



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	Policy Decisions
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> WTF Approval (Form W1)	<input checked="" type="checkbox"/> Site Plan – DRB (Form P2)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Subdivision of Land – Minor (Form S2)	<input type="checkbox"/> Annexation of Land (Form Z)
Decisions Requiring a Public Meeting or Hearing	<input type="checkbox"/> Subdivision of Land – Major (Form S1)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> Conditional Use Approval (Form ZHE)	<input type="checkbox"/> Vacation of Easement or Right-of-way (Form V)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Variance – DRB (Form V)	Appeals
<input type="checkbox"/> Expansion of Nonconforming Use or Structure (Form ZHE)	<input type="checkbox"/> Variance – ZHE (Form ZHE)	<input type="checkbox"/> Decision by EPC, LC, DRB, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: RHINO INVESTMENTS NM HOTEL, LLC	Phone: 209.581.8445
Address: 101 E. VINEYARD AVE. SUITE 201	Email: SANJIV@FITREPUBLIC.COM
City: LIVERMORE	State: CA
Zip: 94550	Professional/Agent (if any): EDI (ENVIRONMENTAL DYNAMICS, INC.) - KENT BEIERLE
Address: 142 TRUMAN ST NE	Phone: 505.242.2851
City: ALBUQUERQUE	State: NM
Zip: 87108	Email: KENT@EDI-ARCH.COM
Proprietary Interest in Site:	List all owners:

BRIEF DESCRIPTION OF REQUEST

REQUESTING CHANGE OF USE FOR HOTEL TO APARTMENTS, AND FOR WATERPARK TO FITNESS CENTER.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: 1, 2, 3 UNIT TOGETHER W/ 4, 5 & 6A UNIT	Block: 0000	Unit: 1 & 2
Subdivision/Addition: CARUSLE REPLAT UNIT 1	MRGCD Map No.:	UPC Code: 101705905518731030
Zone Atlas Page(s): H-17	Existing Zoning: MXM	Proposed Zoning: MXM
# of Existing Lots: 6	# of Proposed Lots: 6	Total Area of Site (acres): 11.07

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 2500 CARUSLE NE	Between: CARUSLE & PROSPECT	and: MENALL & 140
--------------------------------------	-----------------------------	-------------------

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature: [Signature] 1005234	Date: 2018.09.13
Printed Name: KENT BEIERLE	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees
Meeting/Hearing Date:	Fee Total:	
Staff Signature:	Date:	Project #

FORM P2: SITE PLAN – DRB

Please refer to the DRB public meeting schedules for hearing dates and deadlines. Your attendance is required.

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

☐ **INFORMATION REQUIRED FOR ALL SITE PLAN – DRB APPLICATIONS**

- ☒ Interpreter Needed for Hearing? No if yes, indicate language: _____
- ☐ Site Plan and related drawings (10 copies, 24" x 36" folded to fit into an 8.5" x 14" pocket)
- ☒ Letter of authorization from the property owner if application is submitted by an agent
- ☒ Zone Atlas map with the entire site clearly outlined and labeled

☒ **SITE PLAN – DRB**

☐ **MAJOR AMENDMENT TO SITE PLAN – DRB**

☐ **EXTENSION OF SITE PLAN – DRB Does not require Public Hearing**

- ☐ Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)
- ☐ Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)
- ☐ Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) (not required for Extension)
- ☐ Site Plan and related drawings reduced to 8.5" x 11" format (1 copy)
- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(G)(3)
- ☐ Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(O)
- ☐ *Note: If requesting more than allowed by deviation, a Variance – ZHE or Variance – DRB will be required, as applicable.*
- ☐ Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information (not required for Extension)
- ☐ Required notices with content per IDO Section 14-16-6-4(K)(6)
 - ☐ Office of Neighborhood Coordination inquiry response, notifying letter, and proof of first class mailing
 - ☐ Proof of emailed notice to applicable Neighborhood Association representatives
 - ☐ Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing
- ☐ Sign Posting Agreement
- ☐ Signed Traffic Impact Study (TIS) Form
- ☐ Completed Site Plan Checklist

☐ **FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC**

- ☐ Solid Waste Department signature on Site Plan
- ☐ Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- ☐ Approved Grading and Drainage Plan
- ☐ Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (not required for Master Development Plans)
- ☐ Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- ☐ Infrastructure List, if required

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: 

Date: 2018.09.13

Printed Name: KENT BEIERLE

☐ Applicant or ☒ Agent

FOR OFFICIAL USE ONLY

Project Number: _____

Case Numbers _____

Staff Signature: _____

Date: _____



Rhino Investments NM Hotel, LLC
101 E. Vineyard Ave. Suite 201
Livermore, CA 94550
209.581.8445

July 23, 2018

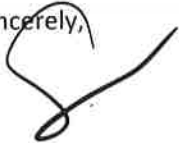
Ms. Kym Dicome, Chair.
Development Review Board
City of Albuquerque
600 2nd St. NW
Albuquerque, New Mexico 87102

RE: Hotel Wyndham Property Changes

Dear Ms. Dicome,

I hereby authorize Consensus Planning, Inc. to act as agent for all matters related to the Site Plan and planning actions through the City of Albuquerque related to the entitlement and development of Tracts 1, 2, and 3, Unit 1 together with Tracts 4 and 6A, Unit 2, Dale J. Bellamahs Carlisle Replat. Rhino Investments NM Hotel, LLC is the owner of the property.

Sincerely,

A handwritten signature in black ink, appearing to read "Sanjiv Chopra", with a stylized flourish at the end.

Sanjiv Chopra,
CEO
RHINO INVESTMENTS NM HOTEL LLC

Rhino Investments NM Hotel, LLC
101 E. Vineyard Ave. Suite 201
Livermore, CA. 94550
209.581.8445

April 20, 2018

City of Albuquerque
Planning Department
600 2nd St. NW
Albuquerque, NM 87103

RE: Hotel Wyndham Property Changes

Attention: City of Albuquerque Planning Department

To whom it may concern,

Please allow this letter to serve as formal notification that our Architect, Environmental Dynamics, Inc. (EDI) represented by Kent Beierle, Architect is hereby authorized to act as agent on behalf of RHINO INVESTMENTS NM HOTEL LLC in order to submit information and applications for any necessary planning and building actions needed for the above-referenced project.

Should you have any questions, please do not hesitate to contact me.

Sincerely,

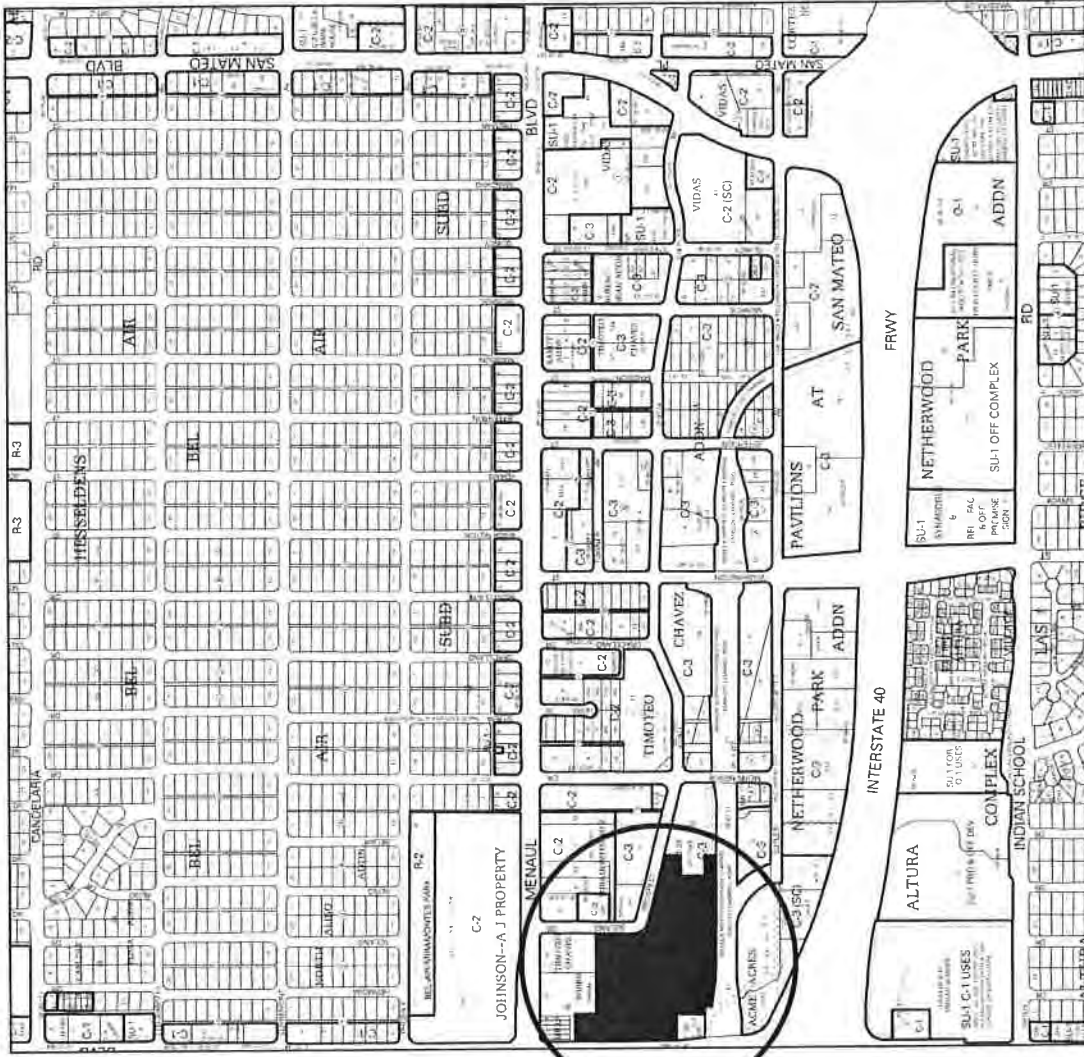


Sanjiv Chopra,

CEO

RHINO INVESTMENTS NM HOTEL LLC

SITE
2500 CARLISLE BLVD NE



AGIS
Albuquerque Geographic Information System

Map amended through: 1/28/2016

Zone Atlas Page:
H-17-Z

Selected Symbols

SECTOR PLANS: Design Overlay Zones, City Historic Zones, H-1 Buffer Zone, Well Overlay Zone

Escapment: 2 Mile Airport Zone, Airport Noise Contours

For more current information and details visit: <http://www.abq.gov/gis>

Scale: 0 750 1,500 Feet

PRE-APPLICATION REVIEW TEAM (PRT) DISCUSSION

NOTE: Pre-Application Discussion meetings are available to help applicants obtain information about procedures and requirements pertaining to their request. The interpretation of specific uses allowed in various zones is the responsibility of the Zoning Enforcement Officer, as provided for by the Zoning Code. Any Statements regarding zoning at the Pre-Application Discussion are not Certificates of Zoning. Also the discussions are for informational purposes only and they are non-binding and do not constitute any type of approval.

PA#: _____ Received By: G Delgado ^{Official Use only} Date: 6.14.18

Applicant Name: KENT BEIERLE Phone#: 505.242.2851 Email: KENT@EDI-ARCH.COM

APPOINTMENT DATE & TIME: 2018.06.26 @ 1:00PM

To schedule a PRT Discussion contact Geraldine Delgado in the Planning Department at 505.924.3860 or via-email at gdelgado@cabq.gov.

Applications are taken on a first come first serve basis. Once the completed application and the zone atlas page are submitted, you will be scheduled for the next available time slot. PRT Discussions occur weekly, every Monday & Tuesday afternoons, with five 30 minute time slots starting at 1:00pm.

BRIEFLY DESCRIBE YOUR REQUEST: (What do you plan to develop on this site?)

CONVERSION OF HOTEL (ABORTION) TO APARTMENTS. ALSO PROPERTY WILL BE SUBDIVIDED. SOME MIXED USE COMMERCIAL. WE NEED TO DETERMINE THE NEXT BEST COURSE OF ACTION (AA SITE PLAN OR DAB....)

PLEASE RESPOND TO THE FOLLOWING QUESTIONS:

Size of Site: 11.1 A Existing Zoning: C2/C3 Proposed Zoning: C2

Previous zone change or site plan approval case number(s) for this site: #1005234

Applicable Area or Sector Plans: _____

Residential: Type and No. of Units Proposed: TBD < 170

Commercial: Estimated building square footage: 25,000 No. of Employees: TBD

LOCATION OF REQUEST:

Physical Address: 2500 CARLISLE NE Zone Atlas Page (Please identify the subject site on the map and attach) #16 H.17

LIST ANY QUESTIONS OR CONCERNS YOU HAVE REGARDING THIS REQUEST: (Please be specific so our staff can do the appropriate research.)

WE NEED TO DETERMINE NEXT BEST COURSE OF ACTION FOR SITE PLAN APPROVAL.
I WOULD ALSO LIKE TO DETERMINE SIGNAGE REQUIREMENTS ASSUMING SUBDIVISION OF PROPERTY. ANY OTHER POSSIBLE ISSUES (SOLID WASTE, TRAFFIC, BUILDING SAFETY) COULD BE EXPLORED IF THERE IS TIME.

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 18-176 Date: 06-26-2018 Time: 1:00 pm

Address: 2500 Carlisle NE

NOTES:

- Just completed zone change
- Use change & subdivision
- Surveyor marking on subdivision of property to clear lot line adequate parking for intended use.
- 3 Buildings - 3 parcels

- 1) Hotel 2 - apartments
- 2) Hotel 1 - hotel
- 3) Water Park

- Change of use from hotel to residential

- Hotel - 1 space per guest room - some of the rooms combining
- Apartments - 1.5 per unit

[IDO Section 6-5(6)(1)(C)]

- Once plat is completed and if under 100 units [↓] could go Admin
- However since over 100 units, DRB required
- separate process from existing - can do prior to plat

- IDO offer meeting to NA - Midtown Merchants
- NA has 15 days to respond - then meeting within 30 days
- DRB - 3 weeks out

Signage - each parcel can have own signage
off-premise sign percentage
include on Site Plan

Traffic -

Revisions?

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 18-176 Date: 06-26-2018 Time: 1:00pm

Address: 2500 Carlisle NE

AGENCY REPRESENTATIVES AT MEETING:

Planning: Cheryl Somerville

Code Enforcement: Ricardo Valpando

Fire Marshall: Eric

Transportation: _____

Other: _____

PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY!

THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL..

Additional research may be necessary to determine the exact type of application and/or process needed.

Factors unknown at this time and/or thought of as minor could become significant as the case progresses.

REQUEST: Apartments - Converting existing building

SITE INFORMATION:

Zone: MX-M Size: 11 acres / 25,000 sf / 170 units converting

Use: Permitted p130 Overlay Zone: NO

Comp Plan Area Of: Change Comp Plan Corridor: _____

Comp Plan Center: _____ MPOS or Sensitive Lands: _____

Parking: 14.16.5.5 MR Area: _____

Landscaping: 14.16.5.6 Street Trees: _____

Use Specific Standards: _____

Dimensional Standards: _____

*Neighborhood Organization/s: _____

*This is preliminary information only. Neighborhood Organization information is only accurate when obtained from the Office of Neighborhood Coordination (ONC) at www.cabq.gov/neighborhoods/resources.

PROCESS:

Type of Action: Site Plan

Review and Approval Body: DRB Is this PRT a requirement? YES

Notice fully advertised per Table 6-1 § 14.16.6.4(K)

James Foty

From: Malak Hakim
Sent: Monday, August 13, 2018 10:19 AM
To: James Foty
Subject: FW: Neighborhood Meeting Inquiry_2500 Carlisle_DRB
Attachments: 01-2018-04-23_zone atlas w site.pdf; Neighborhood Meeting Inquiry_2500 Carlisle_DRB.xlsx; Neighborhood Mtg Inq Instruction Sheet_5_21_18.pdf

Malak Hakim, AICP

From: Kent Beierle <kent@edi-arch.com>
Sent: Monday, July 23, 2018 5:47 PM
To: Malak Hakim <hakim@consensusplanning.com>
Cc: Jim Strozier <cp@consensusplanning.com>
Subject: FW: Neighborhood Meeting Inquiry_2500 Carlisle_DRB

Hi Guys,

This is redundant at this point, but I figured I would copy you on the correspondence so everything is formal.

Thank you,

Kent Beierle, Principal
Architect
CO# 402108, NM# 005188, FL# AR98785



"Tell me and I forget. Teach me and I remember. Involve me and I learn." - Benjamin Franklin

From: Quevedo, Vicente M. <vquevedo@cabq.gov>
Sent: Monday, July 23, 2018 3:25 PM
To: Kent Beierle <kent@edi-arch.com>
Subject: Neighborhood Meeting Inquiry_2500 Carlisle_DRB

Kent,

Good afternoon. See list of affected associations below and attached related to your upcoming Neighborhood Meeting. Please also review the attached instruction sheet.

Association Name	First Name	Last Name	Email	Address Line 1
MidTown A&E Merchant Association	Bryan	Pletta	bryan@stoneageclimbinggym.com	4130 Cutler Avenue NE
MidTown A&E Merchant Association	Mary	Tarango	mtarango@21stcenturypa.com	4300 Cutler Avenue NE

Respectfully,

Vicente M. Quevedo, MCRP

Neighborhood Liaison

Office of Neighborhood Coordination

City of Albuquerque – City Council

(505) 768-3332

Website: www.cabq.gov/neighborhoods



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From: webmaster=cabq.gov@mailgun.org [<mailto:webmaster=cabq.gov@mailgun.org>] **On Behalf Of** ISD WebMaster

Sent: Friday, July 20, 2018 1:06 PM

To: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Neighborhood Meeting Inquiry Sheet Submission

Neighborhood Meeting Inquiry For:

Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Kent Beierle

Telephone Number

505-242-2851

Email Address

kent@edi-arch.com

Company Name

EDI

Company Address

142 Truman St NE Suite A1

City

Albuquerque

State

NM

ZIP

87107

Legal description of the subject site for this project:

Physical address of subject site:

2500 Carlisle Blvd. NE

Subject site cross streets:

Carlisle & Menaul

Other subject site identifiers:

Hotel Wyndham + water park

This site is located on the following zone atlas page:

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Phone
MidTown A&E Merchant Association	Bryan	Pletta	bryan@stoneageclimbingym.com	4130 Cutler Avenue NE	Albuquerque	NM	87110	5053412016
MidTown A&E Merchant Association	Mary	Tarango	mtarango@21stcenturyapa.com	4300 Cutler Avenue NE	Albuquerque	NM	87110	5052540280

James Foty

From: Jim Strozier
Sent: Tuesday, July 24, 2018 11:58 AM
To: 'mtarango@21stcenturypa.com'; 'bryan@stoneageclimbinggym.com'
Cc: 'Kent Beierle'; Malak Hakim; 'Vos, Michael J.'
Subject: Pre-Application Notice - Site Plan DRB
Attachments: 01-2018-04-23_zone atlas w site.pdf

Tracking:	Recipient	Delivery	Read
	'mtarango@21stcenturypa.com'		
	'bryan@stoneageclimbinggym.com'		
	'Kent Beierle'		
	Malak Hakim	Delivered: 7/24/2018 11:58 AM	Read: 7/24/2018 12:18 PM
	'Vos, Michael J.'		

July 24, 2018

Mary Tarango
4300 Cutler Avenue NE
Albuquerque, NM 87110

Bryan Pletta
4130 Cutler Avenue NE
Albuquerque, NM 87110

Dear Ms. Tarango, Mr. Pletta, and the MidTown A&E Merchant Association:

This email is notification that Consensus Planning is preparing an application for a Site Development Plan for Building Permit to the Development Review Board (DRB), on behalf of Rhino Investments NM Hotel, LLC. The site is located north of Interstate 40, along Carlisle Boulevard. The existing zoning is MX-M. The applicant is proposing to convert a portion of the existing hotel to apartments and the current water park into a fitness center.

Please note, your Association may request a meeting regarding this project by replying to this email at cp@consensusplanning.com, or by phone at (505) 764-9801. A meeting request must be received by August 8, 2018 and the meeting must be scheduled within 30 days of the request.

Sincerely,

James K. Strozier, FAICP
Principal

Attached: Zone Atlas Map H-17-Z

James Foty

From: Quevedo, Vicente M. <vquevedo@cabq.gov>
Sent: Tuesday, August 14, 2018 3:19 PM
To: James Foty
Subject: Public Notice Inquiry_2500 Carlisle Blvd NE_DRB
Attachments: 01-2018-04-23_zone atlas w site.pdf; Public Notice Inquiry_2500 Carlisle Blvd NE_DRB.xlsx; Public Notice Inquiry Instruction Sheet_7_31_18.pdf

James,

See list of affected associations below and attached related to your DRB submittal. Please also review the attached instruction sheet. Thank you.

Association Name	First Name	Last Name	Email	Address Line 1
MidTown A&E Merchant Association	Bryan	Pletta	bryan@stoneageclimbinggym.com	4130 Cutler Avenue NE
MidTown A&E Merchant Association	Mary	Tarango	mtarango@21stcenturypa.com	4300 Cutler Avenue NE

Respectfully,

Vicente M. Quevedo, MCRP

Neighborhood Liaison

Office of Neighborhood Coordination

City of Albuquerque – City Council

(505) 768-3332

Website: www.cabq.gov/neighborhoods



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From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** ISD WebMaster

Sent: Monday, August 13, 2018 9:36 AM

To: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:

Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

James Foty

Telephone Number

5057649801

Email Address

foty@consensusplanning.com

Company Name

Consensus Planning, Inc.

Company Address

302 Eighth St NW, Ervien Lane SW near Coors Boulevard SW

City

Albuquerque

State

NM

ZIP

87102

Legal description of the subject site for this project:

Tracts 1, 2, and 3, Unit 1 together with Tracts 4 and 6A, Unit 2, Dale J. Bellamahs Carlisle Replat

Physical address of subject site:

2500 Carlisle Boulevard NE

Subject site cross streets:

I-40

Other subject site identifiers:

Menaul Boulevard NE

This site is located on the following zone atlas page:

H-17-Z

=====
This message has been analyzed by Deep Discovery Email Inspector.

September 13, 2018

Mary Tarango
4300 Cutler Avenue NE
Albuquerque, NM 87110

Bryan Pletta
4130 Cutler Avenue NE
Albuquerque, NM 87110

Dear Ms. Tarango, Mr. Pletta, and the MidTown A&E Merchant Association:

This letter is notification that Environmental Dynamic, Incorporated has submitted a request for approval of a Site Development Plan to the Development Review Board (DRB) on behalf of Rhino Investments NM Hotel, LLC.

The site is located at 2500 Carlisle Boulevard NE between I-40 and Menaul Boulevard NE. The existing zoning is MX-M. The applicant is proposing to convert a portion of the existing hotel to apartments and the current water park into a fitness center. The DRB hearing for this application will be held on October 10, 2018 beginning at 9:00 a.m. at the Plaza del Sol Building, located at 600 2nd Street NW.

Please do not hesitate to contact me if you have any questions, would like to meet, or desire any additional information. Please note, your association may request a Facilitated Meeting regarding this project by contacting the Planning Department by email at devhelp@cabq.gov or by phone at (505) 924-3955. Per IDO Section 14-16-6-6-4(D)(2), "If a facilitated meeting is required by the City, the City shall assign a facilitator, who shall attempt to schedule the facilitated meeting within 15 consecutive days. The meeting shall occur within a period of 7 consecutive days prior to the next scheduled hearing or meeting of the decision-making body."

Kent Beierle, Principal
Architect

Attached: Zone Atlas Map H-17



Certificate Of Mailing

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mail. This form may be used for domestic and international mail.

From:

CONSENSUS PLANNING
302 EIGHTH ST. NW
ALBUQUERQUE, NM 87102

To:

Bryan Pletta
Midtown A&E Merchant Association
4130 Cutler Avenue NE
Albuquerque, NM 87110

PS Form 3817, April 2007 PSN 7530-02-000-9065



1000



Certificate Of Mailing

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing. This form may be used for domestic and international mail.

From:

CONSENSUS PLANNING
302 EIGHTH ST. NW
ALBUQUERQUE, NM 87102

To:

Mary Tarango
Midtown A&E Merchant Association
4300 Cutler Avenue NE
Albuquerque, NM 87110

PS Form 3817, April 2007 PSN 7530-02-000-9065

U.S. POSTAGE PAID
FCM LETTER
ALBUQUERQUE, NM
87101
SEP 13 18
AMOUNT
\$1.40
R2305P1 50071-20



Property Owner Buffer Map

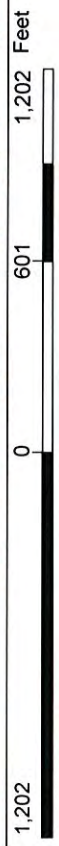
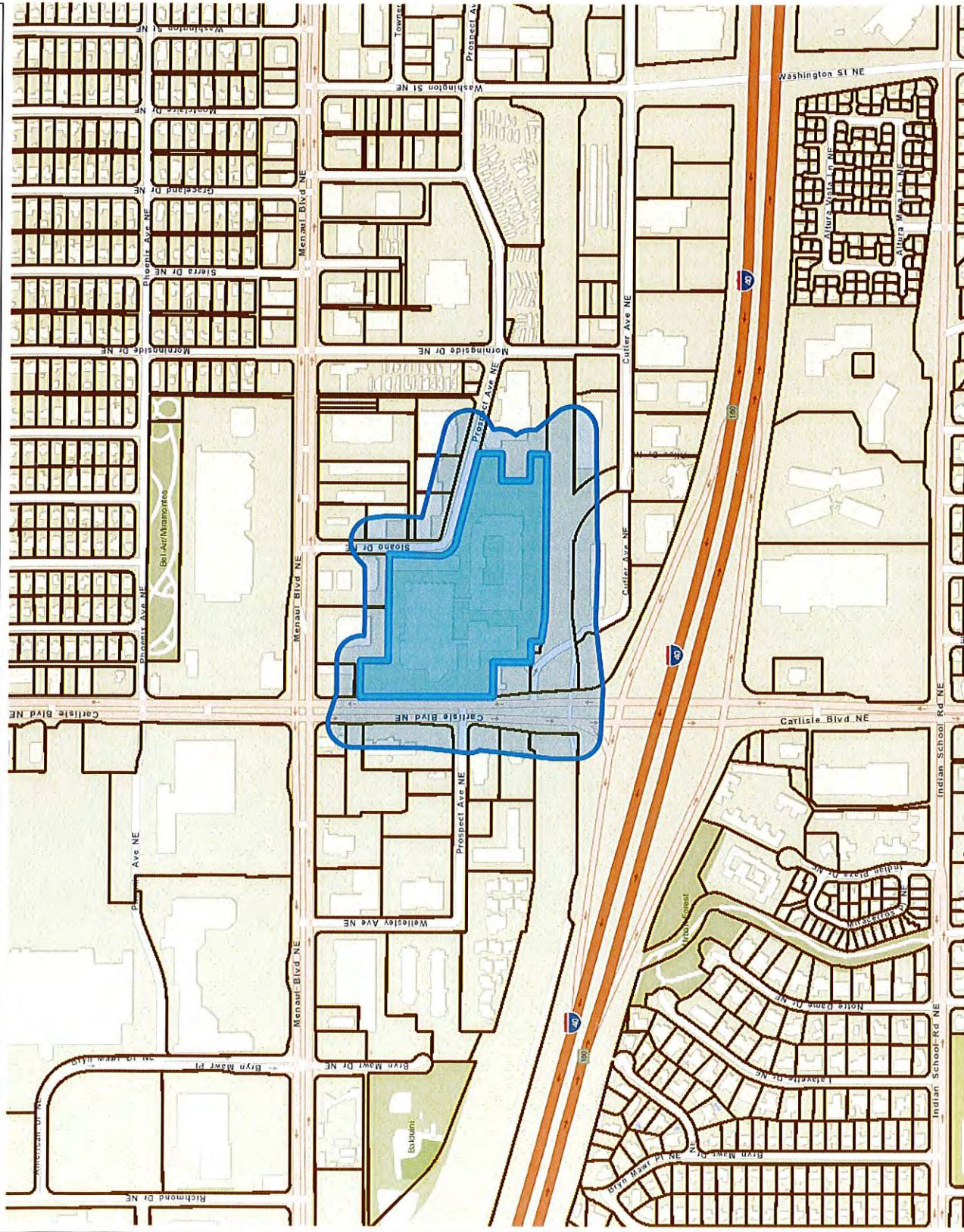


Legend

- Bernalillo County Parcels
- Municipal Limits
 - Corrales
 - Edgewood
 - Los Ranchos
 - Rio Rancho
 - Tijeras
 - UNINCORPORATED
- World Street Map

Notes

Prepared by Consensus Planning,
8-13-2018



WGS_1984_Web_Mercator_Auxiliary_Sphere
8/13/2018
© City of Albuquerque

1: 7,213

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Owner	Owner Address	Owner Address 2	SITUS Address	SITUS Address 2	Legal Description
NEW MEXICO STATE POLICE BOARD C/O FACILITY MANAGEMENT DIVISION BLAKES LOTABURGER LLC	PO BOX 6850 3205 RICHMOND DR NE	SANTA FE NM 87502-6850	2501 CARLISLE NE	ALBUQUERQUE NM 87107	TRACT C-1, PLAT FOR JOSEPH REALTY PARCELS A-1, A-2, C-1 & C-2, EXCEPT AN EASTERLY PORTION TO R/W CONT. 1.68 AC. TR A-1-B PLAT FOR TRS A-1-A, A-1-B & A-2-A BLK 24 & 26 TIMOTEO CHAVEZ ADDN CONT 0.9250 AC M/L OR 40,293 SQ FT M/L TIMOTEO CHAVEZ ADD E 150 FT OF W350FT TR D THE NORTHERLY 295.60FT OF TRACT B TIMOTEO CHAVEZ ADDN TIMOTEO CHAVEZ E 241.19 OF TR D TR 6B UNIT 2 REPL TR 6 UNIT 2 DALE J BELLAHMAH'S CARLISLE REPL CONT
SMITH JOSEPH P TRUSTEE SMITH RVT CRANDELL LEROY D TRUSTEE CRANDELL LIVING TRUST 4121 PROSPECT LLC WELL-PROP LLC C/O THOMSON PROPERTY TAX SERV	9220 BARSTOW ST NE 9531 GIDDINGS AVE NE 9303 DANA CT NE PO BOX 847	ALBUQUERQUE NM 87122 ALBUQUERQUE NM 87109 ALBUQUERQUE NM 87122 CARLSBAD CA 91203	4119 PROSPECT AV NE 3636 MENAUL BLVD NE 100 4121 PROSPECT AV NE 4100 PROSPECT AVE NE	ALBUQUERQUE NM 87110 ALBUQUERQUE NM 87110 ALBUQUERQUE NM 87110 ALBUQUERQUE NM 87110	LOT A-1 OF REPLAT OF TR A MIRAMONTES SUBD #2 TRACT D-1 PLAT OF TRACT D-1 TIMOTEO CHAVEZ ADDN CONT 0.6077AC M/L OR 26,471 SQ FT M/L PARCEL A AMAFCA NORTH DIVERSION CHANNEL EMBUDO CHANNEL DRAINAGE RIGHT-OF-WAY PHASE 3 CONT 18.5401 AC M/L TRACT A-1-A CORRECTION PLAT SHOWING TRACTS A-1-A, ANDA-1-B, ACME ACRES CONT 2.7492 AC PARCEL B-1 PLAT OF RIGHT-OF-WAY PARCEL B-1 A.M.A.F.C.A NORTH DIVERSION CHANNEL EMBUDO CHANNEL DRAINAGE RIGHT-OF-WAY PHASE3 CONT 4.4509 OR 193,883 SF LOT 22A BLK 22 PLAT OF LT 22A BLK 22 TIMOTEO CHAVEZ ADDITION CONT 21,641 SQ FT +- LTS 1 THRU 6 MILLS AND BOREN SUBDIVISION CONT .5048 AC E/LY POR OF BLK O TIMOTEO CHAVEZ ADDITION & POR OF VACMORNINGSIDE CT NE CONT 1.4674 AC +/- TRS 1, 2, & 3 UNIT 1 TOGETHER WITH TRS 4, 5 & 6A UNIT 2DALE J. BELLAMAH'S CARLISLE REPLAT CONT 11.0727 AC *A-2-1 REPLAT OF TRS A-2 & B MIRAMONTES SUBD #2 CONT 0.6047AC M/L
ZRITE INC C/O BOBBY J MERRITT RAHMAN OMAR	750 N 17TH ST 3821 MENAUL BLVD NE	LAS CRUCES NM 88005-4153 ALBUQUERQUE NM 87110-2831	3800 MENAUL NE 4111 PROSPECT NE	ALBUQUERQUE NM 87110 ALBUQUERQUE NM 87110	
AMAFCA	2600 PROSPECT AVE NE PO BOX 35547	ALBUQUERQUE NM 87107-1836 TULSA OK 74153-0547	MENAUL BLVD NE 2300 CARLISLE BLVD NE	ALBUQUERQUE NM 87106 ALBUQUERQUE NM 87110	
NICKEL & COMPANY LLC	2600 PROSPECT AVE NE	ALBUQUERQUE NM 87107-1836	N/A	ALBUQUERQUE NM 87110	
AMAFCA					
KHOLWAD DINESH & ASHA D ETAL	2412 CARLISLE BLVD NE	ALBUQUERQUE NM 87110	2412 CARLISLE BLVD NE	ALBUQUERQUE NM 87110	
BOREN 2536 LLC KESHET DANCE COMPANY	11400 SANTA MONICA DR NE 214 COAL AVE SW	ALBUQUERQUE NM 87122 ALBUQUERQUE NM 87102	2536 CARLISLE BLVD NE 4121 CUTLER NE	ALBUQUERQUE NM 87110 ALBUQUERQUE NM 87110	
RHINO INVESTMENTS NM HOTEL LLC ATTN: MR SANJIV CHOPRA	101 E VINEYARD AVE SUITE 201	LIVERMORE CA 94550-6374	2500 CARLISLE NE	ALBUQUERQUE NM 87110	
HOLDING PLACE LLC C/O TOM & MINDY STYER	1685 HOLLANDER CT	MARIETTA GA 30066-8019	2500 SOLANO DR NE	ALBUQUERQUE NM 87110	
DERICKSON WENDELL W CAL-TEX PROP GREEN JEANS LLC	3929 HERMOSA DR NE 2151 PROFESSIONAL DR SUITE 200 2929 MONTE VISTA BLVD NE	ALBUQUERQUE NM 87110-1009 ROSEVILLE CA 95661-3761 ALBUQUERQUE NM 87106	N/A 3900 MENAUL BLVD NE 3600 CUTLER AV NE	ALBUQUERQUE NM 87110 ALBUQUERQUE NM 87110 ALBUQUERQUE NM 87107	PORT OF BLKS N & O TIMOTEO CHAVEZ ADDN (AKA N-19A-7A) CONT 0.0440 AC OR 1.917 SF TRACT 'C' AMENDED MIRAMONTES SUBD #2 TR A-1-B-1 PLAT OF TRS A-1-B-1, A-1-B-2 AND A-1-B-3, ACMEACRES CONT. 1.4958 AC PARCEL B-1 PLAT FOR JOSEPH REAY TR PARCELS B-1 & B-2 CONT 16,483 SQ FT +/- 0.3784 AC +/- TRACT A-1-A PLAT FOR TRACT A-1-A, A-1-B & A-2-A BLOCK 24 & 26 TIMOTEO CHAVEZ ADDN EXCEPT EASTERLY PORTION OUT TOROW CONT .8963 AC
RABADI SHARIF A & SAMIA TRUSTEES STAR TRUST	11201 SAN ANTONIO DR NE	ALBUQUERQUE NM 87122-1049	3520 MENAUL BLVD NE	ALBUQUERQUE NM 87107	
NATIVE LAND INVESTMENTS LTD	1514 S FM 620 RD	LAKEWAY TX 78734-6210	2321 CARLISLE NE	ALBUQUERQUE NM 87107	
MALORI ALBUQUERQUE LLC C/O WALGREENS 44958	PO BOX 901	DEERFIELD IL 60015	3632 MENAUL BLVD NE	ALBUQUERQUE NM 87110	
NEW MEXICO STATE POLICE BOARD	PO BOX 1628	SANTA FE NM 87501-1628	CARLISLE BLVD NE	ALBUQUERQUE NM 87107	TR Z-1 PLAT OF TR Z-1 MILLS & BOREN SUBD CONT 1.6600 AC LT A-1-B PLAT OF LTS A-1-A & A-1-B JOSEPH REAY TRCONT 1.3574 AC

September 13, 2018

Dear Property Owner:

NOTICE OF PUBLIC HEARING

Notice is hereby given that the City of Albuquerque Development Review Board (DRB) will hold a **Public Hearing on Wednesday, October 10, 2018 beginning at 9:00 a.m.**, in the Plaza del Sol Hearing Room, Lower Level, Plaza del Sol building, 600 2nd St. NW, Albuquerque, NM to consider the following item.

DRB RULES OF PROCEDURE

A copy of the Rules of Procedure is posted on the Planning Department's website at www.cabq.gov/planning/boards-commissions/development-review-board and printed copies are available in the Planning Department office on the third floor of the Plaza del Sol Building, 600 Second Street NW. For more information, please contact Russell Brito, Division Manager of the Urban Design and Development Division, at (505) 924-3337 or at rbrito@cabq.gov.

Supplemental materials are posted on the City website,
<https://www.cabq.gov/planning/boards-commissions/development-review-board>.

REQUEST

Environmental Dynamics, Incorporated, agent for Rhino Investments NM Hotel, LLC, request approval of a Site Development Plan for the property located at 2500 Carlisle Boulevard NE, between I-40 and Menaul Boulevard NE. The site is legally described as *Tracts 1, 2, 3, 4, and 6A, Units 1 and 2, Dale J. Bellamah's Carlisle Replat*. The site is currently zoned MX-M: Mixed Use – Moderate Intensity. The applicant's request is for approval of a Site Plan to accommodate a conversion of a portion of the existing hotel to apartments and converting the current water park into a fitness center.

If you have questions or need additional information regarding this request please contact Russell Brito, Division Manager of the Urban Design and Development Division, at (505) 924-3337 or at rbrito@cabq.gov.

Sincerely,

Environmental Dynamics, Inc.

Enclosed: Zone Atlas Map H-17



Certificate Of Mail

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From: **CONSENSUS PLANNING**
302 EIGHTH ST. NW
ALBUQUERQUE, NM 87102

To: **BOREN 2536 LLC**
11400 SANTA MONICA DR NE
ALBUQUERQUE, NM 87122

PS Form 3817, April 2007 PSN 7530-02-000-9065

\$1.40
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From: **CONSENSUS PLANNING**
302 EIGHTH ST. NW
ALBUQUERQUE, NM 87102

To: **CRANDELL LEROY D TRUSTEE**
CRANDELL LIVING TRUST
9531 GIDDINGS AVE NE
ALBUQUERQUE, NM 87109

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From: **CONSENSUS PLANNING**
302 EIGHTH ST. NW
ALBUQUERQUE, NM 87102

To: **NICKEL & COMPANY LLC**
PO BOX 35547
TULSA, OK 74153-0547

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302 EIGHTH ST. NW
ALBUQUERQUE, NM 87102

To: **NEW MEXICO STATE POLICE BOARD**
C/O FACILITY MANAGEMENT DIVISION
PO BOX 6850
SANTA FE, NM 87502-6850

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From: **CONSENSUS PLANNING**
302 EIGHTH ST. NW
ALBUQUERQUE, NM 87102

To: **ZRITE INC**
C/O BOBBY J MERRITT
750 N 17TH ST
LAS CRUCES, NM 88005-4153

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From:

CONSENSUS PLANNING
302 EIGHTH ST. NW
ALBUQUERQUE, NM 87102

To:

GREEN JEANS LLC
2929 MONTE VISTA BLVD NE
ALBUQUERQUE, NM 87106

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From:

CONSENSUS PLANNING
302 EIGHTH ST. NW
ALBUQUERQUE, NM 87102

To:

RAHMAN OMAR
3821 MENAUL BLVD NE
ALBUQUERQUE, NM 87110-2831

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From:

CONSENSUS PLANNING
302 EIGHTH ST. NW
ALBUQUERQUE, NM 87102

To:

HOLDING PLACE LLC C/O TOM &
MINDY STYER
1685 HOLLANDER CT
MARIETTA, GA 30066-8019

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From:

CONSENSUS PLANNING
302 EIGHTH ST. NW
ALBUQUERQUE, NM 87102

To:

4121 PROSPECT LLC
9303 DANA CT NE
ALBUQUERQUE, NM 87122

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From:

CONSENSUS PLANNING
302 EIGHTH ST. NW
ALBUQUERQUE, NM 87102

To:

BLAKES LOTABURGER LLC
3205 RICHMOND DR NE
ALBUQUERQUE, NM 87107-1922

PS Form 3817, April 2007 PSN 7530-02-000-9065

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From:
— CONSENSUS PLANNING
— 302 EIGHTH ST. NW
— ALBUQUERQUE, NM 87102

To:
SMITH JOSEPH P TRUSTEE SMITH RVT
9220 BARSTOW ST NE
ALBUQUERQUE, NM 87122

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From:
— CONSENSUS PLANNING
— 302 EIGHTH ST. NW
— ALBUQUERQUE, NM 87102

To:
— RABADI SHARIF A & SAMIA TRUSTEES
— STAR TRUST
— 11201 SAN ANTONIO DR NE
— ALBUQUERQUE, NM 87122-1049

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From:
— CONSENSUS PLANNING
— 302 EIGHTH ST. NW
— ALBUQUERQUE, NM 87102

To:
— DERICKSON WENDELL W
— 3929 HERMOSA DR NE
— ALBUQUERQUE, NM 87110-1009

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From:
— CONSENSUS PLANNING
— 302 EIGHTH ST. NW
— ALBUQUERQUE, NM 87102

To:
— KESHET DANCE COMPANY
— 214 COAL AVE SW
— ALBUQUERQUE, NM 87102

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From:
— CONSENSUS PLANNING
— 302 EIGHTH ST. NW
— ALBUQUERQUE, NM 87102

To:
— AMAFECA
— 2600 PROSPECT AVE NE
— ALBUQUERQUE, NM 87107-1836

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From:

CONSENSUS PLANNING
302 EIGHTH ST. NW
ALBUQUERQUE, NM 87102

To:

NATIVE LAND INVESTMENTS LTD
1514 S FM 620 RD
LAKEWAY, TX 78734-6210

PS Form 3817, April 2007 PSN 7530-02-000-9065

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From:

CONSENSUS PLANNING
302 EIGHTH ST. NW
ALBUQUERQUE, NM 87102

To:

NEW MEXICO STATE POLICE BOARD
PO BOX 1628
SANTA FE NM, 87501-1628

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From:

CONSENSUS PLANNING
302 EIGHTH ST. NW
ALBUQUERQUE, NM 87102

To:

CAL-TEX PROP
2151 PROFESSIONAL DR SUITE 200
ROSEVILLE, CA 95661-3761

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From:

CONSENSUS PLANNING
302 EIGHTH ST. NW
ALBUQUERQUE, NM 87102

To:

WELL-PROP LLC
C/O THOMSON PROPERTY TAX SERV
PO BOX 847
CARLSBAD, CA 91203

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From:

CONSENSUS PLANNING
302 EIGHTH ST. NW
ALBUQUERQUE, NM 87102

To:

KHOLWAD DINESH & ASHA D ETAL
2412 CARLISLE BLVD NE
ALBUQUERQUE, NM 87110

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From **CONSENSUS PLANNING**
302 EIGHTH ST. NW
ALBUQUERQUE, NM 87102

To: **MALORI ALBUQUERQUE LLC**
C/O WALGREENS 44958
PO BOX 901
DEERFIELD, IL 60015

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-87101
-P 13, 18
AMOUNT





Tim Keller, Mayor
Sarita Nair, CAO

City of Albuquerque
P.O. Box 1293 Albuquerque, NM 87103
Planning Department
David S. Campbell, Director

DATE: July 27, 2018

SUBJECT: Albuquerque Archaeological Ordinance - Compliance Documentation

Case Number(s):

Agent: Consensus Planning, Inc.

Applicant: Rhino Investments NM Hotel, LLC

Legal Description: Tracts 1, 2, 3, Unit 1 together with Tracts 4 and 6A, Unit 2 Dale J. Bellamah Carlisle Replat

Zoning: MX-M and NR-C

Acreage: 11.07

Zone Atlas Page(s): H-17-Z

CERTIFICATE OF NO EFFECT: ☒ Yes ☐ No

CERTIFICATE OF APPROVAL: ☐ Yes ☒ No

SUPPORTING DOCUMENTATION:

SITE VISIT: Not Required

RECOMMENDATIONS:

CERTIFICATE OF NO EFFECT ISSUED - ref O-07-72 Section 4B(2): property has been disturbed through previous land use/development

SUBMITTED BY:

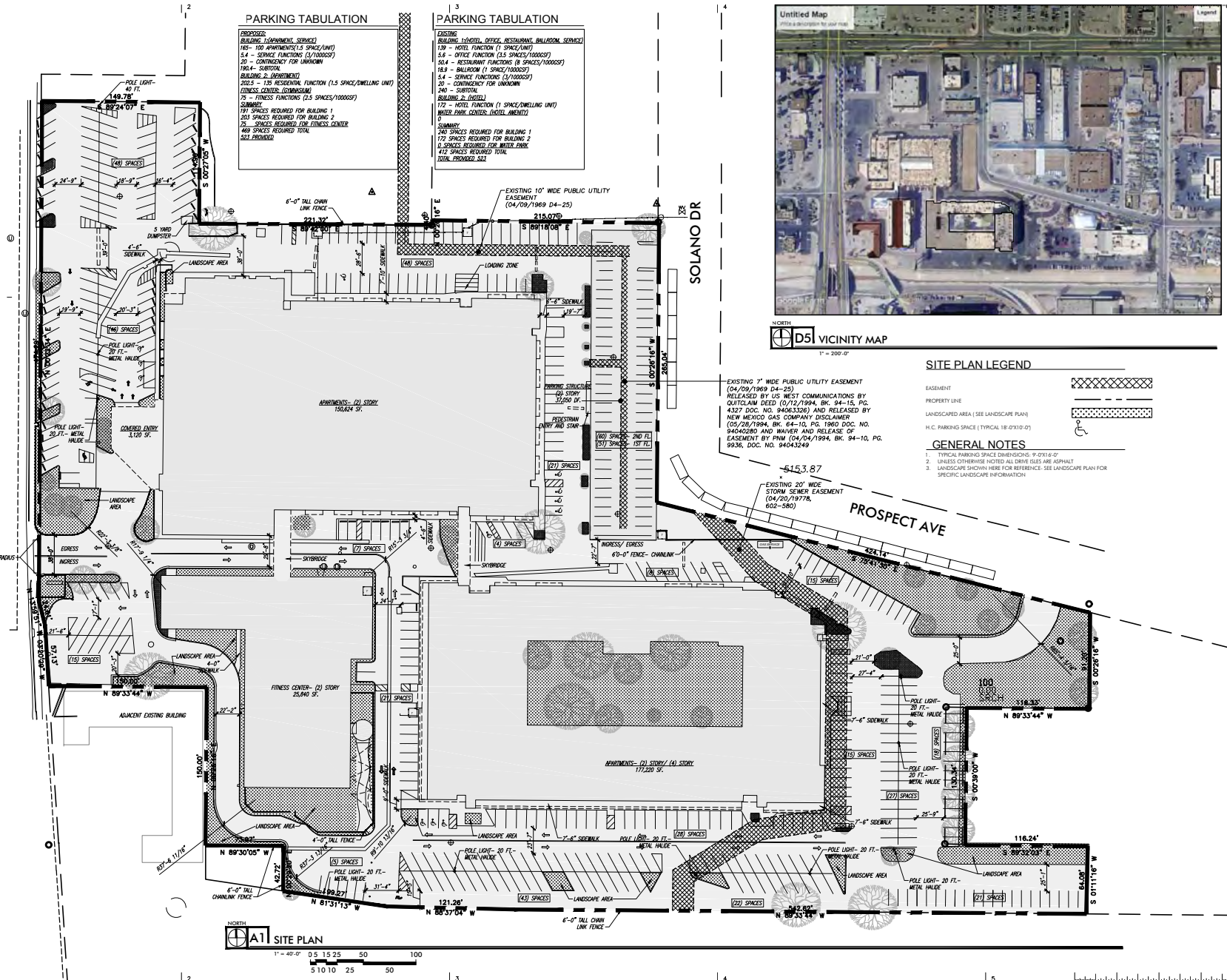
Ethan Kalosky, MA
Cultural Resource Specialist
Acting City Archaeologist
Parametrix

7/27/18
Date

SUBMITTED TO:

Russell Brito, Planning Manager
City of Albuquerque Planning Department

CARLISLE BLVD



PARKING TABULATION

PROPOSED:
BUILDING 1 (APARTMENTS) (1.5 SPACE/UNIT)
185 - 100 APARTMENTS (1.5 SPACE/UNIT)
5.4 - SERVICE FUNCTIONS (1.5 SPACE/1000SF)
20 - CONTINGENCY FOR UNKNOWN
180.4 - SUBTOTAL
BUILDING 2 (HOTEL/RESTAURANT)
202.5 - 135 RESIDENTIAL FUNCTION (1.5 SPACE/DWELLING UNIT)
LINDSEY CENTER (CONDOMINIUM)
25 - FITNESS FUNCTIONS (1.5 SPACE/1000SF)
SUMMARY:
181 SPACES REQUIRED FOR BUILDING 1
203 SPACES REQUIRED FOR BUILDING 2
25 SPACES REQUIRED FOR FITNESS CENTER
409 SPACES REQUIRED TOTAL
503 PROVIDED

PARKING TABULATION

EXISTING:
BUILDING 1 (HOTEL, OFFICE, RESTAURANT, BALLROOM, SERVICE)
139 - HOTEL FUNCTION (1 SPACE/UNIT)
5.4 - OFFICE FUNCTION (1.5 SPACE/1000SF)
50.4 - RESTAURANT FUNCTIONS (1.5 SPACE/1000SF)
18.9 - BALLROOM (1 SPACE/1000SF)
5.4 - SERVICE FUNCTIONS (1.5 SPACE/1000SF)
30 - CONTINGENCY FOR UNKNOWN
240 - SUBTOTAL
BUILDING 2 (HOTEL)
172 - HOTEL FUNCTION (1 SPACE/DWELLING UNIT)
WATER PARK CENTER (HOTEL AMENITY)
5 - SUBTOTAL
SUMMARY:
240 SPACES REQUIRED FOR BUILDING 1
172 SPACES REQUIRED FOR BUILDING 2
5 SPACES REQUIRED FOR WATER PARK
412 SPACES REQUIRED TOTAL
503 PROVIDED, SEE



VICINITY MAP
1" = 200'-0"

SITE PLAN LEGEND

- EASEMENT
PROPERTY LINE
LANDSCAPE AREA (SEE LANDSCAPE PLAN)
H.C. PARKING SPACE (TYPICAL 18'-0"X10'-0")

GENERAL NOTES

1. TYPICAL PARKING SPACE DIMENSIONS: 9'-0"X10'-0"
2. UNLESS OTHERWISE NOTED ALL DRIVE ISLES ARE ASPHALT
3. LANDSCAPE SHOWN HERE FOR REFERENCE. SEE LANDSCAPE PLAN FOR SPECIFIC LANDSCAPE INFORMATION

HOTEL WYNDAM CHANGES - CHANGE OF USE
2500 CARLISLE BLVD NE
ALBUQUERQUE, NM 87110

ISSUE:

DRG SUBMITTAL

DRAWN BY: EDS

CHECKED BY: EDS

DATE: 2018-09-14

REVISIONS

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CARLISLE BLVD

SOLANO DR

PROSPECT AVE

NORTH
A1 SITE PLAN

1" = 40'-0"
0 5 15 25 50 100
5 10 10 25 50

SITE PLAN LEGEND

- EASEMENT
- PROPERTY LINE
- LANDSCAPED AREA (SEE LANDSCAPE PLAN)
- H.C. PARKING SPACE (TYPICAL 18'-0"X10'-0")
- EXISTING TREE TO REMAIN - SIZE VARIES

GENERAL NOTES

1. TYPICAL PARKING SPACE DIMENSIONS: 9'-0"X10'-0"
2. UNLESS OTHERWISE NOTED ALL DRIVE SIZES ARE ASPHALT
3. ALL TREES ARE EXISTING AND TO REMAIN

LANDSCAPE CALCULATIONS

TOTAL BUILDING FOOTPRINT	178,723 SF
TOTAL PERVIOUS	40,584 SF
PLANTERS, GRASS, GRAVEL, ETC.	242,809 SF
TOTAL AREA	462,136 SF

HOTEL WYNDAM CHANGES - CHANGE OF USE
2500 CARLISLE BLVD NE
ALBUQUERQUE, NM 87110

ISSUE:
DRG SUBMITTAL
DRAWN BY: EDJ
CHECKED BY: EDJ
DATE: 2018-09-14

REVISIONS

LANDSCAPE
PLAN

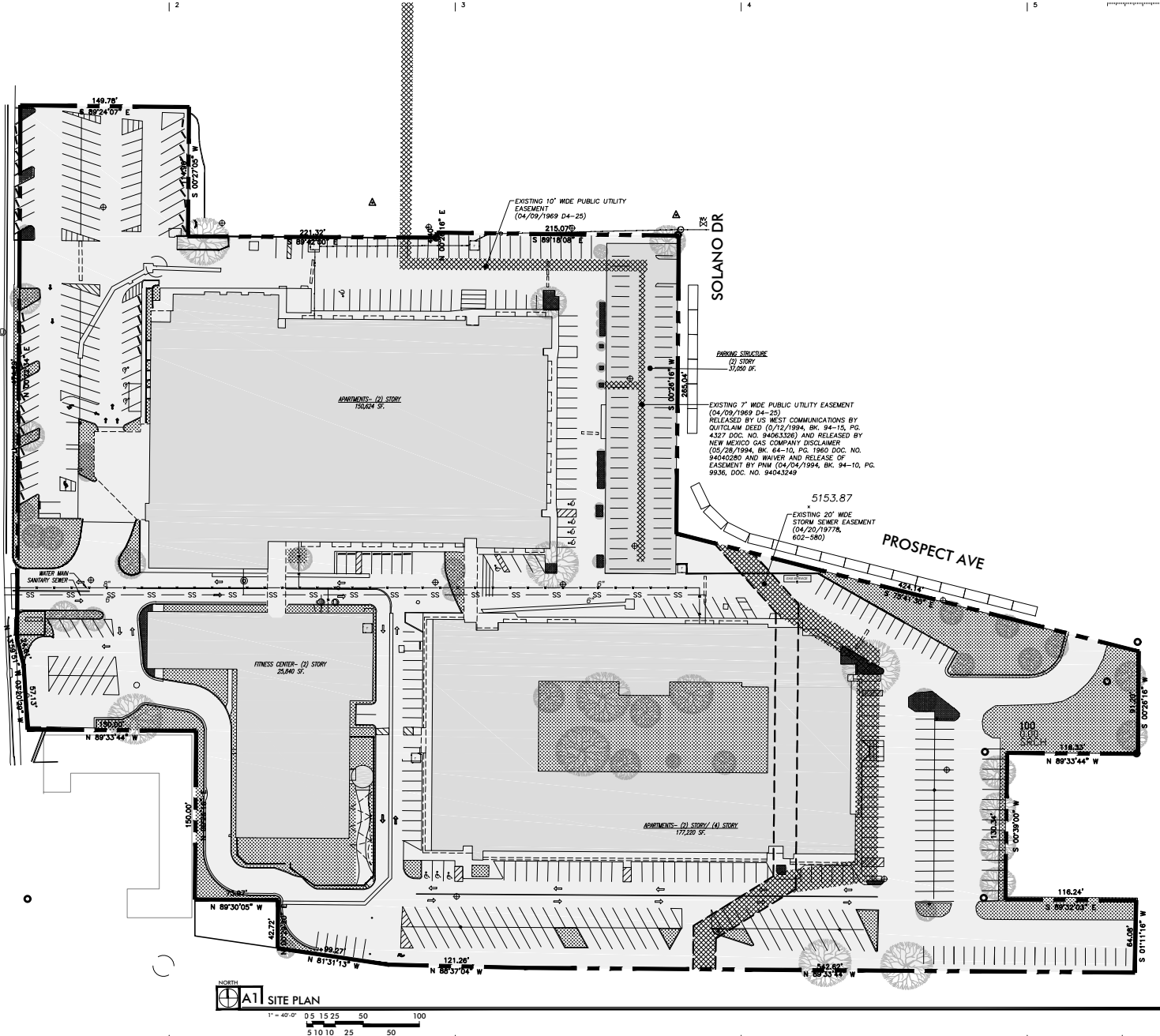
18007
AS102

edi
engineering architecture

142 Truman St. NE
Albuquerque, NM 87108
ph 505.242.2851
www.edi-arch.com

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CARLISLE BLVD



HOTEL WYNDAM CHANGES - CHANGE OF USE
2500 CARLISLE BLVD NE
ALBUQUERQUE, NM 87110

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CHECKED BY:	EDS
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REVISIONS	
UTILITY PLAN	
18007	
AS103	

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1 | 2 | 3 | 4 | 5



D1 EAST ELEVATION

NTS



C1 NORTH ELEVATION

NTS



B1 WEST ELEVATION

NTS



A1 SOUTH ELEVATION

NTS

1 | 2 | 3 | 4 | 5

GENERAL NOTES

1. DIMENSIONS ARE TAKEN FROM CITY ARCHIVAL DRAWINGS AND NOT NECESSARILY REPRESENTATIVE OF AS-BUILT CONDITIONS

NOT FOR CONSTRUCTION

HOTEL WYNDAM CHANGES - CHANGE OF USE
2500 CARLISLE BLVD NE
ALBUQUERQUE, NM 87110

edi
engineering architecture
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Albuquerque, NM 87108
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www.edi-arch.com

ISSUE:
DRB SUBMITTAL

DRAWN BY: LP
CHECKED BY: ED
DATE: 2018-09-14

REVISIONS

NO.	DESCRIPTION

EXISTING ELEVATIONS

18007
A201

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1

2

3

4

5

GENERAL NOTES
1. DIMENSIONS ARE TAKEN FROM CITY ARCHIVAL DRAWINGS AND NOT NECESSARILY REPRESENTATIVE OF AS-BUILT CONDITIONS



D1 EAST ELEVATION
NTS



C1 SOUTH ELEVATION
NTS



B1 WEST ELEVATION
NTS



A1 NORTH ELEVATION
NTS

1

2

3

4

5

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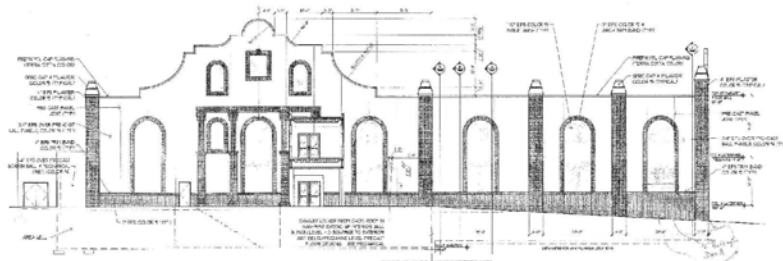
HOTEL WYNDAM CHANGES - CHANGE OF USE
2500 CARLISLE BLVD NE
ALBUQUERQUE, NM 87110

ISSUE:	
DRB SUBMITTAL	
DRAWN BY:	LF
CHECKED BY:	ED
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REVISIONS	
EXISTING ELEVATIONS	
18007 A202	

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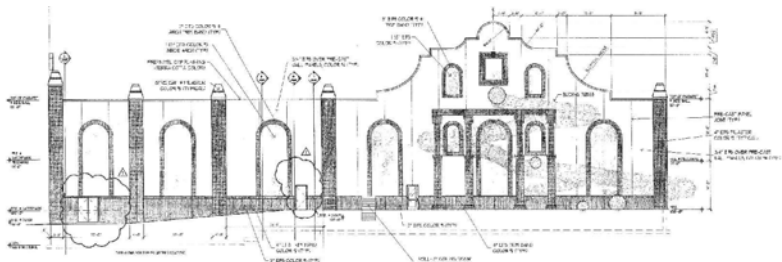
1 | 2 | 3 | 4 | 5

47.8'
T.O. CMU



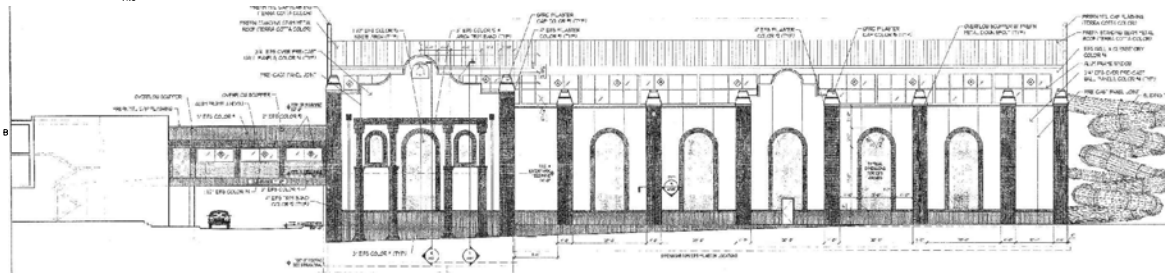
D1 NORTH ELEVATION

NTS



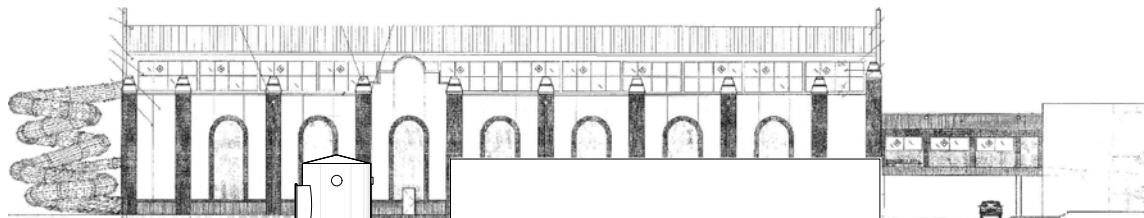
C1 SOUTH ELEVATION

NTS



B1 WEST ELEVATION

NTS



B1 EAST ELEVATION

NTS

1 | 2 | 3 | 4 | 5

GENERAL NOTES

1. DIMENSIONS ARE TAKEN FROM CITY ARCHIVAL DRAWINGS AND NOT NECESSARILY REPRESENTATIVE OF AS-BUILT CONDITIONS

NOT FOR CONSTRUCTION

HOTEL WYNDAM CHANGES - CHANGE OF USE
2500 CARLISLE BLVD NE
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DATE: 2018-09-14

REVISIONS

EXISTING
ELEVATIONS
FITNESS CENTER

18007
A203

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September 14, 2018

City of Albuquerque
Planning Department
600 2nd St. NW
Albuquerque, NM 87103

RE: Letter of Justification for Change of Use

To Whom it May Concern,

We are working with the Owner of the Hotel Wyndham located at 2500 Carlisle Blvd NE on a series of planned property improvements and modifications. One of these actions will be to eventually convert the Hotel, currently branded as Wyndham, to private apartments and the waterpark to a multi-disciplinary fitness center.

The property currently accommodates 311 hotel rooms distributed over two buildings (Building 1 & Building 2). Building 1 houses 139 hotel units as well as a restaurant, sports bar, back of house administrative functions, swimming pool and atrium, and primary lobby. Building 2 houses 172 hotel units, meeting rooms, service restaurant, and back of house functions (laundry, maintenance/engineering, etc.)

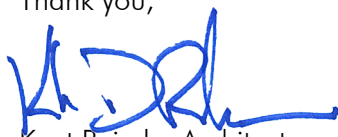
The hotel and waterpark have been declining in popularity and are no longer able to generate the income necessary to keep themselves maintained in good working order or in a presentable fashion. By converting the hotel into apartments to accommodate an underserved population and converting the waterpark to a new fitness center the Owner of the property believes he will bring the property back to life and serve as an economic asset to the community again.

The conversion of Hotel use to Apartment use is essentially a lateral improvement to the buildings and does not represent any further load or impact than would otherwise be anticipated on this site. However, the more permanent nature of the residents we believe will contribute to a greater presence of community rather than the current transient nature of a hotel guest. Further, the additional attraction of a new Fitness Center as an economic draw to the neighborhood will help foster the redevelopment energy of the area making critical connections between and encouraging more additional business ventures.

We appreciate your consideration of this proposed change and look forward to your approval.

Please contact me if you have any questions or require further information.

Thank you,



Kent Beierle, Architect
EDI

kent beierle ■

j. stace mcgee ■

delcie dobrovolny ■

■ 142 Truman St. NE
Albuquerque, NM 87108
Tel 505.242.2851

■ 917 E Prospect Rd, Unit B
Fort Collins, CO 80525
Tel 970.672.1155

■ 100 NE 6th St Unit 102
Boynton Beach, FL 33435
Tel 561.531.4704

FORM DRWS: DRAINAGE REPORT/GRADING AND DRAINAGE PLAN / WATER &
SANITARY SEWER AVAILABILITY
THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION
FOR SUBDIVISIONS AND SITE PLANS.

PROJECT NAME: WYNDHAM HOTEL CHANGES - USE CHANGE

AGIS MAP # H-17

LEGAL DESCRIPTIONS: LOT 1,2,3 unit 1 together with lot 4,5,6A
unit 2 Carlisle Replat unit 1 subdivision
Block 0000 Unit 1 & unit 2

☒ DRAINAGE REPORT/GRADING AND DRAINAGE PLAN

* No site improvements are proposed.

A drainage report/grading and drainage plan, as per the Drainage Ordinance, was
submitted to the City of Albuquerque Planning Department, Hydrology Division (2nd
/Ground Floor Plaza del Sol) on _____ (date).

MAGNOLIA
Applicant/Agent Angela ENRIQUETA

9/14/18
Date

James D. Hinkle
Hydrology Division Representative

9/14/2018
Date

NOTE: A GRADING AND DRAINAGE PLAN MUST BE APPROVED PRIOR TO DRB
APPROVAL

MA WATER AND SEWER AVAILABILITY STATEMENT

A Water and Sewer Availability Statement for this project was requested to the
ABCWUA (2nd/Ground floor, Plaza del Sol) on _____ (date).

* Existing development

Applicant/Agent

Date

[Signature]
ABCWUA Representative

9/14/18
Date

PROJECT # _____

Wyndham Hotel - Use change action - Neighborhood Notification Email - Message (HTML)

File Message Help

Delete Archive Reply Reply All Forward Move

Create task 17023-Pai in the... To Manager

Quick Steps Move

Thu 9/13/2018 4:41 PM

BK Kent Beierle

Wyndham Hotel - Use change action - Neighborhood Notification

To 'Pletta, Bryan'; 'mtarango@21stcenturypa.com'

01-2018-04-23_zone atlas w site.pdf 1 MB

Properties

Settings

Importance Normal

Sensitivity Normal

Security

☐ Encrypt message contents and attachments

☐ Add digital signature to outgoing message

☐ Request S/MIME receipt for this message

☐ Do not AutoArchive this item

Tracking options

☐ Request a delivery receipt for this message

☒ Request a read receipt for this message

Delivery options

Have replies sent to

☐ Expires after None 12:00 AM

Contacts...

Categories None

Internet headers

Close

September 13, 2018

Mary Tarango
4300 Cutler Avenue NE
Albuquerque, NM 87110

Bryan Pletta
4130 Cutler Avenue NE
Albuquerque, NM 87110

Dear Ms. Tarango, Mr. Pletta, and the MidTown A&E Merchant Association:

This letter is notification that Environmental Dynamic, Incorporated has submitted a request for approval of a Site Development Plan to the Development Review Board (DRB) on behalf of Rhino Investments NM Hotel, LLC.

The site is located at 2500 Carlisle Boulevard NE between I-40 and Menaul Boulevard NE. The existing zoning is MX-M. The applicant is proposing to convert the existing hotel to apartments and the current water park into a fitness center. The DRB hearing for this application will be held on October 10, 2018 beginning at 9:00 a.m. at the Plaza del Sol Building, located at 600 2nd Street NW.

Please do not hesitate to contact me if you have any questions, would like to meet, or desire any additional information. Please note, your association may request a Facilitated Meeting regarding this project by contacting the Planning Department by email at devhelp@caba.gov or by phone at (505) 924-3955. Per IDO Section 14-16-6-6-4(D)(2), "If a facilitated meeting is required by the City, the City shall assign a facilitator, who shall attempt to schedule the facilitated meeting within 15 consecutive days. The meeting shall occur within a period of 7 consecutive days prior to the next scheduled hearing or meeting of the decision-making body."

Attached: Zone Atlas Map H-17

Kent Beierle, Principal
Architect
CO#402108, NM#005188, FL#AR98785

Environmental Dynamics, Incorporated
142 Truman Street NE, Suite A-1
Albuquerque, NM 87108
USA

Owner	Owner Address	Owner Address 2	SITUS Address	SITUS Address 2	Legal Description
NEW MEXICO STATE POLICE BOARD C/O FACILITY MANAGEMENT DIVISION BLAKES LOTABURGER LLC	PO BOX 6850 3205 RICHMOND DR NE	SANTA FE NM 87502-6850	2501 CARLISLE NE	ALBUQUERQUE NM 87107	TRACT C-1, PLAT FOR JOSEPH REALTY PARCELS A-1, A-2, C-1 & C-2, EXCEPT AN EASTERLY PORTION TO R/W CONT. 1.68 AC. TR A-1-B PLAT FOR TRS A-1-A, A-1-B & A-2-A BLK 24 & 26 TIMOTEO CHAVEZ ADDN CONT 0.9250 AC M/L OR 40,293 SQ FT M/L TIMOTEO CHAVEZ ADD E 150 FT OF W350FT TR D THE NORTHERLY 295.60FT OF TRACT B TIMOTEO CHAVEZ ADDN TIMOTEO CHAVEZ E 241.19 OF TR D TR 6B UNIT 2 REPL TR 6 UNIT 2 DALE J BELLAHMAH'S CARLISLE REPL CONT
SMITH JOSEPH P TRUSTEE SMITH RVT CRANDELL LEROY D TRUSTEE CRANDELL LIVING TRUST 4121 PROSPECT LLC WELL-PROP LLC C/O THOMSON PROPERTY TAX SERV	9220 BARSTOW ST NE 9531 GIDDINGS AVE NE 9303 DANA CT NE PO BOX 847	ALBUQUERQUE NM 87122 ALBUQUERQUE NM 87109 ALBUQUERQUE NM 87122 CARLSBAD CA 91203	4119 PROSPECT AV NE 3636 MENAUL BLVD NE 100 4121 PROSPECT AV NE 4100 PROSPECT AVE NE	ALBUQUERQUE NM 87110 ALBUQUERQUE NM 87110 ALBUQUERQUE NM 87110 ALBUQUERQUE NM 87110	LOT A-1 OF REPLAT OF TR A MIRAMONTES SUBD #2 TRACT D-1 PLAT OF TRACT D-1 TIMOTEO CHAVEZ ADDN CONT 0.6077AC M/L OR 26,471 SQ FT M/L PARCEL A AMAFCA NORTH DIVERSION CHANNEL EMBUDO CHANNEL DRAINAGE RIGHT-OF-WAY PHASE 3 CONT 18.5401 AC M/L TRACT A-1-A CORRECTION PLAT SHOWING TRACTS A-1-A, ANDA-1-B, ACME ACRES CONT 2.7492 AC PARCEL B-1 PLAT OF RIGHT-OF-WAY PARCEL B-1 A.M.A.F.C.A NORTH DIVERSION CHANNEL EMBUDO CHANNEL DRAINAGE RIGHT-OF-WAY PHASE3 CONT 4.4509 OR 193,883 SF LOT 22A BLK 22 PLAT OF LT 22A BLK 22 TIMOTEO CHAVEZ ADDITION CONT 21,641 SQ FT +- LTS 1 THRU 6 MILLS AND BOREN SUBDIVISION CONT .5048 AC E/LY POR OF BLK O TIMOTEO CHAVEZ ADDITION & POR OF VACMORNINGSIDE CT NE CONT 1.4674 AC +/- TRS 1, 2, & 3 UNIT 1 TOGETHER WITH TRS 4, 5 & 6A UNIT 2DALE J. BELLAMAH'S CARLISLE REPLAT CONT 11.0727 AC *A-2-1 REPLAT OF TRS A-2 & B MIRAMONTES SUBD #2 CONT 0.6047AC M/L
ZRITE INC C/O BOBBY J MERRITT RAHMAN OMAR	750 N 17TH ST 3821 MENAUL BLVD NE	LAS CRUCES NM 88005-4153 ALBUQUERQUE NM 87110-2831	3800 MENAUL NE 4111 PROSPECT NE	ALBUQUERQUE NM 87110 ALBUQUERQUE NM 87110	
AMAFCA	2600 PROSPECT AVE NE PO BOX 35547	ALBUQUERQUE NM 87107-1836 TULSA OK 74153-0547	MENAUL BLVD NE 2300 CARLISLE BLVD NE	ALBUQUERQUE NM 87106 ALBUQUERQUE NM 87110	
NICKEL & COMPANY LLC	2600 PROSPECT AVE NE	ALBUQUERQUE NM 87107-1836	N/A	ALBUQUERQUE NM 87110	
AMAFCA					
KHOLWAD DINESH & ASHA D ETAL	2412 CARLISLE BLVD NE	ALBUQUERQUE NM 87110	2412 CARLISLE BLVD NE	ALBUQUERQUE NM 87110	
BOREN 2536 LLC KESHET DANCE COMPANY	11400 SANTA MONICA DR NE 214 COAL AVE SW	ALBUQUERQUE NM 87122 ALBUQUERQUE NM 87102	2536 CARLISLE BLVD NE 4121 CUTLER NE	ALBUQUERQUE NM 87110 ALBUQUERQUE NM 87110	
RHINO INVESTMENTS NM HOTEL LLC ATTN: MR SANJIV CHOPRA	101 E VINEYARD AVE SUITE 201	LIVERMORE CA 94550-6374	2500 CARLISLE NE	ALBUQUERQUE NM 87110	
HOLDING PLACE LLC C/O TOM & MINDY STYER	1685 HOLLANDER CT	MARIETTA GA 30066-8019	2500 SOLANO DR NE	ALBUQUERQUE NM 87110	
DERICKSON WENDELL W CAL-TEX PROP GREEN JEANS LLC	3929 HERMOSA DR NE 2151 PROFESSIONAL DR SUITE 200 2929 MONTE VISTA BLVD NE	ALBUQUERQUE NM 87110-1009 ROSEVILLE CA 95661-3761 ALBUQUERQUE NM 87106	N/A 3900 MENAUL BLVD NE 3600 CUTLER AV NE	ALBUQUERQUE NM 87110 ALBUQUERQUE NM 87110 ALBUQUERQUE NM 87107	PORT OF BLKS N & O TIMOTEO CHAVEZ ADDN (AKA N-19A-7A) CONT 0.0440 AC OR 1.917 SF TRACT 'C' AMENDED MIRAMONTES SUBD #2 TR A-1-B-1 PLAT OF TRS A-1-B-1, A-1-B-2 AND A-1-B-3, ACMEACRES CONT. 1.4958 AC PARCEL B-1 PLAT FOR JOSEPH REAY TR PARCELS B-1 & B-2 CONT 16,483 SQ FT +/- 0.3784 AC +/- TRACT A-1-A PLAT FOR TRACT A-1-A, A-1-B & A-2-A BLOCK 24 & 26 TIMOTEO CHAVEZ ADDN EXCEPT EASTERLY PORTION OUT TOWR CONT .8963 AC
RABADI SHARIF A & SAMIA TRUSTEES STAR TRUST	11201 SAN ANTONIO DR NE	ALBUQUERQUE NM 87122-1049	3520 MENAUL BLVD NE	ALBUQUERQUE NM 87107	
NATIVE LAND INVESTMENTS LTD	1514 S FM 620 RD	LAKEWAY TX 78734-6210	2321 CARLISLE NE	ALBUQUERQUE NM 87107	
MALORI ALBUQUERQUE LLC C/O WALGREENS 44958	PO BOX 901	DEERFIELD IL 60015	3632 MENAUL BLVD NE	ALBUQUERQUE NM 87110	
NEW MEXICO STATE POLICE BOARD	PO BOX 1628	SANTA FE NM 87501-1628	CARLISLE BLVD NE	ALBUQUERQUE NM 87107	TR Z-1 PLAT OF TR Z-1 MILLS & BOREN SUBD CONT 1.6600 AC LT A-1-B PLAT OF LTS A-1-A & A-1-B JOSEPH REAY TRCONT 1.3574 AC

September 13, 2018

Dear Property Owner:

NOTICE OF PUBLIC HEARING

Notice is hereby given that the City of Albuquerque Development Review Board (DRB) will hold a **Public Hearing on Wednesday, October 10, 2018 beginning at 9:00 a.m.**, in the Plaza del Sol Hearing Room, Lower Level, Plaza del Sol building, 600 2nd St. NW, Albuquerque, NM to consider the following item.

DRB RULES OF PROCEDURE

A copy of the Rules of Procedure is posted on the Planning Department's website at www.cabq.gov/planning/boards-commissions/development-review-board and printed copies are available in the Planning Department office on the third floor of the Plaza del Sol Building, 600 Second Street NW. For more information, please contact Russell Brito, Division Manager of the Urban Design and Development Division, at (505) 924-3337 or at rbrito@cabq.gov.

Supplemental materials are posted on the City website,
<https://www.cabq.gov/planning/boards-commissions/development-review-board>.

REQUEST

Environmental Dynamics, Incorporated, agent for Rhino Investments NM Hotel, LLC, request approval of a Site Development Plan for the property located at 2500 Carlisle Boulevard NE, between I-40 and Menaul Boulevard NE. The site is legally described as *Tracts 1, 2, 3, 4, and 6A, Units 1 and 2, Dale J. Bellamah's Carlisle Replat*. The site is currently zoned MX-M: Mixed Use – Moderate Intensity. The applicant's request is for approval of a Site Plan to accommodate a conversion of a portion of the existing hotel to apartments and converting the current water park into a fitness center.

If you have questions or need additional information regarding this request please contact Russell Brito, Division Manager of the Urban Design and Development Division, at (505) 924-3337 or at rbrito@cabq.gov.

Sincerely,

Environmental Dynamics, Inc.

Enclosed: Zone Atlas Map H-17



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302 EIGHTH ST. NW
ALBUQUERQUE, NM 87102

To: **BOREN 2536 LLC**
11400 SANTA MONICA DR NE
ALBUQUERQUE, NM 87122

PS Form 3817, April 2007 PSN 7530-02-000-9065

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FCM LETTER
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87101
SEP 13, '18
AMOUNT
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R2305P150071-20



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ALBUQUERQUE, NM 87102

To: **CRANDELL LEROY D TRUSTEE**
CRANDELL LIVING TRUST
9531 GIDDINGS AVE NE
ALBUQUERQUE, NM 87109

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ALBUQUERQUE, NM 87102

To: **NICKEL & COMPANY LLC**
PO BOX 35547
TULSA, OK 74153-0547

PS Form 3817, April 2007 PSN 7530-02-000-9065

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FCM LETTER
ALBUQUERQUE, NM
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SEP 13, '18
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To: **NEW MEXICO STATE POLICE BOARD**
C/O FACILITY MANAGEMENT DIVISION
PO BOX 6850
SANTA FE, NM 87502-6850

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ALBUQUERQUE, NM 87102

To: **ZRITE INC**
C/O BOBBY J MERRITT
750 N 17TH ST
LAS CRUCES, NM 88005-4153

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87101
SEP 13, '18
AMOUNT
\$1.40
R2305P150071-20

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FCM LETTER
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SEP 13, '18
AMOUNT
\$1.40
R2305P150071-20



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From:

CONSENSUS PLANNING
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ALBUQUERQUE, NM 87102

To:

GREEN JEANS LLC
2929 MONTE VISTA BLVD NE
ALBUQUERQUE, NM 87106

PS Form 3817, April 2007 PSN 7530-02-000-9065

U.S. POSTAGE PAID
FCM LETTER
ALBUQUERQUE, NM
87101
SEP 13, 18
AMOUNT
\$1.40
R2305P150071-20



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From:

CONSENSUS PLANNING
302 EIGHTH ST. NW
ALBUQUERQUE, NM 87102

To:

HOLDING PLACE LLC C/O TOM &
MINDY STYER
1685 HOLLANDER CT
MARIETTA, GA 30066-8019

PS Form 3817, April 2007 PSN 7530-02-000-9065



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From:

CONSENSUS PLANNING
302 EIGHTH ST. NW
ALBUQUERQUE, NM 87102

To:

RAHMAN OMAR
3821 MENAUL BLVD NE
ALBUQUERQUE, NM 87110-2831

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From:

CONSENSUS PLANNING
302 EIGHTH ST. NW
ALBUQUERQUE, NM 87102

To:

4121 PROSPECT LLC
9303 DANA CT NE
ALBUQUERQUE, NM 87122

PS Form 3817, April 2007 PSN 7530-02-000-9065



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From:

CONSENSUS PLANNING
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ALBUQUERQUE, NM 87102

To:

BLAKES LOTABURGER LLC
3205 RICHMOND DR NE
ALBUQUERQUE, NM 87107-1922

PS Form 3817, April 2007 PSN 7530-02-000-9065

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FCM LETTER
ALBUQUERQUE, NM
87101
SEP 13, 18
AMOUNT
\$1.40
R2305P15007



1000

U.S. POSTAGE PAID
FCM LETTER
ALBUQUERQUE, NM
87101
SEP 13, 18
AMOUNT
\$1.40
R2305P150071-20



U.S. POSTAGE PAID
FCM LETTER
ALBUQUERQUE, NM
87101
SEP 13, 18
AMOUNT
\$1.40
R2305P150071-20

U.S. POSTAGE PAID
FPM LETTER
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87101
SEP 13 18
AMOUNT
\$1.40
R2305P150071-20



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From: **CONSENSUS PLANNING**
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ALBUQUERQUE, NM 87102

To: **SMITH JOSEPH P TRUSTEE SMITH RVT**
9220 BARSTOW ST NE
ALBUQUERQUE, NM 87122

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ALBUQUERQUE, NM 87122-1049

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2151 PROFESSIONAL DR SUITE 200
ROSEVILLE, CA 95661-3761

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C/O THOMSON PROPERTY TAX SERV
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CARLSBAD, CA 91203

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To:

KHOLWAD DINESH & ASHA D ETAL
2412 CARLISLE BLVD NE
ALBUQUERQUE, NM 87110

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To: **MALORI ALBUQUERQUE LLC**
C/O WALGREENS 44958
PO BOX 901
DEERFIELD, IL 60015

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-87101
-P 13, 18
AMOUNT



James Foty

From: Quevedo, Vicente M. <vquevedo@cabq.gov>
Sent: Tuesday, August 14, 2018 3:19 PM
To: James Foty
Subject: Public Notice Inquiry_2500 Carlisle Blvd NE_DRB
Attachments: 01-2018-04-23_zone atlas w site.pdf; Public Notice Inquiry_2500 Carlisle Blvd NE_DRB.xlsx; Public Notice Inquiry Instruction Sheet_7_31_18.pdf

James,

See list of affected associations below and attached related to your DRB submittal. Please also review the attached instruction sheet. Thank you.

Association Name	First Name	Last Name	Email	Address Line 1
MidTown A&E Merchant Association	Bryan	Pletta	bryan@stoneageclimbinggym.com	4130 Cutler Avenue NE
MidTown A&E Merchant Association	Mary	Tarango	mtarango@21stcenturypa.com	4300 Cutler Avenue NE

Respectfully,

Vicente M. Quevedo, MCRP

Neighborhood Liaison

Office of Neighborhood Coordination

City of Albuquerque – City Council

(505) 768-3332

Website: www.cabq.gov/neighborhoods



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From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** ISD WebMaster

Sent: Monday, August 13, 2018 9:36 AM

To: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:

Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

James Foty

Telephone Number

5057649801

Email Address

foty@consensusplanning.com

Company Name

Consensus Planning, Inc.

Company Address

302 Eighth St NW, Ervien Lane SW near Coors Boulevard SW

City

Albuquerque

State

NM

ZIP

87102

Legal description of the subject site for this project:

Tracts 1, 2, and 3, Unit 1 together with Tracts 4 and 6A, Unit 2, Dale J. Bellamahs Carlisle Replat

Physical address of subject site:

2500 Carlisle Boulevard NE

Subject site cross streets:

I-40

Other subject site identifiers:

Menaul Boulevard NE

This site is located on the following zone atlas page:

H-17-Z

=====
This message has been analyzed by Deep Discovery Email Inspector.

September 13, 2018

Mary Tarango
4300 Cutler Avenue NE
Albuquerque, NM 87110

Bryan Pletta
4130 Cutler Avenue NE
Albuquerque, NM 87110

Dear Ms. Tarango, Mr. Pletta, and the MidTown A&E Merchant Association:

This letter is notification that Environmental Dynamic, Incorporated has submitted a request for approval of a Site Development Plan to the Development Review Board (DRB) on behalf of Rhino Investments NM Hotel, LLC.

The site is located at 2500 Carlisle Boulevard NE between I-40 and Menaul Boulevard NE. The existing zoning is MX-M. The applicant is proposing to convert a portion of the existing hotel to apartments and the current water park into a fitness center. The DRB hearing for this application will be held on October 10, 2018 beginning at 9:00 a.m. at the Plaza del Sol Building, located at 600 2nd Street NW.

Please do not hesitate to contact me if you have any questions, would like to meet, or desire any additional information. Please note, your association may request a Facilitated Meeting regarding this project by contacting the Planning Department by email at devhelp@cabq.gov or by phone at (505) 924-3955. Per IDO Section 14-16-6-6-4(D)(2), "If a facilitated meeting is required by the City, the City shall assign a facilitator, who shall attempt to schedule the facilitated meeting within 15 consecutive days. The meeting shall occur within a period of 7 consecutive days prior to the next scheduled hearing or meeting of the decision-making body."

Kent Beierle, Principal
Architect

Attached: Zone Atlas Map H-17



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CONSENSUS PLANNING
302 EIGHTH ST. NW
ALBUQUERQUE, NM 87102

To:

Bryan Pletta
Midtown A&E Merchant Association
4130 Cutler Avenue NE
Albuquerque, NM 87110

PS Form 3817, April 2007 PSN 7530-02-000-9065



1000



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From:

CONSENSUS PLANNING
302 EIGHTH ST. NW
ALBUQUERQUE, NM 87102

To:

Mary Tarango
Midtown A&E Merchant Association
4300 Cutler Avenue NE
Albuquerque, NM 87110

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Property Owner Buffer Map

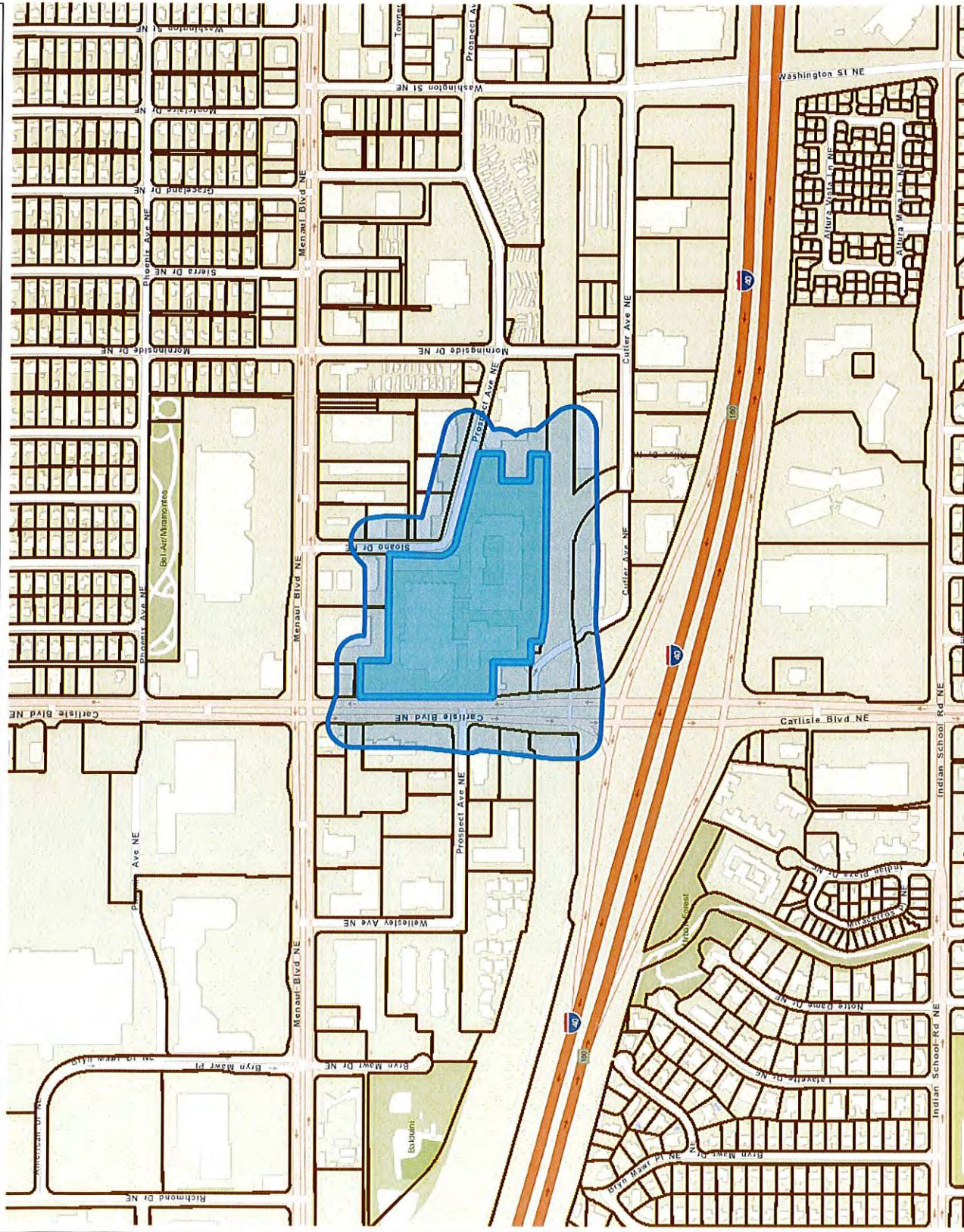


Legend

- Bernalillo County Parcels
- Municipal Limits
 - Corrales
 - Edgewood
 - Los Ranchos
 - Rio Rancho
 - Tijeras
 - UNINCORPORATED
- World Street Map

Notes

Prepared by Consensus Planning,
8-13-2018



WGS_1984_Web_Mercator_Auxiliary_Sphere
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1: 7,213

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THIS MAP IS NOT TO BE USED FOR NAVIGATION

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

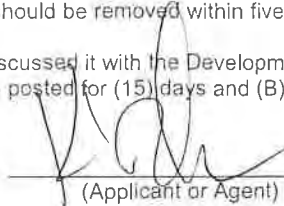
4. TIME

Signs must be posted from 9/25/18 To 10/10/18

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

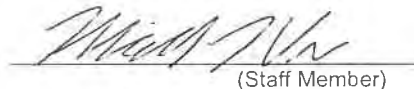
I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.


(Applicant or Agent)

2018.09.14
(Date)

I issued 2 signs for this application,

9/14/18
(Date)


(Staff Member)

PROJECT NUMBER: PR-2018-001580



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 1/2016)

Project Title: Wyndham Hotel Renovations **Building Permit #:** TBD **Hydrology File #:** _____

DRB#: _____ **EPC#:** 100-5234 **Work Order#:** _____

Legal Description: TRS 1, 2, & 3 UNIT 1 TOGETHER WITH TRS 4, 5 & 6A UNIT 2; Block 0000; Carlisle Replat Unit 1

City Address: 2500 Carlisle Boulevard, Albuquerque

Applicant: RHINO INVESTMENTS NM HOTEL, LLC **Contact:** Sanjiv Chopra

Address: 101 E. VINEYARD AVE. SUITE 201; Livermore, CA 94550

Phone#: 209.581.8445 **Fax#:** _____ **E-mail:** sanjiv@fitrepublic.com

Other Contact: Bohannon Huston **Contact:** Eric Wrage

Address: 7500 Jefferson

Phone#: 505-798-7859 **Fax#:** 505-798-7988 **E-mail:** ewrage@bhinc.com

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ AS-BUILT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☒ TRAFFIC IMPACT STUDY (TIS)
☐ NEIGHBORHOOD IMPACT ASSESMENT (NIA)

☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ GRADING/ESC PERMIT APPROVAL

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☒ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING?

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: June 19, 2018 **By:** Eric Wrage

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

FEE RECEIVED: _____

WYNDHAM ALBUQUERQUE HOTEL AND CONFERENCE CENTER PLANNED RENOVATIONS

CARLISLE BOULEVARD AND CUTLER AVENUE ALBUQUERQUE, NEW MEXICO

TRAFFIC ANALYSIS

JUNE 18, 2018

Prepared For:

Environmental Dynamics, Incorporated
142 Truman Street NE
Suite A-1
Albuquerque, NM 87108

Prepared By:

Bohannon  **Huston**

Engineering

Spatial Data

Advanced Technologies



**WYNDHAM ALBUQUERQUE HOTEL AND
CONFERENCE CENTER PLANNED RENOVATIONS**

**CARLISLE BOULEVARD AND CUTLER AVENUE
ALBUQUERQUE, NEW MEXICO**

TRAFFIC ANALYSIS

JUNE 18, 2018

REVISED SUBMITTAL

Prepared by:

**BOHANNAN HUSTON, INC.
7500 JEFFERSON ST NE
COURTYARD TWO
ALBUQUERQUE, NM 87109**

Prepared for:

**ENVIRONMENTAL DYNAMICS, INCORPORATED
142 TRUMAN STREET NE
SUITE A-1
ALBUQUERQUE, NM 87108**

PREPARED BY:


ERIC J. WRAGE, P.E., PTOE


JUNE 18, 2018

**WYNDHAM ALBUQUERQUE HOTEL AND
CONFERENCE CENTER PLANNED RENOVATIONS
CARLISLE BOULEVARD AND CUTLER AVENUE
ALBUQUERQUE, NEW MEXICO
TRAFFIC ANALYSIS**

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Appendix A Existing Traffic Counts
Appendix B 2018 Existing Intersection Capacity Analysis
Appendix C Forecast Turning Movements and Background Traffic Growth
Appendix D 2021 No Build Intersection Capacity Analysis
Appendix E 2021 Build Intersection Capacity Analysis

I. INTRODUCTION AND SUMMARY

The Wyndham Albuquerque Hotel and Conference Center (previously known as the Hotel Cascada and Water Park) are planning on renovating the water park and a wing of the hotel into a 30,000 square-foot fitness center and a 170-unit apartment building. This change in use results in 31 fewer trips to the site in the AM peak hour, and the same number of trips in the PM peak hour.

A. STUDY PURPOSE

The traffic study requested by the City consists of an access study of the proposed Carlisle Boulevard and Cutler Avenue entrance (a right-in only, as Cutler is one-way eastbound), as well as an evaluation of the proposed site entry off Cutler Avenue.

Recommendations on wayfinding so patrons of the fitness center and apartments use the correct driveway, as well as additional signage to prevent wrong way drivers exiting via Cutler, will also be presented.

B. EXECUTIVE SUMMARY

1. SITE LOCATION AND STUDY AREA

The site is located east of the Carlisle Boulevard and Cutler Avenue intersection in Albuquerque, New Mexico. A vicinity map is shown in Figure 1, and the current site plan shown in Figure 2.

The study area consists of the following intersections:

- Carlisle Boulevard and Cutler Avenue (existing right-in only unsignalized intersection)
- New Cutler Avenue entrance to site (proposed one-way (entering only) driveway)

The intersection evaluations include analysis for the AM and PM peak hours for the following traffic conditions:

- Existing traffic (2018)
- 2021 Completion Year without proposed development (2021 No Build)
- 2021 Completion Year with buildout of proposed development (2021 Build)

2. PRINCIPAL FINDINGS

The traffic analysis shows that under existing 2018, 2021 No Build, and 2021 Build conditions, the unsignalized intersection of Carlisle Boulevard and Cutler Avenue is

expected to operate at an acceptable delay. HCM procedures do not determine a delay for a right turn at an unsignalized intersection; therefore, SimTraffic was used to estimate delay and queue. The SimTraffic delay was minimal, as would be expected with an unsignalized, free movement. SimTraffic also did not report a vehicle queue for the northbound right turning vehicles.

The proposed entrance on Cutler was also evaluated. Again, the HCM procedures do not report a delay, as Cutler is a one-way eastbound roadway, with no opposing traffic to delay the entering vehicles. SimTraffic was again used to evaluate the driveway operations, and found very low delay, with no queue.

A second check was made to determine the volume-to-capacity (v/c) ratio of the approaches to each intersection. An estimate of 900 vehicles per hour per lane was assumed. This is considered reasonable, as a free-flow lane is generally considered to have a capacity of 1,700 – 1,900 vehicles per hour. The 900 vehicles per hours per lane was used as an estimate of the capacity of a roadway with traffic signals that reduce the capacity of a free-flow lane. The v/c ratio was within a range that does not indicate high levels of congestion.

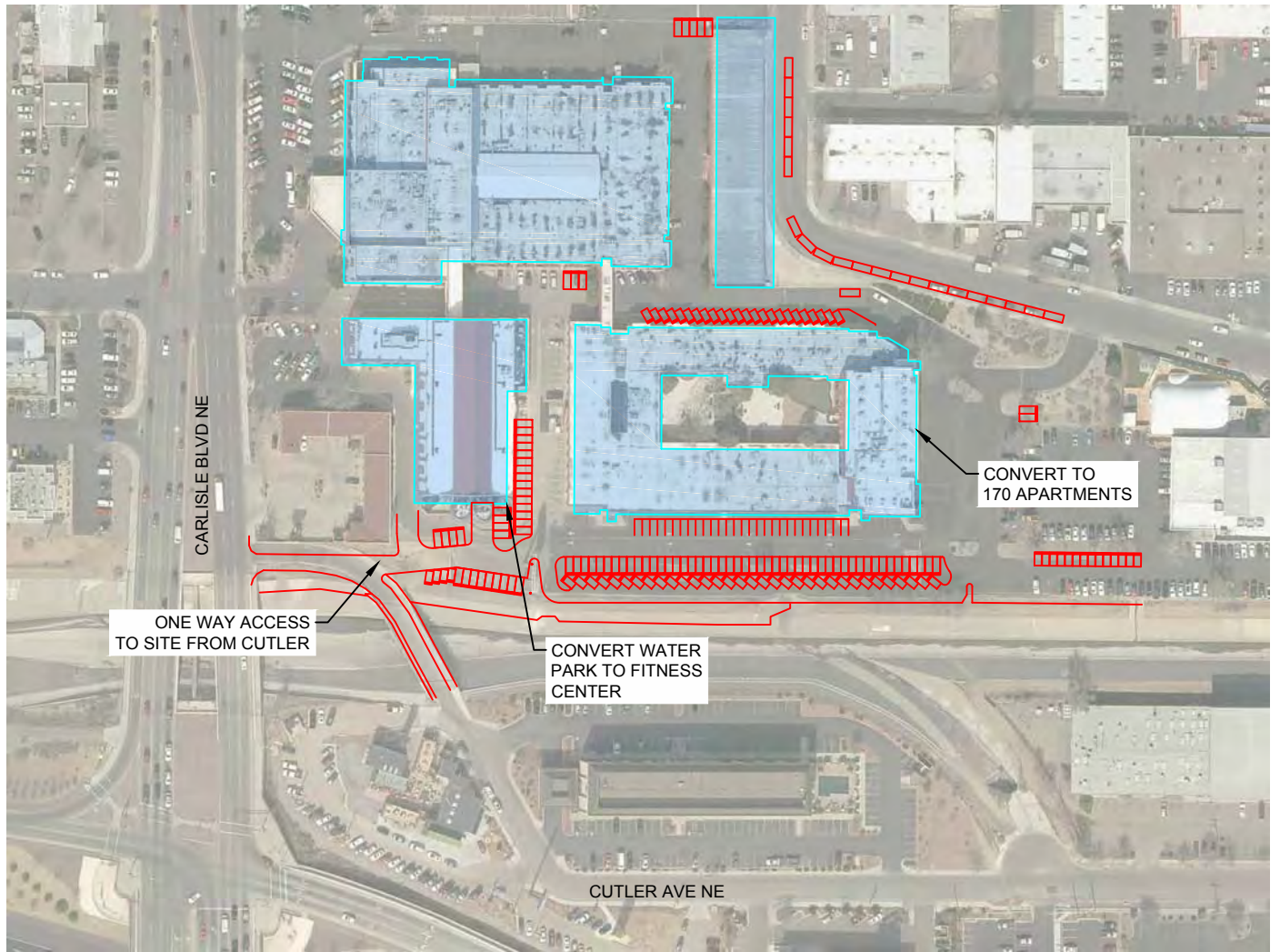
3. RECOMMENDATIONS

Do Not Enter signs (R5-1) should be installed prominently at the proposed entrance to discourage wrong-way traffic to exit via Cutler.

Wayfinding signs should also be installed to direct patrons and residents to the Cutler entrance to the site.

All improvements should be designed to satisfy City of Albuquerque, Manual on Uniform Traffic Control Devices (MUTCD), and American Association of State Highway Transportation Officials (AASHTO) design standards.





II. PROPOSED DEVELOPMENT

A. LAND USE AND INTENSITY

The project is proposed to renovate the water park into a 30,000-square foot fitness center. This fitness center will be open to the public. In addition, a wing of the hotel east of the water park will also be renovated into an apartment building. It is expected the hotel wing will be renovated to create 170 apartment dwelling units.

The immediately surrounding land uses are primarily commercial development to the east, west and north. Immediately south of the site is the Green Jeans Farmery commercial development and Interstate 40.

B. DEVELOPMENT PHASING AND TIMING

The renovations are anticipated to be complete within two (2) years, and the year 2021 was used as the analysis year for the traffic study.

III. STUDY AREA CONDITIONS

A. STUDY AREA

The study area consists of the following intersections:

- Carlisle Boulevard and Cutler Avenue (existing right-in only unsignalized intersection)
- New Cutler Avenue entrance to site (proposed one-way (entering only) driveway)

B. SITE ACCESSIBILITY

The access to the site will be via the Cutler Avenue intersection, as well as Prospect Avenue driveway to the main hotel grounds. See the site plan in Figure 2, on page 4 for the conceptual site plan and proposed access locations.

C. DATA SOURCES

The data used in this report consist of the traffic counts described below, aerial photography and mapping from Google Earth®, information provided by Environmental Dynamics, and historical traffic volume and socioeconomic data from the Mid-Region Council of Governments.

IV. ANALYSIS OF EXISTING CONDITIONS

A. BACKGROUND

Carlisle Boulevard is classified as a minor arterial by the Mid-Region Council of Governments (MRCOG). The posted speed limit is 35 miles per hour (MPH). Across the frontage of the site, Carlisle Boulevard has three (3) travel lanes in each direction. Sidewalk is present, however there is no dedicated bike lane on Carlisle Boulevard. The MRCOG online traffic flow map indicates Carlisle Boulevard has an average weekday traffic volume of approximately 30,530 vehicles per day (vpd) across the frontage of the site.

At Carlisle Boulevard, Cutler Avenue is a one-lane, one-way local road that provides access to commercial development south of the AMAFCA Channel and north of I-40. Cutler Avenue is a two-way roadway just after Cutler passes over the AMAFCA Channel. The MRCOG online traffic flow map does not provide volume estimates for Cutler Avenue. As an aside, the traffic counts found a total of nine (9) vehicles that drove illegally west on Cutler Avenue and turned onto Carlisle during the 6-hour traffic count.

B. EXISTING TRAFFIC CONDITIONS

Traffic counts for the intersections analyzed in the study area were collected Thursday, May 10, 2018, while school was in session. Traffic was counted for three hours in the AM peak and three hours in the PM peak to gather peak hour volumes for the traffic analysis. Figure 3 is a summary of the existing peak hour traffic volumes, existing laneage, turning movements, and intersection level of service. Existing traffic counts are included in Appendix A.

The traffic counts included counts for heavy vehicles, pedestrians, and bicyclists. The table below is a summary of the bicycle and pedestrian counts for the entire six-hour count period, the AM peak hour, and the PM peak hour.

Table 1 – Bicycle and Pedestrian Count Summary			
Mode	Carlisle/Cutler		
	6 hr	AM	PM
Bikes	4	4	0
Pedestrians	71	26	45
Total	75	30	45

C. EXISTING LEVELS OF SERVICE

The City of Albuquerque has established LOS D as the generally acceptable level of service in urban areas and when intersections operate below this level, improvements are generally considered, where feasible. However, the subject intersection is a free-flow right turn movement that does not have to stop prior to making the right turn. In addition, Cutler is a one-way entering roadway, so there is no opposing traffic exiting from Cutler onto Carlisle. In this case the procedures of the HCM will indicate no delay for the northbound right turn, as the northbound right does not have to yield to enter Cutler Avenue.

To address this, the SimTraffic micro-simulation software was used to estimate the delay and queue for the northbound right turning vehicles. Six (6) 80-minute simulations were used to determine the operational performance of the intersection. However, the procedures of the HCM indicate that since micro-simulations do not utilize the procedures of the HCM to calculate delay, it is inappropriate to assign a HCM level of service designation (A through F) when a micro-simulation is used. Therefore, the tables and graphics will not show a level of service. All delay and queue results presented in this report are the results of the SimTraffic micro-simulation.

SimTraffic output for the existing conditions analysis is included in Appendix B. Please note only northbound traffic was counted, as there is a median in Carlisle to prevent access to Cutler Avenue, and therefore southbound traffic does not influence this intersection.

The results are summarized in Table 3, and shown graphically in Figure 3.

The analysis indicates the unsignalized intersection will operate with an overall acceptable delay and queue in both the AM and PM peak hours.

As a second check of the operations of the northbound Carlisle approach to the Cutler intersection, a volume-to-capacity ratio was evaluated for the intersection. The volume-to-capacity (v/c) ratio was estimated by dividing the total northbound volume at the intersection by 2,700 vehicles per hour. The 2,700 vehicles per hour was determined by using a capacity of 900 vehicles per hour per lane (vphpl). This is considered a conservative estimate for lane capacity of a minor arterial with signalized intersections.

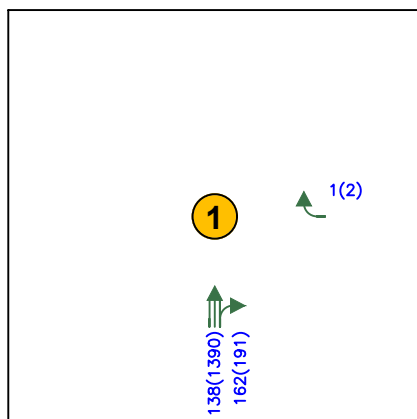
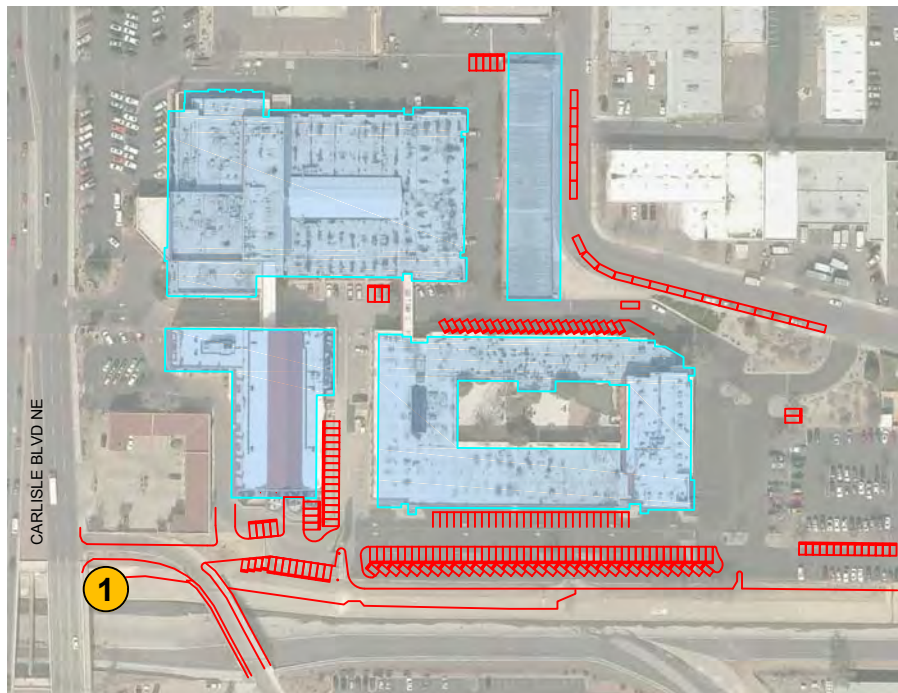
The volume used in the v/c ratio is the peak 15-minute demand flow rate (Equation 20-1 on page 20-12 of the 6th Edition of the HCM). The peak 15-minute demand flow rate is calculated by dividing the peak hour traffic volume by the peak hour factor (PHF) of the intersection. The existing traffic counts in Appendix A show the intersection PHF for the AM peak hour is 0.91, and the PM peak hour factor is 0.93. The PHF is also shown in Figure 3.

The peak hour volume is the sum of the northbound through and right turn volume shown in Figure 3.

The calculation of the v/c ratio is shown in Table 2.

Table 2 – 2018 AM and PM Volume-to-Capacity Calculation					
Peak Hour	PHF	NB Approach Peak Hour Volume	NB Approach Peak 15-minute Volume	Assumed Capacity	Estimated v/c*
AM Peak Hour	0.91	1,138 + 162 = 1,300	1,300 / 0.91 = 1,429	2,700	0.53
PM Peak Hour	0.93	1,390 + 191 = 1,581	1,581 / 0.93 = 1,700	2,700	0.63
*- v/c estimated by total northbound volume divided by 2,700 (3 lanes with assumed capacity of 900 vphpl)					



Table 3 – 2018 AM and PM Unsignalized Intersection Results SimTraffic Results						
Intersection/Movement	2018 AM Peak			2018 PM Peak		
	Delay	v/c*	Queue** (ft)	Delay	v/c*	Queue** (ft)
Carlisle and Cutler NB Right	1.0	0.53	0	1.3	0.63	0
*- v/c estimated by total northbound volume divided by 2,700 (3 lanes with assumed capacity of 900 vphpl)						
**- SimTraffic 95 th percentile queue rounded to next 25-foot increment						



Carlisle/Cutler

AM PHF: 0.91
PM PHF: 0.93

LEGEND

-  Thru Lanes
(# as indicated)
-  Turning Lanes
(# as indicated)
- 1234(1234) AM(PM) Traffic
Counts

V. PROJECTED TRAFFIC

A. SITE TRAFFIC FORECASTING

1. TRIP GENERATION

Generated trips are broken down into three types; 1) primary, 2) pass-by trips, and 3) diverted link. The Trip Generation report defines these trips as follows:

- **Primary Trips** - These trips are made for the specific purpose of visiting the generator. The stop at that generator is the primary reason for the trip. For example, a home to shopping to home combination of trips is a primary trip set.
- **Pass-by Trips** - These trips are made as intermediate stops on the way from an origin to a primary trip generation. Pass-by trips are attracted from the traffic passing the site on an adjacent street that contains direct access to the generator site. These trips do not require a diversion from another roadway. For example, stopping at the store on the way home from work is an example of a pass-by trip. No pass-by trips were assumed in this analysis.
- **Diverted Linked Trips** - These trips are attracted from the traffic volume on the roadway within the vicinity of the generator, but which require a diversion from that roadway to another roadway to gain access to the site. The roadways could include streets or freeways adjacent to the generator, but without access to the generator. For this study, the diverted link trips have been included in with the primary trips.

The Institute of Transportation Engineers Trip Generation Manual, 10th Edition was used to estimate the trips generated by the site. As the development is proposed as re-developing the site, the trip generation of the existing uses was also evaluated, with the difference in trips noted.

The estimated trips to be generated by the site is shown in Table 4 below.

The table indicates the trip generation between the two uses is comparable.

Table 4 – Trip Generation							
Land Use	Size	ITE Land Use Type Assumed	Daily	AM Enter	AM Exit	PM Enter	PM Exit
EXISTING LAND USE							
Water Park	75 parking spaces	482 – Water Slide Park	171	5	1	5	16
Hotel	255 Rooms	310 – Hotel	2,452	73	50	85	81
Total – Existing Land Use			2,623	78	51	90	97
PROPOSED LAND USE							
Fitness Center	30,000 sf	492 – Health/Fitness Club	1,130*	21	19	65	48
Apartments	170 DU's	220 – Multi-Family Housing Mid Rise	925	16	42	46	28
Total – Proposed Land Use			1,925	37	61	111	76
Difference – negative indicates reduction in trips			-698	-41	10	21	-21
*-No rate provided in ITE Trip Generation Manual, daily traffic estimated using the 10% rule of thumb with the PM peak hour volume							

2. TRIP DISTRIBUTION AND ASSIGNMENT

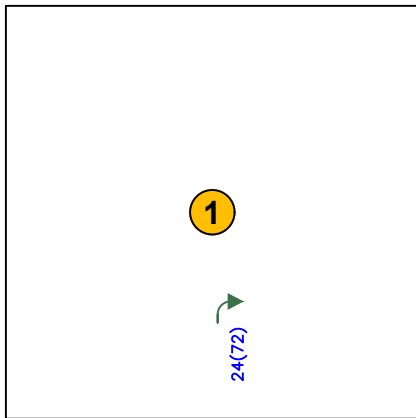
Traffic can only enter the site from northbound Carlisle. For purposes of this analysis, it was assumed 65% of the trips entered via the Cutler Avenue intersection. Also, as no site traffic currently uses Cutler Avenue to access the site (as there is no existing driveway off Cutler), no changes in entering traffic (northbound right turns) was made. No traffic was assumed to exit via Cutler Avenue due to the one-way (eastbound) restriction.

Spreadsheets showing the development of the trips at each intersection is also included in Appendix C. The trip distribution percentages and assigned traffic volumes for the site is shown in Figure 4.

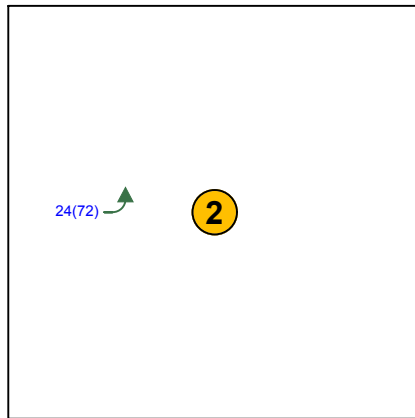
3. 2021 NO BUILD TRAFFIC PROJECTIONS

The MRCOG online traffic count database was used to estimate the background traffic growth. The data for the street segments in the area is summarized in spreadsheets included in Appendix C. This resulted in a slightly negative annual growth rate. For purposes of this study a 1% annual growth rate was used. Figure 5 on page 15 shows the 2021 No Build traffic volumes, number of lanes, and level of service.

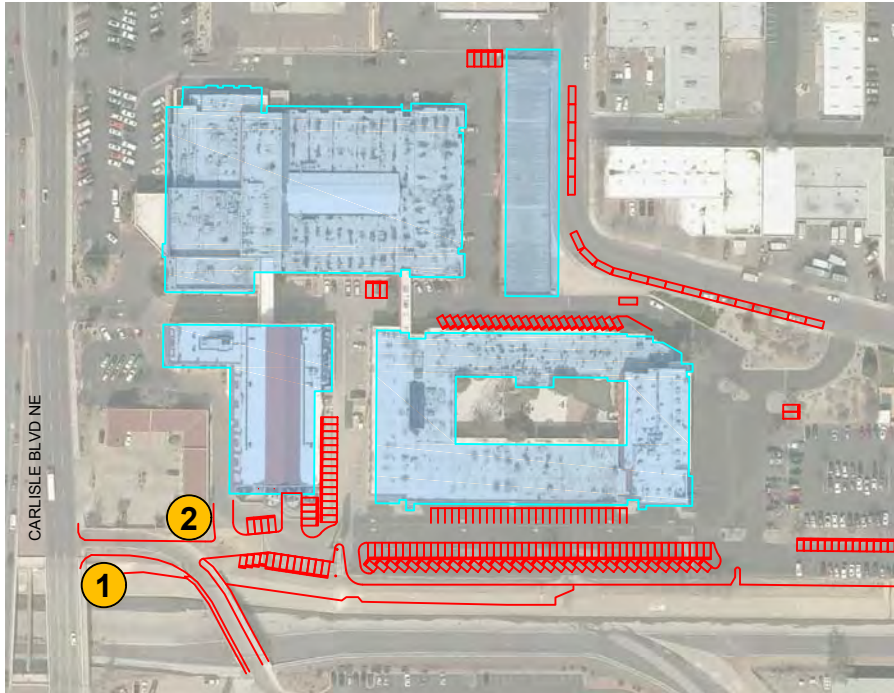
The No Build analysis assumes that the proposed project is not completed.



Carlisle/Cutler

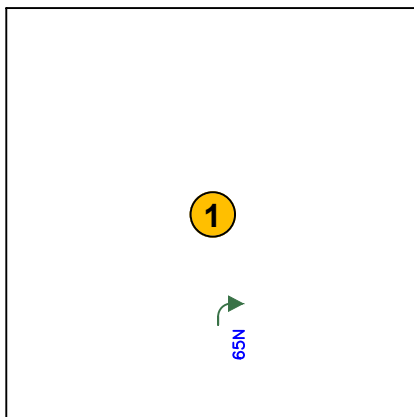


Cutler/Site Entrance

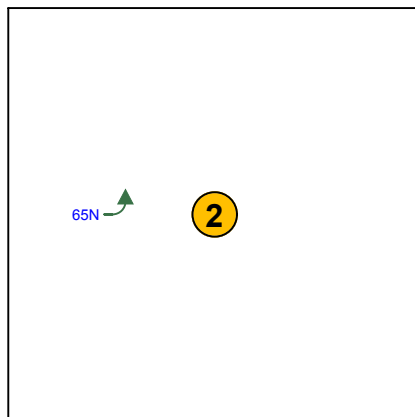


LEGEND

- ↑ ↑ ↑ Thru Lanes
(# as indicated)
- ↔ ↔ ↔ Turning Lanes
(# as indicated)
- 1234(1234) AM(PM) Traffic
Counts



Carlisle/Cutler



Cutler/Site Entrance

LEGEND

- ↑ ↑ ↑ Thru Lanes
(# as indicated)
- ↔ ↔ ↔ Turning Lanes
(# as indicated)
- 1234 Trip Assignment
Percentages
- N Entering
- X Exiting

VI. TRAFFIC AND IMPROVEMENT ANALYSIS

The following section will discuss the results of the future year traffic analysis.

A. LEVEL OF SERVICE ANALYSIS

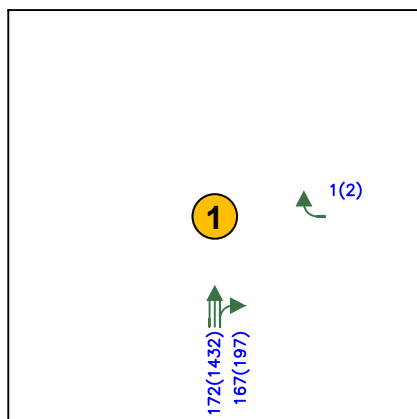
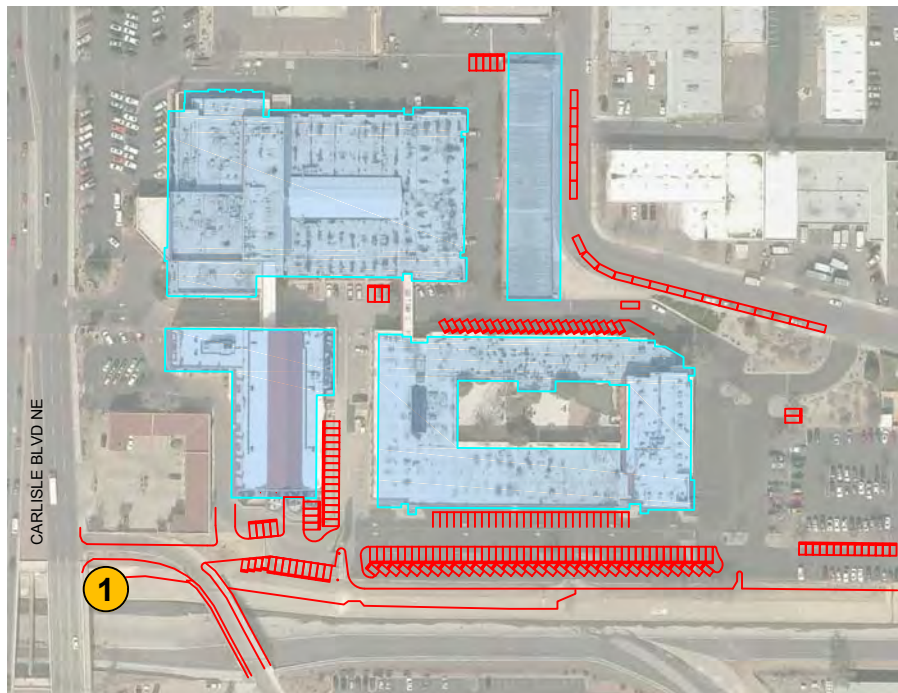
1. 2021 NO BUILD INTERSECTION CAPACITY ANALYSIS

For the 2021 No Build scenario, the intersections were again analyzed using Synchro/SimTraffic 10. The results are shown graphically in Figure 5. Table 5 shows the v/c ratio calculation for the 2021 No Build scenario, using the northbound approach volumes and PHF from Figure 5. Please note the existing conditions PHF was maintained, as it is considered to be conservative, as with additional traffic growth on Carlisle the PHF will likely increase slightly, which would result in a lower peak 15-minute flow rate. Table 6 shows the 2021 No Build results. Synchro/SimTraffic output is included in Appendix D.

The analysis indicates the Cutler Avenue intersection continues to operate at acceptable delay and queue in the 2021 No Build condition.

Table 5 – 2021 No Build AM and PM Volume-to-Capacity Calculation					
Peak Hour	PHF	NB Approach Peak Hour Volume	NB Approach Peak 15-minute Volume	Assumed Capacity	Estimated v/c*
AM Peak Hour	0.91	1,172 + 167 = 1,339	1,339 / 0.91 = 1,471	2,700	0.54
PM Peak Hour	0.93	1,432 + 197 = 1,629	1,629 / 0.93 = 1,752	2,700	0.65
*- v/c estimated by total northbound volume divided by 2,700 (3 lanes with assumed capacity of 900 vphpl)					



Table 6 – 2021 No Build AM and PM Unsignalized Intersection Results SimTraffic Results						
Intersection/Movement	2021 No Build AM Peak			2021 No Build PM Peak		
	Delay	v/c*	Queue** (ft)	Delay	v/c*	Queue** (ft)
Carlisle and Cutler NB Right	1.1	0.54	0	1.3	0.65	0
*- v/c estimated by total northbound volume divided by 2,700 (3 lanes with assumed capacity of 900 vphpl)						
**- SimTraffic 95 th percentile queue rounded to next 25-foot increment						



Carlisle/Cutler

AM PHF: 0.91
PM PHF: 0.93

LEGEND

-  Thru Lanes
(# as indicated)
-  Turning Lanes
(# as indicated)
- 1234(1234) AM(PM) Traffic
Counts

2. 2021 BUILD TRAFFIC VOLUMES

a) Cutler Avenue

The trips generated by the site (Table 4) were assigned to the intersections using the trip percentages and volumes assigned shown in Figure 4. These trips were added to the 2021 No Build traffic projections in Figure 5.

Table 9 shows the calculation of the v/c ratio for the 2021 build scenario.

Table 8 and Figure 6 present a summary of the 2021 Build Peak hour traffic projections and lane geometry for the 2021 Build analysis. Individual intersection output is included in Appendix E.

The entering northbound right continues to show a low delay using SimTraffic results. The v/c ratio is also still within levels considered to be acceptable and not indicative of excessive congestion.

Table 7 – 2021 Build AM and PM Volume-to-Capacity Calculation Carlisle and Cutler					
Peak Hour	PHF	NB Approach Peak Hour Volume	NB Approach Peak 15-minute Volume	Assumed Capacity	Estimated v/c*
AM Peak Hour	0.91	1,172 + 191 = 1,363	1,363 / 0.91 = 1,498	2,700	0.55
PM Peak Hour	0.93	1,432 + 269 = 1,701	1,701 / 0.93 = 1,829	2,700	0.68
*- v/c estimated by total northbound volume divided by 2,700 (3 lanes with assumed capacity of 900 vphpl)					

Table 8 – 2021 Build AM and PM Unsignalized Intersection Results SimTraffic Results						
Intersection/Movement	2021 Build AM Peak			2021 Build PM Peak		
	Delay	v/c*	Queue** (ft)	Delay	v/c*	Queue** (ft)
Carlisle and Cutler NB Right	1.1	0.55	0	1.7	0.68	0
*- v/c estimated by total northbound volume divided by 2,700 (3 lanes with assumed capacity of 900 vphpl)						
**- SimTraffic 95 th percentile queue rounded to next 25-foot increment						

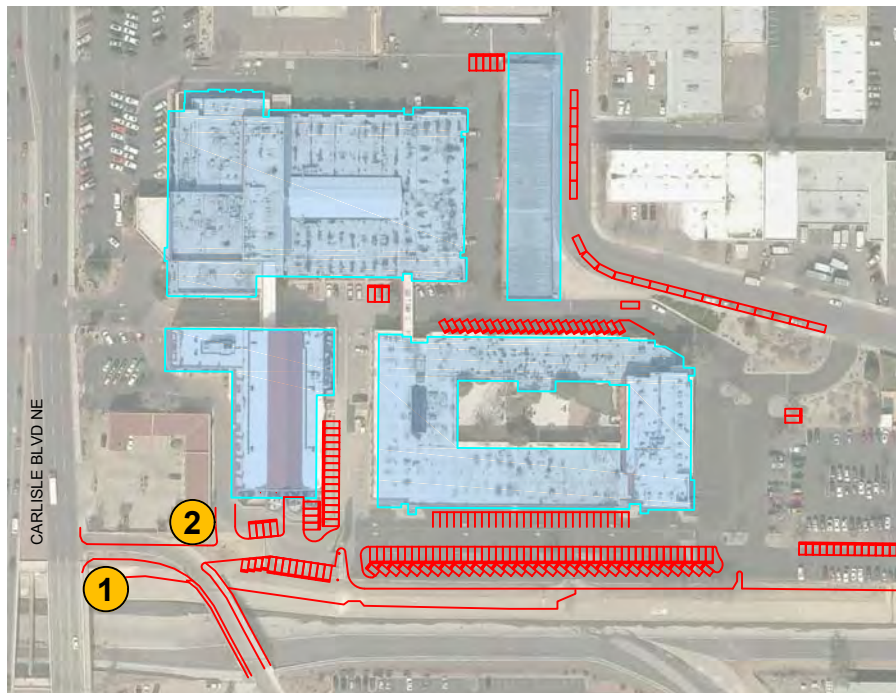
b) *Proposed Cutler Entrance*

The proposed entrance from Cutler Avenue into the site was also evaluated. As Cutler Avenue is one-way eastbound, the HCM procedures again do not calculate a delay, as there is no opposing traffic, and therefore no yield or stop (delay). SimTraffic was used to estimate delay.

The delays for entering traffic were low, and the v/c ratio was also acceptable. In this case, with just a single eastbound lane, a lane capacity of 900 vehicles per hour was used in determining the v/c ratio. The PHF of the Carlisle northbound right onto Cutler was used to determine the peak 15-minute flow rate, as that is the only traffic using Cutler.

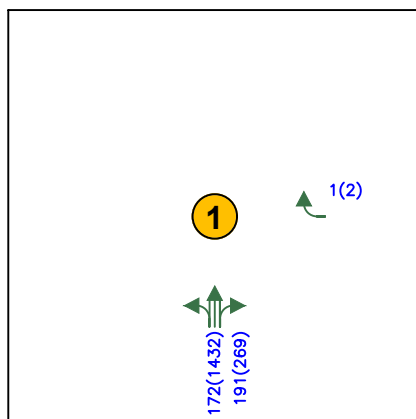
Table 9 – 2021 Build AM and PM Volume-to-Capacity Calculation Cutler Site Entrance					
Peak Hour	PHF	NB Approach Peak Hour Volume	NB Approach Peak 15-minute Volume	Assumed Capacity	Estimated v/c*
AM Peak Hour	0.90	191	191 / 0.90 = 212	900	0.24
PM Peak Hour	0.77	269	269 / 0.77 = 350	900	0.39
*- v/c estimated by total northbound volume divided by 900 vphpl (1 lane with assumed capacity of 900 vphpl)					

Table 10 – 2021 Build AM and PM Unsignalized Intersection Results SimTraffic Results						
Intersection/Movement	2021 Build AM Peak			2021 Build PM Peak		
	Delay	v/c*	Queue** (ft)	Delay	v/c*	Queue** (ft)
Cutler and Site Entrance						
EB Left	0.9	0.24	0	0.9	0.39	0
EB Through	0.1		0	0.2		0
*- v/c estimated by total eastbound volume divided by 900 (1 lane with assumed capacity of 900 vphpl)						
**- SimTraffic 95 th percentile queue rounded to next 25-foot increment						

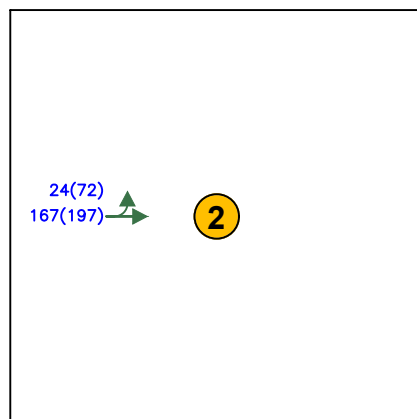


AM PHF: 0.91
PM PHF: 0.93

AM PHF: 0.90
PM PHF: 0.77



Carlisle/Cutler



Cutler/Site Entrance

LEGEND

- ↑ ↑ ↑ Thru Lanes
(# as indicated)
- ← ← → Turning Lanes
(# as indicated)
- 1234(1234) AM(PM) Traffic
Counts

VII. CONCLUSIONS AND RECOMMENDATIONS

A. CONCLUSIONS

The traffic analysis shows that under existing 2018, 2021 No Build, and 2021 Build conditions, the unsignalized intersection of Carlisle Boulevard and Cutler Avenue is expected to operate at an acceptable delay. HCM procedures do not determine a delay for a right turn at an unsignalized intersection; therefore, SimTraffic was used to estimate delay and queue. The SimTraffic delay was minimal, as would be expected with an unsignalized, free movement. SimTraffic also did not report a vehicle queue for the northbound right turning vehicles.

The proposed entrance on Cutler was also evaluated. Again, the HCM procedures do not report a delay, as Cutler is a one-way eastbound roadway, with no opposing traffic to delay the entering vehicles. SimTraffic was again used to evaluate the driveway operations, and found very low delay, with no queue.

A second check was made to determine the volume-to-capacity (v/c) ratio of the approaches to each intersection. An estimate of 900 vehicles per hour per lane was assumed. This is considered reasonable, as a free-flow lane is generally considered to have a capacity of 1,700 – 1,900 vehicles per hour. The 900 vehicles per hours per lane was used as an estimate of the capacity of a roadway with traffic signals that reduce the capacity of a free-flow lane. The v/c ratio was within a range that does not indicate high levels of congestion.

B. RECOMMENDATIONS

Do Not Enter signs (R5-1) should be installed prominently at the proposed entrance to discourage wrong-way traffic to exit via Cutler.

Wayfinding signs should also be installed to direct patrons and residents to the Cutler entrance to the site.

All improvements should be designed to satisfy City of Albuquerque, Manual on Uniform Traffic Control Devices (MUTCD), and American Association of State Highway Transportation Officials (AASHTO) design standards.

Appendix A

Existing Traffic Counts

Mike Henderson Consulting, LLC

5301 Camino Sandia NE
Albuquerque, NM 87111
(505) 275-5706

Collected by: MH10
Count only includes NB Carlisle
& Cutler East of Carlisle

File Name : Carlisle & Cutler
Site Code :
Start Date : 5/10/2018
Page No : 1

Groups Printed- Car - Truck

Start Time	Eastbound				Cutler Ave Westbound				Carlisle Blvd Northbound				Carlisle Blvd Southbound				Int. Total
	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	
06:30	0	0	0	0	0	0	0	0	0	158	9	167	0	0	0	0	167
06:45	0	0	0	0	0	0	1	1	0	196	14	210	0	0	0	0	211
Total	0	0	0	0	0	0	1	1	0	354	23	377	0	0	0	0	378
07:00	0	0	0	0	0	0	0	0	0	238	12	250	0	0	0	0	250
07:15	0	0	0	0	0	0	0	0	0	242	24	266	0	0	0	0	266
07:30	0	0	0	0	0	0	0	0	0	261	45	306	0	0	0	0	306
07:45	0	0	0	0	0	0	1	1	0	313	43	356	0	0	0	0	357
Total	0	0	0	0	0	0	1	1	0	1054	124	1178	0	0	0	0	1179
08:00	0	0	0	0	0	0	0	0	0	265	37	302	0	0	0	0	302
08:15	0	0	0	0	0	0	0	0	0	299	37	336	0	0	0	0	336
08:30	0	0	0	0	0	0	0	0	0	269	19	288	0	0	0	0	288
08:45	0	0	0	0	0	0	0	0	0	335	12	347	0	0	0	0	347
Total	0	0	0	0	0	0	0	0	0	1168	105	1273	0	0	0	0	1273
09:00	0	0	0	0	0	0	0	0	0	272	26	298	0	0	0	0	298
09:15	0	0	0	0	0	0	2	2	0	281	15	296	0	0	0	0	298
*** BREAK ***																	
Total	0	0	0	0	0	0	2	2	0	553	41	594	0	0	0	0	596
*** BREAK ***																	
15:00	0	0	0	0	0	0	1	1	0	317	31	348	0	0	0	0	349
15:15	0	0	0	0	0	0	0	0	0	303	33	336	0	0	0	0	336
15:30	0	0	0	0	0	0	0	0	0	289	24	313	0	0	0	0	313
15:45	0	0	0	0	0	0	0	0	0	370	44	414	0	0	0	0	414
Total	0	0	0	0	0	0	1	1	0	1279	132	1411	0	0	0	0	1412
16:00	0	0	0	0	0	0	0	0	0	323	18	341	0	0	0	0	341
16:15	0	0	0	0	0	0	0	0	0	345	29	374	0	0	0	0	374
16:30	0	0	0	0	0	0	1	1	0	329	30	359	0	0	0	0	360
16:45	0	0	0	0	0	0	1	1	0	384	37	421	0	0	0	0	422
Total	0	0	0	0	0	0	2	2	0	1381	114	1495	0	0	0	0	1497
17:00	0	0	0	0	0	0	1	1	0	322	35	357	0	0	0	0	358
17:15	0	0	0	0	0	0	0	0	0	353	62	415	0	0	0	0	415
17:30	0	0	0	0	0	0	0	0	0	331	57	388	0	0	0	0	388
17:45	0	0	0	0	0	0	1	1	0	280	38	318	0	0	0	0	319
Total	0	0	0	0	0	0	2	2	0	1286	192	1478	0	0	0	0	1480
Grand Total	0	0	0	0	0	0	9	9	0	7075	731	7806	0	0	0	0	7815
Apprch %	0	0	0		0	0	100		0	90.6	9.4		0	0	0		
Total %	0	0	0	0	0	0	0.1	0.1	0	90.5	9.4	99.9	0	0	0	0	
Car	0	0	0	0	0	0	9	9	0	6912	726	7638	0	0	0	0	7647
% Car	0	0	0	0	0	0	100	100	0	97.7	99.3	97.8	0	0	0	0	97.9
Truck	0	0	0	0	0	0	0	0	0	163	5	168	0	0	0	0	168
% Truck	0	0	0	0	0	0	0	0	0	2.3	0.7	2.2	0	0	0	0	2.1

Mike Henderson Consulting, LLC

5301 Camino Sandia NE
Albuquerque, NM 87111
(505) 275-5706

Collected by: MH10
Count only includes NB Carlisle
& Cutler East of Carlisle

File Name : Carlisle & Cutler
Site Code :
Start Date : 5/10/2018
Page No : 2

	Eastbound				Cutler Ave Westbound				Carlisle Blvd Northbound				Carlisle Blvd Southbound				
Start Time	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	Left	Thru	Right	App. Total	Int. Total
Peak Hour Analysis From 06:30 to 11:45 - Peak 1 of 1																	
Peak Hour for Entire Intersection Begins at 07:30																	
07:30	0	0	0	0	0	0	0	0	0	261	45	306	0	0	0	0	306
07:45	0	0	0	0	0	0	1	1	0	313	43	356	0	0	0	0	357
08:00	0	0	0	0	0	0	0	0	0	265	37	302	0	0	0	0	302
08:15	0	0	0	0	0	0	0	0	0	299	37	336	0	0	0	0	336
Total Volume	0	0	0	0	0	0	1	1	0	1138	162	1300	0	0	0	0	1301
% App. Total	0	0	0	0	0	0	100		0	87.5	12.5		0	0	0		
PHF	.000	.000	.000	.000	.000	.000	.250	.250	.000	.909	.900	.913	.000	.000	.000	.000	.911
Car	0	0	0	0	0	0	1	1	0	1107	161	1268	0	0	0	0	1269
% Car	0	0	0	0	0	0	100	100	0	97.3	99.4	97.5	0	0	0	0	97.5
Truck	0	0	0	0	0	0	0	0	0	31	1	32	0	0	0	0	32
% Truck	0	0	0	0	0	0	0	0	0	2.7	0.6	2.5	0	0	0	0	2.5
Peak Hour Analysis From 12:00 to 17:45 - Peak 1 of 1																	
Peak Hour for Entire Intersection Begins at 16:45																	
16:45	0	0	0	0	0	0	1	1	0	384	37	421	0	0	0	0	422
17:00	0	0	0	0	0	0	1	1	0	322	35	357	0	0	0	0	358
17:15	0	0	0	0	0	0	0	0	0	353	62	415	0	0	0	0	415
17:30	0	0	0	0	0	0	0	0	0	331	57	388	0	0	0	0	388
Total Volume	0	0	0	0	0	0	2	2	0	1390	191	1581	0	0	0	0	1583
% App. Total	0	0	0	0	0	0	100		0	87.9	12.1		0	0	0		
PHF	.000	.000	.000	.000	.000	.000	.500	.500	.000	.905	.770	.939	.000	.000	.000	.000	.938
Car	0	0	0	0	0	0	2	2	0	1378	190	1568	0	0	0	0	1570
% Car	0	0	0	0	0	0	100	100	0	99.1	99.5	99.2	0	0	0	0	99.2
Truck	0	0	0	0	0	0	0	0	0	12	1	13	0	0	0	0	13
% Truck	0	0	0	0	0	0	0	0	0	0.9	0.5	0.8	0	0	0	0	0.8

Mike Henderson Consulting, LLC

5301 Camino Sandia NE
Albuquerque, NM 87111
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Collected by: MH10
Count only includes NB Carlisle
& Cutler East of Carlisle

File Name : Carlisle & Cutler
Site Code :
Start Date : 5/10/2018
Page No : 1

Groups Printed- Bike

Start Time	Eastbound					Cutler Ave Westbound					Carlisle Blvd Northbound					Carlisle Blvd Southbound					Int. Total
	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	
06:30	0	0	0	0	0	0	0	0	1	1	0	0	0	0	0	0	0	0	0	0	1
06:45	0	0	0	0	0	0	0	0	2	2	0	0	1	0	1	0	0	0	0	0	3
Total	0	0	0	0	0	0	0	0	3	3	0	0	1	0	1	0	0	0	0	0	4
07:00	0	0	0	0	0	0	0	0	3	3	0	0	0	0	0	0	0	0	0	0	3
07:15	0	0	0	0	0	0	0	0	2	2	0	0	0	0	0	0	0	0	0	0	2
07:30	0	0	0	0	0	0	0	0	3	3	0	0	1	0	1	0	0	0	0	0	4
*** BREAK ***																					
Total	0	0	0	0	0	0	0	0	8	8	0	0	1	0	1	0	0	0	0	0	9
08:00	0	0	0	0	0	0	0	0	1	1	0	0	1	0	1	0	0	0	0	0	2
08:15	0	0	0	0	0	0	0	0	4	4	0	0	0	0	0	0	0	0	0	0	4
08:30	0	0	0	0	0	0	0	0	5	5	0	0	1	0	1	0	0	0	0	0	6
08:45	0	0	0	0	0	0	0	0	2	2	0	0	0	0	0	0	0	0	0	0	2
Total	0	0	0	0	0	0	0	0	12	12	0	0	2	0	2	0	0	0	0	0	14
*** BREAK ***																					
09:15	0	0	0	0	0	0	0	0	3	3	0	0	0	0	0	0	0	0	0	0	3
*** BREAK ***																					
Total	0	0	0	0	0	0	0	0	3	3	0	0	0	0	0	0	0	0	0	0	3
*** BREAK ***																					
15:00	0	0	0	0	0	0	0	0	2	2	0	0	0	0	0	0	0	0	0	0	2
15:15	0	0	0	0	0	0	0	0	6	6	0	0	0	0	0	0	0	0	0	0	6
15:30	0	0	0	0	0	0	0	0	3	3	0	0	0	0	0	0	0	0	0	0	3
15:45	0	0	0	0	0	0	0	0	2	2	0	0	0	1	1	0	0	0	0	0	3
Total	0	0	0	0	0	0	0	0	13	13	0	0	0	1	1	0	0	0	0	0	14
*** BREAK ***																					
16:15	0	0	0	0	0	0	0	0	2	2	0	0	0	0	0	0	0	0	0	0	2
16:30	0	0	0	0	0	0	0	0	1	1	0	0	0	0	0	0	0	0	0	0	1
16:45	0	0	0	0	0	0	0	0	8	8	0	0	0	0	0	0	0	0	0	0	8
Total	0	0	0	0	0	0	0	0	11	11	0	0	0	0	0	0	0	0	0	0	11
17:00	0	0	0	0	0	0	0	0	5	5	0	0	0	0	0	0	0	0	0	0	5
17:15	0	0	0	0	0	0	0	0	3	3	0	0	0	0	0	0	0	0	0	0	3
17:30	0	0	0	0	0	0	0	0	5	5	0	0	0	0	0	0	0	0	1	1	6
17:45	0	0	0	0	0	0	0	0	6	6	0	0	0	0	0	0	0	0	0	0	6
Total	0	0	0	0	0	0	0	0	19	19	0	0	0	0	0	0	0	0	1	1	20
Grand Total	0	0	0	0	0	0	0	0	69	69	0	0	4	1	5	0	0	0	1	1	75
Apprch %	0	0	0	0		0	0	0	100		0	0	80	20		0	0	0	100		
Total %	0	0	0	0	0	0	0	0	92	92	0	0	5.3	1.3	6.7	0	0	0	1.3	1.3	

Appendix B
2018 Existing Intersection Capacity Analysis

Summary of All Intervals

Run Number	13	14	15	16	17		Avg
Start Time	6:50	6:50	6:50	6:50	6:50	6:50	6:50
End Time	8:20	8:20	8:20	8:20	8:20	8:20	8:20
Total Time (min)	90	90	90	90	90	90	90
Time Recorded (min)	80	80	80	80	80	80	80
# of Intervals	2	2	2	2	2	2	2
# of Recorded Intervals	1	1	1	1	1	1	1
Vehs Entered	1684	1689	1789	1741	1744	1741	1731
Vehs Exited	1677	1684	1805	1735	1748	1737	1731
Starting Vehs	19	18	25	11	19	18	19
Ending Vehs	26	23	9	17	15	22	19
Denied Entry Before	0	0	0	0	0	0	0
Denied Entry After	0	0	0	0	0	0	0
Travel Distance (mi)	850	853	914	886	892	885	880
Travel Time (hr)	23.1	23.3	24.8	23.9	24.1	24.2	23.9
Total Delay (hr)	0.9	0.9	1.1	1.0	1.0	1.0	1.0
Total Stops	2	2	1	0	0	0	1
Fuel Used (gal)	23.2	23.1	24.8	23.7	24.1	24.4	23.9

Interval #0 Information Seeding

Start Time	6:50
End Time	7:00
Total Time (min)	10
Volumes adjusted by Growth Factors.	
No data recorded this interval.	

Interval #1 Information Recording

Start Time	7:00
End Time	8:20
Total Time (min)	80
Volumes adjusted by Growth Factors.	

Run Number	13	14	15	16	17		Avg
Vehs Entered	1684	1689	1789	1741	1744	1741	1731
Vehs Exited	1677	1684	1805	1735	1748	1737	1731
Starting Vehs	19	18	25	11	19	18	19
Ending Vehs	26	23	9	17	15	22	19
Denied Entry Before	0	0	0	0	0	0	0
Denied Entry After	0	0	0	0	0	0	0
Travel Distance (mi)	850	853	914	886	892	885	880
Travel Time (hr)	23.1	23.3	24.8	23.9	24.1	24.2	23.9
Total Delay (hr)	0.9	0.9	1.1	1.0	1.0	1.0	1.0
Total Stops	2	2	1	0	0	0	1
Fuel Used (gal)	23.2	23.1	24.8	23.7	24.1	24.4	23.9

3: Carlisle & Cutler Performance by movement

Movement	WBR	NBT	NBR	All
Denied Delay (hr)	0.0	0.0	0.0	0.1
Denied Del/Veh (s)	0.1	0.1	0.2	0.1
Total Delay (hr)	0.0	0.3	0.1	0.4
Total Del/Veh (s)	2.1	0.7	1.0	0.7
Stop Delay (hr)	0.0	0.0	0.0	0.0
Stop Del/Veh (s)	2.0	0.0	0.0	0.0
Total Stops	1	0	0	1
Stop/Veh	1.00	0.00	0.00	0.00
Travel Dist (mi)	0.1	346.7	50.1	396.9
Travel Time (hr)	0.0	9.1	1.6	10.7
Avg Speed (mph)	18	38	32	37
Fuel Used (gal)	0.0	9.3	1.2	10.6
Fuel Eff. (mpg)	37.5	37.2	40.7	37.6
Vehicles Entered	1	1512	218	1731
Vehicles Exited	1	1512	219	1732
Hourly Exit Rate	1	1134	164	1299
Input Volume	1	1138	162	1301
% of Volume	75	100	101	100
Denied Entry Before	0	0	0	0
Denied Entry After	0	0	0	0

Total Network Performance

Denied Delay (hr)	0.1
Denied Del/Veh (s)	0.1
Total Delay (hr)	0.9
Total Del/Veh (s)	1.9
Stop Delay (hr)	0.0
Stop Del/Veh (s)	0.0
Total Stops	1
Stop/Veh	0.00
Travel Dist (mi)	880.0
Travel Time (hr)	23.9
Avg Speed (mph)	37
Fuel Used (gal)	23.9
Fuel Eff. (mpg)	36.9
Vehicles Entered	1731
Vehicles Exited	1731
Hourly Exit Rate	1298
Input Volume	2602
% of Volume	50
Denied Entry Before	0
Denied Entry After	0

Intersection: 3: Carlisle & Cutler

Movement	WB
Directions Served	LTR
Maximum Queue (ft)	15
Average Queue (ft)	1
95th Queue (ft)	8
Link Distance (ft)	451
Upstream Blk Time (%)	
Queuing Penalty (veh)	
Storage Bay Dist (ft)	
Storage Blk Time (%)	
Queuing Penalty (veh)	

Network Summary

Network wide Queuing Penalty: 0

Summary of All Intervals

Run Number	13	14	15	16	17		Avg
Start Time	4:50	4:50	4:50	4:50	4:50	4:50	4:50
End Time	6:20	6:20	6:20	6:20	6:20	6:20	6:20
Total Time (min)	90	90	90	90	90	90	90
Time Recorded (min)	80	80	80	80	80	80	80
# of Intervals	2	2	2	2	2	2	2
# of Recorded Intervals	1	1	1	1	1	1	1
Vehs Entered	2092	2073	2177	2146	2136	2166	2132
Vehs Exited	2102	2082	2166	2151	2136	2152	2132
Starting Vehs	30	25	14	24	26	14	22
Ending Vehs	20	16	25	19	26	28	22
Denied Entry Before	0	0	0	0	0	0	0
Denied Entry After	0	0	0	0	0	0	0
Travel Distance (mi)	1085	1080	1128	1120	1113	1122	1108
Travel Time (hr)	29.8	29.6	31.1	30.6	30.5	30.7	30.4
Total Delay (hr)	1.5	1.4	1.6	1.6	1.6	1.6	1.5
Total Stops	3	3	1	6	6	5	4
Fuel Used (gal)	29.5	29.3	31.0	30.5	30.3	30.5	30.2

Interval #0 Information Seeding

Start Time	4:50
End Time	5:00
Total Time (min)	10
Volumes adjusted by Growth Factors.	
No data recorded this interval.	

Interval #1 Information Recording

Start Time	5:00
End Time	6:20
Total Time (min)	80
Volumes adjusted by Growth Factors.	

Run Number	13	14	15	16	17		Avg
Vehs Entered	2092	2073	2177	2146	2136	2166	2132
Vehs Exited	2102	2082	2166	2151	2136	2152	2132
Starting Vehs	30	25	14	24	26	14	22
Ending Vehs	20	16	25	19	26	28	22
Denied Entry Before	0	0	0	0	0	0	0
Denied Entry After	0	0	0	0	0	0	0
Travel Distance (mi)	1085	1080	1128	1120	1113	1122	1108
Travel Time (hr)	29.8	29.6	31.1	30.6	30.5	30.7	30.4
Total Delay (hr)	1.5	1.4	1.6	1.6	1.6	1.6	1.5
Total Stops	3	3	1	6	6	5	4
Fuel Used (gal)	29.5	29.3	31.0	30.5	30.3	30.5	30.2

3: Carlisle & Cutler Performance by movement

Movement	WBR	NBT	NBR	All
Denied Delay (hr)	0.0	0.1	0.0	0.1
Denied Del/Veh (s)	0.1	0.1	0.2	0.1
Total Delay (hr)	0.0	0.5	0.1	0.6
Total Del/Veh (s)	3.5	1.0	1.3	1.0
Stop Delay (hr)	0.0	0.0	0.0	0.0
Stop Del/Veh (s)	3.2	0.0	0.0	0.0
Total Stops	4	0	0	4
Stop/Veh	1.00	0.00	0.00	0.00
Travel Dist (mi)	0.3	449.3	63.9	513.5
Travel Time (hr)	0.0	11.9	2.0	13.9
Avg Speed (mph)	17	38	32	37
Fuel Used (gal)	0.0	12.0	1.5	13.6
Fuel Eff. (mpg)	41.5	37.4	41.6	37.9
Vehicles Entered	4	1863	265	2132
Vehicles Exited	4	1863	264	2131
Hourly Exit Rate	3	1397	198	1598
Input Volume	2	1390	191	1583
% of Volume	150	101	104	101
Denied Entry Before	0	0	0	0
Denied Entry After	0	0	0	0

Total Network Performance

Denied Delay (hr)	0.1
Denied Del/Veh (s)	0.1
Total Delay (hr)	1.5
Total Del/Veh (s)	2.5
Stop Delay (hr)	0.0
Stop Del/Veh (s)	0.0
Total Stops	4
Stop/Veh	0.00
Travel Dist (mi)	1108.1
Travel Time (hr)	30.4
Avg Speed (mph)	37
Fuel Used (gal)	30.2
Fuel Eff. (mpg)	36.7
Vehicles Entered	2132
Vehicles Exited	2132
Hourly Exit Rate	1599
Input Volume	3166
% of Volume	51
Denied Entry Before	0
Denied Entry After	0

Intersection: 3: Carlisle & Cutler

Movement	WB
Directions Served	LTR
Maximum Queue (ft)	31
Average Queue (ft)	3
95th Queue (ft)	17
Link Distance (ft)	451
Upstream Blk Time (%)	
Queuing Penalty (veh)	
Storage Bay Dist (ft)	
Storage Blk Time (%)	
Queuing Penalty (veh)	

Network Summary

Network wide Queuing Penalty: 0

Appendix C
Forecast Turning Movements
and Background Traffic Growth

WYNDHAM ALBUQUERQUE HOTEL REMODEL
EXISTING & PROJECTED TURNING MOVEMENTS

INTERSECTION: Carlisle and Cutler

Southbound Carlisle not counted as does not impact operations of Cutler due to median

AM Peak Hour

	Southbound Carlisle			Westbound Cutler			Northbound Carlisle			Eastbound Cutler		
	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right
Existing Volumes (2018)	0	0	0	0	0	1	0	1,138	162	0	0	0
Background Growth (2018-2021)	0	0	0	0	0	0	0	34	5	0	0	0
Approved Development												
2021 No Build	0	0	0	0	0	1	0	1,172	167	0	0	0
Site Enter									24			
Site Exit												
2021 Build	0	0	0	0	0	1	0	1,172	191	0	0	0

<i>PHF</i>	0.910		0.910		0.910		0.910
<i>HV %</i>	2		2		3		2

PM Peak Hour

	Southbound Carlisle			Westbound Cutler			Northbound Carlisle			Eastbound Cutler		
	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right
Existing Volumes (2018)	0	0	0	0	0	2	0	1,390	191	0	0	0
Background Growth (2018-2021)	0	0	0	0	0	0	0	42	6	0	0	0
Approved Development												
0												
0												
2021 No Build	0	0	0	0	0	2	0	1,432	197	0	0	0
Site Enter									72			
Site Exit												
2021 Build	0	0	0	0	0	2	0	1,432	269	0	0	0

<i>PHF</i>	0.930		0.930		0.930		0.930
<i>HV %</i>	2		2		2		2

growth rates	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%
Trip Distribution % Enter									65.0%			Site
Trip Distribution % Exit	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	

WYNDHAM ALBUQUERQUE HOTEL REMODEL
EXISTING & PROJECTED TURNING MOVEMENTS

INTERSECTION: Cutler and Site Entrance

AM Peak Hour

	Southbound Entrance			Westbound Cutler			Northbound Entrance			Eastbound Cutler		
	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right
Existing Volumes (2018)	0	0	0	0	0	0	0	0	0	0	162	0
Background Growth (2018-2021)	0	0	0	0	0	0	0	0	0	0	5	0
Approved Development												
2021 No Build	0	0	0	0	0	0	0	0	0	0	167	0
Site Enter										24		
Site Exit												
2021 Build	0	0	0	0	0	0	0	0	0	24	167	0

PHF 0.920 0.920 0.920 0.920
HV % 0 2 2 2

PM Peak Hour

	Southbound Entrance			Westbound Cutler			Northbound Entrance			Eastbound Cutler		
	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right
Existing Volumes (2018)	0	0	0	0	0	0	0	0	0	0	191	0
Background Growth (2018-2021)	0	0	0	0	0	0	0	0	0	0	6	0
Approved Development												
0												
0												
2021 No Build	0	0	0	0	0	0	0	0	0	0	197	0
Site Enter										72		
Site Exit												
	0	0	0	0	0	0	0	0	0	72	197	0

PHF 0.920 0.920 0.920 0.920
HV % 2 2 2 2

growth rates	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%	1.0%
Trip Distribution % Enter										65.0%		Site
Trip Distribution % Exit	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	0.0%	

Wyndham Albuquerque Hotel and Convention Remodel Growth Rate Determination

AWDT on Carlisle
(N of 40)

Year	AWDT
2012	31,313
2013	31,188
2014	30,317
2015	30,438
2016	30,529

$$\text{Linear Growth Rate} = \{[(30,529 - 31,313)/4]/30,529\} \times 100 = -0.64\%$$

Regression Output	
R Square	0.64
Standard Error	3.19E+02
Observations	5
Intercept	497,602
Std Err of Intercept	2.E+05
Coefficient	-232
Std Err of Coefficient	101

Projected AWDT

2012	31,221
2013	30,989
2014	30,757
2015	30,525
2016	30,293
2017	30,062
2018	29,830
2019	29,598
2020	29,366
2021	29,134

Regression Equation

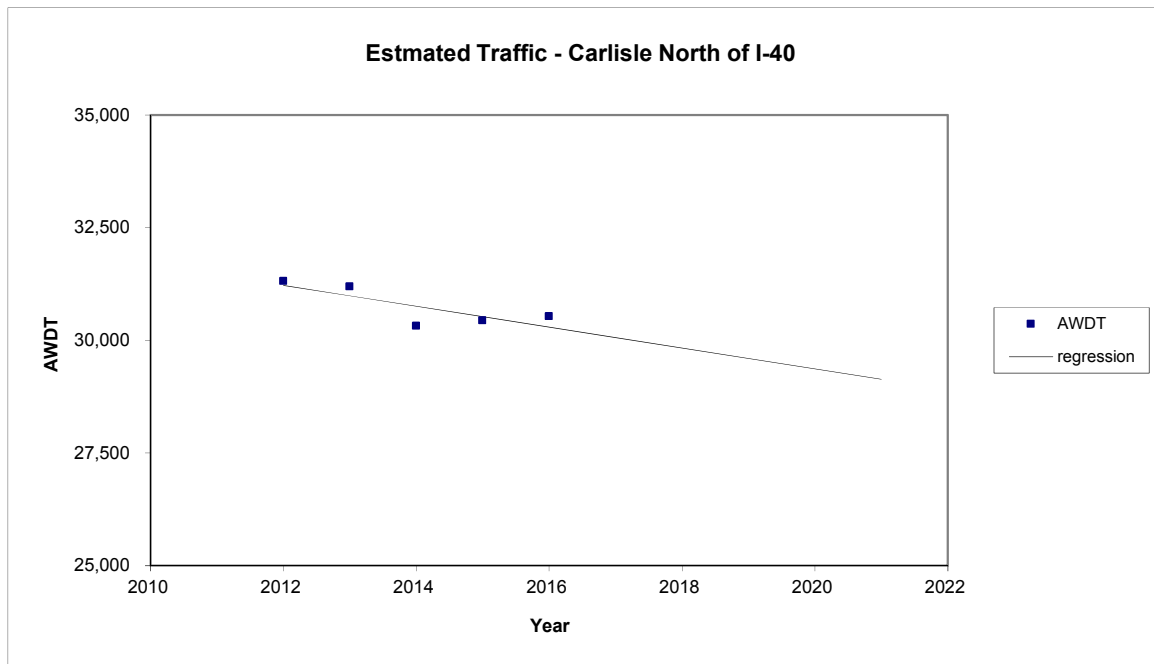
$$\text{AWDT} = -232 \times \text{Year} + 497,602$$

Coefficient Growth Rate -0.76%

Estimated Annual Growth Rate

$$[(29,134 - 30,529)/30,529] \times 100\% = -4.57\%$$

$$-4.57\%/5 = -0.91\%$$



Appendix D
2021 No Build Intersection Capacity Analysis

Summary of All Intervals

Run Number	13	14	15	16	17		Avg
Start Time	6:50	6:50	6:50	6:50	6:50	6:50	6:50
End Time	8:20	8:20	8:20	8:20	8:20	8:20	8:20
Total Time (min)	90	90	90	90	90	90	90
Time Recorded (min)	80	80	80	80	80	80	80
# of Intervals	2	2	2	2	2	2	2
# of Recorded Intervals	1	1	1	1	1	1	1
Vehs Entered	1740	1765	1823	1806	1760	1805	1783
Vehs Exited	1735	1760	1832	1801	1763	1800	1781
Starting Vehs	18	18	19	12	20	16	17
Ending Vehs	23	23	10	17	17	21	19
Denied Entry Before	0	0	0	0	0	0	0
Denied Entry After	0	0	0	0	0	0	0
Travel Distance (mi)	882	892	931	919	896	918	906
Travel Time (hr)	24.0	24.4	25.3	24.9	24.3	25.0	24.6
Total Delay (hr)	1.0	1.0	1.1	1.1	1.0	1.1	1.1
Total Stops	2	2	1	1	0	0	1
Fuel Used (gal)	24.0	24.2	25.2	24.7	24.3	25.3	24.6

Interval #0 Information Seeding

Start Time	6:50
End Time	7:00
Total Time (min)	10
Volumes adjusted by Growth Factors.	
No data recorded this interval.	

Interval #1 Information Recording

Start Time	7:00
End Time	8:20
Total Time (min)	80
Volumes adjusted by Growth Factors.	

Run Number	13	14	15	16	17		Avg
Vehs Entered	1740	1765	1823	1806	1760	1805	1783
Vehs Exited	1735	1760	1832	1801	1763	1800	1781
Starting Vehs	18	18	19	12	20	16	17
Ending Vehs	23	23	10	17	17	21	19
Denied Entry Before	0	0	0	0	0	0	0
Denied Entry After	0	0	0	0	0	0	0
Travel Distance (mi)	882	892	931	919	896	918	906
Travel Time (hr)	24.0	24.4	25.3	24.9	24.3	25.0	24.6
Total Delay (hr)	1.0	1.0	1.1	1.1	1.0	1.1	1.1
Total Stops	2	2	1	1	0	0	1
Fuel Used (gal)	24.0	24.2	25.2	24.7	24.3	25.3	24.6

3: Carlisle & Cutler Performance by movement

Movement	WBR	NBT	NBR	All
Denied Delay (hr)	0.0	0.1	0.0	0.1
Denied Del/Veh (s)	0.1	0.1	0.2	0.1
Total Delay (hr)	0.0	0.3	0.1	0.4
Total Del/Veh (s)	2.6	0.8	1.1	0.8
Stop Delay (hr)	0.0	0.0	0.0	0.0
Stop Del/Veh (s)	2.5	0.0	0.0	0.0
Total Stops	1	0	0	1
Stop/Veh	1.00	0.00	0.00	0.00
Travel Dist (mi)	0.1	357.0	51.6	408.6
Travel Time (hr)	0.0	9.4	1.6	11.0
Avg Speed (mph)	18	38	32	37
Fuel Used (gal)	0.0	9.6	1.3	10.9
Fuel Eff. (mpg)	38.0	37.2	40.7	37.6
Vehicles Entered	1	1557	225	1783
Vehicles Exited	1	1558	226	1785
Hourly Exit Rate	1	1169	170	1339
Input Volume	1	1172	167	1340
% of Volume	75	100	101	100
Denied Entry Before	0	0	0	0
Denied Entry After	0	0	0	0

Total Network Performance

Denied Delay (hr)	0.1
Denied Del/Veh (s)	0.1
Total Delay (hr)	1.0
Total Del/Veh (s)	2.0
Stop Delay (hr)	0.0
Stop Del/Veh (s)	0.0
Total Stops	1
Stop/Veh	0.00
Travel Dist (mi)	906.2
Travel Time (hr)	24.6
Avg Speed (mph)	37
Fuel Used (gal)	24.6
Fuel Eff. (mpg)	36.8
Vehicles Entered	1783
Vehicles Exited	1781
Hourly Exit Rate	1336
Input Volume	2680
% of Volume	50
Denied Entry Before	0
Denied Entry After	0

Intersection: 3: Carlisle & Cutler

Movement	WB
Directions Served	LTR
Maximum Queue (ft)	20
Average Queue (ft)	1
95th Queue (ft)	9
Link Distance (ft)	451
Upstream Blk Time (%)	
Queuing Penalty (veh)	
Storage Bay Dist (ft)	
Storage Blk Time (%)	
Queuing Penalty (veh)	

Network Summary

Network wide Queuing Penalty: 0

Summary of All Intervals

Run Number	13	14	15	16	17		Avg
Start Time	4:50	4:50	4:50	4:50	4:50	4:50	4:50
End Time	6:20	6:20	6:20	6:20	6:20	6:20	6:20
Total Time (min)	90	90	90	90	90	90	90
Time Recorded (min)	80	80	80	80	80	80	80
# of Intervals	2	2	2	2	2	2	2
# of Recorded Intervals	1	1	1	1	1	1	1
Vehs Entered	2093	2131	2266	2177	2192	2240	2183
Vehs Exited	2111	2128	2247	2175	2192	2217	2178
Starting Vehs	29	18	14	21	26	13	21
Ending Vehs	11	21	33	23	26	36	25
Denied Entry Before	0	0	0	0	0	0	0
Denied Entry After	0	0	0	0	0	0	0
Travel Distance (mi)	1088	1110	1171	1134	1143	1155	1134
Travel Time (hr)	29.9	30.4	32.3	31.1	31.3	31.6	31.1
Total Delay (hr)	1.5	1.5	1.7	1.7	1.6	1.6	1.6
Total Stops	3	4	3	6	5	5	4
Fuel Used (gal)	29.6	30.2	32.2	31.0	31.1	31.6	30.9

Interval #0 Information Seeding

Start Time	4:50
End Time	5:00
Total Time (min)	10
Volumes adjusted by Growth Factors.	
No data recorded this interval.	

Interval #1 Information Recording

Start Time	5:00
End Time	6:20
Total Time (min)	80
Volumes adjusted by Growth Factors.	

Run Number	13	14	15	16	17		Avg
Vehs Entered	2093	2131	2266	2177	2192	2240	2183
Vehs Exited	2111	2128	2247	2175	2192	2217	2178
Starting Vehs	29	18	14	21	26	13	21
Ending Vehs	11	21	33	23	26	36	25
Denied Entry Before	0	0	0	0	0	0	0
Denied Entry After	0	0	0	0	0	0	0
Travel Distance (mi)	1088	1110	1171	1134	1143	1155	1134
Travel Time (hr)	29.9	30.4	32.3	31.1	31.3	31.6	31.1
Total Delay (hr)	1.5	1.5	1.7	1.7	1.6	1.6	1.6
Total Stops	3	4	3	6	5	5	4
Fuel Used (gal)	29.6	30.2	32.2	31.0	31.1	31.6	30.9

3: Carlisle & Cutler Performance by movement

Movement	WBR	NBT	NBR	All
Denied Delay (hr)	0.0	0.1	0.0	0.1
Denied Del/Veh (s)	0.1	0.1	0.2	0.1
Total Delay (hr)	0.0	0.5	0.1	0.6
Total Del/Veh (s)	3.8	1.0	1.3	1.1
Stop Delay (hr)	0.0	0.0	0.0	0.0
Stop Del/Veh (s)	3.5	0.0	0.0	0.0
Total Stops	4	0	0	4
Stop/Veh	1.00	0.00	0.00	0.00
Travel Dist (mi)	0.4	459.6	65.5	525.6
Travel Time (hr)	0.0	12.2	2.1	14.3
Avg Speed (mph)	17	38	32	37
Fuel Used (gal)	0.0	12.3	1.6	13.9
Fuel Eff. (mpg)	39.2	37.4	41.5	37.8
Vehicles Entered	4	1907	272	2183
Vehicles Exited	4	1904	272	2180
Hourly Exit Rate	3	1428	204	1635
Input Volume	2	1432	197	1631
% of Volume	150	100	104	100
Denied Entry Before	0	0	0	0
Denied Entry After	0	0	0	0

Total Network Performance

Denied Delay (hr)	0.1
Denied Del/Veh (s)	0.1
Total Delay (hr)	1.5
Total Del/Veh (s)	2.5
Stop Delay (hr)	0.0
Stop Del/Veh (s)	0.0
Total Stops	4
Stop/Veh	0.00
Travel Dist (mi)	1133.6
Travel Time (hr)	31.1
Avg Speed (mph)	37
Fuel Used (gal)	30.9
Fuel Eff. (mpg)	36.6
Vehicles Entered	2183
Vehicles Exited	2178
Hourly Exit Rate	1634
Input Volume	3262
% of Volume	50
Denied Entry Before	0
Denied Entry After	0

Intersection: 3: Carlisle & Cutler

Movement	WB
Directions Served	LTR
Maximum Queue (ft)	31
Average Queue (ft)	3
95th Queue (ft)	18
Link Distance (ft)	451
Upstream Blk Time (%)	
Queuing Penalty (veh)	
Storage Bay Dist (ft)	
Storage Blk Time (%)	
Queuing Penalty (veh)	

Network Summary

Network wide Queuing Penalty: 0

Appendix E
2021 Build Intersection Capacity Analysis

Summary of All Intervals

Run Number	13	14	15	16	17		Avg
Start Time	6:50	6:50	6:50	6:50	6:50	6:50	6:50
End Time	8:20	8:20	8:20	8:20	8:20	8:20	8:20
Total Time (min)	90	90	90	90	90	90	90
Time Recorded (min)	80	80	80	80	80	80	80
# of Intervals	2	2	2	2	2	2	2
# of Recorded Intervals	1	1	1	1	1	1	1
Vehs Entered	1850	1881	1940	1801	1828	1849	1858
Vehs Exited	1843	1887	1944	1804	1825	1841	1857
Starting Vehs	18	28	23	17	19	14	20
Ending Vehs	25	22	19	14	22	22	21
Denied Entry Before	0	0	0	0	0	0	0
Denied Entry After	0	0	0	0	0	0	0
Travel Distance (mi)	925	952	981	918	921	934	939
Travel Time (hr)	25.4	26.1	26.8	24.9	25.0	25.5	25.6
Total Delay (hr)	1.1	1.2	1.2	1.1	1.1	1.2	1.2
Total Stops	0	3	0	1	0	0	1
Fuel Used (gal)	25.4	26.1	26.8	25.0	25.1	25.6	25.7

Interval #0 Information Seeding

Start Time	6:50
End Time	7:00
Total Time (min)	10
Volumes adjusted by Growth Factors.	
No data recorded this interval.	

Interval #1 Information Recording

Start Time	7:00
End Time	8:20
Total Time (min)	80
Volumes adjusted by Growth Factors.	

Run Number	13	14	15	16	17		Avg
Vehs Entered	1850	1881	1940	1801	1828	1849	1858
Vehs Exited	1843	1887	1944	1804	1825	1841	1857
Starting Vehs	18	28	23	17	19	14	20
Ending Vehs	25	22	19	14	22	22	21
Denied Entry Before	0	0	0	0	0	0	0
Denied Entry After	0	0	0	0	0	0	0
Travel Distance (mi)	925	952	981	918	921	934	939
Travel Time (hr)	25.4	26.1	26.8	24.9	25.0	25.5	25.6
Total Delay (hr)	1.1	1.2	1.2	1.1	1.1	1.2	1.2
Total Stops	0	3	0	1	0	0	1
Fuel Used (gal)	25.4	26.1	26.8	25.0	25.1	25.6	25.7

1: Carlisle & Cutler Performance by movement

Movement	WBR	NBT	NBR	All
Denied Delay (hr)	0.0	0.1	0.0	0.1
Denied Del/Veh (s)	0.1	0.1	0.2	0.1
Total Delay (hr)	0.0	0.4	0.1	0.4
Total Del/Veh (s)	1.9	0.8	1.1	0.8
Stop Delay (hr)	0.0	0.0	0.0	0.0
Stop Del/Veh (s)	2.0	0.0	0.0	0.0
Total Stops	1	0	0	1
Stop/Veh	1.00	0.00	0.00	0.00
Travel Dist (mi)	0.0	366.9	58.7	425.7
Travel Time (hr)	0.0	9.7	1.8	11.5
Avg Speed (mph)	7	38	32	37
Fuel Used (gal)	0.0	9.9	1.4	11.3
Fuel Eff. (mpg)	23.9	37.1	40.9	37.6
Vehicles Entered	1	1601	256	1858
Vehicles Exited	1	1600	256	1857
Hourly Exit Rate	1	1200	192	1393
Input Volume	1	1207	197	1405
% of Volume	75	99	97	99
Denied Entry Before	0	0	0	0
Denied Entry After	0	0	0	0

2: Cutler & Site Performance by movement

Movement	EBL	EBT	All
Denied Delay (hr)	0.0	0.0	0.0
Denied Del/Veh (s)	0.0	0.0	0.0
Total Delay (hr)	0.0	0.0	0.0
Total Del/Veh (s)	0.9	0.1	0.2
Stop Delay (hr)	0.0	0.0	0.0
Stop Del/Veh (s)	0.0	0.0	0.0
Total Stops	0	0	0
Stop/Veh	0.00	0.00	0.00
Travel Dist (mi)	0.9	6.2	7.2
Travel Time (hr)	0.1	0.4	0.5
Avg Speed (mph)	13	15	14
Fuel Used (gal)	0.1	0.6	0.6
Fuel Eff. (mpg)	15.6	11.2	11.7
Vehicles Entered	33	223	256
Vehicles Exited	33	223	256
Hourly Exit Rate	25	167	192
Input Volume	24	173	197
% of Volume	103	97	97
Denied Entry Before	0	0	0
Denied Entry After	0	0	0

Total Network Performance

Denied Delay (hr)	0.1
Denied Del/Veh (s)	0.1
Total Delay (hr)	1.1
Total Del/Veh (s)	2.1
Stop Delay (hr)	0.0
Stop Del/Veh (s)	0.0
Total Stops	1
Stop/Veh	0.00
Travel Dist (mi)	938.7
Travel Time (hr)	25.6
Avg Speed (mph)	37
Fuel Used (gal)	25.7
Fuel Eff. (mpg)	36.6
Vehicles Entered	1858
Vehicles Exited	1857
Hourly Exit Rate	1393
Input Volume	3001
% of Volume	46
Denied Entry Before	0
Denied Entry After	0

Intersection: 1: Carlisle & Cutler

Movement	WB
Directions Served	LTR
Maximum Queue (ft)	10
Average Queue (ft)	1
95th Queue (ft)	7
Link Distance (ft)	
Upstream Blk Time (%)	
Queuing Penalty (veh)	
Storage Bay Dist (ft)	
Storage Blk Time (%)	
Queuing Penalty (veh)	

Intersection: 2: Cutler & Site

Movement	
Directions Served	
Maximum Queue (ft)	
Average Queue (ft)	
95th Queue (ft)	
Link Distance (ft)	
Upstream Blk Time (%)	
Queuing Penalty (veh)	
Storage Bay Dist (ft)	
Storage Blk Time (%)	
Queuing Penalty (veh)	

Network Summary

Network wide Queuing Penalty: 0

Summary of All Intervals

Run Number	13	14	15	16	17		Avg
Start Time	4:50	4:50	4:50	4:50	4:50	4:50	4:50
End Time	6:20	6:20	6:20	6:20	6:20	6:20	6:20
Total Time (min)	90	90	90	90	90	90	90
Time Recorded (min)	80	80	80	80	80	80	80
# of Intervals	2	2	2	2	2	2	2
# of Recorded Intervals	1	1	1	1	1	1	1
Vehs Entered	2259	2320	2371	2272	2331	2344	2316
Vehs Exited	2254	2332	2372	2257	2326	2344	2314
Starting Vehs	25	36	19	17	18	18	21
Ending Vehs	30	24	18	32	23	18	24
Denied Entry Before	0	0	1	0	0	0	0
Denied Entry After	0	0	0	0	0	0	0
Travel Distance (mi)	1125	1160	1190	1137	1169	1174	1159
Travel Time (hr)	31.2	32.4	33.0	31.5	32.2	32.7	32.2
Total Delay (hr)	1.6	1.8	1.9	1.7	1.7	1.8	1.8
Total Stops	2	4	4	4	3	1	3
Fuel Used (gal)	31.1	32.2	32.8	31.4	32.2	32.8	32.1

Interval #0 Information Seeding

Start Time	4:50
End Time	5:00
Total Time (min)	10
Volumes adjusted by Growth Factors.	
No data recorded this interval.	

Interval #1 Information Recording

Start Time	5:00
End Time	6:20
Total Time (min)	80
Volumes adjusted by Growth Factors.	

Run Number	13	14	15	16	17		Avg
Vehs Entered	2259	2320	2371	2272	2331	2344	2316
Vehs Exited	2254	2332	2372	2257	2326	2344	2314
Starting Vehs	25	36	19	17	18	18	21
Ending Vehs	30	24	18	32	23	18	24
Denied Entry Before	0	0	1	0	0	0	0
Denied Entry After	0	0	0	0	0	0	0
Travel Distance (mi)	1125	1160	1190	1137	1169	1174	1159
Travel Time (hr)	31.2	32.4	33.0	31.5	32.2	32.7	32.2
Total Delay (hr)	1.6	1.8	1.9	1.7	1.7	1.8	1.8
Total Stops	2	4	4	4	3	1	3
Fuel Used (gal)	31.1	32.2	32.8	31.4	32.2	32.8	32.1

1: Carlisle & Cutler Performance by movement

Movement	WBR	NBT	NBR	All
Denied Delay (hr)	0.0	0.1	0.0	0.1
Denied Del/Veh (s)	0.1	0.1	0.2	0.1
Total Delay (hr)	0.0	0.6	0.2	0.7
Total Del/Veh (s)	2.6	1.0	1.7	1.1
Stop Delay (hr)	0.0	0.0	0.0	0.0
Stop Del/Veh (s)	2.9	0.0	0.0	0.0
Total Stops	3	0	0	3
Stop/Veh	1.00	0.00	0.00	0.00
Travel Dist (mi)	0.0	447.1	82.7	529.8
Travel Time (hr)	0.0	11.9	2.7	14.6
Avg Speed (mph)	7	38	31	37
Fuel Used (gal)	0.0	12.1	2.0	14.1
Fuel Eff. (mpg)	24.3	37.1	41.0	37.7
Vehicles Entered	3	1952	361	2316
Vehicles Exited	3	1951	362	2316
Hourly Exit Rate	2	1463	272	1737
Input Volume	2	1475	277	1754
% of Volume	112	99	98	99
Denied Entry Before	0	0	0	0
Denied Entry After	0	0	0	0

2: Cutler & Site Performance by movement

Movement	EBL	EBT	All
Denied Delay (hr)	0.0	0.0	0.0
Denied Del/Veh (s)	0.0	0.0	0.0
Total Delay (hr)	0.0	0.0	0.0
Total Del/Veh (s)	0.9	0.2	0.4
Stop Delay (hr)	0.0	0.0	0.0
Stop Del/Veh (s)	0.0	0.0	0.0
Total Stops	0	0	0
Stop/Veh	0.00	0.00	0.00
Travel Dist (mi)	2.6	7.4	10.1
Travel Time (hr)	0.2	0.5	0.7
Avg Speed (mph)	12	15	14
Fuel Used (gal)	0.2	0.7	0.8
Fuel Eff. (mpg)	15.0	11.3	12.1
Vehicles Entered	94	268	362
Vehicles Exited	94	268	362
Hourly Exit Rate	71	201	272
Input Volume	72	205	277
% of Volume	98	98	98
Denied Entry Before	0	0	0
Denied Entry After	0	0	0

Total Network Performance

Denied Delay (hr)	0.1
Denied Del/Veh (s)	0.1
Total Delay (hr)	1.7
Total Del/Veh (s)	2.6
Stop Delay (hr)	0.0
Stop Del/Veh (s)	0.0
Total Stops	3
Stop/Veh	0.00
Travel Dist (mi)	1159.2
Travel Time (hr)	32.2
Avg Speed (mph)	36
Fuel Used (gal)	32.1
Fuel Eff. (mpg)	36.1
Vehicles Entered	2316
Vehicles Exited	2314
Hourly Exit Rate	1736
Input Volume	3777
% of Volume	46
Denied Entry Before	0
Denied Entry After	0

Intersection: 1: Carlisle & Cutler

Movement	WB
Directions Served	LTR
Maximum Queue (ft)	30
Average Queue (ft)	2
95th Queue (ft)	15
Link Distance (ft)	
Upstream Blk Time (%)	
Queuing Penalty (veh)	
Storage Bay Dist (ft)	
Storage Blk Time (%)	
Queuing Penalty (veh)	

Intersection: 2: Cutler & Site

Movement	
Directions Served	
Maximum Queue (ft)	
Average Queue (ft)	
95th Queue (ft)	
Link Distance (ft)	
Upstream Blk Time (%)	
Queuing Penalty (veh)	
Storage Bay Dist (ft)	
Storage Blk Time (%)	
Queuing Penalty (veh)	

Network Summary

Network wide Queuing Penalty: 0

CITY OF ALBUQUERQUE



June 8, 2018

Eric Wrage, P.E.
Bohannon Huston
7500 Jefferson St. NE
Courtyard Two
Albuquerque, NM 87109

Re: Wyndham Hotel Renovations
Cutler Ave. / Carlisle Blvd.
Traffic Impact Study
Engineer's Stamp dated 6-18-2018 (H17D002)

Dear Mr. Wrage,

The subject Traffic Impact Study received on June 18, 2018 has been reviewed and approved by the Transportation Development Section. All comments have been adequately addressed.

The final Traffic Impact Study shall be valid for a period of three years. Should significant modifications to the approved development proposal occur, the approved study shall be revised to incorporate the changes.

If you have any questions, please feel free to contact me at (505) 924-3933.

Sincerely,

Ernest Armijo, P.E.
Senior Engineer, Planning Dept.
Development Review Services

via: email
C: Applicant, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 1/2016)

Project Title: Wyndham Hotel Renovations **Building Permit #:** TBD **Hydrology File #:** H17P002
DRB#: _____ **EPC#:** 100-5234 **Work Order#:** _____
Legal Description: TRS 1, 2, & 3 UNIT 1 TOGETHER WITH TRS 4, 5 & 6A UNIT 2; Block 0000; Carlisle Replat Unit 1
City Address: 2500 Carlisle Boulevard, Albuquerque

Applicant: RHINO INVESTMENTS NM HOTEL, LLC **Contact:** Sanjiv Chopra
Address: 101 E. VINEYARD AVE. SUITE 201; Livermore, CA 94550
Phone#: 209.581.8445 **Fax#:** _____ **E-mail:** sanjiv@fitrepublic.com
Other Contact: Bohannon Huston **Contact:** Eric Wrage
Address: 7500 Jefferson
Phone#: 505-798-7859 **Fax#:** 505-798-7988 **E-mail:** ewrage@bhinc.com

Check all that Apply:

DEPARTMENT:

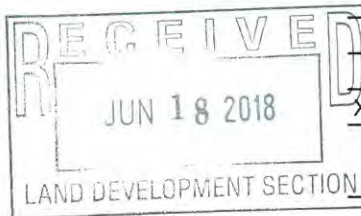
- ☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ AS-BUILT CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☒ TRAFFIC IMPACT STUDY (TIS)
☐ NEIGHBORHOOD IMPACT ASSESMENT (NIA)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ GRADING/ESC PERMIT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☒ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING?
☐ OTHER (SPECIFY) _____



IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: June 19, 2018 **By:** Eric Wrage

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

FEE RECEIVED: _____

DRB SITE PLAN CHECKLIST

Project #: 1005234 Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Development Review Board. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

 2018.09.13
Applicant or Agent Signature / Date

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

- ___ 1. Date of drawing and/or last revision
- ___ 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

DRB SITE PLAN CHECKLIST

- ___ 3. Bar scale
- ___ 4. North arrow
- ___ 5. Legend
- ___ 6. Scaled vicinity map
- ___ 7. Property lines (clearly identify)
- ___ 8. Existing and proposed easements (identify each)
- ___ 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- ___ A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- ___ B. Square footage of each structure
- ___ C. Proposed use of each structure
- ___ D. Signs (freestanding) and other improvements
- ___ E. Walls, fences, and screening: indicate height, length, color and materials
- ___ F. Dimensions of all principal site elements or typical dimensions
- ___ G. Loading facilities
- ___ H. Site lighting (indicate height & fixture type)
- ___ I. Indicate structures within 20 feet of site
- ___ J. Elevation drawing of refuse container and enclosure, if applicable.
- ___ K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- ___ A. Parking layout with spaces numbered per aisle and totaled.
 - ___ 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - ___ 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - ___ 3. On street parking spaces
- ___ B. Bicycle parking & facilities
 - ___ 1. Bicycle racks – location and detail
 - ___ 2. Other bicycle facilities, if applicable
- ___ C. Vehicular Circulation (Refer to Chapter 23 of DPM and IDO)
 - ___ 1. Ingress and egress locations, including width and curve radii dimensions
 - ___ 2. Drive aisle locations, including width and curve radii dimensions
 - ___ 3. End aisle locations, including width and curve radii dimensions
 - ___ 4. Location & orientation of refuse enclosure, with dimensions
 - ___ 5. Loading, service area, and refuse service locations and dimensions
- ___ D. Pedestrian Circulation
 - ___ 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

DRB SITE PLAN CHECKLIST

- ☐ 2. Location and dimension of drive aisle crossings, including paving treatment
- ☐ 3. Location and description of amenities, including patios, benches, tables, etc.
- ☐ E. Off-Street Loading
 - ☐ 1. Location and dimensions of all off-street loading areas
- ☐ F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
 - ☐ 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - ☐ 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - ☐ 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- ☐ A. Locate and identify adjacent public and private streets and alleys.
 - ☐ 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - ☐ 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - ☐ 3. Location of traffic signs and signals related to the functioning of the proposal
 - ☐ 4. Identify existing and proposed medians and median cuts
 - ☐ 5. Sidewalk widths and locations, existing and proposed
 - ☐ 6. Location of street lights
 - ☐ 7. Show and dimension clear sight triangle at each site access point
 - ☐ 8. Show location of all existing driveways fronting and near the subject site.
- ☐ B. Identify Alternate transportation facilities within site or adjacent to site
 - ☐ 1. Bikeways and bike-related facilities
 - ☐ 2. Pedestrian trails and linkages
 - ☐ 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- ☒ A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- ☐ 1. Scale - must be same as scale on sheet #1 - Site plan
- ☐ 2. Bar Scale
- ☐ 3. North Arrow
- ☐ 4. Property Lines
- ☐ 5. Existing and proposed easements
- ☐ 6. Identify nature of ground cover materials
 - ☐ A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - ☐ B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - ☐ C. Ponding areas either for drainage or landscaping/recreational use

DRB SITE PLAN CHECKLIST

- ___ 7. Identify type, location and size of plantings (common and/or botanical names).
 - ___ A. Existing, indicating whether it is to preserved or removed.
 - N/A B. Proposed, to be established for general landscaping.
 - N/A C. Proposed, to be established for screening/buffering.
- N/A 8. Describe irrigation system – Phase I & II . . .
- ___ 9. Planting Beds, indicating square footage of each bed
- N/A 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- N/A 11. Responsibility for Maintenance (statement)
- ___ 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- ___ 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- N/A 14. Planting or tree well detail
- N/A 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- ___ 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- ___ 17. Show Edge Buffer Landscaping (14-16-5-6(D) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN N/A

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- N/A 1. Scale - must be same as Sheet #1 - Site Plan
- N/A 2. Bar Scale
- N/A 3. North Arrow
- N/A 4. Property Lines
- N/A 5. Existing and proposed easements
- N/A 6. Building footprints
- N/A 7. Location of Retaining walls

B. Grading Information

- N/A 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- N/A 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- N/A 3. Identify ponding areas, erosion and sediment control facilities.
- N/A 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

DRB SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- ☐ A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- ☐ B. Distribution lines
- ☐ C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- ☐ D. Existing water, sewer, storm drainage facilities (public and/or private).
- ☐ E. Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- ☒ A. Scale
- ☒ B. Bar Scale
- ☐ C. Detailed Building Elevations for each facade
 - ☐ 1. Identify facade orientation
 - ☐ 2. Dimensions of facade elements, including overall height and width
 - ☐ 3. Location, material and colors of windows, doors and framing
 - ☐ 4. Materials and colors of all building elements and structures
 - ☐ 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- ☐ 1. Site location(s)
- ☐ 2. Sign elevations to scale
- ☐ 3. Dimensions, including height and width
- ☐ 4. Sign face area - dimensions and square footage clearly indicated
- ☐ 5. Lighting
- ☐ 6. Materials and colors for sign face and structural elements.
- ☐ 7. List the sign restrictions per the IDO

CARLISLE BLVD

PARKING TABULATION

PROPOSED:
BUILDING 1: (APARTMENT, SERVICE)
165 - 100 APARTMENTS (1.5 SPACE/UNIT)
5.4 - SERVICE FUNCTIONS (3/1000GSF)
20 - CONTINGENCY FOR UNKNOWN
190.4 - SUBTOTAL
BUILDING 2: (APARTMENT)
202.5 - 135 RESIDENTIAL FUNCTION (1.5 SPACE/DWELLING UNIT)
FITNESS CENTER: (GYMNASIUM)
75 - FITNESS FUNCTIONS (2.5 SPACES/1000GSF)
SUMMARY:
191 SPACES REQUIRED FOR BUILDING 1
203 SPACES REQUIRED FOR BUILDING 2
75 SPACES REQUIRED FOR FITNESS CENTER
469 SPACES REQUIRED TOTAL
523 PROVIDED

PARKING TABULATION

EXISTING:
BUILDING 1: (HOTEL, OFFICE, RESTAURANT, BALLROOM, SERVICE)
139 - HOTEL FUNCTION (1 SPACE/UNIT)
5.6 - OFFICE FUNCTION (3.5 SPACES/1000GSF)
50.4 - RESTAURANT FUNCTIONS (8 SPACES/1000GSF)
18.9 - BALLROOM (1 SPACE/1000GSF)
5.4 - SERVICE FUNCTIONS (3/1000GSF)
20 - CONTINGENCY FOR UNKNOWN
240 - SUBTOTAL
BUILDING 2: (HOTEL)
172 - HOTEL FUNCTION (1 SPACE/DWELLING UNIT)
WATER PARK CENTER: (HOTEL AMENITY)
0
SUMMARY:
240 SPACES REQUIRED FOR BUILDING 1
172 SPACES REQUIRED FOR BUILDING 2
0 SPACES REQUIRED FOR WATER PARK
412 SPACES REQUIRED TOTAL
TOTAL PROVIDED: 523



VICINITY MAP
1" = 200'-0"

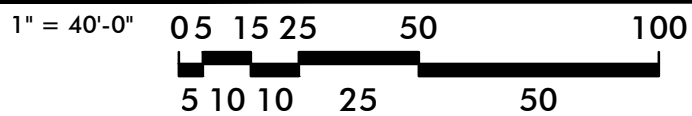
SITE PLAN LEGEND

- EASEMENT
PROPERTY LINE
LANDSCAPED AREA (SEE LANDSCAPE PLAN)
H.C. PARKING SPACE (TYPICAL 18'-0"X10'-0")

GENERAL NOTES

1. TYPICAL PARKING SPACE DIMENSIONS: 9'-0"X16'-0"
2. UNLESS OTHERWISE NOTED ALL DRIVE ISLES ARE ASPHALT
3. LANDSCAPE SHOWN HERE FOR REFERENCE- SEE LANDSCAPE PLAN FOR SPECIFIC LANDSCAPE INFORMATION

A1 SITE PLAN
1" = 40'-0"



SOLANO DR

PROSPECT AVE

HOTEL WYNDAM CHANGES - CHANGE OF USE

2500 CARLISLE BLVD NE
ALBUQUERQUE, NM 87110

ISSUE:
DRB SUBMITTAL

DRAWN BY: EDI
CHECKED BY: EDI
DATE: 2018.09.14

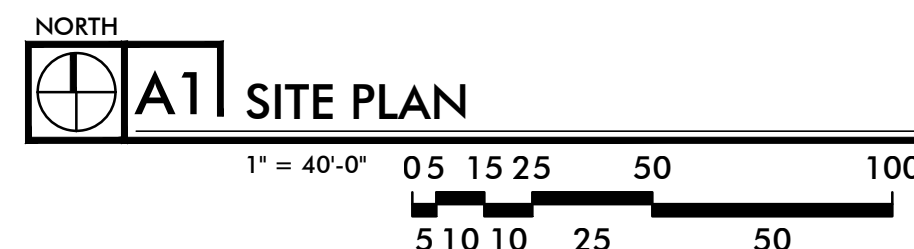
REVISIONS

SITE PLAN
PROPOSED
USES

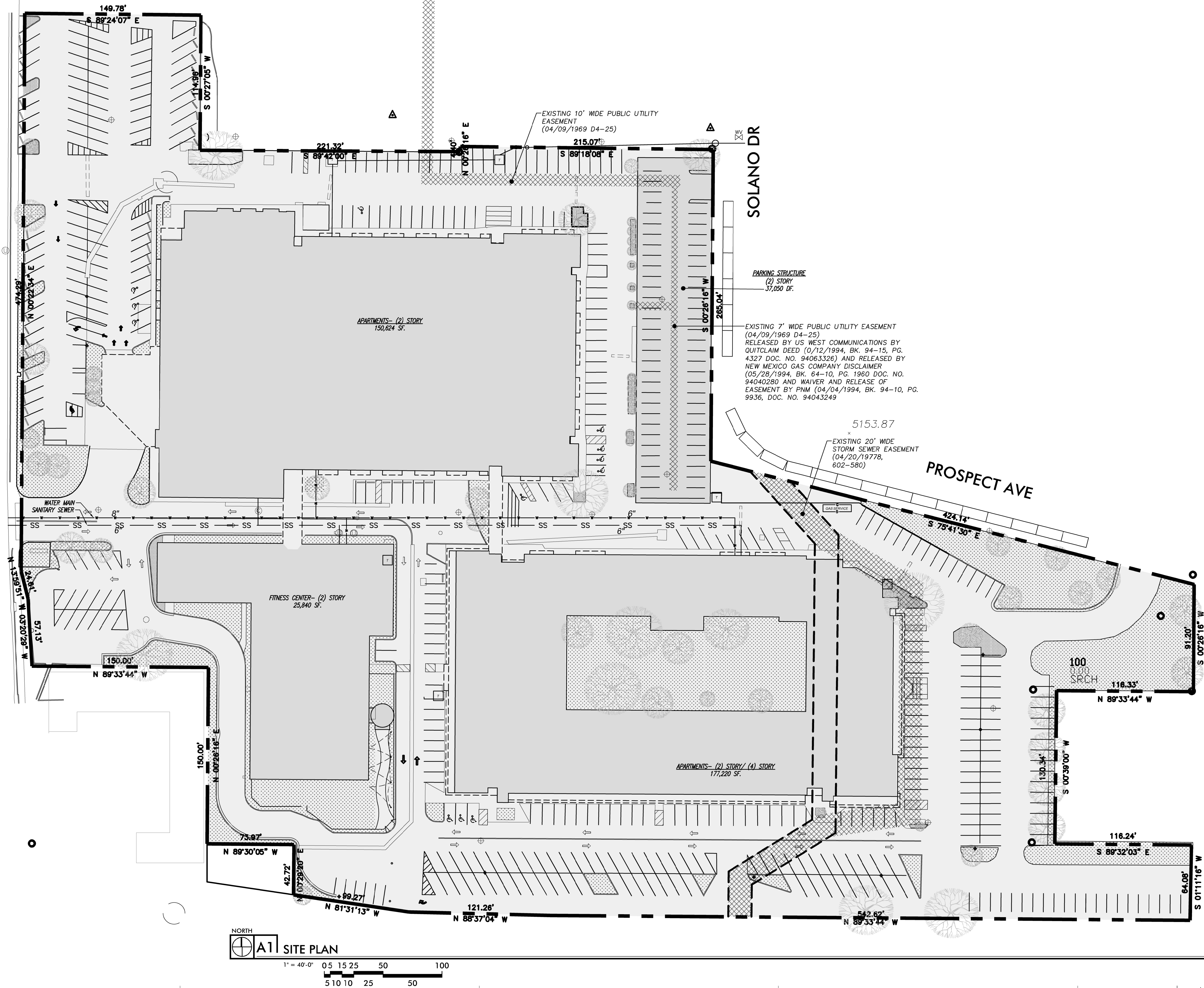
18007
AS101

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regenerating architecture
142 Truman St. NE
Albuquerque, NM 87108
ph 505.242.2851
www.edi-arch.com

TOTAL BUILDING FOOTPRINT	178,723 SF
TOTAL PERVIOUS	
PLANTERS, GRASS, GRAVEL, ETC.	60,584 SF
TOTAL IMPERVIOUS	
PAVEMENT, SIDEWALKS, CURBS, ETC.	242,829 SF
TOTAL AREA	482,136 SF



CARLISLE BLVD



NORTH
A1 SITE PLAN

1" = 40'-0"
0 5 15 25 50 100
5 10 10 25 50



D1 EAST ELEVATION

NTS



C1 NORTH ELEVATION

NTS



B1 WEST ELEVATION

NTS



A1 SOUTH ELEVATION

NTS

GENERAL NOTES

1. DIMENSIONS ARE TAKEN FROM CITY ARCHIVAL DRAWINGS AND NOT NECESSARILY REPRESENTATIVE OF AS-BUILT CONDITIONS

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HOTEL WYNDAM CHANGES - CHANGE OF USE
2500 CARLISLE BLVD NE
ALBUQUERQUE, NM 87110

ISSUE:
DRB SUBMITTAL

DRAWN BY: LF
CHECKED BY: EDI
DATE: 2018.09.14

REVISIONS

EXISTING
ELEVATIONS

18007
A201

GENERAL NOTES

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REVISIONS

EXISTING
ELEVATIONS

18007
A202



D1 EAST ELEVATION

NTS



C1 SOUTH ELEVATION

NTS



B1 WEST ELEVATION

NTS

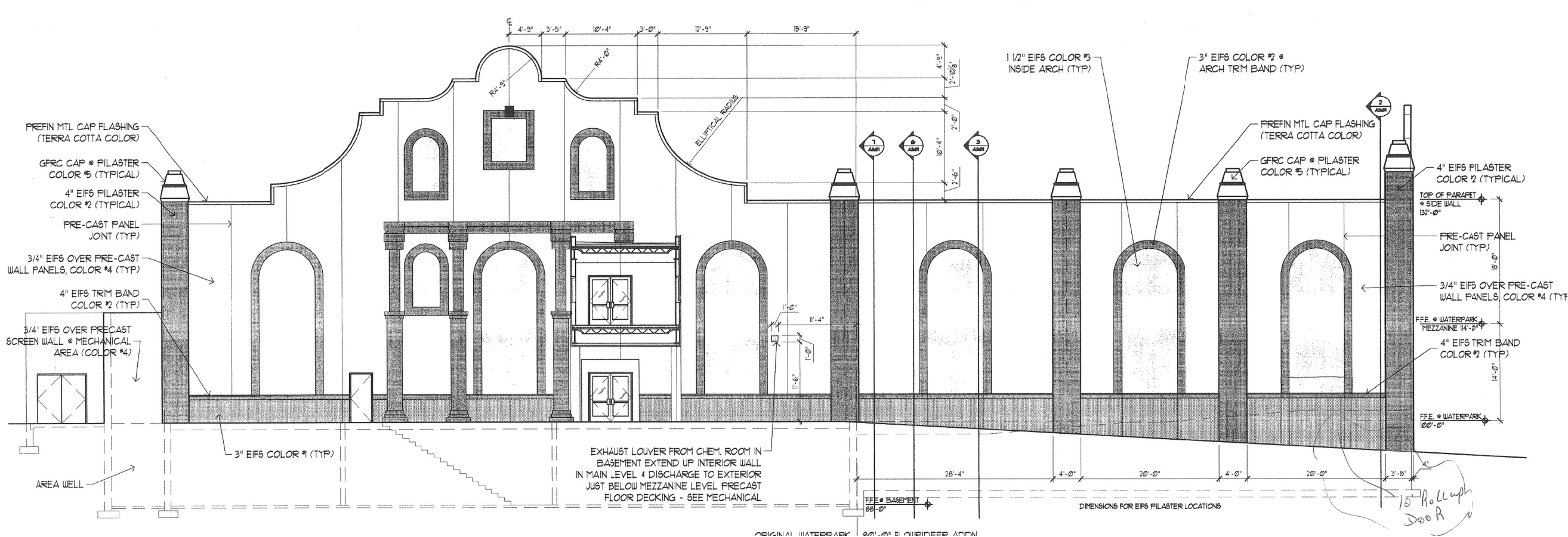


A1 NORTH ELEVATION

NTS

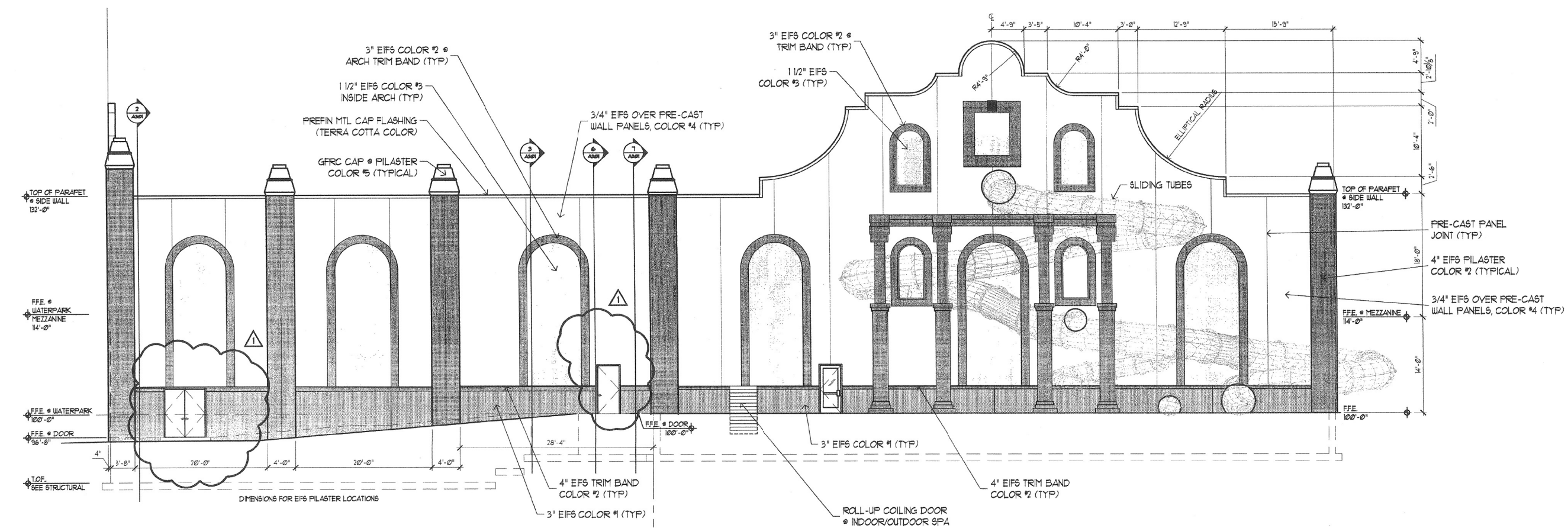
NOT FOR CONSTRUCTION

42'-8"
T.O. CMU



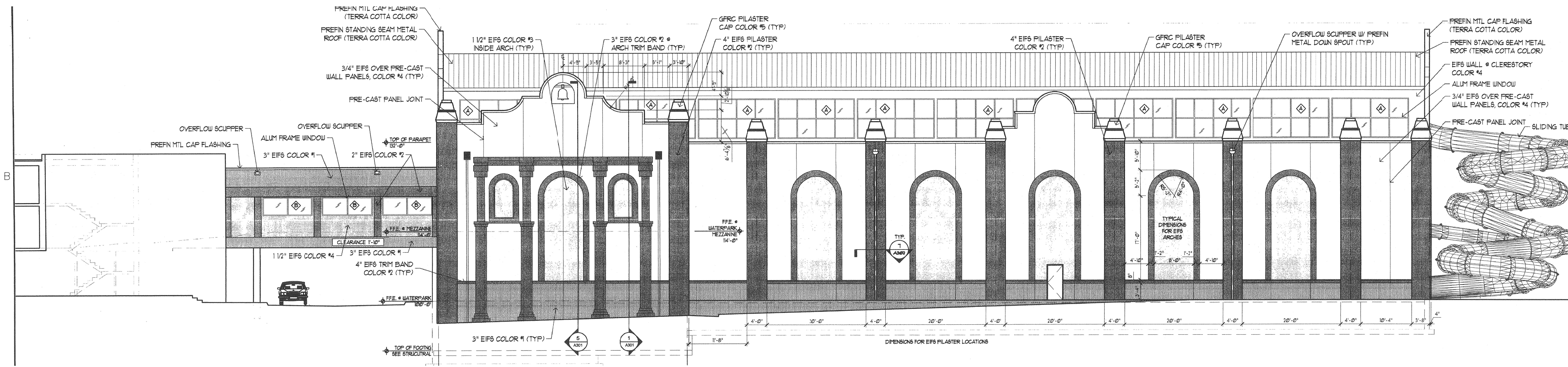
D1 NORTH ELEVATION

NTS



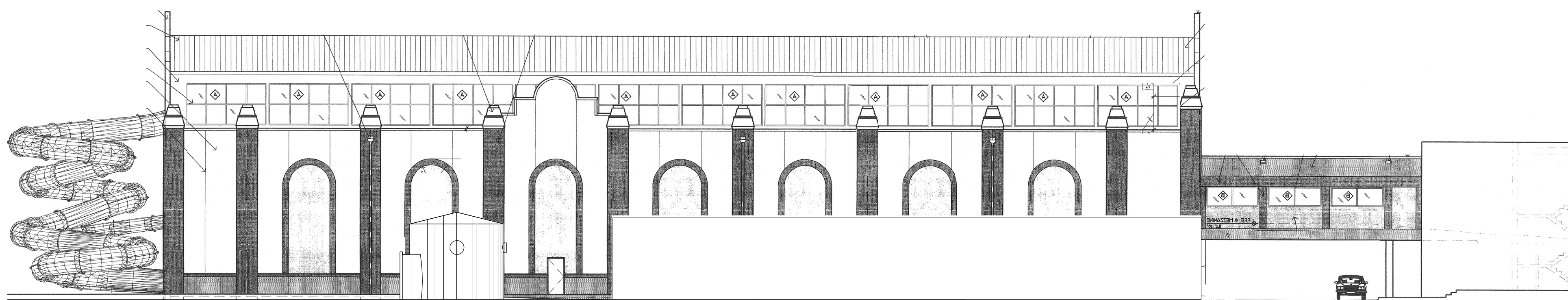
C1 SOUTH ELEVATION

NTS



B1 WEST ELEVATION

NTS



B1 EAST ELEVATION

NTS

GENERAL NOTES

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REVISIONS

EXISTING
ELEVATIONS
FITNESS CENTER

18007
A203