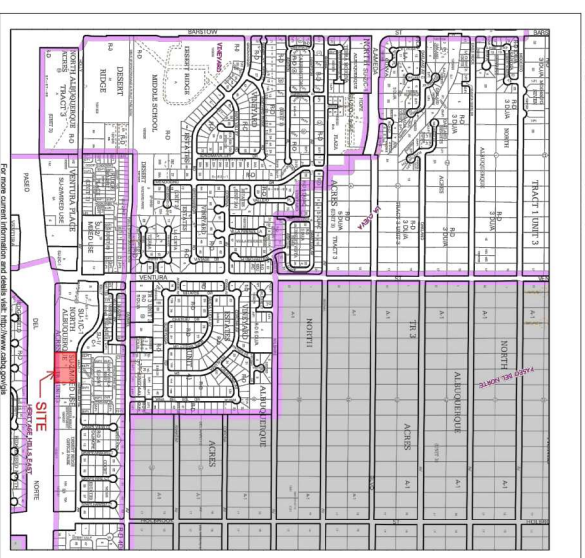


DRAWING INDEX

- SDP 1-1 SITE PLAN
- SDP 1-2 SITE DETAILS
- SDP 1-3 ELECTRICAL SITE LIGHTING PLAN
- SDP 2-1 LANDSCAPE PLAN
- SDP 3-1 GRADING AND DRAINAGE
- SDP 3-2 LIGHTING LAYOUT
- SDP 4-1 SITE UTILITIES
- SDP 5-1 EXTERIOR BUILDING ELEVATIONS
- SDP 6-1 FIRE ONE

VICINITY MAP



HOLLY AVENUE SENIOR LIVING

PROJECT TEAM

OWNER/BUILDER

MARK 33 INC.
6501 WYOMING BLVD. NE
ALBUQUERQUE, NM 87109
PHONE: 505.220.7625

ARCHITECTURAL/STRUCTURAL

DEKKER/PERICH/SABATINI, LTD.
7801 JEFFERSON ST. NE SUITE 100
ALBUQUERQUE, NM 87109
PHONE: 505.761.9700

CIVIL

HIGH MESA CONSULTING GROUP
6010-B MIDWAY PARK BLVD NE
ALBUQUERQUE, NM 87109
PHONE: 505.345.4250

MECHANICAL /PLUMBING

ARSED ENGINEERING GROUP, LLC
4700 LINCOLN ROAD NE
ALBUQUERQUE, NM 87109
PHONE: 505.761.3100

ELECTRICAL

AC ENGINEERING ENTERPRISES, LLC.
120 ALISO DR SE
ALBUQUERQUE, NM 87108
PHONE: 505.842.5787

ARCHITECTURE / DESIGN / INSPIRATION

**DEKKER
PERICH
SABATINI**

7601 JEFFERSON, NE, SUITE 100
ALBUQUERQUE, NM 87109
505.761.9700 / DRPSIGN.ORG
ARCHITECT

ENGINEER

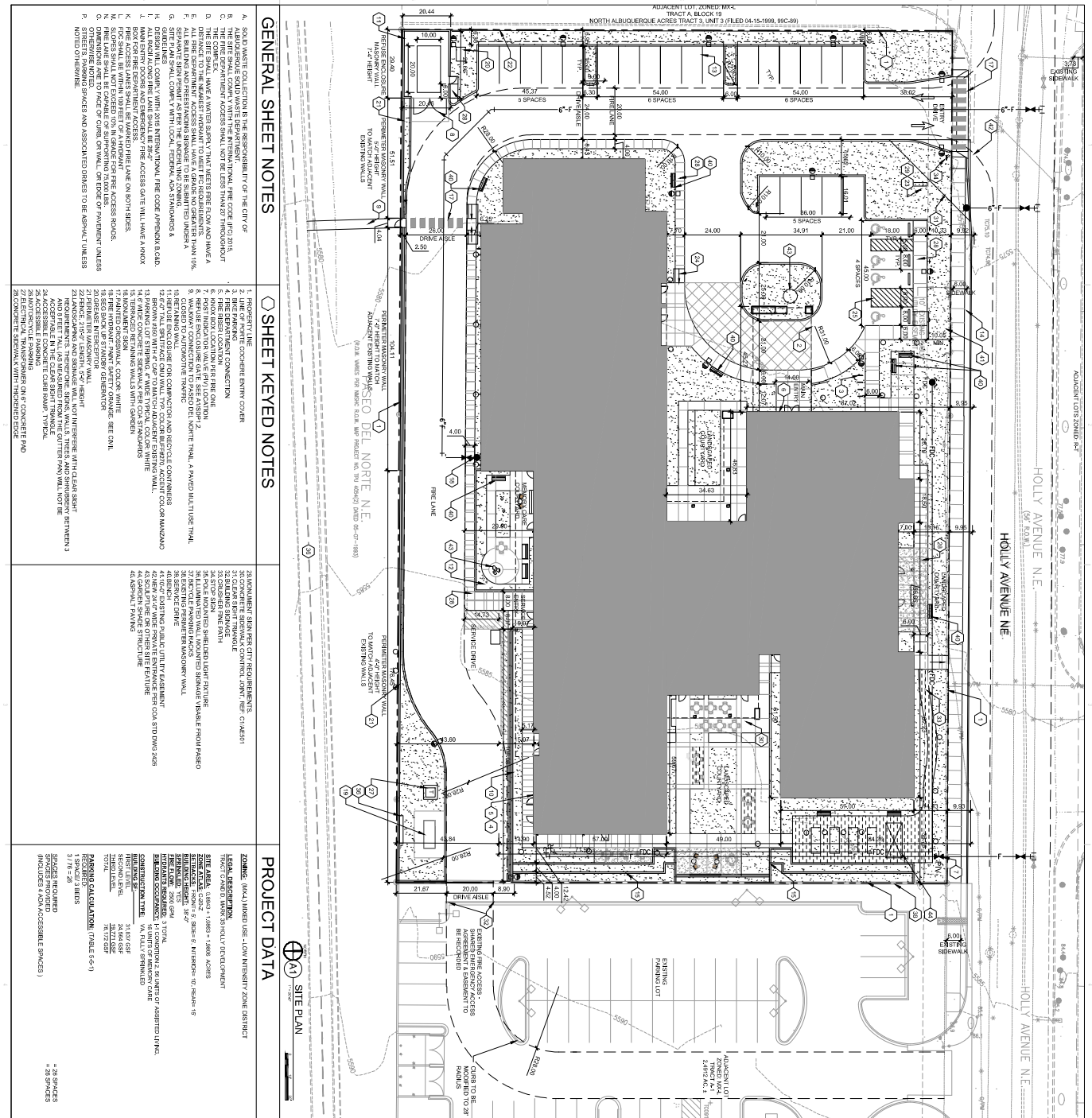
PROJECT

DATE 08/28/2018

PROJECT NO. 18-0008

ISSUE PURPOSE

SDP APPLICATION



- ### GENERAL SHEET NOTES
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE ZONING ORDINANCE AND THE CITY ENGINEERING DEPARTMENT. FINAL FIRE CODE (FC) 2015.
 2. THE FIRE DEPARTMENT ACCESS SHALL NOT BE LESS THAN 20' THROUGHOUT THE ENTIRE SITE.
 3. THE SITE SHALL HAVE A WATER SUPPLY THAT MEETS FIRE FLOW AND HAVE A PRESSURE OF AT LEAST 20 PSI AT ALL TIMES.
 4. ALL BUILDINGS AND STRUCTURES SHOWN TO BE SUBMITTED UNDER A PERMIT SHALL COMPLY WITH LOCAL, FEDERAL AND STANDARDS & REGULATIONS.
 5. DESIGN SHALL COMPLY WITH 2015 INTERNATIONAL FIRE CODE APPENDIX B AND I.
 6. MAIN ENTRANCE AND EXIT ACCESS SHALL HAVE A MINIMUM CLEARANCE OF 8'0" TO THE TOP OF THE DOOR OR WINDOW.
 7. ALL EXITS SHALL BE WITHIN 100 FEET OF AN EXTERIOR FIRE ACCESS SPACE.
 8. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
 9. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
 10. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
 11. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
 12. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
 13. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
 14. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
 15. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
 16. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
 17. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
 18. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
 19. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
 20. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
 21. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
 22. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
 23. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
 24. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
 25. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
 26. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
 27. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
 28. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
 29. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
 30. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.

- ### SHEET KEYED NOTES
1. PROPERTY LINE
 2. FIRE DEPARTMENT ACCESS
 3. FIRE DEPARTMENT ACCESS
 4. FIRE DEPARTMENT ACCESS
 5. FIRE DEPARTMENT ACCESS
 6. FIRE DEPARTMENT ACCESS
 7. FIRE DEPARTMENT ACCESS
 8. FIRE DEPARTMENT ACCESS
 9. FIRE DEPARTMENT ACCESS
 10. FIRE DEPARTMENT ACCESS
 11. FIRE DEPARTMENT ACCESS
 12. FIRE DEPARTMENT ACCESS
 13. FIRE DEPARTMENT ACCESS
 14. FIRE DEPARTMENT ACCESS
 15. FIRE DEPARTMENT ACCESS
 16. FIRE DEPARTMENT ACCESS
 17. FIRE DEPARTMENT ACCESS
 18. FIRE DEPARTMENT ACCESS
 19. FIRE DEPARTMENT ACCESS
 20. FIRE DEPARTMENT ACCESS
 21. FIRE DEPARTMENT ACCESS
 22. FIRE DEPARTMENT ACCESS
 23. FIRE DEPARTMENT ACCESS
 24. FIRE DEPARTMENT ACCESS
 25. FIRE DEPARTMENT ACCESS
 26. FIRE DEPARTMENT ACCESS
 27. FIRE DEPARTMENT ACCESS
 28. FIRE DEPARTMENT ACCESS
 29. FIRE DEPARTMENT ACCESS
 30. FIRE DEPARTMENT ACCESS

- ### PROJECT DATA
- ZONING:** (M4) MIXED USE - LOW INTENSITY ZONE DISTRICT
- LEGAL DESCRIPTION:** FROM CORNER OF HOLLY DEVELOPMENT
- SITE AREA:** 1.8843 ± 1.8843 ± 1.8843 ACRES
- LOT AREA:** 1.8843 ± 1.8843 ± 1.8843 ACRES
- LOT DIMENSIONS:** 30' x 62' x 30' x 62'
- PLANNING:** 41 - CONDOMINIUMS & 26 UNITS OF ASSISTED LIVING
- CONSTRUCTION:** 11/15/17 - 11/15/17
- PERMITS:** 24545 ASP
- RECORDING:** 11/15/17
- TOTAL:** 11/15/17
- DATE:** 11/15/17
- PROJECT NO.:** SDP1.1
- DATE:** 11/15/17
- SPACES REQUIRED:** 28 SPACES
- INDICATED BY:** 28 SPACES

LEGEND

	LANDSCAPE AREA
	STABLED CHILDREN'S PARKING
	FIRE DEPARTMENT ACCESS LINE (ELEMENT AS NOTED)
	PROPERTY LINE
	FIRE HYDRANT
	FIRE DEPARTMENT SET BACK LINE
	EASEMENT LINE
	6' WIDE PAINTED CURB WALK
	6' WIDE PAINTED CURB WALK
	FIRE DEPARTMENT CONNECTION
	ACCESSIBLE PARKING ONLY SIGN
	ADA PARKING

VICINITY MAP

PROJECT NO. _____

APPLICATION NO. _____

DATE: _____

TRAFFIC ENGINEERING: _____

TRANSPORTATION DIVISION: _____

DATE: _____

APPROVAL: _____

DATE: _____

PARKS & RECREATION DEPARTMENT: _____

DATE: _____

CITY ENGINEER/HYDROLOGY: _____

DATE: _____

ENVIRONMENTAL HEALTH (CONDITIONAL): _____

DATE: _____

SOLID WASTE MANAGEMENT: _____

DATE: _____

DBS CHAIRPERSON PLANNING DEPT.: _____

DATE: _____

CODE ENFORCEMENT: _____

DATE: _____

GENERAL SHEET NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE ZONING ORDINANCE AND THE CITY ENGINEERING DEPARTMENT. FINAL FIRE CODE (FC) 2015.
2. THE FIRE DEPARTMENT ACCESS SHALL NOT BE LESS THAN 20' THROUGHOUT THE ENTIRE SITE.
3. THE SITE SHALL HAVE A WATER SUPPLY THAT MEETS FIRE FLOW AND HAVE A PRESSURE OF AT LEAST 20 PSI AT ALL TIMES.
4. ALL BUILDINGS AND STRUCTURES SHOWN TO BE SUBMITTED UNDER A PERMIT SHALL COMPLY WITH LOCAL, FEDERAL AND STANDARDS & REGULATIONS.
5. DESIGN SHALL COMPLY WITH 2015 INTERNATIONAL FIRE CODE APPENDIX B AND I.
6. MAIN ENTRANCE AND EXIT ACCESS SHALL HAVE A MINIMUM CLEARANCE OF 8'0" TO THE TOP OF THE DOOR OR WINDOW.
7. ALL EXITS SHALL BE WITHIN 100 FEET OF AN EXTERIOR FIRE ACCESS SPACE.
8. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
9. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
10. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
11. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
12. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
13. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
14. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
15. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
16. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
17. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
18. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
19. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
20. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
21. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
22. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
23. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
24. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
25. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
26. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
27. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
28. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
29. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.
30. FIRE DEPARTMENT ACCESS SHALL BE CLEAR AND UNOBSTRUCTED.

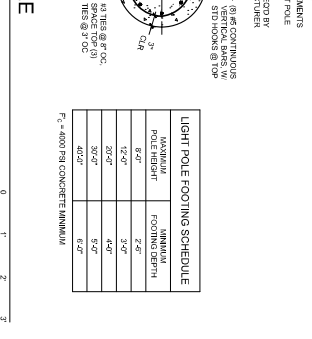
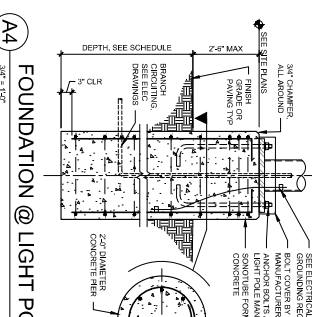
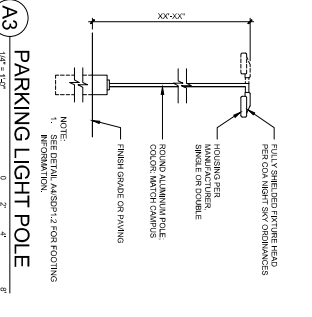
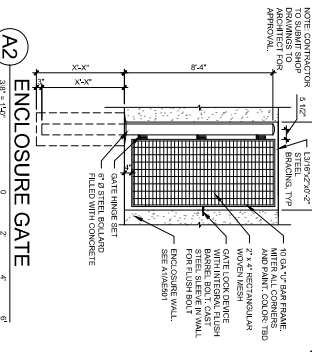
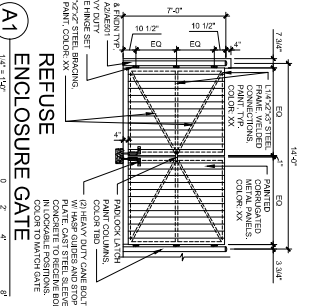
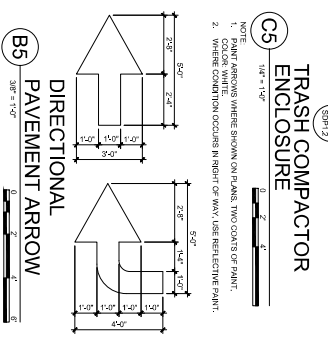
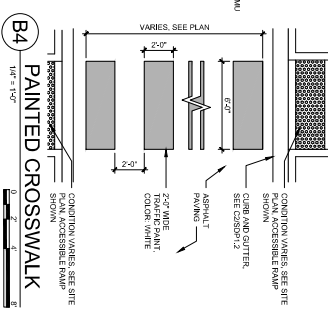
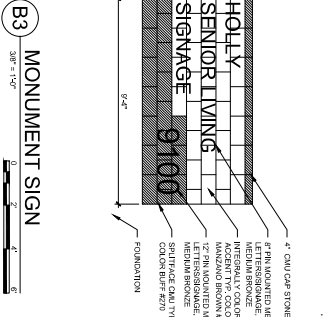
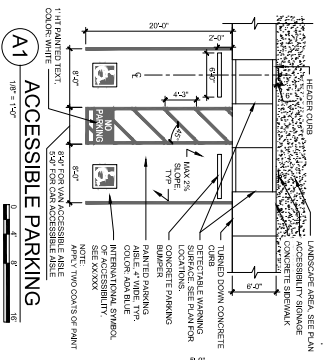
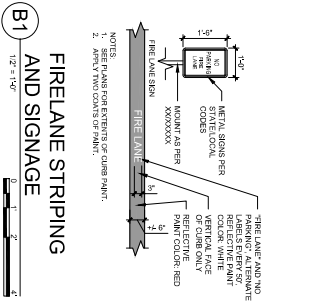
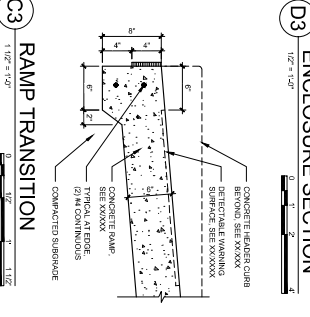
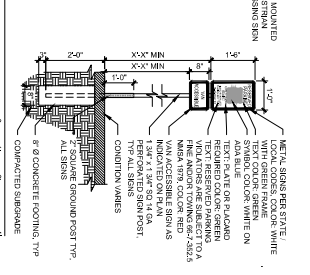
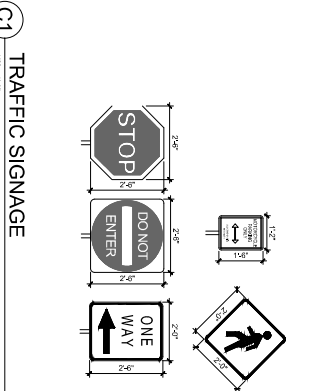
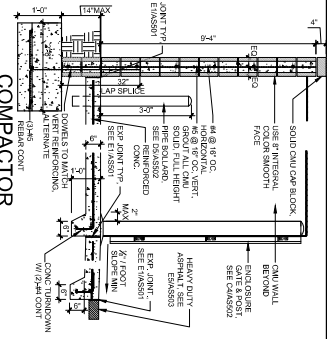
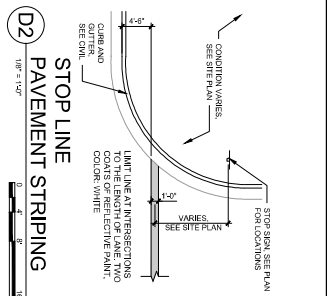
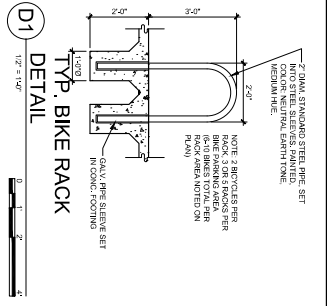
DEKKER PERICH SABATINI

7601 ALBUQUERQUE NE, SUITE 100
ALBUQUERQUE, NM 87119
505.761.9702 / 980.932.1245

PROJECT: HOLLY SENIOR LIVING

DATE: 11/15/17

PROJECT NO: SDP1.1

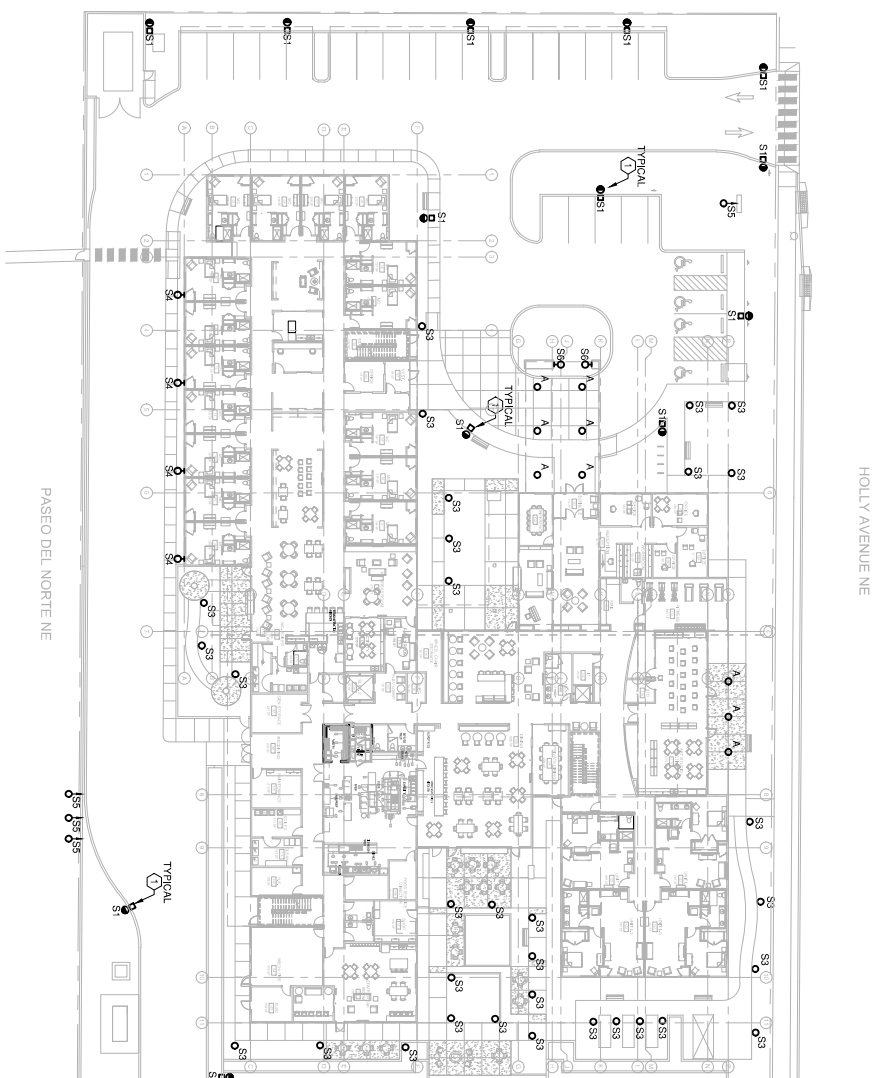


DEKKER PERICH SABATINI
 ENGINEERS / ARCHITECTS / INTERIORS

7601 ALBUQUERQUE BL. SUITE 100
 ALBUQUERQUE, NM 87150
 505.761.9700 / 505.761.9705

HOLLY AVENUE SENIOR LIVING
 9300 HOLLY AVENUE NORTHEAST
 ALBUQUERQUE, NEW MEXICO 87122

SDP1.2
 DRAWING NO. 08-28-2018
 PROJECT NO. 18-0018
 DATE 08-28-2018
 DESIGNED BY JPM
 DRAWING NAME SITE DETAILS

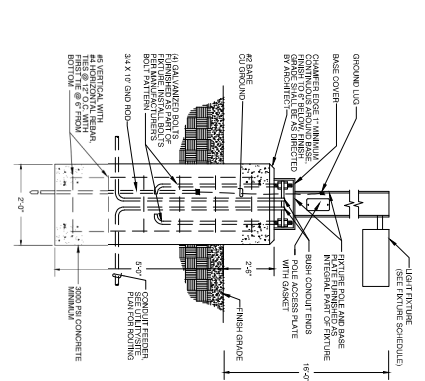


CI ELECTRICAL SITE LIGHTING PLAN

TYPE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	TYPE	LAMPS	INSTALLING INSTRUCTIONS	REMARKS
A	PORTFOLIO	#	RECESSED DOWN LIGHT IN SOFFIT	LED	S5	4,725	RECESSED
S1	INVALE	MSA-F06-LED-E-173-8Z	LED SITE LUMINAIRE TYPE III DISTRIBUTION ON 12" ROUND FINISH	LED	150	14,911	12 POLE - SEE DETAIL SHEET
S3			LED FOOTCANDLE LEVEL ILLUMINATION				
S4			LED ARCHITECTURAL WALL SCONCE				MOUNT ON BLDG AT 9' AFG
S5			LED SIGN LIGHT				
S6			LED SIGN LIGHT				MOUNT AT COORDE AT 9' AFG

FIXTURE SCHEDULE

- GENERAL SHEET NOTES**
- SITE LIGHTING POLE AND LUMINAIRE SHALL COMPLY WITH NEW MEXICO DARK SKIES ENFORCEMENT ACT AND THE CITY OF ALBUQUERQUE LIGHTING ORDINANCE.
 - PARKING LOTS SHALL BE ILLUMINATED TO A FOOTCANDLE AVERAGE MAINTAINED AND SHALL NOT EXCEED 4 FOOTCANDLES AVERAGE MAINTAINED.
 - SITE LIGHTING SHALL BE PERISTAL SITE AND SHALL NOT EXCEED 10 FT FROM THE GROUND LEVEL THE TOP OF THE LUMINAIRE.
- REFERENCE KEYNOTES**
- SITE LIGHTING POLE AND LUMINAIRE REFER TO THE FIXTURE SCHEDULE AND MOUNTING DETAIL THIS SHEET.



POLE BASE DETAIL FOR PARKING LUMINAIRES
1/8\"/>

INVALE
150
S1
08/20/18

MSA MESA LED
150
S1
08/20/18

GENERAL NOTES:
1. THE DRAWING SHALL BE USED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE LIGHTING ORDINANCE AND THE NEW MEXICO DARK SKIES ENFORCEMENT ACT.
2. ALL LIGHTING SHALL BE MAINTAINED TO THE CITY OF ALBUQUERQUE LIGHTING ORDINANCE AND THE NEW MEXICO DARK SKIES ENFORCEMENT ACT.
3. ALL LIGHTING SHALL BE MAINTAINED TO THE CITY OF ALBUQUERQUE LIGHTING ORDINANCE AND THE NEW MEXICO DARK SKIES ENFORCEMENT ACT.

MANUFACTURER'S INFORMATION:
MSA MESA LED
150
S1
08/20/18

INSTALLATION INSTRUCTIONS:
1. THE DRAWING SHALL BE USED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE LIGHTING ORDINANCE AND THE NEW MEXICO DARK SKIES ENFORCEMENT ACT.
2. ALL LIGHTING SHALL BE MAINTAINED TO THE CITY OF ALBUQUERQUE LIGHTING ORDINANCE AND THE NEW MEXICO DARK SKIES ENFORCEMENT ACT.

DEKKER PERICH SABATINI
7601 ALBUQUERQUE, NM 87119
505.741.9700 / DRS@DEKPER.COM

HOLLY AVENUE SENIOR LIVING
9300 HOLLY AVENUE NORTHEAST
ALBUQUERQUE, NEW MEXICO 87122

ENGINEER: JEFFERSON NE, SUITE 100
7601 ALBUQUERQUE, NM 87119
505.741.9700 / DRS@DEKPER.COM

ARCHITECT:

PROJECT:

AC ENGINEERING ENTERPRISES, LLC
1201 Alton Drive, SE
Albuquerque, New Mexico 87108
Phone: 505.842.5787
Fax: 505.842.5797

REVISIONS:

DRAWN BY:

REVISIONS BY:

DATE: 7-26-2018

PROJECT NO.: 18-0008

DRAWING NO.:

ELECTRICAL SITE LIGHTING PLAN

SDP1.3

CONCEPTUAL DRAINAGE NARRATIVE

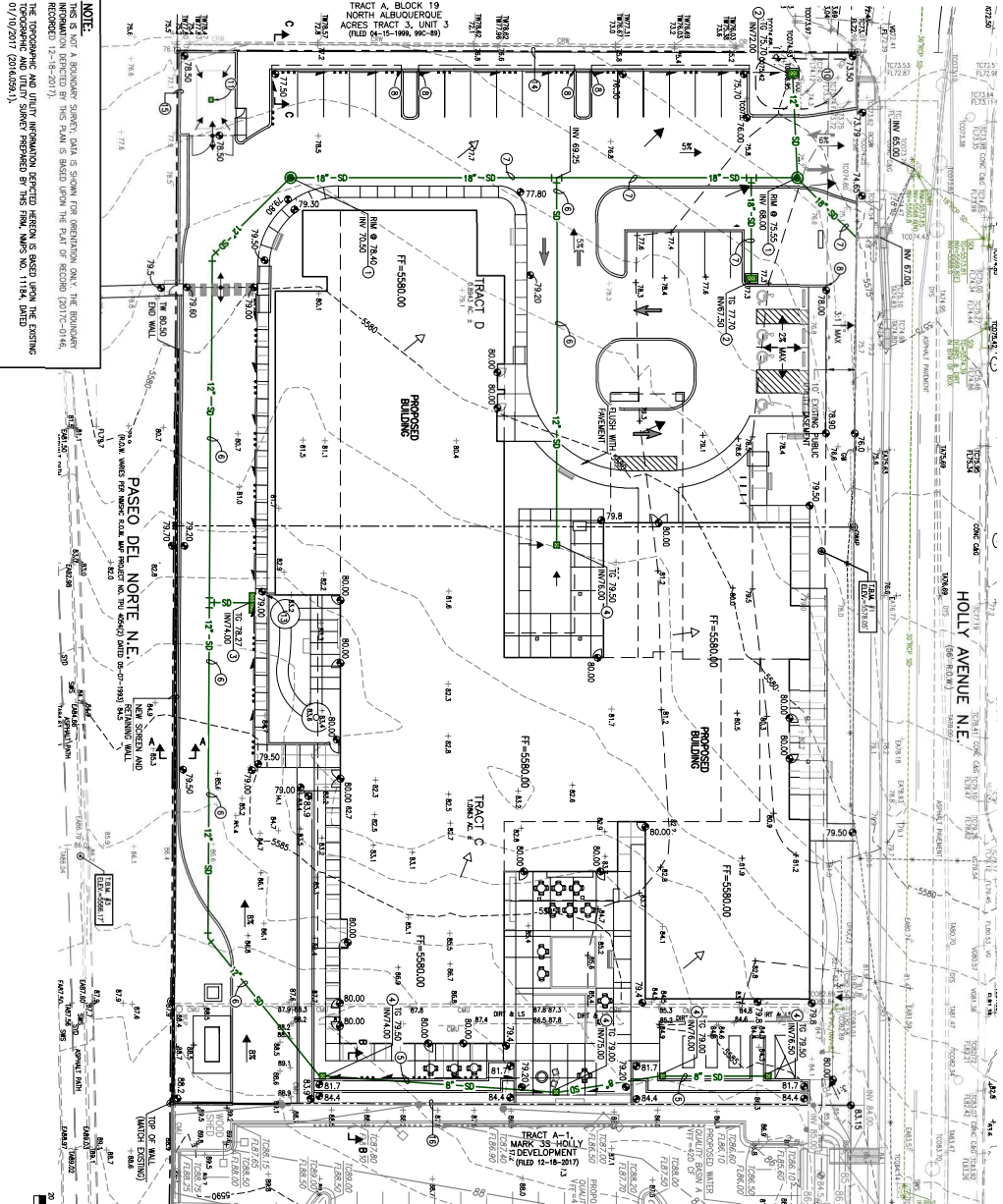
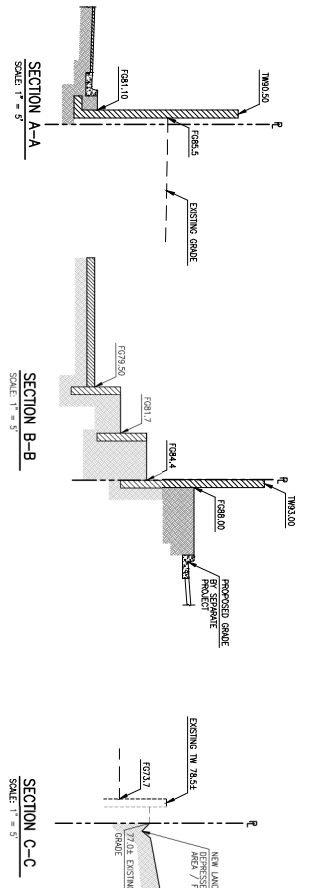
THIS PROJECT IS A NEW DEVELOPMENT ON AN UNDEVELOPED SITE THAT CONSISTS OF A NEW UNDEVELOPED AREA. THE SITE DRAWS FROM SOUTHWEST TO NORTHEAST TO HOLLY AVE NE. THE SITE MUST BE WITHIN A DESIGNATED FLOODPLAIN. THE PROPOSED PUBLIC STORM DRAINAGE FACILITIES IN HOLLY THAT WERE DESIGNED, SIZED AND CONSTRUCTED TO ACCEPT 4.68 CFS PER ACRE FROM THIS SITE BASED ON THE 100-YEAR FLOOD PROTECTION AND APPROXIMATE WINDSPEED STORM DRAIN EXTENSION (HMAC 12/08/2003) APPROVED BY EMM 03/27/2004.

DRAINAGE REPORT FOR LOS VALES SUBDIVISION (HMAC 12/31/2002, CD/04/1)

DRAINAGE AND GRADUATE PLAN FOR HEART ROCK OFFICE PARK (HMAC CD/04/1)

DRAINAGE AND GRADUATE PLAN FOR HOLLY PARK 35 DEVELOPMENT (HMAC 02/02/2007 AND 06/11/2015)

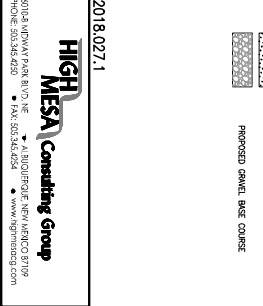
NOTE: SITE PLAN WILL BE SUBMITTED TO LANDSCAPE ARCHITECT FOR WATER QUALITY ASSESSMENT AND A PERMIT WILL BE MADE IN LEFT OF YETTING THE ENTIRE DEVELOPMENT. NO RESTRICTION FOR THE REQUIREMENT CONTROL IS REQUIRED OR PROPOSED BEYOND WHAT IS SHOWN ON THIS PLAN.



NOTE:

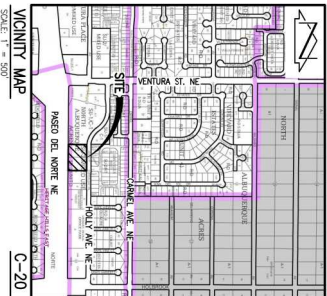
THIS IS NOT A BOUNDARY SURVEY. DATA IS SHOWN FOR INFORMATION ONLY. THE BOUNDARY INFORMATION IS BASED ON THE DATA FROM THE PLAN OF RECORD (18111-1814).

THE TOPOGRAPHIC AND UTILITY INFORMATION DEPICTED HEREON IS BASED UPON THE EXISTING 1/10/2017 (0485931).



- KEYED NOTES:**
- 1. CONSTRUCT 2' DIA. STORM DRAIN MANHOLE
 - 2. CONSTRUCT 2' DIA. STORM DRAIN INLET
 - 3. CONSTRUCT DOUBLE 2' DIA. STORM DRAIN INLET
 - 4. CONSTRUCT 24"x24" STORM DRAIN INLET
 - 5. INSTALL 18" WIDE STORM DRAIN
 - 6. INSTALL 18" WIDE STORM DRAIN
 - 7. NEW 12" CURB OPENING
 - 8. NEW 12" CURB OPENING
 - 9. DEPRESS UNDEVELOPED AREAS FOR WATER QUALITY
 - 10. DEPRESS DRAINAGE FOR CONCEPTUAL UTILITY
 - 11. NEW RETAINMENT WALL
 - 12. NEW RETAINMENT WALL
 - 13. NEW RETAINMENT WALL
 - 14. NEW RETAINMENT WALL
 - 15. NEW RETAINMENT WALL
 - 16. NEW RETAINMENT WALL
 - 17. NEW RETAINMENT WALL
 - 18. NEW RETAINMENT WALL
 - 19. NEW RETAINMENT WALL
 - 20. NEW RETAINMENT WALL
 - 21. NEW RETAINMENT WALL
 - 22. NEW RETAINMENT WALL
 - 23. NEW RETAINMENT WALL
 - 24. NEW RETAINMENT WALL
 - 25. NEW RETAINMENT WALL
 - 26. NEW RETAINMENT WALL
 - 27. NEW RETAINMENT WALL
 - 28. NEW RETAINMENT WALL
 - 29. NEW RETAINMENT WALL
 - 30. NEW RETAINMENT WALL
 - 31. NEW RETAINMENT WALL
 - 32. NEW RETAINMENT WALL
 - 33. NEW RETAINMENT WALL
 - 34. NEW RETAINMENT WALL
 - 35. NEW RETAINMENT WALL
 - 36. NEW RETAINMENT WALL
 - 37. NEW RETAINMENT WALL
 - 38. NEW RETAINMENT WALL
 - 39. NEW RETAINMENT WALL
 - 40. NEW RETAINMENT WALL
 - 41. NEW RETAINMENT WALL
 - 42. NEW RETAINMENT WALL
 - 43. NEW RETAINMENT WALL
 - 44. NEW RETAINMENT WALL
 - 45. NEW RETAINMENT WALL
 - 46. NEW RETAINMENT WALL
 - 47. NEW RETAINMENT WALL
 - 48. NEW RETAINMENT WALL
 - 49. NEW RETAINMENT WALL
 - 50. NEW RETAINMENT WALL

- LEGEND:**
- 1. NEW
 - 2. EXISTING
 - 3. TOP OF ASPHALT PAVEMENT
 - 4. TOP OF ASPHALT PAVEMENT
 - 5. TOP OF ASPHALT PAVEMENT
 - 6. EXISTING SPOT ELEVATION
 - 7. EXISTING SPOT ELEVATION
 - 8. EXISTING SPOT ELEVATION
 - 9. EXISTING SPOT ELEVATION
 - 10. EXISTING SPOT ELEVATION
 - 11. EXISTING SPOT ELEVATION
 - 12. EXISTING SPOT ELEVATION
 - 13. EXISTING SPOT ELEVATION
 - 14. EXISTING SPOT ELEVATION
 - 15. EXISTING SPOT ELEVATION
 - 16. EXISTING SPOT ELEVATION
 - 17. EXISTING SPOT ELEVATION
 - 18. EXISTING SPOT ELEVATION
 - 19. EXISTING SPOT ELEVATION
 - 20. EXISTING SPOT ELEVATION
 - 21. EXISTING SPOT ELEVATION
 - 22. EXISTING SPOT ELEVATION
 - 23. EXISTING SPOT ELEVATION
 - 24. EXISTING SPOT ELEVATION
 - 25. EXISTING SPOT ELEVATION
 - 26. EXISTING SPOT ELEVATION
 - 27. EXISTING SPOT ELEVATION
 - 28. EXISTING SPOT ELEVATION
 - 29. EXISTING SPOT ELEVATION
 - 30. EXISTING SPOT ELEVATION
 - 31. EXISTING SPOT ELEVATION
 - 32. EXISTING SPOT ELEVATION
 - 33. EXISTING SPOT ELEVATION
 - 34. EXISTING SPOT ELEVATION
 - 35. EXISTING SPOT ELEVATION
 - 36. EXISTING SPOT ELEVATION
 - 37. EXISTING SPOT ELEVATION
 - 38. EXISTING SPOT ELEVATION
 - 39. EXISTING SPOT ELEVATION
 - 40. EXISTING SPOT ELEVATION
 - 41. EXISTING SPOT ELEVATION
 - 42. EXISTING SPOT ELEVATION
 - 43. EXISTING SPOT ELEVATION
 - 44. EXISTING SPOT ELEVATION
 - 45. EXISTING SPOT ELEVATION
 - 46. EXISTING SPOT ELEVATION
 - 47. EXISTING SPOT ELEVATION
 - 48. EXISTING SPOT ELEVATION
 - 49. EXISTING SPOT ELEVATION
 - 50. EXISTING SPOT ELEVATION



HIGH MESA Consulting Group

6016 WINDY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109
 PHONE: 505.356.4329 • FAX: 505.356.5024 • www.highmesa.com

2018.027.1

PROJECT NO. 180271

DATE: September 2018

DRAWING NO. 1540038

DESIGNED BY: J.T.R.

REVIEWED BY: G.M.

DATE: September 2018

PROJECT NO. 180271

DRAWING NO. 1540038

DATE: September 2018

PROJECT NO. 180271

DRAWING NO. 1540038

HOLLY SENIOR LIVING

9100 HOLLY AVE NE
 ALBUQUERQUE, NM

PROJECT: 141 OF 825

SCALE: 1" = 500'

DATE: 9/19/2018

DEKKER PERICH SABATINI

ARCHITECTURE / DESIGN / INSPIRATION

7607 JEFFERSON NE, SUITE 100
 ALBUQUERQUE, NM 87109
 505.761.9700 / DRSPRISON.ORG

ENGINEER: [Seal]

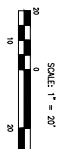
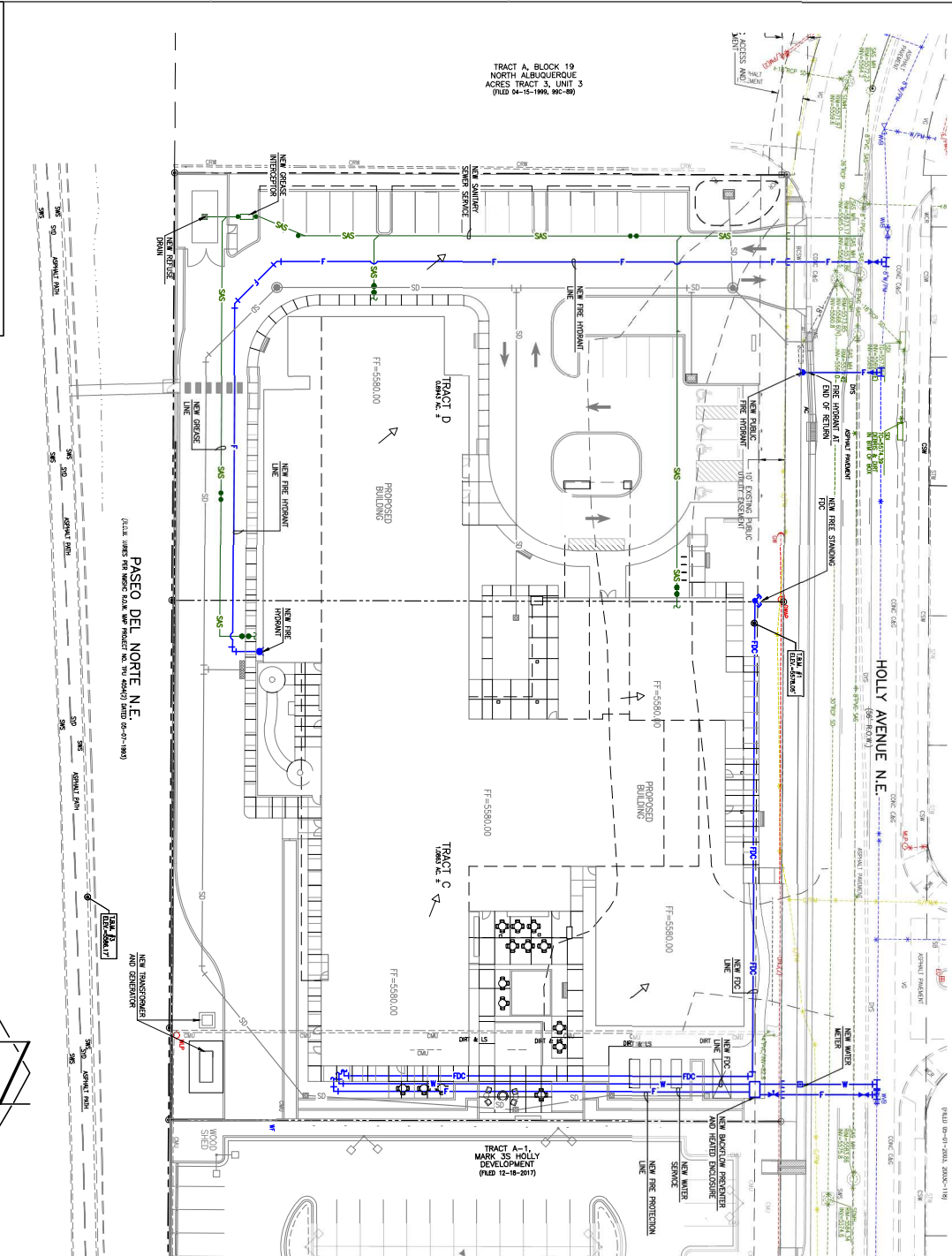
PROJECT: 141 OF 825

DATE: 9/19/2018

SDP 3.1

CONCEPTUAL GRADING AND DRAINAGE PLAN

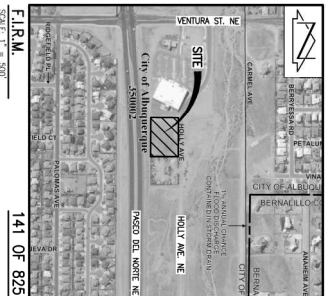
NOTE:
 THIS IS NOT A BUILDING SURVEY. DATA IS SHOWN FOR INFORMATION ONLY. THE BUILDING SURVEY INFORMATION HAS BEEN OBTAINED FROM THE CITY OF ALBUQUERQUE RECORDS (17-18-2017). THE TOPOGRAPHIC AND UTILITY INFORMATION DEPICTED HEREON IS BASED UPON THE EXISTING DATA AS OF 10/10/2017 (DATE OF SURVEY).



2016.027.1
HIGH MESA Consulting Group
 8700 WINDY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109
 PHONE: 505.253.4329 • FAX: 505.253.6224 • www.highmesa.com

LEGEND:

	PROPOSED STORM DRAIN
	PROPOSED SANITARY MANHOLE
	EXISTING STORM DRAIN MANHOLE
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	PROPOSED FIRE CONNECTION
	EXISTING FIRE LINE
	PROPOSED FIRE LINE
	EXISTING POST INDICATOR VALVE
	PROPOSED POST INDICATOR VALVE
	EXISTING WATER SERVICE
	PROPOSED WATER SERVICE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	PROPOSED SINGLE CLEANOUT
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED DOUBLE CLEANOUT
	PROPOSED PROPERTY LINE
	PROPOSED CONCRETE
	PROPOSED ASPHALT PAVING
	PROPOSED LANDSCAPE AREA
	PROPOSED GRAVEL BASE COURSE



SHEET NO.
SDP 4.1
 OF

HOLLY SENIOR LIVING
 9100 HOLLY AVE NE
 ALBUQUERQUE, NM

PROJECT: 9/19/2018

ENGINEER: [Signature]

7607 JEFFERSON NE, SUITE 100
 ALBUQUERQUE, NM 87109
 505.761.9700 / DJS@PERICH.COM

ARCHITECTURE / DESIGN / INSPIRATION

DEKKER PERICH SABATINI

REVISIONS

△	DATE	BY	DESCRIPTION
△	September 2018	G.M.	
△	September 2018	J.M.	
△	September 2018	J.M.	

APPROVED BY: [Signature]

DATE: September 2018

DRAWING NO.: 180271-008

PROJECT NO.: SDP 4.1

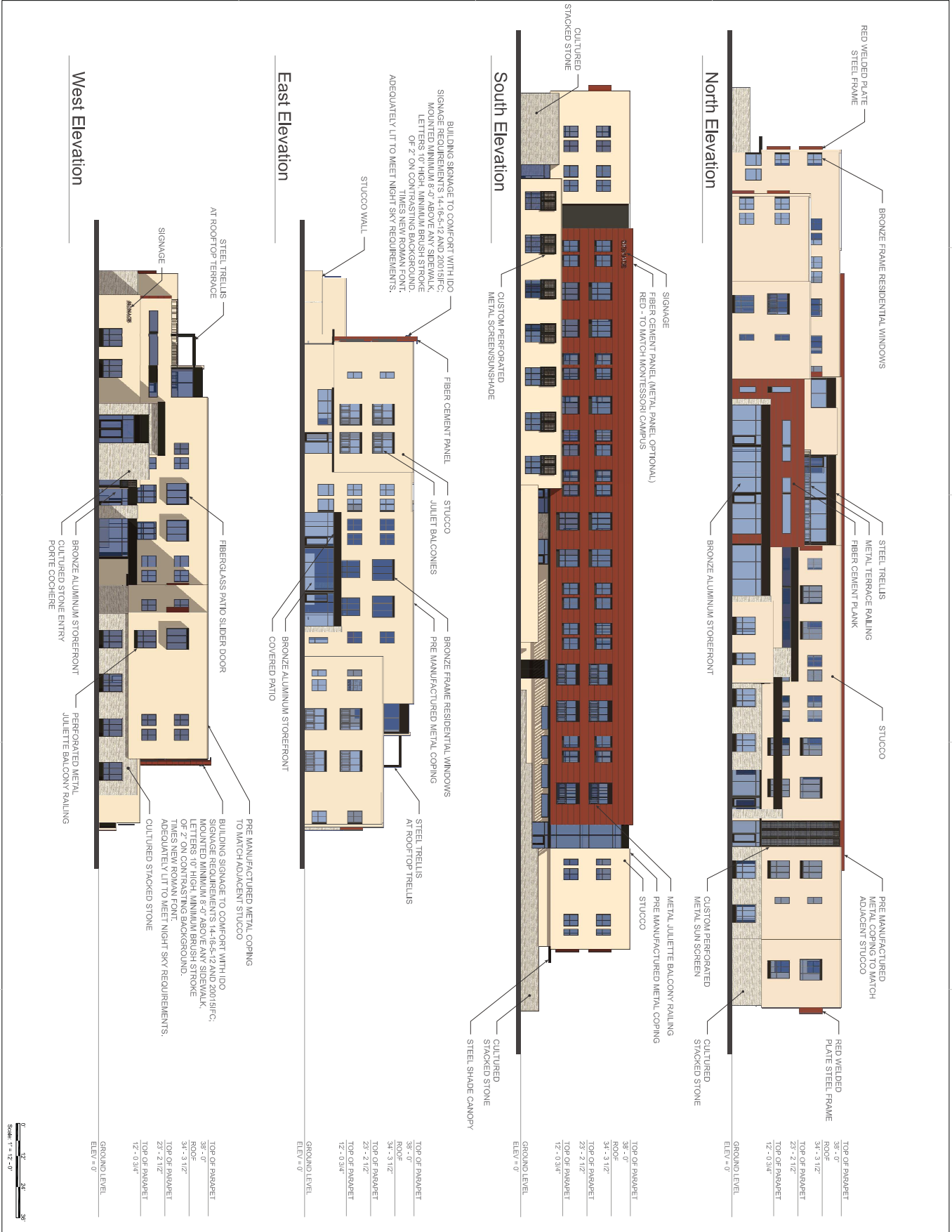
HOLLY SENIOR LIVING
9100 HOLLY AVE NE
ALBUQUERQUE, NM

NOV 15/2018	REVISED
OCT 15/2018	REVISED
SEP 15/2018	REVISED
AUG 15/2018	REVISED
JUL 15/2018	REVISED
JUN 15/2018	REVISED
MAY 15/2018	REVISED
APR 15/2018	REVISED
MAR 15/2018	REVISED
FEB 15/2018	REVISED
JAN 15/2018	REVISED

DATE	08/20/2018
PROJECT NO.	19-0038
DRAWN BY	MAH
CHECKED BY	MAH
SCALE	1" = 12'-0"

**EXTERIOR
BUILDING
ELEVATION**

SDP5.1



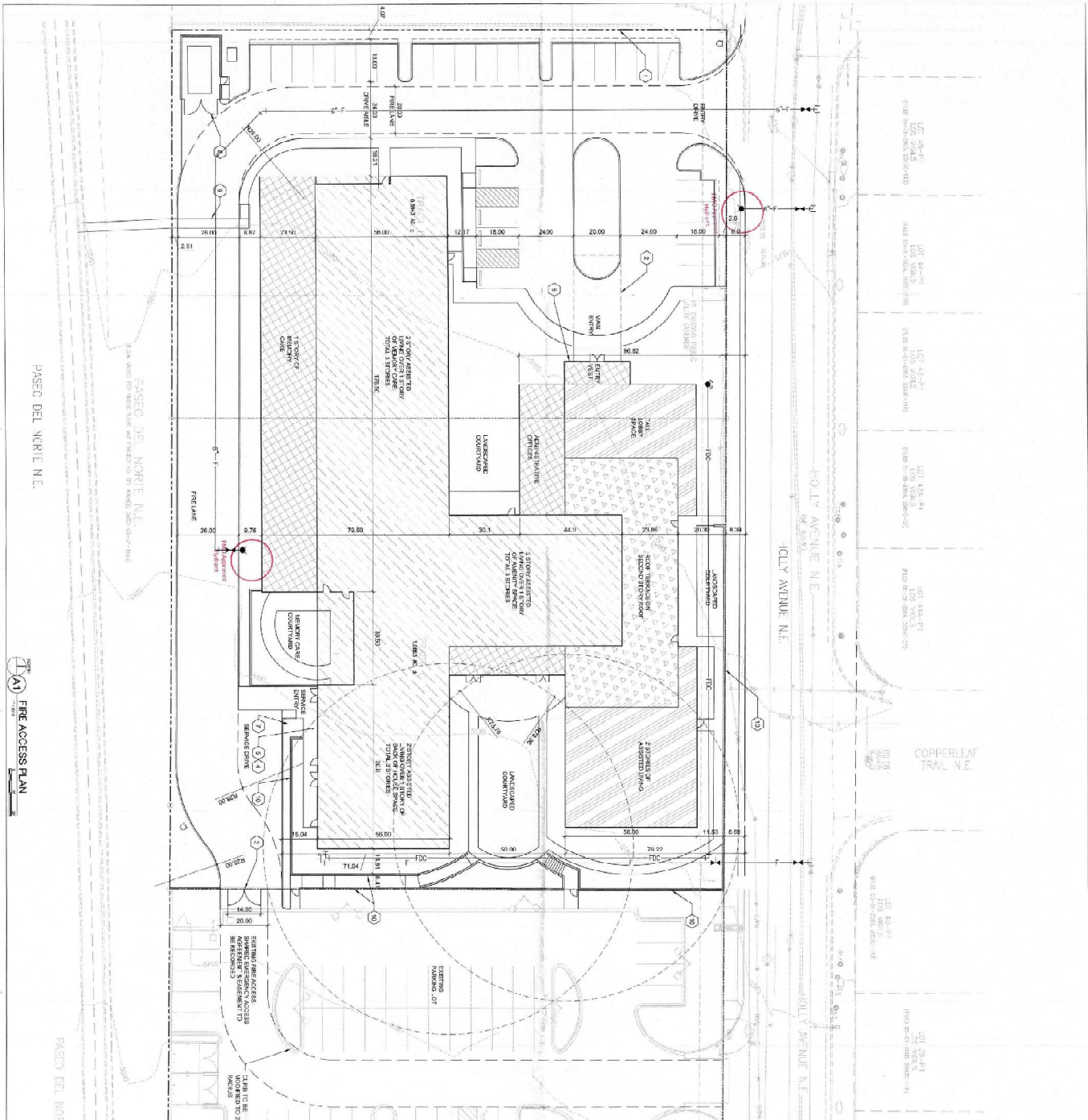
North Elevation

South Elevation

East Elevation

West Elevation





GENERAL SHEET NOTES

- A. SITE PLAN SHALL SHOW ALL EXISTING AND PROPOSED FIRE LINES.
- B. FIRE LINES SHALL BE SHOWN AT 1/4" TO 1/2" SCALE.
- C. ALL FIRE LINES SHALL BE SHOWN WITH 1/4" TO 1/2" SCALE.
- D. ALL FIRE LINES SHALL BE SHOWN WITH 1/4" TO 1/2" SCALE.
- E. FIRE ACCESS LINES SHALL BE Labeled FIRE LANE IN BOTH DIRECTIONS.
- F. FIRE LINES SHALL BE COMPATIBLE WITH EXISTING FIRE LINES.
- G. FIRE LINES SHALL BE COMPATIBLE WITH EXISTING FIRE LINES.
- H. FIRE LINES SHALL BE COMPATIBLE WITH EXISTING FIRE LINES.

SHEET KEYED NOTES

- 1. PROPERTY LINE
- 2. LINE OF FRONT COORDED ENTRY CORNER
- 3. FIRE RESISTANT WALL
- 4. FIRE RESISTANT WALL
- 5. FIRE RESISTANT WALL
- 6. FIRE RESISTANT WALL
- 7. FIRE RESISTANT WALL
- 8. FIRE RESISTANT WALL
- 9. FIRE RESISTANT WALL
- 10. FIRE RESISTANT WALL

SITE DATA

PROJECT: HOLLY SENIOR LIVING
 ADDRESS: 9100 HOLLY AVENUE NE, ALBUQUERQUE, NM
 LEGAL DESCRIPTION: 0.0772 AC. COMM. RES. SUBDIVISION, LOTS 18-19

BUILDING DATA

BUILDING OCCUPANCY: CLASSIFICATION 2, 331 UNITS OF ASSISTED LIVING, 18 UNITS OF ASSISTED DVA
 CONSTRUCTION TYPE: TYPE I, FULLY SPRINKLED
 BUILDING SE: 14, 20, 25, 30, 35, 40, 45, 50, 55, 60, 65, 70, 75, 80, 85, 90, 95, 100
 BUILDING HEIGHT: 5.0 FT.
 BUILDING AREA: 100,000 SQ. FT.
 BUILDING TYPE: 100,000 SQ. FT.

LEGEND

- 1. FIRE LANE
- 2. FIRE LANE
- 3. FIRE LANE
- 4. FIRE LANE
- 5. FIRE LANE
- 6. FIRE LANE
- 7. FIRE LANE
- 8. FIRE LANE
- 9. FIRE LANE
- 10. FIRE LANE

ARCHITECT: DEKKER PERICH SABATINI
 PROJECT: HOLLY SENIOR LIVING, 9100 HOLLY AVENUE NE, ALBUQUERQUE, NM 87117
 SHEET NO. FIRE ONE
 DATE: 07/22/2016
 PROJECT NO. 16-2038
 DRAWN BY: MUI
 REVIEWED BY: MUI
 PROJECT NO. 16-2038