

VICINITY MAP:
LEGAL DESCRIPTION:
 TRACT NUMBERED THREE (3) OF THE PLAT OF TRACTS 1 THROUGH 4, COORS VILLAGE (BEING A REPLAT OF TRACT A-1-A, UNIVERSITY OF ALBUQUERQUE URBAN CENTER).

LEGEND

	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	PROPOSED CROSSWALK
	CENTERLINE
	RIGHT-OF-WAY
	PROPOSED BUILDING
	EXISTING CURB & GUTTER
	EXISTING SIDEWALK
	PROPOSED LIGHT
	TEMPORARY DRIVE

- NOTES:**
- COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS 3A AND 3B IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
 - APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 - THE SITE IS WITHIN 300' OF BUS ROUTE #96, #155 AND #790 ON COORS BOULEVARD.
 - LIGHT POLES SHALL BE A MAXIMUM OF 16' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 16' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH. BUILDING MOUNTED LIGHTING SHALL BE PROVIDED AT ALL BUILDING ENTRANCES AND EXITS.
 - STRUCTURE HEIGHT UP SHALL BE PER TRACT ZONE AND SHALL COMPLY WITH COORS CORRIDOR PLAN HEIGHT RESTRICTIONS.
 - MINIMUM SETBACK REQUIREMENTS FROM COORS BOULEVARD SHALL BE AS STATED IN COORS CORRIDOR PLAN. SETBACKS SHALL BE PER THE R-3 ZONE WITHIN TRACK 3-A AND PER THE O-1 ZONE WITHIN TRACK 3-B.
 - TRACT 3A SHALL ONLY BE OPERATED AS "HOUSING FOR OLDER PERSONS" AS THAT TERM IS DEFINED AT 42 U.S.C. SECTION 3607(B)(2). RESTRICTED TO RESIDENTS OF AGE 55 AND OLDER. THE FACILITY MAY PROVIDE SUPPORTIVE SERVICES SUCH AS MEALS, HOUSEKEEPING, SOCIAL ACTIVITIES, AND TRANSPORTATION.

TRACT	PROPOSED DU\AC	ALLOWED DU\AC	PROPOSED DWELLING UNITS	MAX ALLOWED DWELLING UNITS	PROPOSED FAR	MAX FAR
3A	20	12-24	131	156	0.61	1.0
3B	N/A					0.25

- INDEX TO DRAWINGS**
- C1. SITE PLAN FOR SUBDIVISION
 - C2. DESIGN GUIDELINES
 - C3. SITE PLAN FOR BUILDING PERMIT
 - C4. GRADING PLAN- CONTOURS
 - C4. GRADING PLAN- SPOT ELEVATIONS
 - C5. GRADING PLAN- STORM DRAIN
 - C6. MASTER UTILITY PLAN
 - C7. DETAIL SHEET
 - C8. DETAIL SHEET
 - LS-01. LANDSCAPING PLAN
 - B1. BUILDING ELEVATIONS, CORE
 - B2. BUILDING ELEVATIONS, 'A' WING
 - B3. BUILDING ELEVATIONS, 'B' WING
 - B4. BUILDING ELEVATIONS, WING ENDS AND SIGN

PROJECT NUMBER: 1000032
APPLICATION NUMBER: _____

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

_____ Traffic Engineer, Transportation Division	_____ Date
_____ ABCWUA	_____ Date
_____ Parks & Recreation Department	_____ Date
_____ City Engineer/Hydrology	_____ Date
_____ Code Enforcement	_____ Date
_____ *Environmental Health Department (conditional)	_____ Date
_____ Solid Waste Management	_____ Date
_____ DRB Chairperson, Planning Department	_____ Date

* Environmental Health, if necessary

PRELIMINARY NOT FOR CONSTRUCTION

ENGINEER'S SEAL	COORS VILLAGE TRACTS 3-A AND 3-B	DRAWN BY BJF
	SITE PLAN FOR SUBDIVISION	DATE 08/16/18
 TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100		2017017-SP58
RONALD R. BOHANNAN P.E. #7868		SHEET # C1
		JOB # 2017107

Design Guidelines

The purpose of these Design Guidelines is to provide a framework to assist developers and designer in understanding the development goals and objectives for non-residential development on Tract 3B, Coors Village. These guidelines address the issues of streetscape, road design, pedestrian circulation, setbacks, parking, lighting, signage, site layout, architecture, landscape, and transit opportunities. Each category is organized in terms of Standards (items that are required), and Guidelines (items that are encouraged). Where there is a conflict between City Codes or Ordinances and the Design Guidelines, the more restrictive requirement shall apply.

Specific Site Plans for Building Permit shall be prepared for each Tract within the Coors Village Center in accordance with these design guidelines. In addition, the Site Plan submittals for each Tract shall include the design for the entire Tract, identifying building layout, storage/loading areas, access and parking, pedestrian circulation, etc.

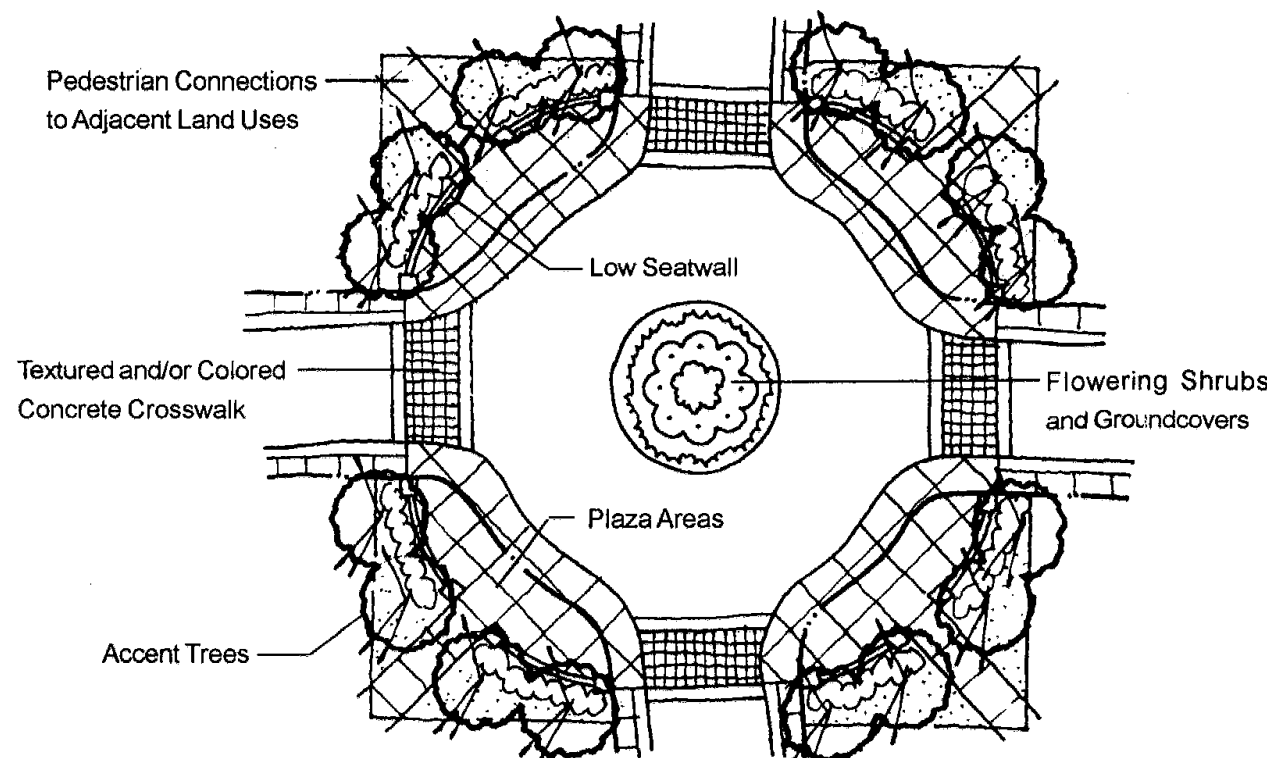
Commercial and office development in this Neighborhood Activity Center shall serve as a focal point for and be accessible from the surrounding neighborhoods and the adjacent senior housing development. This Neighborhood Activity Center shall include only those uses that are pedestrian-oriented and the least auto dependent. Therefore, only two (2) drive-up service window uses, other than for a restaurant and tobacco sales, are allowed on the site and only in a location where they do not interfere with pedestrian access and circulation.

Site/Edge Design Standards

Public entries to the project shall be designed to be consistent with one another to create a sense of arrival and to provide a strong visual impact and a unified project identification.

At the internal focus area, landscaping elements shall be provided at a variety of scales. This area will be defined by building edges, a differentiation in intersection paving, landscaping, and the design and location of appropriate amenities (such as seating, outdoor display, and newspaper kiosks).

The centrally located roundabout within private Driveway "A" shall be designed to create an urban space where interaction can occur. It should provide a variety of scales and materials, street intersection landscape elements, and amenities to cater to pedestrians, bicyclists, transit users and motorists.



INTERNAL FOCUS AREA

Internal Focus Area

The project edge along Western Trail shall include a 10 foot landscape setback to provide a buffer to the Quaker Heights subdivision.

Six foot wide sidewalks shall be provided along Coors Boulevard, Western Trail, and Milne Road.

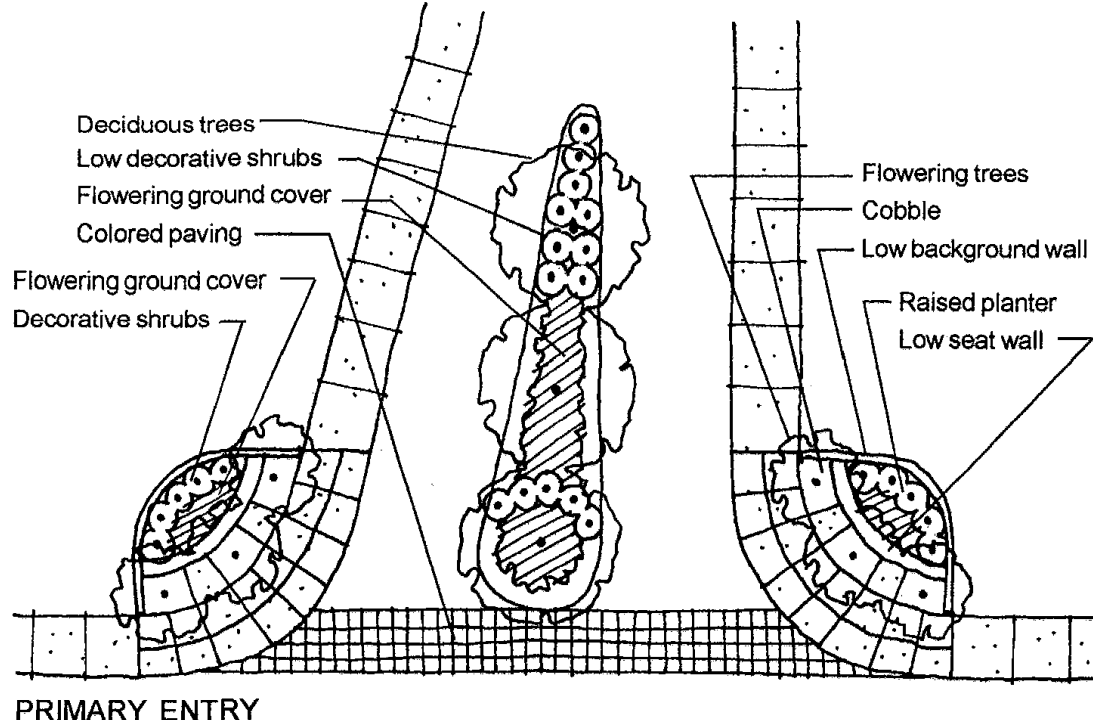
Parking provided adjacent to Coors Boulevard, Western Trail, Milne, and Quaker Heights shall be screened by short walls, fences, buildings and/or landscaping.

Road Designs Standards

Development on this site shall be pedestrian-oriented with minimal pedestrian/vehicular conflicts. Parallel parking along roadways shall be included where technically feasible and where "easement" width allows.

Crosswalk materials at intersections and anywhere a pedestrian path crosses a drive aisle shall be distinguished from the roadway material, with such materials as bomanite, colored and/or acid stained concrete, brick forms or pavers of various sizes.

The project's primary entrances shall be enhanced with gateways and/or treatments outside of the public right-of-way that identify the development entrances consistently with one another. These nodes shall be 35 feet by 35 feet, and installed and maintained by the property owner or an owner's association.



Primary Entry

Two access points into the Senior site are allowed off of Quaker Heights Drive. These access points shall be positioned to minimize vehicular conflicts.

A right in/right out drive may be provided on Coors Boulevard between Western Trail and Milne Road.

Private Driveway "A" shall have full access onto Milne Road and Western Trail.

Pedestrian Connections and Trails

Pedestrian connections shall provide direct access between land uses within the Coors Village Center and to the surrounding neighborhood. The following criteria serves to create a pedestrian friendly environment and promote alternative modes of travel. Development on this site shall be pedestrian-oriented with minimal pedestrian/vehicular conflicts.

Standards

Pedestrian connections to adjacent street sidewalks, the adjacent senior housing development and between buildings on the site shall take precedence over vehicular access and circulation.

The internal north-south drive shall have 8 foot wide sidewalks along the east and west sides, not separated by parking areas.

Pedestrian connections shall have a minimum 20 foot wide easement with a sidewalk of at least 6 feet in width.

A meandering 12 foot enhanced concrete walkway shall be provided within Tract 3A connecting the existing traffic circle at Quaker Heights and Milne Road to Private Driveway "A".

Direct pedestrian access shall be provided from the various development areas to the internal focus area.

All pedestrian connections shall be lined with street/shade trees planted a maximum of 30 feet on center. In cases where a sidewalk is adjacent to or within a right-of-way, said trees would not be in addition to required street trees.

The maximum slope of trails and walkways shall meet ADA requirements. Private pedestrian linkages shall align with public paths to connect and integrate sites.

Guidelines

Materials that are encouraged to be used for pedestrian connections and trails include bomanite, warm toned (e.g. sand, beige, cream, terra cotta) colored/textured or acid stained concrete, and patterned concrete and pavers of various sizes.

Building Setbacks

The following setback requirements serve to create a variety of pedestrian experiences: the urban street edge experience in the Commercial and Office areas; and an informal experience in the Park and Residential areas.

Standards

Commercial Area
Buildings along Milne Road and Western Trail shall be setback 10 feet from the right-of-way and shall be landscaped.

Landscaped building setbacks at Coors Boulevard shall be 35 feet.

Off-Street Parking

The following design criteria serves to minimize the negative impact of large, expansive parking areas through landscaping, site location and arrangement.

Standards

Parking shall be provided pursuant to the City Zoning Code.

Parking areas shall be setback a minimum of 10 feet from the right-of-way line.

Landscaped islands shall be distributed throughout parking areas, and 6 foot minimum width sidewalks shall be provided adjacent to parking lots. Islands shall include at least one tree for every 6 parking spaces, and the maximum distance from any parking space to a tree shall be 50 feet.

There shall be barrier curbs around all parking areas in order to protect landscaping from vehicles.

Parking shall be distributed among several parking courts on each site and shall be placed behind buildings or be screened from surrounding neighborhoods. Screening may include earth berms, perimeter or retaining walls, landscaping, or buildings.

Parking and vehicular circulation areas shall not make up more than 50% of the footage along Coors Boulevard.

Parallel parking along roadways shall be included where technically feasible and where "easement" width allows.

The maximum parking allowed shall be the minimum Zoning Code requirement plus ten percent.

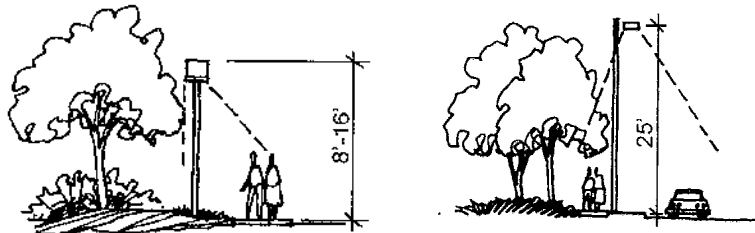
Bicycle parking shall be provided pursuant to the City Zoning Code.

Site/Building Lighting Standards

Lighting fixtures for walkways and entry plazas shall be located within a height of 8 feet to 16 feet.

Maximum height of free standing light fixtures is sixteen (16) feet.

The pattern of light pooling from each fixture shall avoid glare or light throw intrusion into adjacent properties.



Landscaped Parking
Sodium lighting is not acceptable.

Street lighting, other than at private lanes, shall be shielded source, and the color of fixtures must complement the architecture.

Light standards heights for streets should not exceed 25 feet with full cutoff fixtures. Light poles shall be limited to 16 feet in height within 100 feet of residential areas.

Guidelines

Fixture style and design should be compatible and consistent with the lighting design of other projects within the development.

Exterior lighting fixtures should relate stylistically to the architecture of the adjacent buildings.

Exterior elevations of any building fronting a street are encouraged to be feature lighted to enhance the identity of the building and the appealing ambience of the total community.

The use of spread lighting fixtures are encouraged to accent landscape and walkways and the use of uplighting fixtures to highlight trees, walls and architectural features.

Design Guidelines

Signage and Graphics

The following signage criteria creates a sense of arrival to the development and establishes a quality visual impact. Subdivision signage for this development will be consistent with Section 14-16-3-5 (C) of the Comprehensive City Zoning Code. Where there is a conflict between these guidelines and the City regulations, the more restrictive shall apply.

Standards

Prohibited signs include the following: those consisting of banners, pennants, ribbons, streamers, strings of light bulbs and spinners (except during holiday season or special thematic event); brightly colored signs with moving or flashing lights; signs which are animated in any manner; portable signs; off-premise signs referring to a business or merchant not doing business on the premise where the sign is displayed.

The developer shall provide entry signs for the project to create a sense of arrival and to contribute to the unique identity of the project. These signs shall be on private property and shall be maintained by the property owner.

One monument or freestanding sign is allowed on Coors Boulevard as a "landmark" identifying the Commercial Center and shall be of similar design and materials as the buildings, i.e. sculpture, tower, etc. The lower portion of this may identify no more than 10 tenants in an area not to exceed 75 square feet. This sign shall be of similar style and material as the other entry signs in keeping with the project theme.

Entry signs shall be located at primary entrances at Coors Boulevard and Western Trail, and at the secondary entrance at Milne.

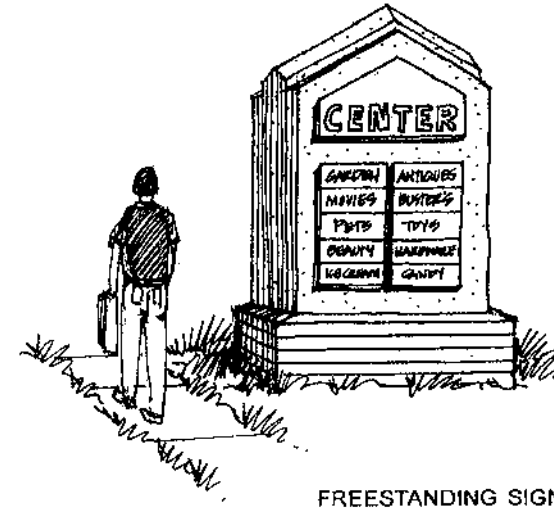
All signage at the project entries shall be coordinated in order to have the same appearance (height, size, color, material, text height and style, etc.).

No sign may overhang a right-of-way or property line.

No sign shall intrude upon any architectural features, including windows, columns, moldings or any decorative features.

Wall mounted signs shall not project more than 1 foot from the display wall or exceed an area of 20 percent of that wall or 60 square feet, whichever is less. Canopy and marquee signs shall be included in the total area count allowed for wall signs.

Signs perpendicular to an elevation shall only occur under an awning or canopy/portals and shall not be more than eight square feet. These signs may not project past the overhang.



FREESTANDING SIGN

Guidelines

Signs which are directly spotlighted may be used provided there is no glare on the street or upon adjacent property or that the light does not distract motorists.

Signs should identify only the name and business of the occupant or of those offering the premises for sale or lease.

Entry walls may be on both sides of the entry driveways within the 35 foot x 35 foot landscaped area. Sensitivity should be given to the compatibility with entry treatments throughout the property.

Perimeter Walls and Screening Standards

No refuse enclosures shall face Quaker Heights Drive or Western Trail.

Mechanical equipment and refuse enclosures, whether on roof areas or at street level, shall be fully screened from pedestrians or motorists. Screening shall be compatible with materials and design of the building.

Loading areas shall be screened from public view by walls, trellises, or landscaping. Passenger loading areas do not require screening.

The use of chain link, barbed wire, or wood fencing is not acceptable.

Refuse enclosures shall be adjacent to the building and screened on the other two sides with walls of the same material as the building itself.

Any perimeter walls, if necessary, shall not exceed 36 inches, applying to the entire site.

Architectural Expression Plan Arrangement Opportunities

Plaza-oriented development for the commercial and office uses in this Neighborhood Activity Center is required. Strip commercial development is prohibited. The site shall be walkable from one side to another with "fine grain" small parcels that have buildings arranged around or at least adjacent to pedestrian-oriented, plaza spaces. Individual buildings shall not be separated from plaza spaces by parking or drive aisles.

Open courtyard designs shall be employed in order to form transitions between parking areas and building facades in the commercial parcels. Building access and entries must be easily accessible from the surrounding buildings and should be visible from the street through open passages (such as garden courts).

Building Form Opportunities Standards

Maximum building heights shall be in accordance with the provisions of the Comprehensive City Zoning Code and Coors Corridor Sector Development Plan.

Generic franchise building elevations are not permitted.

Flat roofs and mechanical units shall be entirely concealed from public view at ground level by the use of parapets. Other roof forms including vaulted roofs, compound roofs, or sloping roofs may be considered for particular uses. The massing of roof expanses are to be distributed among a variety of volumes, introducing the use of dormers, extended vertical forms, and the use of a combination of flat roofs and sloped roofs.

Edge treatments shall "step down" to relate to the scale of pedestrians: reduce the scale of the building edge by stepping down to the street. It is encouraged that building masses be arranged in order to cast shadows on each other to emphasize the contrast of light and shaded surfaces at corners and edges.

Commercial uses shall be horizontally connected by a variety of ways, such as the use of arcades or portals, controlled plaza elements, outdoor cafes, pavement, and sitting areas.

Buildings shall employ variety in structural forms to create visual character and interest.

Avoid long, unarticulated facades. Facades shall have varied front setbacks, with wall planes not running in one continuous direction for more than 50 feet without a change in architectural treatment (i.e. 3 foot min. offset, fenestration, material change, etc.).

Columns, arcades, corner articulation, overhangs, awnings, marquees, gutters and scuppers, breezeways, and soffits shall be carefully dimensioned and detailed to provide a human scale and visual interest.

Building design incorporating a combination of forms and shapes are required to reinforce and support the village concept and to provide visual interest to the project.

Extended architectural detailing on the ground floor in an elevational band from 0 to 10 feet, such as a change in color or texture, the architectural expression expansion joints as reveals, door and window articulation and architectural accents, is required in order to enhance the pedestrian level experience.

Maximum building height for Tract 3B: 26 ft.

Maximum square footage for individual buildings on Tract 3B: No more than one building may be 60,000 square ft. All other buildings must be less than 20,000 square feet.

Commercial sloped roof lines may overhang and provide appropriate detailing with a minimum of 4 feet.

Buildings in the commercial parcel may be mixed use structures accommodating retail stores below and offices above.

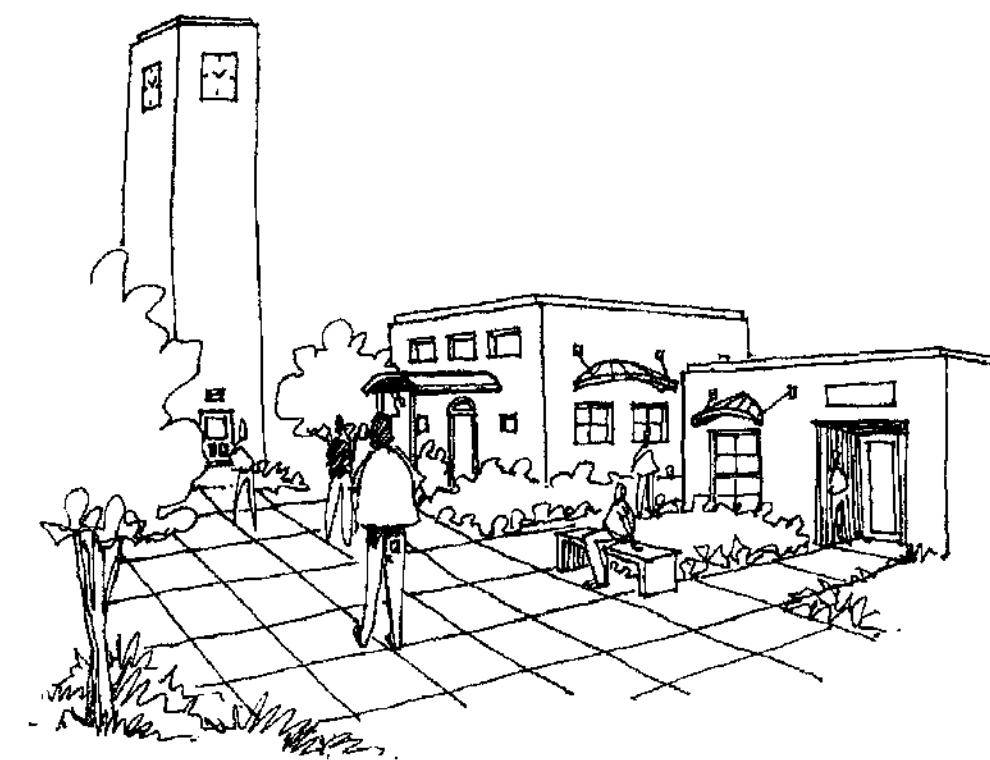
The inclusion of an outdoor cafe or a restaurant with seasonal outdoor seating is encouraged in the commercial area to face the project's interior roads or the projects focus areas.

Standards

At entryways, an awning, canopy/marquee or inset shall be provided to provide shade and shelter and a sense of arrival.

Entries shall be clearly defined and connect to pedestrian linkages.

Entryways shall be distinguished by lighting in order to enhance the perception of surface variety.



ENTRY GARDEN COURT

Building Materials Standards

Materials prohibited as the main architectural feature include the following:

- exposed, untreated precision block or wood walls
- highly reflective surfaces
- chain link fence or barbed wire
- metal panning
- materials with high maintenance requirements

Architects shall employ those materials traditionally used in the Albuquerque or New Mexico area. Special care shall be taken to ensure the buildings within the commercial development are congruous with the architectural style, colors, and building materials of the Senior Independent Living facility.

Colors shall be the inherent color of materials (earthtones such as sands, creams, tans, etc.) rather than from application of color (painted), except when used as an accent color.

Guidelines

The use of contrasting colors between roofs and walls is encouraged to further differentiate the planes of building masses.

Accent colors and materials can bring out detailing to better articulate or give scale to a building. These include the colors of glazed tile, wood trim, tile roofing, paint, metal, etc. Accent colors at stairs, balconies, and perimeter walls are to be compatible with streetscape and perimeter walls.

Transportation Demand Management (TDM)

Transit stops and shelter locations shall be coordinated with the Transit Department (ABQ Ride) and shall have strong and direct pedestrian connections to building entrances and/or plaza areas. The developer shall provide transit shelters and related amenities if requested by the Transit Department (ABQ Ride).

Future employers that locate within the Coors Village Center who have more than 50 employees will be required to set up a TDM program. The purpose of the TDM plan is to provide employees with alternatives to the single-occupancy vehicle as a means to commute from home. The following elements will be part of a TDM effort at Coors Village Center: On parcels with businesses that have more than 50 employees, lockers, showers, and bike racks must be available on each parcel for those employees who wish to jog, walk, or bicycle to work via one of the bicycle trails that are in close proximity to the Coors Village Center. Businesses with more than 50 employees should consider appointing a Commuter Management Coordinator (CMC) for the purposes of facilitating carpools and providing premium parking spaces for those employees who participate.

Businesses with more than 50 employees shall provide bulletin board space in their employee breakroom as an "information center" where material, particularly relevant City Transit information, policies, and plans can be posted.

The CMC Coordinator for each employer with more than 50 employees will also be the contact person with City Transit and Environmental Health Departments for updates, technical assistance, etc.

A Transportation Demand Management Plan shall be developed with the Transit Department once a threshold of 100 employees at the commercial center is reached. A Transportation Management Association should be organized for all of the businesses within the commercial center.

As a part of the TDM Program, City Transit's responsibilities include: Once the connection is completed from Western Trail to St. Joseph's, bus routes should be provided off of Coors Boulevard and into the interior of the project.

Sun Tran shall work with the residential and non-residential projects to provide efficient routes and schedules to this property that address their specific needs.

Landscaping

The landscape environment serves to enhance the visual dynamic of the development and aid in reinforcing the street edge and the pedestrian environment.

Standards

Landscape elements shall be used to reinforce the street edge. Street trees shall be provided at an average interval of 30 feet to provide shade.

Street trees are defined as being within 20 feet of the back of curb.

A fully automated irrigation system shall be designed as part of the landscaping for each project. The system shall be designed to avoid overspraying walks, buildings, fences, etc.

Site amenities, such as street furniture, lighting, bollards, and graphic pylons shall be part of the plan and shall be compatible with the architectural and landscape treatment of the project.

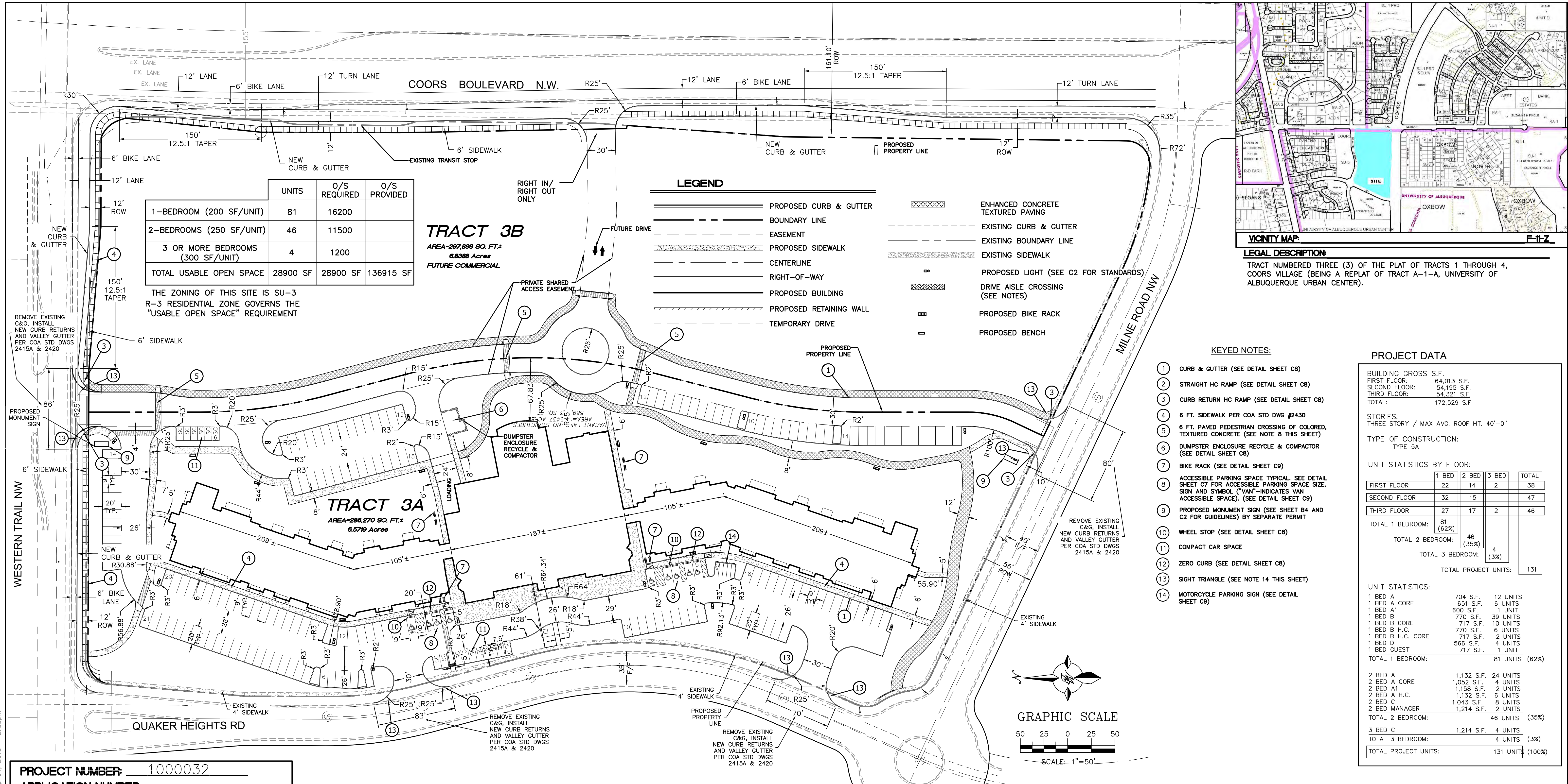
Landscape design along the right-of-way shall be consistent throughout the development.

Landscape elements that reinforce the street edge are encouraged.

Landscape plans must comply with the City of Albuquerque's Water Conservation Ordinance and Pollen Ordinance.

A mixture of drought tolerant species and lawn areas shall be used at landscaped areas and in conformance with the City Water Conservation Ordinance. Live plant materials shall cover a minimum of 75 percent of all landscaped areas. Gravel, colored rock, bark, and similar materials are acceptable as a top dressing for landscape areas, however, they are not to be considered a focal landscape element.

ENGINEER'S SEAL	131 UNIT SENIOR INDEPENDENT LIVING COORS AND MILNE DESIGN GUIDELINES	DRAWN BY BJF
		DATE 08/16/18
RONALD R. BOHANNAN P.E. #7868	5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100	2017017-000LINES
		SHEET # C2
		JOB # 2017107

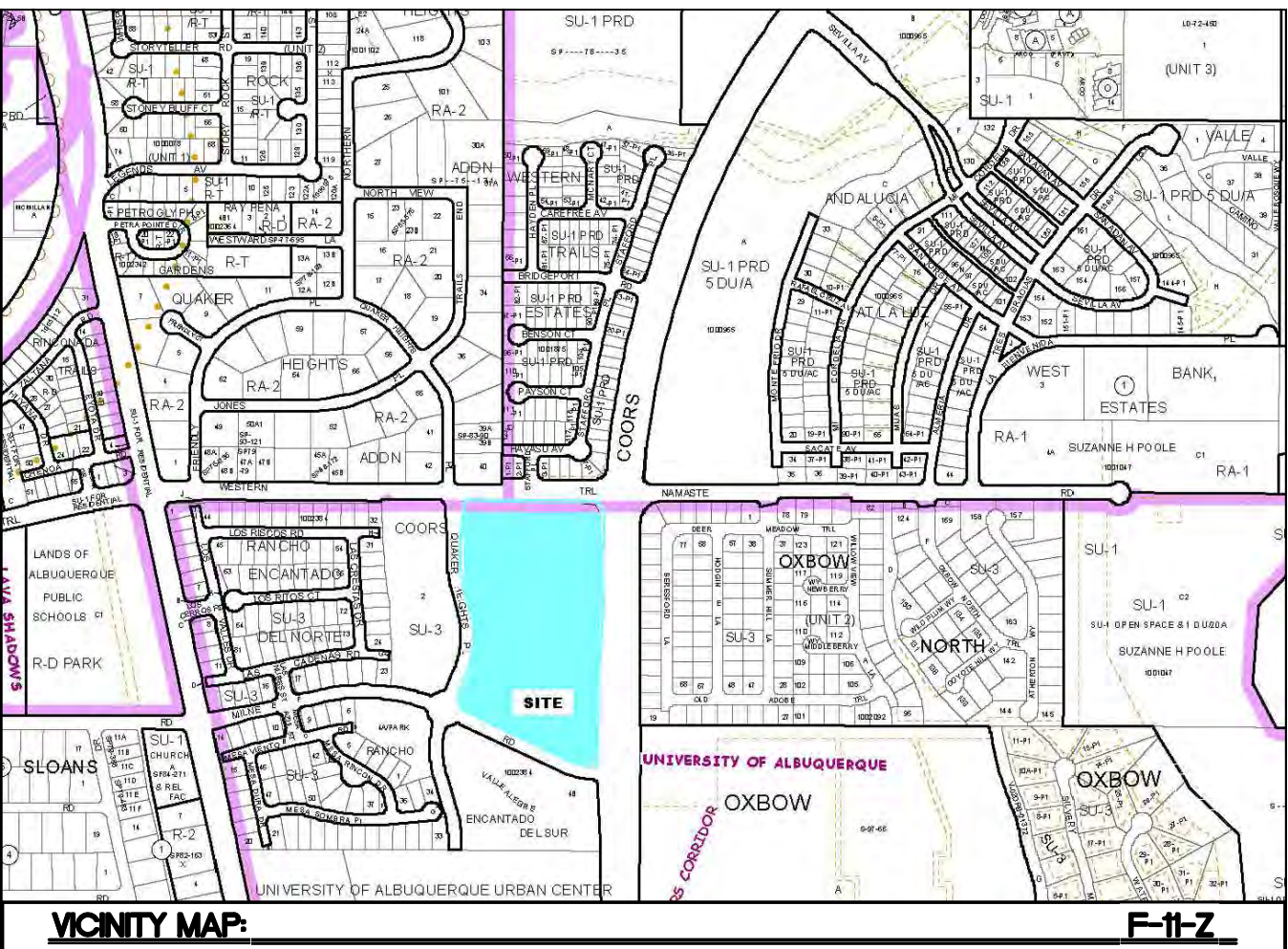


	UNITS	O/S REQUIRED	O/S PROVIDED
1-BEDROOM (200 SF/UNIT)	81	16200	
2-BEDROOMS (250 SF/UNIT)	46	11500	
3 OR MORE BEDROOMS (300 SF/UNIT)	4	1200	
TOTAL USABLE OPEN SPACE	28900 SF	28900 SF	136915 SF

TRACT 3B
 AREA=297,899 SQ. FT.±
 6.8388 Acres
 FUTURE COMMERCIAL

THE ZONING OF THIS SITE IS SU-3
 R-3 RESIDENTIAL ZONE GOVERNS THE
 "USABLE OPEN SPACE" REQUIREMENT

LEGEND	
—	PROPOSED CURB & GUTTER
- - -	BOUNDARY LINE
- - - -	EASEMENT
—	PROPOSED SIDEWALK
- - -	CENTERLINE
- - -	RIGHT-OF-WAY
—	PROPOSED BUILDING
—	PROPOSED RETAINING WALL
—	TEMPORARY DRIVE
XXXXXX	ENHANCED CONCRETE TEXTURED PAVING
—	EXISTING CURB & GUTTER
- - -	EXISTING BOUNDARY LINE
—	EXISTING SIDEWALK
□	PROPOSED LIGHT (SEE C2 FOR STANDARDS)
XXXXXX	DRIVE AISLE CROSSING (SEE NOTES)
	PROPOSED BIKE RACK
—	PROPOSED BENCH



VICINITY MAP:
LEGAL DESCRIPTION:
 TRACT NUMBERED THREE (3) OF THE PLAT OF TRACTS 1 THROUGH 4, COORS VILLAGE (BEING A REPLAT OF TRACT A-1-A, UNIVERSITY OF ALBUQUERQUE URBAN CENTER).

- KEYED NOTES:**
- CURB & GUTTER (SEE DETAIL SHEET C8)
 - STRAIGHT HC RAMP (SEE DETAIL SHEET C8)
 - CURB RETURN HC RAMP (SEE DETAIL SHEET C8)
 - 6 FT. SIDEWALK PER COA STD DWG #2430
 - 6 FT. PAVED PEDESTRIAN CROSSING OF COLORED, TEXTURED CONCRETE (SEE NOTE 8 THIS SHEET)
 - DUMPSTER ENCLOSURE RECYCLE & COMPACTOR (SEE DETAIL SHEET C8)
 - BIKE RACK (SEE DETAIL SHEET C9)
 - ACCESSIBLE PARKING SPACE TYPICAL SEE DETAIL SHEET C7 FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN"-INDICATES VAN ACCESSIBLE SPACE). (SEE DETAIL SHEET C9)
 - PROPOSED MONUMENT SIGN (SEE SHEET B4 AND C2 FOR GUIDELINES) BY SEPARATE PERMIT
 - WHEEL STOP (SEE DETAIL SHEET C8)
 - COMPACT CAR SPACE
 - ZERO CURB (SEE DETAIL SHEET C8)
 - SIGHT TRIANGLE (SEE NOTE 14 THIS SHEET)
 - MOTORCYCLE PARKING SIGN (SEE DETAIL SHEET C9)

PROJECT DATA

BUILDING GROSS S.F.
 FIRST FLOOR: 64,013 S.F.
 SECOND FLOOR: 54,195 S.F.
 THIRD FLOOR: 54,321 S.F.
 TOTAL: 172,529 S.F.

STORIES:
 THREE STORY / MAX AVG. ROOF HT. 40'-0"

TYPE OF CONSTRUCTION:
 TYPE 5A

UNIT STATISTICS BY FLOOR:

	1 BED	2 BED	3 BED	TOTAL
FIRST FLOOR	22	14	2	38
SECOND FLOOR	32	15	—	47
THIRD FLOOR	27	17	2	46
TOTAL 1 BEDROOM:	81	—	—	(62%)
TOTAL 2 BEDROOM:	—	46	—	(35%)
TOTAL 3 BEDROOM:	—	—	4	(3%)
TOTAL PROJECT UNITS:				131

UNIT STATISTICS:

1 BED A	704 S.F.	12 UNITS
1 BED A CORE	651 S.F.	6 UNITS
1 BED A1	600 S.F.	1 UNIT
1 BED B	770 S.F.	39 UNITS
1 BED B CORE	717 S.F.	10 UNITS
1 BED B H.C.	770 S.F.	6 UNITS
1 BED B H.C. CORE	717 S.F.	2 UNITS
1 BED D	566 S.F.	4 UNITS
1 BED GUEST	717 S.F.	1 UNIT
TOTAL 1 BEDROOM:	81 UNITS	(62%)
2 BED A	1,132 S.F.	24 UNITS
2 BED A CORE	1,052 S.F.	4 UNITS
2 BED A1	1,158 S.F.	2 UNITS
2 BED A H.C.	1,132 S.F.	6 UNITS
2 BED C	1,043 S.F.	8 UNITS
2 BED MANAGER	1,214 S.F.	2 UNITS
TOTAL 2 BEDROOM:	46 UNITS	(35%)
3 BED C	1,214 S.F.	4 UNITS
TOTAL 3 BEDROOM:	4 UNITS	(3%)
TOTAL PROJECT UNITS:	131 UNITS	(100%)

PROJECT NUMBER: 1000032
APPLICATION NUMBER: _____

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
ABCWUA	Date
Parks & Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

SITE DATA TABLE

AREA (AC)	BUILDING AREA	UNIT	FOOTPRINT AREA	USE	ZONING	PARKING CALCULATIONS	PRKG. REQ.	PRKG. PROV.	COMPACT SPACES	HC PRKG. REQ.	HC PRKG. PROV.	HC VAN REQ.	HC VAN PROV.	MC PRKG. REQ.	MC PRKG. PROV.	BIKE SPACES REQ.	BIKE SPACES PROV.	PROPOSED FAR	MAX. FAR
6.50	172,529 SF (GROSS)	131	64,013 SF	SENIOR INDEPENDENT LIVING (AGE RESTRICTED MULTI-FAMILY)	SU-3	81 UNIT @ 1.5 SP/UNIT(<1,000SF); 50 @2.0 SP/UNIT(>1,000SF) (-10% WITHIN 300' OF A TRANSIT ROUTE)	200	200	16	6	9	1	2	5	5	20	40 (5 BIKES/ RACK)	0.61	1.0

NOTES:

- COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
- THE SITE IS WITHIN 300' OF BUS ROUTE #96, #790 AND #155 ON COORS BOULEVARD.
- LIGHT POLES SHALL BE A MAXIMUM OF 16' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 16' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH. BUILDING MOUNTED LIGHTING SHALL BE PROVIDED AT ALL BUILDING ENTRANCES AND EXITS.
- STRUCTURE HEIGHT UP SHALL BE PER R-3 ZONE WITHIN TRACT 3A AND SHALL ADDITIONALLY COMPLY WITH COORS CORRIDOR PLAN HEIGHT RESTRICTIONS.
- SETBACKS SHALL BE PER THE R-3 ZONE WITHIN TRACT 3-A AND PER THE O-1 ZONE WITHIN TRACT 3-B.
- PROPOSED DRIVE AISLE CROSSINGS TO BE ENHANCED INTEGRAL COLORED VEHICULAR CONCRETE PAVING WITH CONCRETE BANDS. SIDEWALKS TO BE CONCRETE.
- IF REQUIRED COVERED PARKING SHALL BE OF PRE-FABRICATED STEEL CONSTRUCTION, PAINTED TO COMPLEMENT BUILDING.
- TRACT 3A SHALL ONLY BE OPERATED AS "HOUSING FOR OLDER PERSONS" AS THAT TERM IS DEFINED AT 42 U.S.C. SECTION 3607(B)(2). RESTRICTED TO RESIDENTS OF AGE 55 AND OLDER, THE FACILITY MAY PROVIDE SUPPORTIVE SERVICES SUCH AS MEALS, HOUSEKEEPING, SOCIAL ACTIVITIES, AND TRANSPORTATION.
- BUILDING-MOUNTED LIGHTING SHALL BE PROVIDED AT ALL BUILDING ENTRANCES AND EXITS.
- DUMPSTER ENCLOSURE SHALL BE PAINTED TO COMPLEMENT THE BUILDING.
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN A PUBLIC WORK ORDER PLAN SET.
- LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS AT THE INTERSECTIONS. ALL ELEMENTS TO BE BETWEEN 3 AND 8 FEET TALL.

PRELIMINARY NOT FOR CONSTRUCTION

ENGINEER'S SEAL	COORS VILLAGE TRACKS 3-A AND 3-B	DRAWN BY BJF
	SITE PLAN FOR BUILDING PERMIT, TRACT 3A	DATE 08/16/18
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505)858-3100	2017017-598
		SHEET # C3
		JOB # 2017107