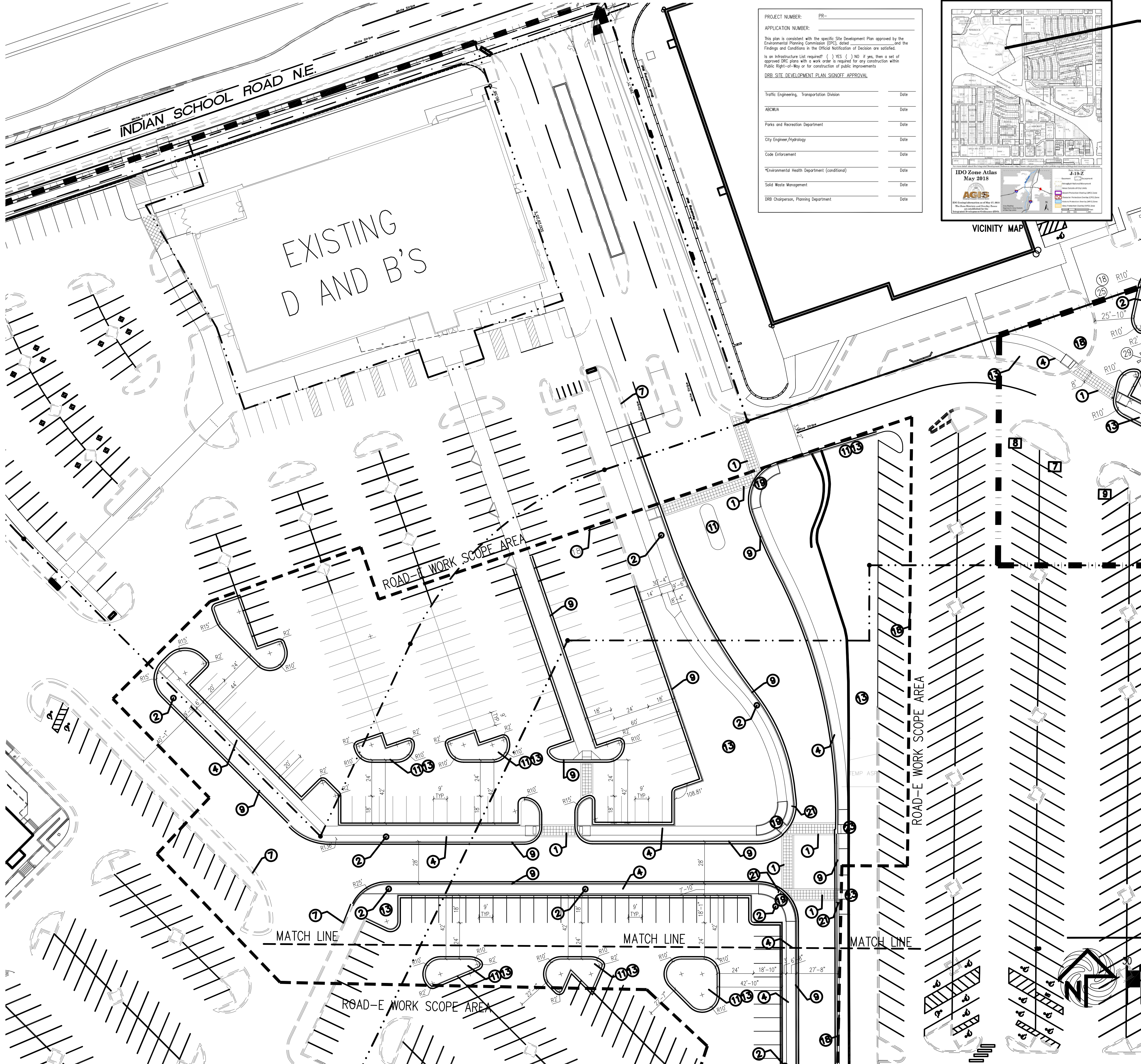
PROJECT TITLE: WINROCK TOWN CENTER  
 2100 LOUISIANA BLVD., N.E.  
 ALBUQUERQUE, NEW MEXICO

JOB NO.: WIN-PARK  
 PROJECT MANAGER: STEPHEN DUNBAR, AIA  
 DRAWN BY: S

SHEET TITLE: WINROCK PARK SITE PLAN

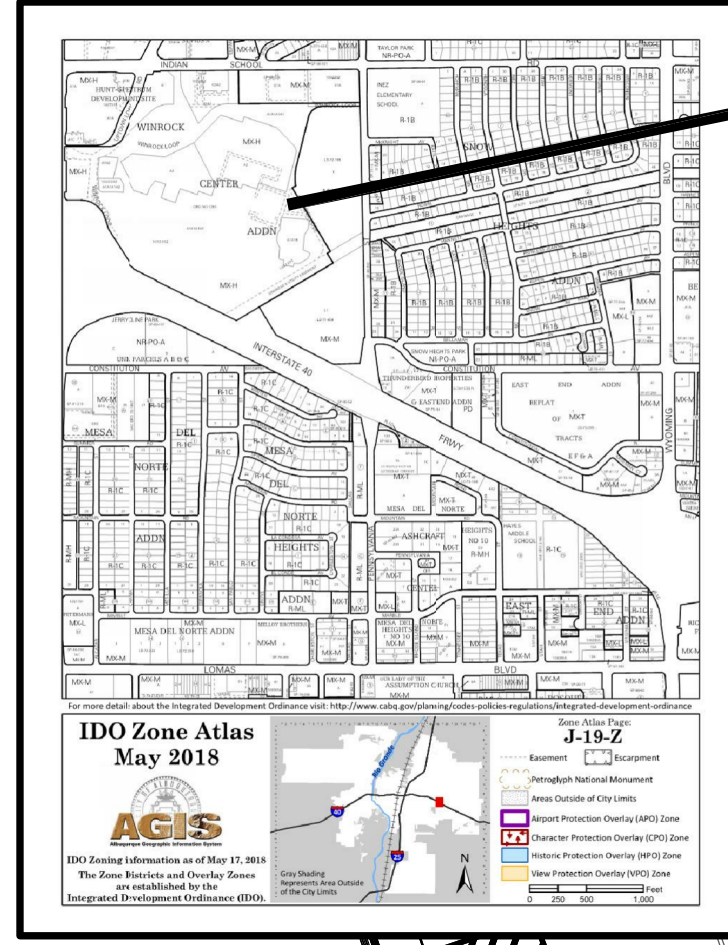
DATE: 01-14-22	SHEET: SP-1A
SCALE: RE: SCALE	of.





PROJECT NUMBER: PR-  
 APPLICATION NUMBER:  
 This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_, and the Findings and Conditions in the Official Modification of Decision are satisfied.  
 Is an Infrastructure List required? ( ) YES ( ) NO. If yes, then a set of approved IRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.  
 DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date
ARCWA	Date
Parks and Recreation Department	Date
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Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

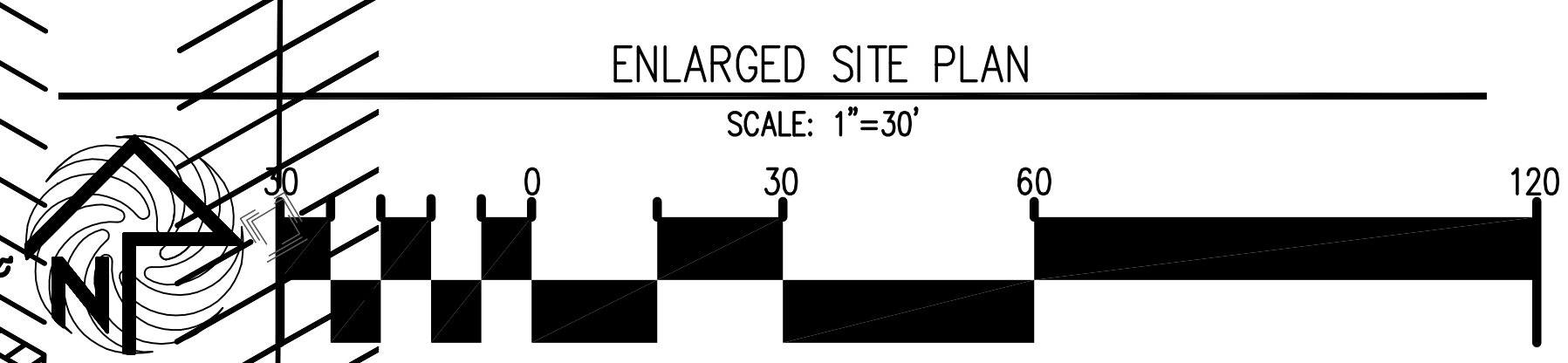


**PROJECT LOCATION**

- KEYED NOTE:**
- ① INTEGRALLY COLORED, AND TEXTURED CONC. PEDESTRIAN CROSSWALK
  - ② 25' LIGHT POLE LOCATION
  - ③ 14 FOOT HIGH PEDESTRIAN SCALE LIGHT LOCATION  
TYPICAL PEDESTRIAN LIGHT GRAPHIC SYMBOL=
  - ④ INTEGRALLY COLORED CONC. SIDEWALK
  - ⑤ HANDICAP RAMP PER COA STANDARD AT 1:12 MAX SLOPE WITH TRUNCATED DOMES PER COA STANDARDS
  - ⑥ INDICATES BIKE RACK LOCATION. (5 BIKE CAPACITY)  
TYPICAL BIKE RACK GRAPHIC SYMBOL=
  - ⑦ EXISTING CONC. CURB.
  - ⑧ TRASH RECEPTACLE PROVIDED AND INSTALLED BY OWNER
  - ⑨ NEW CONC. CURB
  - ⑩ NOT A PART-FUTURE REDEVELOPMENT PHASE
  - ⑪ 6" HIGH CONC. ISLAND  
RE: SITE GRADING PLAN FOR INFO
  - ⑫ H.C. PARKING STALL.
  - ⑬ LANDSCAPE AREA  
RE: LANDSCAPE PLAN FOR INFO
  - ⑭ INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION  
NOTE: EACH ONSITE STALL MEASURES 4' X 8' IN SIZE  
RE: SITE PLAN FOR LOCATIONS.
  - ⑮ PERIMETER CONCRETE STREET SIDEWALK WITH DECORATIVE BORDER
  - ⑯ INDICATES PAINTED CROSS WALK STRIPE
  - ⑰ EXISTING HYDRANT LOCATION TO REMAIN
  - ⑱ DASHED LINE INDICATES PROJECT SCOPE AREA LIMITS.
  - ⑲ ADA CURB RAMP RE: COA DWG. STANDARD 2444 DETAIL A
  - ⑳ INDICATES VEHICLE STOP SIGN LOCATION
  - ㉑ STOP SIGN
  - ㉒ "YIELD TO PEDESTRIAN" SIGN
  - ㉓ ADA RAMP RE: 17/A1.1

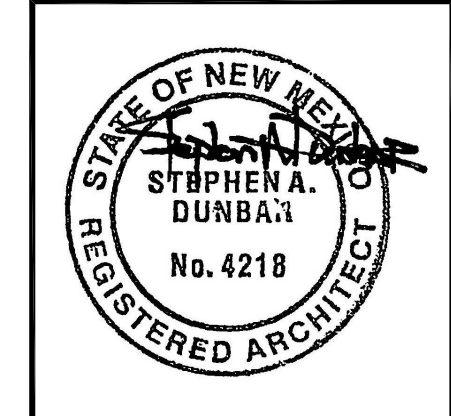
**LINETYPE LEGEND**

PROJECT SCOPE AREA	
EXISTING PROPERTY LINE	
EXISTING CURB LINE	
PROPOSED CURB LINE	



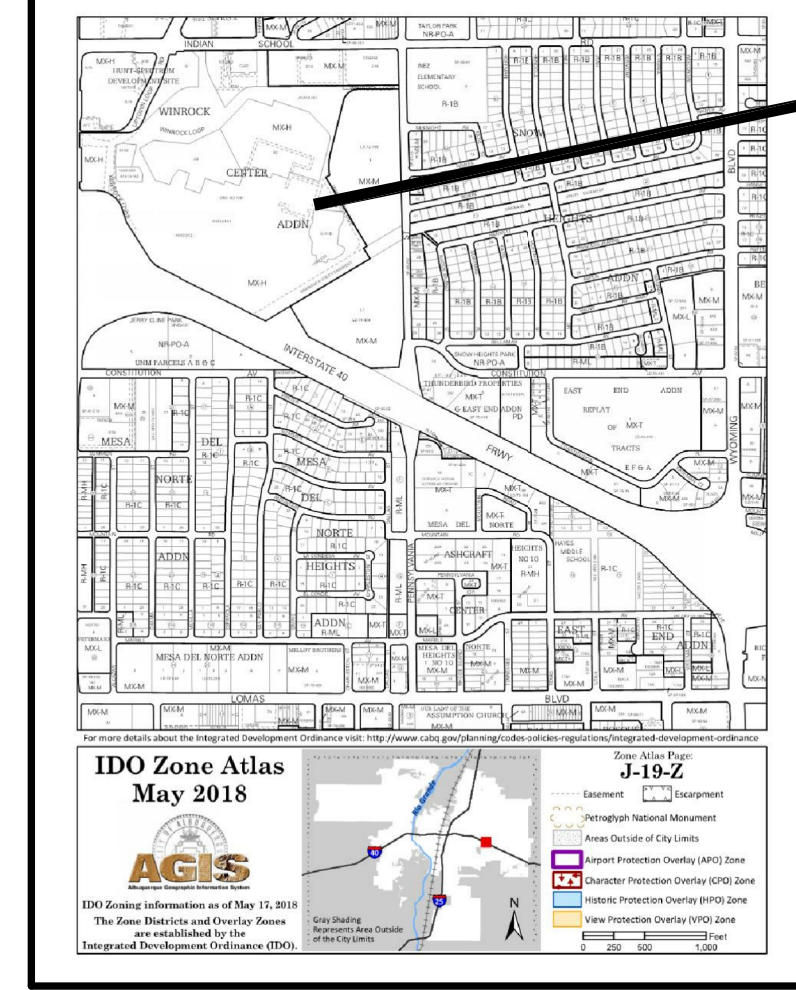
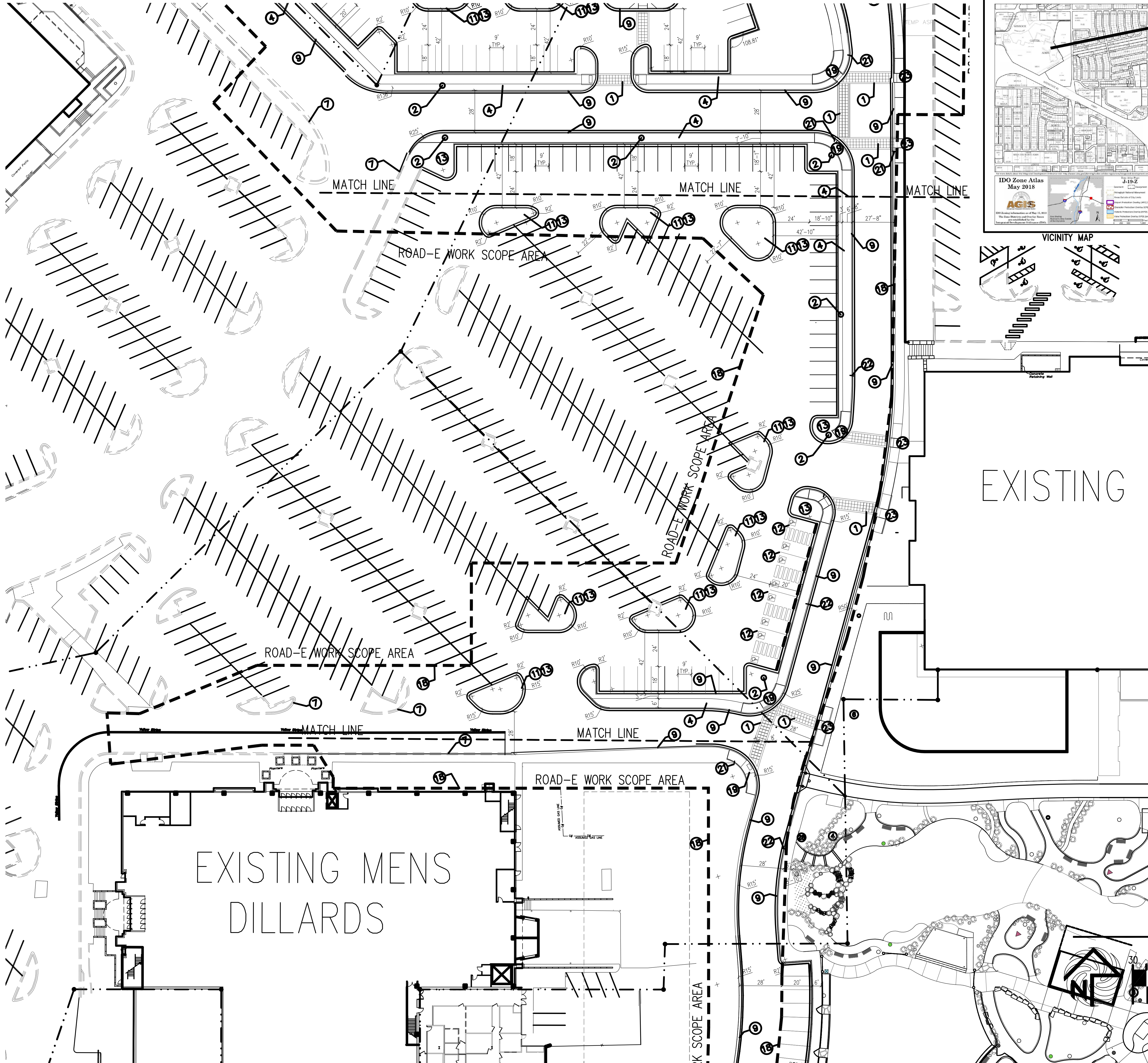
REV	DATE	BY	REVISION

**MODULUS ARCHITECTS**  
 100 SUN AVE. N.W. SUITE 600  
 ALBUQUERQUE, NEW MEXICO 87102  
 PHONE (505) 338-1499 FAX (505) 338-1498



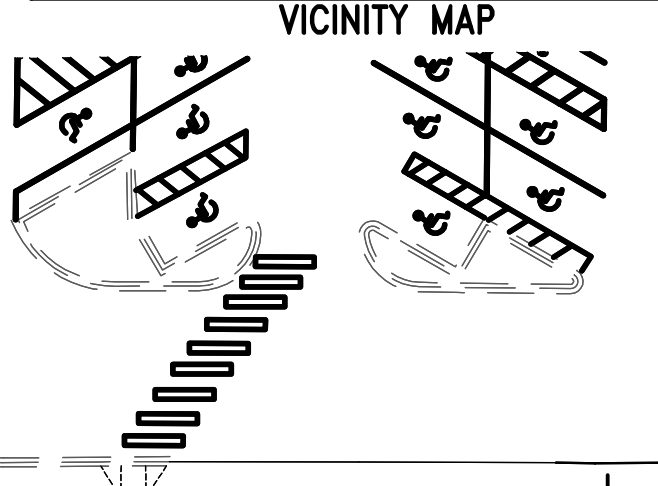
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PROJECT MANAGER STEPHEN DUNBAR, AIA	SHEET TITLE PROPOSED ROAD-E	
DATE 01-14-22	sheet SP-1B	
SCALE RE: SCALE	of.	





PROJECT LOCATION

PROJECT NUMBER: PR-	Date
APPLICATION NUMBER:	Date
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.	
Is an Infrastructure List required? ( ) YES ( ) NO If yes, then a set of approved IRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.	
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL	
Traffic Engineering, Transportation Division	Date
ABCWA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date



KEYED NOTE:

- 1 INTEGRALLY COLORED, AND TEXTURED CONC. PEDESTRIAN CROSSWALK
- 2 25' LIGHT POLE LOCATION
- 3 14 FOOT HIGH PEDESTRIAN SCALE LIGHT LOCATION  
TYPICAL PEDESTRIAN LIGHT GRAPHIC SYMBOL=
- 4 INTEGRALLY COLORED CONC. SIDEWALK
- 5 HANDICAP RAMP PER COA STANDARD AT 1:12 MAX SLOPE WITH TRUNCATED DOMES PER COA STANDARDS
- 6 INDICATES BIKE RACK LOCATION. (5 BIKE CAPACITY)  
TYPICAL BIKE RACK GRAPHIC SYMBOL=
- 7 EXISTING CONC. CURB.
- 8 TRASH RECEPTACLE PROVIDED AND INSTALLED BY OWNER
- 9 NEW CONC. CURB
- 10 NOT A PART-FUTURE REDEVELOPMENT PHASE
- 11 6" HIGH CONC. ISLAND  
RE: SITE GRADING PLAN FOR INFO
- 12 H.C. PARKING STALL
- 13 LANDSCAPE AREA  
RE: LANDSCAPE PLAN FOR INFO
- 14 INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION  
NOTE: EACH ONSITE STALL MEASURES 4' X 8' IN SIZE  
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- 16 INDICATES PAINTED CROSS WALK STRIPE
- 17 EXISTING HYDRANT LOCATION TO REMAIN
- 18 DASHED LINE INDICATES PROJECT SCOPE AREA LIMITS.
- 19 ADA CURB RAMP RE: COA DWG. STANDARD 2444 DETAIL A
- 20 INDICATES VEHICLE STOP SIGN LOCATION
- 21 STOP SIGN
- 22 "YIELD TO PEDESTRIAN" SIGN
- 23 ADA RAMP RE: 17/A1.1

LINE TYPE LEGEND

- PROJECT SCOPE AREA
- EXISTING PROPERTY LINE
- EXISTING CURB LINE
- PROPOSED CURB LINE

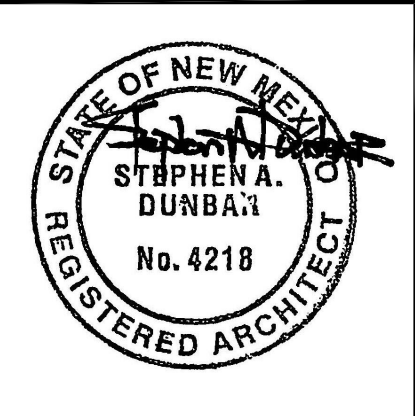
ENLARGED SITE PLAN

SCALE: 1"=30'



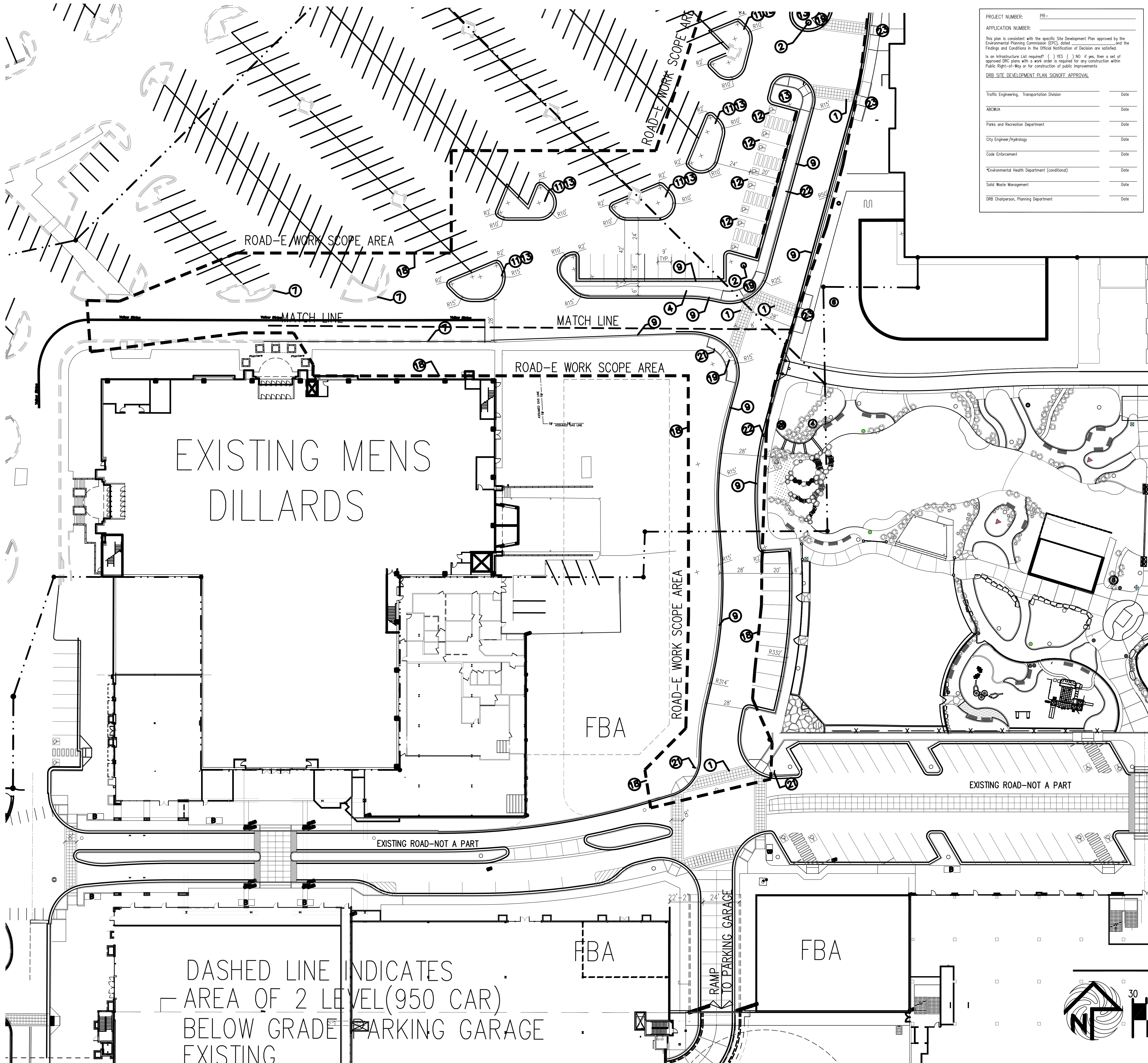
REV	DATE	BY	REVISION
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 100 SUN AVE. N.W. SUITE 600  
 ALBUQUERQUE, NEW MEXICO 87102  
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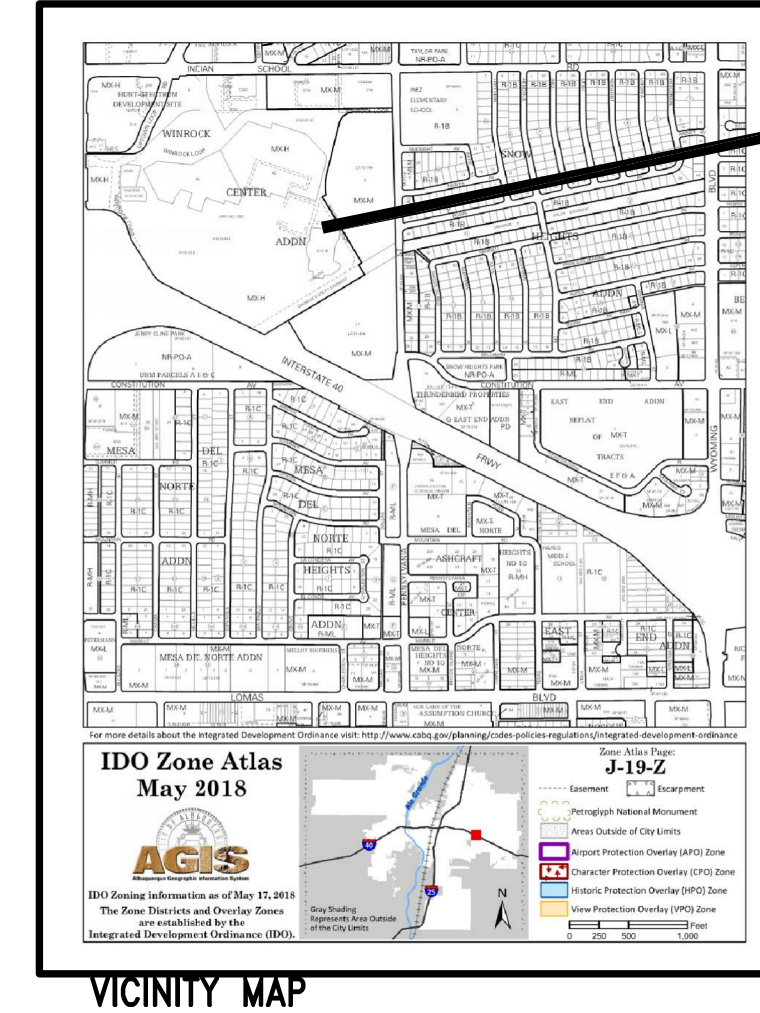
PROJECT TITLE WINROCK TOWN CENTER 2100 LOUISIANA BLVD. N.E. ALBUQUERQUE, NEW MEXICO	JOB NO. WIN-PARK	DRAWN BY S
PROJECT MANAGER STEPHEN DUNBAR, AIA	SHEET TITLE PROPOSED ROAD-E	

DATE 01-14-22	SHEET SP-1C
SCALE RE: SCALE	of



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ARC/MUA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
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Solid Waste Management	Date
URB Chairperson, Planning Department	Date



PROJECT LOCATION

**KEYED NOTE:**

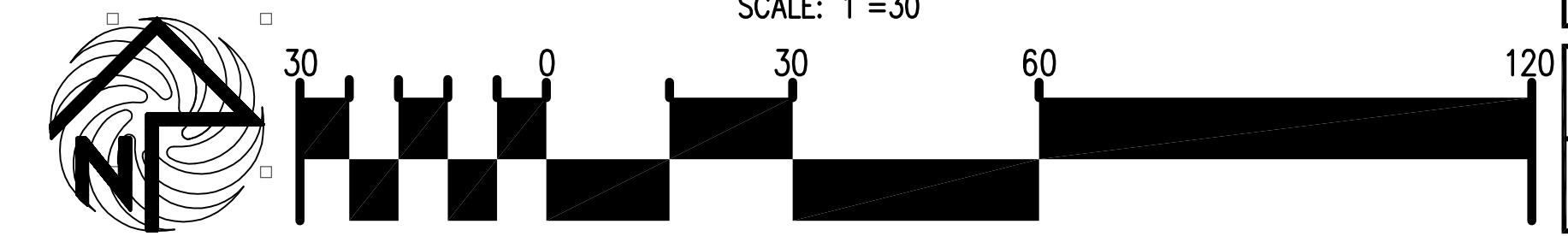
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- ㉓ ADA RAMP RE: 17/A1.1

**LINE TYPE LEGEND**

- PROJECT SCOPE AREA
- EXISTING PROPERTY LINE
- EXISTING CURB LINE
- PROPOSED CURB LINE

DASHED LINE INDICATES AREA OF 2 LEVEL (950 CAR) BELOW GRADE PARKING GARAGE EXISTING

ENLARGED SITE PLAN  
SCALE: 1"=30'



REV	DATE	BY	REVISION

**MODULUS ARCHITECTS**  
 100 SUN AVE. N.W. SUITE 600  
 ALBUQUERQUE, NEW MEXICO 87102  
 PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE: WINROCK TOWN CENTER  
 2100 LOUISIANA BLVD. N.E.  
 ALBUQUERQUE, NEW MEXICO  
 PROJECT MANAGER: STEPHEN DUNBAR, AIA  
 JOB NO.: WIN-PARK  
 DRAWN BY: S  
 SHEET TITLE: PROPOSED ROAD-E

DATE: 01-14-22	SHEET: SP-1D
SCALE: RE: SCALE	OF:



**ALBUQUERQUE FIRE MARSHALS GENERAL NOTES**

**CHECKING DIVISION PERMIT APPROVED**

THESE CONSTRUCTION PERMITS ARE APPROVED BY THE ALBUQUERQUE FIRE MARSHALS OFFICE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.

- A. SITE PLAN SHALL BE DESIGNED & BUILT TO PERMITS.
- B. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR PERMITS. OTHERWISE NOTED.
- C. APPROVED RAMP SLOPES WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE PERMITS.
- D. STREETS, PARKING SPACES AND ASSOCIATED DRIVEWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE PERMITS.
- E. ALL PARKING SPACES AT 9'-0"X19'-0" UNO.
- F. DESIGN WILL COMPLY WITH 2015 INTERNATIONAL FIRE CODE APPENDIX B, C&D.
- G. ALL RADI ALONG FIRE LANE SHALL BE 28'-0".
- H. CLUBHOUSE AND CARD ACCESS GATES WILL HAVE A KNOX BOX FOR FIRE DEPARTMENT ACCESS.
- I. FIRE ACCESS LANES SHALL BE MARKED FIRE LANE ON BOTH SIDES.
- J. FDC SHALL BE WITHIN 100 FEET OF A FIRE HYDRANT.
- K. SLOPES WILL NOT EXCEED 10% IN GRADE FOR FIRE ACCESS ROADS.
- L. ALL FIRE ACCESS LANES SHALL HAVE AN APPROVED DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS.

- SHEET KEYED NOTES**
1. PROPERTY LINE
  2. FIRE DEPARTMENT ACCESS
  3. FIRE LANE, 28' WIDTH STANDARD, 28' RADII
  4. FIRE HYDRANT
  5. NOT USED
  6. GATE ENTRY PAD/POST
  7. KNOX BOX LOCATION
  8. NOT USED
  9. NOT USED
  10. MONUMENT SIGN WITH APPROVED ADDRESS IDENTIFICATION PER REQUIREMENTS IN SECTION 505 OF THE 2009 IFC.
  11. BUILDING IDENTIFICATION PER REQUIREMENTS IN SECTION 505 OF THE 2009 IFC
  12. TRANSFORMER
  13. NOT USED
  14. SIDEWALK
  15. MOUNTABLE CURB

**SITE DATA**

**SITE ADDRESS:** 2100 LOUISIANA BLVD NE ALBUQUERQUE, NM 87109

**LEGAL DESCRIPTION:** PARCEL Z-1 WINROCK CENTER ADDITION

**PARCEL SIZE:** 33 ACRES

**ZONE ATLAS:** J-19-Z

**ZONING SUMMARY:** (MX-H) HIGH INTENSITY ZONE DISTRICT - LARGE SCALE DESTINATE RETAIL.

**CONSTRUCTION TYPE:** IIA

**BUILDING HEIGHT:** 38'-6"

**SPRINKLERED:** FULLY SPRINKLERED

**FIRE FLOW:** 2,750 GPM

**HYDRANTS REQUIRED:** 02

**BUILDING DATA**

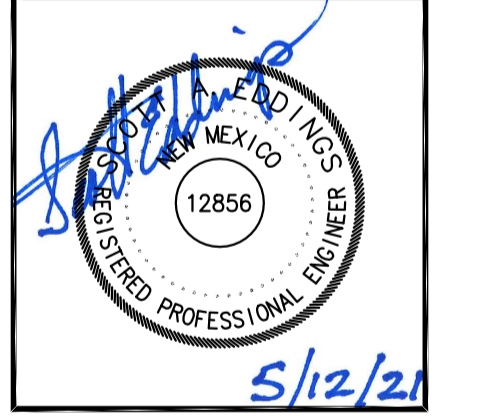
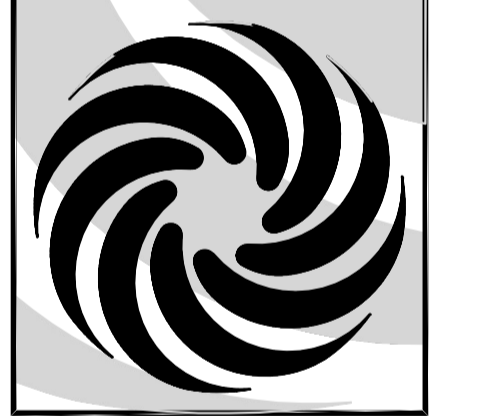
BUILDING	FIRST LEVEL	SECOND LEVEL	THIRD LEVEL	TOTAL	FIRE FLOW
BUILDING 1:	12,600 SF	12,600 SF	12,600 SF	37,800 SF	2,750 GPM
BUILDING 2:	12,600 SF	12,600 SF	12,600 SF	37,800 SF	2,750 GPM
BUILDING 3:	1,200 SF	1,200 SF		1,500 SF	1,500 GPM
BUILDING 4:	2,700 SF	2,700 SF		1,500 SF	1,500 GPM
BUILDING 5:	600 SF	600 SF		1,500 SF	1,500 GPM

**LEGEND**

FH FIRE HYDRANT

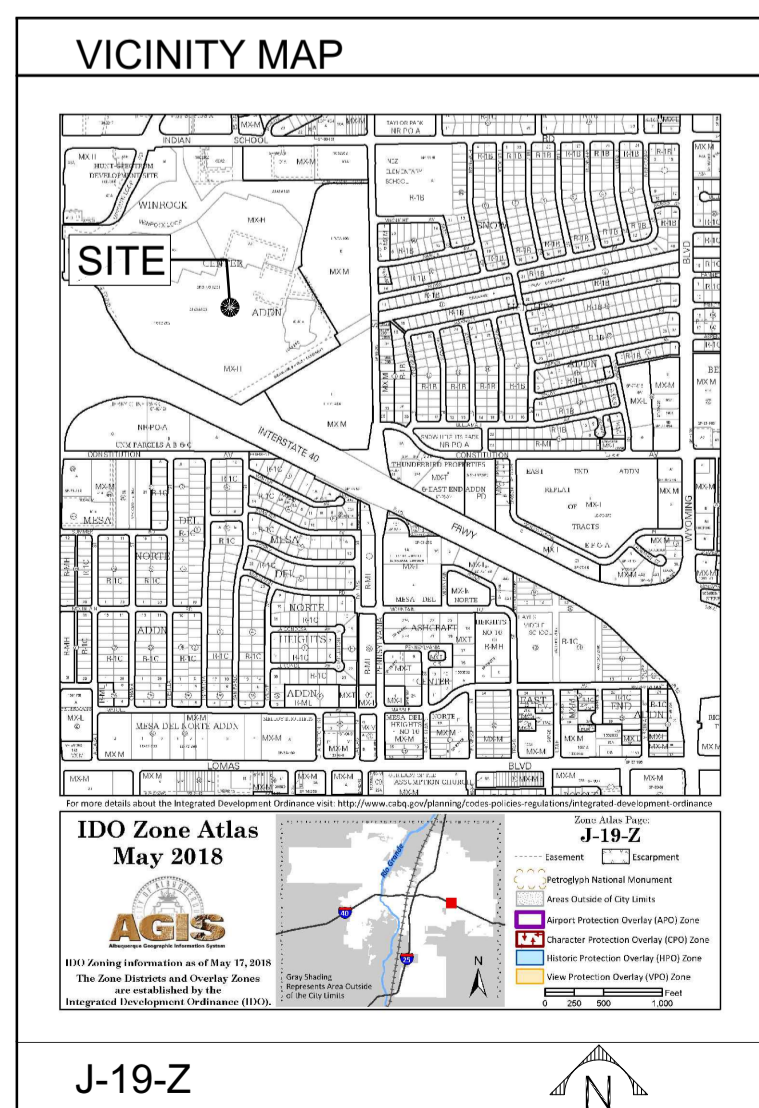
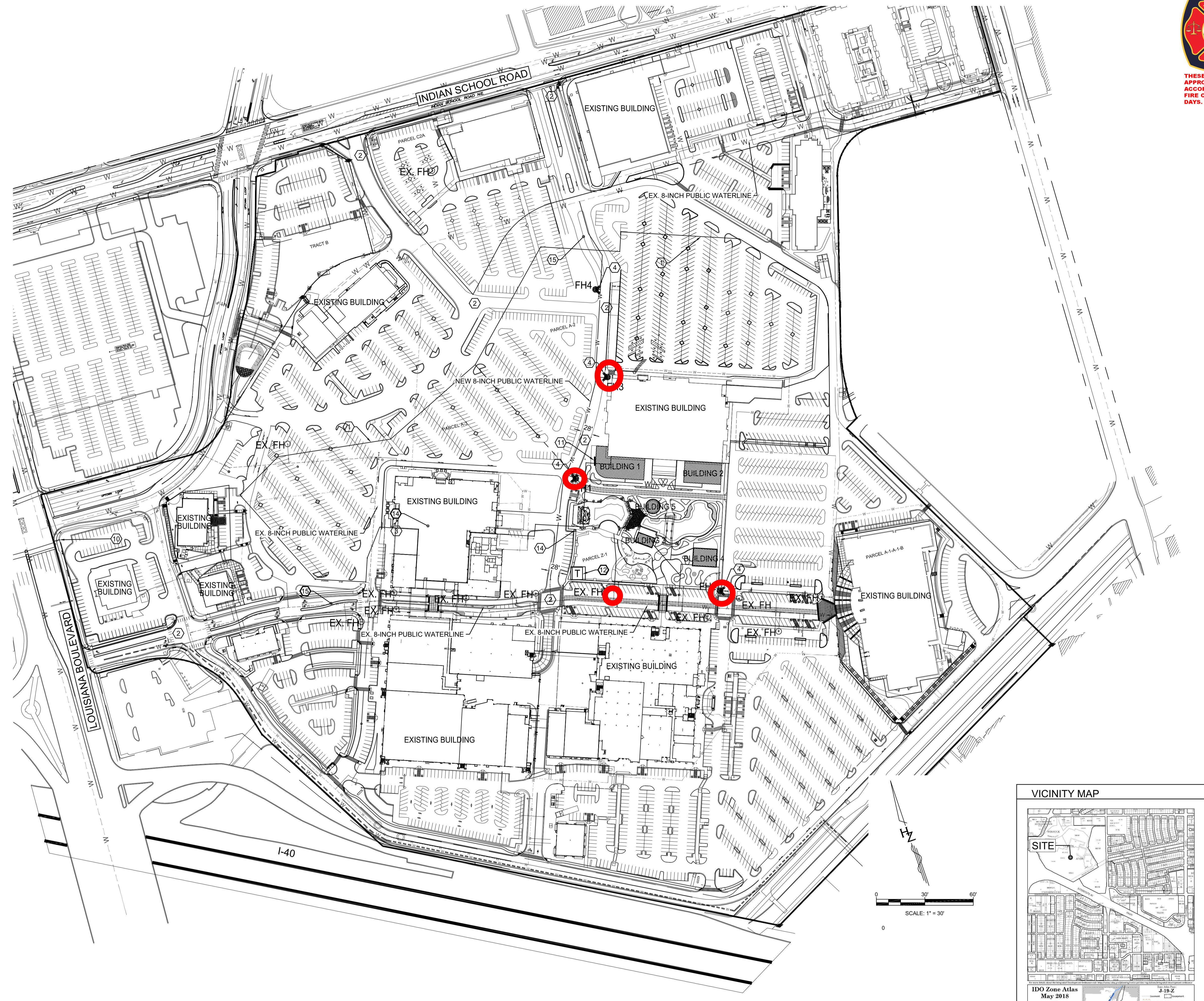
REV	DATE	BY	REVISION

**MODULUS ARCHITECTS**  
 100 SUN AVE. N.W. SUITE 600  
 ALBUQUERQUE, NEW MEXICO 87109  
 PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE: WINROCK TOWN CENTER  
 2100 LOUISIANA BLVD.  
 PROJECT MANAGER: [Name]  
 DRAWN BY: [Name]  
 JOB NO. [Number]  
 SHEET NO. [Number]  
**FIRE ONE PLAN**

DATE: 04/23/21  
 SCALE: AS NOTED  
 SHEET: C001



**FIRE ONE PLAN**



**CONSTRUCTION NOTES**

1. PROPOSED PUBLIC 8-INCH SANITARY SEWER LINE
2. PROPOSED PUBLIC 8-INCH WATER LINE
3. PROPOSED PUBLIC 8-INCH REUSE LINE
4. PROPOSED PUBLIC FIRE HYDRANT
5. PROPOSED SANITARY SEWER YARD LINE, EXTEND FROM EXISTING SERVICE IF AVAILABLE
6. PROPOSED WATER YARD LINE, EXTEND FROM EXISTING SERVICE IF AVAILABLE
7. PROPOSED REUSE LAKE FILL LINE, EXTEND FROM EXISTING SERVICE
8. REMOVE EXISTING SANITARY YARD LINE
9. UTILIZE EXISTING SANITARY SEWER YARD LINE
10. REMOVE EXISTING PUBLIC WATER LINE
11. REMOVE EXISTING WATER APPURTENANCES
12. REMOVE AND RELOCATE STORM DRAIN TO LAKE
13. PROPOSED WATER METER
14. EXISTING PUBLIC WATER LINE TO REMAIN
15. EXISTING PUBLIC SANITARY SEWER LINE TO REMAIN
16. EXISTING PUBLIC REUSE WATER LINE TO REMAIN
17. PROPOSED WASTE WATER TREATMENT FACILITY
18. REMOVE EXISTING PRIVATE SANITARY SEWER LINE, BY PASS PUMP AS REQUIRED.

**LEGEND**

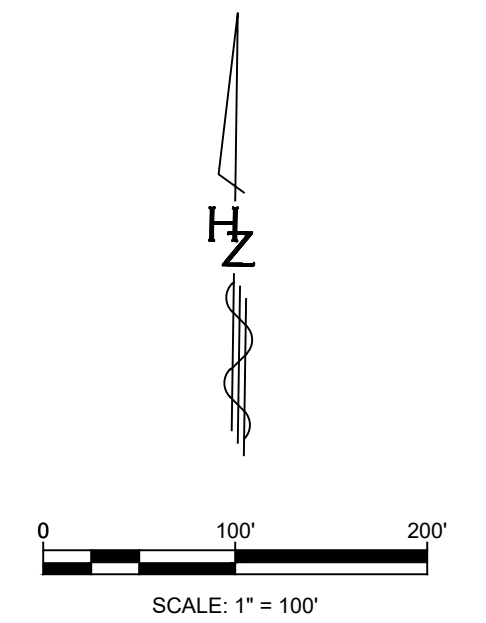
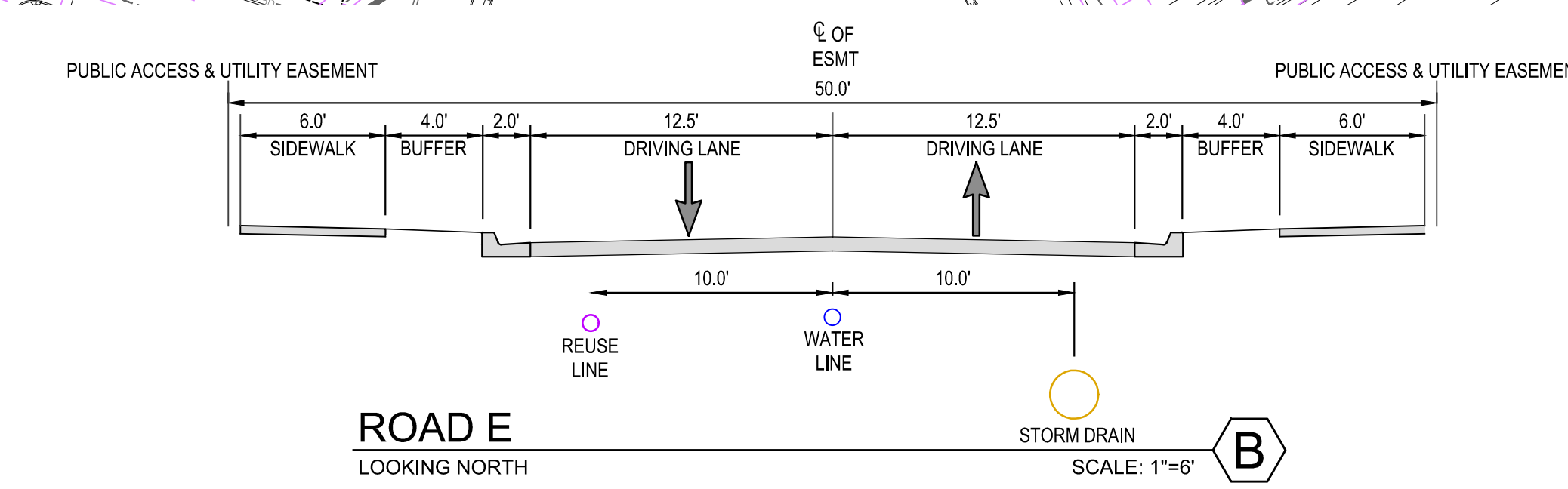
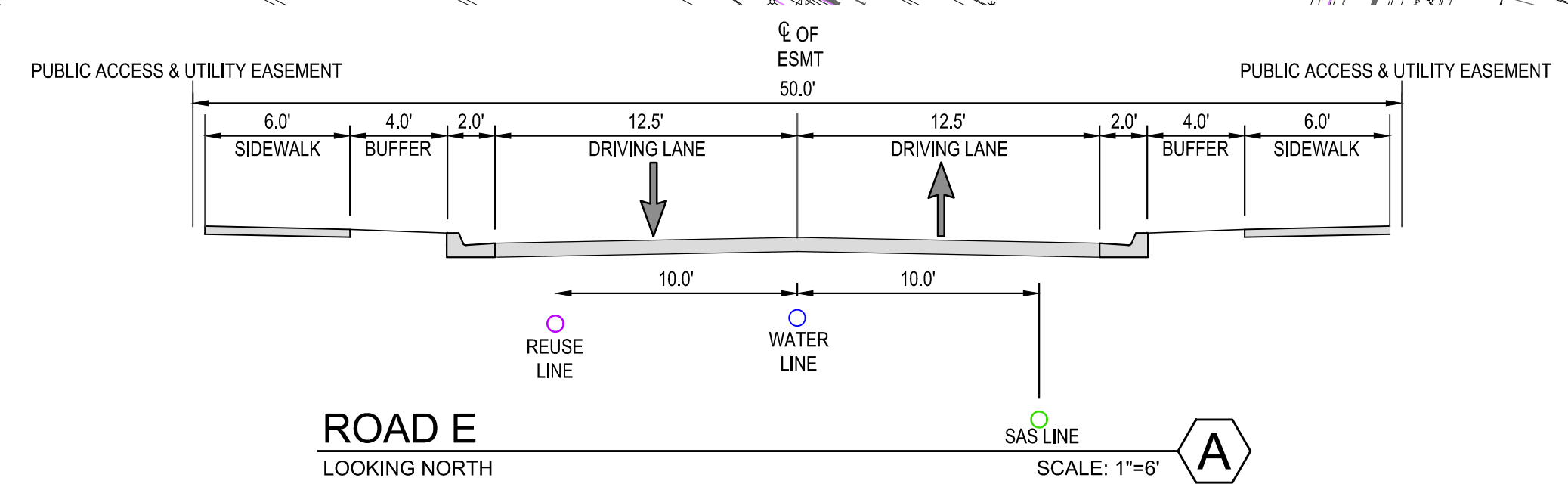
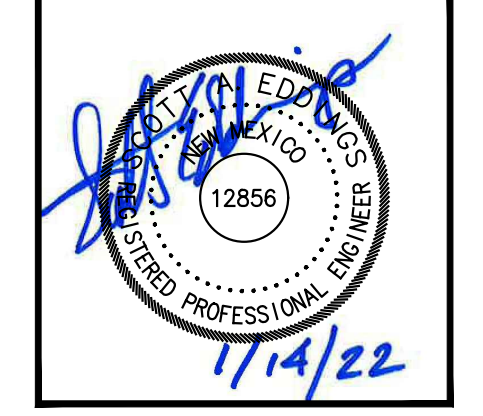
- SAS - - - - - EXISTING SAS LINE
- SD - - - - - EXISTING STORM DRAIN LINE
- W - - - - - EXISTING WATER LINE
- REUSE - - - - - EXISTING REUSE WATER LINE
- S - - - - - PROPOSED SEWER LINE
- SAS - - - - - PROPOSED SAS LINE
- SD - - - - - PROPOSED STORM DRAIN LINE
- W - - - - - PROPOSED WATER LINE
- REUSE - - - - - PROPOSED REUSE WATER LINE
- PROPOSED FIRE HYDRANT
- PROPOSED MANHOLE
- PROPOSED WATER METER

**GENERAL NOTES**

1. SEE PLAT FOR UTILITY EASEMENTS.
2. PUBLIC WATER AND SEWER LINE BY WORK ORDER.

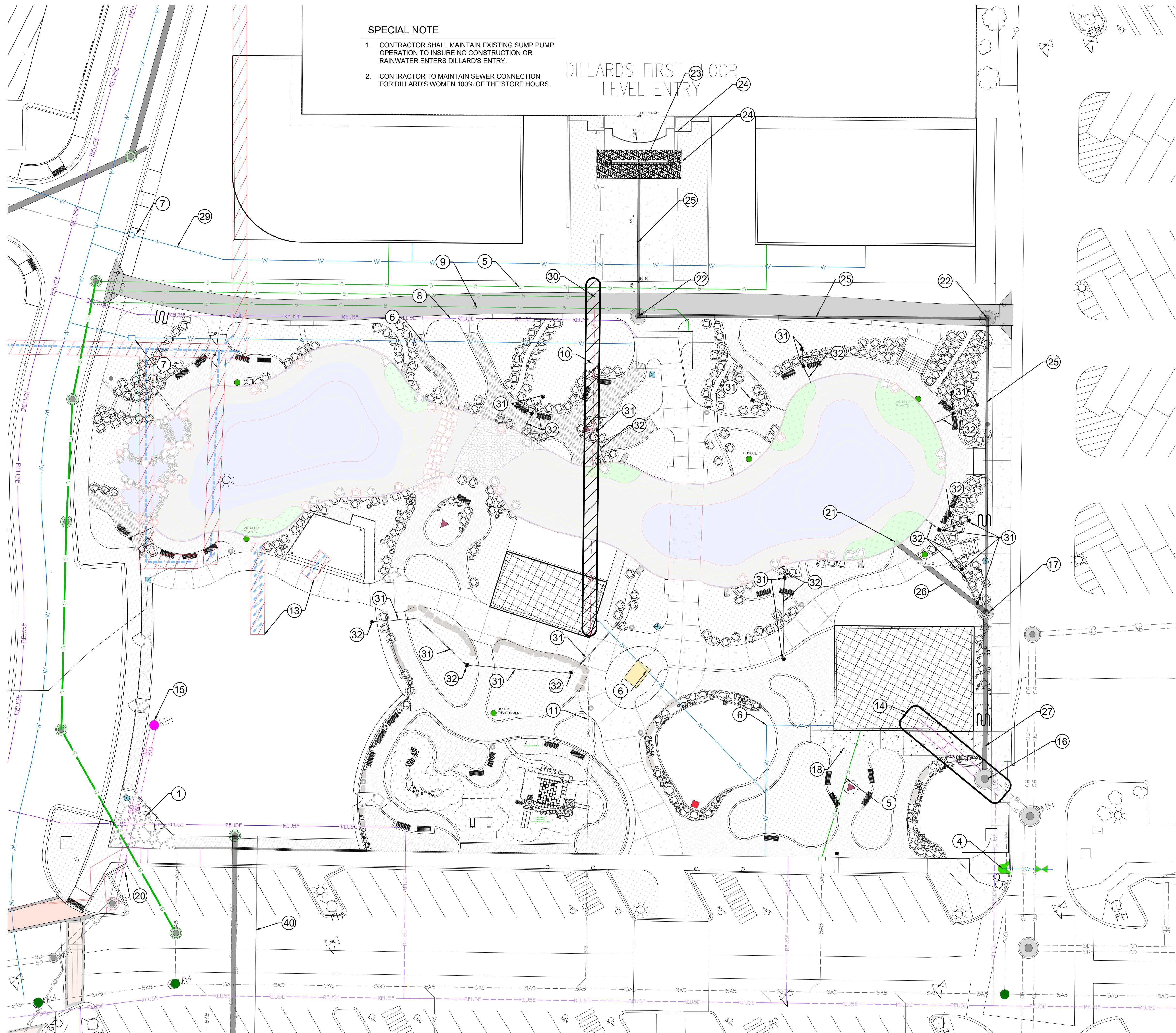
REV	DATE	BY	REVISION

**MODULUS ARCHITECTS**  
 100 SUN AVE. N.W. SUITE 600  
 ALBUQUERQUE, NEW MEXICO 87109  
 PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE: WINROCK TOWN CENTER  
 2100 LOUISIANA BLVD.  
 JOB NO.:  
 DRAWN BY:  
 PROJECT MANAGER:  
 SHEET TITLE: CONCEPTUAL SITE UTILITY PLAN

DATE: 1/14/22  
 SCALE: AS NOTED  
 SHEET: C200



**SPECIAL NOTE**

- CONTRACTOR SHALL MAINTAIN EXISTING SUMP PUMP OPERATION TO INSURE NO CONSTRUCTION OR RAINWATER ENTERS DILLARD'S ENTRY.
- CONTRACTOR TO MAINTAIN SEWER CONNECTION FOR DILLARD'S WOMEN 100% OF THE STORE HOURS.

DILLARD'S FIRST FLOOR LEVEL ENTRY

**CONSTRUCTION NOTES** ⓧ

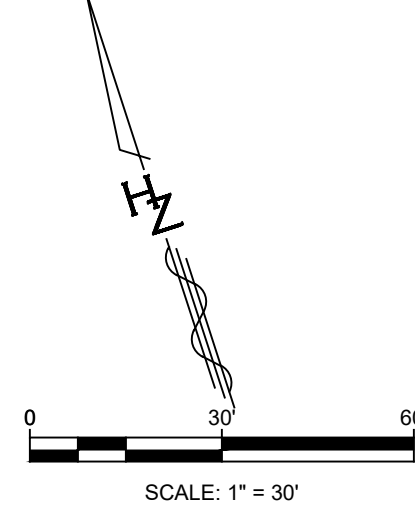
- PROPOSED PUBLIC 8-INCH SANITARY SEWER LINE, NIC
- PROPOSED PUBLIC 8-INCH WATER LINE, NIC
- PROPOSED PUBLIC 8-INCH REUSE LINE, NIC
- PROPOSED PUBLIC FIRE HYDRANT, NIC
- FUTURE 6-INCH SANITARY SEWER YARD LINE, NIC
- PROPOSED 2-INCH WATER YARD LINE
- PROPOSED WATER METER
- PROPOSED 2-INCH REUSE LAKE FILL LINE
- PROPOSED 3-INCH SANITARY SEWER FORCE MAIN
- REMOVE EXISTING SANITARY YARD LINE
- UTILIZE EXISTING SANITARY SEWER YARD LINE
- REMOVE EXISTING PUBLIC WATER LINE, NIC
- REMOVE EXISTING WATER APPURTENANCES, NIC
- REMOVE EXISTING 48-INCH DIA. STORM DRAIN AND 8' DIA. MANHOLE
- REMOVE EXISTING STORM WATER QUALITY INLET AND REPLACE WITH MANHOLE RING AND COVER. ADJUST TO GRADE
- NOT USED
- INSTALL 6' DIA. MANHOLE
- INSTALL 48-INCH DIA. HPPP STORM DRAIN
- NOT USED
- INSTALL TYPE D INLET WITH PEDESTRIAN GRATE
- INSTALL POND OVERFLOW INLET - SEE POND PLANS
- INSTALL 4' DIA. MANHOLE.
- INSTALL TRENCH GRATE - 12' WIDE X 24' GRATE OPENINGS SHALL NOT EXCEED 1/8-INCH.
- PLACE 2-INCH ROCK 6-INCH DEEP AROUND TRENCH GRATE. WIDTH OF ROCK PROJECTION IS 6-FEET AND PLACE FLUSH AGAINST BUILDING.
- INSTALL 12" HDPE STORM DRAIN.
- INSTALL 24" HDPE STORM DRAIN.
- INSTALL 30" HDPE STORM DRAIN.
- INSTALL 4-INCH PVC STORM WATER FORCE MAIN. DAYLIGHT INTO POND. CONNECT TO EXISTING STORM DRAIN PLUMBED TO ROOF DRAINAGE SYSTEM. INV APPROX. 11.5 FEET BELOW GROUND LEVEL.
- FUTURE WATER SERVICE YARD LINE, NIC
- CONNECT EXISTING DILLARD'S SANITARY YARD LINE INTO NEW SANITARY YARD LINE. NEW SANITARY SEWER YARD LINE IS 6-INCH PVC SCH 80.
- INSTALL 6-INCH PVC SCH 80 STORM DRAIN WITH OUTLET INTO THE POND.
- 18-INCH NYLOPLAST CATCH BASIN WITH METAL PEDESTRIAN GRATE.
- EXISTING 2-INCH CONDUIT

**LEGEND**

- SAS --- EXISTING SAS LINE
- SD --- SD --- EXISTING STORM DRAIN LINE
- W --- W --- EXISTING WATER LINE
- REUSE --- EXISTING REUSE WATER LINE
- S --- PROPOSED SEWER LINE
- SAS --- PROPOSED SAS LINE
- SD --- SD --- PROPOSED STORM DRAIN LINE
- W --- W --- PROPOSED WATER LINE
- REUSE --- PROPOSED REUSE WATER LINE
- PROPOSED FIRE HYDRANT
- PROPOSED MANHOLE
- PROPOSED WATER METER

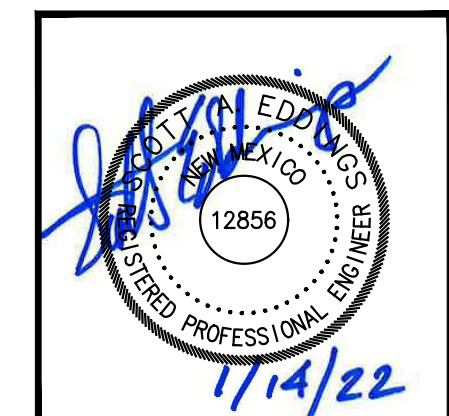
**GENERAL NOTES**

- SEE PLAT FOR UTILITY EASEMENTS.
- PUBLIC WATER AND SEWER LINE BY WORK ORDER.



REV	DATE	BY	REVISION

**MODULUS ARCHITECTS**  
 100 SUN AVE. N.W. SUITE 600  
 ALBUQUERQUE, NEW MEXICO 87109  
 PHONE (505) 338-1499 FAX (505) 338-1498



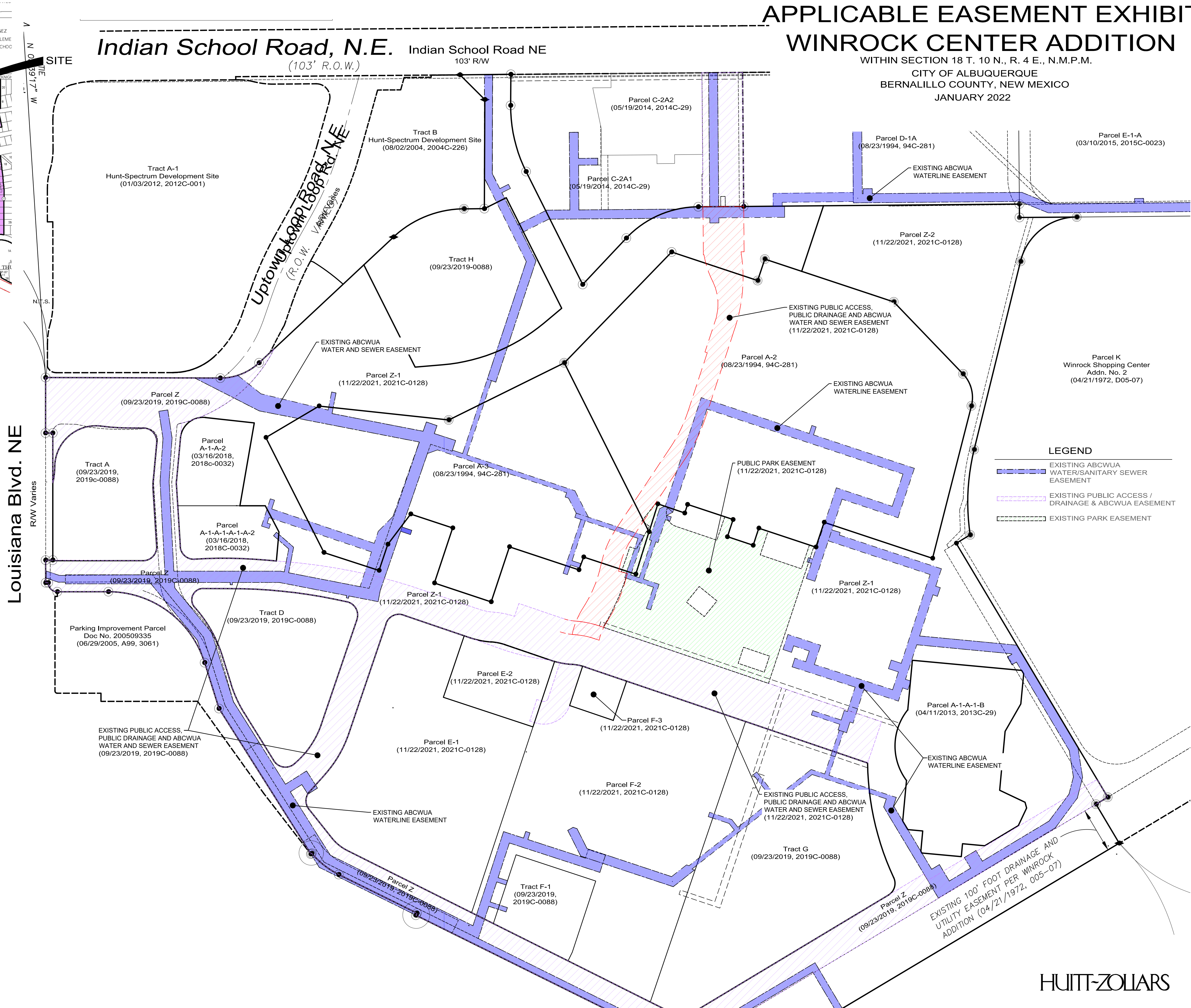
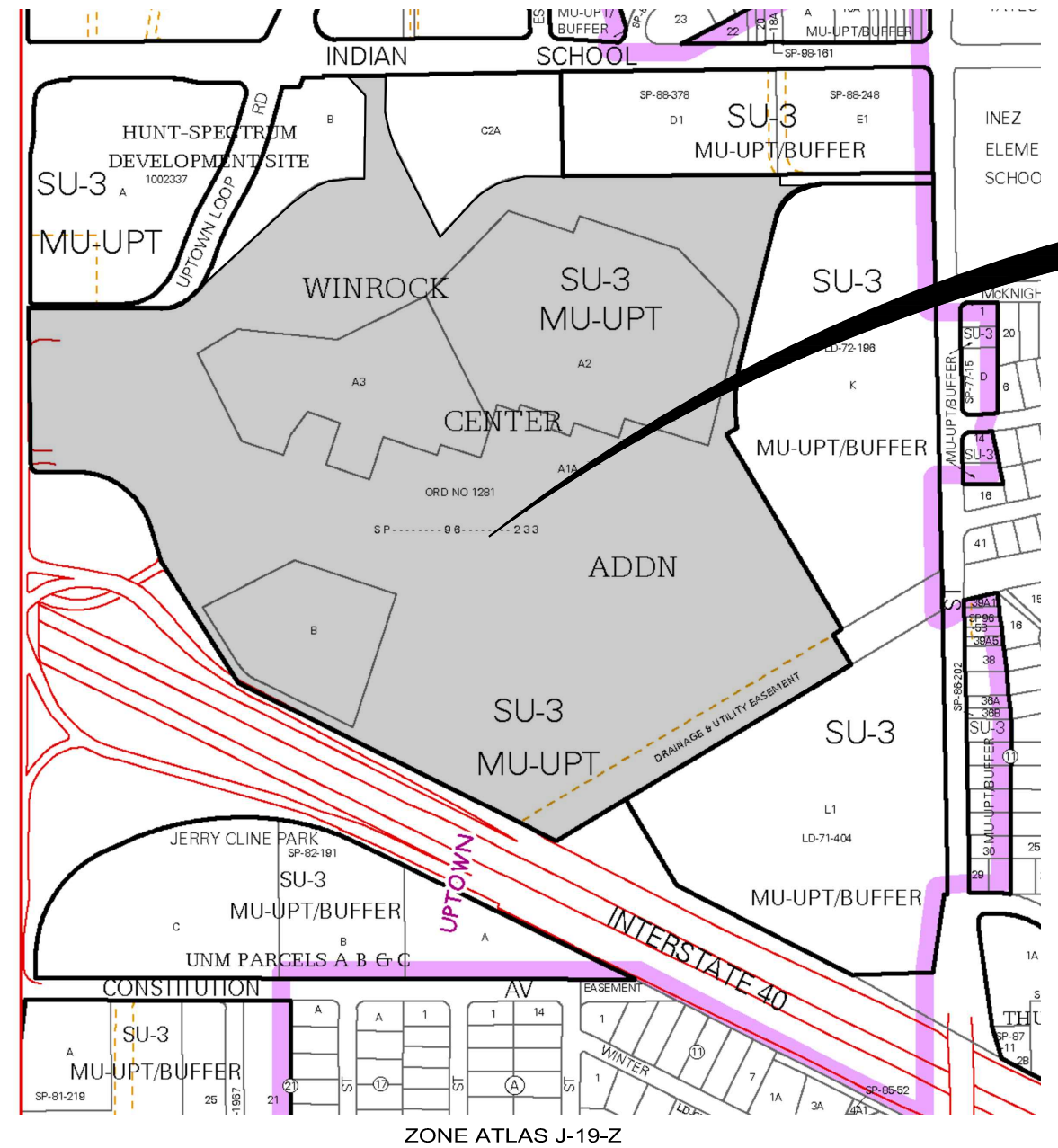
PROJECT TITLE: WINROCK TOWN CENTER  
 2100 LOUISIANA BLVD.  
 PROJECT NUMBER: 2100L  
 DRAWN BY: [Name]  
 JOB NO.: [Number]  
 SHEET TITLE: PARK UTILITY PLAN

DATE: 1/14/22  
 SCALE: AS NOTED  
 SHEET NO.: C201

# APPLICABLE EASEMENT EXHIBIT

## WINROCK CENTER ADDITION

WITHIN SECTION 18 T. 10 N., R. 4 E., N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
JANUARY 2022

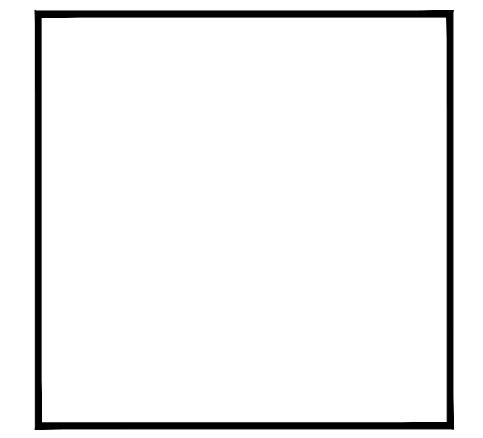


**LEGEND**

- EXISTING ABCWUA WATER/SANITARY SEWER EASEMENT
- EXISTING PUBLIC ACCESS / DRAINAGE & ABCWUA EASEMENT
- EXISTING PARK EASEMENT

REV.	DATE	BY	REVISION

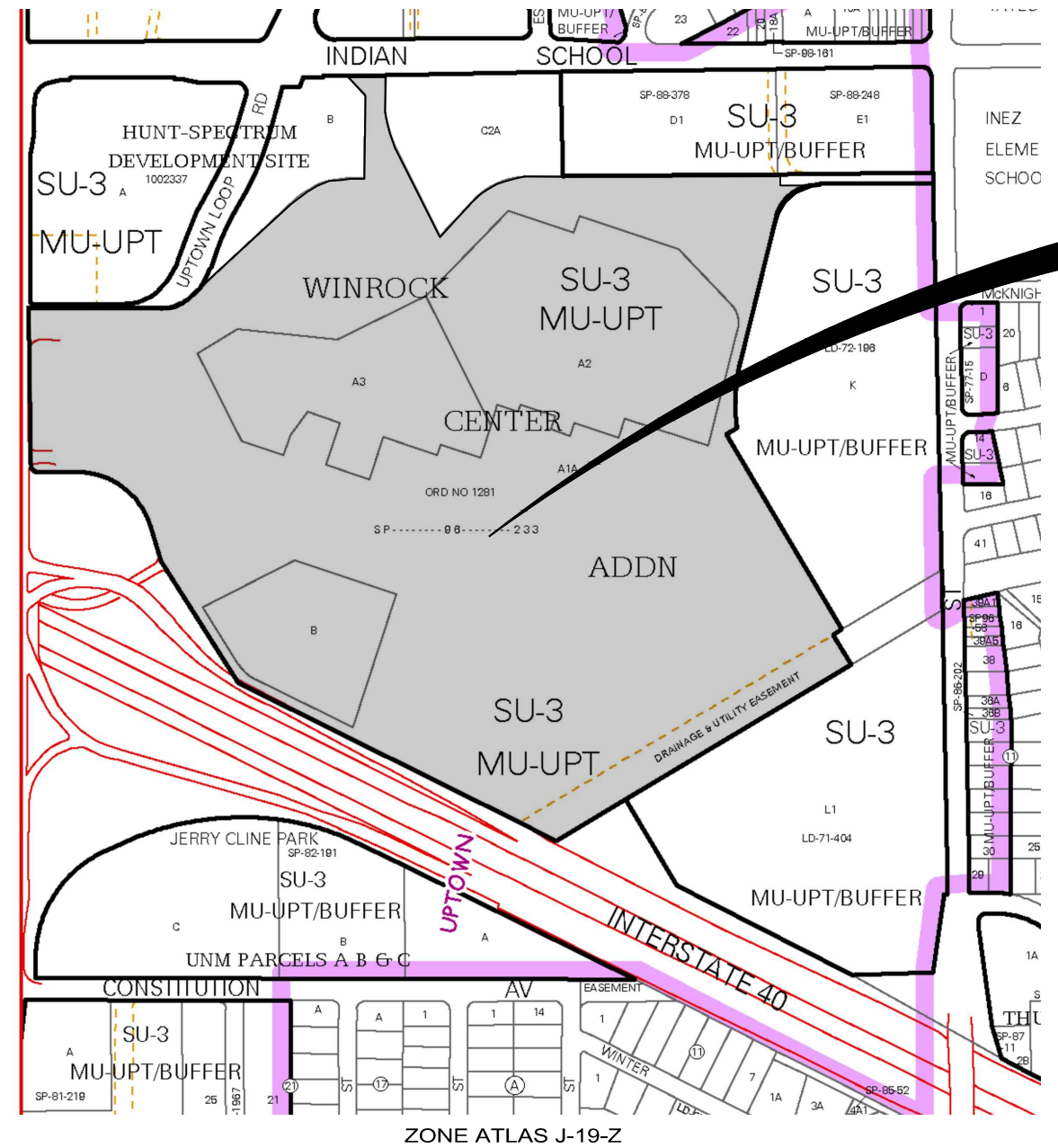
**MODULUS ARCHITECTS**  
100 SUN AVE. N.W., SUITE 600  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE WINROCK TOWN CENTER 2100 LOUISIANA BLVD.	JOB NO. DRAWN BY:
PROJECT NUMBER	SHEET TITLE APPLICABLE EASEMENTS

DATE 1/14/22	SHEET C202
SCALE AS NOTED	

HUITT-ZOLIARS

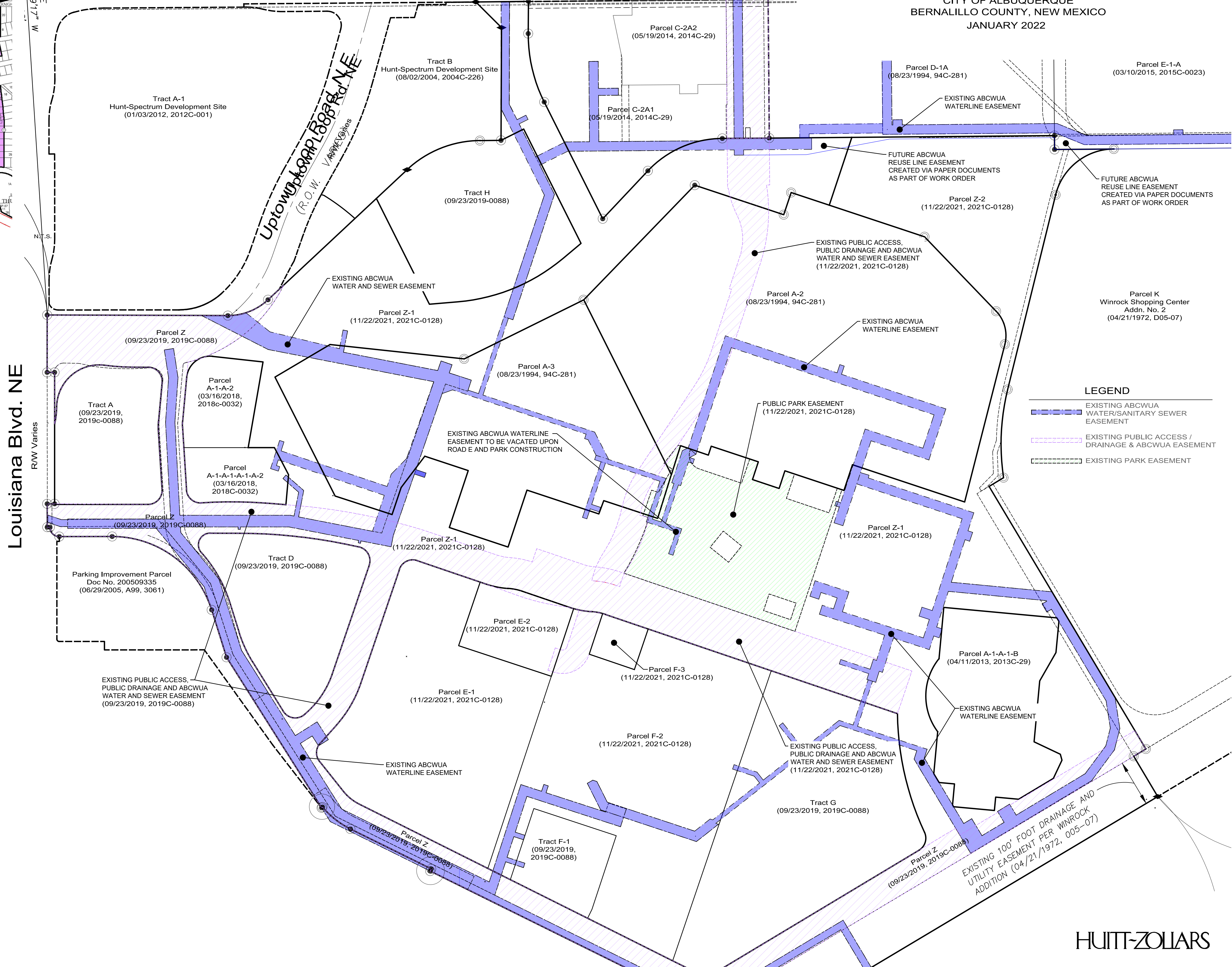


# Indian School Road, N.E.

Indian School Road NE  
(103' R.O.W.) 103' R/W

## DRB EASEMENT EXHIBIT WINROCK CENTER ADDITION

WITHIN SECTION 18 T. 10 N., R. 4 E., N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
JANUARY 2022



**LEGEND**

- EXISTING ABCWUA WATER/SANITARY SEWER EASEMENT
- EXISTING PUBLIC ACCESS / DRAINAGE & ABCWUA EASEMENT
- EXISTING PARK EASEMENT

REV	DATE	BY	REVISION

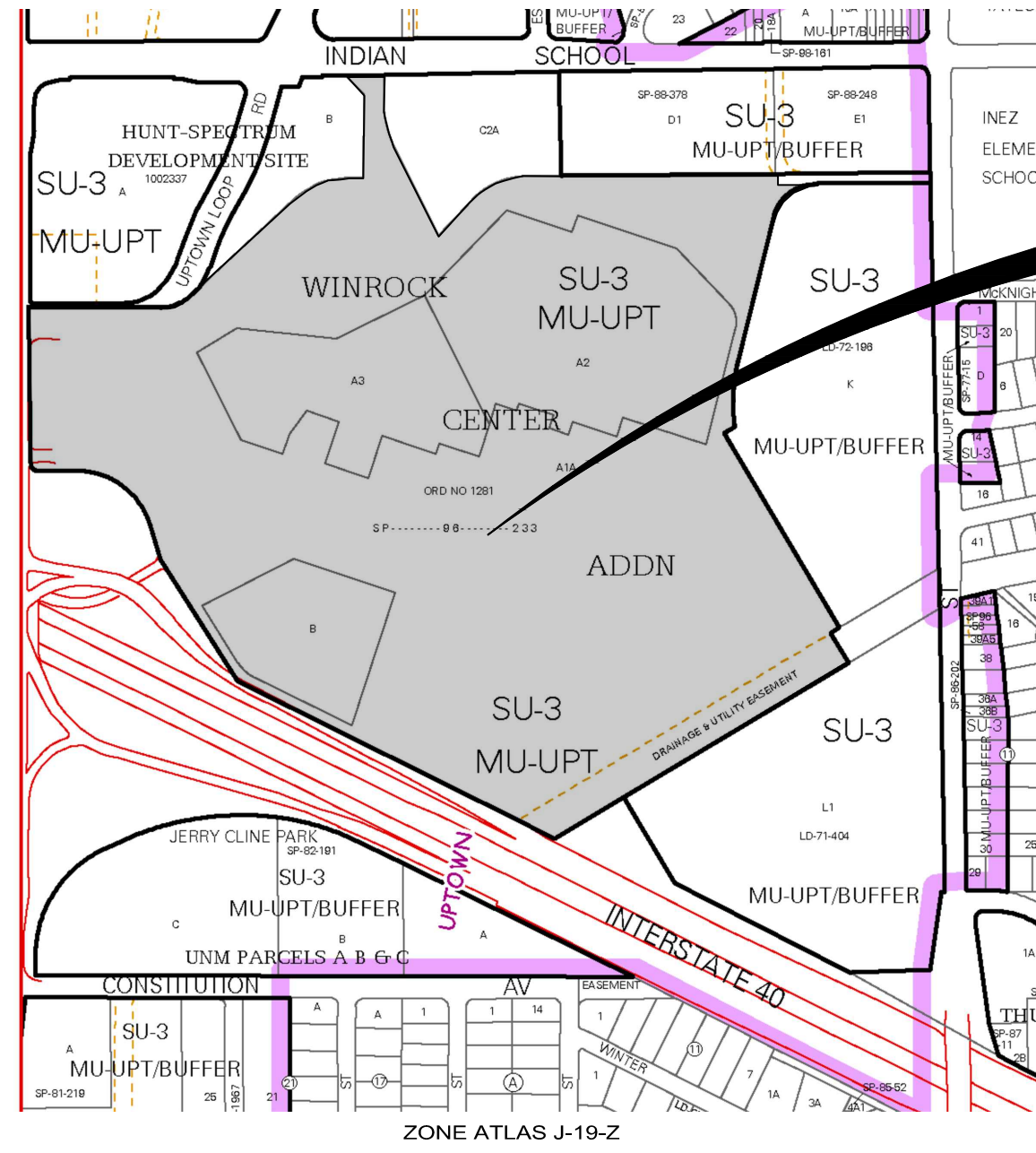
**MODULUS ARCHITECTS**  
100 SUN AVE. N.W., SUITE 600  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE WINROCK TOWN CENTER 2100 LOUISIANA BLVD.	JOB NO. 	DRAWN BY 
PROJECT MANAGER 	SHEET TITLE DRB EASEMENT EXHIBIT	

DATE 1/14/22	SHEET C203
SCALE AS NOTED	

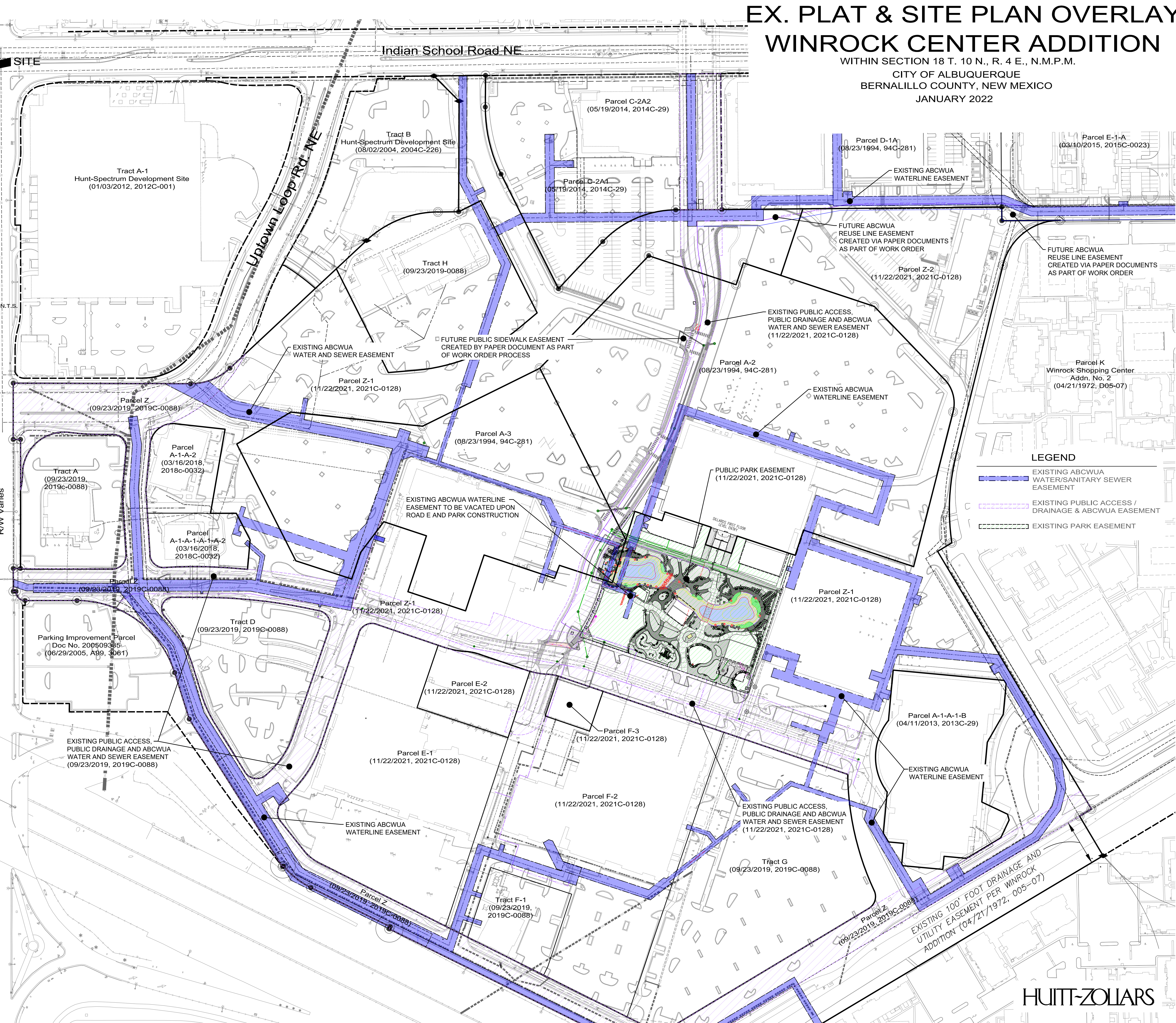
HUITT-ZOLIARS



# EX. PLAT & SITE PLAN OVERLAY WINROCK CENTER ADDITION

WITHIN SECTION 18 T. 10 N., R. 4 E., N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
JANUARY 2022

Louisiana Blvd. NE  
R/W Varies

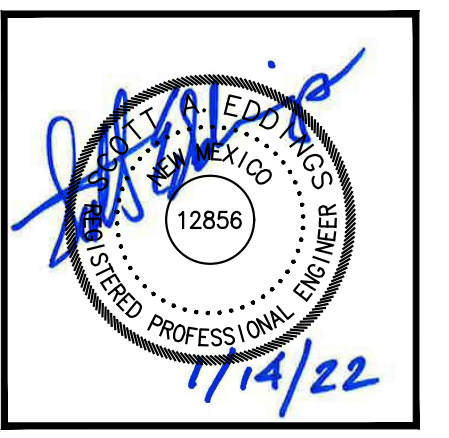


**LEGEND**

- EXISTING ABCWUA WATER/SANITARY SEWER EASEMENT
- EXISTING PUBLIC ACCESS / DRAINAGE & ABCWUA EASEMENT
- EXISTING PARK EASEMENT

REV.	DATE	BY	REVISION

**MODULUS ARCHITECTS**  
100 SUN AVE. N.W. SUITE 600  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT FILE WINROCK TOWN CENTER 2100 LOUISIANA BLVD.	JOB NO. DRAWN BY: PROJECT MANAGER:	SHEET TITLE EX. PLAT AND SITE PLAN OVERLAY
---	--	---

DATE 1/14/22	SHEET C204
SCALE AS NOTED	

HUITT-ZOLLARS



T.I.D.D. INFRASTRUCTURE LIST

Date Preliminary Plat Approved: NA

EXHIBIT "B"

Date Preliminary Plat Expires: NA

DRB Project No.:

DRB Application No.:

Winrock Town Center Park  
PROPOSED NAME OF SITE DEVELOPMENT PLAN

Winrock Center Addition Parcel Z-1  
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA BLDG PERMIT #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
			<b>*****ROADWAY*****</b>						
		Varies	Asphalt Pavement: (On Street Parking, (2) 14' Drive Lane); Standard Curb and Gutter; 6' Sidewalk East Side Only)	Road E	Road B	Parcel C-2A	/	/	/
			Roadway Lighting & Security, Complete	Road E	Road B	Parcel C-2A	/	/	/
			Landscape and Streetscape, Complete	Road E	Road B	Parcel C-2A	/	/	/
			<b>*****WATER*****</b>						
		8"	Waterline #1 w/Appertunances	Road E	Road B	Parcel C-2A	/	/	/
			<b>*****SANITARY*****</b>						
		8"	Sanitary Sewer Line #1 and Manholes	Road E	Road B	APPOX. 200' NORTH	/	/	/
			<b>*****REUSE WATER*****</b>						
		8"	Reuse Waterline #1 w/Appertunances	Point of Connection Road B	Road B (Western Park)	North Side of Park	/	/	/
		8"	Reuse Waterline #2 w/Appertunances	Road E	North Side of Park	Parcel C-2A	/	/	/
		8"	Reuse Waterline # 3 w/Appertunances	ABCWUA Easmentment	Parcel C-2A	Pennsylvania Avenue	/	/	/
			<b>*****STORM*****</b>						
		24"	Storm Drain #1, Inlets and Manhole	Road E	North Side of Park	Parcel C-2A	/	/	/

SIA	COA BLDG
Sequence #	PERMIT #
<input type="text"/>	<input type="text"/>

Size	Type of Improvement	Location	From	To
	*****Park*****			
	Park and Lake, Complete	Park		

Private	City	City Cnst
Inspector	Inspector	Engineer
/	/	/

NOTES

- 1 \_\_\_\_\_
- 2 \_\_\_\_\_
- 3 \_\_\_\_\_

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS
---------------	---

Scott Eddings  
 \_\_\_\_\_  
 NAME (print)

Huitt-Zollars, Inc.  
 \_\_\_\_\_  
 FIRM

*Scott Eddings* 1/14/2022  
 \_\_\_\_\_  
 SIGNATURE - date

MAXIMUM TIME ALLOWED TO CONSTRUCT  
 THE IMPROVEMENTS WITHOUT A DRB  
 EXTENSION: 1-YEAR

\_\_\_\_\_  
 DRB CHAIR - date

\_\_\_\_\_  
 TRANSPORTATION DEVELOPMENT - date

\_\_\_\_\_  
 UTILITY DEVELOPMENT - date

\_\_\_\_\_  
 CITY ENGINEER - date

\_\_\_\_\_  
 PARKS & GENERAL RECREATION - date

\_\_\_\_\_  
 AMAFCA - date

\_\_\_\_\_  
 CODE ENFORCEMENT - date

\_\_\_\_\_  
 - date

DESIGN REVIEW COMMITTEE REVISIONS
-----------------------------------

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

Sep. 30, 2021

\\sfs\2021-26-02-OVERALL MASTER -177.dwg; B662-10\_Waterfall\_Media.dwg; W029\_SDW\_wr\_B662.dwg  
Dimension = 1; LScale = 1; PScale = 1; AColor = 1; AColor\_Ver = 2.00; (LMS Tech); elevation = 1



- LEGEND**
- ERODED CONCRETE SHORELINE LIMIT
  - CANTILEVER DECK SHORELINE LIMIT
  - RETAINING WALL SHORELINE LIMIT
  - BOULDER POCKET
  - INITIAL POND LIMIT

EXISTING ROAD-NOT A PART

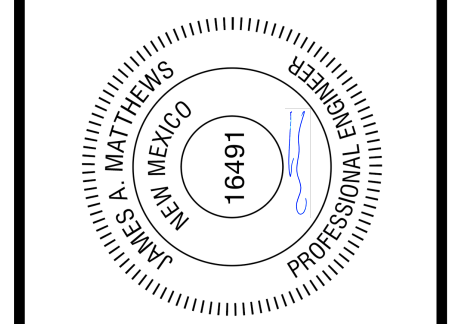
EXISTING ROAD-NOT A PART

EXISTING ROAD-NOT A PART



**PRELIMINARY NOT FOR CONSTRUCTION**  
 PRELIMINARY DESIGN DRAWING  
 THIS DRAWING IS FOR DESIGN USE ONLY AND NOT  
 INTENDED TO BE USED FOR CONSTRUCTION.

NO.	BY	DATE	REVISIONS	DATE	APP.



PREPARED BY ZIRANG SONG PROJECT ENGINEER	R.C.E. NO. — # XXXX	SCALE AS SHOWN	DATE 01/07/2021
EXP. 1/1/27/XX	DRAWN RC/NM	DESIGNED NM	CHECKED ZS

**POND PLAN**

**WINROCK TOWN CENTER  
 POND CONCEPT**

ALBUQUERQUE NM



SHEET  
**01**  
 OF XX SHEETS

JOB NO. B662

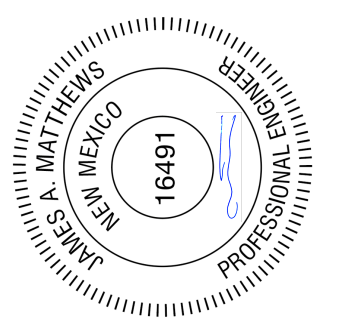
Sep. 30, 2021

\\scc\B662-10\_Lake\_Base.dwg; 2021-09-02-09:58:11 MASTER - 177.dwg; B662-10\_Pump\_Station\_Base.dwg; B662-10\_Waterfall\_Model.dwg; WPC2\_SSK\_wr\_Base.dwg  
Dimension = 1; Linetype = 1; PSLinetype = 1; ACAD Ver. = 23.0; (LMS Tech); Version = 1



**LEGEND**

- RECIRCULATION DISCHARGE
- WATERWALL DISCHARGE
- CASCADING WATERFALL DISCHARGE
- - - - - POND INTAKE
- - - - - SKIMMER INTAKE



PREPARED BY ZIRANG SONG PROJECT ENGINEER R.C.E. NO. — # XXXX EXP. — / — / —	DRAWN RC/NM DESIGNED NM CHECKED ZS	SCALE AS SHOWN	DATE 01/07/2021
---	---	-------------------	--------------------

**PIPING PLAN**

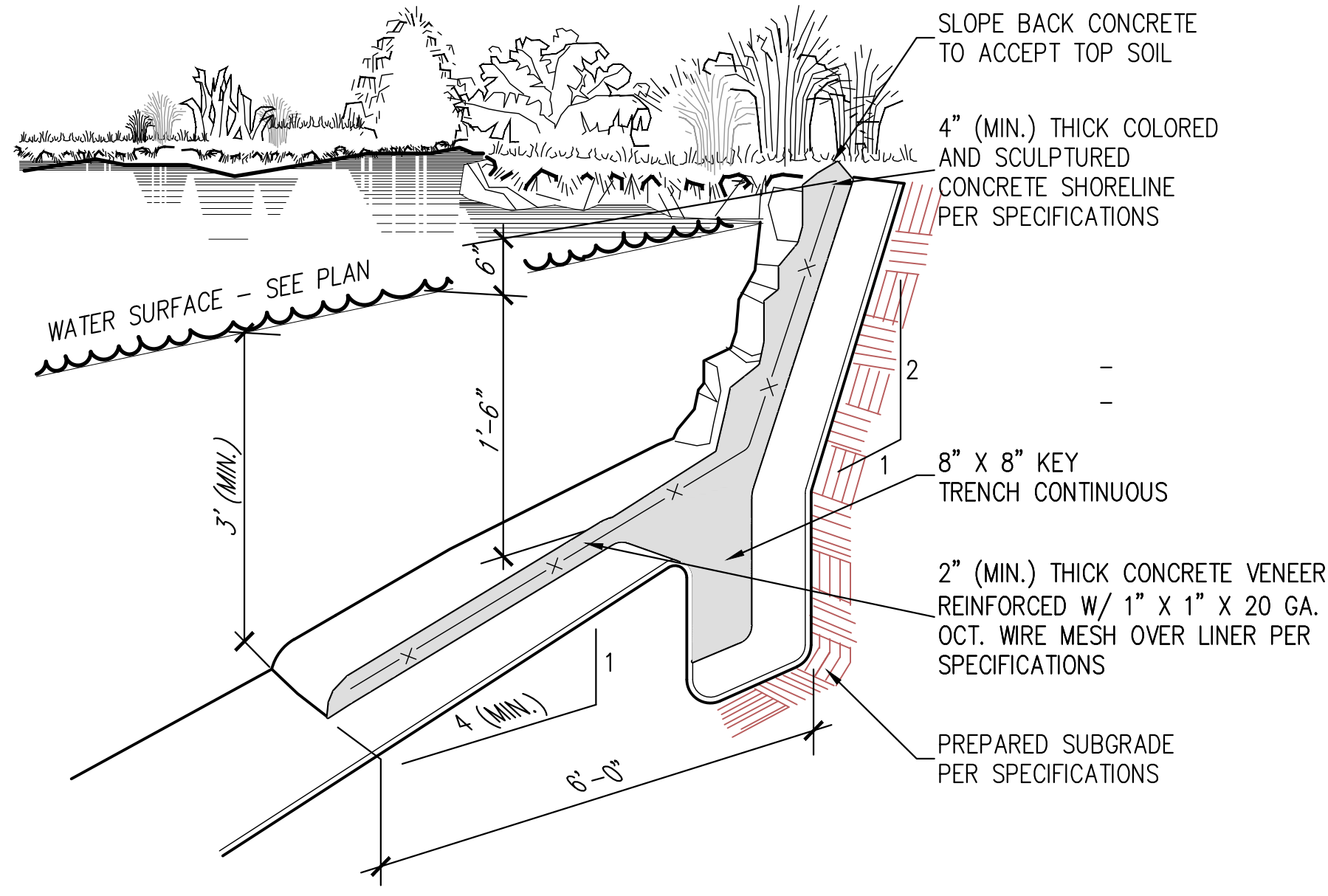
JOB TITLE  
**WINROCK TOWN CENTER  
POND CONCEPT**  
ALBUQUERQUE NM



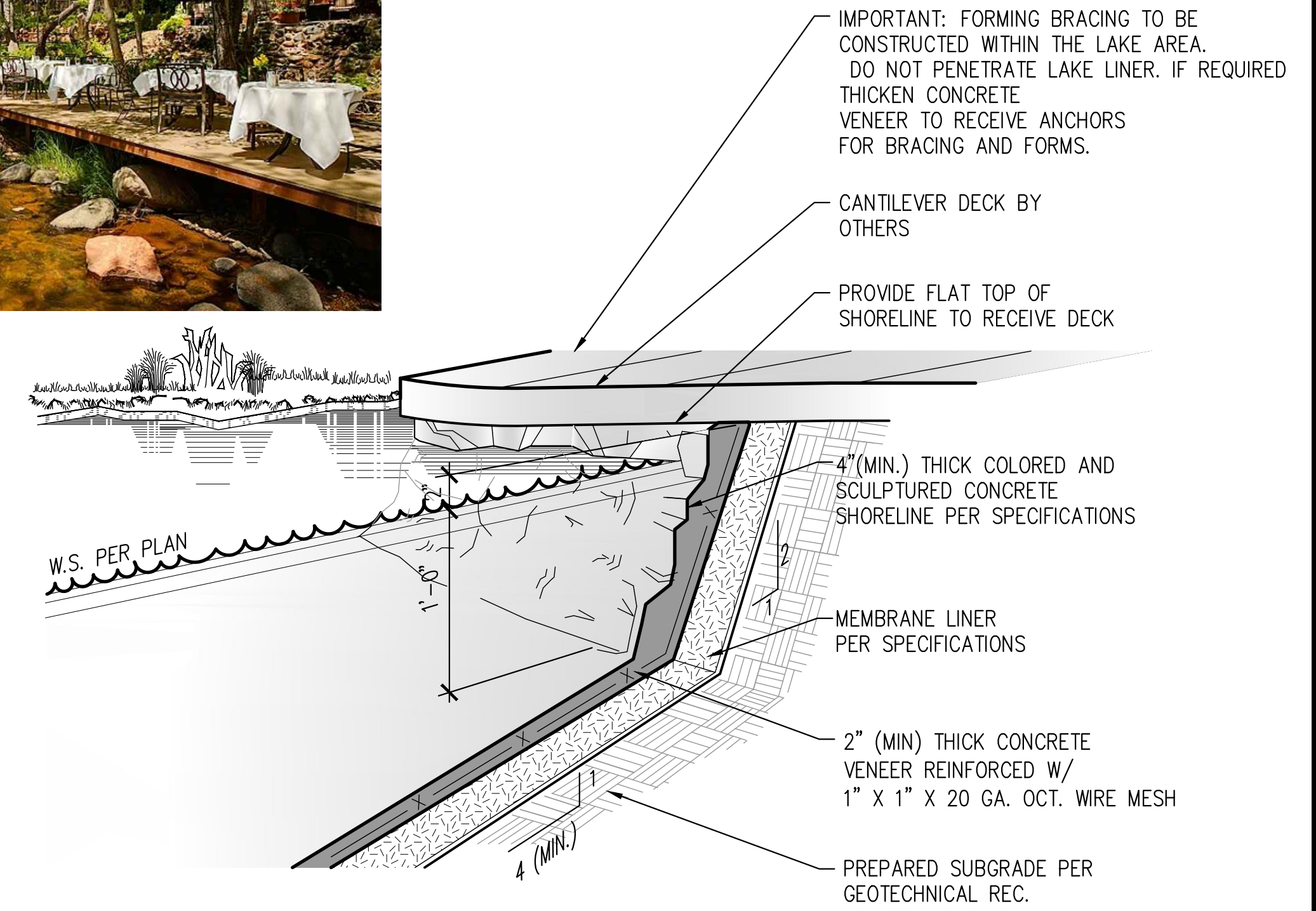
**PRELIMINARY NOT FOR CONSTRUCTION**  
PRELIMINARY DESIGN DRAWING  
THIS DRAWING IS FOR DESIGN USE ONLY AND NOT  
INTENDED TO BE USED FOR CONSTRUCTION.

SHEET  
**02**  
OF XX SHEETS  
JOB NO. B662

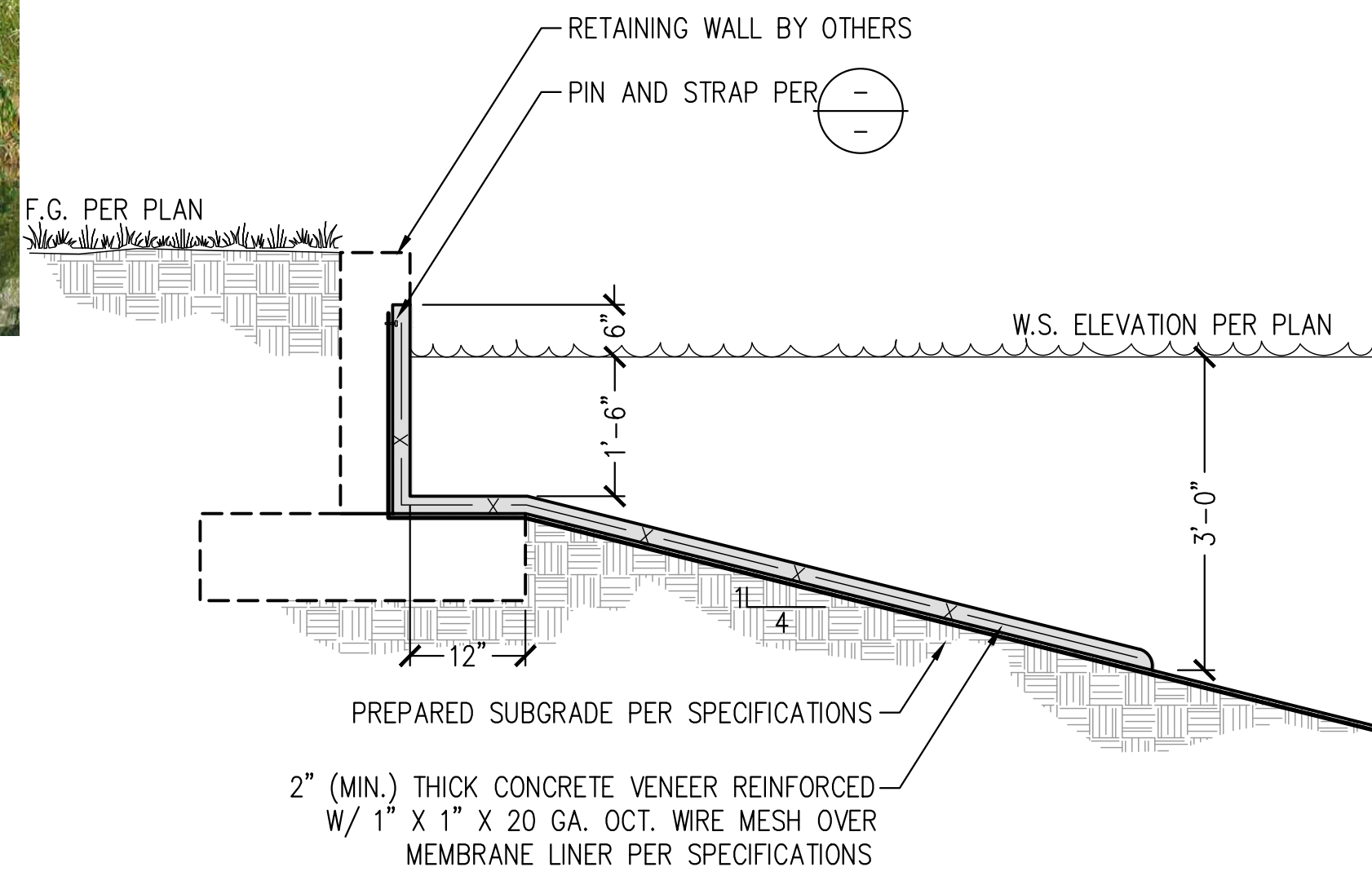
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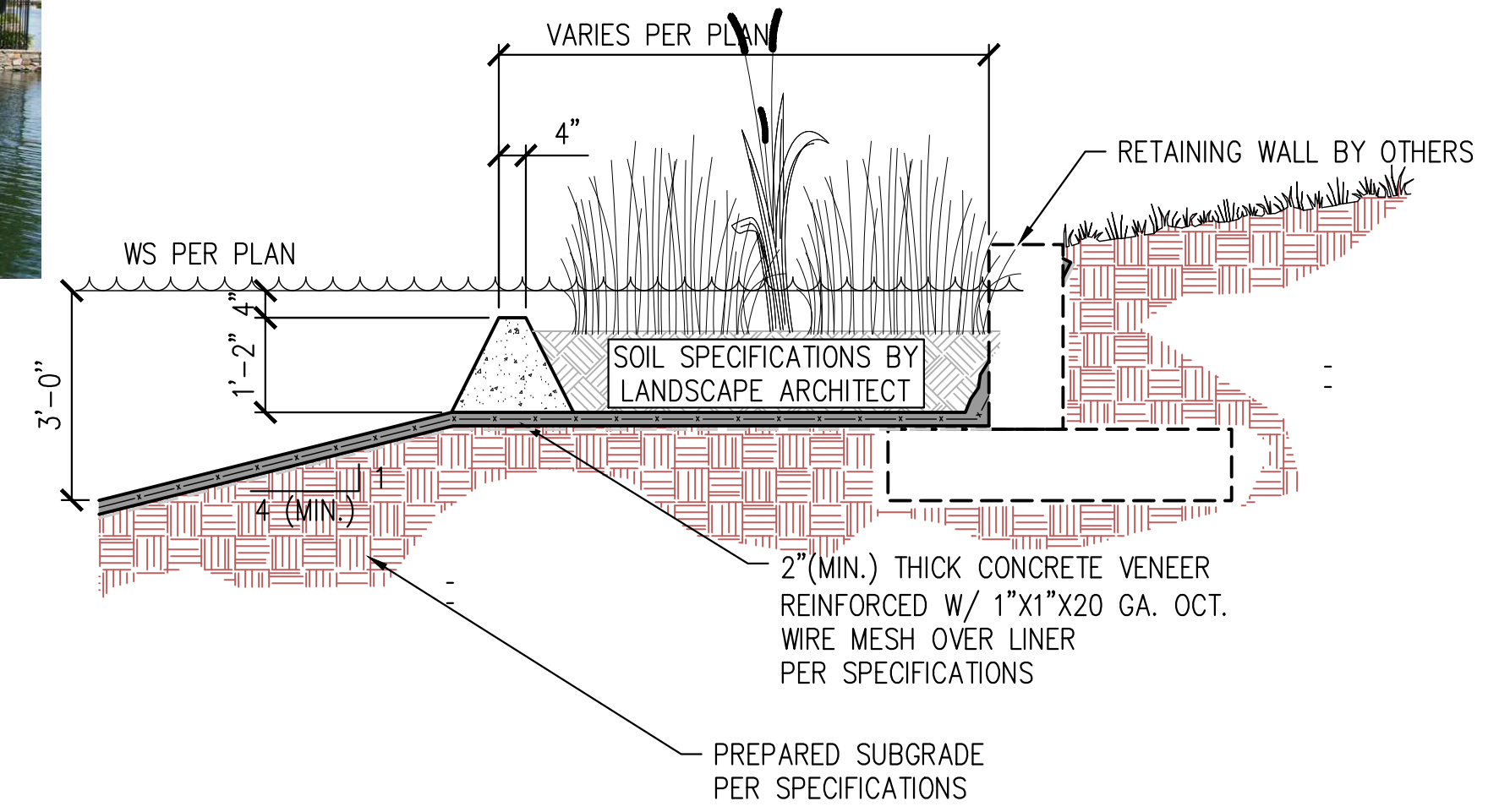
ERODED CONCRETE SHORELINE



CANTILEVER DECK SHORELINE



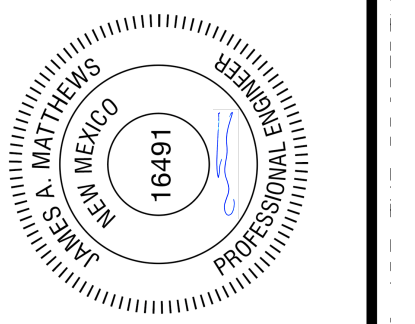
RETAINING WALL SHORELINE



RETAINING WALL WITH PLANTER SHORELINE

**PRELIMINARY NOT FOR CONSTRUCTION**  
 PRELIMINARY DESIGN DRAWING  
 THIS DRAWING IS FOR DESIGN USE ONLY AND NOT INTENDED TO BE USED FOR CONSTRUCTION.

NO.	BY	DATE	REVISIONS	DATE	APP.



PREPARED BY ZIRANG SONG PROJECT ENGINEER R.C.E. NO. 16891	SCALE AS SHOWN	DATE 01/07/2021
DRAWN RC/NM	DESIGNED NM	CHECKED ZS

TITLE  
**LAKE SHORELINES**

JOB  
**WINROCK TOWN CENTER  
 POND CONCEPT**  
 ALBUQUERQUE NM



SHEET  
**03**  
 OF XX SHEETS  
 JOB NO. B662



WATERFALL



STEPPING STONE

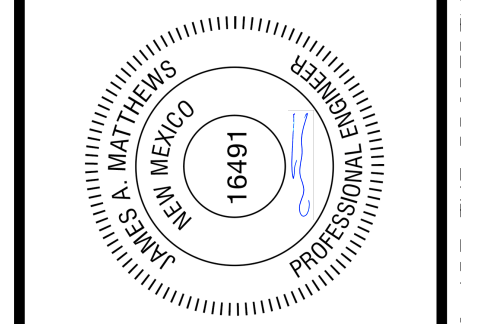


WATERFALL



STEPPING STONE

NO.	BY	DATE	REVISIONS	DATE	APP.



PREPARED BY: ZIRANG SONG  
 PROJECT ENGINEER  
 R.C.E. NO. --- / XXXX  
 EXP. 1/14/2021  
 DRAWN: RC/NM  
 DESIGNED: NM  
 CHECKED: ZS  
 SCALE: AS SHOWN  
 DATE: 01/07/2021

**WATERFALL AND WATER WALL OPTIONS**  
 TITLE

**WINROCK TOWN CENTER POND CONCEPT**  
 JOB  
**ALBUQUERQUE**  
 NM



**PRELIMINARY NOT FOR CONSTRUCTION**  
 PRELIMINARY DESIGN DRAWING  
 THIS DRAWING IS FOR DESIGN USE ONLY AND NOT INTENDED TO BE USED FOR CONSTRUCTION.

SHEET **04**  
 OF XX SHEETS  
 JOB NO. B662

## LANDSCAPE SCHEDULES WINROCK PARK

SYMBOL	DESCRIPTION	QTY
	6" DEPTH CONCRETE. TROLLEY PATH. COLOR: RED OR DARK GRAY TO MATCH PATTERN SOUTH OF PARK ROAD. DETAIL BY OTHERS.	4,747 SF
	4" EXPOSED AGGREGATE CONCRETE. COLOR: GREY WITH 3/8" ANGULAR CRUSHED ROCK. CONCRETE SHOULD MATCH CONCRETE SIDEWALKS IN PARK. COLOR: BEIGE. PLEASE SEE CIVIL PLANS.	1,516 SF
	4" EXPOSED AGGREGATE CONCRETE. COLOR: GREY WITH 3/8" ANGULAR CRUSHED ROCK. COLOR: BEIGE.	14,547 SF
	3/8" ANGULAR CRUSHED FINES, COMPACTED, 4" DEPTH, COLOR: ROSE BROWN. AVAILABLE	5,775 SF
	3/8" ANGULAR CRUSHED FINES, STABILIZED. 3" WIDE STRIP BETWEEN POND EDGE AND LANDSCAPE AREAS PER PLAN, 4" DEPTH, COLOR: ROSE BROWN.	5,291 SF
	7/8" ANGULAR LANDSCAPE GRAVEL MULCH. 4" DEPTH. COLOR: AMARETTO OR APPROVED EQUAL.	23,237 SF
	15 5/8" X 22" X 2 3/8" PAVER. MFR: BELGARD "MEGA-LIBRE", COLOR: MONTECINO OR APPROVED EQUAL.	246 SF
	POURED-IN PLACE RUBBER SURFACE. SEE DETAIL X/LC-50X. COLOR: BLUE OR APPROVED EQUAL. APPROVED BY OWNER'S REPRESENTATIVE PRIOR INSTALL	359 SF
	ENGINEERED WOOD FIBER, 12" COMPACTED DEPTH. COLOR: BEIGE/NATURAL.	2,814 SF
	6' BENCHES	35

### PLANTING BED SCHEDULE - PARK

	TURF GRASS AREA
	EVERGREEN HEDGE ALONG PARK PERIMETER
	AQUATIC PLANTS. SEE PLANT SCHEDULE PER POND PLANS BY OTHERS
	7/8" ANGULAR LANDSCAPE GRAVEL MULCH. 4" DEPTH WITH FILTER FABRIC UNDERNEATH. COLOR: WARM COLOR (BROWN OR BROWNISH-RED)

### TREE SCHEDULE - PARK

	PLANTS PER PLANT LIST, SEE SHEET LP-101.	QTY.
<u>DECIDUOUS</u>		
	BOSQUE TREES, SEE PLANT LIST	15
	OUTER PARK AREA SEE PLANT LIST	41
	ORCHARD AREAS SEE PLANT LIST	11
<u>EVERGREEN</u>		
	EVERGREEN TREES SEE PLANT LIST	14
	EVERGREEN TREE DILLARD'S ENTRY, VANDERWOLF LIMBER PINE	8

## LANDSCAPE SCHEDULES ROAD E

	DESCRIPTION	QTY.
	7/8" ANGULAR LANDSCAPE GRAVEL MULCH. 3" DEPTH. COLOR: WARM COLOR (AMARETTO, BROWN OR BROWNISH-RED)	21,775 SF.
	2" - 4" ANGULAR COBBLESTONE WITH FILTER FABRIC UNDERNEATH. COLOR: WARM COLOR (AMARETTO, BROWN OR BROWNISH-RED) TO MATCH GRAVEL MULCH	355 SF.
	4" SHREDDED NATIVE BARK MULCH UNDERNEATH FRUIT TREES.	3,225 SF.

NOTE:  
- GRADING PLAN PER CIVIL DRAWINGS.

### TREE SCHEDULE - ROAD E

	PLANTS PER PLANT LIST, SEE SHEET LP-104.	QTY.
<u>DECIDUOUS</u>		
	CHINESE PISTACHE / Pistachie chinensis	46
<u>EVERGREEN</u>		
	PINON PINE / Pinus edulis	6
<u>EXISTING TREE</u>		
	EXISTING TREE	

### FRUIT TREE SCHEDULE - ROAD E

	PLANTS PER PLANT LIST, SEE SHEET LP-104.	QTY.
	PLUM / Prunus spp.	6
	PEAR / Pyrus spp.	26

### SHRUB SCHEDULE - ROAD E

	PLANTS PER PLANT LIST, SEE SHEET LP-10X.	QTY.
	ROSEMARY / Rosmarinus officinalis	77
	TURPENTINE BUSH / Ericameria laricifolia	49
	COMPACT OREGON GRAPE / Mahonia aquifolium 'Compacta'	27
	DESERT BROOM / Baccharis 'Starr'	30
	BANANA YUCCA / Yucca baccata	15
	RED YUCCA / Hesperaloe parviflora	45
	GARLIC CHIVES / Allium schoenoprasum	204
	BLUE GRAMA GRASS / Bouteloua gracilis	26

## GENERAL LANDSCAPE NOTES APPLY TO WINROCK PARK & ROAD E

THE LANDSCAPE PLAN IS DESIGNED TO COMPLY WITH THE GENERAL IDO LANDSCAPING REGULATIONS (SECTION 14-16-5-6) INCLUDING PROVISION OF A MINIMUM OF 75% LIVE GROUND COVERAGE, MEASURED AT MATURITY, OF ALL REQUIRED LANDSCAPE AREAS, AND A MINIMUM OF 25% REQUIRED VEGETATIVE COVERAGE OF GROUND COVER PLANTS.

ALL PLANTINGS TO BE ESTABLISHED FOR GENERAL LANDSCAPE PURPOSES, UNLESS OTHERWISE NOTED ON THE PLANS.

RESPONSIBILITY FOR LANDSCAPE AND IRRIGATION MAINTENANCE ON THE SITE SHALL LIE WITH THE OWNER.

LANDSCAPE AREAS SHALL BE DEPRESSED TO PROVIDE POSITIVE DRAINAGE FOR SITE RUN OFF. SEE CIVIL DRAWINGS FOR DRAINAGE INFORMATION.

THE LANDSCAPE PLAN SHALL BE DESIGNED TO MEET ALL CITY OF ALBUQUERQUE, AND IDO REQUIREMENTS.

PLANT MATERIALS AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ACCEPTABLE IN CLEAR SIGHT AREAS.

USE OF NON POTABLE WATER: THE WINROCK TOWN CENTER PARK AND STREETSCAPES WILL BE USING REUSE WATER (RECLAIM WATER) FOR THE LAKE AND THE LANDSCAPES AT THE PROJECT SITE. \* WARNING SIGNAGE WILL BE PLACED THROUGHOUT THE PROJECT AREA. THE SIGNAGE WILL STATE: "WINROCK CARES ABOUT ENVIRONMENTS. WE ARE USING RECLAIMED WATER FOR WATER FEATURES AND LANDSCAPES. DON'T DRINK THE WATER."

WE ARE USING RECLAIMED WATER FOR WATER FEATURES AND LANDSCAPES. DON'T DRINK THE WATER."

### PLANTING NOTES

THE LANDSCAPE PLANS SHALL COMPLY WITH THE CITY OF ALBUQUERQUE WASTE WATER CONSERVATION, LANDSCAPE, IDO, AND WATER WASTE ORDINANCE.

ALL PLANTING BEDS SHALL BE MULCHED WITH A 4" LAYER OF 3/8" CRUSHER FINES GRAVEL. COLOR TO BE DETERMINED BY ARCHITECT. ALL GRAVEL SHALL BE UNDERLINED WITH DEWITT PRO-5 28 MIL. FILTER FABRIC OR APPROVED EQUAL.

THE R.O.W. (WHEN DEDICATED TO THE PUBLIC) SHALL BE MAINTAINED BY THE OWNER. THE PLAN SHALL FOLLOW THE COA DESIGN GUIDELINES FOR STREET TREES UNLESS OBSTRUCTED BY UTILITY EASEMENTS.

USE OF FRUIT TREES: GOODMAN REALTY GROUP HAS RECEIVED AN APPROVED DEVIATION FROM THE CITY OF ALBUQUERQUE STREET TREE ORDINANCE 6-6-2-1 FOR PARKING LOT LANDSCAPING FOR THE USE OF FRUIT TREES ON THE WINROCK TOWN CENTER PROJECT. FRUIT TREES ARE INCLUDED ON THE PLANS.

### IRRIGATION NOTES

THE IRRIGATION PLAN BE DESIGNED TO MEET ALL CITY OF ALBUQUERQUE, AND IDO REQUIREMENTS, SECTION 5-6(C)(14).

THE WORK DESCRIBED AS "IRRIGATION" CONSISTS OF INSTALLING A COMPLETE UNDERGROUND IRRIGATION SYSTEM AS SPECIFIED IN THESE NOTES IN ADDITION TO MEETING ALL LOCAL CODES, ORDINANCES, AND REQUIREMENTS. ALL DESIGN, EQUIPMENT, INSTALLATION, AND TESTING SHALL COMPLY WITH THE STANDARDS OUTLINED IN THE CITY OF ALBUQUERQUE'S STANDARD SPECIFICATIONS, SECTION 1001.

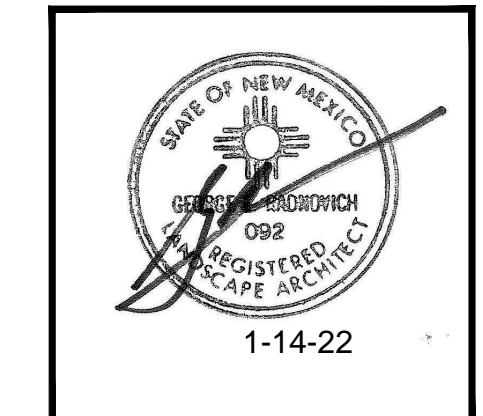
PRIOR TO COMMENCING WORK CONTRACTOR SHALL PROVIDE A 20-SCALE PLAN TO THE LANDSCAPE ARCHITECT OR THE OWNER'S REPRESENTATIVE SHOWING COMPLETE SYSTEM LAYOUT, SCHEDULE OF VALVES, VALVE SIZES, MAINLINE AND LATERAL PIPE SIZES, SLEEVE LOCATIONS AND SIZES, AND COMPLETE LEGEND WITH A LIST OF COMPONENTS.

THE CONTRACTOR PERFORMING THIS WORK SHALL FURNISH ALL LABOR, EQUIPMENT, MATERIALS, AND PERMITS NECESSARY FOR THE COMPLETION OF THE SYSTEM, EXCEPT THOSE SPECIFIED TO BE FURNISHED BY OTHERS. UNLESS OTHERWISE SPECIFIED OR INDICATED, THE CONSTRUCTION OF THE IRRIGATION SHALL INCLUDE THE FURNISHING, INSTALLING, AND TESTING OF ALL PIPE, FITTINGS, VALVES, HEADS, CONTROLLERS, WIRES, AIR RELEASE AND VACUUM VALVES, BACKFLOW PREVENTERS, AUTOMATIC DRAIN VALVES, MANUAL DRAIN VALVES, VALVE BOXES, AND ALL OTHER COMPONENTS PERTINENT TO THE DRAWINGS AND SPECIFICATIONS OF THIS SYSTEM. THE CONTRACTOR SHALL PERFORM ALL TRENCHING, EXCAVATING, BORING, BACKFILLING, COMPACTING, CONCRETE POURING, ELECTRICAL WORK, WELDING, AND ANY OTHER WORK NECESSARY FOR THE COMPLETION OF THE PROJECT.



REV	DATE	BY	REVISION
1			
2			
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4			
5			

**MODULUS ARCHITECTS**  
 100 SUN AVE. N.W. SUITE 600  
 ALBUQUERQUE, NEW MEXICO 87109  
 PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE WINROCK TOWN CENTER 2000 LOUISIANA BLVD. ALBUQUERQUE, NM 87110	DRAWN BY: GR/NO
JOB NO. 2021041	DATE 1-14-22
SHEET TITLE LANDSCAPE SCHEDULES AND NOTES WINROCK TOWN CENTER PARK & ROAD E	SCALE 1" = 20'-0"



DILLARDS FIRST FLOOR  
LEVEL ENTRY

DILLARD'S ENTRY

TROLLEY PATH

EXISTING ROAD-NOT A PART

EXISTING ROAD-NOT A PART

REFERENCE NOTES SCHEDULE

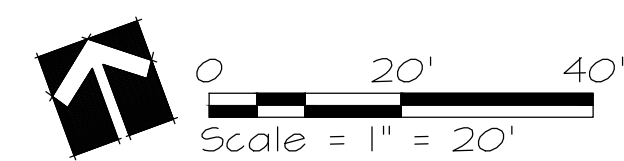
- | SYMBOL | DESCRIPTION  |
|--------|--|
|        | 6" DEPTH CONCRETE, TROLLEY PATH. COLOR: RED OR DARK GRAY TO MATCH PATTERN SOUTH OF PARK ROAD. DETAIL BY OTHERS.  |
|        | 4" EXPOSED AGGREGATE CONCRETE. COLOR: GREY WITH 3/8" ANGULAR CRUSHED ROCK. CONCRETE SHOULD MATCH CONCRETE SIDEWALKS IN PARK. COLOR: BEIGE. PLEASE SEE CIVIL PLANS.           |
|        | 4" EXPOSED AGGREGATE CONCRETE. COLOR: GREY WITH 3/8" ANGULAR CRUSHED ROCK. COLOR: BEIGE. SEE DETAIL X/LC-50X.  |
|        | 3/8" ANGULAR CRUSHED FINES, COMPACTED, 4" DEPTH, COLOR: ROSE BROWN. AVAILABLE FROM XXXX. SEE DETAIL X/LC-50X.  |
|        | 3/8" ANGULAR CRUSHED FINES, STABILIZED. 3" WIDE STRIP BETWEEN POND EDGE AND LANDSCAPE AREAS PER PLAN, 4" DEPTH, COLOR: ROSE BROWN. AVAILABLE FROM XXXX. SEE DETAIL X/LC-50X. |
|        | 7/8" ANGULAR LANDSCAPE GRAVEL MULCH, 4" DEPTH. COLOR: AMARETTO OR APPROVED EQUAL.  |
|        | 15 5/16" X 22" X 2 3/8" PAVER, MFR: BELGARD "MEGA-LIBRE", COLOR: MONTECINO OR APPROVED EQUAL.  |
|        | POURED-IN PLACE RUBBER SURFACE. SEE DETAIL X/LC-50X. COLOR: BLUE OR APPROVED EQUAL. APPROVED BY OWNER'S REPRESENTATIVE PRIOR INSTALLATION. MFR: LANDSCAPE STRUCTURES         |
|        | ENGINEERED WOOD FIBER, 12" COMPACTED DEPTH. COLOR: BEIGE/NATURAL. SEE DETAIL X/LC-504. MFR: LANDSCAPE STRUCTURES   |
|        | 6' BENCHES   |

PLANTING BED SCHEDULE - PARK

- |  |   |
|--|---|
|  | TURF GRASS AREA   |
|  | EVERGREEN HEDGE ALONG PARK PERIMETER                        |
|  | AQUATIC PLANTS. SEE PLANT SCHEDULE PER POND PLANS BY OTHERS |

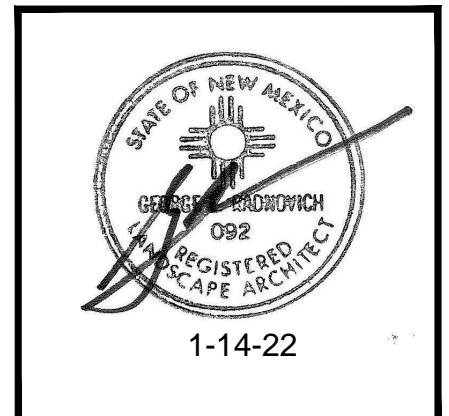
NOTES:

1. THE ROCK WALK BEING USED AS A LAND BRIDGE THROUGH THE LAKE FEATURE. THE ROCK WALK WILL BE MADE OF CONCRETE (FAUX ROCK) WITH A NON-SLIP FINISH TO MITIGATE BEING A SLIPPING HAZARD.
2. THE PLAYGROUND AREA OF WINROCK TOWN CENTER PARK WILL BE ENCLOSED WITH A 4' FENCE AND GATE FOR THE SAFETY OF THE CHILDREN.
3. WARNING SIGNAGE FOR NON-POTABLE WATER WILL BE PLACED THROUGHOUT THE PROJECT AREA.



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**MODULUS ARCHITECTS**  
 100 SUN AVE. N.W. SUITE 600  
 ALBUQUERQUE, NEW MEXICO 87109  
 PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE WINROCK TOWN CENTER 2000 LOUISIANA BLVD. ALBUQUERQUE, NT 87110	JOB NO. 2021041	DRAWN BY GR	DATE 1-14-22
PROJECT MANAGER GR	REGISTERED LANDSCAPE ARCHITECT	LANDSCAPE SITE PLAN PARK	SHEET NO. LC-101





PLANTING TYPOLOGY SCHEDULE

- TURF GRASS AREA
- BOSQUE (POND SIDE)
- OUTER PARK AREA
- ORCHARD AREAS
- NATURE PLAY AND PLAYGROUNDS

PLANTING BED SCHEDULE - PARK

- TURF GRASS AREA
- EVERGREEN HEDGE ALONG PARK PERIMETER
- AQUATIC PLANTS. SEE PLANT SCHEDULE PER POND PLANS BY OTHERS
- 1/8" ANGULAR LANDSCAPE GRAVEL MULCH. 4" DEPTH WITH FILTER FABRIC UNDERNEATH. COLOR: WARM COLOR (BROWN OR BROWNISH-RED)

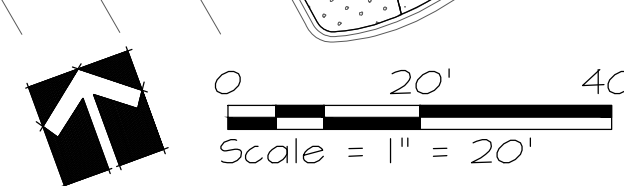
TREE SCHEDULE - PARK

- BOSQUE TREES, SEE PLANT LIST
- OUTER PARK AREA SEE PLANT LIST
- ORCHARD AREAS SEE PLANT LIST
- EVERGREEN
- EVERGREEN TREES SEE PLANT LIST
- EVERGREEN TREE DILLARD'S ENTRY, VANDERWOLF LIMBER PINE



EXISTING ROAD-NOT A PART

EXISTING ROAD-NOT A PART



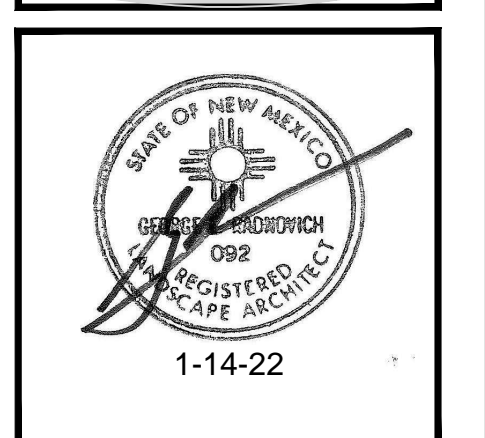
WINROCK TOWN CENTER PARK - PLANT LIST

Preliminary Concept Design  
Date: 3/3/2021  
Prepared by Sites Southwest

LANDSCAPE CATEGORY	COMMON NAME	BOTANICAL NAME	NATIVE (n) EXOTIC (e)	SIZE/NOTES/COMMENTS
<b>"BOSQUE" (Pondside)</b>				
Trees	Arizona Ash	Fraxinus Velutina	n	2.5' cal., B&B/large tree/deciduous
	Rocky Mountain Juniper	Juniperus scopulorum	n	15 gal./medium tree/deciduous
	Arizona Sycamore	Platanus wrightii	n	2.5' cal., B&B/large tree/deciduous
	Rio Grande Cottonwood	Populus fremonti	n	2.5' cal., B&B/large tree/deciduous
Small Trees	Bigtooth Maple	Acer saccharum v grandidentatum	n	15 gal./small tree/deciduous
	Desert Willow	Chilopsis linearis	n	15 gal./small tree/deciduous
	New Mexico Olive	Forestiera pubescens	n	15 gal./small tree/deciduous
	Mexican Elder	Sambucus mexicana	n	15 gal./small tree/deciduous
Shrubs - medium and large	False Indigo Bush	Amorpha fruticosa	n	5 gal./medium shrub/deciduous
	Red Twig Dogwood	Cornus stolonifera	n	5 gal./medium shrub/deciduous
	Chokecherry	Prunus virginiana demisa	n	5 gal./medium shrub/deciduous
	Three Leaf Sumac	Rhus trilobata	n	5 gal./medium shrub/deciduous
	Golden Currant	Ribes aureum	n	5 gal./medium shrub/deciduous
	Rosewood	Vauquelinia	n	5 gal./medium shrub/evergreen
	Equisetum Horsetail	Equisetum laevigatum	n	1 gal./small shrub/evergreen
	Apache Plume	Fallugia paradoxa	n	5 gal./medium shrub/evergreen
	Woods Rose	Rosa woodsii	n	5 gal./medium shrub/deciduous
	Small Shrubs and Groundcovers	Yerba de Mansa	Anemopsis californica	n
Lavender		Lavendula angustifolia	e	1 gal./medium shrub/evergreen
Western Sand Cherry		Prunus besseyi 'Pawnee Buttes'	e	5 gal./medium shrub/deciduous
Rosemary		Rosmarinus officinalis	e	5 gal./medium shrub/evergreen
Cota		Thelesperma megapotamicum	n	1 gal./medium shrub/deciduous
Grasses	Blue Grama 'Blond Ambition'	Bouteloua gracilis 'blonde ambition'	n (hybrid)	1 gal./small grass/deciduous
	Blue Avena Grass	Helictotrichon sempervirens	e	1 gal./small grass/evergreen
<b>WATERFALL AREA POND SIDE</b>				
Small Trees	Chisos Red Oak	Quercus gravesii	n	15 gal./small tree/deciduous
	Pinon Pine	Pinus edulis	n	8-10' ht., B&B/medium tree/evergreen
Shrubs - medium and large	False Indigo Bush	Amorpha fruticosa	n	5 gal./medium shrub/deciduous
	Flowering Quince	Chaenomeles japonica	e	5 gal./medium shrub/deciduous
	Cliff Fendlerbush	Fendlera rupicola	n	5 gal./medium shrub/deciduous
Small Shrubs and Groundcovers	Pointleaf Manzanita	Arctostaphylos pungens	n	1 gal./medium shrub/evergreen
	Compact Oregon Grape	Mahonia aquifolium 'Compacta'	n	3 gal./medium shrub/evergreen
<b>OUTER PARK AREA (incl. amphitheater and lawn, playground, terraces, Dillard's wrap buildings)</b>				
Trees	Arizona Ash	Fraxinus Velutina	n	2.5' cal., B&B/large tree/deciduous
	Chinese Pistache	Pistacia chinensis	e	2.5' cal., B&B/large tree/deciduous
	Sierra Oak	Quercus canbyi	n	24" box/large tree/evergreen
	Canyon Hackberry	Celtis reticulata	n	2.5' cal., B&B/large tree/deciduous
Small Trees	Chisos Red Oak	Quercus gravesii	n	24" box/large tree/evergreen
	Desert Willow	Chilopsis linearis	n	15 gal./small tree/deciduous
Shrubs - medium and large	Curleaf Mountain Mahogany	Cercocarpus ledifolius	n	5 gal./medium shrub/evergreen
	Western Sand Cherry	prunus besseyi	n	5 gal./medium shrub/deciduous
	Rosewood	Vauquelinia californica	n	5 gal./medium shrub/evergreen
	Chamisa	Ericameria nauseosa	n	5 gal./medium shrub/deciduous
	Maximilian Sunflower	Helianthus maximiliani	n	1 gal./medium shrub/deciduous
	Red Yucca	Hesperaloe parviflora	n	5 gal./medium shrub/evergreen
	Small Shrubs and Groundcovers	Curry Plant	Helichysum italicum	e
Lavender		Lavendula angustifolia	e	1 gal./medium shrub/evergreen
Rosemary		Rosmarinus officinalis	e	5 gal./medium shrub/evergreen
Mexican Blue Sage		Salvia chamaedryoides	n	1 gal./medium shrub/evergreen
Grasses	Turfgrass (Kentucky Bluegrass, Tall Fescue, and Perennial Ryegrass)	Poa, Festuca, Lolium perenne and all Lolium	e	sod
	Sheeps Fescue	Festuca ovina except Glauca	n	seeded/10 lbs PLS/ac
	Western Wheat	Pascopyrum syn. Agropyron smithii	n	seeded/10 lbs PLS/ac
	Blue Grama 'Blond Ambition'	Bouteloua gracilis 'blonde ambition'	n (hybrid)	1 gal./small grass/deciduous
	Alkali Sacaton (open areas)	Sporobolus airoides	n	1 gal./small grass/deciduous
	Giant Sacaton	Sporobolus wrightii	n	1 gal./small grass/deciduous
Perennial	Allium spp	Allium spp	e	4" pot/perennial/deciduous
	Chocolate Flower	Berlandiera lyrata	n	4" pot/perennial/deciduous
	Mexican Hat	Ratibida tagetes	n	4" pot/perennial/deciduous
	Indian Blanket	Gaillardia pulchella	n	4" pot/perennial/deciduous
<b>ORCHARD AREA</b>				
Trees	Apple	Malus spp.	e	15 gal./small tree/deciduous
	Pear	Pyrus spp.	e	15 gal./small tree/deciduous
	Plums, peach, apricot	Prunus spp.	e	15 gal./small tree/deciduous
	Quince	Cydonia oblonga	e	15 gal./small tree/deciduous
	Pomegranate	Punica granatum	e	15 gal./small tree/deciduous
	Small Shrubs and Groundcovers	Yarrow spp	Achillea spp	e
Chives		Allium schoenoprasum	e	4" pot/perennial/deciduous
Mint		Mentha spp	e	4" pot/perennial/deciduous
Artichoke		Cynara scolymus	e	4" pot/perennial/deciduous
Bulb	Saffron Crocus	Crocus sativus	e	Herb
	Vines	Canyon Grape	Vitis arizonica	n
Honeysuckle		Lonicera sp.	e	5 gal./medium shrub/evergreen
<b>NATURE PLAY &amp; PLAYGROUND</b>				
Trees	Oklahoma Redbud	Cercis canadensis, var. texensis	n	15 gal./medium tree/deciduous
	Desert willow	Chilopsis linearis	n	15 gal./medium tree/deciduous
	Chinese Pistache	Pistacia chinensis	e	2.5' cal., B&B/large tree/deciduous
	Limber Pine	Pinus flexilis	n	8-10' ht., B&B/medium tree/evergreen
	Hollywoo Twister Juniper	juniperus chinensis 'Torulosa'	n	15 gal./medium tree/deciduous
Shrubs - medium and large	Serviceberry	Amelanchier alnifolia	e	5 gal./medium shrub/deciduous
	Butterfly bush	Buddleia davidii 'dark lavender'	e	5 gal./medium shrub/deciduous
	Curleaf Mountain Mahogany	Cercocarpus ledifolius	n	5 gal./medium shrub/evergreen
	Chamisa	Ericameria nauseosa	n	5 gal./small shrub/deciduous
	Equisetum Horsetail	Equisetum laevigatum	n	1 gal./medium shrub/evergreen
	Apache plume	Fallugia paradoxa	n	5 gal./medium shrub/evergreen
Perennials	Heavenly Bamboo	Nandina domestica	e	5 gal./medium shrub/evergreen
	Cutleaf Sumac	Rhus glabra var. cismontana	n	5 gal./small shrub/deciduous
	Red Valerian	Centranthus ruber	e	1 gal./medium shrub/deciduous
Grasses	Poppy Mallow	Callirhoe involucrata	e	1 gal./medium shrub/deciduous
	Fennel	Foeniculum vulgare	e	1 gal./medium shrub/deciduous
	Gayfeather	Liatris punctata	e	1 gal./medium shrub/deciduous
	Sheeps Fescue	Festuca ovina except Glauca	n	seeded/10 lbs PLS/ac
<b>Notes</b> plant materials will be selected from the above list, the listing doesn't mean that all plant types will be used.				

REVISION	BY	DATE
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**MODULUS ARCHITECTS**  
100 SUN AVE. N.W. SUITE 600  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE: WINROCK TOWN CENTER  
2000 LOUISIANA BLVD.  
ALBUQUERQUE, NM 87110

JOB NO.: 2021041  
PROJECT MANAGER: GR

DRAWN BY: GRNO  
SHEET TITLE: LANDSCAPE PLANTING PLAN - PARK

DATE: 1-14-22  
SCALE: 1" = 20'-0"

LEGEND LANDSCAPED AREA

-  PROJECT BOUNDARY
-  PROPOSED AND IRRIGATED LANDSCAPE AREAS 37,071 SQ. FT



LANDSCAPE AREA CALCULATIONS		
ITEM	SQFT	ACRE
<b>Total Site Area</b>	<b>126,444.00</b>	<b>2.90</b>
Gross Covered Area	13,356.00	0.31
Pond Area	21,274.00	0.49
Net Site Area	91,814.00	2.11
Landscape Area Required (10%)	9,181.40	0.21
Landscape Buffer Area Required	0.00	0.00
<b>Total Landscape Area Required</b>	<b>9,181.40</b>	<b>0.21</b>
<b>Existing Landscape</b>	<b>0.00</b>	<b>0.00</b>
Landscape Area Provided	31,534.00	0.72
Landscape Area Existing	0.00	0.00
Supplement seating areas (1/3)	315.00	0.01
<b>Total Landscape Area provided</b>	<b>37,071.00</b>	<b>0.85</b>
Landscape Area Ratio to Site (Minimum of 10% required)		
	40.4%	
Total Required Vegetation Cover @ Maturity (75%)		
	23,650.50	0.54
Total Required Vegetation Cover with shrubs, groundcover, grasses (30%)		
	9,460.20	0.22
<b>Total Required Vegetative Cover</b>	<b>33,110.70</b>	<b>0.76</b>
<b>Total Provided Vegetative Cover</b>	<b>81,592.90</b>	<b>1.87</b>
Provided Cover Ratio to Proposed Landscape Area (Minimum of 75% required)		
	246.4%	

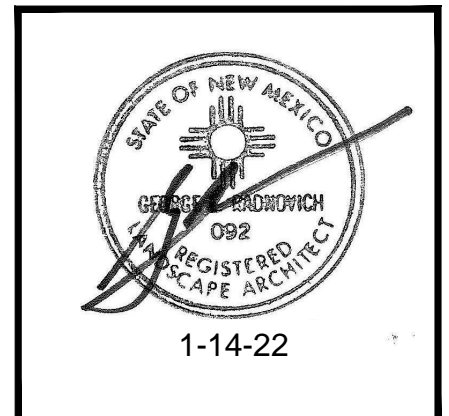
EDGE BUFFERING 5-6(E)(1)(b):  
EDGE BUFFERING IS NOT REQUIRED TO BE INSTALLED ALONG ANY PORTION OF THE LOT LINE COVERED BY AN ACCESS EASEMENT, BUT AN EQUIVALENT AMOUNT OF LANDSCAPING SHALL BE INSTALLED.

STREET TREES 5-6(D) STREET FRONTAGE LANDSCAPE DOES NOT APPLY AND IS NOT BE REQUIRED TO BE INSTALLED

TURF GRASS  
IN REFERENCE TO SECTION 5-6(C)(4)(D) OF IDO "NO MORE THAN 10 PERCENT OF REQUIRED LANDSCAPED AREAS SHALL BE TURF GRASS SPECIES REQUIRING IRRIGATION FOR SURVIVAL AFTER THE FIRST 2 GROWING SEASONS." TURF GRASS AREAS FOR THE PARK DESIGN ARE LESS THAN 10% OF THE ENTIRE WINROCK DEVELOPMENT AREA.

REV	DATE	BY	REVISION
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**MODULUS ARCHITECTS**  
100 SUN AVE. N.W. SUITE 600  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498

PROJECT TITLE  
**WINROCK TOWN CENTER**  
2000 LOUISIANA BLVD.  
ALBUQUERQUE, NM 87110

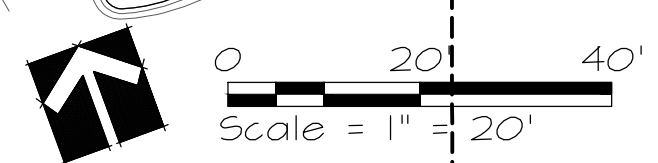
JOB NO.  
2021041

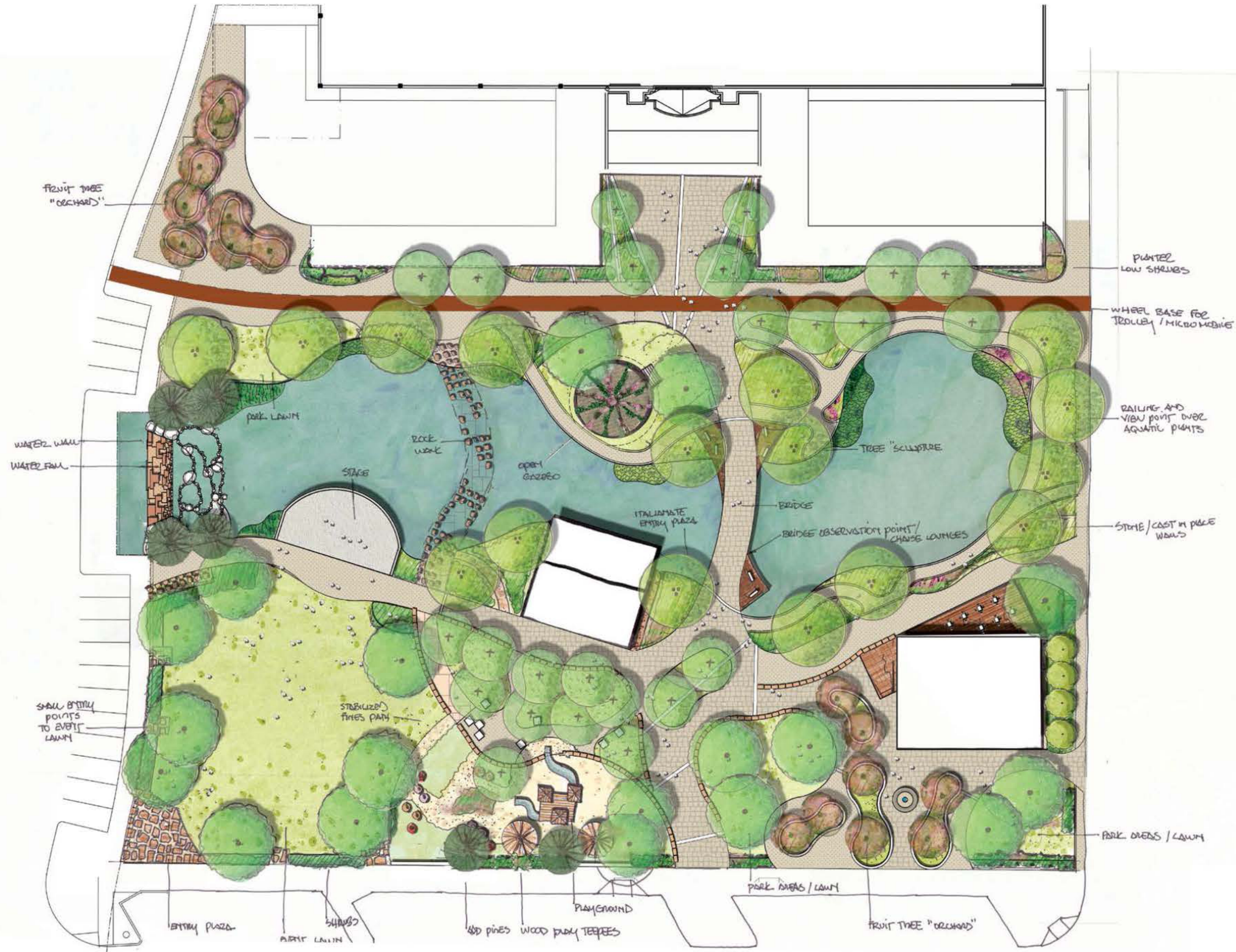
PROJECT MANAGER  
GR

DRAWN BY  
GRNO

SHEET TITLE  
**LANDSCAPE SITE PLAN**  
**CALCULATIONS - PARK**

DATE 1-14-22	SHEET LP-102
SCALE 1" = 20'-0"	OF





0 20' 40'  
Scale = 1" = 20'



1700 CENTRAL AVE. SW  
SUITE B  
ALBUQUERQUE, NM 87104  
PHONE: (505) 622-8200  
MAIL: MAIL@SITES-SW.COM

REV	DATE	BY	REVISION
1			
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**MODULUS ARCHITECTS**  
100 SUN AVE. N.W. SUITE 600  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498



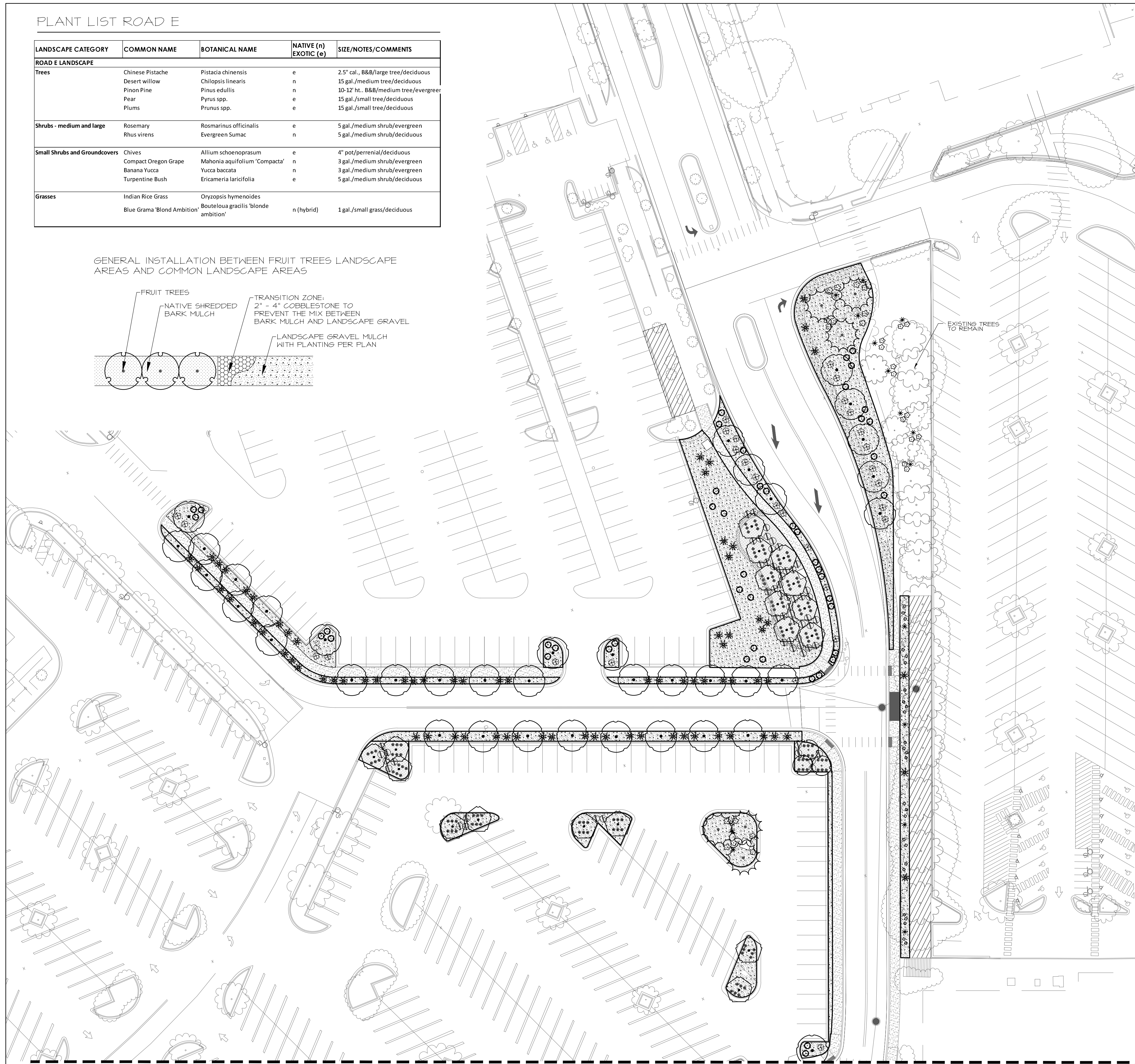
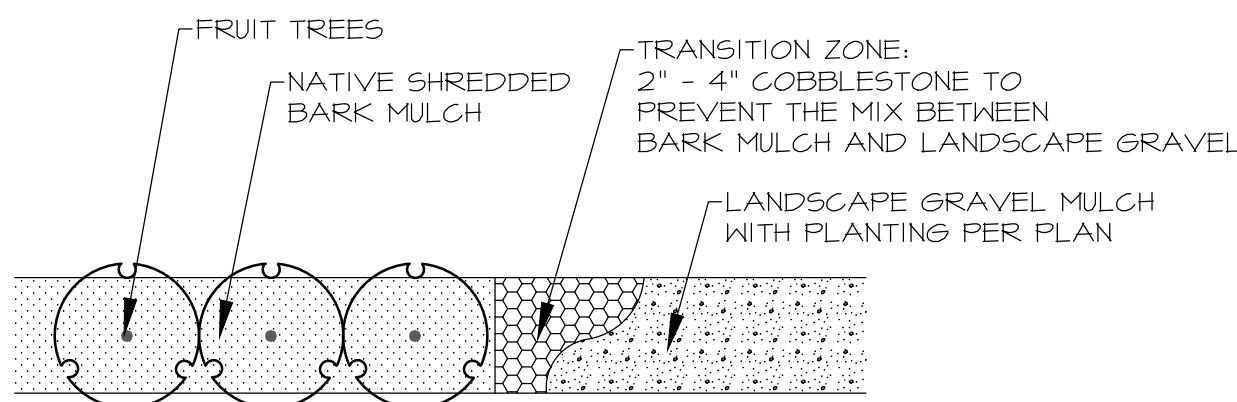
PROJECT TITLE: WINROCK TOWN CENTER  
2100 LOUISIANA BLVD.  
ALBUQUERQUE, NM 87110  
JOB NO: 2021041  
DRAWN BY: GRNO  
PROJECT NUMBER: GR  
SHEET NUMBER: 103  
CONCEPTUAL LANDSCAPE PLAN

DATE: 07/30/2021  
SCALE: 1" = 20'-0"

PLANT LIST ROAD E

LANDSCAPE CATEGORY	COMMON NAME	BOTANICAL NAME	NATIVE (n) EXOTIC (e)	SIZE/NOTES/COMMENTS
<b>ROAD E LANDSCAPE</b>				
Trees	Chinese Pistache	<i>Pistacia chinensis</i>	e	2.5" cal., B&B/large tree/deciduous
	Desert willow	<i>Chilopsis linearis</i>	n	15 gal./medium tree/deciduous
	Pinon Pine	<i>Pinus edulis</i>	n	10-12' ht., B&B/medium tree/evergreen
	Pear	<i>Pyrus spp.</i>	e	15 gal./small tree/deciduous
	Plums	<i>Prunus spp.</i>	e	15 gal./small tree/deciduous
Shrubs - medium and large	Rosemary	<i>Rosmarinus officinalis</i>	e	5 gal./medium shrub/evergreen
	Rhus vitens	Evergreen Sumac	n	5 gal./medium shrub/deciduous
Small Shrubs and Groundcovers	Chives	<i>Allium schoenoprasum</i>	e	4" pot/perennial/deciduous
	Compact Oregon Grape	<i>Mahonia aquifolium 'Compacta'</i>	n	3 gal./medium shrub/evergreen
	Banana Yucca	<i>Yucca baccata</i>	n	3 gal./medium shrub/evergreen
	Turpentine Bush	<i>Ericameria laricifolia</i>	e	5 gal./medium shrub/deciduous
Grasses	Indian Rice Grass	<i>Oryzopsis hymenoides</i>		
	Blue Grama 'Blond Ambition'	<i>Bouteloua gracilis 'blonde ambition'</i>	n (hybrid)	1 gal./small grass/deciduous

GENERAL INSTALLATION BETWEEN FRUIT TREES LANDSCAPE AREAS AND COMMON LANDSCAPE AREAS



PROJECT "ROAD E" BOUNDARY

EXISTING LANDSCAPE AREAS

HARDSCAPE SCHEDULE - ROAD E

- 7/8" ANGULAR LANDSCAPE GRAVEL MULCH, 4" DEPTH WITH FILTER FABRIC UNDERNEATH. COLOR: WARM COLOR (AMARETTO, BROWN OR BROWNISH-RED)
- 2" - 4" ANGULAR COBBLESTONE WITH FILTER FABRIC UNDERNEATH. COLOR: WARM COLOR (AMARETTO, BROWN OR BROWNISH-RED) TO MATCH GRAVEL MULCH
- 4" SHREDDED NATIVE BARK MULCH UNDERNEATH FRUIT TREES.
- 4" DEPTH CONCRETE. COLOR: WARM COLOR (TAN, BROWN OR BROWNISH-RED)

TREE SCHEDULE - ROAD E

PLANTS PER PLANT LIST, SEE SHEET LP-104.

DECIDUOUS

- CHINESE PISTACHE / *Pistacia chinensis*
- DESERT WILLOW / *Chilopsis linearis*
- NEW MEXICO OLIVE / *Forestiera neomexicana*
- CHASTE TREE / *Vitex agnus-castus*

EVERGREEN

- PINON PINE / *Pinus edulis*

FRUIT TREE SCHEDULE - ROAD E

PLANTS PER PLANT LIST, SEE SHEET LP-104.

- PLUM / *Prunus spp.*
- PEAR / *Pyrus spp.*

SHRUB SCHEDULE - ROAD E

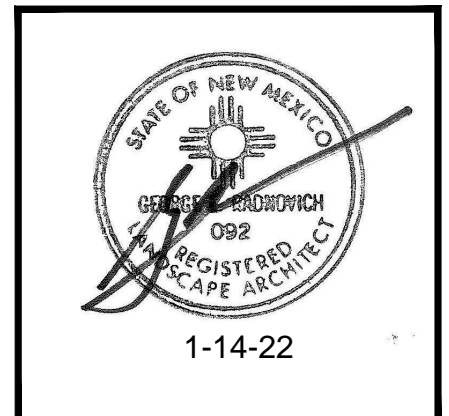
PLANTS PER PLANT LIST, SEE SHEET LP-104.

- ROSEMARY / *Rosmarinus officinalis*
- EVERGREEN SUMAC / *Rhus vitens*
- TURPENTINE BUSH / *Ericameria laricifolia*
- COMPACT OREGON GRAPE / *Mahonia aquifolium 'Compacta'*
- BANANA YUCCA / *Yucca baccata*
- GARLIC CHIVES / *Allium schoenoprasum*
- INDIAN RICE GRASS / *Oryzopsis hymenoides*
- BLUE GRAMA GRASS / *Bouteloua gracilis*

NOTES:  
GOODMAN REALTY GROUP HAS RECEIVED AN APPROVED DEVIATION FROM THE CITY OF ALBUQUERQUE STREET TREE ORDINANCE 6-6-2-1 FOR PARKING LOT LANDSCAPING FOR THE USE OF FRUIT TREES ON THE WINROCK TOWN CENTER PROJECT. FRUIT TREES ARE INCLUDED ON THE PLANS.

REV	DATE	BY	REVISION
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**MODULUS ARCHITECTS**  
 100 SUN AVE. N.W. SUITE 600  
 ALBUQUERQUE, NEW MEXICO 87109  
 PHONE (505) 338-1499 FAX (505) 338-1498

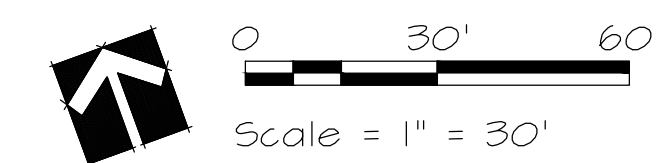


PROJECT TITLE: WINROCK TOWN CENTER  
 2000 LOUISIANA BLVD., ALBUQUERQUE, NT 87110

JOB NO.: 2021041  
 PROJECT MANAGER: GR

DRAWN BY: GRNO  
 SHEET TITLE: LANDSCAPE PLANTING PLAN ROAD E

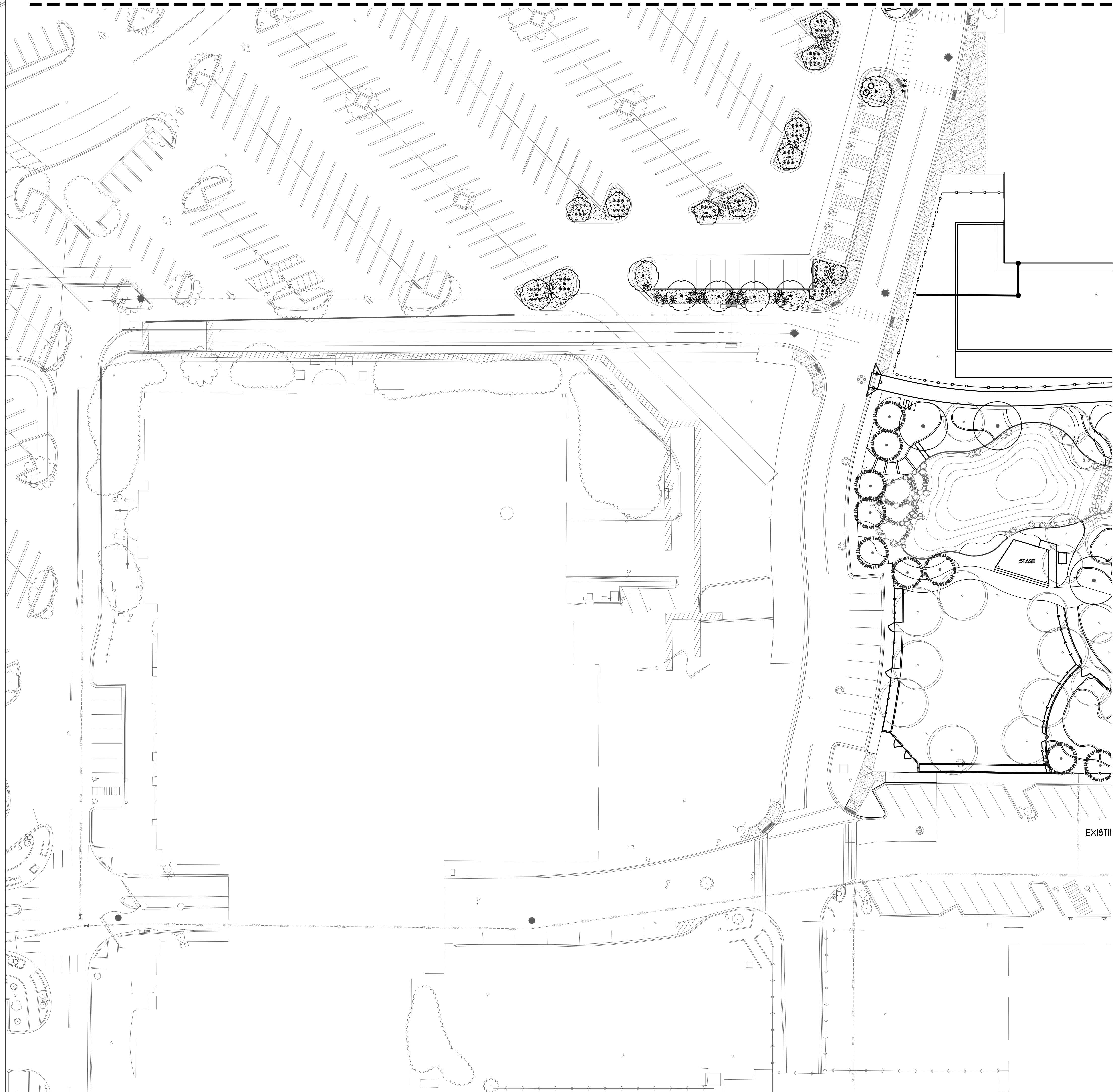
DATE: 1-14-22  
 SCALE: LP-104



SITES SOUTHWEST  
 1000 CENTRAL AVE. SW  
 SUITE B  
 ALBUQUERQUE, NM 87104  
 PHONE: (505) 922-9200  
 MAIL: MAIL@SITES-SW.COM

MATCHLINE - SEE SHEET LP-105

MATCHLINE - SEE SHEET LP-104



PROJECT "ROAD E" BOUNDARY

EXISTING LANDSCAPE AREAS

HARDSCAPE SCHEDULE - ROAD E

- 7/8" ANGULAR LANDSCAPE GRAVEL MULCH, 4" DEPTH WITH FILTER FABRIC UNDERNEATH. COLOR: WARM COLOR (AMARETTO, BROWN OR BROWNISH-RED)
- 2" - 4" ANGULAR COBBLESTONE WITH FILTER FABRIC UNDERNEATH. COLOR: WARM COLOR (AMARETTO, BROWN OR BROWNISH-RED) TO MATCH GRAVEL MULCH
- 4" SHREDDED NATIVE BARK MULCH UNDERNEATH FRUIT TREES.
- 4" DEPTH CONCRETE. COLOR: WARM COLOR (TAN, BROWN OR BROWNISH-RED)

TREE SCHEDULE - ROAD E

PLANTS PER PLANT LIST, SEE SHEET LP-104.

DECIDUOUS

- CHINESE PISTACHE / *Pistachia chinensis*
- DESERT WILLOW / *Chilopsis linearis*
- NEW MEXICO OLIVE / *Forestiera neomexicana*
- CHASTE TREE / *Vitex agnus-castus*

EVERGREEN

- PINON PINE / *Pinus edulis*

FRUIT TREE SCHEDULE - ROAD E

PLANTS PER PLANT LIST, SEE SHEET LP-104.

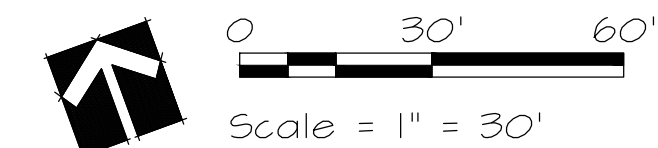
- PLUM / *Prunus spp.*
- PEAR / *Pyrus spp.*

SHRUB SCHEDULE - ROAD E

PLANTS PER PLANT LIST, SEE SHEET LP-104.

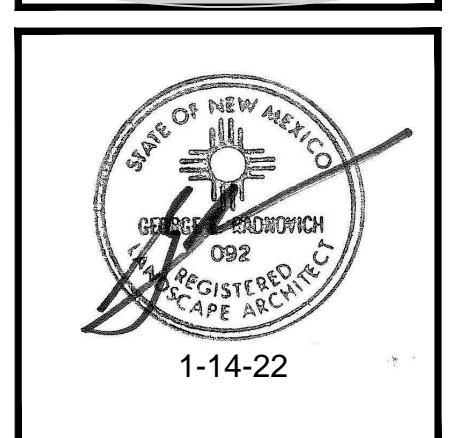
- ROSEMARY / *Rosmarinus officinalis*
- EVERGREEN SUMAC / *Rhus virens*
- TURPENTINE BUSH / *Ericameria laricifolia*
- COMPACT OREGON GRAPE / *Mahonia aquifolium 'Compacta'*
- BANANA YUCCA / *Yucca baccata*
- GARLIC CHIVES / *Allium schoenoprasum*
- INDIAN RICE GRASS / *Oryzopsis hymenoides*
- BLUE GRAMA GRASS / *Bouteloua gracilis*

NOTES:  
GOODMAN REALTY GROUP HAS RECEIVED AN APPROVED DEVIATION FROM THE CITY OF ALBUQUERQUE STREET TREE ORDINANCE 6-6-2-1 FOR PARKING LOT LANDSCAPING FOR THE USE OF FRUIT TREES ON THE WINROCK TOWN CENTER PROJECT. FRUIT TREES ARE INCLUDED ON THE PLANS.



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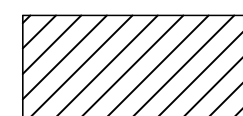
**MODULUS ARCHITECTS**  
 100 SUN AVE. N.W. SUITE 600  
 ALBUQUERQUE, NEW MEXICO 87109  
 PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE WINROCK TOWN CENTER 2000 LOUISIANA BLVD. ALBUQUERQUE, NM 87110	JOB NO. 2021041	DRAWN BY: GRNO
PROJECT MANAGER GR	SHEET TITLE LANDSCAPE PLANTING PLAN ROAD E	
DATE 1-14-22	SHEET LP-105	
SCALE		



LEGEND LANDSCAPED AREA

-  PROJECT BOUNDARY
-  PROPOSED AND IRRIGATED LANDSCAPE AREAS 25,355 SQ. FT
-  EXISTING LANDSCAPE AREAS TO REMAIN 5,000 SQ. FT

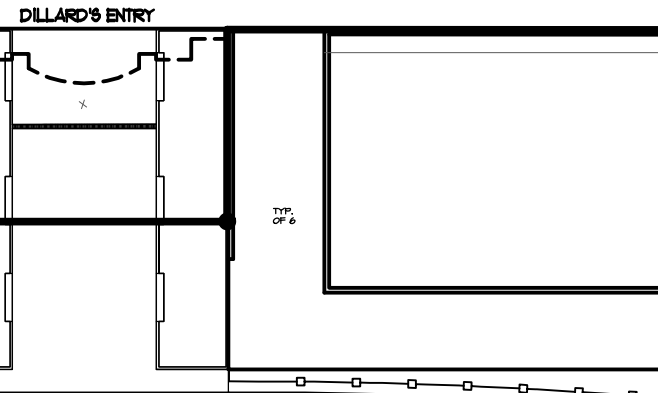
LANDSCAPE AREA CALCULATIONS - ROAD E		
ITEM	SQFT	ACRE
<b>Total Site Area</b>	<b>235,895.00</b>	<b>5.42</b>
Gross Covered Area	NA	NA
Pond Area	NA	NA
Net Site Area	235,895.00	5.42
Landscape Area Required (10%)	23,589.50	0.54
Landscape Buffer Area Required	0.00	0.00
<b>Total Landscape Area Required</b>	<b>23,589.50</b>	<b>0.54</b>
<b>Existing Landscape</b>	<b>5,000.00</b>	<b>0.11</b>
Landscape Area Provided	19,285.00	0.44
Landscape Area Existing	5,000.00	0.11
Supplement seating areas (1/3)	0.00	0.00
<b>Total Landscape Area provided</b>	<b>25,355.00</b>	<b>0.58</b>
Landscape Area Ratio to Site (Minimum of 10% required)	<b>10.7%</b>	
Total Required Vegetation Cover @ Maturity (75%)	14,463.75	0.33
Total Required Vegetation Cover with shrubs, groundcover, grasses (30%)	5,785.50	0.13
<b>Total Required Vegetative Cover</b>	<b>20,249.25</b>	<b>0.46</b>
<b>Total Provided Vegetative Cover</b>	<b>43,296.00</b>	<b>0.99</b>
Provided Cover Ratio to Proposed Landscape Area (Minimum of 75% required)	213.8%	

GOODMAN REALTY GROUP HAS RECEIVED AN APPROVED DEVIATION TO USE FRUIT TREES PER STREET TREE ORDINANCE 6-6-2-1 CITY OF ALBUQUERQUE REQUIREMENTS FOR PARKING LOT LANDSCAPING.

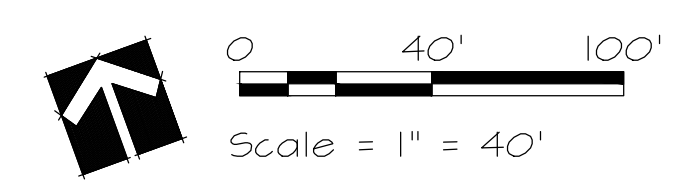
EDGE BUFFERING 5-6(E)(1)(b).  
EDGE BUFFERING IS NOT REQUIRED TO BE INSTALLED ALONG ANY PORTION OF THE LOT LINE COVERED BY AN ACCESS EASEMENT, BUT AN EQUIVALENT AMOUNT OF LANDSCAPING SHALL BE INSTALLED.

TURF GRASS  
THERE IS NO NEW TURF USED IN THE DESIGN OF THE LANDSCAPE.

DILLARDS FIRST FLOOR LEVEL ENTRY



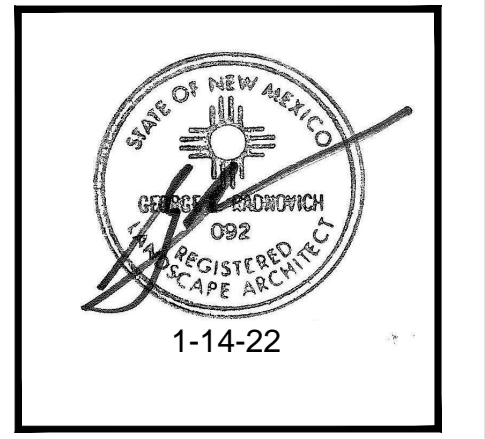
TROLLEY PATH



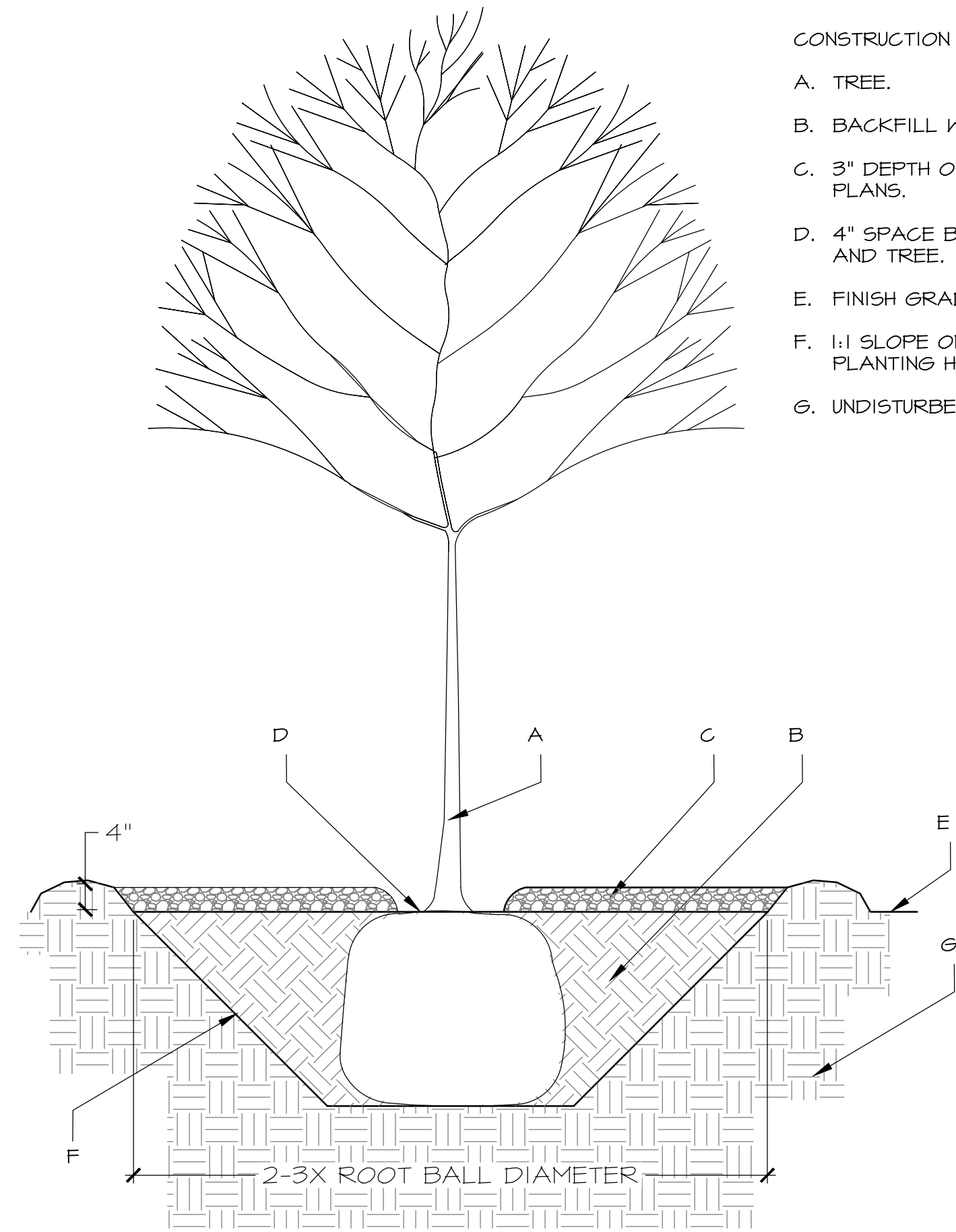
**SITES**  
SOUTHWEST  
1000 CENTRAL AVE. SW  
SUITE 8100  
ALBUQUERQUE, NM 87104  
PHONE: (505) 822-9200  
FAX: (505) 822-9200

REV	DATE	BY	REVISION
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**MODULUS ARCHITECTS**  
100 SUN AVE. N.W. SUITE 600  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498

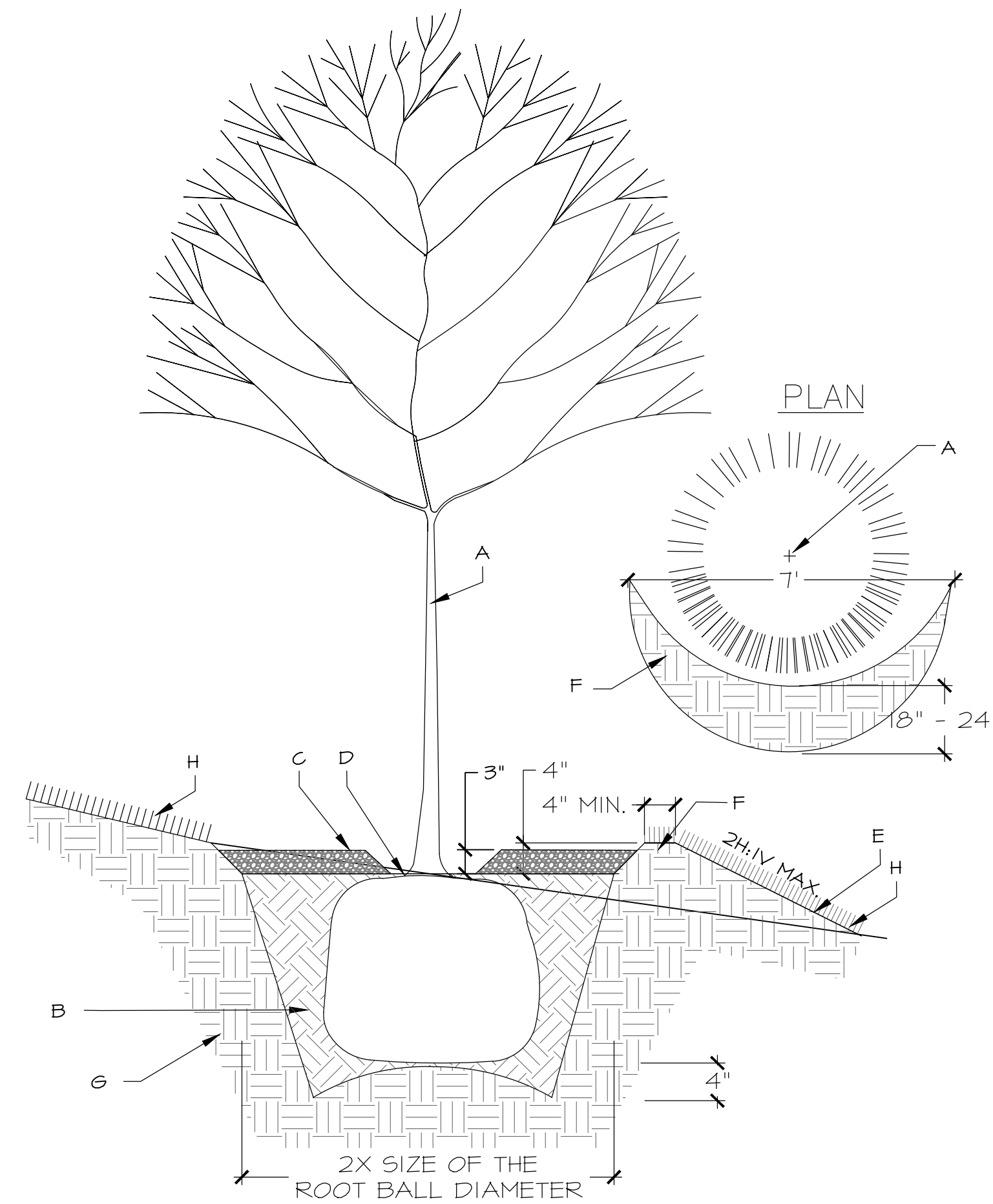
PROJECT TITLE <b>WINROCK TOWN CENTER</b> 2000 LOUISIANA BLVD. ALBUQUERQUE, NM 87110	JOB NO. 2021041	DRAWN BY: GR	DATE 1-14-22
PROJECT MANAGER GR	SHEET TITLE LANDSCAPE ROAD E CALCULATIONS	SHEET NO. LP-106	SCALE 1" = 40'



- CONSTRUCTION NOTES:
- TREE.
  - BACKFILL WITH EXISTING SOIL.
  - 3" DEPTH OF MULCH PER PLANS.
  - 4" SPACE BETWEEN MULCH AND TREE.
  - FINISH GRADE.
  - 1:1 SLOPE ON SIDES OF PLANTING HOLE.
  - UNDISTURBED SOIL.

**A** TREE PLANTING, BALL & BURLAP

Not to scale

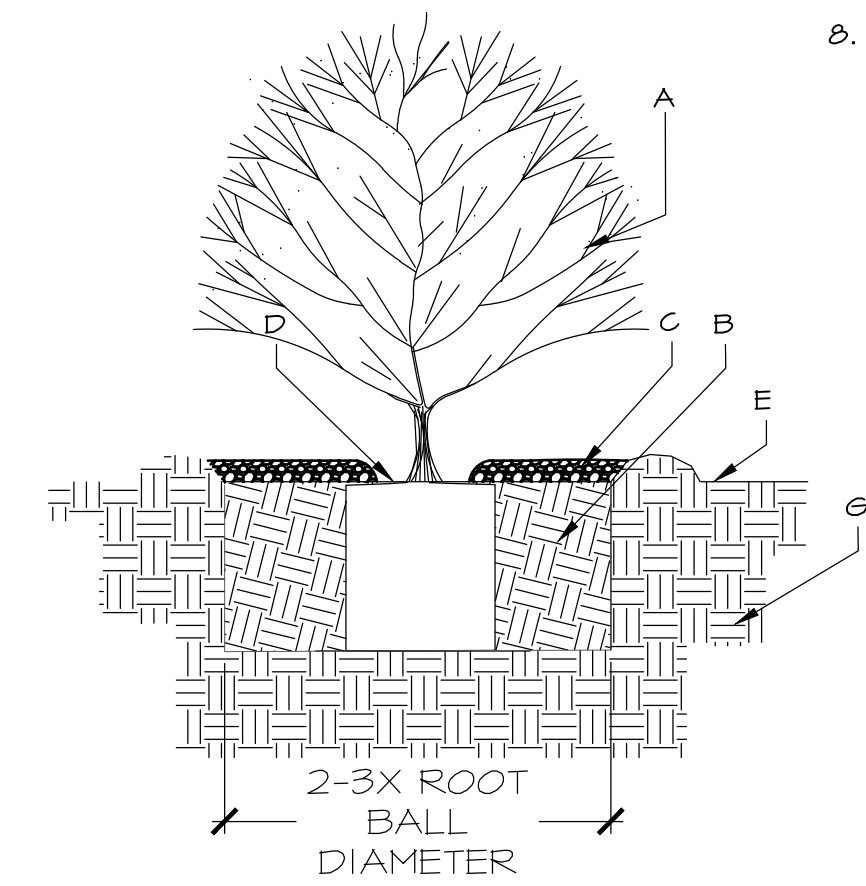


- CONSTRUCTION NOTES:
- TREE.
  - BACKFILL WITH EXISTING SOIL.
  - 3" DEPTH OF MULCH PER PLANS. TREES IN TURF AREAS SHALL RECEIVE 4" DIA. RING OF BARK MULCH, 3" MIN. DEPTH.
  - 4" SPACE BETWEEN MULCH AND TREE.
  - FINISH GRADE.
  - COMPACTED MOUND ON DOWNHILL SIDE OF PLANTING HOLE.
  - UNDISTURBED SOIL.
  - REVEGETATIVE SEEDING. SEE PLANTING PLANS.

- GENERAL NOTES:
- KEEP SOIL BELOW ROOT BALL UNDISTURBED TO PREVENT TREE FROM SETTLING.
  - REMOVE ANY EXCESS SOIL FROM TOP OF ROOTBALL TO EXPOSE ROOT FLARE (WHERE TOP MOST ROOT EMERGES FROM THE TRUNK). PLANT WITH ROOT FLARE LEVEL TO FINISH GRADE (OR 1"-2" HIGHER IN SLOWLY DRAINING SOIL).
  - TAMP SOIL FIRMLY AROUND BASE OF ROOTBALL WITH FOOT PRESSURE.
  - PRIOR TO BACKFILLING, REMOVE BURLAP, ROPE, TWINE, AND WIRE FROM ENTIRE ROOTBALL AND FROM PLANTING HOLE.
  - AT TIME OF PLANTING, ONLY PRUNE CO-DOMINANT LEADERS (DOES NOT APPLY TO MULTI-TRUNK SPECIMENS), CROSSOVER LIMBS, AND DEAD OR BROKEN BRANCHES.
  - STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
  - DO NOT PLACE MULCH IN CONTACT WITH TREE, KEEP AT LEAST 4" AWAY FROM TRUNK.
  - AFTER PLANTING, THOROUGHLY WATER TO ELIMINATE AIR POCKETS.

**B** TREE PLANTING ON SLOPE

Not to scale



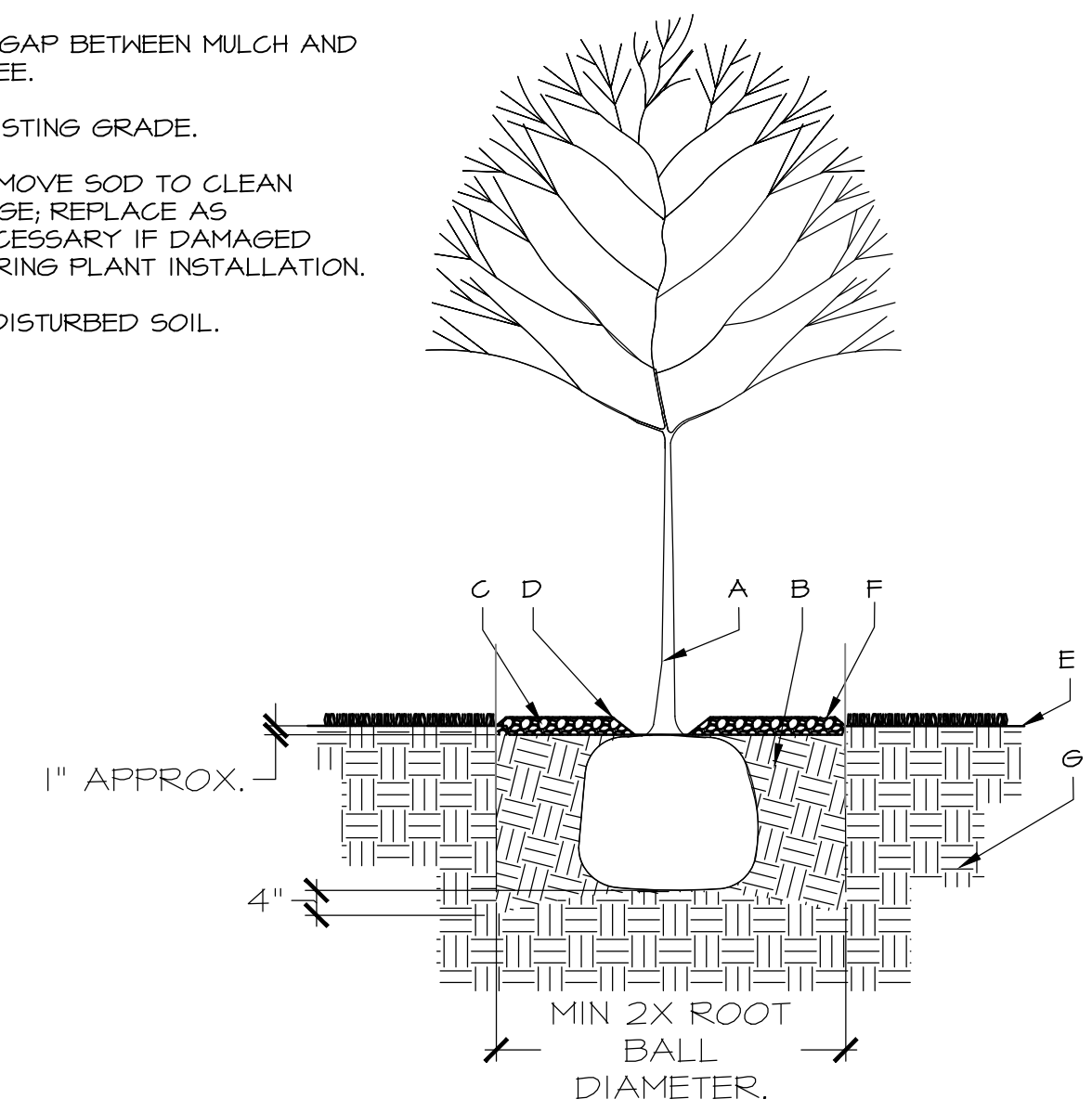
- CONSTRUCTION NOTES:
- SHRUB.
  - BACKFILL WITH EXISTING SOIL.
  - 3" DEPTH OF MULCH PER PLANS.
  - 4" SPACE BETWEEN MULCH AND SHRUB.
  - FINISH GRADE.
  - 1:1 SLOPE ON SIDES OF PLANTING HOLE.
  - UNDISTURBED SOIL.

- GENERAL NOTES:
- KEEP SOIL BELOW ROOT BALL UNDISTURBED TO PREVENT TREE FROM SETTLING.
  - REMOVE ANY EXCESS SOIL FROM TOP OF ROOTBALL TO EXPOSE ROOT FLARE (WHERE TOP MOST ROOT EMERGES FROM THE TRUNK). PLANT WITH ROOT FLARE LEVEL TO FINISH GRADE (OR 1"-2" HIGHER IN SLOWLY DRAINING SOIL).
  - REMOVE CONTAINER AND CUT ANY ROOTS THAT ARE CIRCLING THE CONTAINER.
  - TAMP SOIL FIRMLY AROUND BASE OF ROOTBALL WITH FOOT PRESSURE.
  - AT TIME OF PLANTING, ONLY PRUNE CO-DOMINANT LEADERS (DOES NOT APPLY TO MULTI-TRUNK SPECIMENS), CROSSOVER LIMBS, AND DEAD OR BROKEN BRANCHES.
  - STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
  - DO NOT PLACE MULCH IN CONTACT WITH TREE, KEEP AT LEAST 4" AWAY FROM TRUNK.
  - AFTER PLANTING, THOROUGHLY WATER TO ELIMINATE AIR POCKETS.

**C** SHRUB PLANTING, CONTAINER

NOT TO SCALE

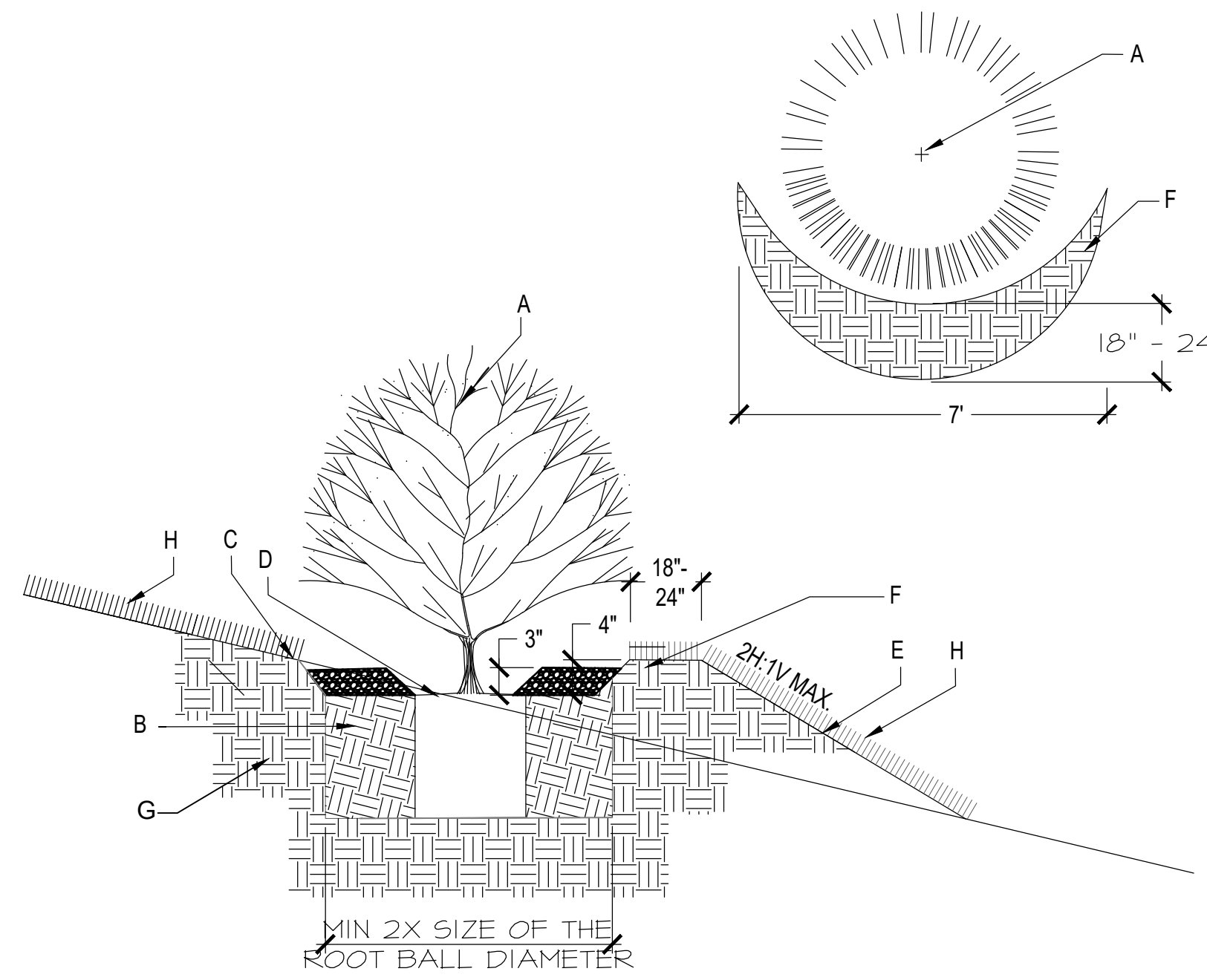
- CONSTRUCTION NOTES:
- TREE.
  - BACKFILL WITH EXISTING SOIL.
  - 3" DEPTH NATIVE SHREDDED BARK MULCH.
  - 4" GAP BETWEEN MULCH AND TREE.
  - EXISTING GRADE.
  - REMOVE SOD TO CLEAN EDGE; REPLACE AS NECESSARY IF DAMAGED DURING PLANT INSTALLATION.
  - UNDISTURBED SOIL.



- GENERAL NOTES:
- DO NOT LOOSEN SOIL BELOW ROOT BALL TO PREVENT TREE FROM SETTLING.
  - REMOVE ANY EXCESS SOIL FROM TOP OF ROOTBALL TO EXPOSE ROOT FLARE (WHERE TOP MOST ROOT EMERGES FROM THE TRUNK). PLANT WITH ROOT FLARE SLIGHTLY LOWER THAN ADJACENT EXISTING GRADE TO CREATE WATER BASIN AND ALLOW FOR MULCH PLACEMENT.
  - TAMP SOIL FIRMLY AROUND BASE OF ROOTBALL WITH FOOT PRESSURE.
  - PRIOR TO BACKFILLING, REMOVE ALL EXPOSED BURLAP, ROPE, TWINE, AND WIRE FROM ROOTBALL AND PLANTING HOLE.
  - TREES WITH CO-DOMINANT LEADERS WILL NOT BE ACCEPTED.
  - STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
  - DO NOT PLACE MULCH IN CONTACT WITH TREE, KEEP AT LEAST 4" AWAY FROM TRUNK.
  - AFTER PLANTING, THOROUGHLY WATER TO ELIMINATE AIR POCKETS AND BACKFILL WITH ADDITIONAL SOIL TO FILL ANY VOIDS.

**D** TREE PLANTING IN TURF

NOT TO SCALE



- CONSTRUCTION NOTES:
- SHRUB.
  - BACKFILL WITH EXISTING SOIL.
  - 4" DEPTH OF COMPOST MULCH PER PLANS. SHRUBS IN TURF AREAS SHALL RECEIVE 4" DIA. RING OF BARK MULCH, 3" MIN. DEPTH.
  - 4" SPACE BETWEEN MULCH AND SHRUB.
  - FINISH GRADE.
  - COMPACTED MOUND ON DOWNHILL SIDE OF PLANTING HOLE.
  - UNDISTURBED SOIL.
  - REVEGETATIVE SEEDING. SEE PLANTING PLANS.

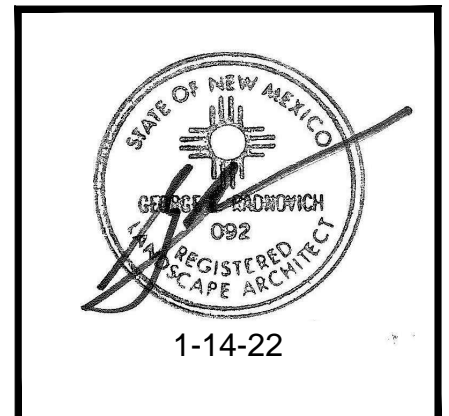
- GENERAL NOTES:
- KEEP SOIL BELOW ROOT BALL UNDISTURBED TO PREVENT SHRUB FROM SETTLING.
  - REMOVE ANY EXCESS SOIL FROM TOP OF ROOTBALL TO EXPOSE ROOT FLARE (WHERE TOP MOST ROOT EMERGES FROM THE TRUNK). PLANT WITH ROOT FLARE LEVEL TO FINISH GRADE.
  - TAMP SOIL FIRMLY AROUND BASE OF ROOTBALL WITH FOOT PRESSURE.
  - DO NOT PLACE MULCH IN CONTACT WITH SHRUB, KEEP AT LEAST 4" AWAY FROM TRUNK.
  - AFTER PLANTING, THOROUGHLY WATER TO ELIMINATE AIR POCKETS.

**E** SHRUB PLANTING, CONTAINER ON SLOPE

NOT TO SCALE

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			

**MODULUS ARCHITECTS**  
 100 SUN AVE. N.W. SUITE 600  
 ALBUQUERQUE, NEW MEXICO 87109  
 PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE: WINROCK TOWN CENTER  
 2000 LOUISIANA BLVD.  
 ALBUQUERQUE, NT 87110

JOB NO.: 2021041  
 PROJECT MANAGER: GR

DRAWN BY: GRNO  
 SHEET TITLE: LANDSCAPE PLANTING DETAILS

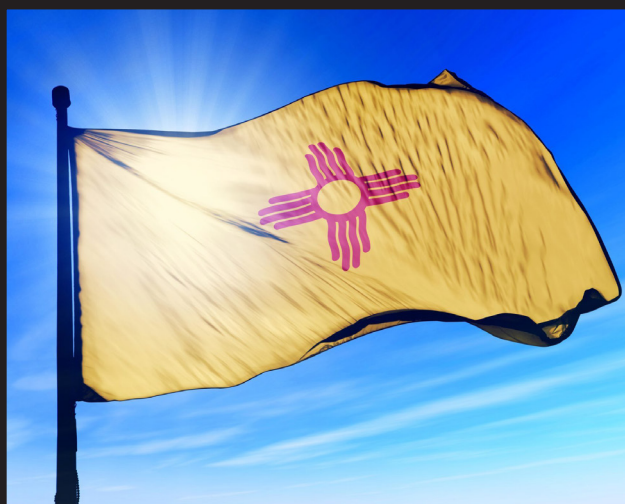
DATE: 1-14-22  
 SCALE: 1" = 20'-0"

SHEET: LP-501  
 OF: 01

SITES SOUTHWEST  
 1100 CENTRAL AVE. SW  
 SUITE B  
 ALBUQUERQUE, NM 87104  
 PHONE: (505) 822-9500  
 MAIL: MAIL@SITES-SW.COM

# WINROCK TOWN CENTER DRAINAGE IMPLEMENTATION PLAN AMENDMENT 1

PREPARED FOR:



**Project Location:**

**Albuquerque, New Mexico**

**December 2021**

**PREPARED BY:**

**HUITT-ZOLLARS**

333 RIO RANCHO DRIVE NE, SUITE 101

RIO RANCHO, NM 87124

505.892.5141; FAX 505.892.3259

[WWW.HUITT-ZOLLARS.COM](http://WWW.HUITT-ZOLLARS.COM)







**WINROCK TOWN CENTER  
DRAINAGE IMPLEMENTATION PLAN AMENDMENT 1**

**CITY OF ALBUQUERQUE  
DRB PROJECT NO. PR2018-001579**

**PREPARED FOR:**



**PREPARED BY:**

**HUITT-ZOLIARS**  
**333 RIO RANCHO BLVD., SUITE 101**  
**RIO RANCHO, NEW MEXICO 87124**

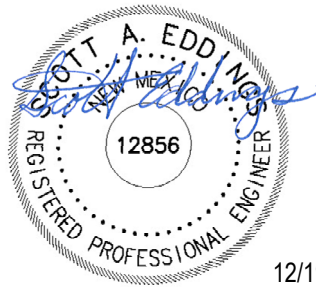
**December 2021**

**DRB Application Numbers SI-2021-00304 & SI-2021-00035**



# WINROCK TOWN CENTER DRAINAGE IMPLEMENTATION PLAN AMENDMENT 1

*I, Scott A. Eddings, being first duly sworn upon my oath, state that I am a registered professional engineer, qualified in civil engineering and that the accompanying report was prepared by me or under my supervision and is true and correct to the best of my knowledge and belief.*



12/19/21



Purpose.....	1
Executive Summary .....	1
Qualification & Disclaimers .....	1
Special Conditions .....	2
Infrastructure Requirements by Phase .....	2
Ownership & Maintenance Responsibilities .....	2

**EXHIBITS**

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## **PURPOSE**

The purpose of this Drainage Implementation Plan Amendment 1 is to: 1) Provide an overall map of the proposed drainage improvements for Winrock Town Center, 2) Identify the specific components of the drainage improvements, 3) Relate individual development tracts to associated drainage improvements, and 4) Identify the proposed drainage flows at major analysis points.

This Drainage Implementation Plan Amendment 1 presents a summary for the “Drainage Implementation Plan for Winrock Town Center” (DIP) and “Drainage Master Plan for Winrock Town Center” to facilitate planning and implementation of required storm drainage infrastructure for the development of this project.

This Drainage Implementation Plan Amendment 1 is intended to amend the DIP for minor drainage infrastructure modifications required as part of the Road E and Park Improvements, while the “Drainage Master Plan for Winrock Town Center” provides the design requirements for those improvements.

## **EXECUTIVE SUMMARY**

The “Drainage Implementation Plan for Winrock Town Center” was completed by Huitt-Zollars, Inc. in May 2019. The purpose of the DIP was to relate individual development tracts to associated drainage improvements.

The “Drainage Master Plan for Winrock Town Center” was completed by Isaacson & Arfman, PA with a final revision date of June 26, 2015. The purpose of the Drainage Master Plan was to provide analysis and a drainage framework for Winrock Town Center. All hydrology calculations were completed for the 100-year, 6-hour storm. The Drainage Master Plan defines allowable peak flowrates at major analysis points as shown on Exhibit 1. Site hydrology calculations from the Drainage Master Plan are accepted as-is for use in this Drainage Implementation Plan Amendment 1.

## **QUALIFICATION & DISCLAIMERS**

The calculations and designs in the Drainage Master Plan provides adequate detail to ensure that the overall drainage system is sufficient to safely convey the 100-year storm event. Design of these drainage systems should be considered 50% complete for construction purposes, however, the detail required for construction is not presented in the Drainage Master Plan. Final hydraulic design calculations must be provided for all storm drainage improvements at the time of final engineering design.

This Drainage Implementation Plan Amendment 1 utilizes Bentley StormCAD V8i for the hydraulic modeling of the storm drain pipe system. For headloss calculations at junctions, the HEC-22 Energy Method (Third Edition) was chosen to comply with City of Albuquerque DPM requirements.



The City of Albuquerque approval of the DIP established the basis of hydraulic design of future improvement projects in Winrock Town Center.

### **SPECIAL CONDITIONS**

Portions of the storm drain network have changed since the Drainage Master Plan was completed. The proposed changes will be implemented without altering the peak flowrates at the major analysis points. Please refer to Exhibit 2 through Exhibit 7 for detailed information regarding the updated storm drain network.

As presented within the DIP the existing storm drain network AP-A may have been incorrectly modeled for the revised flowrates in previous analyses. The existing storm drain pipes were originally designed to convey 46 CFS. With the revised development in that area, the peak flowrate of AP-A increased to 82 CFS which causes the existing pipes to have insufficient capacity during the 100-year storm event. Refer to Exhibit 8 for the existing condition of network AP-A. As a future solution to correct this pipe network, the storm drain should be upsized and/or replaced with an alternate material to safely convey the 100-year peak flowrate. Refer to Exhibit 9 for the proposed improvements to network AP-A.

### **INFRASTRUCTURE REQUIREMENTS BY PHASE**

The storm drain systems presented in the Drainage Master Plan are intended to provide overall site storm water management and storm water quality control. The development of each phase will require final design of the onsite drainage system to convey flows to major analysis points. As part of Work Order approval for each phase, a detailed drainage report will be prepared to detail the hydraulics shown in this Drainage Implementation Plan Amendment 1, as well as address all grading and drainage criteria per the City of Albuquerque DPM, such as storm water quality and surface flow hydraulics. Please refer to Exhibit 1 for phasing of the proposed storm drain network.

### **OWNERSHIP & MAINTENANCE RESPONSIBILITIES**

This drainage system, in its entirety, shall be dedicated to the City of Albuquerque. Maintenance of the system will be the responsibility of the developer as part of the TIDD agreement and defined by the TIDD infrastructure MOU.

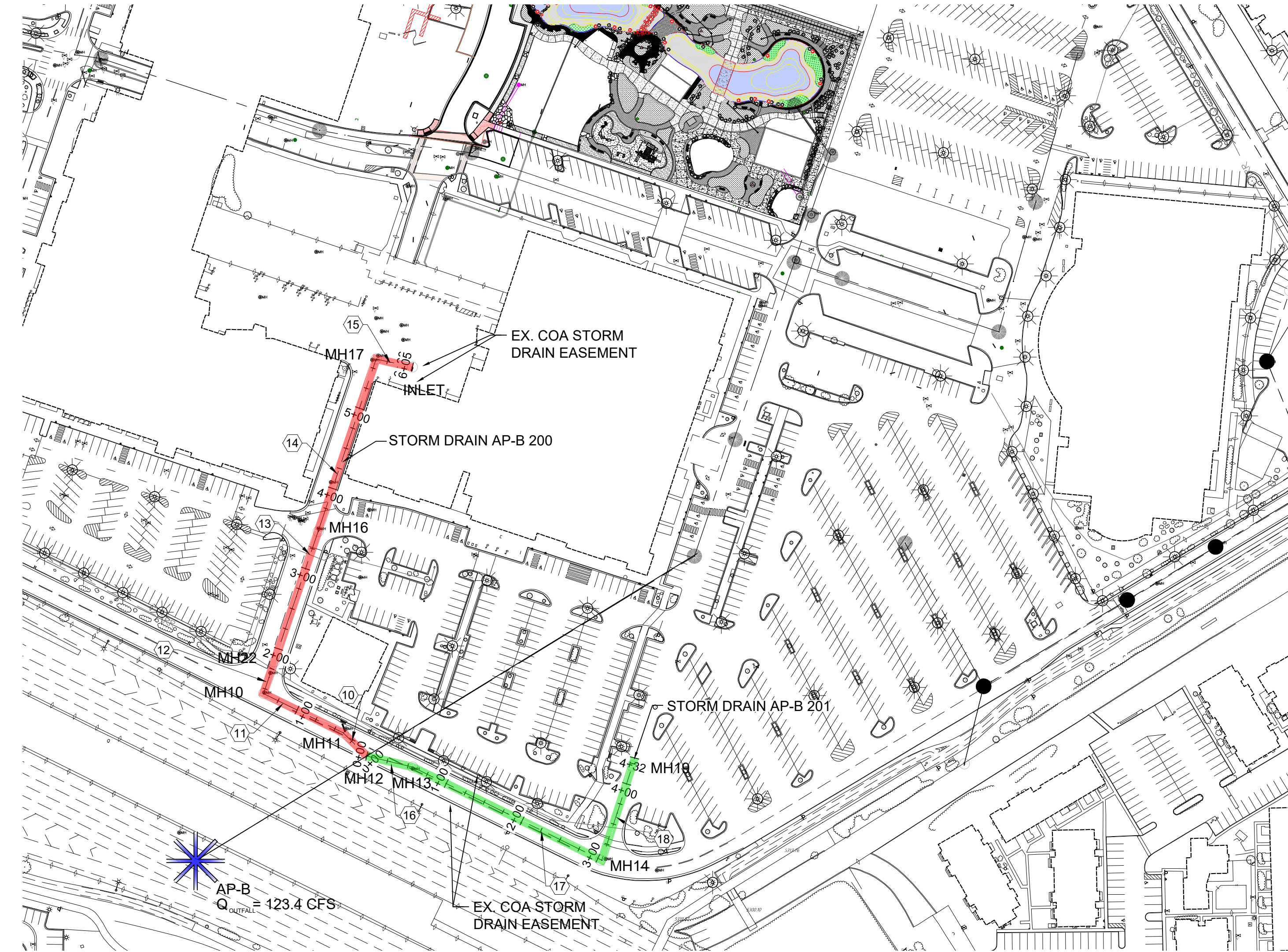




STORM CAD OUTPUT

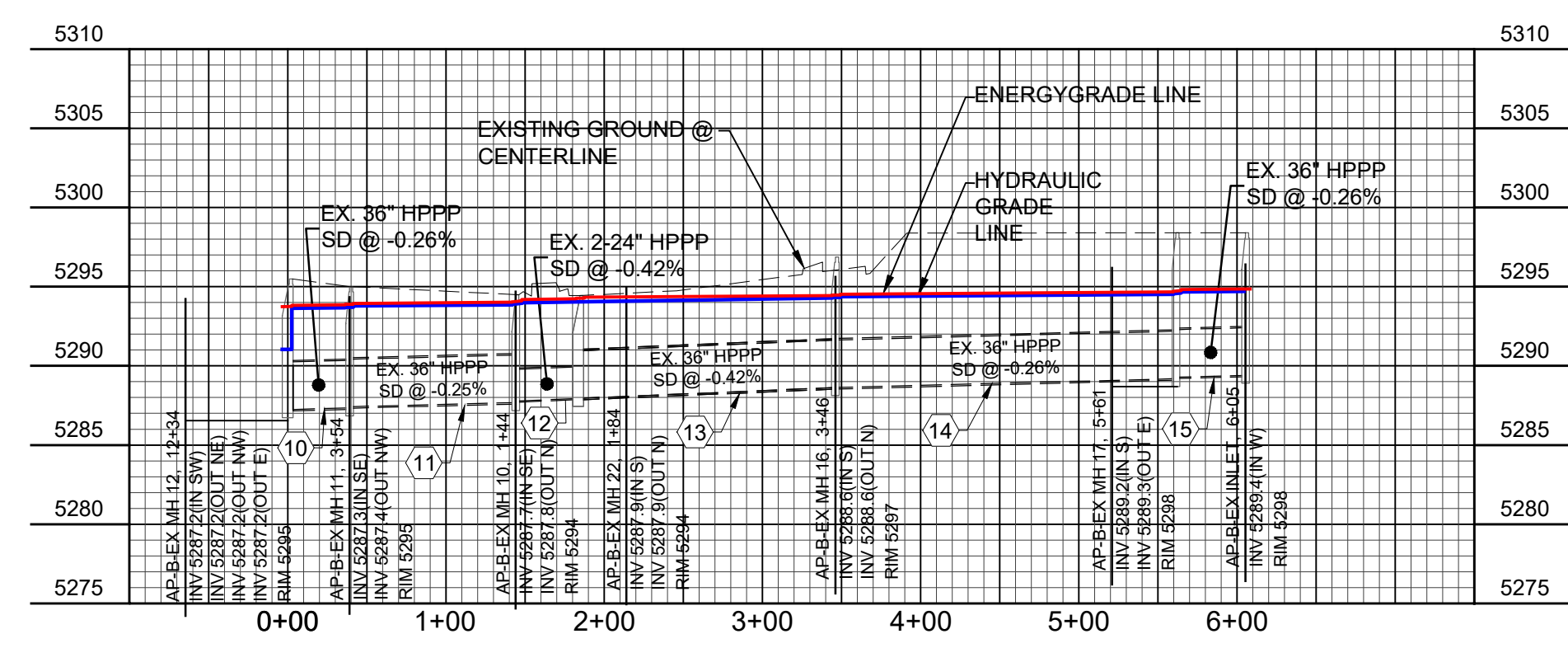
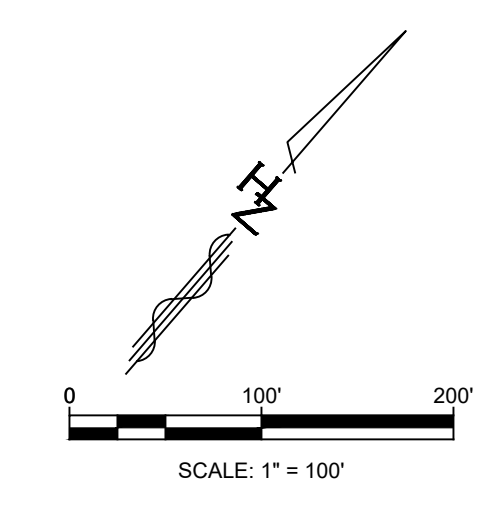
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LINE 10	MH 11	MH 12	36.0	39.3	24.0	3.40	5,287.40	5,287.22	5,295.02	5,295.61	5,294.16	5,294.13	5,294.33	5,294.30
LINE 11	MH 10	MH 11	36.0	106.0	22.0	3.11	5,287.68	5,287.40	5,294.68	5,295.02	5,294.35	5,294.28	5,294.50	5,294.43
LINE 12	MH 22	MH 10	24.0	40.0	22.0	3.50	5,287.90	5,287.68	5,294.70	5,294.68	5,294.53	5,294.48	5,294.72	5,294.67
LINE 13	MH 16	MH 22	36.0	162.0	22.0	3.11	5,288.29	5,287.90	5,297.58	5,294.70	5,294.77	5,294.67	5,294.92	5,294.82
LINE 14	MH 17	MH 16	36.0	215.3	22.0	3.11	5,288.93	5,288.29	5,295.17	5,297.58	5,295.00	5,294.86	5,295.15	5,295.01
LINE 15	INLET	MH 17	36.0	44.2	22.0	3.11	5,289.13	5,288.93	5,295.00	5,295.17	5,295.18	5,295.15	5,295.33	5,295.30

Label	Start Node	Stop Node	Diameter (in)	Length (ft)	Allowable Flow (cfs)	Velocity (ft/s)	Invert (Start) (ft)	Invert (Stop) (ft)	Elevation Ground (Start) (ft)	Elevation Ground (Stop) (ft)	Hydraulic Grade Line (In) (ft)	Hydraulic Grade Line (Out) (ft)	Energy Grade Line (In) (ft)	Energy Grade Line (Out) (ft)
LINE 16	MH 13	MH 12	36.0	57.8	14.3	2.02	5,287.50	5,287.22	5,295.78	5,295.61	5,294.21	5,294.19	5,294.27	5,294.26
LINE 17	MH 14	MH 13	36.0	246.7	10.0	1.41	5,288.80	5,287.50	5,297.81	5,295.78	5,294.30	5,294.27	5,294.33	5,294.30
LINE 18	MH 19	MH 14	24.0	117.0	10.0	3.18	5,289.26	5,288.80	5,297.92	5,297.81	5,294.39	5,294.26	5,294.55	5,294.42

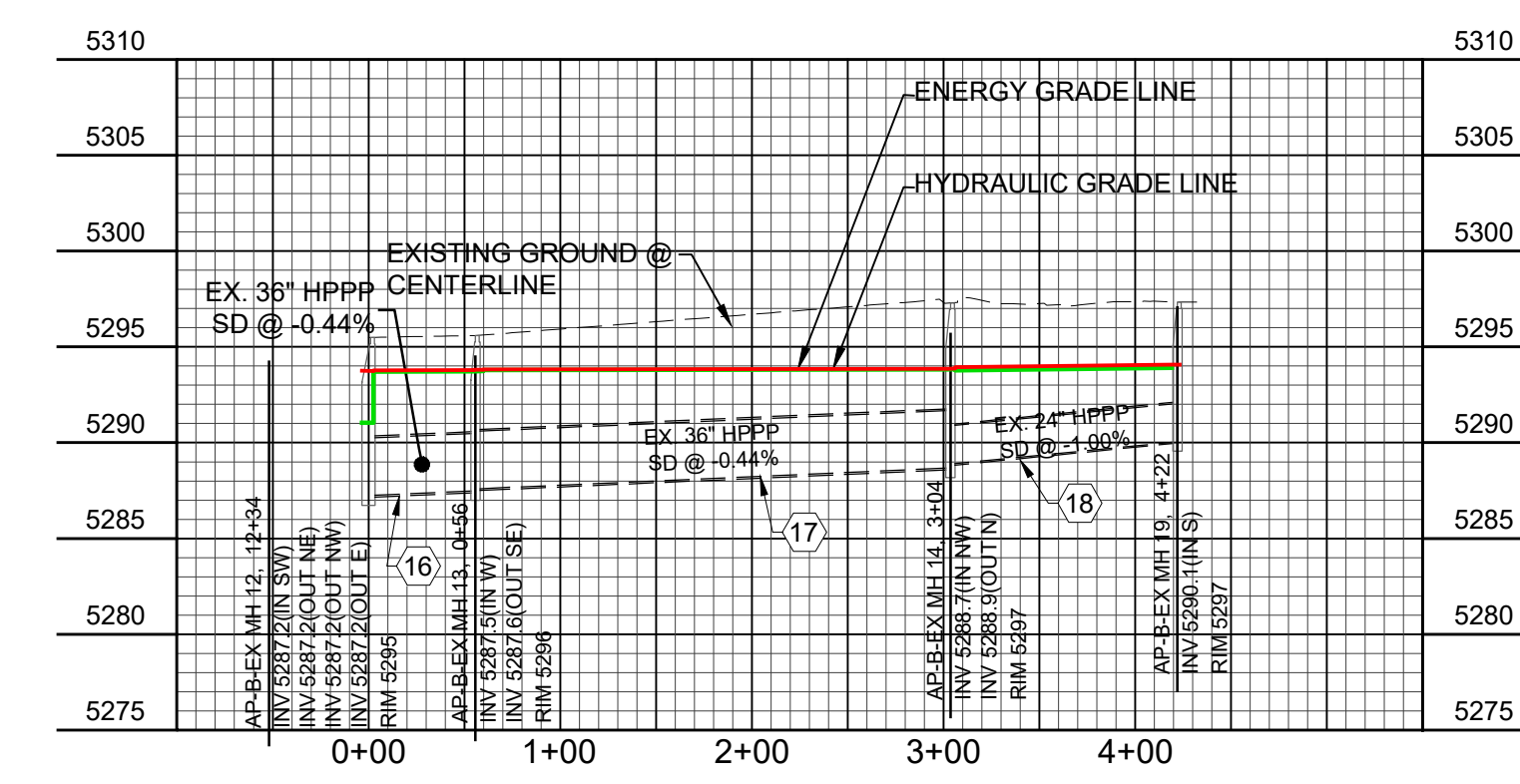


STORM DRAIN AP-B 200 & 201

AS BUILT INFORMATION		CONTRACTOR	DATE
BENCH MARKS		FOUND MONUMENT "20_H18"	DATE
SURVEY INFORMATION		FIELD NOTES	DATE
ENGINEER'S SEAL		REVISIONS	DATE
NO.		DATE	BY
REMARKS		DESIGN	DATE
DESIGNED BY: KB		DESIGNED BY: KB	DATE: December 19, 2021
DRAWN BY: LT		DRAWN BY: LT	DATE: December 19, 2021
DWG NAME: DRAINAGE EXHIBIT 2-9.dwg PROJ #: R313479.01		CHECKED BY: SE	DATE: December 19, 2021



PROFILE VIEW: STORM DRAIN AP-B 200



PROFILE VIEW: STORM DRAIN AP-B 201

Designed By:  
**HUITT-ZOLIARS**  
 Huitt-Zoliars, Inc. Rio Rancho  
 333 Rio Rancho Drive NE, Suite 101  
 Rio Rancho, New Mexico 87124  
 Phone (505) 892-5141 Fax (505) 892-3259

**WINROCK TOWN CENTER**  
**PHASE C INFRASTRUCTURE IMPROVEMENTS**

TITLE: **STORM DRAIN AP-B 200 & 201**

Design Review Committee	City Engineer	Ms./Day/Yr.	Ms./Day/Yr.

City Project No. - Zone Map No. J-19-Z Sheet Of EXHIBIT 3

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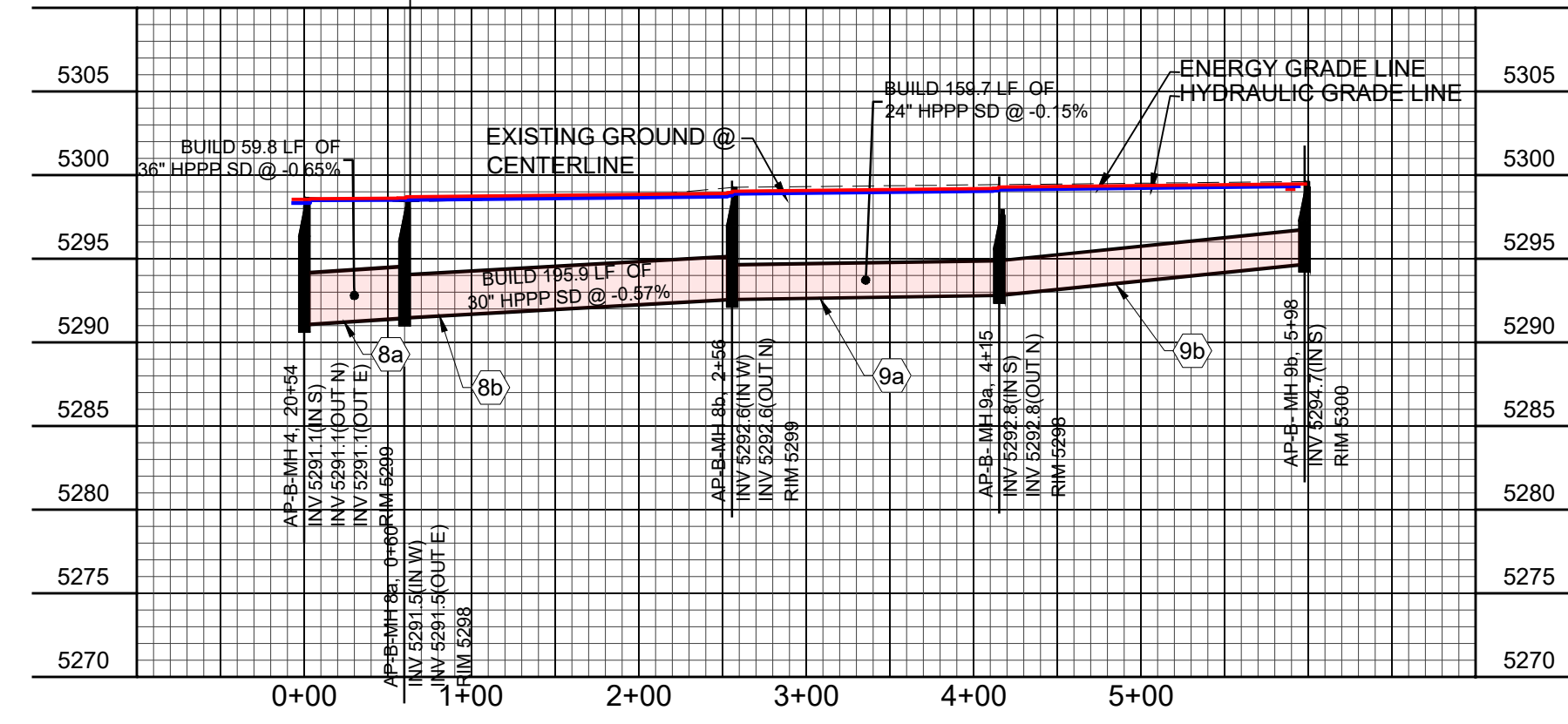
STORM CAD OUTPUT

Label	Start Node	Stop Node	Diameter (in)	Length (ft)	Allowable Flow (cfs)	Velocity (ft/s)	Invert (Start) (ft)	Invert (Stop) (ft)	Elevation Ground (Start) (ft)	Elevation Ground (Stop) (ft)	Hydraulic Grade Line (In) (ft)	Hydraulic Grade Line (Out) (ft)	Energy Grade Line (In) (ft)	Energy Grade Line (Out) (ft)
LINE 8A	MH 8A	MH 4	36.0	59.8	17.0	3.46	5,291.49	5,291.10	5,298.68	5,298.50	5,298.50	5,298.48	5,298.59	5,298.57
LINE 8B	MH 8B	MH 8A	30.0	196.0	17.0	3.46	5,292.60	5,291.49	5,299.20	5,298.68	5,298.69	5,298.50	5,298.88	5,298.68
LINE 9A	MH 9A	MH 8B	24.0	159.0	9.5	3.02	5,293.20	5,292.60	5,299.18	5,299.20	5,299.03	5,298.86	5,299.17	5,299.00
LINE 9B	MH 9B	MH 9A	24.0	183.0	9.5	3.02	5,294.70	5,293.20	5,300.00	5,299.18	5,299.30	5,299.11	5,299.45	5,299.29

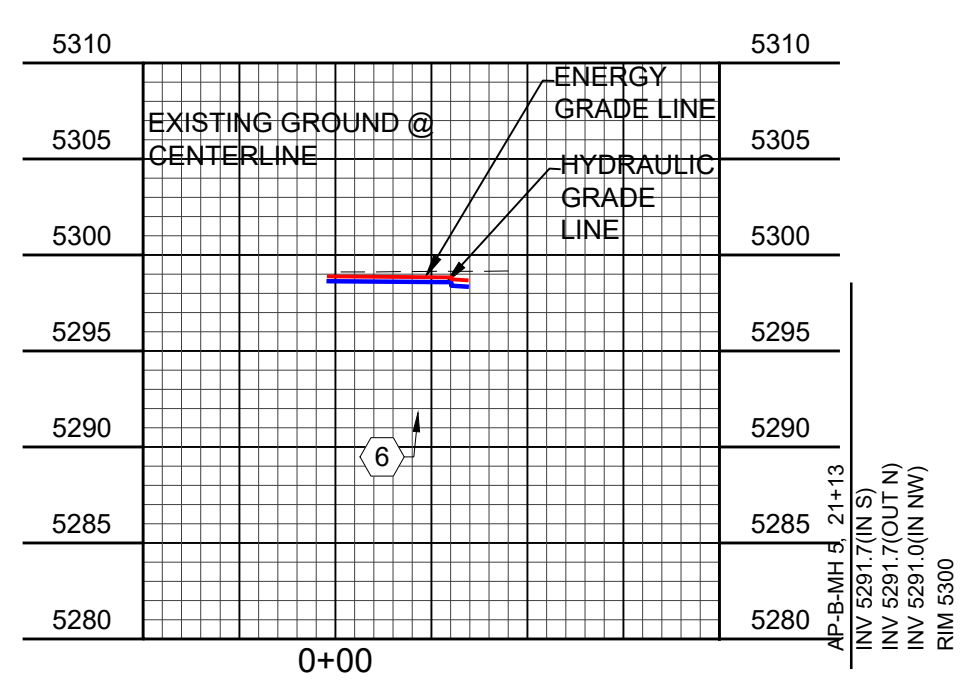
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LINE 6	MH 6	MH 5	60.0	46.0	24.0	9.2	5291.5	5291.0	5298.4	5297.4	5294.2	5294.3	5294.3	5294.3
Line 6A	MH 6a	MH 6	24.0	120.0	24.0	11.1	5292.9	5291.5	5299.0	5298.4	5294.6	5293.8	5296.0	5294.3
Line 6B	INLET 6b	MH 6a	24.0	71.0	24.0	7.6	5293.5	5292.9	5300.0	5299.0	5296.6	5296.1	5297.5	5296.7



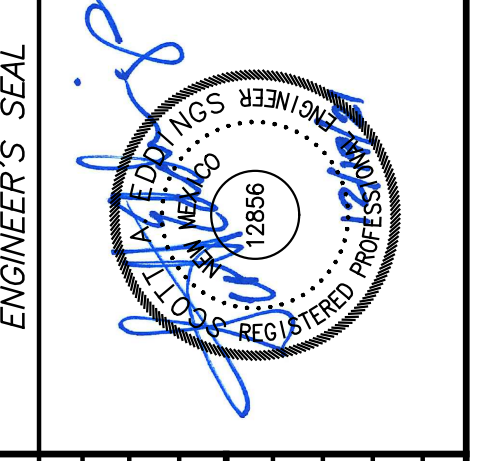
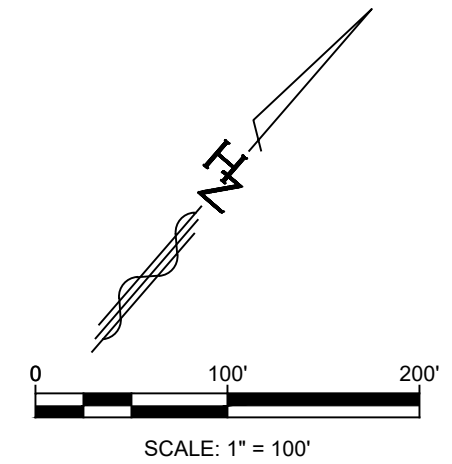
STORM DRAIN AP-B 400 & 500



PROFILE VIEW: STORM DRAIN AP-B 400



PROFILE VIEW: STORM DRAIN AP-B 500



NO.	DATE	REMARKS	BY
		DESIGN	

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 DRAWN BY: LT  
 DWG NAME: DRAINAGE EXHIBIT 2-9.dwg PROJ #: R313479.01  
 CHECKED BY: SE

DATE: December 19, 2021  
 DATE: December 19, 2021  
 DATE: December 19, 2021

Designed By:  
**HUITT-ZOLIARS**  
 Huitt-Zollars, Inc. Rio Rancho  
 333 Rio Rancho Drive NE, Suite 101  
 Rio Rancho, New Mexico 87124  
 Phone (505) 892-5141 Fax (505) 892-3259

WINROCK TOWN CENTER  
 PHASE C INFRASTRUCTURE IMPROVEMENTS

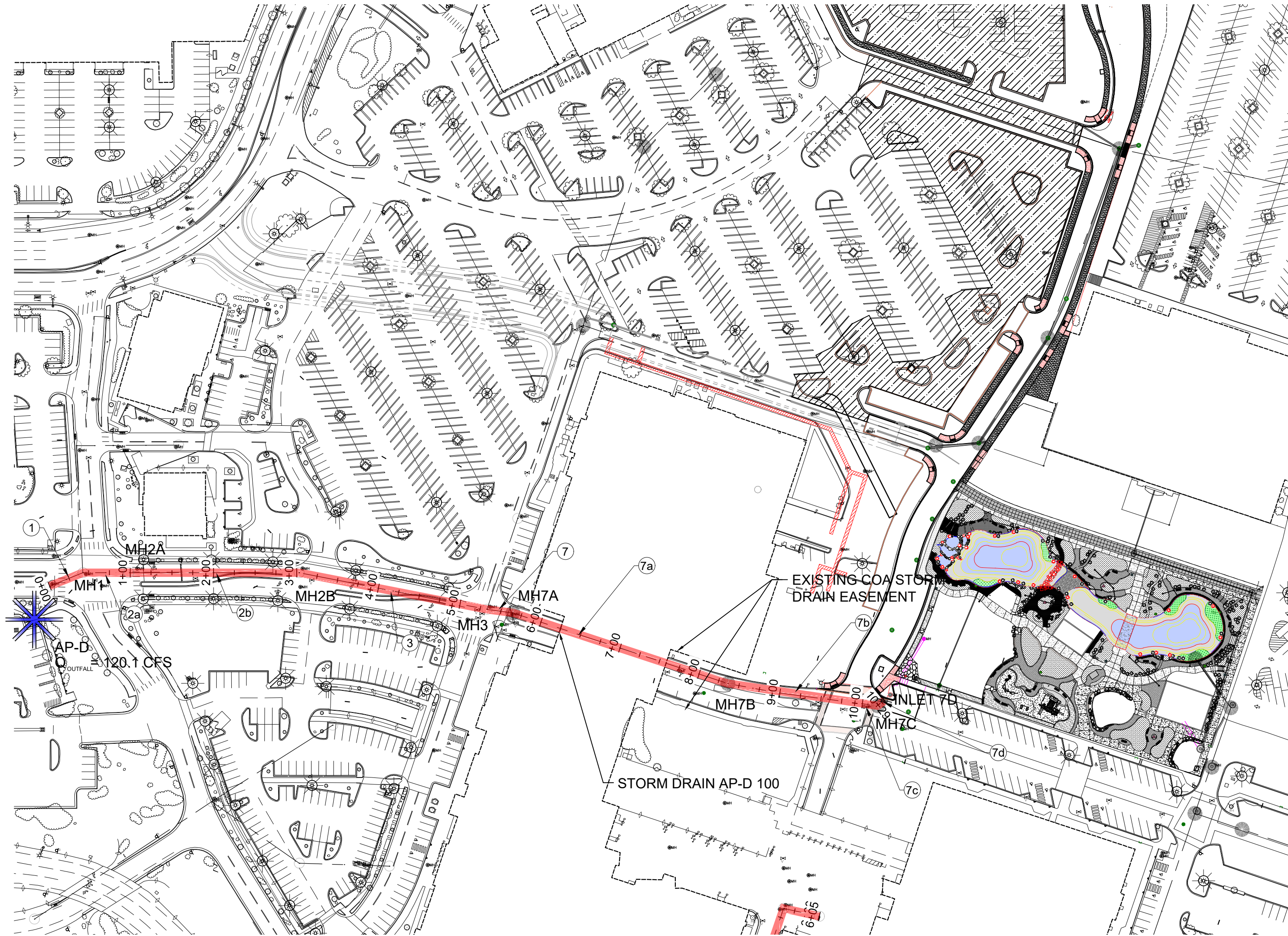
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Design Review Committee	City Engineer	Ms./Day/Yr.	Ms./Day/Yr.
City Project No. -		Zone Map No. J-19-Z	Sheet Of EXHIBIT 4

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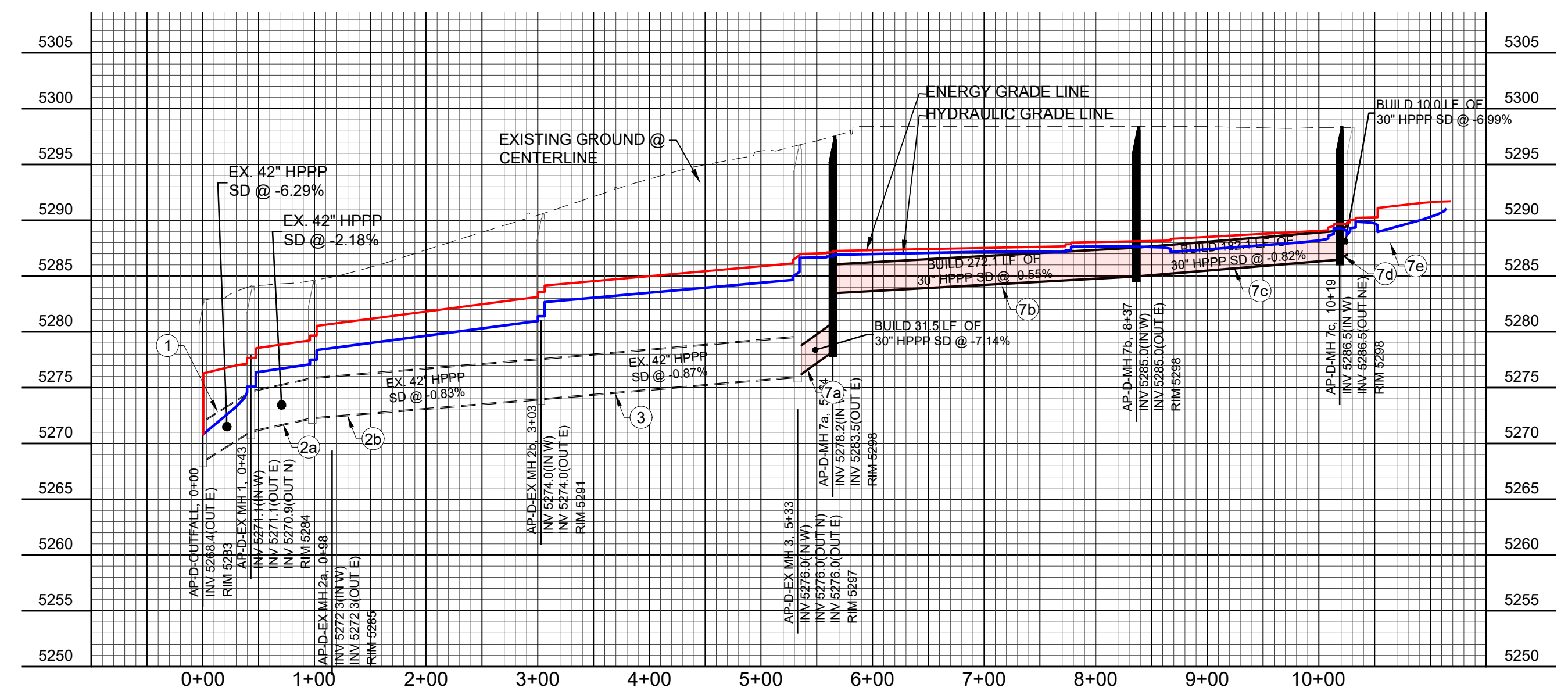
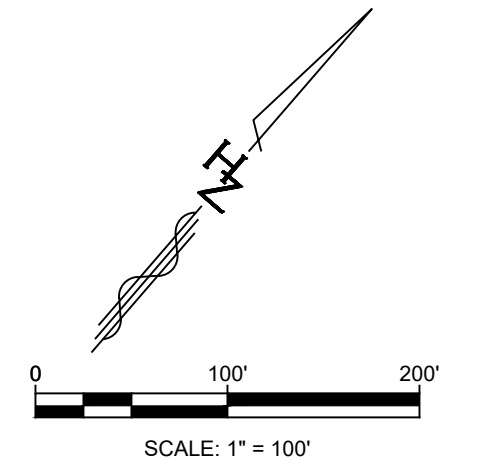
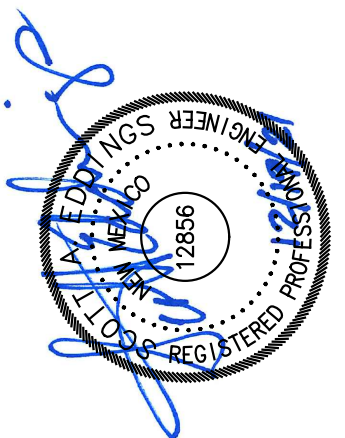
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Label	Start Node	Stop Node	Diameter (in)	Length (ft)	Flow (cfs)	Velocity (ft/s)	Invert (Start) (ft)	Invert (Stop) (ft)	Elevation Ground (Start) (ft)	Elevation Ground (Stop) (ft)	Hydraulic Grade Line (In) (ft)	Hydraulic Grade Line (Out) (ft)	Energy Grade Line (In) (ft)	Energy Grade Line (Out) (ft)
LINE 1	MH 1	AP-D	42	42.9	120.1	25.98	5271.1	5268.4	5284.1	5282.94	5274.36	5270.63	5277.52	(N/A)
LINE 2A	MH 2A	MH 1	42	55.4	113.4	11.92	5272.3	5271.1	5284.59	5284.1	5276.91	5276.19	5279.56	5277.52
LINE 2B	MH 2	MH 2A	42	204.6	113.4	11.92	5274	5272.3	5290.53	5284.59	5280.9	5278.24	5283.55	5279.56
LINE 3	EX MH 12	MH 2	42	230.1	93.8	9.88	5276	5274	5296.69	5290.53	5284.69	5282.63	5286.51	5283.55
LINE 7A	MH 7A	EX MH 12	24	31.4	23.5	7.89	5283.4	5283.18	5296.91	5296.69	5286.56	5286.34	5287.72	5286.92
LINE 7B	MH 7B	MH 7A	24	213.5	23.5	7.48	5285	5283.5	5297.26	5296.91	5288.56	5287.2	5289.61	5287.72
LINE 7C	MH 7C	MH 7B	24	225.4	23.5	7.48	5286.5	5285	5295.3	5297.26	5290.52	5289.08	5291.57	5289.61
LINE 7D	MH 7D	MH 7C	24	28.2	23.5	3.73	5287.2	5286.5	5294.87	5295.3	5291.61	5291.58	5291.87	5291.71



STORM DRAIN AP-D 100

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	FOUND MONUMENT "20_H18"	DATE	FIELD NOTES	NO.	NO.	NO.
WORK BY	DATE	STANDARD 3 1/4" ALUMINUM DISC (FOUND IN PLACE)	DATE	BY	REMARKS	BY	DATE
INSPECTOR'S	DATE	NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983)	DATE	NO.	DESIGN	DATE	DATE
ACCEPTANCE BY	DATE	N=1,483,154.978	DATE	NO.	REVISIONS	DATE	DATE
VERIFICATION BY	DATE	E=1,545,048.210	DATE	NO.	DESIGN	DATE	DATE
DRAWINGS	DATE	PUBLISHED EL=5283.22 (NAD 1988)	DATE	NO.	DESIGN	DATE	DATE
VERIFICATION BY	DATE	GROUND TO GRID FACTOR=0.999661580	DATE	NO.	DESIGN	DATE	DATE
MICRO-FILM INFORMATION	DATE	DELTA ALPHA ANGLE=011100.11"	DATE	NO.	DESIGN	DATE	DATE



PROFILE VIEW: STORM DRAIN AP-D 100

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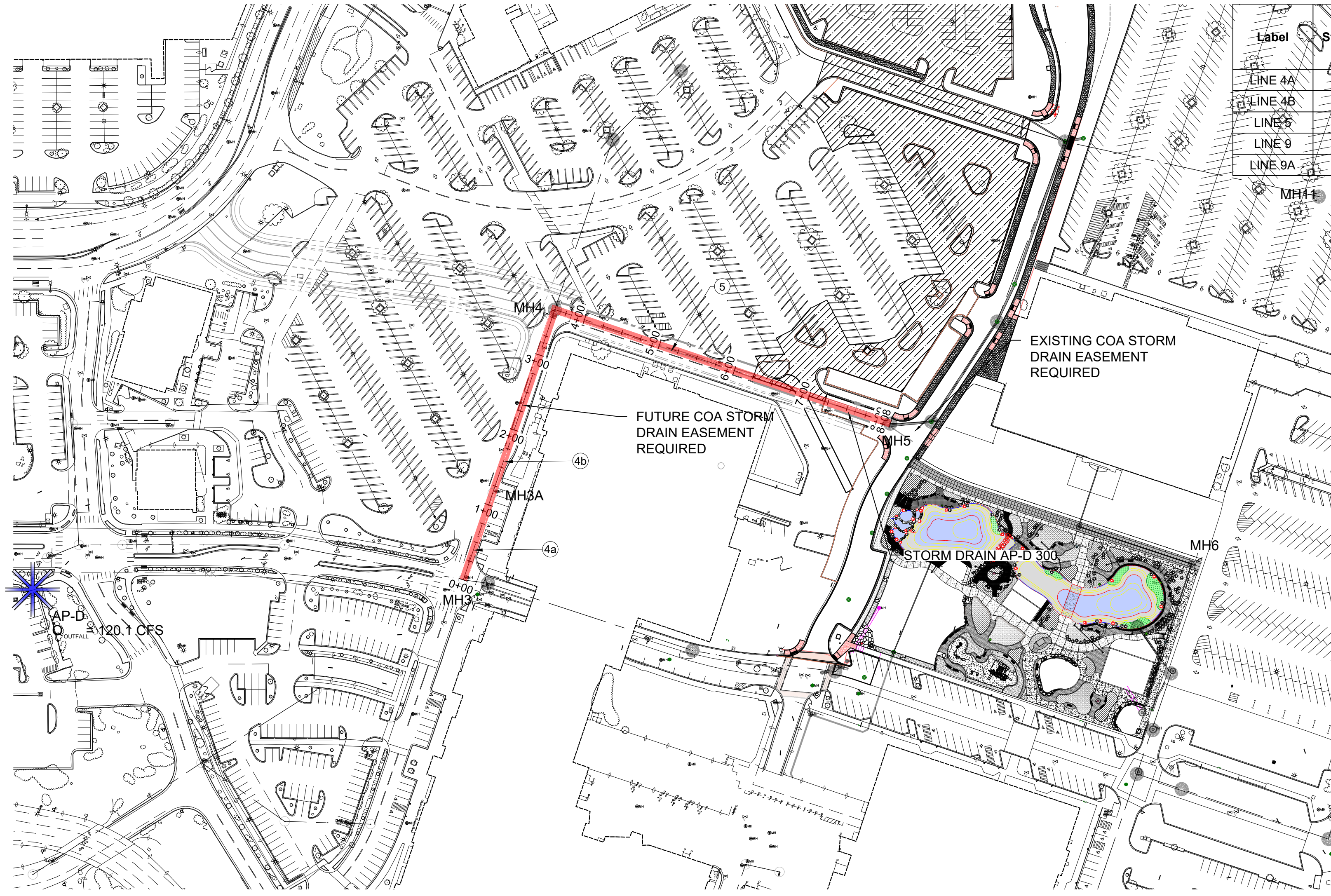
Designed By:  
**HUITT-ZOLIARS**  
 Huitt-Zollars, Inc. Rio Rancho  
 333 Rio Rancho Drive NE, Suite 101  
 Rio Rancho, New Mexico 87124  
 Phone (505) 892-5141 Fax (505) 892-3259

**WINROCK TOWN CENTER**  
**PHASE C INFRASTRUCTURE IMPROVEMENTS**  
 TITLE: **STORM DRAIN AP-D 100**

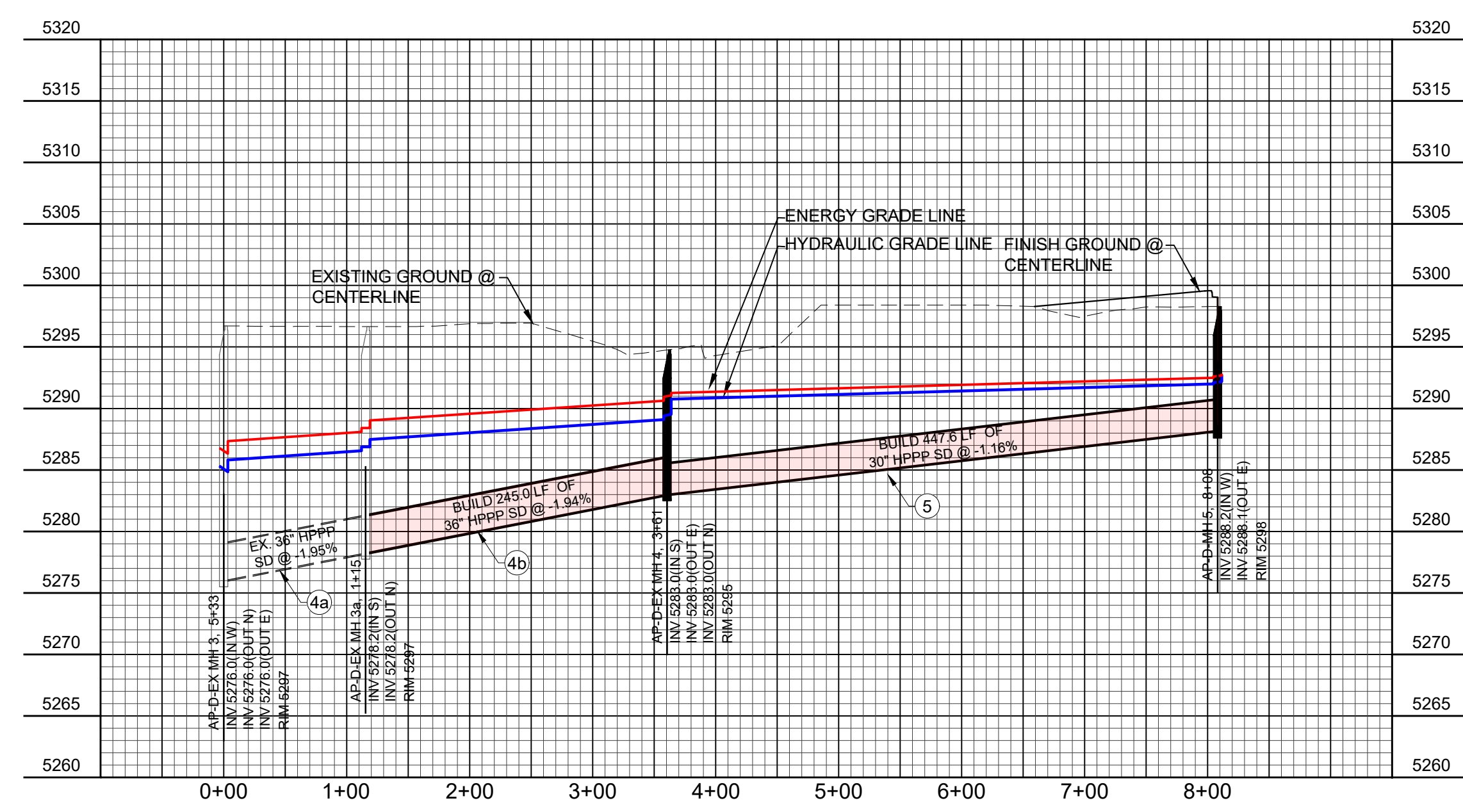
Design Review Committee	City Engineer	Ms./Day/Yr.	Ms./Day/Yr.
City Project No. -		Zone Map No. J-19-Z	Sheet Of EXHIBIT 5

STORM CAD OUTPUT

Label	Start Node	Stop Node	Diameter (in)	Length (ft)	Flow (cfs)	Velocity (ft/s)	Invert (Start) (ft)	Invert (Stop) (ft)	Elevation Ground (Start) (ft)	Elevation Ground (Stop) (ft)	Hydraulic Grade Line (In) (ft)	Hydraulic Grade Line (Out) (ft)	Energy Grade Line (In) (ft)	Energy Grade Line (Out) (ft)
LINE 4A	MH 4A	EX MH 12	36	118.6	70.3	9.95	5278.25	5276	5291.13	5288.62	5294.74	5296.06	5289.29	5287.7
LINE 4B	MH 4	MH 4A	36	242	70.3	9.95	5283	5278.25	5288.62	5286.92	5296.06	5296.69	5286.77	5286
LINE 5	MH 5	MH 4	30	447.6	28	5.7	5288.2	5283	5292.79	5291.26	5298	5294.74	5292.19	5290.95
LINE 9	MH 9	MH 5	24	361	28	13.03	5294	5288.2	5297.44	5293.02	5303	5298	5295.83	5292.28
LINE 9A	MH 11	MH 9	24	424.3	14	8.03	5296.92	5294	5298.87	5297.57	5303.8	5303	5298.27	5297.39

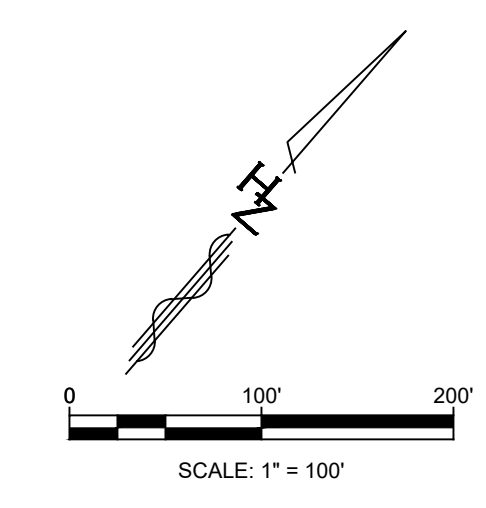
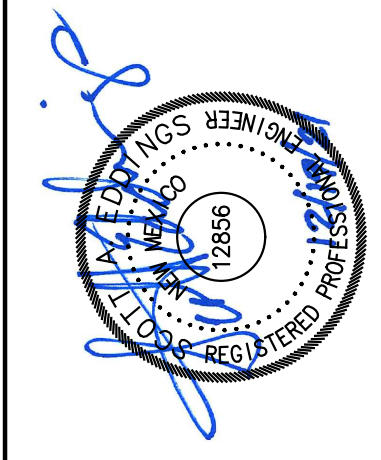


STORM DRAIN AP-D 300



PROFILE VIEW: STORM DRAIN AP-D 300

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	FOUND MONUMENT "20_H18"	DATE	FIELD NOTES	NO.	BY	REVISIONS
WORK BY	DATE	STANDARD 3/4" ALUMINUM DISC (FOUND IN PLACE)	DATE	NO.	BY	DATE	DESIGN
INSPECTOR'S ACCEPTANCE BY	DATE	NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983)	DATE	NO.	BY	DATE	DESIGN
VERIFICATION BY	DATE	N=1,483,154,978	DATE	NO.	BY	DATE	DESIGN
DRAWINGS VERIFICATION BY	DATE	E=1,545,048,210	DATE	NO.	BY	DATE	DESIGN
MICRO-FILM INFORMATION	DATE	PUBLISHED EL=5293.22 (NAD 1988)	DATE	NO.	BY	DATE	DESIGN
RECORDED BY	DATE	GROUND TO GRID FACTOR=0.999661580	DATE	NO.	BY	DATE	DESIGN
NO.	DATE	DELTA ALPHA ANGLE=011100.11"	DATE	NO.	BY	DATE	DESIGN



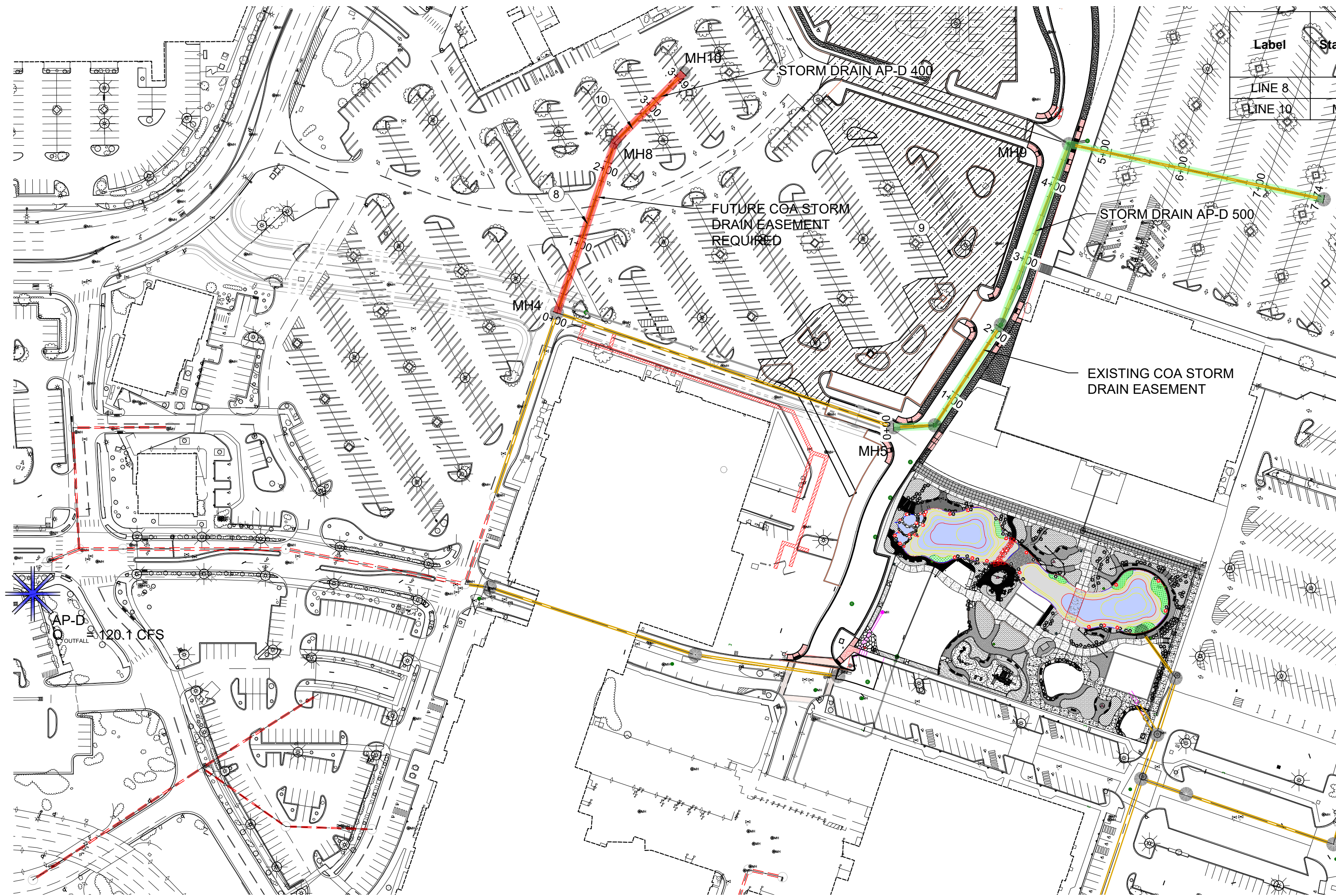
Designed By:  
**HUITT-ZOLIARS**  
 Huitt-Zollars, Inc. Rio Rancho  
 333 Rio Rancho Drive NE, Suite 101  
 Rio Rancho, New Mexico 87124  
 Phone (505) 892-5141 Fax (505) 892-3259

WINROCK TOWN CENTER PHASE C INFRASTRUCTURE IMPROVEMENTS			
TITLE: STORM DRAIN AP-D 300			
Design Review Committee	City Engineer	Ms./Day/Yr.	Ms./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
-	J-19-Z		EXHIBIT 6

Plotted: 12/20/2021 9:08:39 PM. By: Edlings, Scott  
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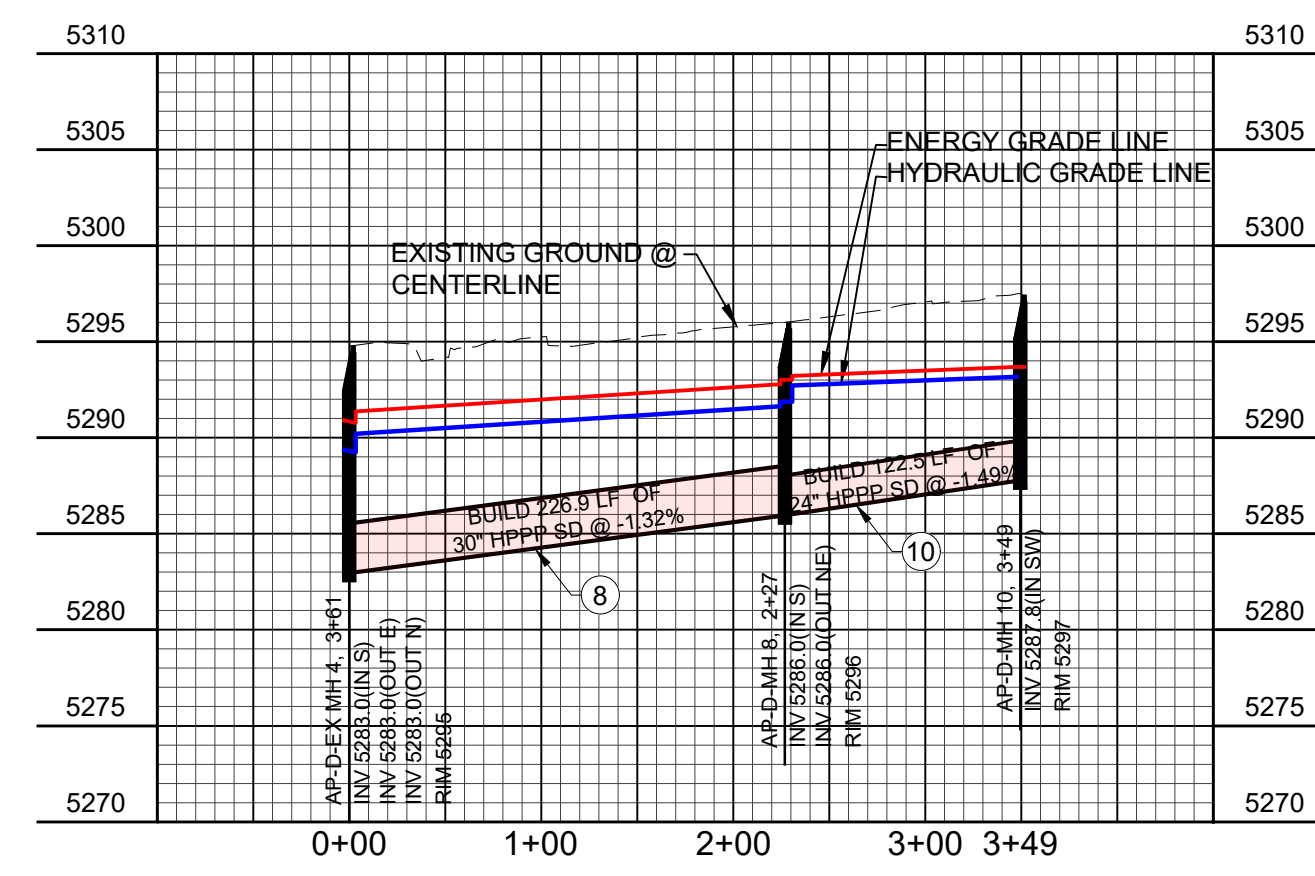
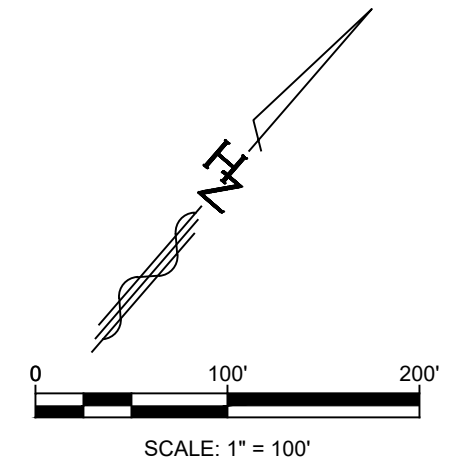
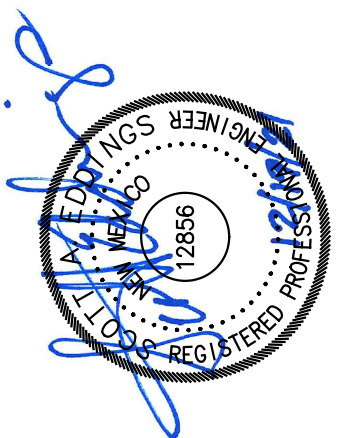
STORM CAD OUTPUT

Label	Start Node	Stop Node	Diameter (in)	Length (ft)	Allowable Flow (cfs)	Velocity (ft/s)	Invert (Start) (ft)	Invert (Stop) (ft)	Elevation Ground (Start) (ft)	Elevation Ground (Stop) (ft)	Hydraulic Grade Line (In) (ft)	Hydraulic Grade Line (Out) (ft)	Energy Grade Line (In) (ft)	Energy Grade Line (Out) (ft)
LINE 8	MH 8	MH 4	30.0	227.2	42.3	5.98	5,286.00	5,283.00	5,296.00	5,294.74	5,291.68	5,290.25	5,292.83	5,291.40
LINE 10	MH 10	MH 8	24.0	121.8	18.0	5.73	5,287.82	5,286.00	5,297.00	5,296.00	5,293.21	5,292.75	5,293.72	5,293.26

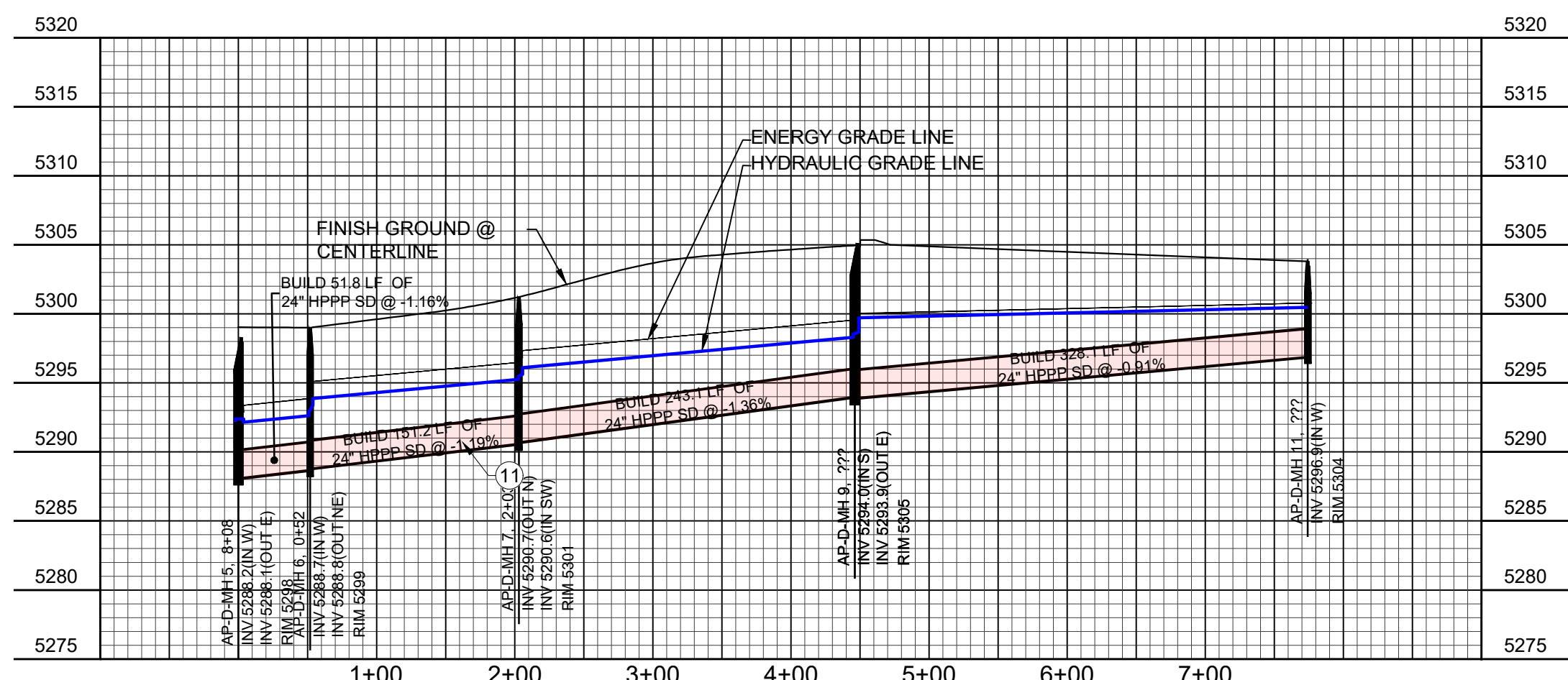


STORM DRAIN AP-D 400 & 500

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	FOUND MONUMENT "20_H18"	DATE	FIELD NOTES	NO.	REMARKS	BY
INSPECTOR'S	DATE	STANDARD 3 1/4" ALUMINUM DISC (FOUND IN PLACE)	DATE	NO.			
ACCEPTANCE BY	DATE	NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983)					
VERIFICATION BY	DATE	N=1,483,154.978					
DRAWINGS	DATE	E=1,545,048.210					
MICRO-FILM INFORMATION	DATE	PUBLISHED EL=5293.22 (NAD 1988)					
RECORDED BY	DATE	PUBLISHED TO GRID FACTOR=0.999661580					
		DELTA ALPHA ANGLE=011'00.11"					



PROFILE VIEW: STORM DRAIN AP-D 400



PROFILE VIEW: STORM DRAIN AP-D 500

Plotted: 12/20/2021 9:13:07 PM. By: Edings, Scott  
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 File Name: 12202021\_05.13.3\_DRA\_05.dwg

Designed By:  
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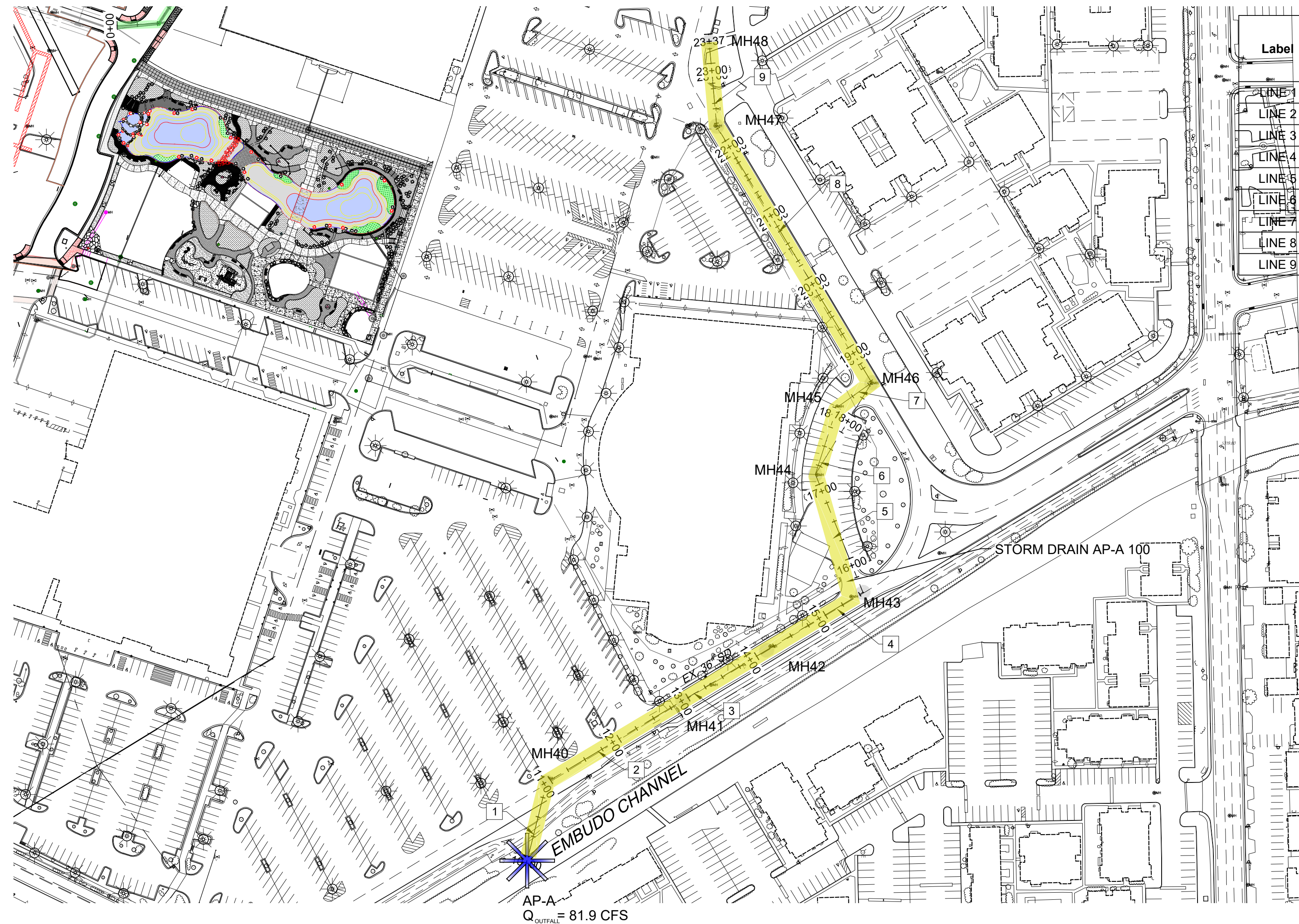
**WINROCK TOWN CENTER**  
**PHASE C INFRASTRUCTURE IMPROVEMENTS**

**TITLE:**  
**STORM DRAIN AP-D 400 & 500**

Design Review Committee	City Engineer	Ms./Day/Yr.	Ms./Day/Yr.

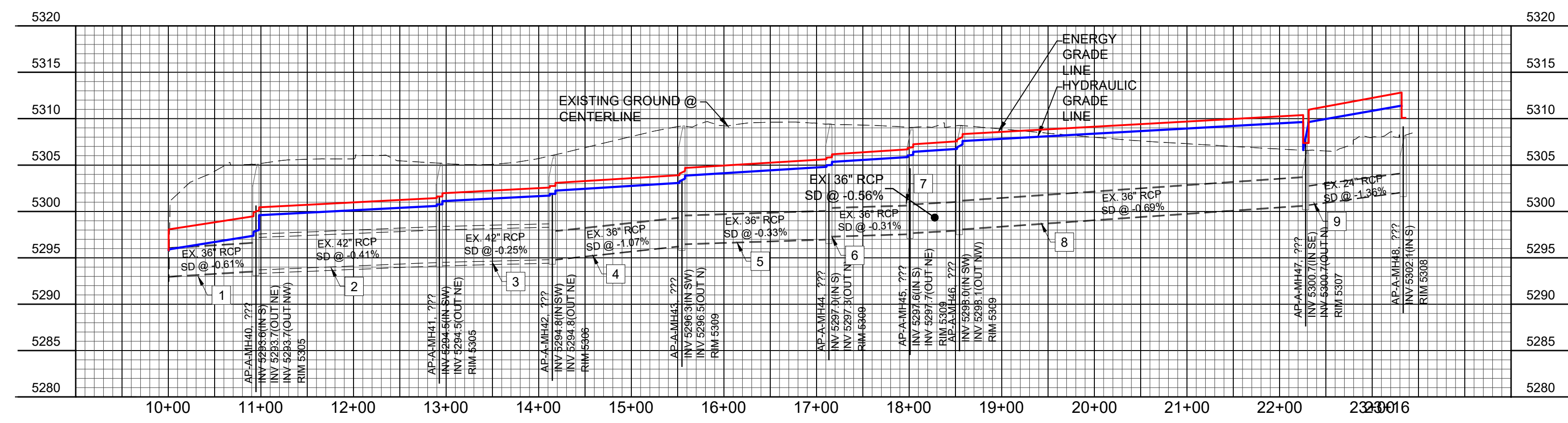
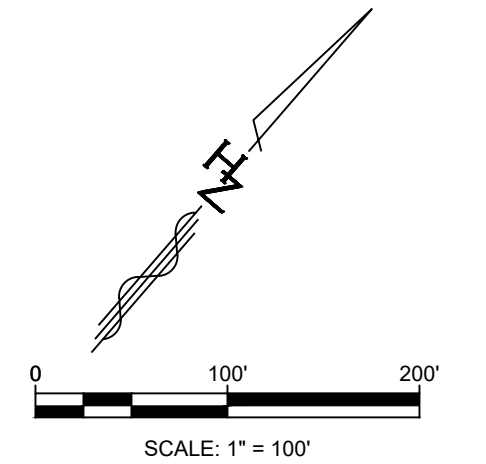
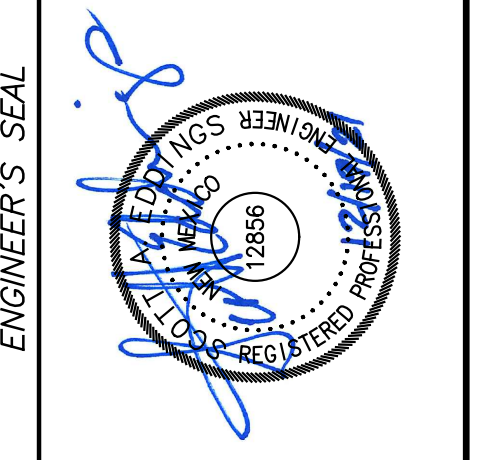
STORM CAD OUTPUT

Label	Start Node	Stop Node	Diameter (in)	Length (ft)	Flow (cfs)	Velocity (ft/s)	Invert (Start) (ft)	Invert (Stop) (ft)	Elevation Ground (Start) (ft)	Elevation Ground (Stop) (ft)	Hydraulic Grade Line (In) (ft)	Hydraulic Grade Line (Out) (ft)	Energy Grade Line (In) (ft)	Energy Grade Line (Out) (ft)
LINE 1	MH 40	AP-A	36.0	94.6	81.9	11.59	5,293.58	5,293.00	5,305.13	5,302.00	5,297.34	5,295.79	5,299.42	5,298.01
LINE 2	MH 41	MH 40	42.0	198.0	71.4	7.42	5,294.50	5,293.58	5,305.55	5,305.13	5,300.54	5,299.54	5,301.40	5,300.40
LINE 3	MH 42	MH 41	42.0	122.0	71.4	7.42	5,295.00	5,294.50	5,306.53	5,305.55	5,301.67	5,301.06	5,302.53	5,301.91
LINE 4	MH 43	MH 42	36.0	140.0	51.4	7.27	5,296.30	5,295.00	5,308.94	5,306.53	5,303.04	5,302.20	5,303.86	5,303.03
LINE 5	MH 44	MH 43	36.0	158.7	51.4	7.27	5,297.02	5,296.30	5,309.32	5,308.94	5,304.76	5,303.82	5,305.58	5,304.64
LINE 6	MH 45	MH 44	36.0	87.6	51.4	7.27	5,297.59	5,297.02	5,309.34	5,309.32	5,305.82	5,305.30	5,306.64	5,306.12
LINE 7	MH 46	MH 45	36.0	53.4	51.4	7.27	5,298.09	5,297.59	5,309.44	5,309.34	5,306.70	5,306.38	5,307.52	5,307.20
LINE 8	MH 47	MH 46	36.0	373.8	49.4	6.99	5,300.67	5,298.09	5,306.57	5,309.44	5,309.59	5,307.54	5,310.35	5,308.30
LINE 9	MH 48	MH 47	24.0	105.3	30.1	9.58	5,302.10	5,300.67	5,308.62	5,306.57	5,311.36	5,309.49	5,312.78	5,310.92



STORM DRAIN AP-A 100 EXISTING CONDITIONS

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	FOUND MONUMENT "20_H18"	DATE	FIELD NOTES	NO.	BY	REVISIONS
INSPECTOR'S	DATE	STANDARD 3 1/4" ALUMINUM DISC (FOUND IN PLACE)	DATE	NO.	BY	DATE	DESIGN
ACCEPTANCE BY	DATE	NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983)	DATE			DESIGNED BY: KB	
VERIFICATION BY	DATE	N=1,483,154.978	DATE			DRAWN BY: LT	
DRAWING NO.	DATE	E=1,545,048.210	DATE			DWG NAME: DRAINAGE EXHIBIT 2-9.dwg	
	DATE	PUBLISHED EL=5293.22 (NAD 1988)	DATE			PROJ #: R313479.01	
	DATE	GROUND TO GRID FACTOR=0.999661680	DATE			CHECKED BY: SE	
	DATE	DELTA ALPHA ANGLE=011'00.11"	DATE				



PROFILE VIEW: STORM DRAIN AP-A 100

Plotted: 12/20/2021 9:15:48 PM, By: Edings, Scott  
 P:\proj\R313479\_01 - Winrock Town Center Road EUS Design\05.13 Drainage\05.13.3 Report\Exhibit\DRAINAGE EXHIBIT  
 Last Saved: 12/20/2021 5:11:10 PM

Designed By:  
**HUITT-ZOLIARS**  
 Huit-Zollars, Inc. Rio Rancho  
 333 Rio Rancho Drive NE, Suite 101  
 Rio Rancho, New Mexico 87124  
 Phone (505) 892-5141 Fax (505) 892-3259

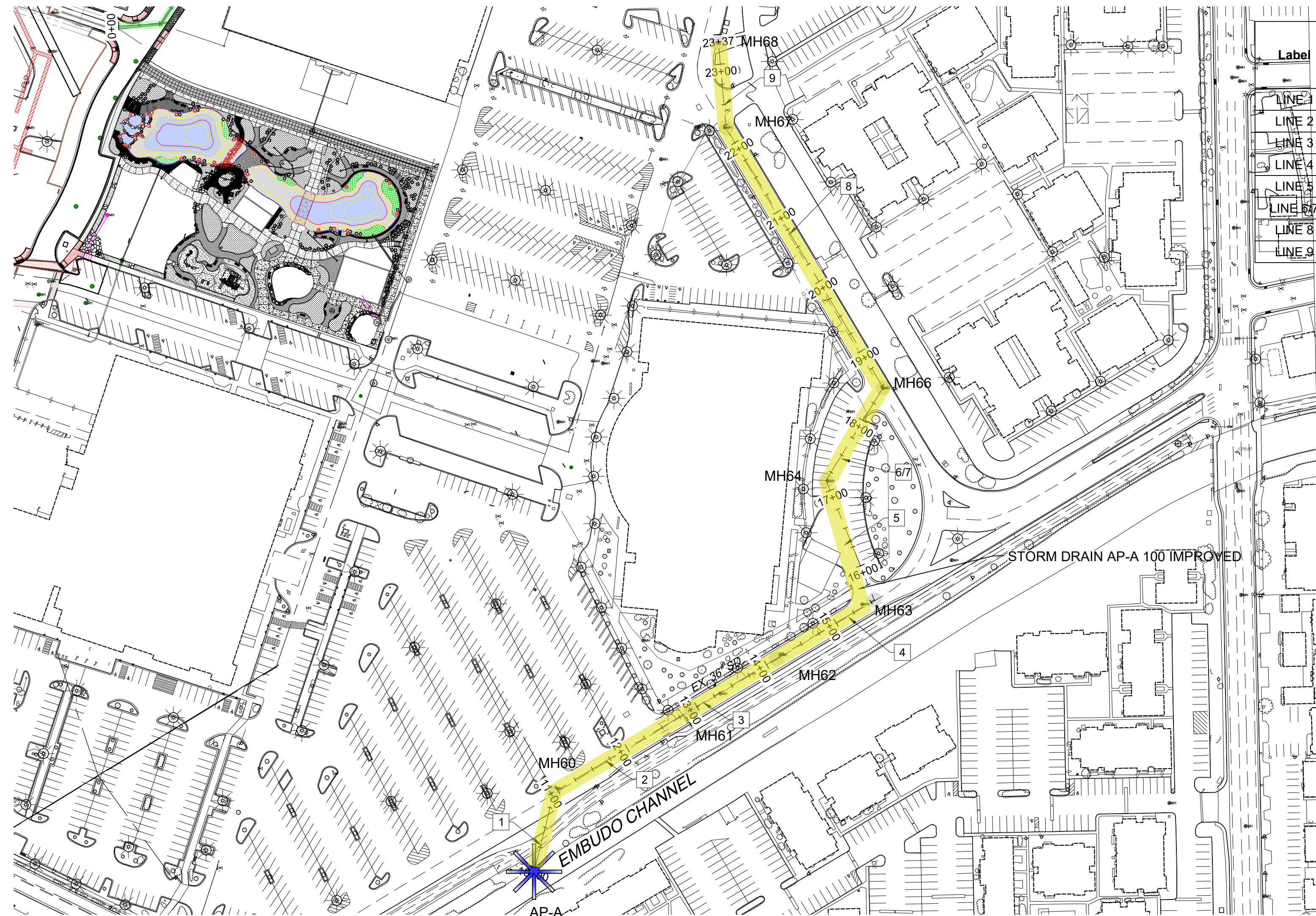
**WINROCK TOWN CENTER**  
**PHASE C INFRASTRUCTURE IMPROVEMENTS**

**TITLE:**  
**STORM DRAIN AP-A 100 EX. CONDITIONS**

Design Review Committee	City Engineer	Ms./Day/Yr.	Ms./Day/Yr.

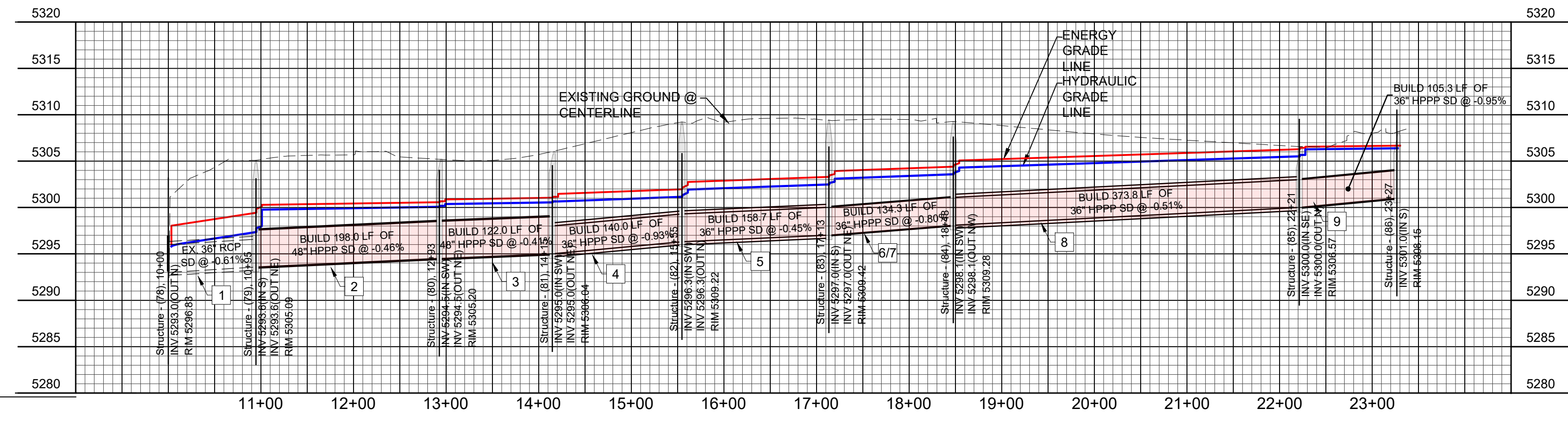
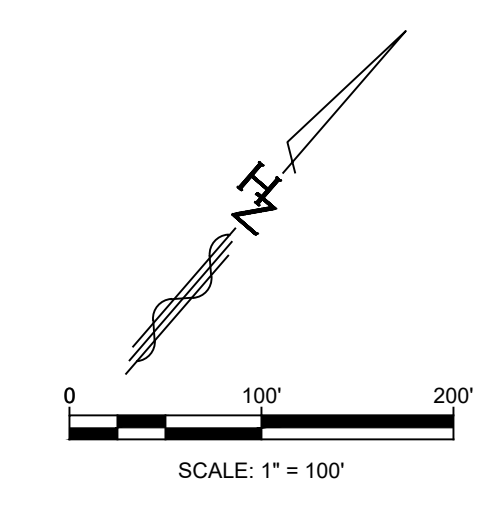
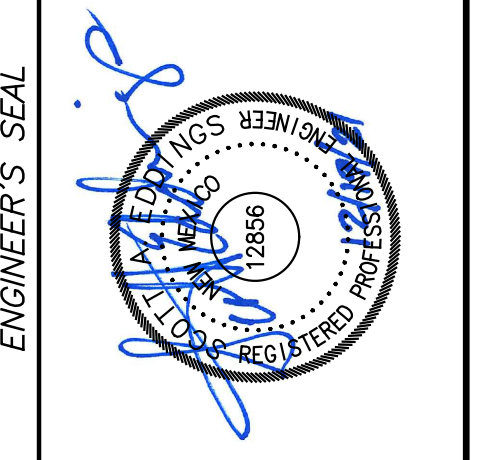
STORM CAD OUTPUT

Label	Start Node	Stop Node	Diameter (in)	Length (ft)	Flow (cfs)	Velocity (ft/s)	Invert (Start) (ft)	Invert (Stop) (ft)	Elevation Ground (Start) (ft)	Elevation Ground (Stop) (ft)	Hydraulic Grade Line (In) (ft)	Hydraulic Grade Line (Out) (ft)	Energy Grade Line (In) (ft)	Energy Grade Line (Out) (ft)
LINE 2	MH 60	AP-A	36.0	94.6	81.9	11.59	5,293.58	5,293.00	5,305.13	5,302.00	5,297.34	5,295.79	5,299.42	5,298.01
LINE 3	MH 61	MH 60	48.0	198.0	71.4	5.68	5,294.50	5,293.58	5,305.55	5,305.13	5,300.05	5,299.76	5,300.55	5,300.26
LINE 4	MH 62	MH 61	48.0	122.0	71.4	5.68	5,295.00	5,294.50	5,306.53	5,305.55	5,300.53	5,300.35	5,301.03	5,300.85
LINE 5	MH 63	MH 62	36.0	140.0	51.4	7.27	5,296.30	5,295.00	5,308.94	5,306.53	5,301.13	5,300.64	5,301.95	5,301.46
LINE 6	MH 64	MH 63	36.0	158.7	51.4	7.27	5,297.02	5,296.30	5,309.32	5,308.94	5,302.47	5,301.91	5,303.29	5,302.73
LINE 7	MH 66	MH 64	36.0	134.4	51.4	7.27	5,298.09	5,297.02	5,309.44	5,309.32	5,303.56	5,303.09	5,304.38	5,303.91
LINE 8	MH 67	MH 66	36.0	373.8	49.4	6.99	5,300.00	5,298.09	5,306.57	5,309.44	5,305.50	5,304.29	5,306.26	5,305.05
LINE 9	MH 68	MH 67	36.0	105.3	30.1	4.26	5,301.00	5,300.00	5,308.15	5,306.57	5,306.37	5,306.24	5,306.65	5,306.52



STORM DRAIN AP-A 100 IMPROVED

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	FOUND MONUMENT "20_H18"	DATE	FIELD NOTES	NO.	NO.	REVISIONS
WORK BY	DATE	STANDARD 3 1/4" ALUMINUM DISC (FOUND IN PLACE)	DATE	BY			
INSPECTOR'S ACCEPTANCE BY	DATE	NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983)					DESIGN
VERIFICATION BY	DATE	N=1,483,154,978					
DRAWING NO.	DATE	E=1,545,048,210					
MICRO-FILM INFORMATION	DATE	PUBLISHED EL=5293.22 (NAD 1988)					
	DATE	GROUND TO GRID FACTOR=0.999661680					
	DATE	DELTA ALPHA ANGLE=011'00.11"					



PROFILE VIEW: STORM DRAIN AP-A 100 IMPROVED

Plotted: 12/20/2021 9:16:48 PM By: Edings, Scott  
 P:\proj\R313479\_01 - Winrock, Town Center Road EUS Design\05\_13\_Drainage\05\_13\_Report\Exhibit\CRANRANGE EXHIBIT  
 File Path: L:\2021\05\_13\_Drainage\05\_13\_Report\Exhibit\CRANRANGE EXHIBIT

Designed By: **HUITT-ZOLIARS**  
 Huitt-Zollars, Inc. Rio Rancho  
 333 Rio Rancho Drive NE, Suite 101  
 Rio Rancho, New Mexico 87124  
 Phone (505) 892-5141 Fax (505) 892-3259

**WINROCK TOWN CENTER**  
**PHASE C INFRASTRUCTURE IMPROVEMENTS**  
 TITLE: **STORM DRAIN AP-A 100 IMPROVED**

Design Review Committee	City Engineer	Ms./Day/Yr.	Ms./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
-	J-19-Z		EXHIBIT 9



Our *commitment* is to understand the needs of our clients and to meet those needs by delivering professional services with the highest level of *quality & integrity*.

HUITT-ZOLLARS

September 14, 2021

**Chair**  
Steven Michael Quezada  
County of Bernalillo  
Commissioner, District 2

**Vice Chair**  
Klanissa J. Peña  
City of Albuquerque  
Councilor, District 3

Walt Benson  
County of Bernalillo  
Commissioner, District 4

Pat Davis  
City of Albuquerque  
Councilor, District 6

Trudy E. Jones  
City of Albuquerque  
Councilor, District 8

Timothy M. Keller  
City of Albuquerque  
Mayor

Charlene Pyskoty  
County of Bernalillo  
Commissioner, District 5

*Ex-Officio Member*  
Pablo R. Rael  
Village of Los Ranchos  
Board Trustee

*Executive Director*  
Mark S. Sanchez

*Website*  
www.abcwua.org

Scott Eddings  
Huitt-Zollars, Inc.  
333 Rio Rancho Blvd  
Rio Rancho, NM 87124

**RE: Water and Sanitary Sewer Availability Statement #190915R2  
Hotel at Winrock  
2100 Louisiana Blvd, NE**

Dear Mr. Eddings:

**Project Description:** The subject site is located on Winrock Town Center near Louisiana Blvd and Indian School Rd within the limits of the City of Albuquerque. The proposed development consists of approximately 1.89 acres and the property is currently zoned MX-H for Mixed – High. The property lies within the Pressure Zone 3E in the Freeway trunk. The request for availability indicates plans to develop an 82,500 square foot, five story hotel at Winrock Town Center.

**Statement Revision #2 2021:** This statement is being revised so that it matches the current master utility plan for this section of Winrock. This will effectively revert to the original statement in that the proposed hotel will be served by a private sewer main. The public sewer main running east-west, parallel to Indian School Road, has been removed from the overall project.

**Existing Conditions:** Water infrastructure in the area consists of the following:

- Eight-inch PVC distribution main (project #26-3524-88) along Winrock Loop, between proposed development and Chuze Fitness

Sanitary sewer infrastructure in the area consists of the following:

- Eight-inch PVC collector line (project #26-4553.82-17) along Winrock Loop, between Dave & Buster's and Chuze Fitness

**Water Service:** New metered water service to the property can be provided via routine connection to the existing main, north of the proposed development. Similarly, fire lines shall also connect to the mentioned main. Existing metered service and fire lines that will not be utilized are to be removed by shutting the valve near the distribution main and capping the line near the valve. For fire lines, the valve access shall be grouted and collar removed. Service is also contingent upon compliance with the Fire Marshal's instantaneous fire flow requirements. Water service will not be sold without adequate fire protection. Water service will only be sold in conjunction with sanitary sewer service.

**Sanitary Sewer Service:** Sanitary sewer service can be provided via routine connection to the existing eight-inch collector line west of the site. Private easement shall be granted as required for this connection. All food service establishments must install a grease trap upstream of the domestic private sewer connection prior to discharge into the public sanitary sewer lines.



**Fire Protection:** From the request for availability the instantaneous fire flow requirements for the project are 2,125 gallons-per-minute. As modeled using InfoWater™ computer software, the fire flow can be met. The analysis was done by modeling the flow at two representative nodes where the proposed fire lines will be connected along the eight-inch main.

Any changes to the proposed connection points shall be coordinated through Utility Development. All new required hydrants as well as their exact locations must be determined through the City of Albuquerque Fire Marshal's Office and verified through the Utility Development Office prior to sale of service.

Engineer is responsible for determining pressure losses and sizing of the private water line(s) downstream of the public water line to serve the proposed fire hydrants and/or fire suppression system.

**Cross Connection Prevention:** Per the Cross Connection Ordinance, all new non-residential premises must have a reduced pressure principle backflow prevention assembly approved by the Water Authority and installed at each domestic service connection at a location accessible to the Water Authority. All new fire line services to fire protection systems shall be equipped with a reduced pressure principle backflow prevention assembly approved by the Water Authority and Fire Marshal having jurisdiction at each service connection. A double check valve assembly approved by the Water Authority and Fire Marshal having jurisdiction may be installed instead of a reduced pressure backflow prevention assembly provided the fire protection system contains ANSI/NSF Standard 60 or 61 water piping throughout the entire fire protection system, the fire sprinkler drain discharges into atmosphere, and there are no reservoirs, fire department connections, connections from auxiliary water supplies, antifreeze nor other additives. The Water Authority requests that all backflow (containment) devices be located above ground just outside the easement or roadway right-of-way. Contact Cross Connection at 289-3454 for more information.

**Easements:** Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated rights-of-way. A minimum width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. Easements for standard sized water meters need to be five feet by five feet and include the length of the water service if located on private property. For larger meters that require a meter vault, a 35 by 35 foot easement is required. Actual easement widths may vary depending on the depth of the lines to be installed. Acceptable easements must be documented prior to approval of service.

**Pro Rata:** Pro Rata is not owed and the property can utilize the services available upon completion of the requirements of this statement to connect to water and sanitary sewer.

**Design and Construction** of all required improvements will be at the developer / property owner's expense. Improvements must be coordinated through the Water Authority Mini Work Order process. Construction must be performed by a licensed and bonded public utility contractor.

**Costs and Fees:** In addition to installation and construction costs, any new metered water services will be subject to both water and sanitary sewer Utility Expansion Charges (UEC) payable at the time of service application. All charges and rates

collected will be based on the ordinances and policies in effect at the time service is requested and authorized.

**Water Use:** All new commercial developments shall be subject to the requirements for water usage and water conservation requirements as defined by the Water Authority, particularly the Water Waste Ordinance. Where available, outdoor water usage shall utilize reclaimed water.

**Closure:** This availability statement provides a commitment from the Water Authority to provide services to the development, as long as identified conditions are met. It will remain in effect for a period of one year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at [kcadena@abcwua.org](mailto:kcadena@abcwua.org) if you have questions regarding the information presented herein or need additional information.

Sincerely,



Mark S. Sanchez  
Executive Director

Enclosures: Infrastructure Maps (2)  
f/ Availability Statement 190915R2

# 190915R2 - Water



## Legend

Project Location

Valve

Hydrant

## Pipe

### SUBTYPE

Distribution Line

Hydrant Leg

In Zone Transmission

Well Collector Line

0 380 760 Feet



Fire Flow Analysis Points

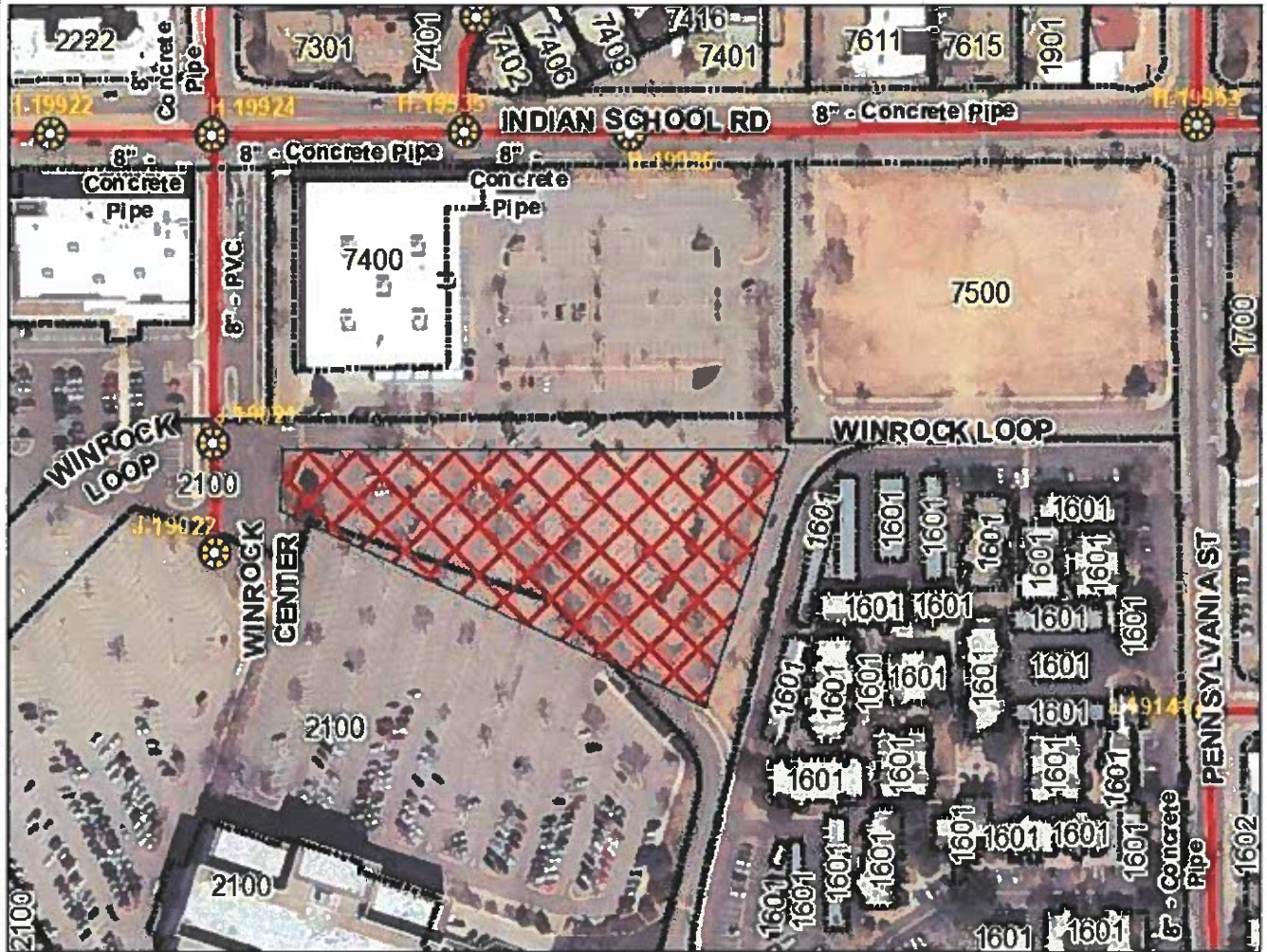
1 --- Analysis Point

2 --- Analysis Point



Water Utility  
Authority

# 190915R2 - Sanitary Sewer



## Legend

 Sewer Manhole

## Sewer Pipe

### SUBTYPE

 COLLECTOR

 Project Location

0 380 760 Feet

