



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

| | | |
|---|---|--|
| Administrative Decisions | <input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L) | <input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2) |
| <input type="checkbox"/> Archaeological Certificate (Form P3) | <input type="checkbox"/> Historic Design Standards and Guidelines (Form L) | Policy Decisions |
| <input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L) | <input type="checkbox"/> Master Development Plan (Form P1) | <input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z) |
| <input type="checkbox"/> Alternative Signage Plan (Form P3) | <input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1) | <input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L) |
| <input type="checkbox"/> WTF Approval (Form W1) | <input type="checkbox"/> Site Plan – DRB (Form P2) | <input type="checkbox"/> Amendment of IDO Text (Form Z) |
| <input type="checkbox"/> Minor Amendment to Site Plan (Form P3) | <input type="checkbox"/> Subdivision of Land – Minor (Form S2) | <input type="checkbox"/> Annexation of Land (Form Z) |
| Decisions Requiring a Public Meeting or Hearing | <input checked="" type="checkbox"/> Subdivision of Land – Major (Form S1) | <input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z) |
| <input type="checkbox"/> Conditional Use Approval (Form ZHE) | <input type="checkbox"/> Vacation of Easement or Right-of-way (Form V) | <input type="checkbox"/> Amendment to Zoning Map – Council (Form Z) |
| <input type="checkbox"/> Demolition Outside of HPO (Form L) | <input type="checkbox"/> Variance – DRB (Form V) | Appeals |
| <input type="checkbox"/> Expansion of Nonconforming Use or Structure (Form ZHE) | <input type="checkbox"/> Variance – ZHE (Form ZHE) | <input type="checkbox"/> Decision by EPC, LC, DRB, ZHE, or City Staff (Form A) |

APPLICATION INFORMATION

| | | |
|---|------------------|---------------------------------------|
| Applicant: UNIVEST-COORS ROAD LLC | | Phone: 505-338-2284 |
| Address: 10611 N HEIGHTS PL NW | | Email: scott@avaloninvestmentsinc.com |
| City: ALBUQUERQUE | State: NM | Zip: 87120 |
| Professional/Agent (if any): Tierra West, LLC | | Phone: 505-858-3100 |
| Address: 5571 Midway Park Place NE | | Email: rrb@tierrawestllc.com |
| City: Albuquerque | State: NM | Zip: 87109 |
| Proprietary Interest in Site: Owner | List all owners: | |

BRIEF DESCRIPTION OF REQUEST

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

| | | |
|--|-----------------------|-------------------------------------|
| Lot or Tract No.: TR 3 PLAT OF TRS 1-4 | Block: | Unit: |
| Subdivision/Addition: COORS VILLAGE | MRGCD Map No.: | UPC Code: 101106121208831301 |
| Zone Atlas Page(s): F-11-Z | Existing Zoning: MX-L | Proposed Zoning: MX-L |
| # of Existing Lots: 1 | # of Proposed Lots: 2 | Total Area of Site (acres): 13.5436 |

LOCATION OF PROPERTY BY STREETS

| | | |
|-------------------------------------|---------------------------|------|
| Site Address/Street: COORS BLVD. NW | Between: WESTERN TRAIL NW | and: |
|-------------------------------------|---------------------------|------|

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

1000032, 1007282, 1001624

| | |
|--|---|
| Signature: | Date: 9/07/2018 |
| Printed Name: RONALD R. BOHANNAN, P.E. | <input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent |

FOR OFFICIAL USE ONLY

| Case Numbers | Action | Fees |
|--------------|--------|------|
| - | | |
| - | | |
| - | | |

| | |
|-----------------------|------------|
| Meeting/Hearing Date: | Fee Total: |
| Staff Signature: | Date: |
| | Project # |

FORM S1: SUBDIVISION OF LAND – MAJOR

Please refer to the DRB public hearing schedule for hearing dates and deadlines. Your attendance is required.

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

INFORMATION REQUIRED FOR ALL MAJOR SUBDIVISION REQUESTS

- N/A Interpreter Needed for Hearing? _____ if yes, indicate language: _____
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled
- Sign Posting Agreement

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL

MAJOR AMENDMENT TO PRELIMINARY PLAT

- Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)
- Sites 5 acres or greater: Archeological Certificate in accordance with IDO Section 14-16-6-5(A)
- Preliminary Plat including the Grading Plan with property owner's and City Surveyor's signatures on the plat (10 copies, 24" x 36" folded)
- Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement submittal information
- Proposed Infrastructure List
- Cross sections of proposed streets (3 copies, 11" x 17" maximum)
- Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use (7 copies, folded)
- Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(J)
- Required notices with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination inquiry response, notifying letter, and proof of first class mailing
 - Proof of emailed notice to applicable Neighborhood Association representatives
 - Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing
- N/A Signed Pre-Annexation Agreement if Annexation required
- N/A Landfill disclosure statement on the plat per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone
- TIS Traffic Impact Study Form



EXTENSION OF PRELIMINARY PLAT

MAJOR INFRASTRUCTURE IMPROVEMENTS AGREEMENT (IIA) EXTENSION

For temporary sidewalk deferral extension, use Form V.

- Proof of Pre-Application Meeting with City staff (not required for extension of an IIA)
- Preliminary Plat or site plan reduced to 8.5" x 11"
- Letter describing, explaining, and justifying the request per IDO Sections 14-16-6-4(W) and 14-16-6-6(J)
- Copy of DRB approved infrastructure list
- Copy of the Official DRB Notice of Decision for the original approval
- Required notices with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination inquiry response, notifying letter, and proof of first class mailing
 - Proof of emailed notice to applicable Neighborhood Association representatives
 - Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing

Note: Only one extension for a time not to exceed the original period of validity is allowed before re-application for a new preliminary plat.

| | |
|---|---|
| <i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i> | |
| Signature:  | Date: |
| Printed Name: Ronald R. Bohannan | <input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent |
| FOR OFFICIAL USE ONLY | |
| Project Number: _____ | Case Numbers: _____ |
| _____ | _____ |
| _____ | _____ |
| Staff Signature: _____ |  |
| Date: _____ | |

SIGN POSTING REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property, which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproofed signs will be provided at the time of application. If the application is mailed, you must still stop at the Planning Division to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Planning Division at a charge of \$3.00 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be two to seven feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign in order to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs maybe required on unpaved street frontages.
- B. If the land does not abut a public street, then in addition to a sign placed on the property a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.


4. TIME

Signs must be posted from _____ To _____.

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Planning Division staff. I understand (A) my obligation to keep the sign(s) posted for fifteen (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.


_____, 9/7/2018
(Applicant or Agent) (Date)

I issued _____ signs for this application, _____, _____
(Date) (Staff Member)



TIERRA WEST, LLC

September 13, 2018

Ms. Kym Dicome, Chair
Development Review Board
P.O. Box 1293
Albuquerque, NM 87102

**RE: MAJOR PRELIMINARY PLAT APPROVAL
COORS VILLAGE TRACTS 3-A AND 3-B
TRACT 3 PLAT OF TRS 1 THUR 4 COORS VILLAGE
ZONE ATLAS PAGE F-11-Z**

Dear Ms. Dicome:

Tierra West LLC, on behalf of Univest-Coors Road LLC, requests approval for a major subdivision preliminary plat for Tracts 3-A and 3-B, of Coors Village. The approval of the submittal enables the subdivision of the property into two tracts and future development of the properties.

On November 13 2008, the Environmental Planning Commission voted to approve Project 1000032/08EPC-40030 and 08EPC-40031, a Site Plan for Subdivision and a Site Plan for Building Permit, with Conditions. All conditions were met for the submittal of the Site Plan for Subdivision and Site Plan for Building Permit. The subdivision preliminary plat application is being made concurrently with that application.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Tierra West Contact:
Ronald R. Bohannon, P.E.
President
Tierra West LLC
5571 Midway Park Place NE
Albuquerque, NM 87109
rrb@tierrawestllc.com
505-858-3100

Sincerely,

Ronald R. Bohannon, P.E.

Enclosure/s

cc: Scott Whittington
JN: 2017017

5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100
fax (505) 858-1118
1-800-245-3102
tierrawestllc.com

UNIVEST-COORS ROAD, LLC
10611 N HAYDEN ROAD
SUITE D-105
SCOTTSDALE, ARIZONA 85260

Jack N. Ross II
(480) 421-6706

August 30, 2018

Ms. Kym Dicome, Chairwoman
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

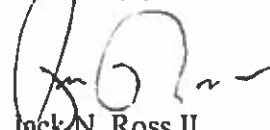
**RE: MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL
TRACT 3 PLAT OF TRS 1 THRU 4 COORS VILLAGE
F-11-Z**

Dear Ms. Dicome:

The purpose of this letter is to authorize Tierra West LLC to act as agent on behalf of Uninvest-Coors Road, LLC, pertaining to any and all submittals made to the City of Albuquerque for the above-referenced site.

Thank you for your attention to this matter. If you have any questions regarding the above, please call me.

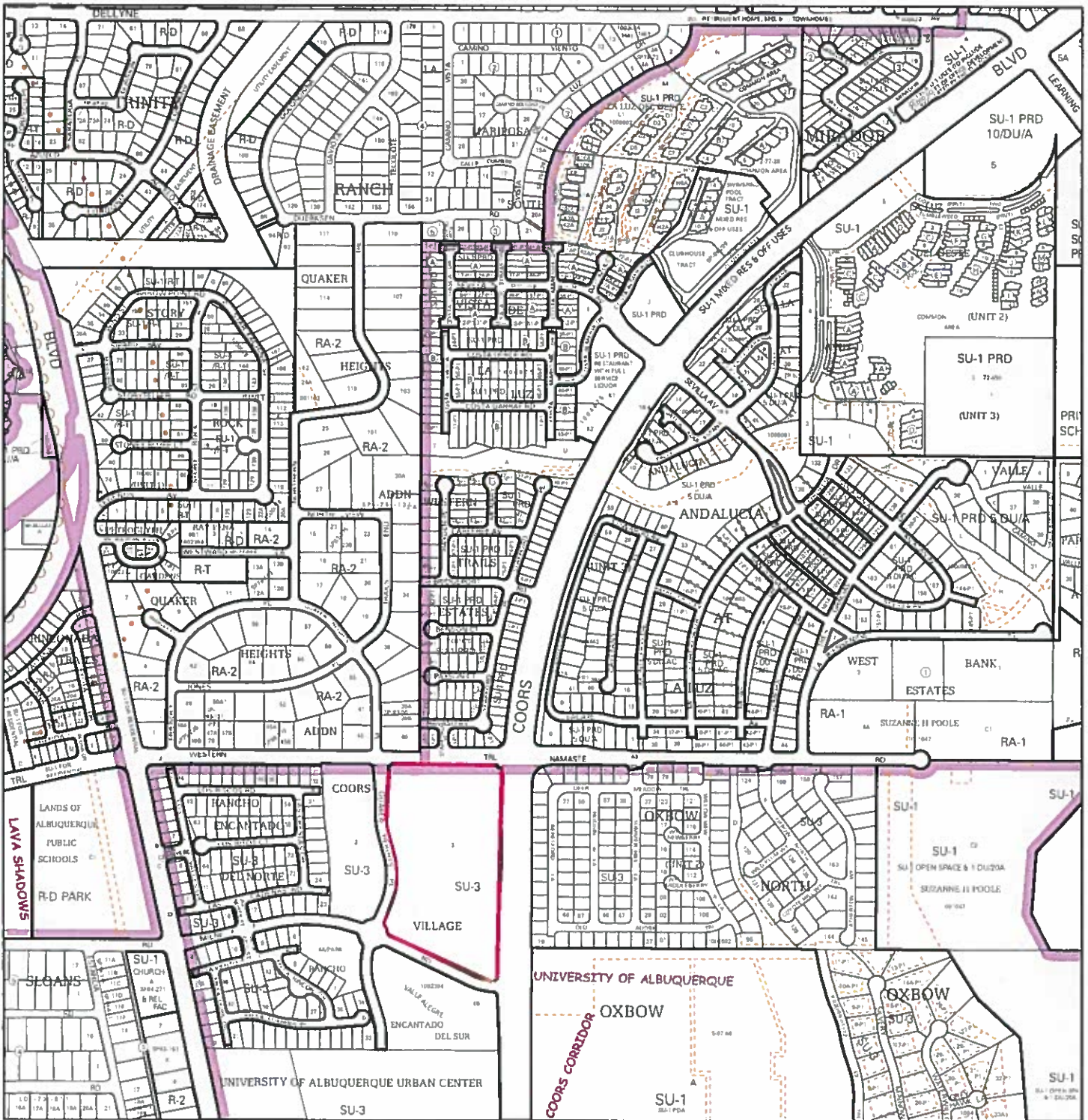
Very truly yours,




Jack N. Ross II
Manager

cc: Ron Bohannon
Tierra West LLC
Albuquerque, NM


Scott Whittington.



For more current information and details visit: <http://www.cabq.gov/gis>












Map amended through: 1/28/2016




Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
F-11-Z

Selected Symbols

| | |
|--|--|
|  SECTOR PLANS |  Escarpment |
|  Design Overlay Zones |  2 Mile Airport Zone |
|  City Historic Zones |  Airport Noise Contours |
|  H-1 Buffer Zone |  Wall Overlay Zone |
|  Petroglyph Mon. | |



FORM DRWS: DRAINAGE REPORT/GRADING AND DRAINAGE PLAN / WATER & SANITARY SEWER AVAILABILITY
THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR SUBDIVISIONS AND SITE PLANS.

PROJECT NAME: Coors and Western Trail

AGIS MAP # F-11-Z

LEGAL DESCRIPTIONS: Lots 3-A and 3-B Coors Village

X **DRAINAGE REPORT/GRADING AND DRAINAGE PLAN**

A drainage report/grading and drainage plan, as per the Drainage Ordinance, was submitted to the City of Albuquerque Planning Department, Hydrology Division (2nd /Ground Floor, Plaza del Sol) on 8/22/2018 (date).

Danna J. Bohannon
Applicant/Agent

8/30/2018
Date

John Elliott
Hydrology Division Representative

9-27-18
Date

NOTE: A GRADING AND DRAINAGE PLAN MUST BE APPROVED PRIOR TO DRB APPROVAL

X **WATER AND SEWER AVAILABILITY STATEMENT**

A Water and Sewer Availability Statement for this project was requested to the ABCWUA (2nd/Ground floor, Plaza del Sol) on 06/22/2018 (date).

Ava. 180413

Danna J. Bohannon
Applicant/Agent

8/30/2018
Date

Chris Hart
ABCWUA Representative

09/07/18
Date

PROJECT # 1000032

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 18-2341 Date: 8-13-18 Time: 1:30

Address: Blaker Highwsp1

AGENCY REPRESENTATIVES AT MEETING:

Planning: Maggie Gould

Code Enforcement: Ricardo Vialfando

Fire Marshall: _____

Transportation: Mojgan Mandarbar

Other: _____

PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY!

THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL..

Additional research may be necessary to determine the exact type of application and/or process needed. Factors unknown at this time and/or thought of as minor could become significant as the case progresses.

REQUEST: Complete EPC process

SITE INFORMATION:

Zone: MV-L Size: 6.8 acres

Use: Senior apartments Overlay Zone: Coast CPO

Comp Plan Area Of: Change Comp Plan Corridor: Major Arterial

Comp Plan Center: — MPOS or Sensitive Lands: —

Parking: site plan / table 5-5-1 MR Area: —

Landscaping: site plan / section 5-6 Street Trees: _____

Use Specific Standards: _____

Dimensional Standards: Site Plan / table 5-1-2

*Neighborhood Organization/s: _____

*This is preliminary information only. Neighborhood Organization information is only accurate when obtained from the Office of Neighborhood Coordination (ONC) at www.cabq.gov/neighborhoods/resources.

PROCESS:

Type of Action: _____

Review and Approval Body: _____ Is this PRT a requirement? NO if only

Self DRB approval

1000032 previous project number
1001292

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# _____ Date: _____ Time: _____

Address: _____

NOTES: _____

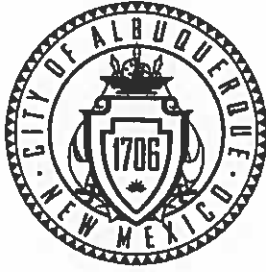
~~See attached Hydrology Comments~~

DRB find sign off of EPC project through the Development Review Board - one week unadvertised case.

• MX-L limits square footage 10,000 of gross floor area - for medical clinic

• Can ask for variance 40% square footage

Staff will confirm IDO MX-L clinic use at building size.



City of Albuquerque
P.O. Box 1293 Albuquerque, New Mexico 87103

Planning Department

Martin J. Chavez, Mayor

Richard Dineen, Director

Interoffice Memorandum

February 15, 2008

Subject: Albuquerque Archaeological Ordinance—Compliance Documentation

Project Number(s): DRB #1000032
Case Number(s): 08EPC-40019
Agent: Tierra West, LLC
Applicant: Metric Corporation
Legal Description: Tract 3, Coors Village (amended sector plan)
Acreage: 12.9 acres
Zone Atlas Page: F-11

CERTIFICATE OF NO EFFECT: Yes No

SUPPORTING DOCUMENTATION:

Cultural Resource Survey of 12.9 Acres for Proposed Coors Village Subdivision, Bernalillo County, New Mexico by D.M. Bogges (Lone Mountain, D.M. Bogges P.I.) NMCRIS #109151

RECOMMENDATION(S):

- *CERTIFICATE OF NO EFFECT IS ISSUED (ref O-07-72 Section 4B(1)-- no significant sites in project area)*

SUBMITTED:

Matthew Schmader, PhD
Superintendent, Open Space Division
Acting City Archaeologist

Current DRG _____
 Project Number: _____

FIGURE 12

INFRASTRUCTURE LIST

(Rev. 3-16-18)
 EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Lots 3-A and 3-B Coors Village
 PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

TRACT 3 PLAT OF TRACTS 1 THRU 4 COORS VILLAGE (BEING A REPLAT OF TRACT A-1-A, UNIVERSITY OF ALBUQUERQUE URBAN CENTER)
 EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRG Chair determines that unforseen items have not been included in the infrastructure listing, the DRG Chair may include those items in the listing and related financial guarantee. Likewise, if the DRG Chair determines that unforseen or non-essential items can be deleted from the listing, those items may be deleted from the listing and related financial guarantee. All such revisions require approval by the DRG Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

| Financially Guaranteed | Constructed Under | Size | Type of Improvement | Location | From | To | Construction Certification | |
|--------------------------|--------------------------|---------------|--|--------------------|---------------------------|---------------------------|----------------------------|--------------------|
| | | | | | | | Private P.E. Inspector | City Cnst Engineer |
| <input type="checkbox"/> | <input type="checkbox"/> | 12' Lane | NM 45 Lane addition, Paving, Striping, 6' sidewalk (west side), 6' landscaping | NM 45 (Coors Blvd) | Cm. NM 45 / Western Trail | Cm. NM 45 / Milne Rd | / | / |
| <input type="checkbox"/> | <input type="checkbox"/> | 6' Cyc. Lane | NM 45 cycle lane addition, Paving, Striping | NM 45 (Coors Blvd) | Cm. NM 45 / Western Trail | Cm. NM 45 / Milne Rd | / | / |
| <input type="checkbox"/> | <input type="checkbox"/> | 12' Turn Lane | Deceleration lane, Paving, Striping 150' taper plus 345' turn lane | NM 45 (Coors Blvd) | Cm. NM 45 / Western Trail | Private Driveway Entrance | / | / |
| <input type="checkbox"/> | <input type="checkbox"/> | | Signal Modification (retiming & SW corner pole relocation for RTT) | NM 45 (Coors Blvd) | Cm. NM 45 / Western Trail | | / | / |
| <input type="checkbox"/> | <input type="checkbox"/> | 12' Turn Lane | Re-stripe north bound left turn lane on NM 45 for dual left turn movement | NM 45 (Coors Blvd) | Cm. NM 45 / Western Trail | | / | / |
| <input type="checkbox"/> | <input type="checkbox"/> | 12' Turn Lane | Construct east bound right turn lane 120' turn lane plus 150' taper | Western Trail NW | Cm. Western Trail / NM 45 | | / | / |
| <input type="checkbox"/> | <input type="checkbox"/> | 6' Byc. Lane | 6' cycle Lane in Western Trail paving, striping | Western Trail NW | North Property Line | Cm. Western Trail / NM 45 | / | / |
| <input type="checkbox"/> | <input type="checkbox"/> | 6' SW, 6' LS | Construct 6' sidewalk and 6' landscaping | Western Trail NW | North Property Line | Cm. Western Trail / NM 45 | / | / |
| <input type="checkbox"/> | <input type="checkbox"/> | | Curb Cut. Install HC ramps for SW driveway entrance curb return | Western Trail NW | Private Entrance Driveway | | / | / |

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

| Financially Guaranteed DRC # | Constructed Under DRC # | Size | Type of Improvement | Location | From | To | Construction Certification | |
|---------------------------------|----------------------------|------|---------------------|----------|------|----|----------------------------|--------------------|
| | | | | | | | Inspector | City Crst Engineer |
| <input type="text"/> | <input type="text"/> | | | | | | / | / |
| <input type="text"/> | <input type="text"/> | | | | | | / | / |
| <input type="text"/> | <input type="text"/> | | | | | | / | / |

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA. Street lights per City requirements.

| | | | | | |
|-------------------------------|------------------------------------|------|-------------------------------|---------------------------|------|
| Approval of Creditable Items: | Impact Fee Administrator Signature | Date | Approval of Creditable Items: | City User Dept. Signature | Date |
|-------------------------------|------------------------------------|------|-------------------------------|---------------------------|------|

- 1 _____
- 2 _____
- 3 _____

AGENT / OWNER _____ **DEVELOPMENT REVIEW BOARD MEMBER APPROVALS** _____

NAME (print) _____ DRB CHAIR - date _____ PARKS & RECREATION - date _____

FIRM _____ TRANSPORTATION DEVELOPMENT - date _____ AMAFCA - date _____

SIGNATURE - date _____ UTILITY DEVELOPMENT - date _____ CODE ENFORCEMENT - date _____

CITY ENGINEER - date _____ - date _____

DESIGN REVIEW COMMITTEE REVISIONS

| REVISION | DATE | DRC CHAIR | USER DEPARTMENT | AGENT / OWNER |
|----------|------|-----------|-----------------|---------------|
| | | | | |
| | | | | |
| | | | | |

(Rev. 2-16-18)

CITY OF ALBUQUERQUE



August 15, 2018

Terry Brown, P.E.
P.O. Box 92051
Albuquerque, NM 87199

**Re: Coors Village
SW Corner of Western Trail and Coors Blvd.
Traffic Impact Study
Engineer's Stamp dated 7-24-18 (F11-D007)**

Dear Mr. Brown

The subject Traffic Impact Study received on July 24, 2018 has been reviewed and approved by the Transportation Development Section. There are a few minor comments that should be addressed along with any comments NMDOT may have.

1. On Page *i* - Note under the second table refers to 2020 Build Conditions in the preceding table, the preceding table is for 2030 Build Conditions.
2. Pages 9 thru 19 - The title of each intersection analysis refers to appendix pages B-1 thru A-B-22, this should be B-1 thru B-22.
3. Page 20 – The last sentence on the page states the Commercial Trip Distribution Map is on page A-50. A-50 is Commercial Pass by Trips; A-47 is the correct page for Commercial Trip Distribution.
4. Page 36 – The last paragraph, seven lines down, the word “**Build**” is misspelled in reference to **No Build Conditions**.
5. Page 51 – Please recheck your inputs for the NBR movement at Sevilla and Coors. I am trying to understand why there is delay shown only for the 2030 AM Peak. The delay is minor and the LOS is A, but this seems odd.

Once this change and any required by NMDOT are complete please submit an electronic copy of the final Traffic Impact Study for our records. The final Traffic Impact Study shall be valid for a period of three years. Should significant modifications to the approved development proposal occur, the approved study shall be revised to incorporate these changes.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE



If you have any questions, please feel free to contact me at (505) 924-3633.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Ernest Armijo'.

Ernest Armijo, P.E.
Senior Engineer, Planning Dept.
Development Review Services

via: email
C: Applicant, File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: Tierra West, LLC DATE OF REQUEST: 08 /27 /2018 ZONE ATLAS PAGE(S): F-11-Z

CURRENT: ZONING MX-L LEGAL DESCRIPTION: LOT OR TRACT # TR 3 BLOCK #

PARCEL SIZE (AC/SQ. FT.) 13.5436 acres +/- SUBDIVISION NAME Coors Village

REQUESTED CITY ACTION(S):

| | | |
|--------------------------------------|-----------------------|------------------------|
| ANNEXATION [] | | SITE DEVELOPMENT PLAN: |
| ZONE CHANGE []: From _____ To _____ | SUBDIVISION* [X] | AMENDMENT [] |
| SECTOR, AREA, FAC, COMP PLAN [] | BUILDING PERMIT [] | ACCESS PERMIT [] |
| AMENDMENT (Map/Text) [] | BUILDING PURPOSES [] | OTHER [] |

*includes platting actions

PROPOSED DEVELOPMENT: GENERAL DESCRIPTION OF

| | |
|---------------------------------------|--------------------------------|
| NO CONSTRUCTION/DEVELOPMENT [] | ACTION: |
| NEW CONSTRUCTION [X] | # OF UNITS: _____ |
| EXPANSION OF EXISTING DEVELOPMENT [] | BUILDING SIZE: _____ (sq. ft.) |

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE *Richard Stevenson* DATE 8/27/2018
 Richard Stevenson
 (To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -
 2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994 ** A TIS was submitted for this parcel and the proposed subdivision to COA and NMDOT**

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [X] NO [X] BORDERLINE []

THRESHOLDS MET? YES [X] NO [] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: [X]

Notes: *A TIS has been submitted and approved for this development a new study is not required.*

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

STG DATE 8/27/18
 TRAFFIC ENGINEER

Required TIS must be completed prior to applying to the EPC and/or the DRB. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED 1/1
 -FINALIZED 1/1 TRAFFIC ENGINEER
 DATE

Public Notice to Applicable Associations

Prior to filing an application with the Planning Department, all applicants requesting approvals through the Environmental Planning Commission (EPC), Development Review Board (DRB), Landmarks Commission (LC), City Staff approval of a Wireless Telecommunication Facility (WTF), Site Plan, Sign Permit, or Wall/Fence Permit are required to notify any applicable neighborhood and/or homeowner associations via email, first class mail, or certified mail as specified in Table 6-1-1 of the Integrated Development Ordinance (IDO) (<https://www.abc-zone.com/>).

Each required Public Notice shall include the following per IDO Subsection 14-16-6-(K)(6):

1. The address of the property listed in the application;
2. The name of the property owner and/or applicant;
3. Applicant mailing address;
4. Applicant telephone number and/or email address;
5. A short summary of the approval being requested;
6. Whether a public hearing will be required. If so, the date, time, and place of the public hearing;
7. Website where additional information about the project can be obtained, if applicable.
8. Facilitated Meetings – All notification letters must include the following text:

Anyone may request and the City may require an applicant to attend a City-sponsored facilitated meeting with Neighborhood Associations, based on the complexity and potential impacts of a proposed project (IDO Section 14-16-6-4(D)). Visit: <https://www.cabq.gov/planning/urban-design-development/facilitated-meetings-for-proposed-development/> to view and download the Facilitated Meetings Criteria. If you wish to request a Facilitated Meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505.924.3955.

Public Notice Checklist

For all decisions requiring Mailed or Electronic Mail notice per Table 6-1-1 in the IDO the following information must be included for each application submitted to the Planning Department.

1. ONC's "Public Notice Inquiry Email" outlining any applicable Neighborhood and/or Homeowner Associations.
2. Copies of Letters and/or Emails sent to any applicable Neighborhood and/or Homeowner Associations.
3. Copies of certified receipts, if required, mailed to any applicable Neighborhood and/or Homeowner Associations.

Any questions, please feel free to contact our office at (505) 768-3334 or ONC@cabq.gov.

Thank you for your cooperation on this matter.