

January 15, 2019

Mr. Chris Ginning  
Dekker/Perich/Sabatini LLC  
7601 Jefferson NE, Suite 100  
Albuquerque, NM 87109

RE: TRACT 3 PLAT OF TRACTS 1 THRU 4 COORS VILLAGE BEING A REPLAT OF TRACT A-1-A UNIVERSITY OF ALBUQUERQUE URBAN CENTER CONT 13.5436 AC, Albuquerque, Bernalillo County, New Mexico

Dear Chris:

This letter authorizes Dekker/Perich/Sabatini LLC to represent Presbyterian Healthcare Services with regard to the design and approval of all necessary steps related to the regulatory and permitting process with the City of Albuquerque. This letter authorizes Dekker/Perich/Sabatini LLC to act as Presbyterian Healthcare Services' agent as necessary with the permitting and associated approval processes required for the proposed medical facilities on the property referenced above.

Please contact me at 563-6641 if there are any questions.

Sincerely,



James R. Jeppson  
Administrative Director, Real Estate  
Presbyterian Healthcare Services  
[jjeppson@phs.org](mailto:jjeppson@phs.org)  
(505)563-6641

cc: Diana Lamb, Project Manager  
Steve Perich, Dekker/Perich/Sabatini LLC

JRJ/lcv



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

<b>Administrative Decisions</b>	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<b>Policy Decisions</b>
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> WTF Approval (Form W1)	<input checked="" type="checkbox"/> Site Plan – DRB (Form P2)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Subdivision of Land – Minor (Form S2)	<input type="checkbox"/> Annexation of Land (Form Z)
<b>Decisions Requiring a Public Meeting or Hearing</b>	<input type="checkbox"/> Subdivision of Land – Major (Form S1)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> Conditional Use Approval (Form ZHE)	<input type="checkbox"/> Vacation of Easement or Right-of-way (Form V)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Variance – DRB (Form V)	<b>Appeals</b>
<input type="checkbox"/> Expansion of Nonconforming Use or Structure (Form ZHE)	<input type="checkbox"/> Variance – ZHE (Form ZHE)	<input type="checkbox"/> Decision by EPC, LC, DRB, ZHE, or City Staff (Form A)

<b>APPLICATION INFORMATION</b>		
Applicant: Presbyterian Healthcare Services		Phone: (505) 563-6641
Address: PO Box 26666		Email: jjeppson@phs.org
City: Albuquerque	State: NM	Zip: 87125
Professional/Agent (if any): Dekker/Perich/Sabatini		Phone: (505) 761-9700
Address: 7601 Jefferson St. NE, Suite 100		Email: chrisg@dpsdesign.org
City: Albuquerque	State: NM	Zip: 87106
Proprietary Interest in Site: Owner	List <u>all</u> owners:	

<b>BRIEF DESCRIPTION OF REQUEST</b>
Site Development Plan for Building Permit

<b>SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)</b>		
Lot or Tract No.: 3B	Block:	Unit:
Subdivision/Addition: Coors Village	MRGCD Map No.:	UPC Code: 101106121208831301
Zone Atlas Page(s): F-11-Z	Existing Zoning: MX-L	Proposed Zoning: MX-M
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (acres): 6.84

<b>LOCATION OF PROPERTY BY STREETS</b>		
Site Address/Street: Coors Blvd.	Between: Western Trail	and: Milne Rd.

<b>CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)</b>

<b>Signature:</b>	<b>Date:</b>
<b>Printed Name:</b>	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

<b>FOR OFFICIAL USE ONLY</b>		
Case Numbers	Action	Fees
-		
-		
-		
Meeting/Hearing Date:	Fee Total:	
Staff Signature:	Date:	Project #

**FORM P2: SITE PLAN – DRB**

**Please refer to the DRB public meeting schedules for hearing dates and deadlines. Your attendance is required.**

A single PDF file of the complete application including all plans and documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

**INFORMATION REQUIRED FOR ALL SITE PLAN – DRB APPLICATIONS**

- Interpreter Needed for Hearing? NO if yes, indicate language: \_\_\_\_\_
- Site Plan and related drawings (10 copies, 24" x 36" folded to fit into an 8.5" x 14" pocket)
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

**SITE PLAN – DRB**

**MAJOR AMENDMENT TO SITE PLAN – DRB**

**EXTENSION OF SITE PLAN – DRB Does not require Public Hearing**


- \_\_\_ Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)
- \_\_\_ Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)
- \_\_\_ Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) (not required for Extension)
- \_\_\_ Site Plan and related drawings reduced to 8.5" x 11" format (1 copy)
- \_\_\_ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(G)(3)
- \_\_\_ Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(O)  
*Note: If requesting more than allowed by deviation, a Variance – ZHE or Variance – DRB will be required, as applicable.*
- \_\_\_ Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information (not required for Extension)
- \_\_\_ Required notices with content per IDO Section 14-16-6-4(K)(6)
  - \_\_\_ Office of Neighborhood Coordination inquiry response, notifying letter, and proof of first class mailing
  - \_\_\_ Proof of emailed notice to applicable Neighborhood Association representatives
  - \_\_\_ Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing
- \_\_\_ Sign Posting Agreement
- \_\_\_ Signed Traffic Impact Study (TIS) Form
- \_\_\_ Completed Site Plan Checklist

**FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC**

- Solid Waste Department signature on Site Plan
- Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- Approved Grading and Drainage Plan
- Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (not required for Master Development Plans)
- Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- Infrastructure List, if required

*I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.*

Signature: <u>Anthony Santi</u>	Date: <u>1/15/19</u>
Printed Name: <u>Anthony Santi</u>	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY	
Project Number:	Case Numbers
	-
	-
	-
Staff Signature:	
Date:	



# CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT**  
**URBAN DESIGN & DEVELOPMENT DIVISION**  
600 2nd Street NW, 3rd Floor, 87102  
P.O. Box 1293, Albuquerque, NM 87103  
Office (505) 924-3860 Fax (505) 924-3339

## OFFICIAL NOTIFICATION OF DECISION

December 13, 2018

UNIVEST-COORS ROAD LLC  
10611 N. Heights Pl. NW  
ABQ, NM 87120

**Project #2018-001584 (1000032, 1007282, 1001624)**  
**SI-2018-00221 – Site Plan for Building Permit**  
**RZ-2018-00047 – Zone Map Amendment (Zone Change)**

### LEGAL DESCRIPTION:

The above action for all or a portion of Lot 3, Coors Village, zoned MX-L to MX-M, located on Coors Blvd., between Western Trail and Milne Rd., containing approximately 6.8 acres. (F-11) and

For all or a portion of Tract 3, Plat of Tracts 1 through 4, Coors Village, site development plan, located at Coors Blvd., NW, between Western Trail NW and Milne Rd. NW, containing approximately 6.8 acres

Staff Planner: Leslie Naji

PO Box 1293

Albuquerque

On December 13, 2018 the Environmental Planning Commission (EPC) voted to APPROVE Project 2018-001584/SI-2018-00221, a Site Plan for Building Permit and RZ-2018-00047, a Zone Map Amendment (Zone Change), based on the following findings and conditions.

### FINDINGS:

www.cabq.gov

*PR-2018-001584 / SI-2018-00221, December 13, 2018-Site Development Plan for Building Permit*

1. The request is for a site development plan for building permit covering 6.8 acres of a 13.54 acre site, all or part of Lot 3, tracts 1-4 of Coors Village.
2. The applicant is requesting a Site Plan – EPC for a 16,000 square foot Emergency Care Facility and a 35,000 square foot outpatient clinic.
3. Changes to a mid-lot roadway require EPC approval as per 08EPC40030 case findings.
4. Both sides of Lot 3 are connected through total site drainage and grading.

OFFICIAL NOTICE OF DECISION

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5. The subject site is located in an Area of Change as designated in the ABC Comprehensive Plan.
6. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance are incorporated herein by reference and made part of the record for all purposes.
7. The request is consistent with the following Comprehensive Plan Goal from the Land Use Chapter:

**GOAL 5.1 CENTERS & CORRIDORS:**

Grow as a community of strong Centers connected by a multi-modal network of Corridors.

**Policy 5.1.1-Desired Growth:** Capture regional growth in Centers and Corridors to help shape the built environment into a sustainable development pattern.

The propose site plan for the medical clinic facility reflects a vibrant activity center and supports convenient vehicular access and suitable pedestrian access for residences and to public transport services.

5.1.1.4 Promote ongoing public-private cooperation necessary to create private market conditions that support intensified development of jobs and housing in Transit Corridors. [ABC]

The Property is located in a major Transit Corridor adjacent to the Coors Corridor. The location is most appropriate to accommodate development and encourage employment density in an infill location, in a Transit Corridor, and thus discourage the need for development at the urban edge. The development provides opportunities for higher paying professional jobs with both a concentration and mix of employment service opportunities created

**Policy 5.1.2-Development Areas:** Direct more intense growth to Centers and Corridors and use Development Areas to establish and maintain appropriate density and scale of development within areas that should be more stable.

The subject site is located on the west side of Coors Blvd., a designated Transit Corridor, and in an Area of Change that is intended to develop. The proposed emergency care facility will provide a larger medical center which the area needs and place it on a major transit corridor, while keeping a low profile development.

**Policy 5.1.6-Activity Centers:** Foster mixed-use centers of activity with a range of services and amenities that support healthy lifestyles and meet the needs of nearby residents and businesses.

The Property is located adjacent to the Coors Corridor and provides services to meet the needs of nearby residents and businesses with medical services needed by the neighborhood and community. The Property is conveniently accessible from surrounding neighborhoods.

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Policy 5.2.1-Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The site plan will allow for a land use necessary to provide a medical service that is conveniently accessible from the surrounding neighborhoods. This will encourage development that brings medical services within walking and biking distance of neighborhoods. The location within a Transit Corridor offers choice in transportation to services and employment and will reduce the need for automobile travel.

Policy 4.1.2 Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

The site plan proposed is for a higher intensity medical facility but would be of a more appropriate scale to the surroundings than what a full build-up under the MX-L zoning would allow. The phased development will result in a landscaped campus setting with easy access from major and minor arterials. The buildings will be low-rise with suitable fenestration and the site will have limited signage and 16 foot high site lighting.

8. The request is consistent with the following Comprehensive Plan Goal from the Land Use Chapter:

GOAL 5.3 EFFICIENT DEVELOPMENT PATTERNS:

Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

Policy 5.3.1 Infill Development: Support additional growth in areas with existing infrastructure and public facilities. [ABC]

The parcel maximizes the use of existing infrastructure required to service the development demands as all required infrastructure surrounds the parcel.

Policy 5.3.5 School Capacity: Discourage zone changes from non-residential to residential or mixed-use zones when affected public schools have insufficient capacity to support the anticipated increase of students based on proposed dwelling units. [ABC]

A site plan to enable the medical clinic development will alleviate any issues associated with residential being proposed on the site.

9. The request is consistent with the following Comprehensive Plan Goal from the Land Use Chapter:

GOAL 5.6 CITY DEVELOPMENT AREAS:

Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

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The proposed site plan promotes development patterns that maximize the utility of existing infrastructure and public facilities. The site is located in an Area of Change and will reinforce the character of the surrounding Areas of Consistency through the use of a campus/clustered development with connectivity to surrounding minor and major arterial roads.

Policy 5.6.2 Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged. [ABC]

The request would encourage development that expands employment opportunities by bringing medical employment opportunities to the west side of Albuquerque.

The request would encourage development where adequate infrastructure and community services exist.

Policy 6.1.3- Auto Demand: Reduce the need for automobile travel by increasing mixed-use development, infill development within Centers, and travel demand management (TDM) programs.

Infill of a currently vacant parcel with a facility not currently available in the area and being located along a Major Transit Corridor will result in a reduction of the current auto demand in reaching such facilities.

10. The request is consistent with the following Comprehensive Plan Goal from the Land Use Chapter:

GOAL 8.2 ENTREPRENEURSHIP:

Foster a culture of creativity and entrepreneurship and to encourage private businesses to grow.

Policy 8.2.1 Local Business: Emphasize local business development. [ABC]

The proposed site plan will enable a new medical clinic facility and emergency service that is not currently established in the metro area. The proposed medical use is a creative solution to resolve the delays experienced at the larger medical facilities, with the goal to decrease the wait time of a patient requiring urgent care or medical attention at both the new medical clinic propose and the established medical facilities in the metro area.

Policy 8.2.3 Sustainable Business: Provide incentives for development projects and businesses that

- a) Have sustainable economic characteristics. [ABC]
- b) Promote local hiring, higher-wages, and business that contribute to the economic base (export-based).
- c) Cluster compatible businesses to allow for more efficient movement of goods, services, and workers.

The proposed site plan is consistent with this goal by encouraging private business to grow by removing the regulatory burden that precludes expansion of the current and historic land



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use. Allowing for future development of the property provides an incentive to local business to expand and diversify the employment base, promote local hiring, higher wages, and business that contributes to the economic base of the community and region.

11. The applicant has adequately justified the request pursuant to the Integrated Development Ordinance (IDO) Section 6-6(F)(3)-Review and Decision Criteria for Site Plan Review and meets the design criteria for the following applicable criteria.

Applicable criteria to this site plan are those of:

- Access And Connectivity
- Landscaping And Buffering
- Walls And Fences
- Outdoor Lighting
- Building Design
- Signs
- Operation And Maintenance

12. IDO criteria 5-5 Parking And Loading is not met as there is a deficit of one parking space for the Medical Clinic. This space shall be recovered prior to DRB site plan review.
13. Certain technical issues related to connectivity to the western half of Lot 3 require further review by the DRB.
14. The Westside Coalition was notified by the applicant. Property owners within 100 feet of the subject site were also notified, as required. A community meeting was held October 25, 2018. There is no known opposition to the request.

***CONDITIONS OF APPROVAL, Site Development Plan for Building Permit***

***Project # 2018-001584 , Case #: SI-2018-00221***

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB) to ensure all technical issues are resolved. The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. Parking requirement of 175 spaces for the medical clinic shall be provided as only 174 are currently shown.
4. Conditions from the City Engineer, Transportation Development

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1. Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB)
  2. Site plan shall comply and be in accordance with all applicable City of Albuquerque requirements, including the Development Process Manual and current ADA criteria.
5. Conditions from City Engineer, Hydrology Development
1. Hydrology will need an approved Conceptual Grading and Drainage Plan for DRB action on Site Plan for Building Permit
  2. Attached is the Drainage Report for Tracts 3A & 3B. The proposed storm drain system provided for stub outs at three locations for this tract's use. The storm drain system ultimately ties into an existing 54 inch pipe at the corner of Milne Rd. and Quaker Heights Rd.
6. Conditions from the New Mexico Department of Transportation (NMDOT):
1. The NMDOT is requiring that the development adheres to the concurred Traffic Impact Analysis (TIA) and TIA approval letter issued from the NMDOT.
  2. Concerns with the placement of the Albuquerque Transit Dept. bus stop and the positioning of the right turn deceleration lane into the site from Coors Blvd. need to be resolved to the satisfaction of NMDOT.
7. Conditions from the Water Utility Authority
1. SI-2018-00221 – Site Development Plan for Building Permit
    - Identification: UPC – 101106121208831301
    - a. Previous availability 180413 committed service to the site with the understanding that the proposed lot 3B would become a mixed use of retail and restaurant businesses. Before service can be committed to the east property a new availability statement will need to be requested to address the change in use.
      - i. Request shall include a City Fire Marshal approved Fire 1 Plan and a zone map showing the site location.
8. Conditions from Public Service Company of New Mexico
1. It is necessary for the developer to contact the PNM New Service Delivery Department to coordinate electric service regarding this project.
9. The Site Development Plan shall comply with the General Regulations of the IDO and all other applicable design regulations, except as specifically approved by the EPC.

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1. The request is for a zone map amendment (zone change) for an approximately 6.8 acre, vacant site on the western side Coors Blvd. NW, between Western Trail NW and Milne Dr. NW, zoned MX-L.
2. The applicant is requesting a zone change to MX-M (Mixed Use-Medium zone) in order to develop a 16,000 square foot Emergency Care Facility and a 35,000 square foot outpatient clinic.
3. The subject site is in an area that the Comprehensive Plan has designated an Area of Change.
4. The Albuquerque/Bernalillo County Comprehensive Plan and the City of Albuquerque IDO are incorporated herein by reference and made part of the record for all purposes.
5. The request furthers the following, applicable Comprehensive Plan Goal from the Land Use Chapter:

GOAL 5.1 CENTERS & CORRIDORS and Policy 5.1.1-Desired Growth:

GOAL 5.1 and Policy 5.1.1 are furthered by this request because future development shall be pedestrian friendly as required by IDO design standards. The site is situated to provide walkable access to the site from Coors Boulevard and further west to the development of the adjacent residential property. The site will create walkable access to public transportation along Coors Boulevard with connectivity between the residential tracts and the commercial precinct for the public. The propose site plan for the medical clinic facility reflects a vibrant activity center and supports convenient vehicular access and suitable pedestrian access for residences and to public transport services.

The request would not result in development that would “capture regional growth”. While the MX-L zone provides for neighborhood commercial (small scale) uses, the MX-M zone would be a more appropriate zone along Coors Blvd, a Major Transit Corridor.

- 5.1.1.4 Promote ongoing public-private cooperation necessary to create private market conditions that support intensified development of jobs and housing in Transit Corridors. [ABC]

The Property is located in a major Transit Corridor adjacent to the Coors Corridor. The location is most appropriate to accommodate development and encourage employment density in an infill location, in a Transit Corridor. The development provides opportunities for higher paying professional jobs with both a concentration and mix of employment service opportunities created.

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Policy 5.1.2-Development Areas: Direct more intense growth to Centers and Corridors and use Development Areas to establish and maintain appropriate density and scale of development within areas that should be more stable.

The subject site is located on the west side of Coors Blvd., a designated Transit Corridor, and in an Area of Change that is intended to develop. Relative to the surrounding area, including Coors Blvd., the more-intense development that the request to MX-M would make possible would be along this Major Transit Corridor.

Policy 5.1.6-Activity Centers: Foster mixed-use centers of activity with a range of services and amenities that support healthy lifestyles and meet the needs of nearby residents and businesses.

The Property is located adjacent to the Coors Corridor and provides services to meet the needs of nearby residents and businesses with medical services needed by the neighborhood and community. The Property is conveniently accessible from surrounding neighborhoods.

Policy 5.2.1-Land Uses: Create healthy, sustainable, and distinct communities with a mix of uses that are conveniently accessible from surrounding neighborhoods.

The zone change will allow for a land use necessary to provide a medical service that is conveniently accessible from the surrounding neighborhoods. This will encourage development that brings medical services within walking and biking distance of neighborhoods. The location within a Transit Corridor offers choice in transportation to services and employment and will reduce the need for automobile travel.

Policy 4.1.2 Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

Future development on the subject site under the MX-M zone, which the request would make possible, would be subject to IDO. These would help ensure appropriate scale and location of development and character of building design. The mix of uses being requested through the attached SDP- BP, is Medical Clinic over 10,000 square feet, but would be limited to uses allowable in the MX-M zone.

6. The request furthers the following, applicable Comprehensive Plan Goal from the Land Use Chapter:

GOAL 5.3 EFFICIENT DEVELOPMENT PATTERNS:

Promote development patterns that maximize the utility of existing infrastructure and public facilities and the efficient use of land to support the public good.

Policy 5.3.1 Infill Development: Support additional growth in areas with existing infrastructure and public facilities. [ABC]

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The parcel maximizes the use of existing infrastructure required to service the development demands as all required infrastructure surrounds the parcel.

Policy 5.3.5 School Capacity: Discourage zone changes from non-residential to residential or mixed-use zones when affected public schools have insufficient capacity to support the anticipated increase of students based on proposed dwelling units. [ABC]

School capacity is not affected as the proposed site plan development for medical uses does not support a residential component. Therefore there is no increase on the strain on neighboring schools. The requested zone change is MX-L to MX-M.

7. The request furthers the following, applicable Comprehensive Plan Goal from the Land Use Chapter:

GOAL 5.6 CITY DEVELOPMENT AREAS:

Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The proposed zone change promotes development patterns that maximize the utility of existing infrastructure and public facilities. The site is located in an Area of Change and will reinforce the character of the surrounding Areas of Consistency through the use of a campus/clustered development with connectivity to surrounding minor and major arterial roads. The medium intensity development will contribute to a transition of development intensity from Coors Blvd moving westward as zoning will proceed to MX-L, then MX-T and finally R-1.

Policy 5.6.2 Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged. [ABC]

The request would encourage development that expands employment opportunities by bringing medical employment opportunities to the west side of Albuquerque. Development is along the Coors Major Transit Corridor providing connectivity to other areas.

Policy 6.1.3- Auto Demand: Reduce the need for automobile travel by increasing mixed-use development, infill development within Centers, and travel demand management (TDM) programs.

Infill of a currently vacant parcel with a facility not currently available in the area and being located along a Major Transit Corridor will result in a reduction of the current auto demand in reaching such facilities.

8. The request furthers the following, applicable Comprehensive Plan Goal from the Land Use Chapter:

GOAL 8.2 ENTREPRENEURSHIP:

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Foster a culture of creativity and entrepreneurship and to encourage private businesses to grow.

**Policy 8.2.1 Local Business:** Emphasize local business development. [ABC]

The proposed zone change will enable a new medical expansion and service that is not currently established in the metro area. The proposed medical use is a creative solution to resolve the delays experienced at the larger medical facilities, with the goal to decrease the wait time of a patient requiring urgent care or medical attention at both the new medical clinic propose and the established medical facilities in the metro area.

**Policy 8.2.3 Sustainable Business:** Provide incentives for development projects and businesses that

- a) Have sustainable economic characteristics. [ABC]
- b) Promote local hiring, higher-wages, and business that contribute to the economic base (export-based).
- c) Cluster compatible businesses to allow for more efficient movement of goods, services, and workers.

The proposed zone change will further this goal by encouraging private business to grow by removing the regulatory burden that precludes expansion of the current and historic land use. Allowing for future development of the property provides an incentive to local business to expand and diversify the employment base, promote local hiring, higher wages, and business that contributes to the economic base of the community and region.

9. The applicant has adequately justified the request pursuant to the Integrated Development Ordinance (IDO) Section 6-7(F)(3)-Review and Decision Criteria for Zone Map Amendments, as follows:
  - A. **Criterion A:** Consistency with the City's health, safety, morals and general welfare is shown by demonstrating that a request furthers applicable Comprehensive Plan Goals and policies (and other plans if applicable) and does not significantly conflict with them. The applicant has adequately demonstrated, in his policy-based response (see Criterion C, below), that the request would be consistent with the City's health, safety, morals and general welfare.
  - B. **Criterion B:** This criterion does not apply because the subject site is not located in an Area of Consistency, either wholly or in part.
  - C. **Criterion C:** The zone change to MX-M would result in an approximately 6.8 acre parcel located in an Area of Change is more suitable for the parcel based on the site location along a major Transit Corridor and is within the Coors Corridor. The intensity associated with the zone change can be supported by the surrounding existing infrastructure and is an appropriate density for this parcel.

The ability to develop the Property to this level of intensity ensures its commercial viability and in doing so provides new employment opportunities. The zone change to MX-M also permits essential medical services needed by the community that would otherwise not be permissive under the lower intensity MX-L zoning.

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Importantly the characteristics of the community will be maintained as the requested MX-M zoning is equivalent to the MX-L zoning designation except for scale. The commercial viability of the Property is necessary to ensure a productive use of the lot and avoid the existence of an undeveloped lot in an infill area.

- D. Criterion D: Under the zone change to MX-M there are no commercial land uses that may be detrimental to adjacent property owners as any site development will require adequate screening and provisions for security is made. The proposed site plan for building permit proposes an urgent and emergency care and clinical outpatient service across the entire parcel; therefore, there is no opportunity to develop harmful uses if both the zone change and the site plan proposed is approved.
- E. Criterion E: Requirement 3 applies. The City's existing infrastructure and public improvements have adequate capacity to serve the development made possible by the change of zone.

The infrastructure detailed on the Improvements Agreement will support the proposed zone change and development of the project by improving the capacity of Coors Blvd, an extension of sidewalk along Coors Blvd, a right turn lane on Western Trail to Coors Blvd. and other general improvements surrounding the site such as a 10-inch waterline extension along Milne Rd. will benefit the community by leveraging private investment.

- F. Criterion F: The site is located in the Coors Corridor and Transit Corridors. The parcel is approved for a right-in right-out access driveway from Coors Blvd by NM DOT. The location of the parcel is suitable for higher intensity infill development to serve the surrounding communities due to the adequate access and location along Coors Blvd. The signal location at Coors Blvd. and Western Trails also provides an opportunity for secondary access to the site from the surrounding roadways (Milne Dr. and Quaker Heights).
- G. Criterion G: Economic considerations are a factor, but the applicant's justification is not completely or predominantly on the cost of land or economic considerations. The applicant has demonstrated that the request furthers a preponderance of applicable Comprehensive Plan policies. The site is suitable for infill development that will create employment opportunities and provide services to benefit the community. The zone change is suitable to provide the higher intensity development use at the parcel and is in line with the zoning of parcels along the Coors Blvd. Corridor.
- H. Criterion H: This is a spot zone that clearly facilitates implementation of the ABC Comp Plan and Criteria 1 and 2 apply:
1. The subject site is appropriate to be zoned MX-M to create a transition from the high traffic-volume, Major Transit Corridor of Coors Blvd. west to the subject site, the MX-L, MX-T and then R-1 zoned properties. The site does not abut any residential zones; it is bounded by public right-of-way on the north, east and south, which provide wide, by default buffers to nearby residential neighborhoods.

OFFICIAL NOTICE OF DECISION

Project #2018-001584

December 13, 2018

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2. The high volume of traffic along Coors Blvd. makes the subject site more suitable for the community-serving uses allowed in the requested MX-M zone, such as a medical clinic over 10,000 square feet in size, rather than the limited, neighborhood-scale services allowed in MX-L. Access to this site is enhanced by the adjacent, fully signalized intersection of Coors Blvd. and Western Trail.
  
10. The Westside Coalition was notified by the applicant. Property owners within 100 feet of the subject site were also notified, as required. A community meeting was held October 25, 2018. There is no known opposition to the request.

**APPEAL:** If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **DECEMBER 28, 2018**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15<sup>th</sup> day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6 of the IDO, Administration and Enforcement. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's recommendation.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

Sincerely,

  
for David S. Campbell  
Planning Director



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Project #2018-001584

December 13, 2018

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DSC/LN

cc: UNIVEST-COORS ROAD LLC, 10611 N. Heights Pl., NW, ABQ, NM 87120  
Tierra West, LLC, 5571 Midway Pk., Pl., NE, ABQ, NM 87109  
Dekker/Perich/Sabatini LLC, 7601 Jefferson NE, Suite 100, ABQ, NM 87109  
Ladera Heights NA, Marie Ludi, 6216 St. Josephs Ave., NW, ABQ, NM 87120  
Ladera Heights NA, Allan Ludi, 6216 St. Josephs Ave., NW, ABQ, NM 87120  
Western Trails Estates HOA, Marc Lombardo, 5512 Bridgeport Rd NW, ABQ, NM 87120  
Western Trails Estates HOA, Jacqlyn Jones, 5511 Bridgeport Rd NW, ABQ, NM 87120  
Quaker Heights NA, Orlando Martinez, 5808 Jones Pl. NW, ABQ, NM 87120  
Quaker Heights NA, Vanessa Alarid, 5818 Jones Pl. NW, ABQ, NM 87120  
Westside Coalition of Neigh. Assoc., Harry Hendriksen, 10592 Rio del Sol NW., ABQ, NM 87114  
Westside Coalition of Neigh. Assoc., Rene Horvath, 5515 Palomino Dr., NW, ABQ, NM 87120  
Taylor Ranch NA, Jolene Wolfley, 7216 Carson Tr., NW, ABQ, NM 87120  
Taylor Ranch NA, Rene Horvath, 5515 Palomino Dr. NW, ABQ, NM 87120  
John DuBois, [jdubois@cabq.gov](mailto:jdubois@cabq.gov)



January 15, 2019



Chair, Development Review Board  
City of Albuquerque Planning Department  
600 2<sup>nd</sup> St. NW  
Albuquerque, NM 87103

Re: Presbyterian  
Southwest Corner of Coors and Western Trail NW (TRACT 3 PLAT OF TRACTS 1 THRU 4  
COORS VILLAGE BEING A REPLAT OF TRACT A-1-A UNIVERSITY OF ALBUQUERQUE  
URBAN CENTER CONT 13.5436 AC, Albuquerque, Bernalillo County, New Mexico)  
Albuquerque, New Mexico  
Request for Site Development Plan for Building Permit

**CONDITIONS OF APPROVAL, Site Development Plan for Building Permit  
Project # 2018-001584, Case # SI-2018-00221**

1. *The EPC delegates final sign-off of this site development plan to the Development Review Board (DRB) to ensure all technical issues are resolved. The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approval.*

Response: This letter shall serve to specify all modifications that have been made to the site plan since the EPC hearing as required.

2. *Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.*

Response: Applicant met with Leslie Naji, Senior Planner, on 1/14/2019 to ensure all conditions of approval have been met.

3. *Parking requirement of 175 spaces for the medical clinic shall be provided as only 174 are currently shown.*

Response: 175 parking spaces have been provided in the current site plan.

4. *Conditions from the City Engineer, Transportation Development*
  1. *Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB)*

Response: Applicant understands its responsibility for permanent improvements to the transportation facilities adjacent to the proposed development site plan.

2. *Site plan shall comply and be in accordance with all applicable City of Albuquerque requirements, including the Development Process Manual and current ADA criteria.*

Response: The submitted site plan complies with all applicable City of Albuquerque requirements, including the Development Process Manual and current ADA criteria.

5. *Conditions from City Engineer Hydrology Development*

1. *Hydrology will need an approved Conceptual Grading and Drainage Plan for DRB action on Site Plan for Building Permit.*

Response: The Conceptual Grading and Drainage Plan has been submitted and is pending approval.

2. *Attached is the Drainage Report for Tracts 3A & 3B. The proposed storm drain system provided for stub outs at three locations for this tract's use. The storm drain system ultimately ties into an existing 54 inch pipe at the corner of Milne Rd. and Quaker Heights Rd.*

Response: Applicant concurs and the conceptual Grading and Drainage Plan has been submitted to hydrology and is pending approval.

6. *Conditions from the New Mexico Department of Transportation (NMDOT):*

1. *The NMDOT is requiring that the development adheres to the concurred Traffic Impact Analysis (TIA) and TIA approval letter issued from the NMDOT.*

Response: The development will adhere to the concurred Traffic Impact Analysis and TIA letter issued from the NMDOT.

2. *Concerns with the placement of the Albuquerque Transit Dept. bus stop and the positioning of the right turn deceleration lane into the site from Coors Blvd. need to be resolved to the satisfaction of NMDOT.*

Response: NMDOT and the Transit Dept. have approved the proposed bus stop and deceleration lane into the site from Coors Blvd.

7. *Conditions from the Water Utility Authority*

1. *SI-2018-00221 – Site Development Plan for Building Permit*

*Identification: UPC – 101106121208831301*

- a. *Previous availability 180413 committed service to the site with the understanding that the proposed lot 3B would become a mixed use of retail and restaurant businesses. Before service can be committed to the east property a new availability statement will need to be requested to address the change in use.*

1. *Request shall include a City Fire Marshal approved Fire 1 Plan and a zone map showing the site location.*

Response: A request for a revised water availability statement has been filed including the approved Fire 1 Plan.

8. *Conditions for Public Service Company of New Mexico*

1. *It is necessary for the developer to contact PNM New Service Delivery Department to coordinate electric service regarding this project.*

Response: The new electric service request has been made with PNM New Service Delivery Department.

9. *The Site Development Plan shall comply with the General Regulations of the IDO and all other applicable design regulations, except as specifically approved by the EPC.*

Response: The proposed site plan complies with the General Regulations of the IDO and all other applicable design regulations, except as specifically approved by the EPC.

---

Based upon the responses to conditions presented in this letter, we respectfully request approval of a Site Development Plan for Building Permit to facilitate this important medical project that would bring much needed health care services to the Westside within a high quality development. If you have any questions or need clarification of anything contained herein, please contact John Laur or me at 761-9700.

Sincerely,

Dekker/Perich/Sabatini



Christopher R. Gunning, AIA, LEED AP BD+C  
Principal

**FORM DRWS: DRAINAGE REPORT/GRADING AND DRAINAGE PLAN / WATER & SANITARY SEWER AVAILABILITY**

THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR SUBDIVISIONS AND SITE PLANS.

**PROJECT NAME:** PHS Ambulatory Care Facility

**AGIS MAP #** F-11-Z

**LEGAL DESCRIPTIONS:** TRACT 3 PLAT OF TRACTS 1 THRU 4 COORS VILLAGE  
BEING A REPLATOF TRACT A-1-A UNIVERSITY OF  
ALBUQUERQUE URBAN CENTERCONT 13.5436 AC

**\_\_\_ DRAINAGE REPORT/GRADING AND DRAINAGE PLAN**

A drainage report/grading and drainage plan, as per the Drainage Ordinance, was submitted to the City of Albuquerque Planning Department, Hydrology Division (2<sup>nd</sup> /Ground Floor, Plaza del Sol) on \_\_\_\_\_ (date).

\_\_\_\_\_  
Applicant/Agent \_\_\_\_\_  
Date

\_\_\_\_\_  
Hydrology Division Representative \_\_\_\_\_  
Date

***NOTE: A GRADING AND DRAINAGE PLAN MUST BE APPROVED PRIOR TO DRB APPROVAL***

**\_\_\_ WATER AND SEWER AVAILABILITY STATEMENT**

A Water and Sewer Availability Statement for this project was requested to the ABCWUA (2<sup>nd</sup>/Ground floor, Plaza del Sol) on \_\_\_\_\_ (date).

\_\_\_\_\_  
Applicant/Agent \_\_\_\_\_  
Date

\_\_\_\_\_  
ABCWUA Representative \_\_\_\_\_  
Date

**PROJECT #** \_\_\_\_\_

# SITE PLAN CHECKLIST

Project #: \_\_\_\_\_ Application #: \_\_\_\_\_

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

***I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.***



1/15/19

Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

*The electronic format must be organized in the above manner.*

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

## SHEET #1 - SITE PLAN

### A. General Information

- ✓ 1. Date of drawing and/or last revision
- ✓ 2. Scale: 1.0 acre or less 1" = 10'  
1.0 - 5.0 acres 1" = 20'  
Over 5 acres 1" = 50'  
Over 20 acres 1" = 100'

## SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

### B. Proposed Development

#### 1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

#### 2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
  - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
  - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
  - 3. On street parking spaces
- B. Bicycle parking & facilities
  - 1. Bicycle racks – location and detail
  - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
  - 1. Ingress and egress locations, including width and curve radii dimensions
  - 2. Drive aisle locations, including width and curve radii dimensions
  - 3. End aisle locations, including width and curve radii dimensions
  - 4. Location & orientation of refuse enclosure, with dimensions
  - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
  - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)



## SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.
- E. Off-Street Loading
  - 1. Location and dimensions of all off-street loading areas
- N/A F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
  - N/A 1. Location and dimensions of vehicle stacking spaces and queuing lanes
  - N/A 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
  - N/A 3. Striping and Sign details for one-way drive through facilities

### 3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
  - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
  - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
  - 3. Location of traffic signs and signals related to the functioning of the proposal
  - 4. Identify existing and proposed medians and median cuts
  - 5. Sidewalk widths and locations, existing and proposed
  - 6. Location of street lights
  - 7. Show and dimension clear sight triangle at each site access point
  - 8. Show location of all existing driveways fronting and near the subject site.
- B. Identify Alternate transportation facilities within site or adjacent to site
  - 1. Bikeways and bike-related facilities
  - 2. Pedestrian trails and linkages
  - 3. Transit facilities, including routes, bus bays and shelters existing or required

### 4. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

## SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
  - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
  - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
  - C. Ponding areas either for drainage or landscaping/recreational use

## SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
  - A. Existing, indicating whether it is to be preserved or removed.
  - B. Proposed, to be established for general landscaping.
  - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

### SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

#### A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

#### B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

# SITE PLAN CHECKLIST

## SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)

## SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

### A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
  - 1. Identify facade orientation
  - 2. Dimensions of facade elements, including overall height and width
  - 3. Location, material and colors of windows, doors and framing
  - 4. Materials and colors of all building elements and structures
  - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

### B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO

January 14, 2019

Mr. David Gutierrez  
Utility Development  
City of Albuquerque – Plaza Del Sol  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87103

Re: Request for Letter of Water and Sanitary Sewer Availability  
PHS Ambulatory Care Facility & Clinic – SW Corner of Coors Blvd & Western Trails  
(Zone Atlas Map F-11)

Dear Mr. Gutierrez:

The purpose of this letter is to request a statement of water and sewer availability for the property referenced above. The enclosed Zone Atlas Map identifies the location of the property which contains approximately 7.5 acres. The site will consist of a new Ambulatory Care Facility with an area of approximately 16,000 SF and outpatient clinic with an area of approximately 35,000 SF.

Both buildings will have a sprinkler system and smoke detector installed. Per the 2009 International Fire Code (as adopted by the City of Albuquerque Fire Marshal's Office), the required Fire Flow is 2,000 GPM. This Fire Flow has been verified by the Fire Marshal's Office during their review of the Fire One Plan on 1/11/2019.

Due to the hydrant spacing required by the fire code, 3 hydrants will be installed onsite. Attached you will find a copy of our Fire One Plan showing the locations of onsite hydrants.

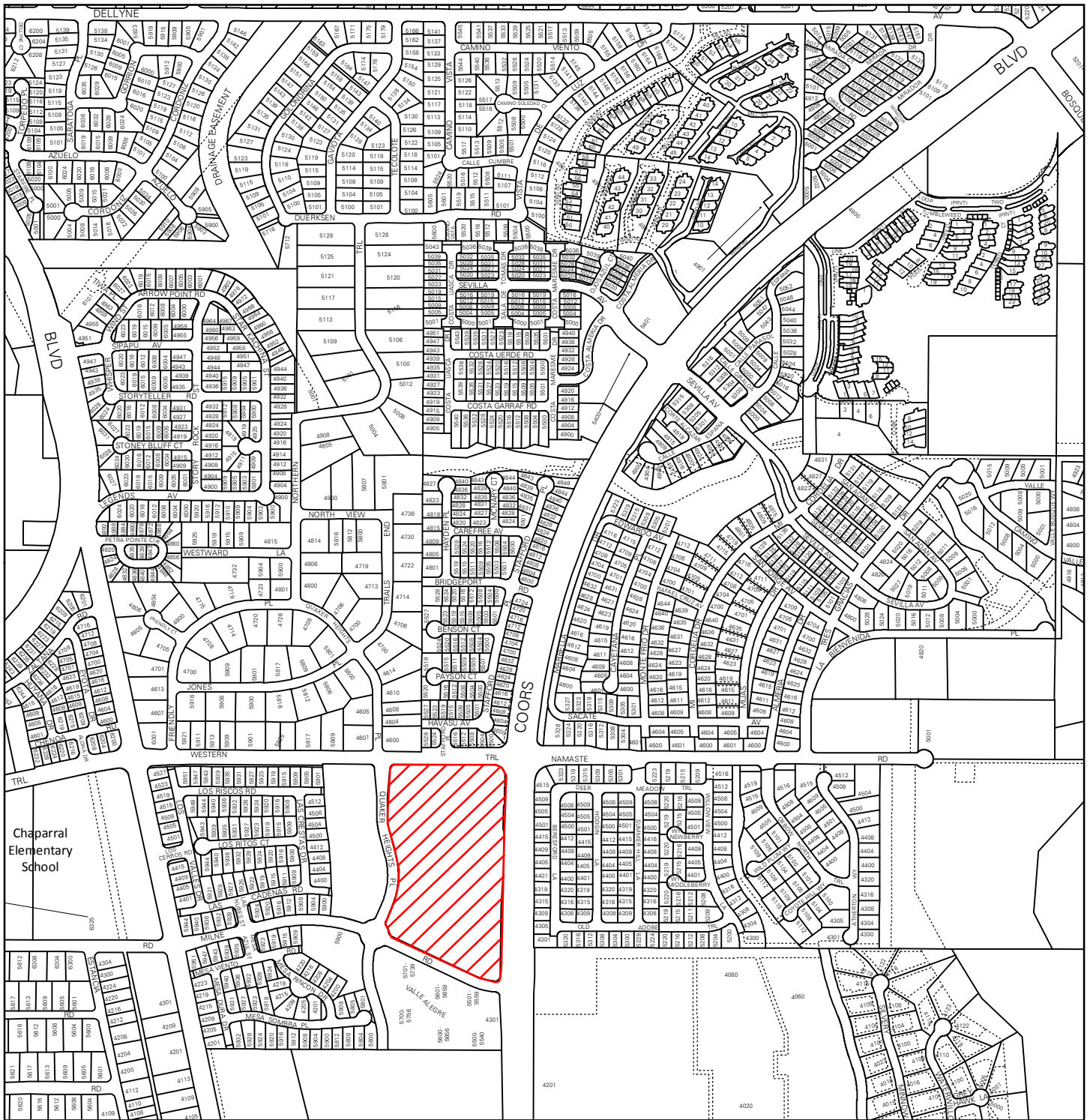
Based on your review of the above information, please provide a written statement of availability for the project. If I can answer any questions regarding this matter, please feel free to contact me at 823-1000.

Sincerely,

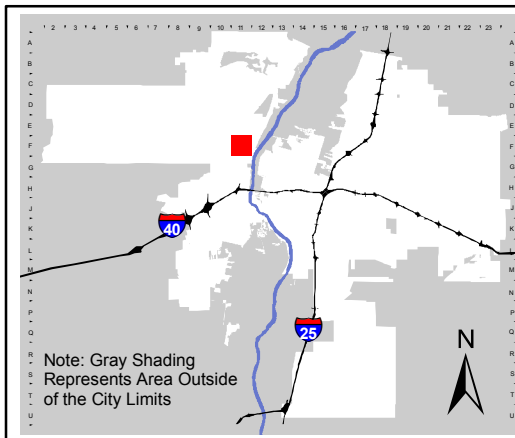


Matt Satches, PE  
Engineer  
Community Development & Planning

MHS/RV  
Enclosures



For more current information and details visit: [www.cabq.gov/gis](http://www.cabq.gov/gis)

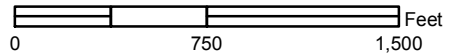
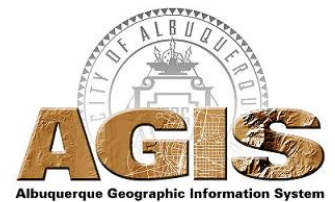


Address Map Page:

# F-11-Z

Map Amended through:  
3/17/2017

These addresses are for informational purposes only and are not intended for address verification.





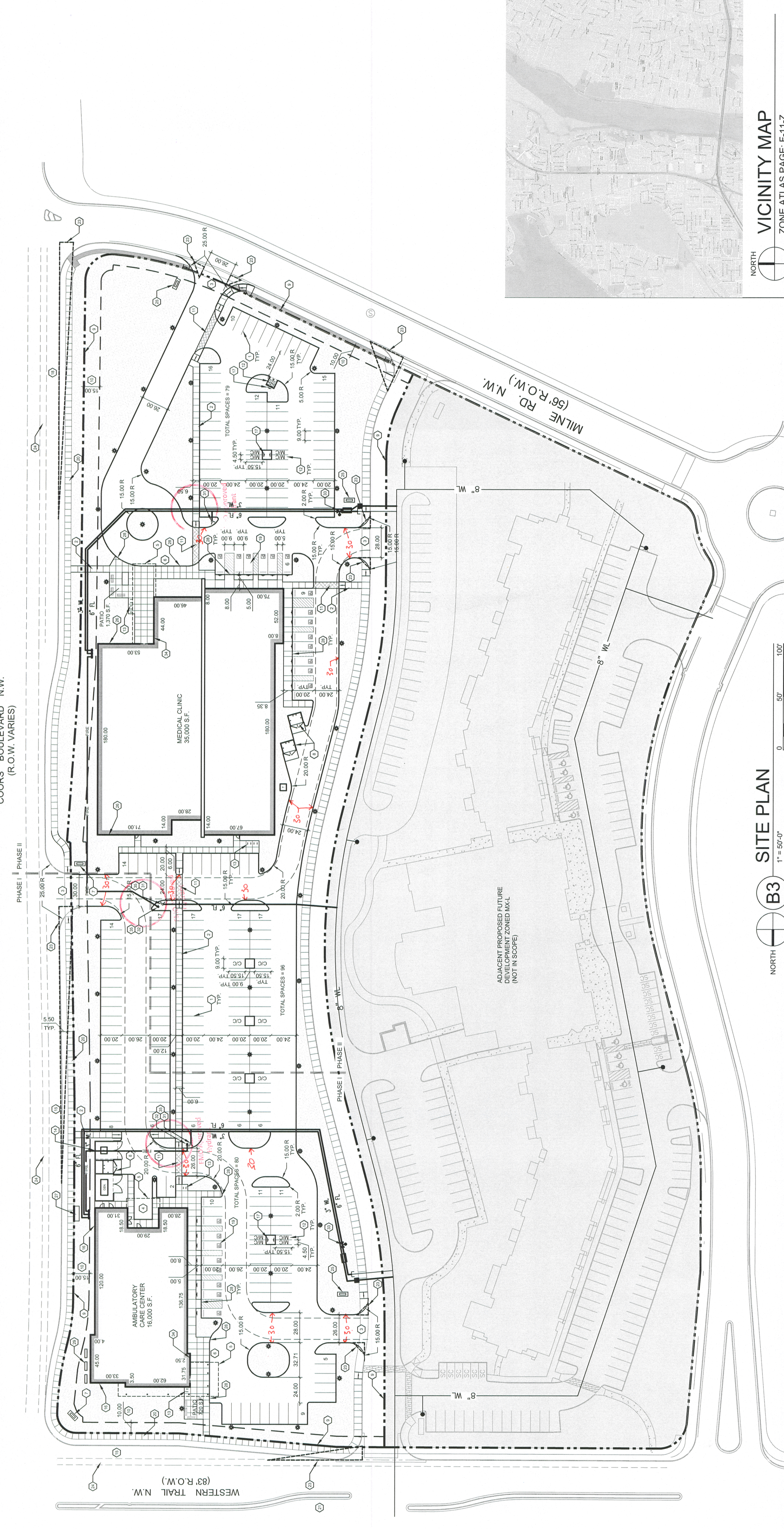
ARCHITECT

ENGINEER

PHS AMBULATORY CARE FACILITY  
COORS BLVD, NM  
ALBUQUERQUE, NM

REVISIONS


DRAWN BY: ARS  
REVIEWED BY: ARS  
DATE: 12/27/2018  
PROJECT NO.: 18-0103.001  
DRAWING NAME: FIRE 1 PLAN



**PROJECT DATA**

**BUILDING AREA**  
PHASE I: 16,000 SQ. FT.  
PHASE II: 35,000 SQ. FT.  
FULL BUILD OUT AREA: 51,000 SQ. FT.

CONSTRUCTION TYPE: IIB  
OCCUPANCY TYPE: B

AN AUTOMATIC SPRINKLER AND SMOKE DETECTION SYSTEM SHALL BE INSTALLED THROUGHOUT THE BUILDING. SPRINKLER CONTRACTOR TO SUBMIT SHOP DRAWINGS TO THE AUTHORITY HAVING JURISDICTION. FIRE ALARM SYSTEM TO BE PROVIDED.

FIRE FLOW: - IFC TABLE 1105.1(2)  
AMBULATORY CARE CENTER 2.750/2 = 1.375 GPM  
OUTPATIENT CLINIC 4.000/2 = 2.000 GPM

FIRE HYDRANTS:  
AMBULATORY CARE CENTER = 2  
OUTPATIENT CLINIC = 2

PROVIDED SPACING:  
2 (450' SPACING)

**SHEET KEYED NOTES**

- PARKING LOT STRIPING
- PEDESTRIAN PATHWAY
- NEW CURB CUT
- AMBULANCE LOADING AREA
- CANOPY OVERHEAD
- PATIENT DROP-OFF
- EXISTING DRIVEWAY
- DUMPSTER ENCLOSURE. SEE DETAIL D3SDP5-3
- PROPERTY LINE
- BUILDING SETBACK
- CROSSWALK TO BE CONSTRUCTED OF CONCRETE AND SHALL COMPLY WITH 100 SECTION 5-301(3)(C) MATERIALS TO ALERT MOTORISTS.
- BIKE RACK
- 8" HIGH CMU SCREEN WALL. SEE DETAIL A3SDP5-3
- NEW RIGHT TURN LANE
- BUILDING MOUNTED SIGN (TYPE B). SEE DETAIL C3SDP5-4
- EXISTING RIGHT TURN LANE
- EXISTING RIGHT TURN LANE
- HC PARKING. SEE DETAIL D4SDP5-3
- NEW 6' WIDE CONCRETE PUBLIC SIDEWALK
- NEW LEFT TURN LANE
- SIGNALIZED INTERSECTION
- EXISTING MONUMENT SIGN (TYPE D). WILL NOT INTERFERE WITH CLEAR SIGHT TRIANGLE. THEREFORE SIGNS, WALL TREES, AND SHRUBBERY BETWEEN 3 AND 9 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- BIKE LANE
- EXISTING MONUMENT SIGN (TYPE D). SEE DETAIL A3SDP5-4
- BUILDING MOUNTED SIGN (TYPE A). SEE DETAIL C3SDP5-4
- BUS STOP
- FLUSH CONCRETE SIDEWALK. SEE DETAIL D3SDP5-3
- 96"x24"x12" RAISED PLANTERS. SEE SDP2-1

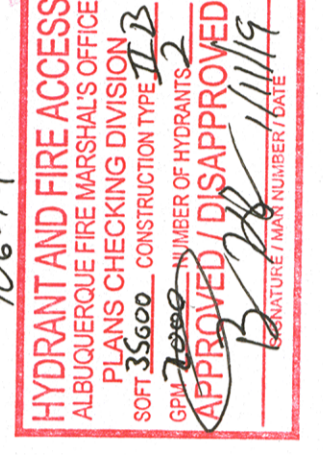
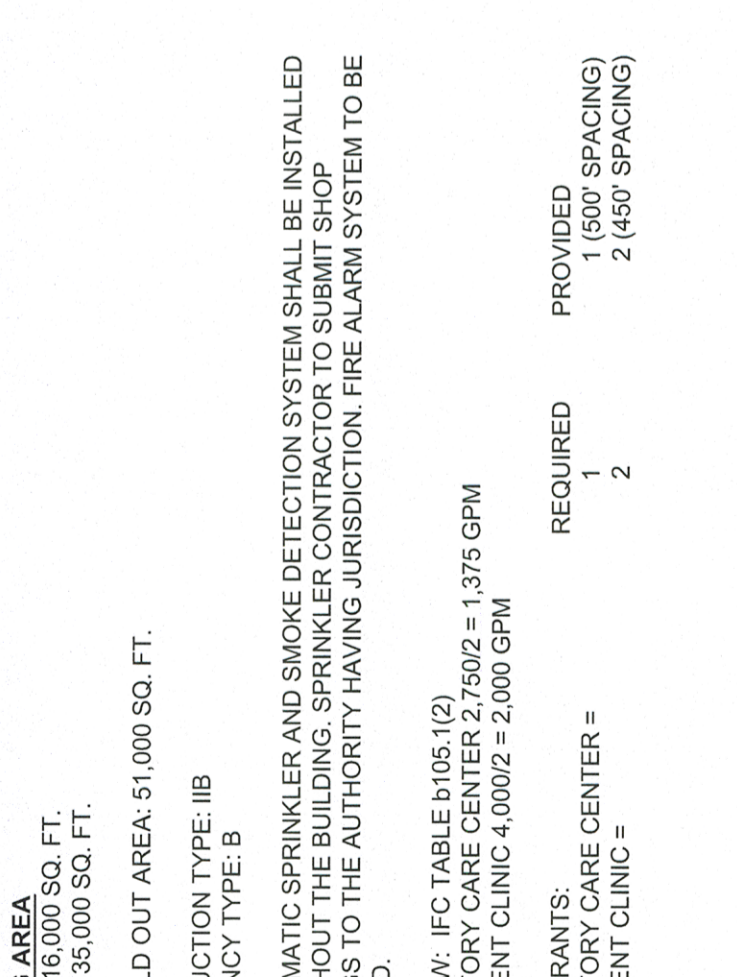
**GENERAL SHEET NOTES**

- THE PARKING LOT SURFACE SHALL BE ASPHALT PAVING AND CAPABLE OF SUPPORTING AN IMPOSED LOAD OF A FIRE APPARATUS WEIGHING 75,000 LBS.
- ALL SIDEWALKS AND RAMPS TO BE CONCRETE. UNLESS NOTED OTHERWISE.
- ALL DRIVEWAYS SHALL BE CONCRETE. UNLESS NOTED OTHERWISE.
- BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS OR BUILDING IDENTIFICATION PLACED IN A POSITION PLAINLY LEGIBLE AND VISIBLE FROM THE STREET.
- ALL DRIVING SURFACES SHALL NOT EXCEED 10 PERCENT IN GRADE.
- THE DEPARTMENT CONNECTIONS SHALL BE LOCATED WITHIN 100' OF A HYDRANT AND BE UNOBSTRUCTED FROM ANY OBJECT FOR A MINIMUM DISTANCE OF 3'.
- POST INDICATOR VALVES SHALL BE PROVIDED PER NFPA 13.
- A KNOX BOX SHALL BE PROVIDED AT THE ENTRANCE OF THE PROPOSED BUILDINGS.

**LEGEND**

---	PROPERTY LINE
---	BUILDING SETBACK
---	FIRE ACCESS LANE
---	6" WIDE CONCRETE CROSSWALK
---	EXISTING 6" WIDE CONCRETE SIDEWALK
---	LANDSCAPE AREA
---	POLE LIGHT (16' MAX HEIGHT). SEE DETAIL A6SDP5-3
---	SIDEWALK RAMP (ARROW POINTS DOWN)
---	FIRE HYDRANT
---	M/C
---	CC
---	MOTORCYCLE SPACE, 4' X 8' MINIMUM, UNLESS NOTED OTHERWISE
---	COMPACT CAR SPACE, 9' X 15.5' UNLESS NOTED OTHERWISE. ALL COMPACT CAR SPACES SHALL BE LABELED WITH THE WORD "COMPACT" ON THE PAVEMENT OF EACH SPACE

**VICINITY MAP**



## Anthony Santi

---

**From:** Matthew Satches <msatches@bhinc.com>  
**Sent:** Monday, January 14, 2019 4:02 PM  
**To:** Anthony Santi  
**Subject:** FW: Availability Statement Request Form

See below for confirmation.

Use the link below to download our submittal to the ABCWUA:

<https://sfspublic.bhinc.com/EmailAccess.aspx?tk=TKmsatchesD1412019155942>

Matt Satches, PE  
Community Development & Planning  
Direct Line: 505.923.3315

-----Original Message-----

From: donotreply donotreply <donotreply@abcwua.org>  
Sent: Monday, January 14, 2019 3:03 PM  
To: Matthew Satches <msatches@bhinc.com>  
Subject: Availability Statement Request Form

Thank you. Your Availability Statement Form submission has been sent.

Project Name:  
PHS Ambulatory Care Facility - Coors and Western Trails

Project Description:  
Ambulatory Care Facility with an area of approximately 16,000 SF and outpatient clinic with an area of approximately 35,000 SF.

Project Address:  
SW corner of Coors and Western Trails

Development Type:  
Commercial

Fire Flow Requirement (if Residential enter N/A):  
2,000

Legal Description:  
TRACT 3 PLAT OF TRACTS 1 THRU 4 COORS VILLAGE BEING A REPLATOF TRACT A-1-A  
UNIVERSITY OF ALBUQUERQUE URBAN CENTER

Zone Atlas Page:  
F-11

DRB Project Number (if applicable)

CDRA Project Number (if applicable)

Jurisdiction:

City

Requestor Name:

Matthew Satches

Requestor Company:

Bohannon Huston Inc

Requestor Address:

7500 Jefferson St NE Albuquerque NM 87109

Requestor Phone Number:

(505) 823-1000

Requestor Email:

msatches@bhinc.com

Prior Availability Statement Number:

Attachment:

Water Sewer Availability.pdf



Current DRC  
Project Number: \_\_\_\_\_

FIGURE 12

INFRASTRUCTURE LIST

(Rev. 2-16-18)  
EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

TRACT 3-A COORS VILLAGE - SITE PLAN FOR BUILDING PERMIT  
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

TRACT 3 PLAT OF TRACTS 1 THRU 4 COORS VILLAGE (BEING A REPLAT OF TRACT A-1-A, UNIVERSITY OF ALBUQUERQUE URBAN CENTER)  
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Date Submitted: \_\_\_\_\_  
Date Site Plan Approved: 10-31-2018  
Date Preliminary Plat Approved: \_\_\_\_\_  
Date Preliminary Plat Expires: \_\_\_\_\_  
DRB Project No.: PR-2018-001584  
DRB Application No.: \_\_\_\_\_

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification	
							Private Inspector	P. E. City Cnst Engineer
		12' Lane	NM 45 Lane addition, Paving, Striping, 6' sidewalk (west side), 6' landscaping	NM 45 (Coors Blvd)	Start at Crn. NM 45 / Western Trail	1,100 feet to Crn. NM 45 / Milne Rd	/	/
		6' Byc. Lane	NM 45 cycle lane addition, Paving, Striping	NM 45 (Coors Blvd)	Start at Crn. NM 45 / Western Trail	1,100 feet to Crn. NM 45 / Milne Rd	/	/
		12' Turn Lane	Deceleration lane, Paving, Striping, Curb, 300'-150' transition plus 370' turn lane	NM 45 (Coors Blvd)	Start at Crn. NM 45 / Western Trail	375' south at Private Driveway Entrance	/	/
		-	Signal Modification (retiming & SW corner pole relocation for RT)	NM 45 (Coors Blvd)	Crn. NM 45 / Western Trail	Crn. NM 45 / Western Trail	/	/
		12' Turn Lane	Re-stripe north bound left turn lane on NM 45 for dual left turn movement	NM 45 (Coors Blvd)	215' south of Crn. NM 45 / Western Trail	End at Crn. NM 45 / Western Trail	/	/
		12' Turn Lane	Construct east bound right turn lane with 150'-150' transition	Western Trail NW	Start 277' west of Crn. Western Trail / NM 45	End at Crn. Western Trail / NM 45	/	/
		6' Byc. Lane	6' cycle Lane in Western Trail, paving, striping, signage	Western Trail NW	North Property Line	600' west of Crn. Western Trail / NM 45	/	/
		6' SW, 6' LS Driveway	Construct 6' sidewalk and 6' landscaping Curb Cut, Driveway Entrance, Install HC ramps for SW driveway entrance curb return, Restricted left turn with pork chop island.	Western Trail NW	North Property Line	560' west of Crn. Western Trail / NM 45	/	/
				270' west of Crn. Western Trail / NM 45	Private Entrance on Western Trail	400' west of Crn. Western Trail / NM 45	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		30' Driveway	Curb Cut, Driveway Entrance, Install HC ramps for SW driveway entrance curb return	340' west of Milne Rd. / Coors intersection	Private Entrance on Milne Road (340' west of Milne Rd. / Coors intersection)	Private Entrance on Milne Road (310' west of Milne Rd. / Coors intersection)	/	/	/
		30' Driveway	Curb Cut, Driveway Entrance, Install HC ramps for SW driveway entrance curb return	125' north from Quaker Heights Pl / Milne Rd intersection	Private Entrance on Quaker Hts. (125' north of Quaker Heights Pl / Milne Rd)	Private Entrance on Quaker Hts. (95' north of Quaker Heights Pl / Milne Rd)	/	/	/
		30' Driveway	Curb Cut, Driveway Entrance, Install HC ramps for SW driveway entrance curb return	330' south of Quaker Heights Rd. / Western Trail	Private Entrance Quaker Hts. (330' south of Quaker Heights Rd. / Western Trail	Private Entrance Quaker Hts. (360' south of Quaker Heights Rd. / Western Trail	/	/	/
		-	Relocate existing bus shelter and signage	135' south of NM 45 / Western Trail intersection	at East Property Line	same location at East Property Line	/	/	/
		-	Modify curb for westbound left turn lane into Quaker Heights private driveway	300' west of NM 45 / Western Trail intersection	300' west of NM 45 / Western Trail intersection	220' west of NM 45 / Western Trail intersection	/	/	/
		12' Turn Lane	Deceleration lane, Paving, Striping, Curb, 300'-150' transition plus 370' turn lane	NM 45 (Coors Blvd)	120' south of Private Driveway Entrance on NM 45	475' south of Private Driveway at NM 45 / Milne Rd intersection	/	/	/
		1' 110'	8" Distribution Line Water Line	Along internal site road in 20' Easement	Driveway at Milne Rd	Driveway on Western Trail	/	/	/
		10" WL	Extension of 10" Distribution Line	Milne Road	Quaker Heights Rd	To internal roadway (345' length east)	/	/	/
		-	Extend median 22' west of the existing median terminus on Quaker Heights	Quaker Heights median at the Site Driveway intersection	Existing median terminus	22' extension to the west along Quaker Heights	/	/	/

Engineers Certification of the Grading Plan required for Release of Financial Guarantees and SIA

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E. Inspector	City Cust Engineer
							/	/	/
							/	/	/
							/	/	/

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

Street lights per City requirements.

- 1 \_\_\_\_\_
- 2 \_\_\_\_\_
- 3 \_\_\_\_\_

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

*Richard Fluensor*  
 NAME (print) \_\_\_\_\_  
 Tierra West LLC  
 FIRM  
 SIGNATURE - date 10/31/2018

*ky* 10-31-18  
 DRB CHAIR - date \_\_\_\_\_  
*Rosamund M. Wood* 10/31/18  
 TRANSPORTATION DEVELOPMENT - date \_\_\_\_\_  
*Thot - Lee* 10-31-18  
 UTILITY DEVELOPMENT - date \_\_\_\_\_  
*Renee Branta* 10-31-18  
 CITY ENGINEER - date \_\_\_\_\_

PARKS & RECREATION - date

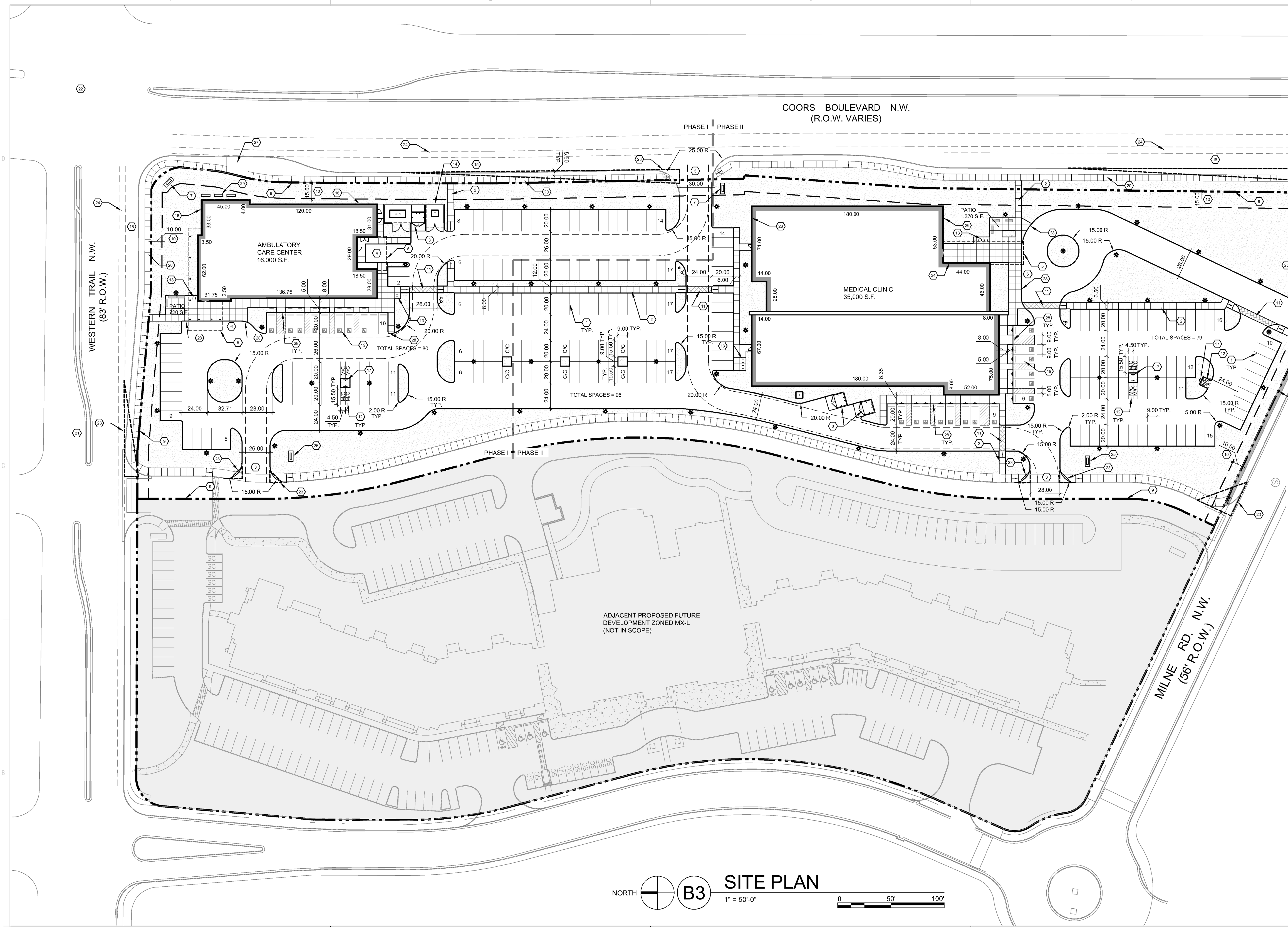
AMAFCA - date

CODE ENFORCEMENT - date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



PROJECT NO.	
APPLICATION NO.	
IS AN APPROVED INFRASTRUCTURE LIST REQUIRED? [ ] YES [ ] NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
<b>DRB SITE DEVELOPMENT PLAN APPROVAL:</b>	
TRAFFIC ENGINEERING TRANSPORTATION DIVISION	DATE:
WATER UTILITY DEPARTMENT	DATE:
PARKS & RECREATION DEPARTMENT	DATE:
CITY ENGINEER	DATE:
ENVIRONMENTAL HEALTH (CONDITIONAL)	DATE:
SOLID WASTE MANAGEMENT	DATE:
DRB CHAIRPERSON, PLANNING DEPT.	DATE:
CODE ENFORCEMENT	DATE:

**SITE PLAN**  
1" = 50'-0"  
0 50' 100'

**PROJECT DATA**

**BUILDING AREA**  
PHASE I: 16,000 SQ. FT.  
PHASE II: 35,000 SQ. FT.  
FULL BUILD OUT AREA: 51,000 SQ. FT.

CONSTRUCTION TYPE: IIB  
OCCUPANCY TYPE: B

AN AUTOMATIC SPRINKLER AND SMOKE DETECTION SYSTEM SHALL BE INSTALLED THROUGHOUT THE BUILDING. SPRINKLER CONTRACTOR TO SUBMIT SHOP DRAWINGS TO THE AUTHORITY HAVING JURISDICTION. FIRE ALARM SYSTEM TO BE PROVIDED.

FIRE FLOW: IFC TABLE 6105.1(2)  
AMBULATORY CARE CENTER 2,750/2 = 1,375 GPM  
OUTPATIENT CLINIC 4,000/2 = 2,000 GPM

FIRE HYDRANTS:	REQUIRED	PROVIDED
AMBULATORY CARE CENTER =	1	1 (50' SPACING)
OUTPATIENT CLINIC =	2	2 (45' SPACING)

**PARKING CALCULATIONS**

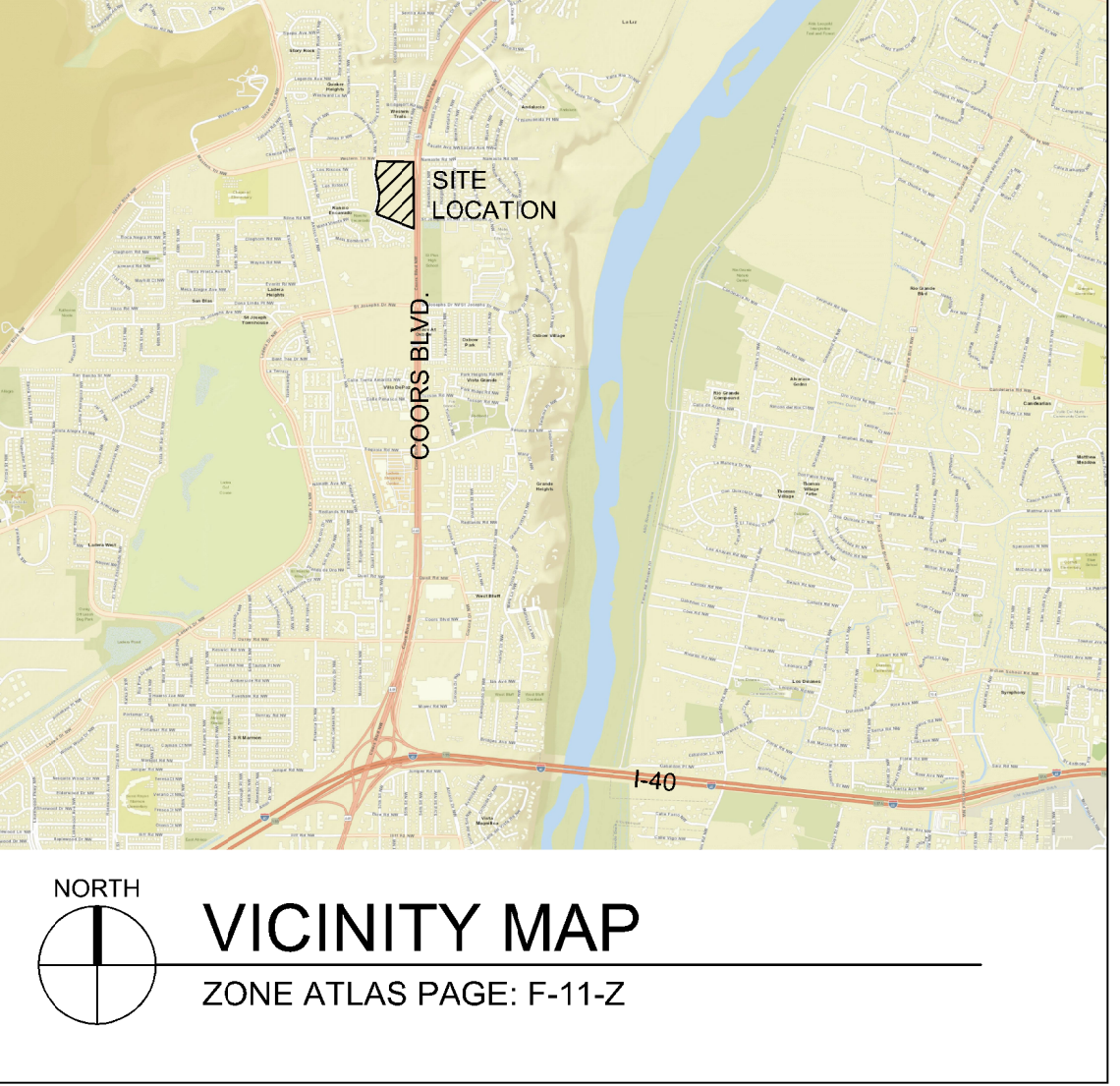
AMBULATORY CARE CENTER	REQUIRED	PROVIDED
PHASE I - 16,000 S.F.	80 SPACES	80 SPACES
5 SPACES PER 1,000 S.F. =		
<b>ACCESSIBLE PARKING</b>	REQUIRED	PROVIDED
51-100 SPACES	4	8
6 ACCESSIBLE, 2 VAN ACCESSIBLE		
<b>MOTORCYCLE SPACES</b>	REQUIRED	PROVIDED
51-100 SPACES	3	4
<b>BICYCLE PARKING</b>	REQUIRED	PROVIDED
10% OF REQUIRED OFF-STREET PARKING	8	8
<b>MEDICAL CLINIC</b>	REQUIRED	PROVIDED
PHASE II - 35,000 S.F.	175 SPACES	175 SPACES
5 SPACES PER 1,000 S.F. =		
INCLUDING 6 COMPACT CAR SPACES = 3%		
<b>ACCESSIBLE PARKING</b>	REQUIRED	PROVIDED
101-300 SPACES	8	14
10 ACCESSIBLE, 4 VAN ACCESSIBLE		
<b>MOTORCYCLE SPACES</b>	REQUIRED	PROVIDED
51-100 SPACES	5	6
<b>BICYCLE PARKING</b>	REQUIRED	PROVIDED
10% OF REQUIRED OFF-STREET PARKING	18	18

**SHEET KEYED NOTES**

- PARKING LOT STRIPING
- PEDESTRIAN PATHWAY
- NEW CURB CUT
- AMBULANCE/LOADING AREA
- CANOPY OVERHEAD
- PATIENT DROP-OFF
- FREESTANDING MONUMENT SIGN (TYPE C). SEE DETAIL A3/SDP5-4
- DUMPSTER ENCLOSURE. SEE DETAIL D5/SDP5-3
- PROPERTY LINE
- BUILDING SETBACK
- CROSSWALK TO BE CONSTRUCTED OF CONCRETE AND SHALL COMPLY WITH IDO SECTION 5-3(D)(3)(c) MATERIALS TO ALERT MOTORISTS.
- MOTORCYCLE PARKINGS, 4'X8' MINIMUM UNLESS NOTED OTHERWISE.
- BIKE RACK. SEE DETAIL A4/SDP5-3
- 8' HIGH CMU SCREEN WALL. SEE DETAIL A3/SDP5-3
- NEW RIGHT TURN LANE.
- BUILDING MOUNTED SIGN (TYPE B). SEE DETAIL C3/SDP5-4
- FREESTANDING UPRIGHT SIGN INDICATING MOTORCYCLE PARKING ONLY.
- EXISTING RIGHT TURN LANE.
- HC PARKING. SEE DETAIL D4/SDP5-3
- NEW 6' WIDE CONCRETE PUBLIC SIDEWALK.
- NEW LEFT TURN LANE.
- SIGNALIZED INTERSECTION.
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALL, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- BIKE LANE.
- FREESTANDING MONUMENT SIGN (TYPE D). SEE DETAIL A5/SDP5-4
- BUILDING MOUNTED SIGN (TYPE A). SEE DETAIL D3/SDP5-4
- BUS STOP
- FLUSH CONCRETE SIDEWALK. SEE DETAIL D3/SDP5-3
- 96"X24"X12" RAISED PLANTERS. SEE SDP2-1

**GENERAL SHEET NOTES**

- ALL PARKING AREAS DRIVE AISLES AND AUTOMOTIVE CIRCULATION PATHS TO BE ASPHALT PAVING.
  - ALL SIDEWALKS AND RAMPS TO BE CONCRETE.
- LEGEND**
- PROPERTY LINE
  - BUILDING SETBACK
  - FIRE ACCESS LANE
  - 6' WIDE CONCRETE CROSSWALK
  - EXISTING 6' WIDE CONCRETE SIDEWALK
  - LANDSCAPE AREA
  - POLE LIGHT (16' MAX HEIGHT), SEE DETAIL A5/SDP5-3
  - SIDEWALK RAMP (ARROW POINTS DOWN)
  - FIRE HYDRANT
  - M/C MOTORCYCLE SPACE, 4' X 8' MINIMUM, UNLESS NOTED OTHERWISE
  - C/C COMPACT CAR SPACE, 9' X 15.5' UNLESS NOTED OTHERWISE. ALL COMPACT CAR SPACES SHALL BE LABELED WITH THE WORD "COMPACT" ON THE PAVEMENT OF EACH SPACE

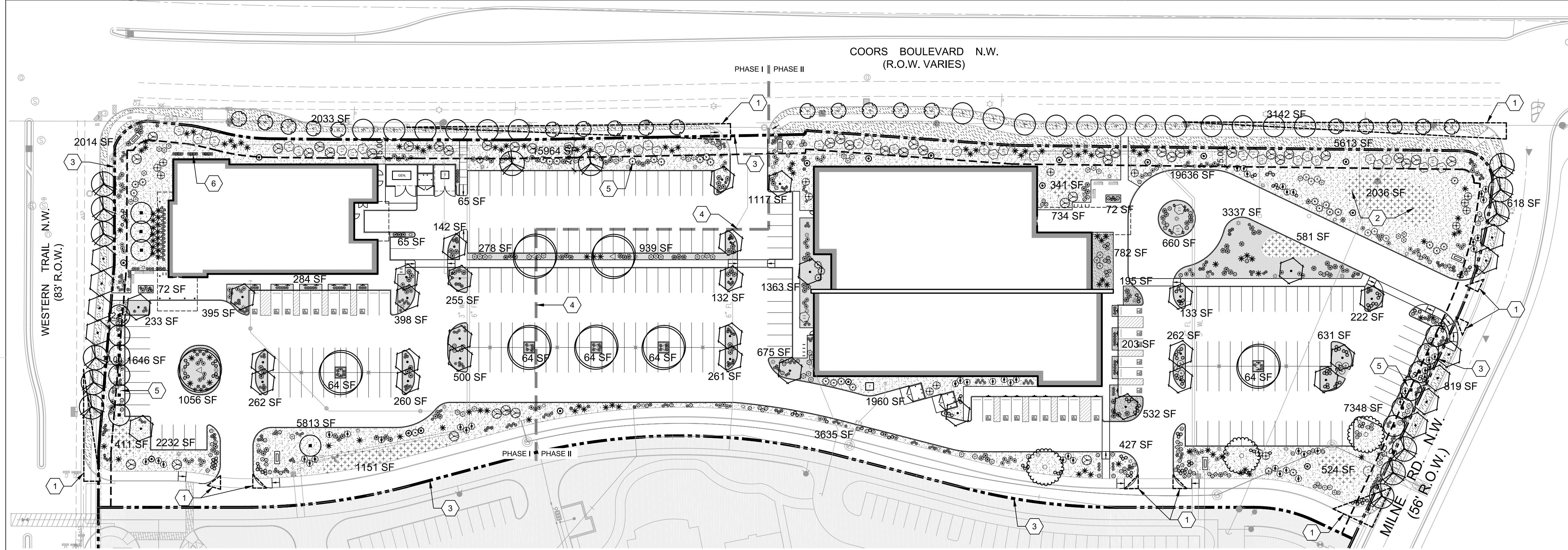


**REVISIONS**

△	
△	
△	
△	

DRAWN BY: ARS  
REVIEWED BY:  
DATE: 1/15/2019  
PROJECT NO.: 18-0103.001  
DRAWING NAME:

**SITE PLAN**



**LANDSCAPE PLAN**  
1" = 50'-0"  
0 50' 100'

**PLANT SCHEDULE**

TREES	BOTANICAL NAME	COMMON NAME	SIZE	MAT. HT.	MAT. DIA.	WATER USE	EST QTY	SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	MAT. HT.	MAT. DIA.	WATER USE	EST QTY	
+	ACER TATARICUM	TATARIAN MAPLE	2" CAL	20.00	20.00	MED	18	⊕	ERICAMERIA NAUSEOSA	CHAMISA	1 GAL	5'	5'	LOW	48	
△	CERCIS RENIFORMIS	OKLAHOMA REDBUD	2" CAL	15.00	12.00	MED	20	⊕	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	3'	4'	LOW	130	
□	CHILOPSIS LINEARIS	DESERT WILLOW	24" BOX	20'	20'	MED	16	⊕	JUNIPERUS CHINENSIS 'SAN JOSE'	SAN JOSE JUNIPER	5 GAL	1'-6"	8"	LOW	45	
⬠	FRAXINUS OXYCARPA 'RAYWOOD' TM	RAYWOOD ASH	2" CAL	35'	25'	MED	40	⊕	LAVANDULA X INTERMEDIA 'GROSSO'	GROSSO LAVENDER	1 GAL	3'	3'	MED	143	
○	PISTACIA CHINENSIS	CHINESE PISTACHE	2" CAL	50'	30'	MED	3	⊕	NOLINA MICROCARPA	BEARGRASS	5 GAL	4'	5'	LOW	112	
⊙	ULMUS X 'ACCOLADE'	ACCOLADE ELM	2" CAL	50'	50'	MED	8	⊕	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	1 GAL	3'	8"	LOW	42	
⊙	ULMUS X 'FRONTIER'	FRONTIER ELM	2" CAL	35'	25'	MED	14	⊕	RHUS TRILOBATA	THREE-LEAF SUMAC	1 GAL	6'	6'	LOW	15	
⊕	SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	MAT. HT.	MAT. DIA.	WATER USE	EST QTY	⊕	SALVIA GREGGII 'FURMANS RED'	FURMAN'S RED SALVIA	1 GAL	2'	2'-6"	LOW	80
⊕	BACCHARIS X STARN 'THOMPSON'	THOMPSON BROOM	5 GAL	4'	4'	MED	76	⊕	GRASSES	BOTANICAL NAME	COMMON NAME	SIZE	MAT. HT.	MAT. DIA.	WATER USE	EST QTY
⊕	CHAMAEBATIARIA MILLEFOLIUM	FERNBUSH	5 GAL	5'	5'	LOW	15	⊕	BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLUE GRAMA	1 GAL	2'-6"	2'-6"	LOW	154	
⊕	DASYLIRON WHEELERI	GREY DESERT SPOON	5 GAL	5'	5'	LOW	17	⊕	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	1 GAL	4'	2'	MED	205	
⊕	ELAEAGNUS PUNGENS	SILVERBERRY	5 GAL	6'	6'	MED	33	⊕	HELICTOTRICHON SEMPERVIRENS 'SAPPHIRE'	BLUE OAT GRASS	1 GAL	3'	2'	MED	97	
⊕	ERICAMERIA LARICIFOLIA	TURPENTINE BUSH	5 GAL	3'	3'	LOW	118	⊕	MUHLENBERGIA RIGIDA 'NASHVILLE' TM	PURPLE MUHLY	1 GAL	2'	2'	MED	47	

**PARKING BUFFER CALCULATIONS**

**PARKING BUFFER ALONG WESTERN:**  
 PARKING LOT FRONTAGE LENGTH = 82'  
 2 TREES / 6 SHRUBS REQUIRED FOR EVERY 25' PER COA IDO REQUIREMENTS.  
 REQUIRED = 8 TREES / 24 SHRUBS  
 PROVIDED = 6 TREES / 30 SHRUBS

**PARKING BUFFER ALONG COORS:**  
 PARKING LOT FRONTAGE LENGTH = 199'  
 REQUIRED = 10' WIDE CONTINUOUS LINE OF EVERGREEN SHRUBS  
 PROVIDED = 25' WIDE CONTINUOUS LINE OF EVERGREEN SHRUBS

**PARKING BUFFER ALONG MILNE:**  
 PARKING LOT FRONTAGE LENGTH = 91'  
 2 TREES / 6 SHRUBS REQUIRED FOR EVERY 25' PER COA IDO REQUIREMENTS.  
 REQUIRED = 8 TREES / 24 SHRUBS  
 PROVIDED = 6 TREES / 30 SHRUBS

**GENERAL SHEET NOTES**

- RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S GENERAL LANDSCAPING REGULATIONS AND WATER CONSERVATION ORDINANCES.
- TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- SURFACE TREATMENT: ALL LANDSCAPE AREAS SHALL BE COVERED WITH SEEDING, VEGETATION OR MULCH.
- LANDSCAPE, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS: 2" CALIPER TREES, 6" HEIGHT CONIFERS, AND 1 GALLON SHRUBS.
- ALL AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.
- ROOF DRAINS: SURFACE DRAINAGE OFF DOWNSPOUTS SHALL BE DIRECTED AWAY FROM BUILDINGS INTO LANDSCAPE AREAS OR ENGINEERED DRAINAGE SYSTEM. REFER TO CIVIL.
- ALL VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5' OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
- CONTRACTOR IS TO VERIFY ALL EXISTING UTILITY LOCATIONS BEFORE EXCAVATION AND PLANTING.
- PHASING: THE PROPERTY WILL BE DEVELOPED IN TWO PHASES.
- THERE IS NO EXISTING VEGETATION THAT WILL BE PRESERVED ON THE SITE.

**IRRIGATION NOTES**

- ALL PLANTINGS SHALL BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM, WITH PROGRAMMABLE SETTINGS, AUTOMATED IRRIGATION CONTROLLER, AND MOISTURE SENSOR TO AVOID OVERWATERING.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MINIMIZE THE USE OF WATER.
- THE IRRIGATION SYSTEM SHALL NOT IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, STREETS AND PARKING OR LOADING AREAS.
- IRRIGATION POINT OF CONNECTION TO THE CITY WATER WILL BE LOCATED WITHIN PROPERTY LIMITS AND SHALL COMPLY WITH THE CITY OF ALBUQUERQUE REDUCED PRESSURE BACKFLOW PREVENTER STANDARDS AND SPECIFICATIONS.
- RUN TIMES AND IRRIGATION ZONES SHALL BE BASED UPON PLANT SPECIES AND THEIR ESTABLISHMENT. RUN TIMES SHALL BE REGULARLY ADJUSTED ACCORDING TO PLANT MATURITY, SEASON, LOCATION AND PERFORMANCE.

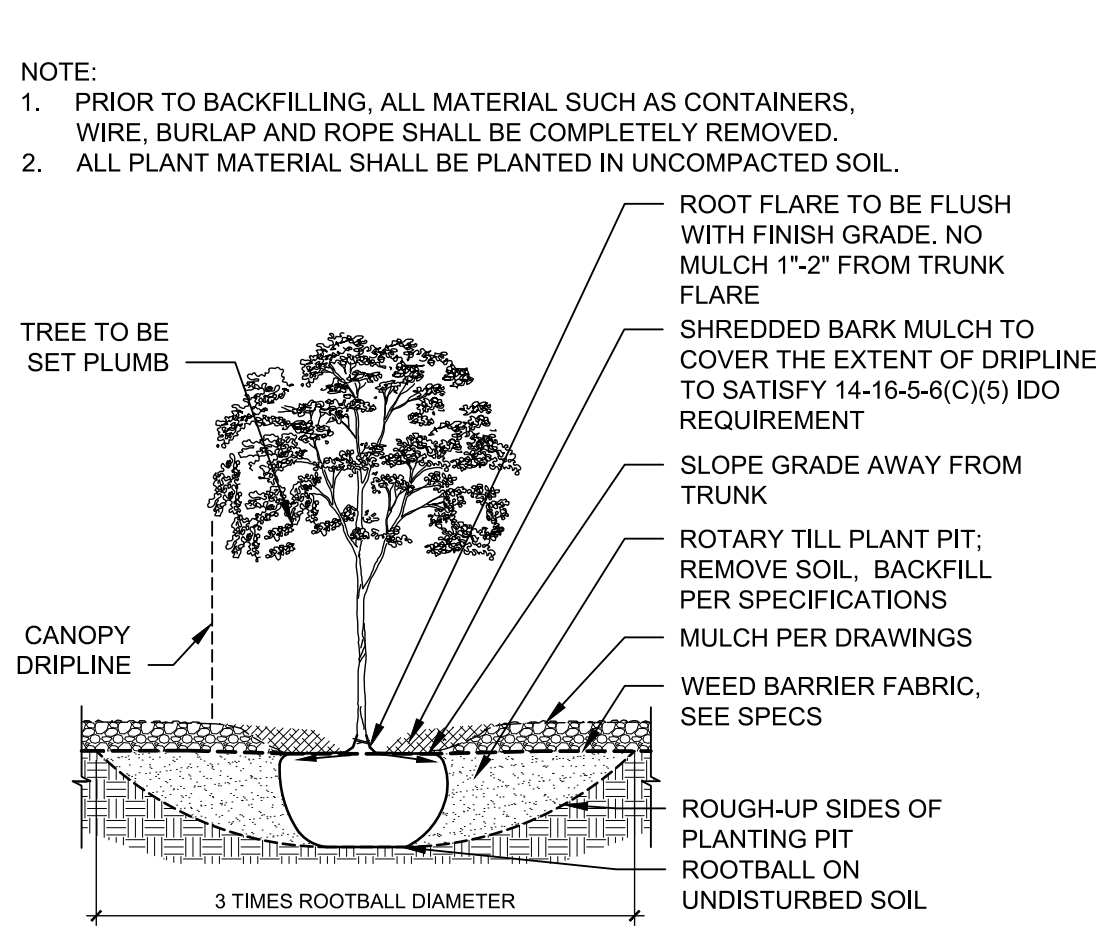
**SHEET KEYED NOTES**

- CLEAR SIGHT TRIANGLE.
- PONDING AREA. SEE CIVIL.
- PROPERTY LINE.
- PHASE LINE.
- PARKING LOT BUFFER PER COA IDO. SEE PARKING BUFFER CALCULATIONS.
- 96"x24"x12" RAISED PLANTERS WITH SURFACE PLANTED TO ACHIEVE A MINIMUM OF 75% VEGETATIVE COVERAGE AT MATURITY.

**PERVIOUS AREA LEGEND**

SYMBOL	NOTES	EST QTY
[Pattern]	7/8"Ø GRAVEL MULCH 3" DEPTH OVER FILTER FABRIC MOUNTAINAIR BROWN	60,511 SF
[Pattern]	7/8"Ø GRAVEL MULCH 3" DEPTH OVER FILTER FABRIC MOUNTAINAIR BROWN IN RIGHT-OF-WAY, NOT INCLUDED IN LANDSCAPE AREA CALCULATIONS	14,254 SF
[Pattern]	SHREDDED SCREENED WOOD MULCH 3" DEPTH	14,980 SF
[Pattern]	IRRIGATED NATIVE SEED MIX	5,045 SF

**TREE PLANTING DETAIL**



**LANDSCAPE CALCULATIONS**

GROSS LOT AREA = 6.8388 AC = 297,898 SF  
 AREA OF LOT COVERED BY BUILDINGS = 51,000 SF  
 NET LOT AREA = 246,898 SF

**REQUIRED LANDSCAPE**  
 REQUIRED LANDSCAPE AREA = 37,035 SF (15% OF NET LOT AREA)  
 PROVIDED LANDSCAPE AREA = 80,872 SF (33% OF NET LOT AREA)  
 (see hatch legend for exclusions from landscape areas)

**REQUIRED TREES**  
 TREES PER PARKING SPACES: REQUIRED = 1 TREE / 6 PARKING SPACES  
 TOTAL NUMBER OF PARKING = 255 SPACES  
 REQUIRED NUMBER OF PARKING LOT TREES = 43 TREES  
 PROVIDED NUMBER OF PARKING LOT TREES = 43 TREES  
 REQUIRED STREET TREES = 1 TREE PER 30' LINEAR FEET OF STREET FRONTAGE  
 STREET TREES =  
 WESTERN TRAIL FRONTAGE = 302'  
 REQUIRED / PROVIDED STREET TREES = 10 / 10  
 COORS BLVD FRONTAGE = 1,131'  
 REQUIRED / PROVIDED STREET TREES = 38 / 38  
 MILNE RD FRONTAGE = 345'  
 REQUIRED / PROVIDED STREET TREES = 12 / 12

**REQUIRED VEGETATIVE COVERAGE**  
 TOTAL VEGETATIVE COVER REQUIRED = 60,656 SF (75% OF LANDSCAPE AREA)  
 TOTAL VEGETATIVE COVER PROVIDED = 60,721 SF (75% OF LANDSCAPE AREA)

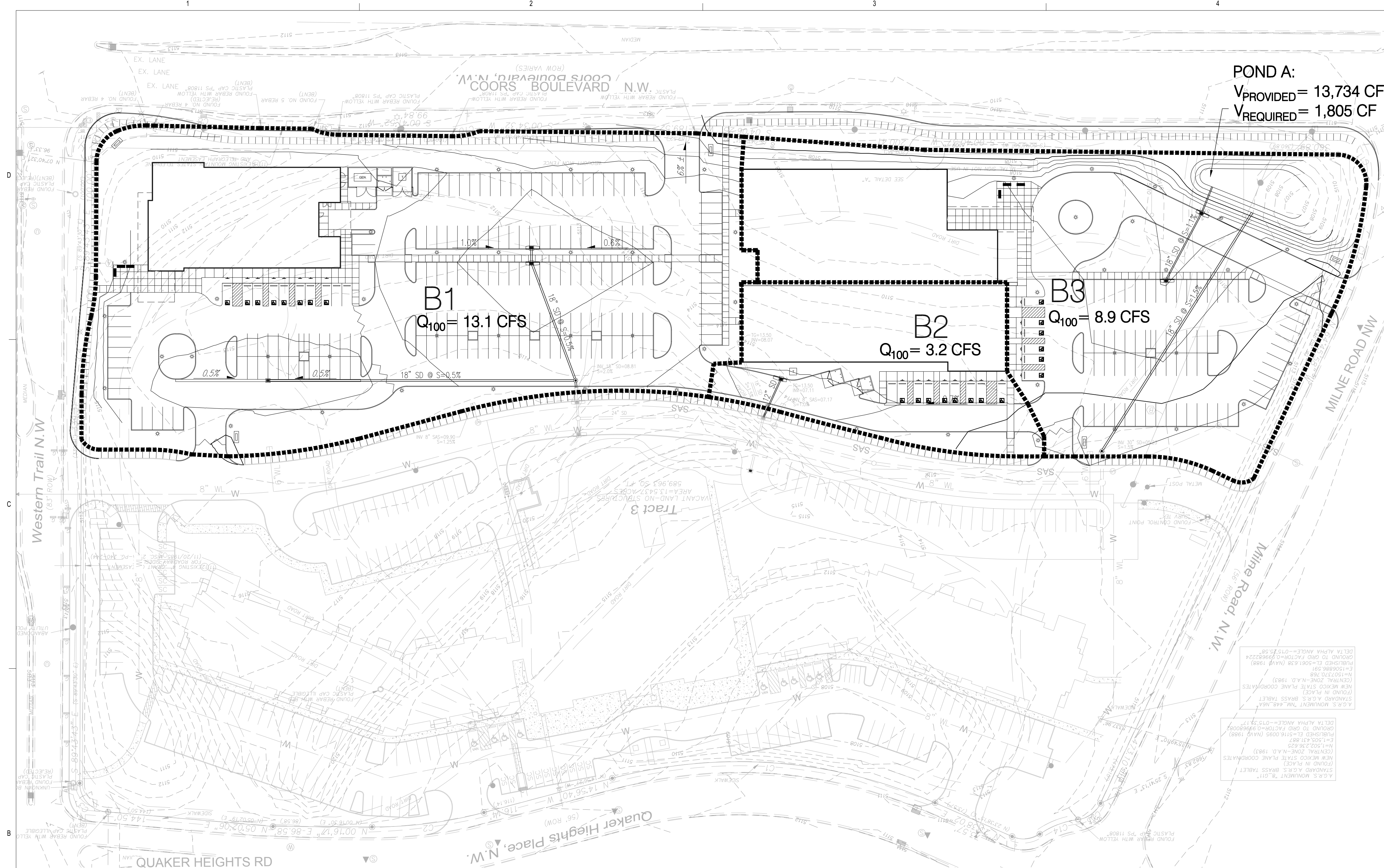
**TOTAL GROUND-LEVEL PLANT COVER REQUIRED = 20,219 SF (25% OF LANDSCAPE AREA)**  
**TOTAL GROUND-LEVEL PLANT COVER PROVIDED = 20,509 SF (25% OF LANDSCAPE AREA)**

**ROCK MULCH COVERAGE**  
 TOTAL ROCK MULCH COVER ALLOWED = 60,656 SF (75% OF LANDSCAPE AREA)  
 TOTAL ROCK MULCH COVER PROVIDED = 60,654 SF (75% OF LANDSCAPE AREA)

- REVISIONS
- △
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DRAWN BY TC  
 REVIEWED BY MB  
 DATE 1/15/2019  
 PROJECT NO. 18-0103.001  
 DRAWING NAME

**LANDSCAPE PLAN**

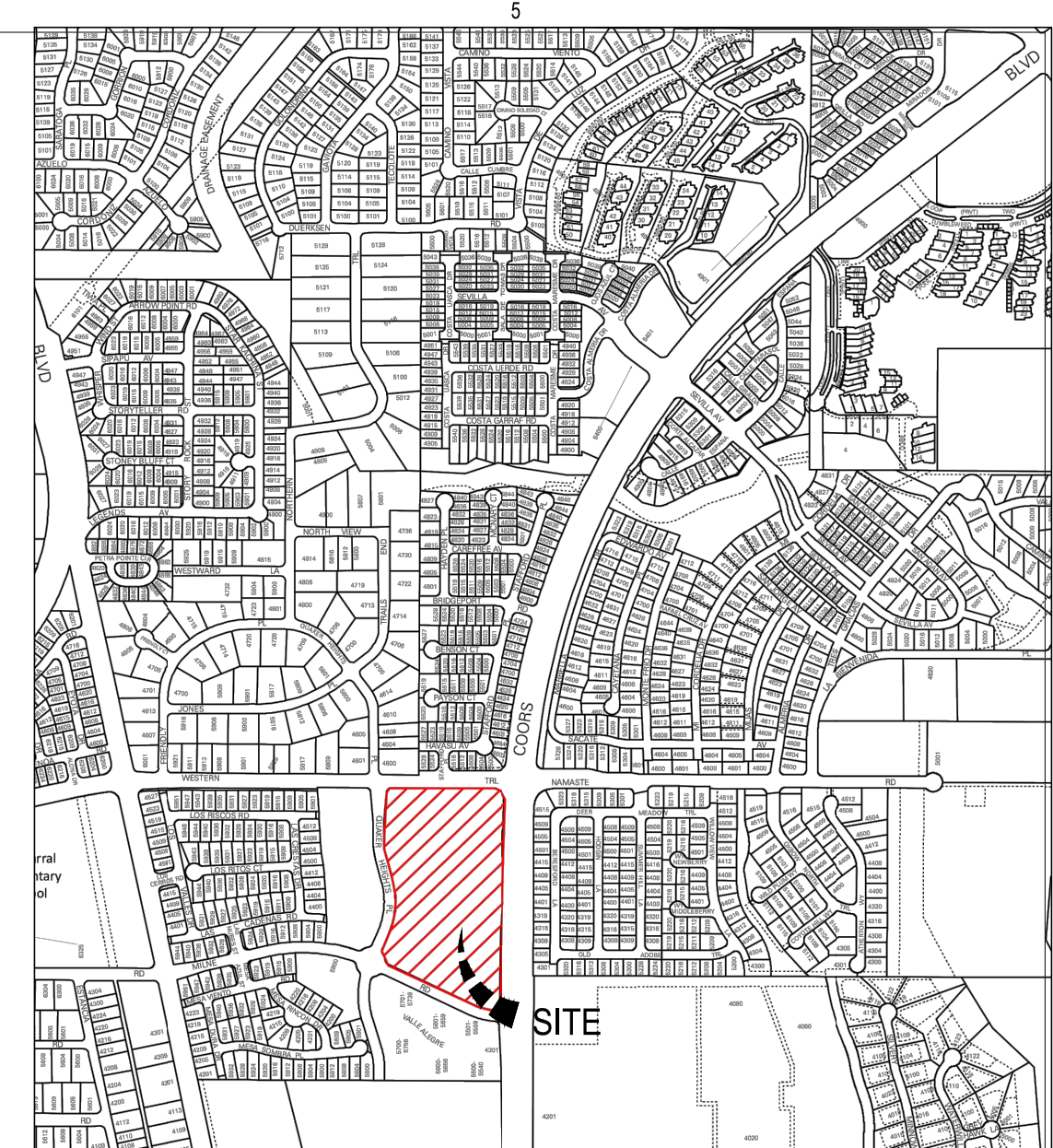


POND A:  
 $V_{PROVIDED} = 13,734 \text{ CF}$   
 $V_{REQUIRED} = 1,805 \text{ CF}$

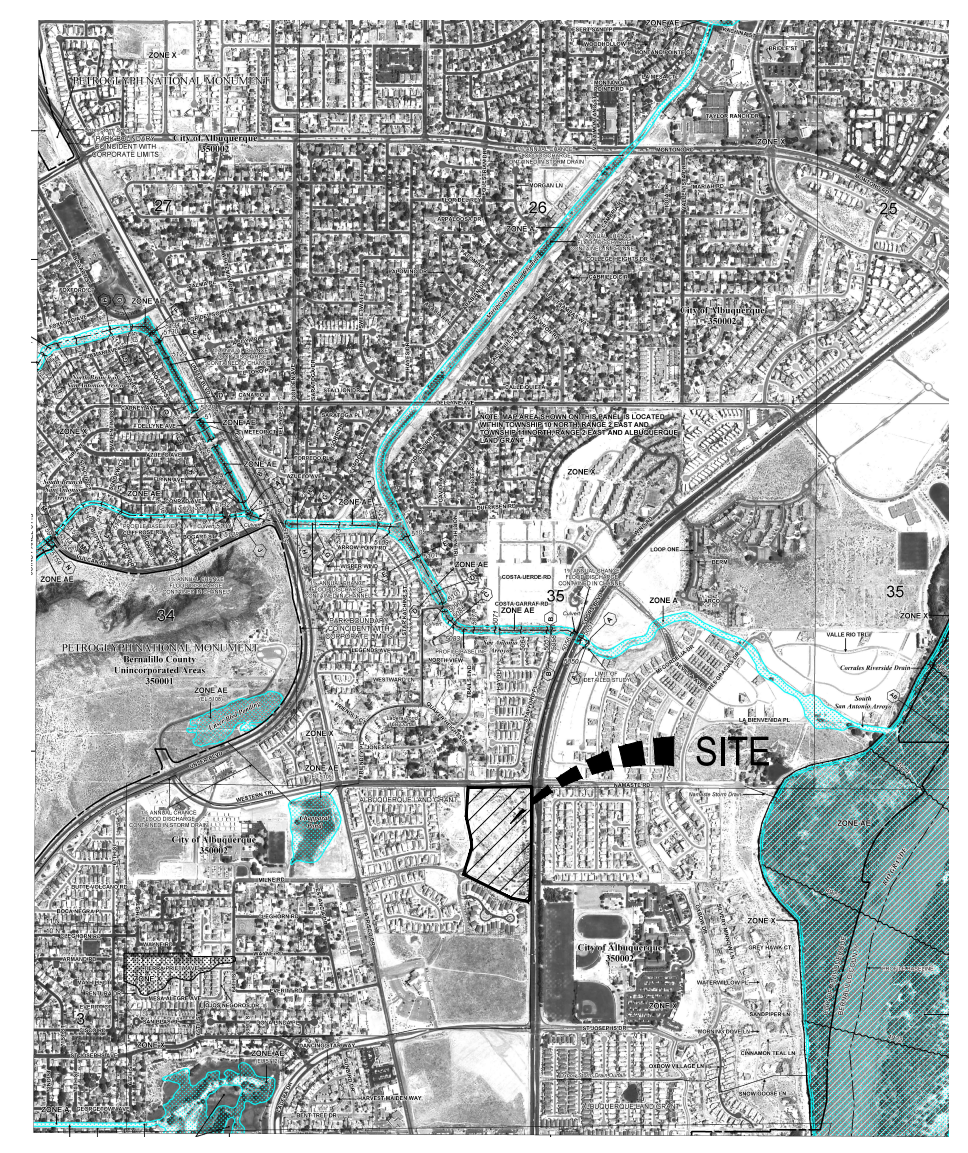
B1  
 $Q_{100} = 13.1 \text{ CFS}$

B2  
 $Q_{100} = 3.2 \text{ CFS}$

B3  
 $Q_{100} = 8.9 \text{ CFS}$



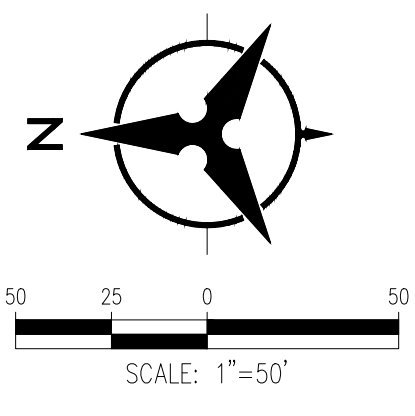
VICINITY MAP  
 NOT TO SCALE



FEMA FIRM MAP # 35001C114H

**LEGEND**

- PROPOSED DRAINAGE BASIN
- PROPERTY LINE
- 5.301' EXISTING CONTOURS
- 65.23' PROPOSED SPOT ELEVATION
- TC=TOP OF CURB, FL=FLOW LINE
- TS=TOP OF SIDEWALK, TA=TOP OF ASPHALT
- EX=EXISTING, FE=FINISHED GRADE
- TG=TOP OF GRATE, INV=INVERT
- S=2.0% PROPOSED DIRECTION OF FLOW
- ~~~~~ WATER BLOCK / RIDGE OR HIGH POINT
- 5.305' PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- SD PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET



**INTRODUCTION:**

THE PROJECT IS LOCATED ON THE SOUTHWEST CORNER OF COORS BLVD NW AND WESTERN TRAIL NW (TRACT 3B COORS VILLAGE). THE PURPOSE OF THIS SUBMITTAL IS TO PROVIDE A DRAINAGE MANAGEMENT PLAN FOR THE PRESBYTERIAN HEALTHCARE SERVICES CLINIC AND EMERGENCY DEPARTMENT FACILITIES. WITH THIS SUBMITTAL WE ARE REQUESTING APPROVAL FOR SITE PLAN FOR BUILDING PERMIT.

**EXISTING CONDITIONS:**

TRACT 3B IS A 6.84 ACRE SITE THAT IS CURRENTLY UNDEVELOPED. THE SLOPES TO THE EAST TO RETENTION PONDS AT THE NORTHEAST AND SOUTHEAST CORNERS OF THE SITE. A DRAINAGE MASTER PLAN FOR COORS VILLAGE SUBDIVISION DATED FEBRUARY 29, 2000 IS THE BASIS OF THIS DRAINAGE ANALYSIS AND NARRATIVE. THIS MASTER DRAINAGE REPORT SPECIFIES THAT RUNOFF FROM THIS SITE, NOTED AS BASIN 100, WILL BE ROUTED IN A STORM DRAIN TO LADERA POND 16B. THE PEAK DISCHARGE FROM THIS SITE IS BASED ON LAND TREATMENTS OF 10% B, 5% C AND 85% D. THIS EQUATED TO A PEAK RUNOFF FLOW RATE OF 4.12 CFS/ACRE OR 26.4 CFS. THIS SITE IS NOT WITHIN A DEFINED FLOOD ZONE AS SHOWN ON FIRM MAP NUMBER 35001C114H (THIS SHEET).

**SITE HISTORY:**

TRACT 3A, LOCATED WEST OF THE SITE, IS BEING DEVELOPED ALONG A SIMILAR TIMELINE AS TRACT 3B. TIERRA WEST PREPARED AN APPROVED GRADING & DRAINAGE PLAN AND DRAINAGE REPORT STAMP DATED 8/22/18 THAT INCLUDED ANALYSIS FOR TRACT 3B. THIS DRAINAGE REPORT WAS THE BASIS OF THE DESIGN OF THE PUBLIC INFRASTRUCTURE THAT TRACT 3B WILL DISCHARGE TO. THE TOTAL CALCULATED FLOW FOR TRACT 3B IN THE APPROVED DRAINAGE REPORT IS 26.4 CFS. THIS IS GREATER THAN THE CALCULATED FLOW OF 25.2 CFS IN THIS PLAN.

**METHODOLOGY:**

THE HYDROLOGIC ANALYSIS PROVIDED WITH THIS DRAINAGE MANAGEMENT PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 22.2 OF THE DPM. THE SITE IS LOCATED WEST OF THE RIO GRANDE WITHIN PRECIPITATION ZONE 1. LAND TREATMENT PERCENTAGES WERE CALCULATED BASED ON THE CURRENT SITE PLAN.

**PROPOSED CONDITIONS:**

THIS DRAINAGE MANAGEMENT PLAN WAS DEVELOPED BASED ON A FULLY DEVELOPED SITE. THE SITE WAS DIVIDED INTO 3 BASINS. LAND TREATMENT AND PEAK RUNOFF FLOW RATES ARE SHOWN ON THE PROPOSED DEVELOPED CONDITIONS BASIN DATA TABLE. SITE STORM DRAIN WILL CONNECT TO A PROPOSED PUBLIC STORM DRAIN IN THE NORTH-SOUTH ROAD ON THE WESTERN EDGE OF THE SITE. THREE STORM DRAIN STUB OUTS ARE PROPOSED, BASED ON THE CURRENT SITE PLAN THE PEAK DISCHARGE FOR THE ENTIRE SITE IS 3.98 CFS PER ACRE OR 25.2 CFS. POND A IS LOCATED IN THE SOUTHEAST CORNER OF THE SITE. THIS POND IS A FIRST FLUSH POND AND NOT INTENDED TO BE USED FOR DETENTION. BASIN B3 DISCHARGES TO POND A VIA STORM DRAIN AND VARIOUS INLETS. WHEN POND A IS FULL, THE RUNOFF PROCEEDS INTO ANOTHER STORM DRAIN THAT DISCHARGES TO THE INFRASTRUCTURE WEST OF THE SITE.

**CONCLUSION:**

THE CALCULATED PEAK DISCHARGE FROM THE SITE IS SLIGHTLY LESS THAN ALLOWABLE AS SPECIFIED IN THE MASTER DRAINAGE PLAN. ONSITE DETENTION PONDS WILL NOT BE REQUIRED. THE GRADING AND DRAINAGE PLAN AS PRESENTED IS IN CONFORMANCE WITH THE APPROVED MASTER DRAINAGE PLAN AND CITY OF ALBUQUERQUE HYDROLOGY REQUIREMENTS. WITH THIS SUBMITTAL WE ARE REQUESTING SITE PLAN FOR BUILDING PERMIT APPROVAL.

PHS FSED - COORS & WESTERN TRAILS														
Proposed Ultimate Development Conditions Basin Data Table														
This table is based on the DPM Section 22.2, Zone: 1														
Basin ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100yr) (cfs/ac.)	Q(100yr-6hr) (CFS)	WT E (inches)	V(100yr-6hr) (CF)	V(100yr-10day) CF	"FIRST FLUSH" CALCULATIONS		
			A	B	C	D						Impervious Area (SF)	Precipitation Depth (IN)	Required Volume (CF)
Proposed														
1	144338	3.31	0.0%	0.0%	27.0%	73.0%	3.97	13.1	1.71	20513	33420	105367	0.34	2985
2	33183	0.76	0.0%	0.0%	15.0%	85.0%	4.15	3.2	1.82	5041	8496	28206	0.34	799
3	101112	2.32	0.0%	0.0%	37.0%	63.0%	3.82	8.9	1.61	13544	21347	63701	0.34	1805
<b>TOTAL</b>	<b>278633</b>	<b>6.40</b>						<b>25.2</b>			<b>63264</b>			<b>2985</b>

**DEKKER PERICH SABATINI**

7601 JEFFERSON NE, SUITE 100  
 ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT

ENGINEER



NOT FOR CONSTRUCTION PROJECT

PHS AMBULATORY CARE FACILITY  
 COORS BLVD. NW  
 ALBUQUERQUE, NM

REVISIONS

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DRAWN BY	BO
REVIEWED BY	GSB
DATE	9/27/2018
PROJECT NO.	18-0103.001
DRAWING NAME	

PROPOSED DRAINAGE MANAGEMENT PLAN

SHEET NO.

**C-001**  
 OF

KEYED NOTES

1. STORM DRAIN INLET.
2. STORM DRAIN PIPE.
3. STORM DRAIN MANHOLE.
4. CONCRETE VALLEY GUTTER.

LEGEND

- PROPERTY LINE
- EXISTING CONTOURS
- 65.23 PROPOSED SPOT ELEVATION
- TC=TOP OF CURB, FL=FLOW LINE
- TS=TOP OF SIDEWALK, TA=TOP OF ASPHALT
- EX=EXISTING, FG=FINISHED GRADE
- TG=TOP OF GRATE, INV=INVERT
- PROPOSED DIRECTION OF FLOW
- WATER BLOCK / RIDGE OR HIGH POINT
- PROPOSED INDEX CONTOURS
- PROPOSED INTER CONTOURS
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET



REVISIONS

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DRAWN BY BO

REVIEWED BY GSB

DATE 9/27/2018

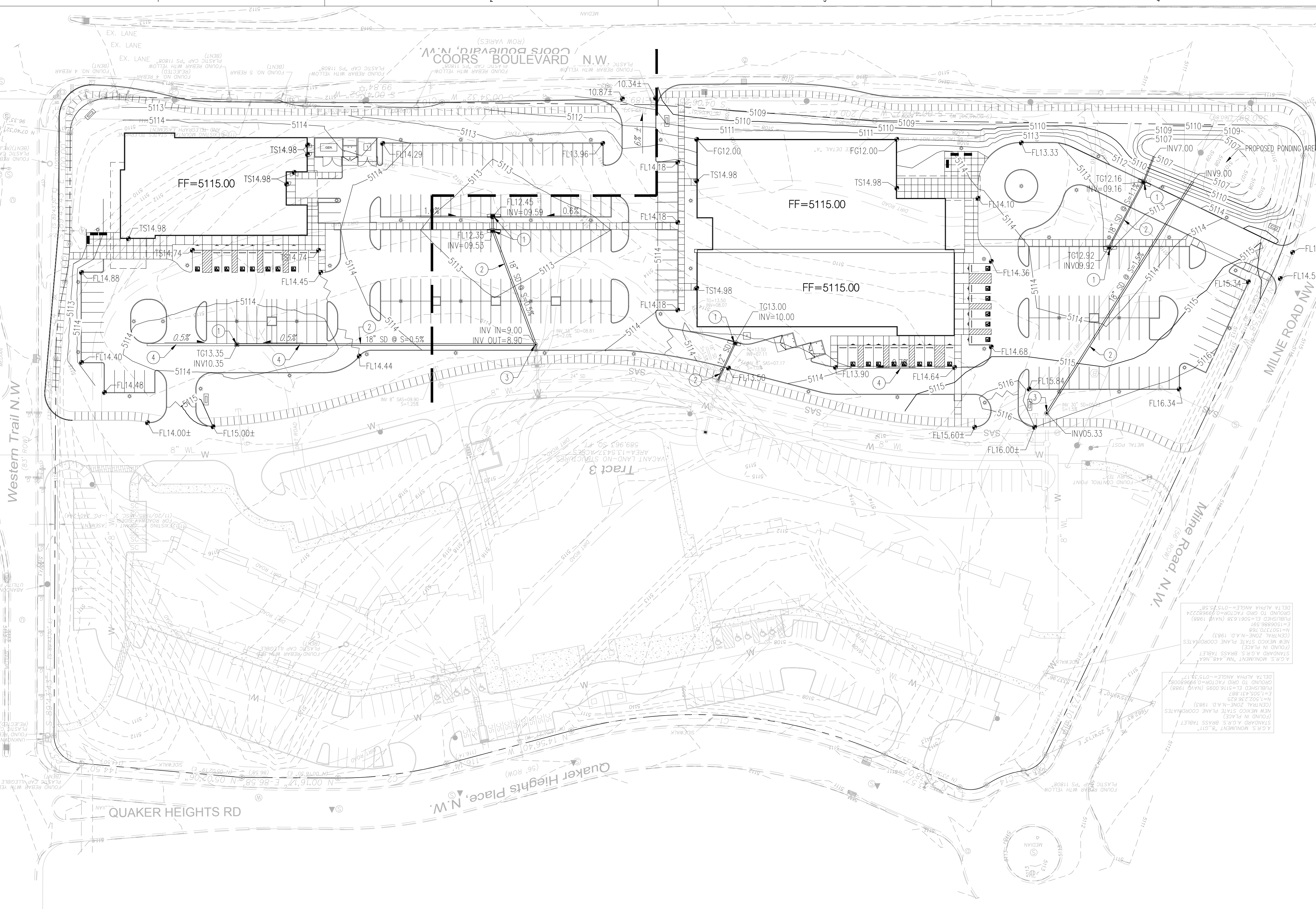
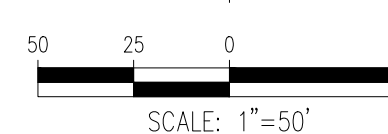
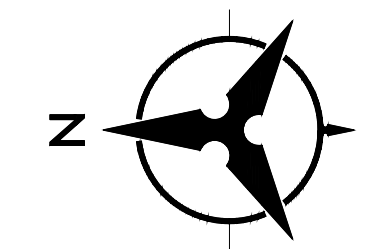
PROJECT NO. 18-0103.001

DRAWING NAME

CONCEPTUAL  
GRADING &  
DRAINAGE PLAN

SHEET NO.

**C-100**  
OF



REVISIONS

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DRAWN BY	BO
REVIEWED BY	GSB
DATE	9/27/2018
PROJECT NO.	18-0103.001
DRAWING NAME	

CONCEPTUAL  
UTILITY PLAN

**LEGEND**

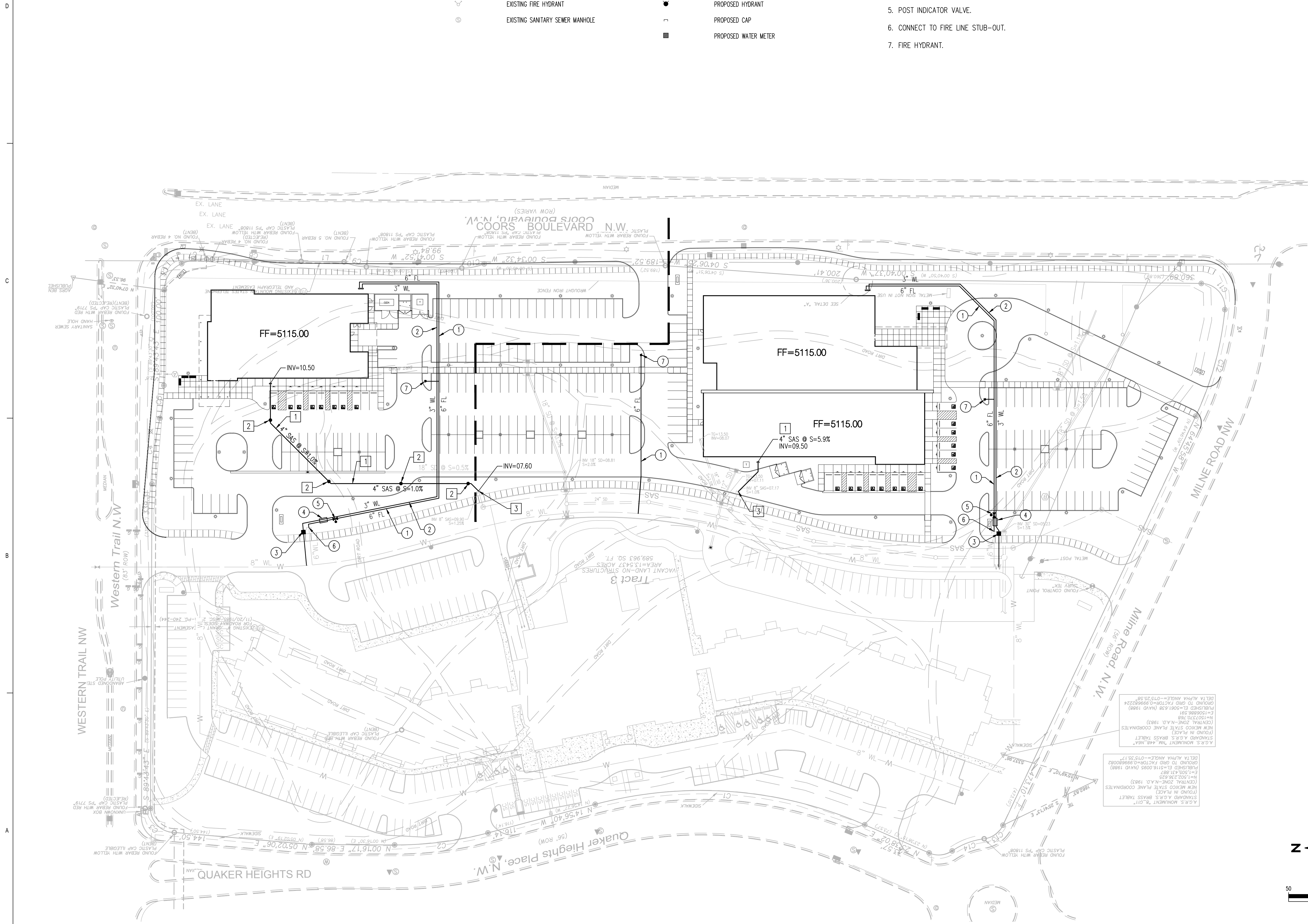
---	EXISTING EASEMENT	SAS	PROPOSED SANITARY SEWER LINE
---	EXISTING SANITARY SEWER	●	PROPOSED CLEANOUT
---	EXISTING WATER LINE	WL	PROPOSED WATER LINE
---	EXISTING COMMUNICATION LINE	+	PROPOSED VALVE
○	EXISTING VALVE	FL	PROPOSED FIRE LINE
○	EXISTING FIRE HYDRANT	●	PROPOSED HYDRANT
○	EXISTING SANITARY SEWER MANHOLE	○	PROPOSED CAP
		■	PROPOSED WATER METER

**WATER KEYED NOTES**

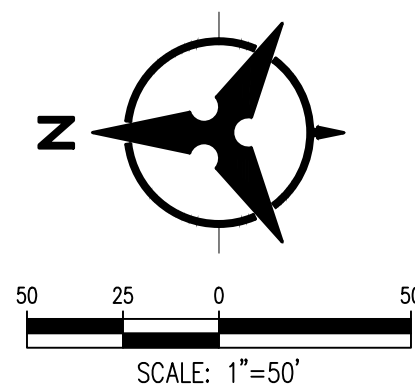
- 6" FIRE LINE.
- 3" DOMESTIC WATER SERVICE LINE.
- 1 1/2" DOMESTIC WATER METER SERVICE.
- 3" REDUCED PRESSURE BACKFLOW PREVENTOR & 6" FIRE REDUCED PRESSURE BACKFLOW PREVENTOR IN SINGLE HEATED ENCLOSURE.
- POST INDICATOR VALVE.
- CONNECT TO FIRE LINE STUB-OUT.
- FIRE HYDRANT.

**SANITARY SEWER KEYED NOTES**

- 4" SANITARY SEWER SERVICE LINE. SEE PLAN FOR SIZE & SLOPE.
- SANITARY SEWER CLEANOUT.
- CONNECT TO SANITARY SEWER STUB-OUT.



STANDARD A.C.S. BRASS TABLET  
(GROUND IN PLACE)  
NEW MEXICO STATE PLANE COORDINATES  
(CENTRAL ZONE-N.A.D. 1983)  
E=1502431.887  
N=1027170.288  
F=1000000.000  
PROJ. TO GRID FACTOR=0.99980002  
DELTA ALPHA ANGLE=-0.173255  
STANDARD A.C.S. BRASS TABLET  
(GROUND IN PLACE)  
NEW MEXICO STATE PLANE COORDINATES  
(CENTRAL ZONE-N.A.D. 1983)  
E=1502431.887  
N=1027170.288  
F=1000000.000  
PROJ. TO GRID FACTOR=0.99980002  
DELTA ALPHA ANGLE=-0.173255





REVISIONS

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DRAWN BY ARS

REVIEWED BY

DATE 11/1/2018

PROJECT NO. 18-0103.001

DRAWING NAME

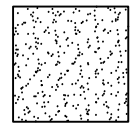
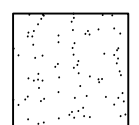
AMBULATORY  
CARE CENTER  
ELEVATIONS

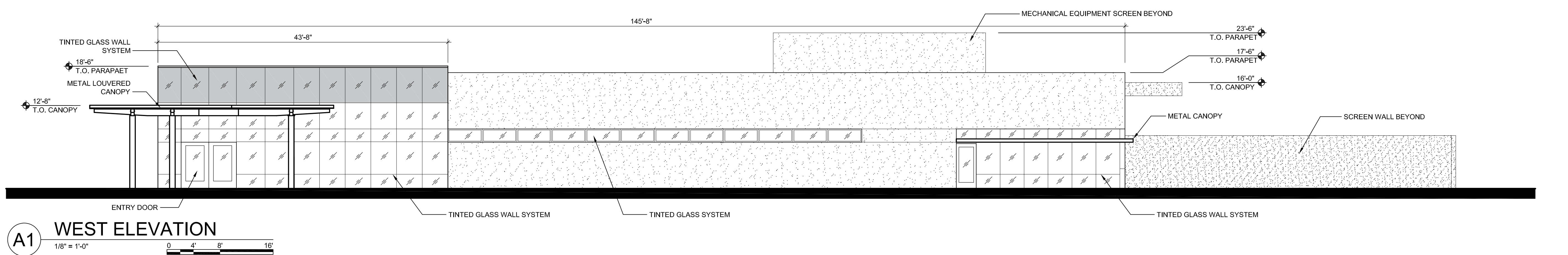
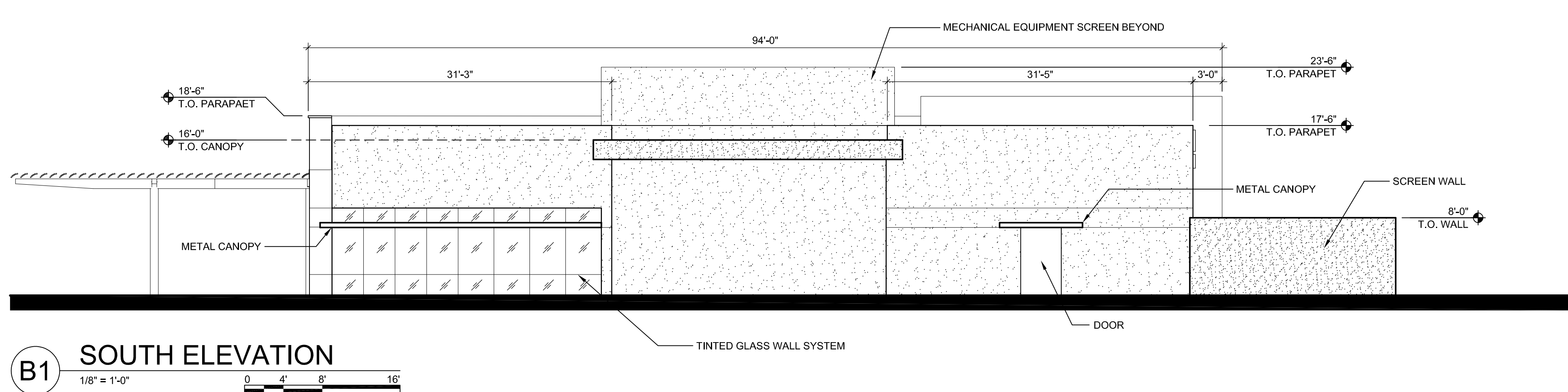
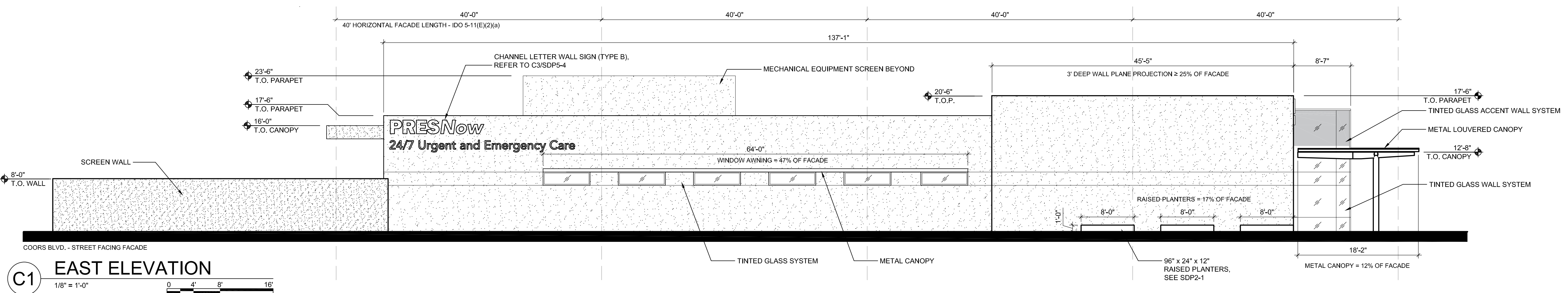
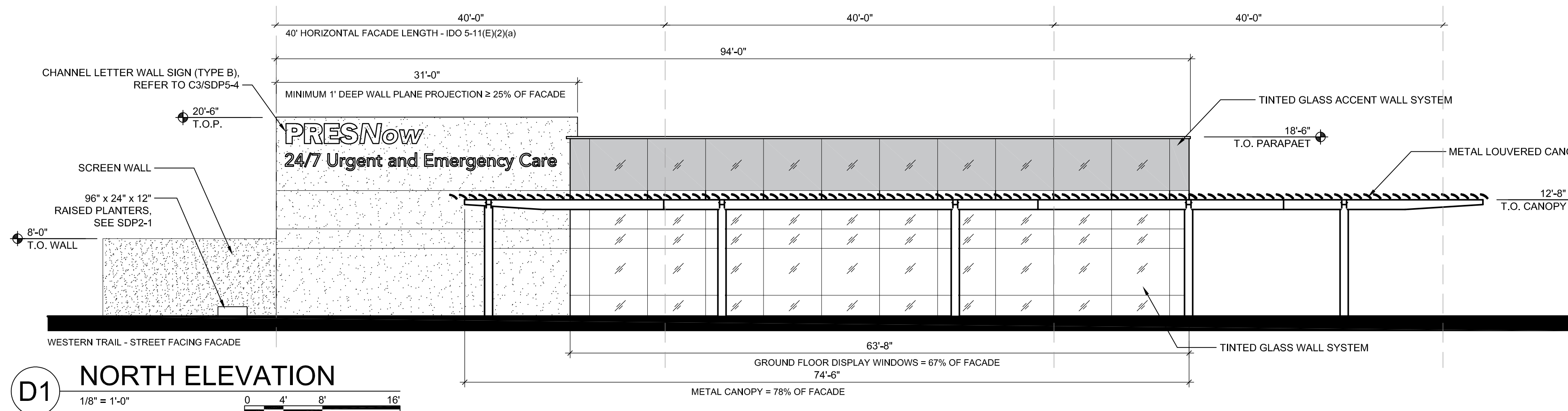
SHEET NO.

**SDP5-1**

OF

**LEGEND**

-  DARK EARTHSTONE EIFS ACCENT COLOR
-  LIGHT EARTHSTONE EIFS COLOR

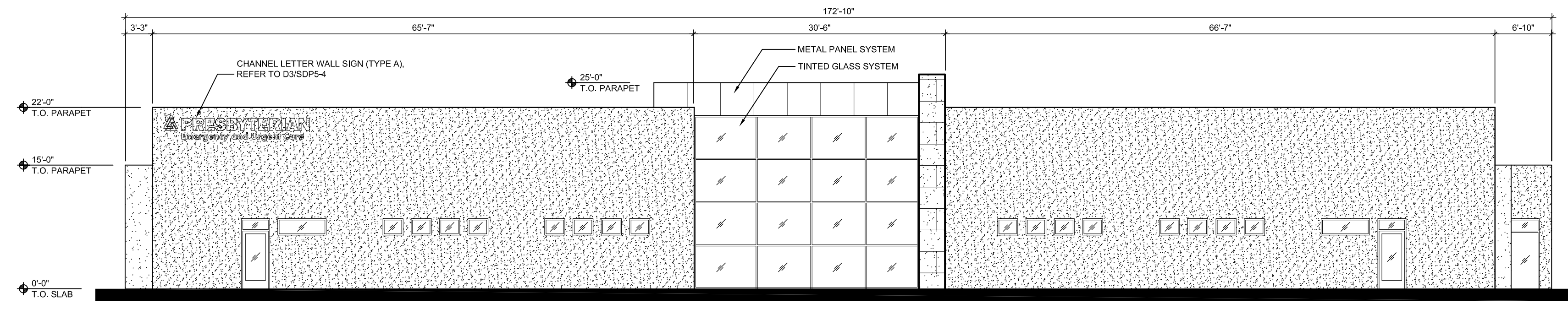


REVISIONS

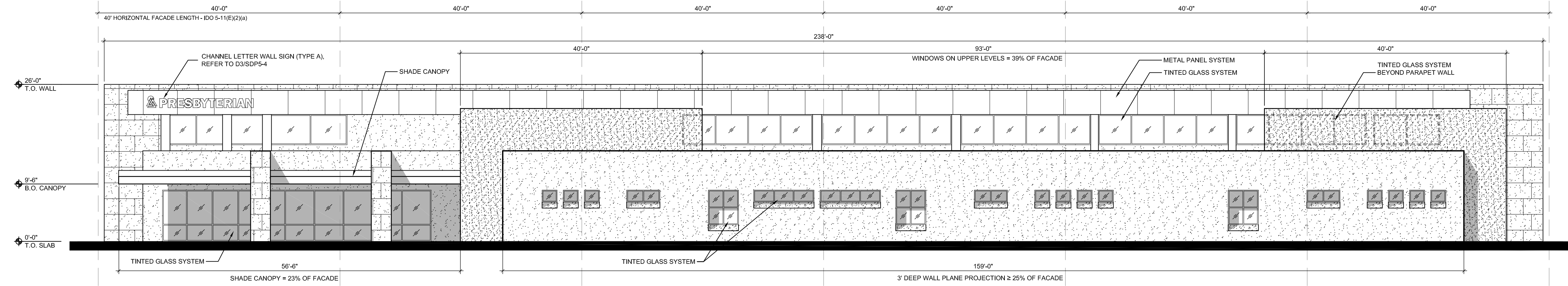
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DRAWN BY	ARS
REVIEWED BY	
DATE	11/1/2018
PROJECT NO.	18-0103.001
DRAWING NAME	

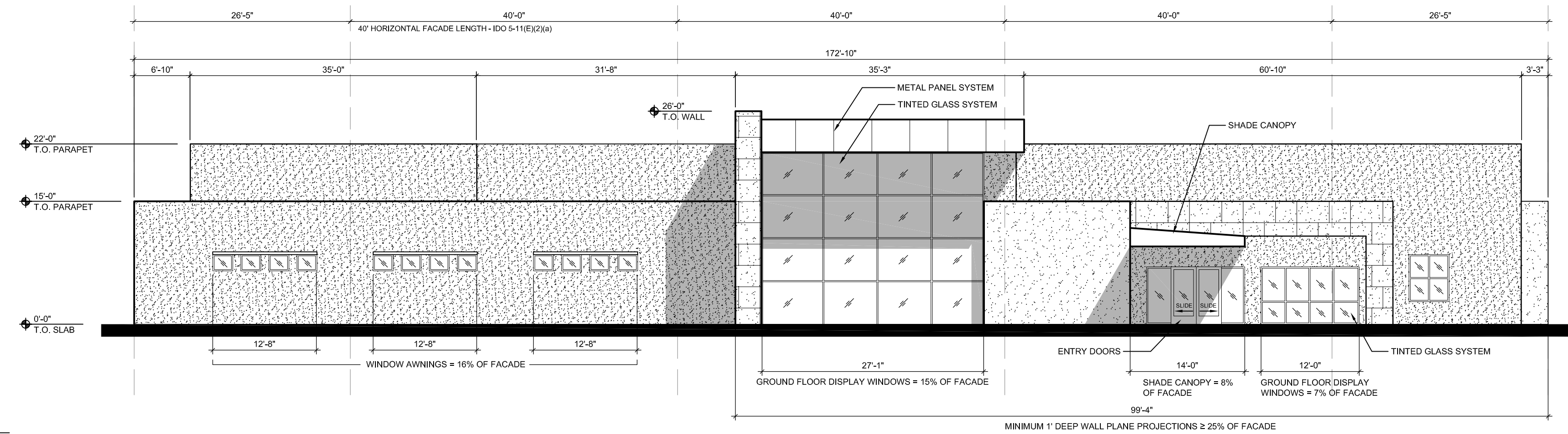
MEDICAL CLINIC  
ELEVATIONS



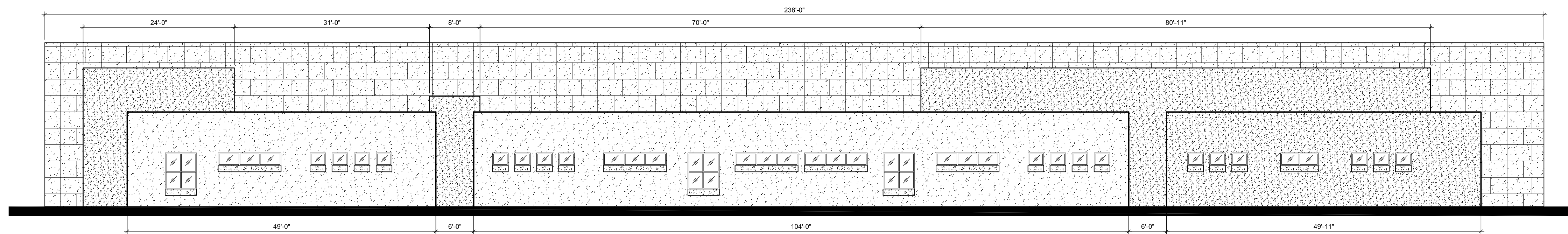
**D1 NORTH ELEVATION**  
3/32" = 1'-0"



**C1 EAST ELEVATION**  
3/32" = 1'-0"  
COORS BLVD. - STREET FACING FACADE

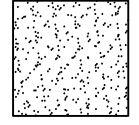
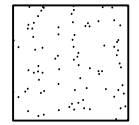
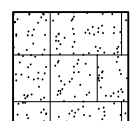


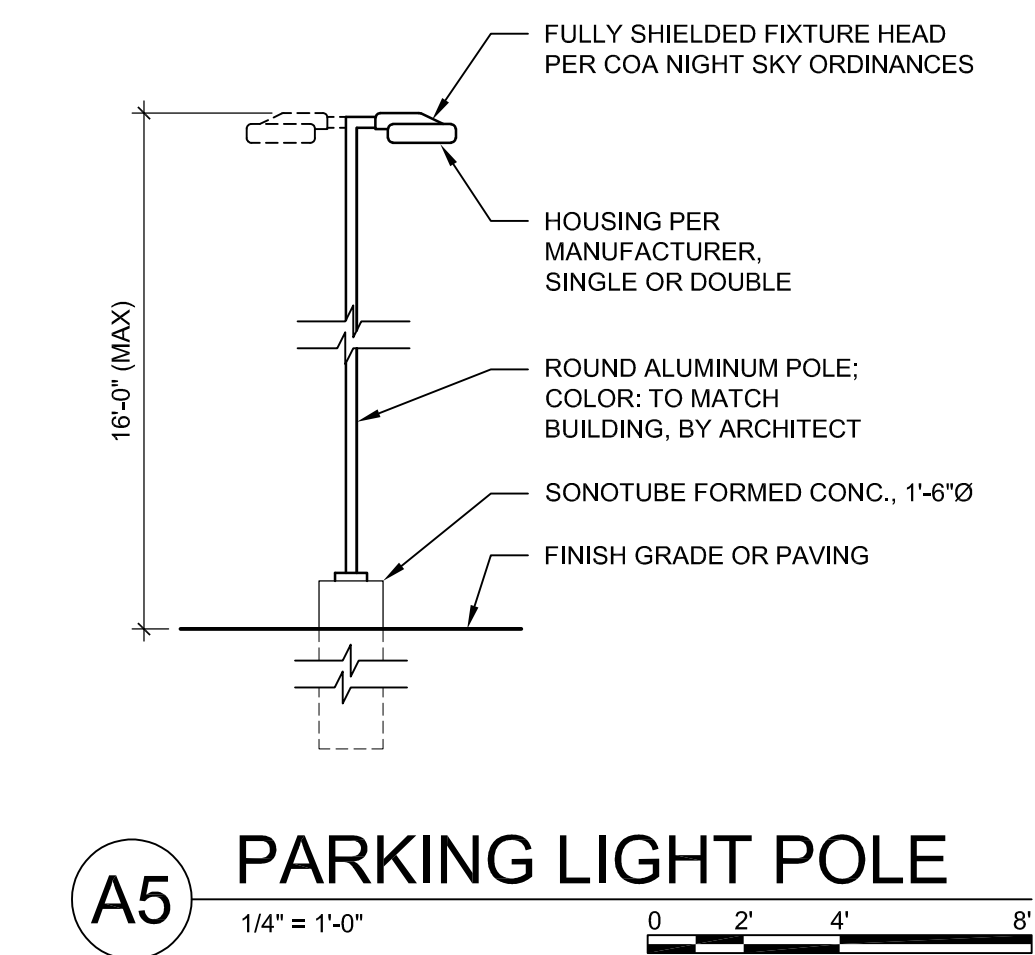
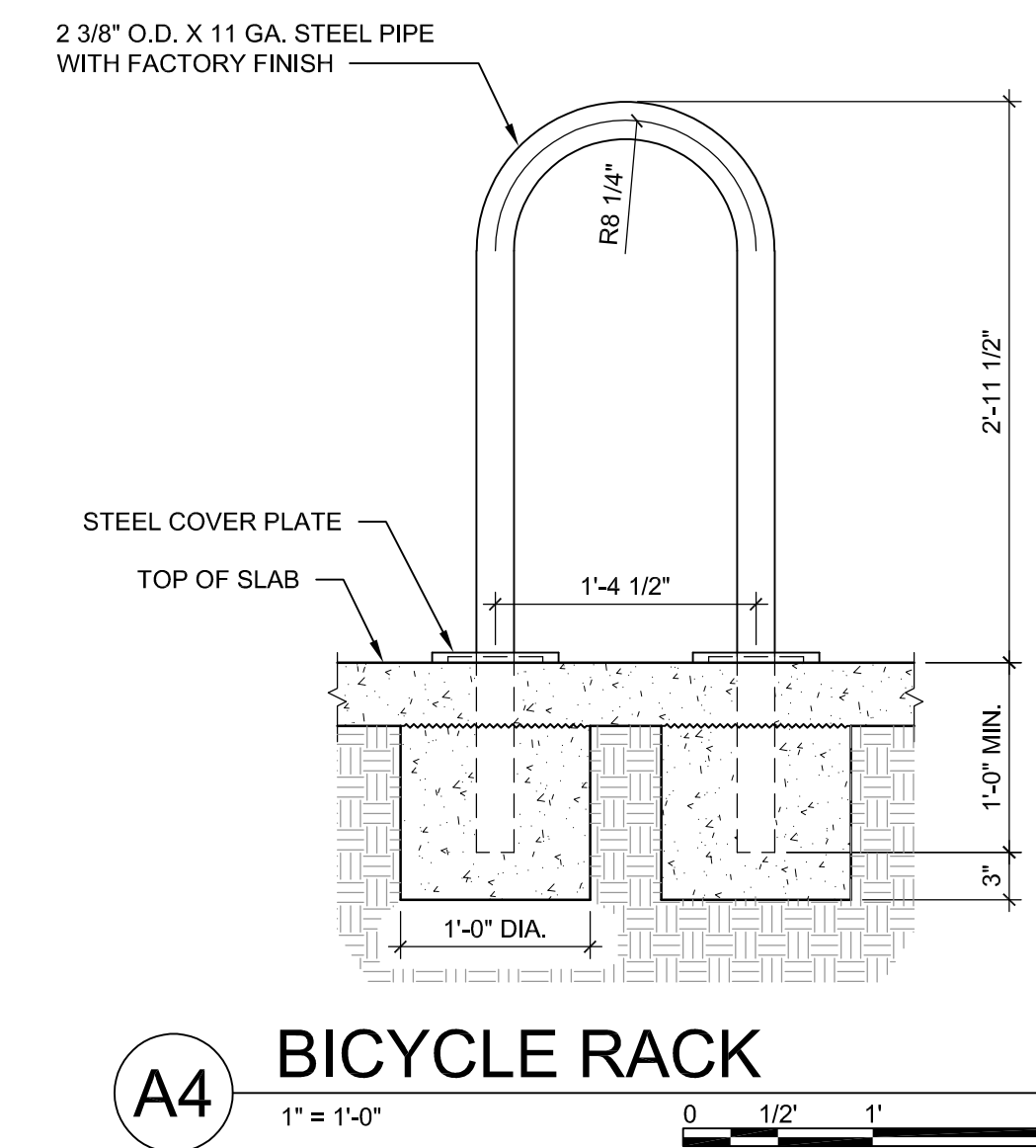
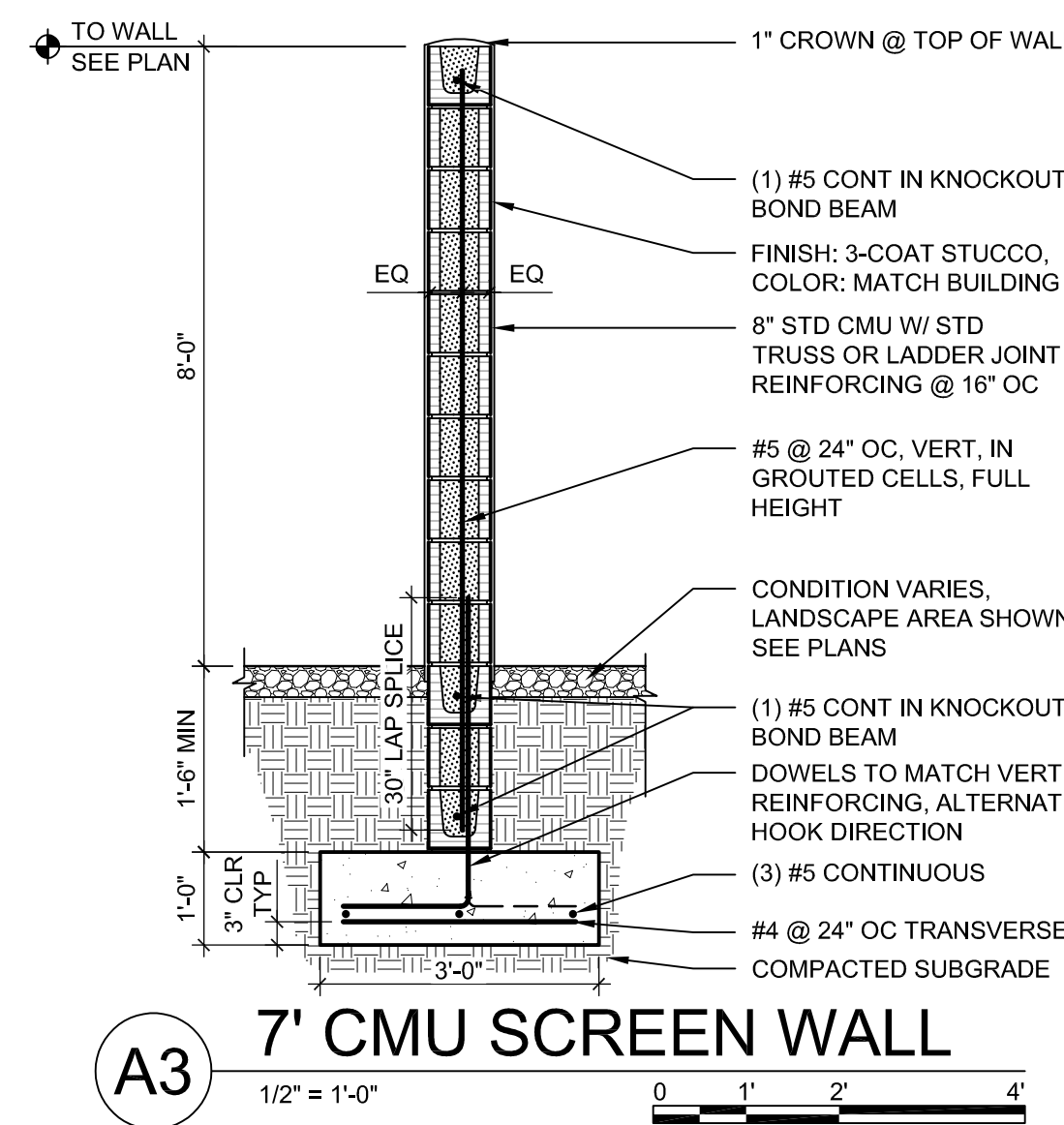
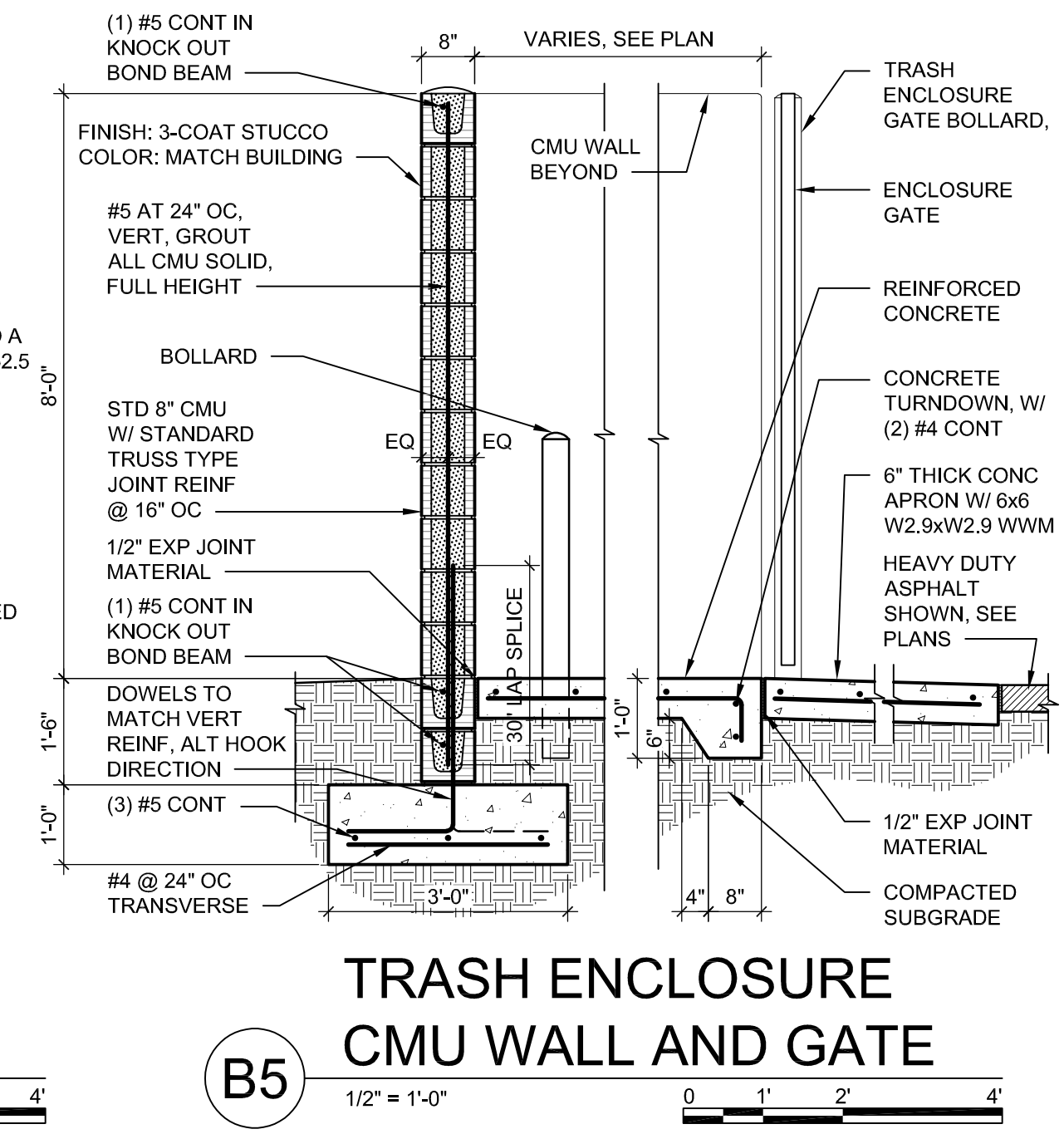
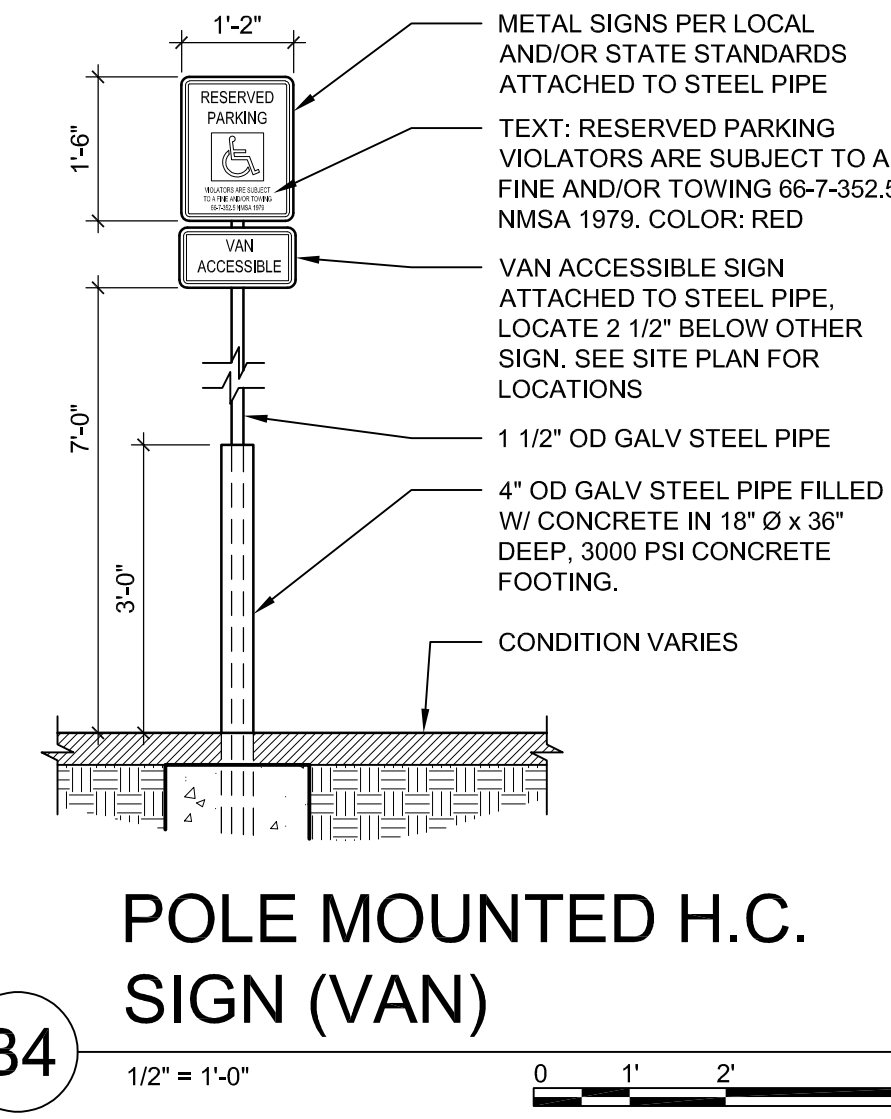
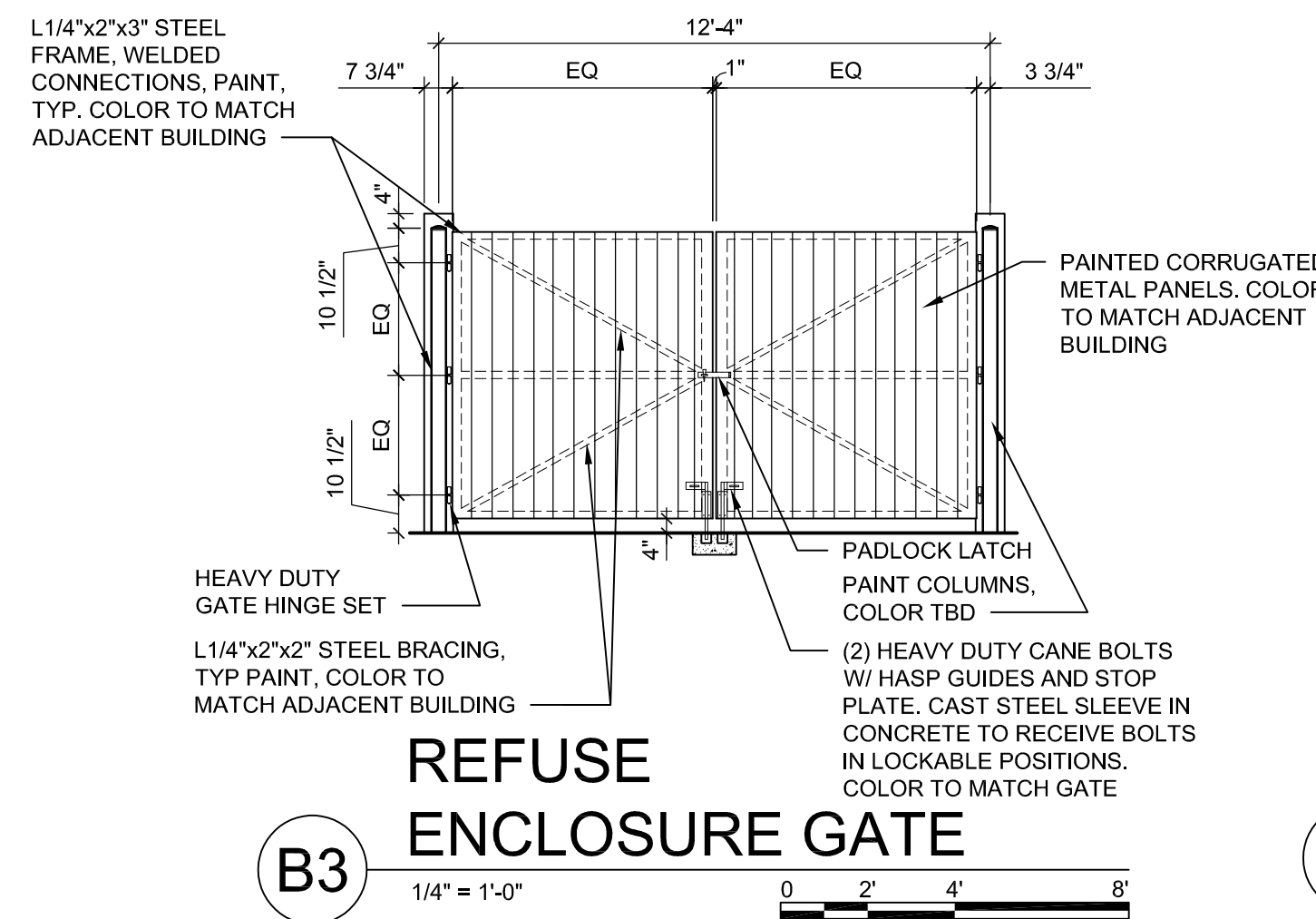
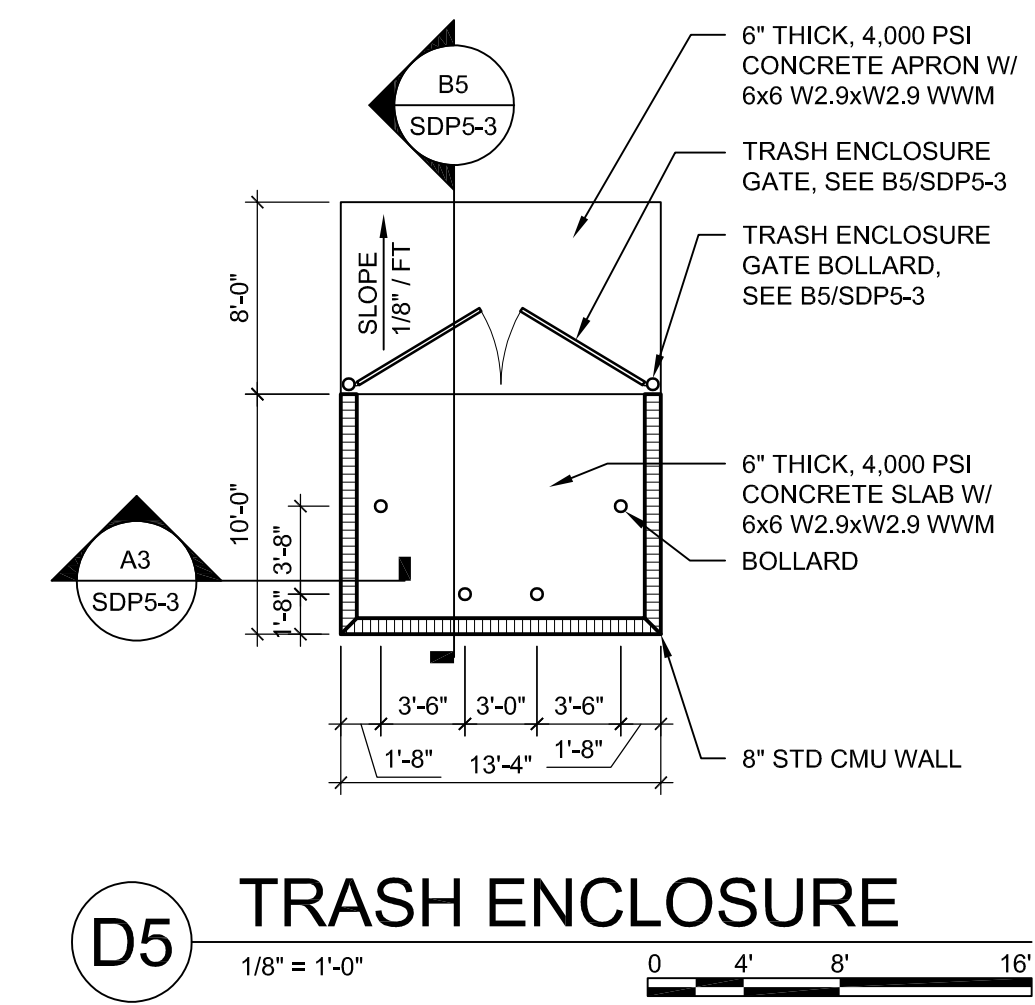
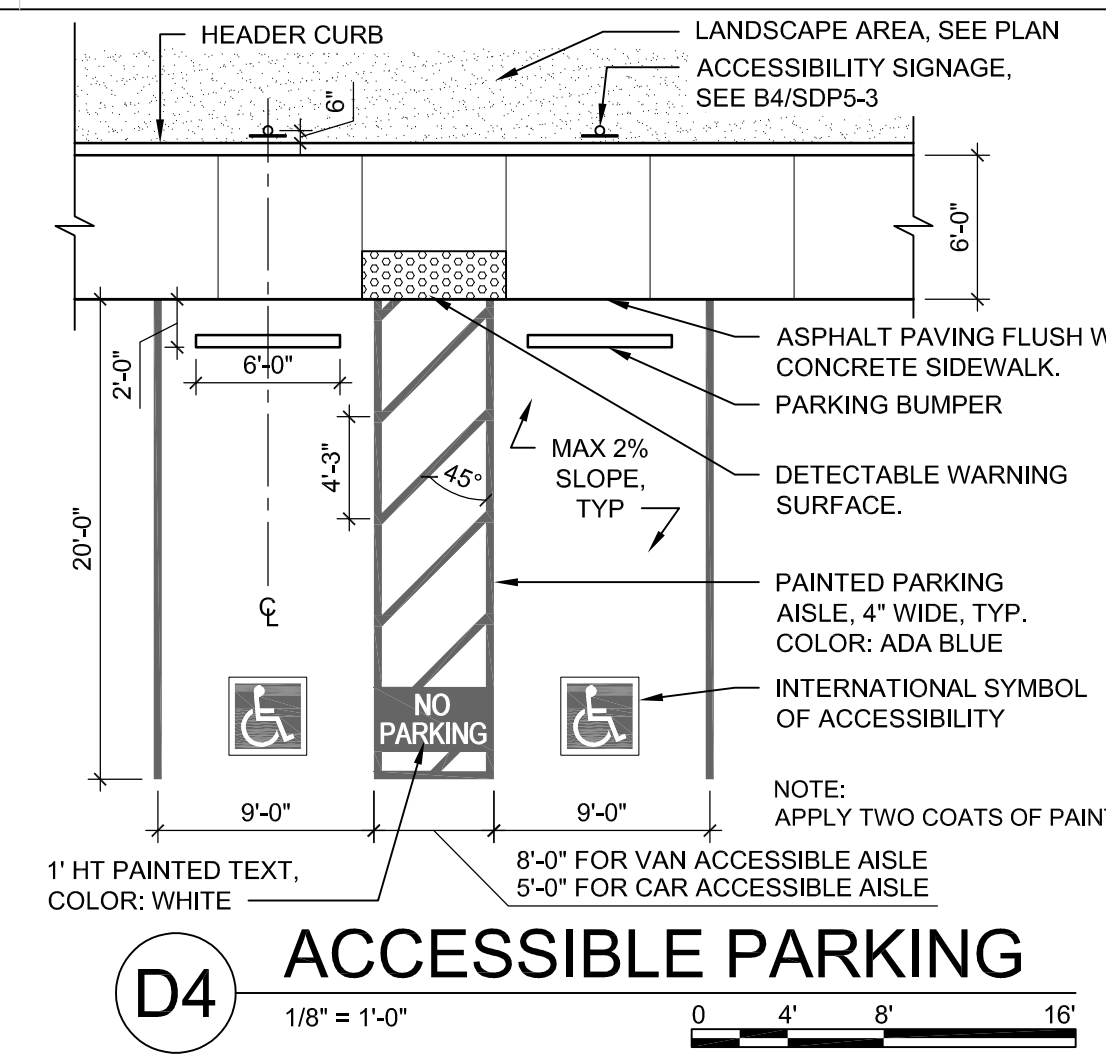
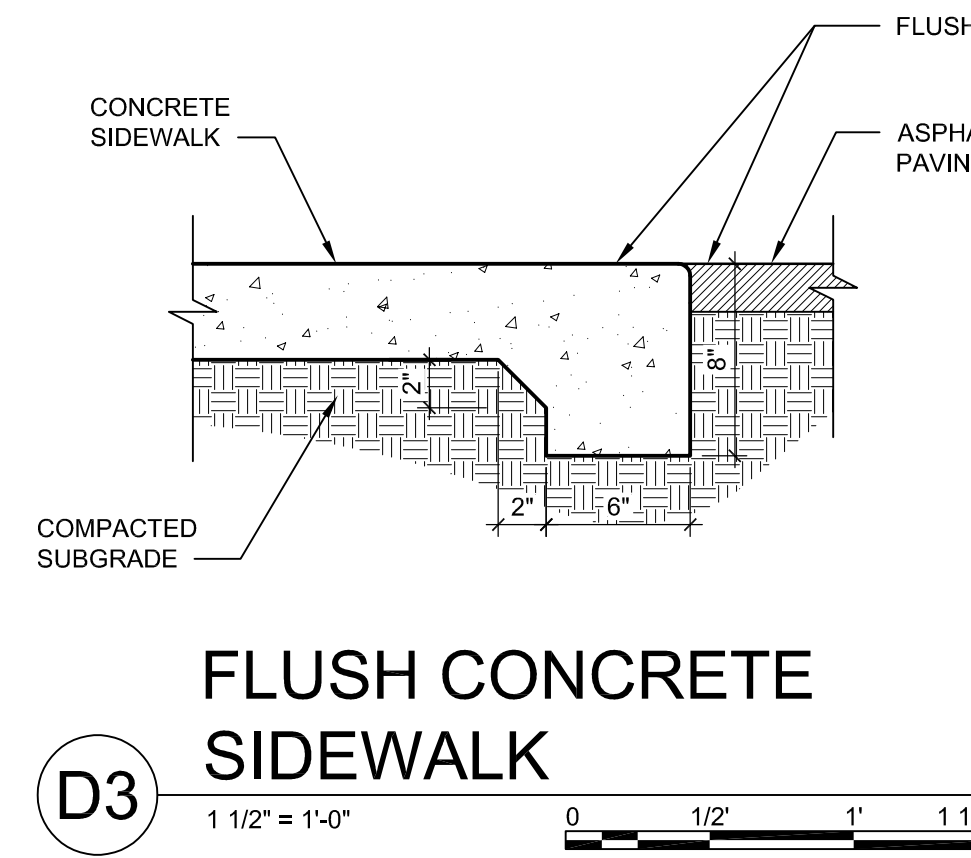
**B1 SOUTH ELEVATION**  
3/32" = 1'-0"  
MILNE ROAD - STREET FACING FACADE



**A1 WEST ELEVATION**  
3/32" = 1'-0"

**LEGEND**

-  DARK EARTHTONE EIFS ACCENT COLOR
-  LIGHT EARTHTONE EIFS COLOR
-  EARTHTONE EIFS COLOR, SCORED PATTERN



REVISIONS

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DRAWN BY

REVIEWED BY

DATE 11/1/2018

PROJECT NO. 18-0103.001

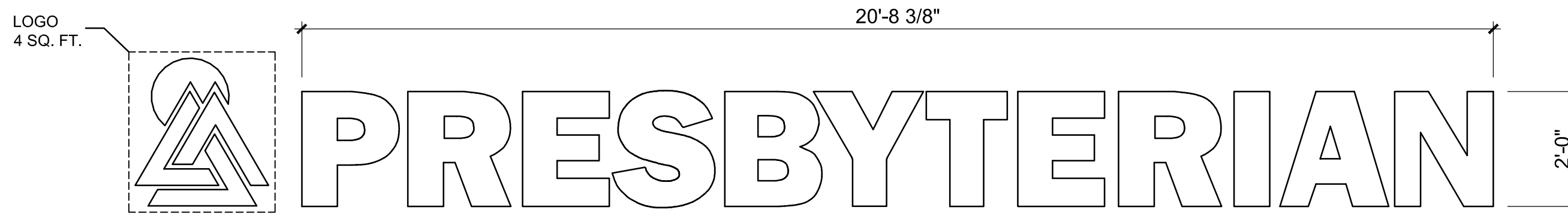
DRAWING NAME

SIGN ELEVATIONS

SHEET NO.

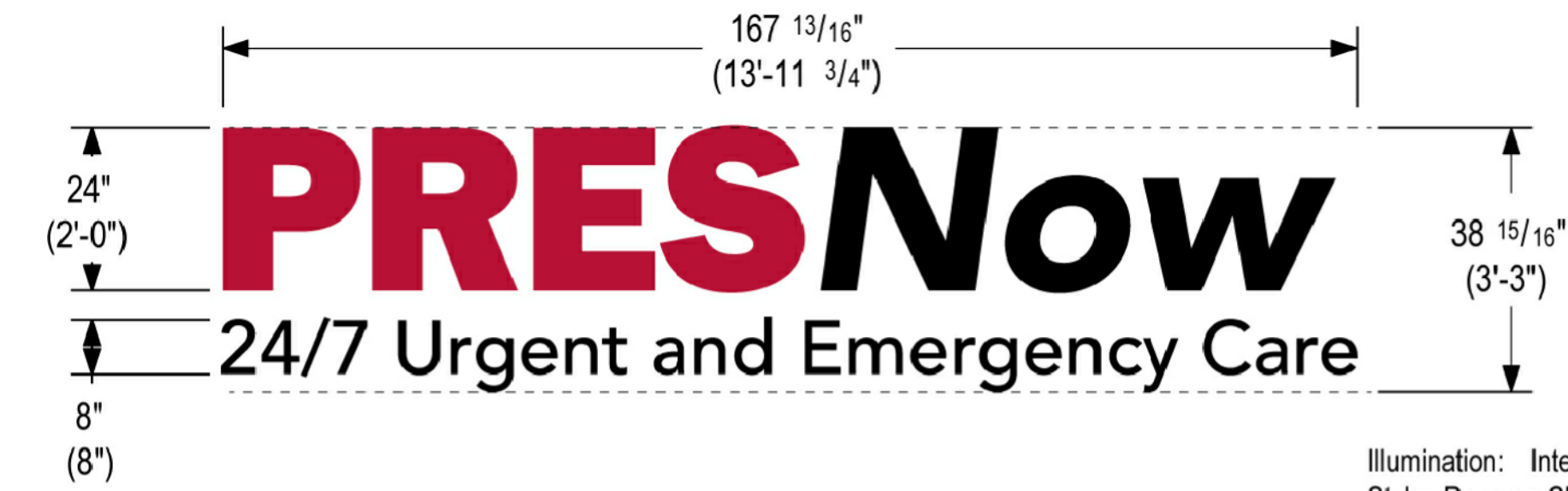
**SDP5-4**

OF



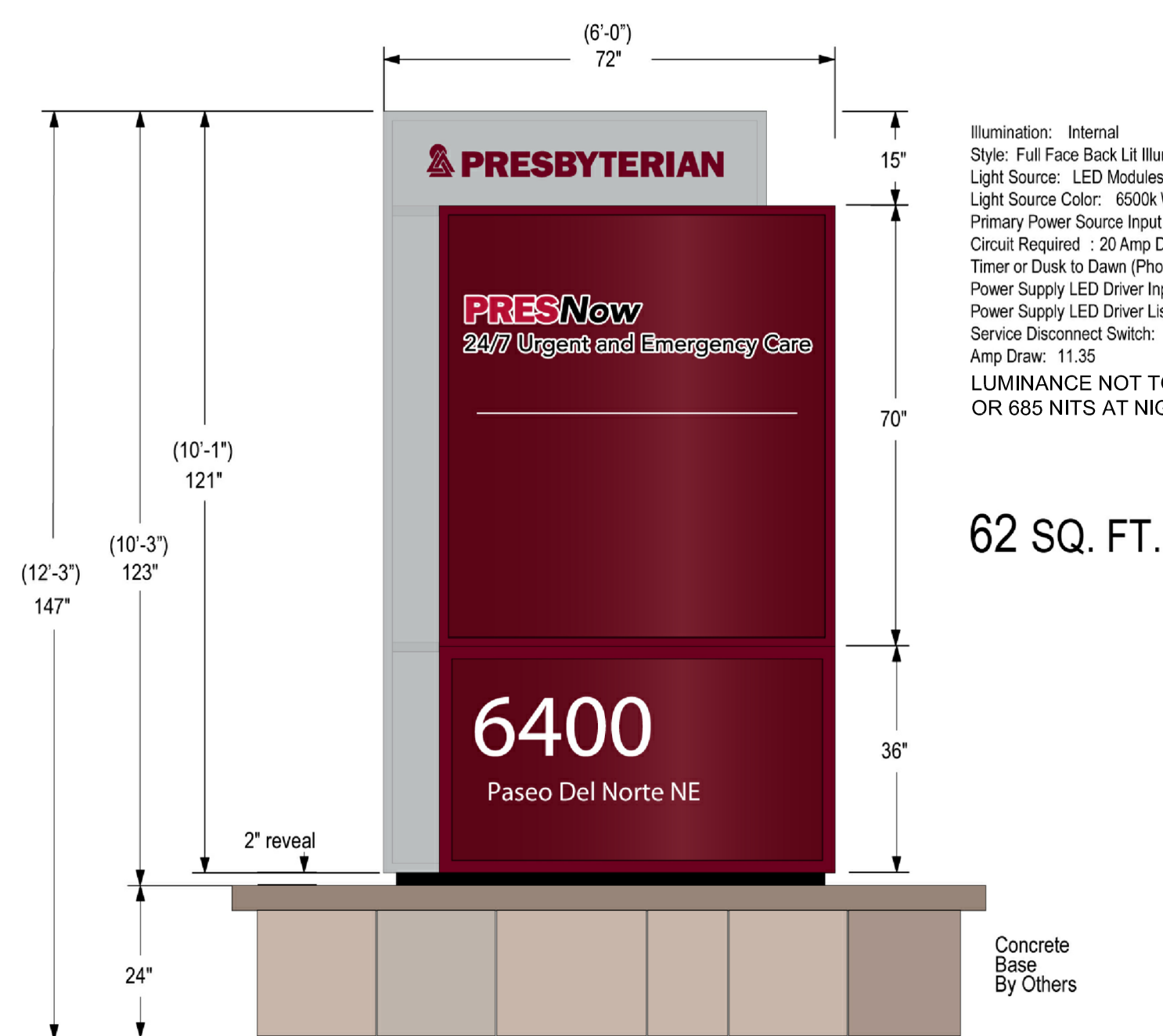
Illumination: Internal  
Style: Reverse Channel Halo Lit  
Light Source: LED Modules  
Light Source Color: 6500k White  
Primary Power Source Input Required: 277v  
Circuit Required: 20 Amp Dedicated  
Timer or Dusk to Dawn (Photo Cell): TBD  
Power Supply LED Driver Input Voltage: 100-277V AC  
Power Supply LED Driver Listed: UL  
Service Disconnect Switch: Yes - On Sign  
Amp Draw: TBD  
LUMINANCE NOT TO EXCEED 200 FOOT LAMBERTS  
OR 685 NITS AT NIGHT

**D3** CHANNEL LETTER WALL SIGN (TYPE A)  
1/2" = 1'-0"



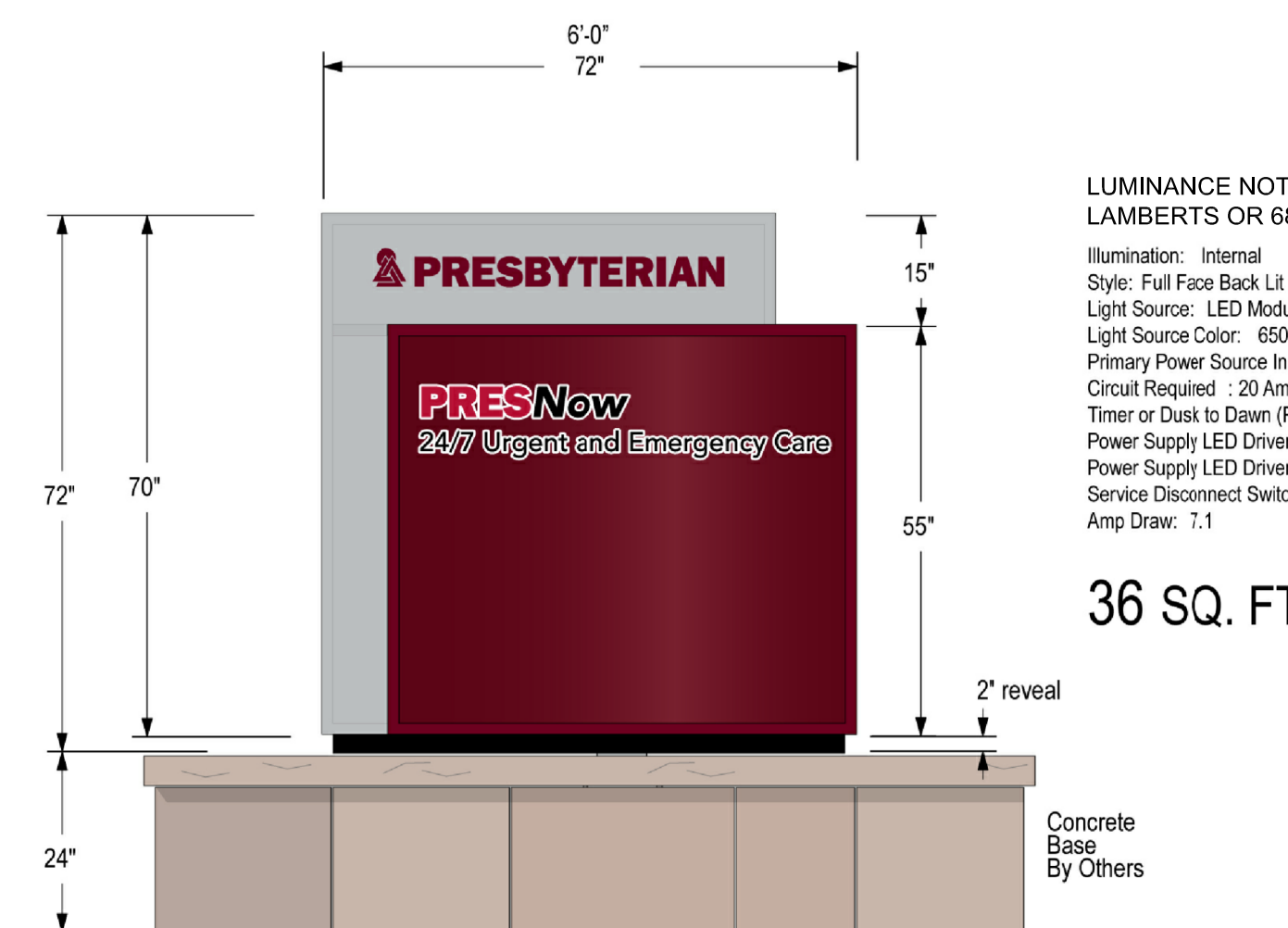
Illumination: Internal  
Style: Reverse Channel Halo Lit  
Light Source: LED Modules  
Light Source Color: 6500k White  
Primary Power Source Input Required : 277v  
Circuit Required : 20 Amp Dedicated  
Timer or Dusk to Dawn (Photo Cell) : TBD  
Power Supply LED Driver Input Voltage: 100-277V AC  
Power Supply LED Driver Listed: UL  
Service Disconnect Switch: Yes - On Sign  
Amp Draw: TBD  
LUMINANCE NOT TO EXCEED 200 FOOT LAMBERTS  
OR 685 NITS AT NIGHT

**C3** CHANNEL LETTER WALL SIGN (TYPE B)  
1/2" = 1'-0"



Illumination: Internal  
Style: Full Face Back Lit Illumination  
Light Source: LED Modules  
Light Source Color: 6500k White  
Primary Power Source Input Required : 277v  
Circuit Required : 20 Amp Dedicated  
Timer or Dusk to Dawn (Photo Cell) : TBD  
Power Supply LED Driver Input Voltage: 100-277V AC  
Power Supply LED Driver Listed: UL  
Service Disconnect Switch: Yes - On Sign  
Amp Draw: 11.35  
LUMINANCE NOT TO EXCEED 200 FOOT LAMBERTS  
OR 685 NITS AT NIGHT

**A3** MONUMENT SIGN (TYPE C)  
1/2" = 1'-0"

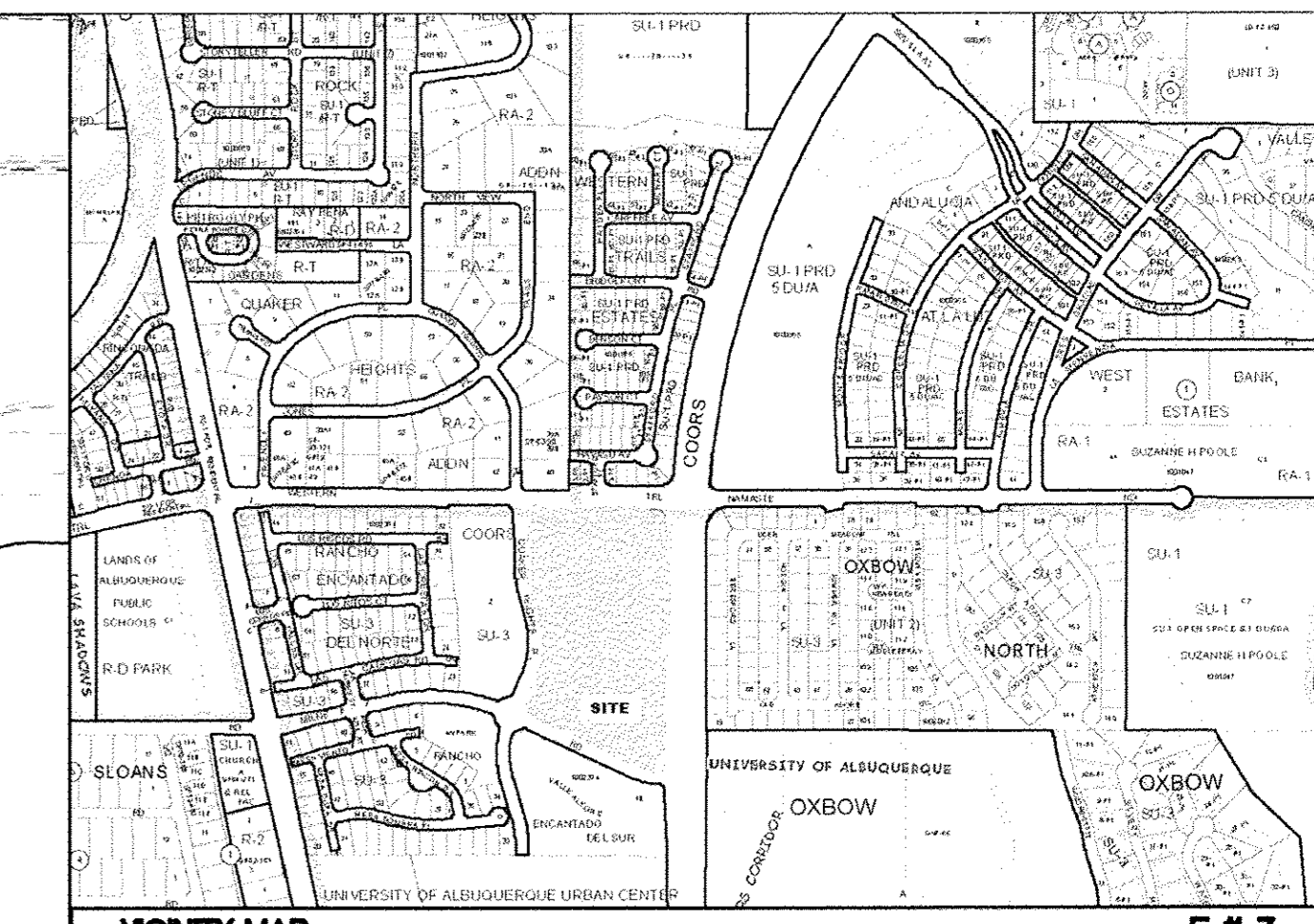
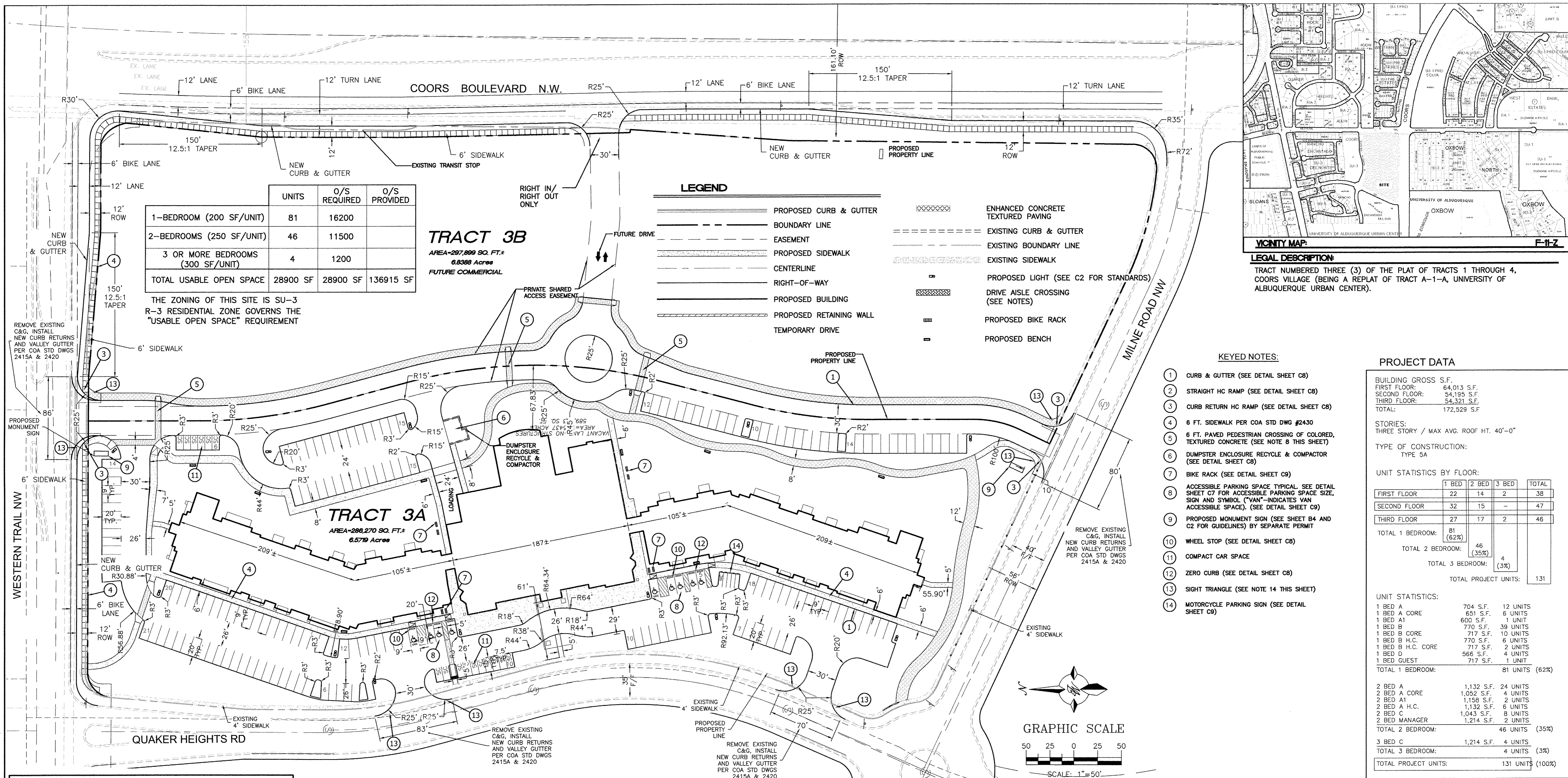


LUMINANCE NOT TO EXCEED 200 FOOT LAMBERTS OR 685 NITS AT NIGHT  
Illumination: Internal  
Style: Full Face Back Lit Illumination  
Light Source: LED Modules  
Light Source Color: 6500k White  
Primary Power Source Input Required : 277v  
Circuit Required : 20 Amp Dedicated  
Timer or Dusk to Dawn (Photo Cell) : TBD  
Power Supply LED Driver Input Voltage: 100-277V AC  
Power Supply LED Driver Listed: UL  
Service Disconnect Switch: Yes - On Sign  
Amp Draw: 7.1

**A5** MONUMENT SIGN (TYPE D)  
1/2" = 1'-0"

# Proposed Aesthetics





	UNITS	O/S REQUIRED	O/S PROVIDED
1-BEDROOM (200 SF/UNIT)	81	16200	
2-BEDROOMS (250 SF/UNIT)	46	11500	
3 OR MORE BEDROOMS (300 SF/UNIT)	4	1200	
TOTAL USABLE OPEN SPACE	28900 SF	28900 SF	136915 SF

**TRACT 3B**  
 AREA-297,889 SQ. FT.  
 6.8388 Acres  
 FUTURE COMMERCIAL

THE ZONING OF THIS SITE IS SU-3  
 R-3 RESIDENTIAL ZONE GOVERNS THE  
 "USABLE OPEN SPACE" REQUIREMENT

LEGEND	
	PROPOSED CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	CENTERLINE
	RIGHT-OF-WAY
	PROPOSED BUILDING
	PROPOSED RETAINING WALL
	TEMPORARY DRIVE
	ENHANCED CONCRETE TEXTURED PAVING
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING SIDEWALK
	PROPOSED LIGHT (SEE C2 FOR STANDARDS)
	DRIVE AISLE CROSSING (SEE NOTES)
	PROPOSED BIKE RACK
	PROPOSED BENCH

**VICINITY MAP**  
**LEGAL DESCRIPTION:**  
 TRACT NUMBERED THREE (3) OF THE PLAT OF TRACTS 1 THROUGH 4,  
 COORS VILLAGE (BEING A REPLAT OF TRACT A-1-A, UNIVERSITY OF  
 ALBUQUERQUE URBAN CENTER).

- KEYED NOTES:**
- CURB & GUTTER (SEE DETAIL SHEET C8)
  - STRAIGHT HC RAMP (SEE DETAIL SHEET C8)
  - CURB RETURN HC RAMP (SEE DETAIL SHEET C8)
  - 6 FT. SIDEWALK PER COA STD DWG #2430
  - 6 FT. PAVED PEDESTRIAN CROSSING OF COLORED, TEXTURED CONCRETE (SEE NOTE 8 THIS SHEET)
  - DUMPSTER ENCLOSURE RECYCLE & COMPACTOR (SEE DETAIL SHEET C8)
  - BIKE RACK (SEE DETAIL SHEET C9)
  - ACCESSIBLE PARKING SPACE TYPICAL SEE DETAIL SHEET C7 FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN"-INDICATES VAN ACCESSIBLE SPACE). (SEE DETAIL SHEET C9)
  - PROPOSED MONUMENT SIGN (SEE SHEET B4 AND C2 FOR GUIDELINES) BY SEPARATE PERMIT
  - WHEEL STOP (SEE DETAIL SHEET C8)
  - COMPACT CAR SPACE
  - ZERO CURB (SEE DETAIL SHEET C8)
  - SIGHT TRIANGLE (SEE NOTE 14 THIS SHEET)
  - MOTORCYCLE PARKING SIGN (SEE DETAIL SHEET C9)

**PROJECT DATA**

BUILDING GROSS S.F.  
 FIRST FLOOR: 64,013 S.F.  
 SECOND FLOOR: 54,195 S.F.  
 THIRD FLOOR: 54,321 S.F.  
 TOTAL: 172,529 S.F.

STORIES:  
 THREE STORY / MAX AVG. ROOF HT. 40'-0"

TYPE OF CONSTRUCTION:  
 TYPE SA

UNIT STATISTICS BY FLOOR:

	1 BED	2 BED	3 BED	TOTAL
FIRST FLOOR	22	14	2	38
SECOND FLOOR	32	15	-	47
THIRD FLOOR	27	17	2	46
TOTAL 1 BEDROOM:	81 (62%)			
TOTAL 2 BEDROOM:		46 (35%)		
TOTAL 3 BEDROOM:			4 (3%)	
TOTAL PROJECT UNITS:				131

UNIT STATISTICS:

1 BED A	704 S.F.	12 UNITS
1 BED A CORE	651 S.F.	6 UNITS
1 BED A1	600 S.F.	1 UNIT
1 BED B	770 S.F.	39 UNITS
1 BED B CORE	717 S.F.	10 UNITS
1 BED B H.C.	770 S.F.	6 UNITS
1 BED B H.C. CORE	717 S.F.	2 UNITS
1 BED D	566 S.F.	4 UNITS
1 BED GUEST	717 S.F.	1 UNIT
TOTAL 1 BEDROOM:		81 UNITS (62%)
2 BED A	1,132 S.F.	24 UNITS
2 BED A CORE	1,052 S.F.	4 UNITS
2 BED A1	1,158 S.F.	2 UNITS
2 BED A H.C.	1,132 S.F.	6 UNITS
2 BED C	1,043 S.F.	8 UNITS
2 BED MANAGER	1,214 S.F.	2 UNITS
TOTAL 2 BEDROOM:		46 UNITS (35%)
3 BED C	1,214 S.F.	4 UNITS
TOTAL 3 BEDROOM:		4 UNITS (3%)
TOTAL PROJECT UNITS:	131 UNITS (100%)	

**PROJECT NUMBER:** 1000032  
**APPLICATION NUMBER:** \_\_\_\_\_

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

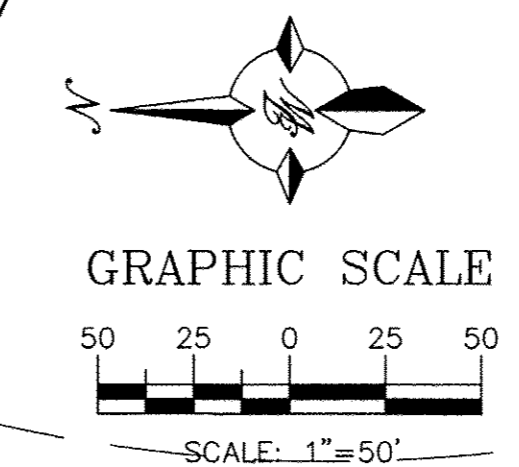
Traffic Engineer, Transportation Division	Date
ABCWUA	Date
Parks & Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

\* Environmental Health, if necessary

**SITE DATA TABLE**

AREA (AC)	BUILDING AREA	UNIT	FOOTPRINT AREA	USE	ZONING	PARKING CALCULATIONS	PRKG. REQ.	PRKG. PROV.	COMPACT SPACES	HC PRKG. REQ.	HC PRKG. PROV.	HC VAN REQ.	HC VAN PROV.	MC PRKG. REQ.	MC PRKG. PROV.	BIKE SPACES REQ.	BIKE SPACES PROV.	PROPOSED FAR	MAX. FAR
6.50	172,529 SF (GROSS)	131	64,013 SF	SENIOR INDEPENDENT LIVING (AGE RESTRICTED MULTI-FAMILY)	SU-3	81 UNIT @ 1.5 SP/UNIT(<1,000SF); 50 @2.0 SP/UNIT(>1,000SF) (-10% WITHIN 300' OF A TRANSIT ROUTE)	200	200	16	6	9	1	2	5	5	20	40 (5 BIKES / RACK)	0.61	1.0

- NOTES:**
- COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
  - APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
  - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
  - THE SITE IS WITHIN 300' OF BUS ROUTE #96, #790 AND #155 ON COORS BOULEVARD.
  - LIGHT POLES SHALL BE A MAXIMUM OF 16' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 16' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH. BUILDING MOUNTED LIGHTING SHALL BE PROVIDED AT ALL BUILDING ENTRANCES AND EXITS.
  - STRUCTURE HEIGHT UP SHALL BE PER R-3 ZONE WITHIN TRACT 3A AND SHALL ADDITIONALLY COMPLY WITH COORS CORRIDOR PLAN HEIGHT RESTRICTIONS.
  - SETBACKS SHALL BE PER THE R-3 ZONE WITHIN TRACT 3-A AND PER THE O-1 ZONE WITHIN TRACT 3-B.
  - PROPOSED DRIVE AISLE CROSSINGS TO BE ENHANCED INTEGRAL COLORED VEHICULAR CONCRETE PAVING WITH CONCRETE BANDS. SIDEWALKS TO BE CONCRETE.
  - IF REQUIRED COVERED PARKING SHALL BE OF PRE-FABRICATED STEEL CONSTRUCTION, PAINTED TO COMPLEMENT BUILDING.
  - TRACT 3A SHALL ONLY BE OPERATED AS "HOUSING FOR OLDER PERSONS" AS THAT TERM IS DEFINED AT 42 U.S.C. SECTION 3607(B)(2). RESTRICTED TO RESIDENTS OF AGE 55 AND OLDER. THE FACILITY MAY PROVIDE SUPPORTIVE SERVICES SUCH AS MEALS, HOUSEKEEPING, SOCIAL ACTIVITIES, AND TRANSPORTATION.
  - BUILDING-MOUNTED LIGHTING SHALL BE PROVIDED AT ALL BUILDING ENTRANCES AND EXITS.
  - DUMPSTER ENCLOSURE SHALL BE PAINTED TO COMPLEMENT THE BUILDING.
  - ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN A PUBLIC WORK ORDER PLAN SET.
  - LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS AT THE INTERSECTIONS. ALL ELEMENTS TO BE BETWEEN 3 AND 8 FEET TALL.



**ENGINEER'S SEAL**

**COORS VILLAGE TRACKS 3-A AND 3-B**

**SITE PLAN FOR BUILDING PERMIT, TRACT 3A**

**TERRA WEST, LLC**  
 5571 MIDWAY PARK PLACE NE  
 ALBUQUERQUE, NM 87109  
 (505)858-3100

DRAWN BY: BJF  
 DATE: 08/16/18  
 2017017-SPB  
 SHEET #: C3  
 JOB #: 2017107

PRELIMINARY NOT FOR CONSTRUCTION