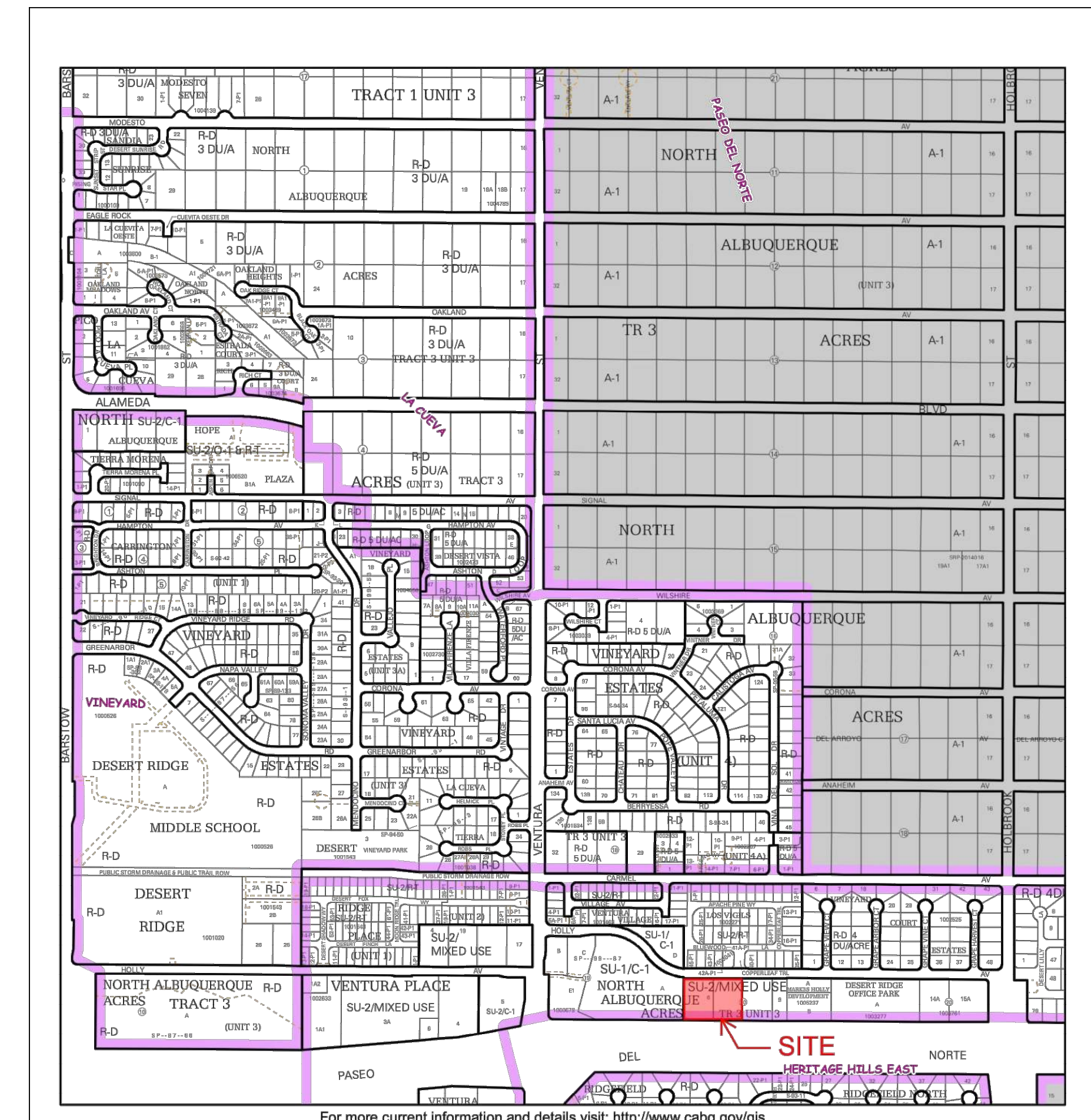


## DRAWING INDEX

SDP 1-1	SITE PLAN
SDP 1-2	SITE DETAILS
SDP 1-3	ELECTRICAL SITE LIGHTING PLAN
SDP 2-1	LANDSCAPE PLAN
SDP 3-1	GRADING AND DRAINAGE
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SDP 4-1	SITE UTILITIES
SDP 5-1	EXTERIOR BUILDING ELEVATIONS
SDP 6-1	FIRE ONE



## VICINITY MAP



ENGINEER

PROJECT

# HOLLY AVENUE SENIOR LIVING

PROJECT TEAM

**OWNER/BUILDER**

MARK 3S, INC.  
6501 WYOMING BLVD. NE  
ALBUQUERQUE, NM 87109  
PHONE: 505.220.7625

**ARCHITECTURAL/STRUCTURAL**

DEKKER/PERICH/SABATINI, LTD.  
7601 JEFFERSON ST. NE, SUITE 100  
ALBUQUERQUE, NM 87109  
PHONE: 505.761.9700

**CIVIL**

HIGH MESA CONSULTING GROUP  
6010-B MIDWAY PARK BLVD. NE  
ALBUQUERQUE, NM 87109  
PHONE: 505.345.4250

**MECHANICAL /PLUMBING**

ARSED ENGINEERING GROUP, LLC  
4700 LINCOLN ROAD NE  
ALBUQUERQUE, NM 87109  
PHONE: 505.761.3100

**ELECTRICAL**

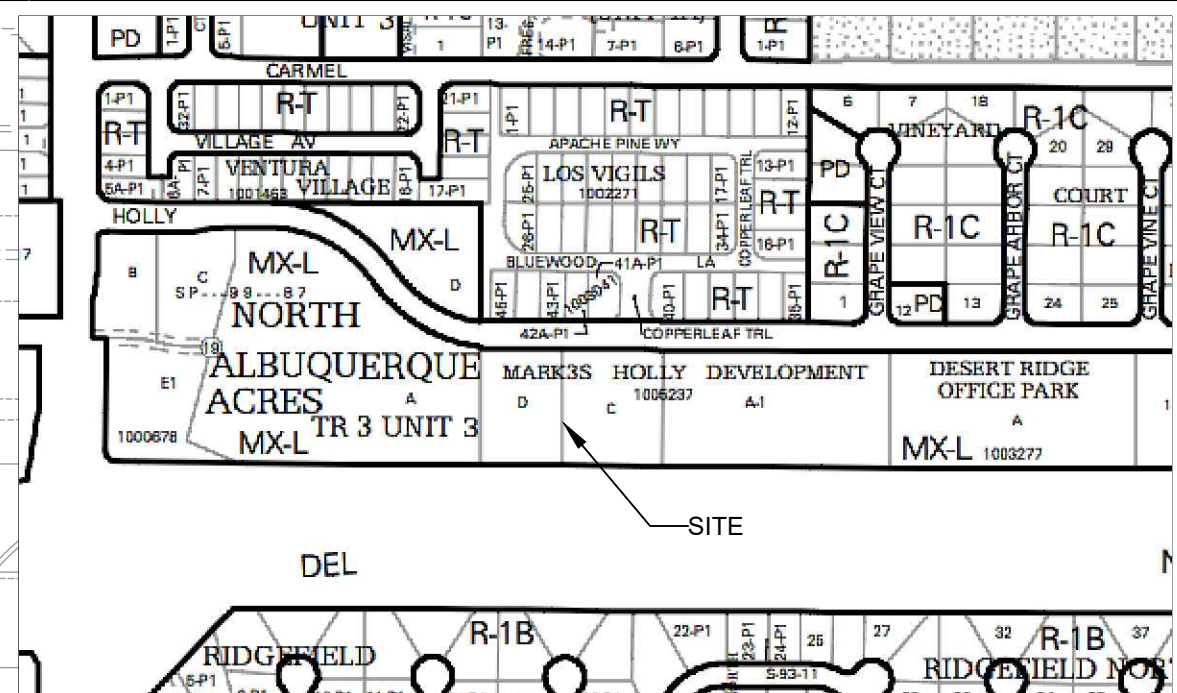
AC ENGINEERING ENTERPRISES, LLC.  
120 ALISO DR. SE  
ALBUQUERQUE, NM 87108  
PHONE: 505.842.5787

DATE 09/28/2018

PROJECT NO. 18-0038

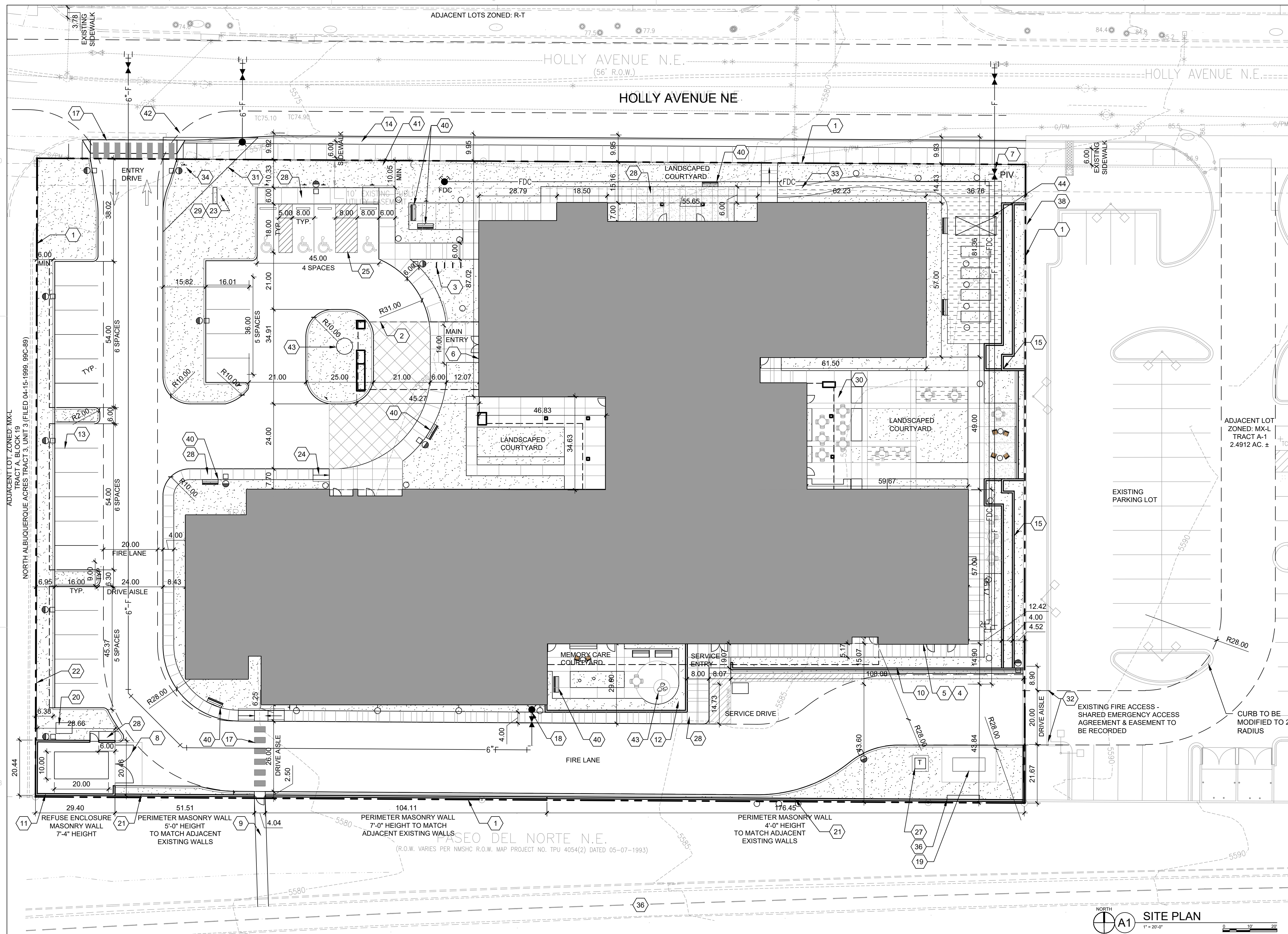
ISSUE PURPOSE

**SDP  
APPLICATION**



**VICINITY MAP** PARTIAL ZONE MAP # C-20-Z

PROJECT NO.	DATE:
APPLICATION NO.	DATE:
IS AN APPROVED INFRASTRUCTURE LIST REQUIRED? [ ] YES [ ] NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
DRB SITE DEVELOPMENT PLAN APPROVAL:	
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE:
ABCWUA	DATE:
PARKS & RECREATION DEPARTMENT	DATE:
CITY ENGINEER/HYDROLOGY	DATE:
ENVIRONMENTAL HEALTH (CONDITIONAL)	DATE:
SOLID WASTE MANAGEMENT	DATE:
DRB CHAIRPERSON, PLANNING DEPT.	DATE:
CODE ENFORCEMENT	DATE:



**A1 SITE PLAN**  
1" = 20'-0"

**GENERAL SHEET NOTES**

- A. SOLID WASTE COLLECTION IS THE RESPONSIBILITY OF THE CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT.
- B. THE SITE SHALL COMPLY WITH THE INTERNATIONAL FIRE CODE (IFC) 2015.
- C. THE FIRE DEPARTMENT ACCESS SHALL NOT BE LESS THAN 20' THROUGHOUT THE COMPLEX.
- D. THE SITE SHALL HAVE A WATER SUPPLY THAT MEETS FIRE FLOW AND HAVE A DISTANCE TO THE NEAREST HYDRANT TO MEET IFC REQUIREMENTS.
- E. ALL FIRE DEPARTMENT ACCESS SHALL HAVE A GRADE NO GREATER THAN 10%.
- F. ALL BUILDING AND FREESTANDING SIGNAGE TO BE SUBMITTED UNDER A SEPARATE SIGN PERMIT AS PER THE UNDERLYING ZONING.
- G. SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL ADA STANDARDS & GUIDELINES
- H. DESIGN WILL COMPLY WITH 2015 INTERNATIONAL FIRE CODE APPENDIX B.C&D.
- I. ALL RADII ALONG FIRE LANE SHALL BE 28'-0"
- J. MAIN ENTRY DOORS AND EMERGENCY FIRE ACCESS GATE WILL HAVE A KNOX BOX FOR FIRE DEPARTMENT ACCESS
- K. FIRE ACCESS LANES SHALL BE MARKED FIRE LANE ON BOTH SIDES.
- L. FDC SHALL BE WITHIN 100 FEET OF A HYDRANT
- M. SLOPES SHALL NOT EXCEED 10% IN GRADE FOR FIRE ACCESS ROADS.
- N. FIRE LANE SHALL BE CAPABLE OF SUPPORTING 75,000 LBS.
- O. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED
- P. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.

**SHEET KEYED NOTES**

- 1. PROPERTY LINE
- 2. LINE OF PORTE COCHERE ENTRY COVER
- 3. BIKE PARKING
- 4. FIRE DEPARTMENT CONNECTION
- 5. FIRE RISER LOCATION
- 6. KNOX BOX LOCATION PER FIRE ONE
- 7. POST INDICATOR VALVE (PIV) LOCATION
- 8. REFUSE ENCLOSURE GATE. SEE A1/SDP1.2
- 9. WALKWAY CONNECTION TO PASEO DEL NORTE TRAIL, A PAVED MULTI USE TRAIL CLOSED TO AUTOMOTIVE TRAFFIC
- 10. RETAINING WALL
- 11. REFUSE ENCLOSURE FOR COMPACTOR AND RECYCLE CONTAINERS
- 12. 6'-0" TALL SPLITFACE CMU WALL TYP. COLOR BUFF#270. ACCENT COLOR MANZANO BROWN #350 WITH 4" CAP TO MATCH ADJACENT EXISTING WALL.
- 13. PARKING LOT STRIPING, 4" WIDE TYPICAL, COLOR: WHITE
- 14. 6" WIDE CONCRETE SIDEWALK PER COA STANDARDS
- 15. TERRACED RETAINING WALLS WITH GARDEN
- 16. MONUMENT SIGN
- 17. PAINTED CROSSWALK, COLOR: WHITE
- 18. FIRE HYDRANT, PAINT SAFETY ORANGE. SEE CIVIL
- 19. SEG BACK UP STANDBY GENERATOR
- 20. GREASE INTERCEPTOR
- 21. PERIMETER MASONRY WALL
- 22. FENCE, 2'-15" LENGTH, 5'-0" HEIGHT
- 23. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
- 24. ACCESSIBLE CONCRETE CURB RAMP, TYPICAL
- 25. ACCESSIBLE PARKING
- 26. MOTORCYCLE PARKING
- 27. ELECTRICAL TRANSFORMER ON 6" CONCRETE PAD
- 28. CONCRETE SIDEWALK WITH THICKENED EDGE

**PROJECT DATA**

**ZONING:** (MX-L) MIXED USE - LOW INTENSITY ZONE DISTRICT

**LEGAL DESCRIPTION:**  
TRACT C AND D, MARK 35 HOLLY DEVELOPMENT

**SITE AREA:** 0.8943 + 1.0893 = 1.9836 ACRES  
**ZONE ATLAS:** C-20-Z  
**SETBACKS:** FRONT = 5', SIDE = 5', INTERIOR = 10', REAR = 15'  
**BUILDING HEIGHT:** 38'-0"  
**SPRINKLED:** YES  
**FIRE FLOW:** 2500 GPM  
**HYDRANTS REQUIRED:** 3 TOTAL  
**BUILDING OCCUPANCY:** I-1 CONDITION 2, 56 UNITS OF ASSISTED LIVING, 16 UNITS OF MEMORY CARE VA, FULLY SPRINKLED

**CONSTRUCTION TYPE:**  
**BUILDING SF:**  
FIRST LEVEL 31,837 GSF  
SECOND LEVEL 24,564 GSF  
THIRD LEVEL 19,771 GSF  
TOTAL 76,172 GSF

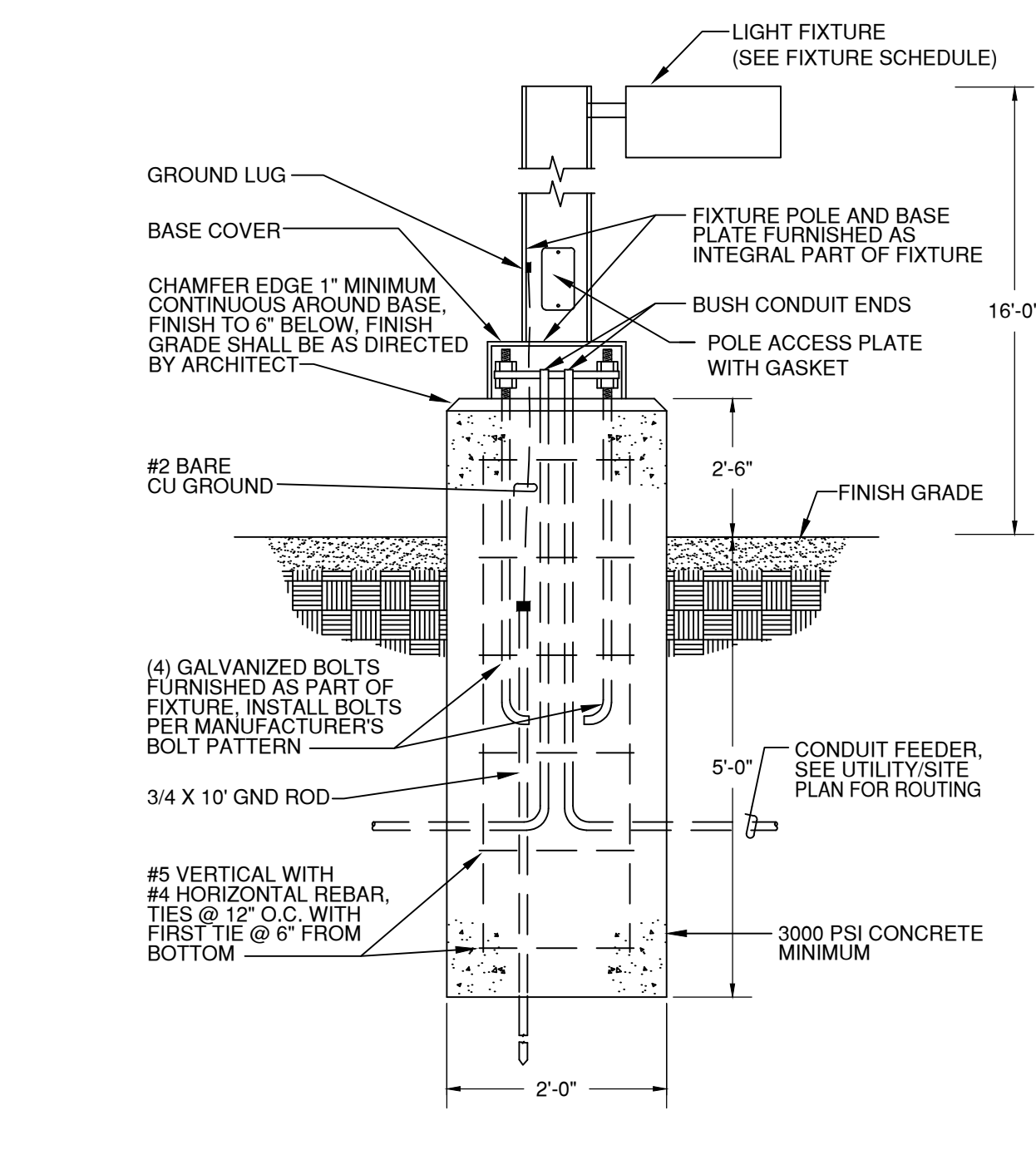
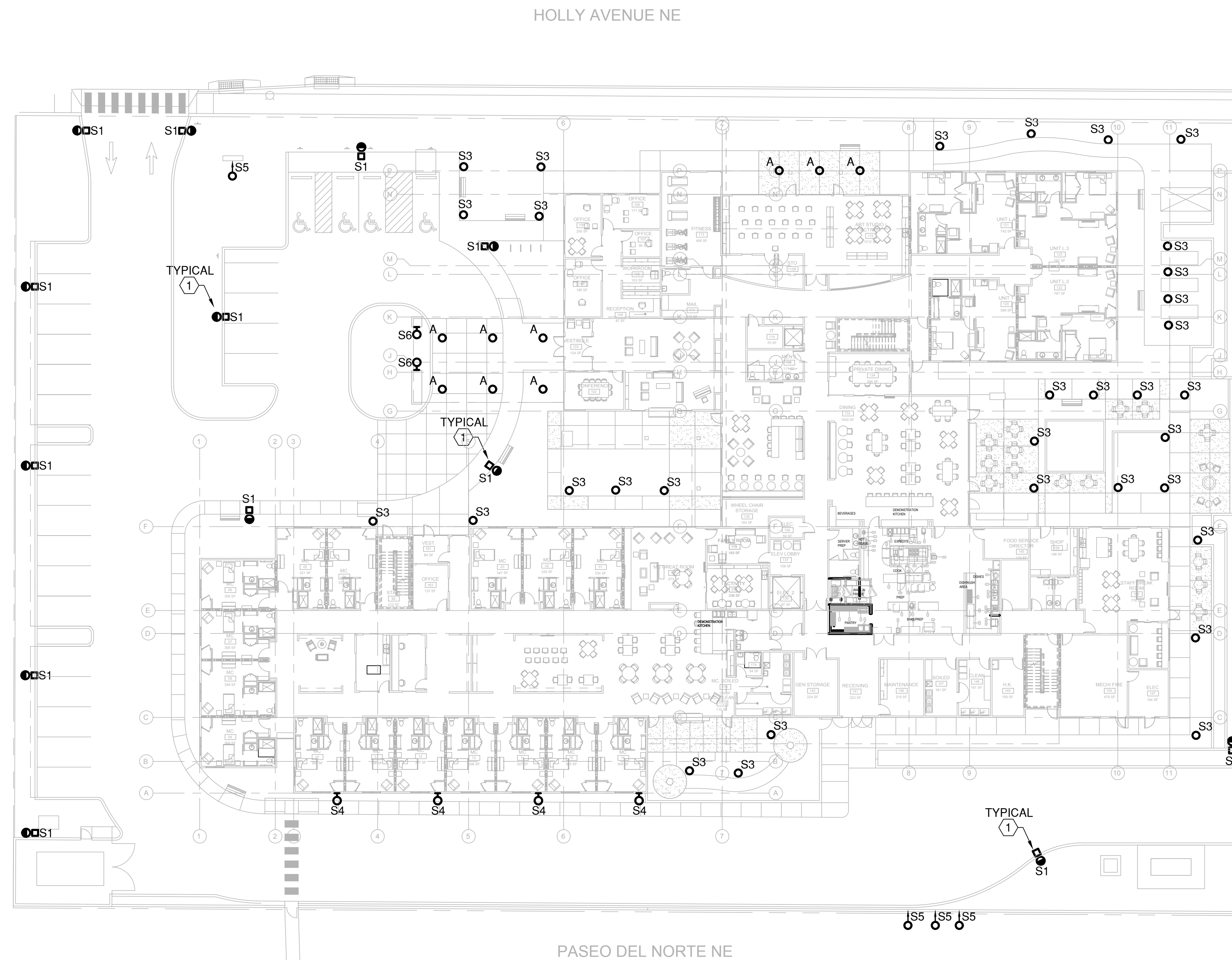
**PARKING CALCULATION:** (TABLE 5-5-1)  
REQUIRED:  
1 SPACE/ 3 BEDS  
3 / 76 = 26

SPACES REQUIRED = 26 SPACES  
SPACES PROVIDED = 26 SPACES  
(INCLUDES 4 ADA ACCESSIBLE SPACES)

**LEGEND**

- LANDSCAPE AREA
- STABILIZED CRUSHER FINES PAVING
- FIRE DEPARTMENT ACCESS LANE / EASEMENT AS NOTED
- PROPERTY LINE
- FIRE HYDRANT
- MAX BUILDING SET BACK LINE
- EASEMENT LINE
- 6' WIDE PAINTED CROSSWALK
- SIDEWALK RAMP (ARROW POINTS DOWN)
- POST INDICATOR VALVE, RE: CONCEPTUAL UTILITY PLAN
- FIRE DEPARTMENT CONNECTION
- ACCESSIBLE PARKING ONLY SIGN
- BENCH
- ADA PARKING





**POLE BASE DETAIL FOR PARKING LUMINAIRES**  
NO SCALE

<b>DESCRIPTION</b>		<b>Invue</b>	
The geometric form of MESA LED luminaire allows it to adapt to either contemporary or traditional architectural settings. Available in single or twin pole mount configurations with optional wall mounting capability, the MESA LED luminaire's mounting options allow for harmonized site design whether at the entryway or in the parking lot. UL6UL listed for use in wet locations.		<b>Catalog #</b>	<b>Type</b>
<b>Project</b>	HOLLY SENIOR LIVING	<b>"S1"</b>	
<b>Comments</b>	PARKING LOT	<b>Date</b>	
<b>Prepared by</b>	ACE	<b>08/20/18</b>	

**SPECIFICATION FEATURES**

**Construction**  
HOUSING: Die-cast aluminum main housing and spider mount base maintains a minimum 0.125 wall thickness. Integral aluminum heat sink provides superior thermal heat transfer in -40°C ambient environments. DOOR ASSEMBLY: Top mounted, heavy wall, die-cast aluminum door maintains a nominal 0.125 thickness. Door includes a self-retaining interior hinge. GASKET: Continuous silicone gasket provided to seal housing door assembly and optic tray. LENS: Downlight lens is LED board integrated acrylic over-optic, each individually sealed for IP66 rating. HARDWARE: Four inset fasteners on underside of housing provide access to luminaire interior. Concealed, stainless steel four bar hinge lock allows door to lock in the open position.

**Optics**  
Choice of twelve patented, high-efficiency AccuLED Optic™ technology manufactured from injection-molded acrylic. Optics are precisely designed to shape the light output, maximizing efficiency and application spacing. AccuLED Optic technology, creates consistent distributions with the

**Electrical**  
LED drivers mount to die-cast aluminum back housing for optimal heat sinking, operation efficiency, and prolonged life. Standard drivers feature electronic universal voltage (120-277V 50/60Hz), 347V 60Hz or 480V 60Hz operation, greater than 0.9 power factor, less than 20% harmonic distortion, and is suitable for operation in -40°C to 40°C ambient environments. All fixtures are shipped standard with 10kV/10kA common-mode and differential-mode surge protection. LightBARS feature and IP66 enclosure rating and maintain greater than 90% lumen maintenance at 60,000 hours per

**ESNA TM-21** Occupancy sensor and dimming options available.

**Mounting**  
Fitter assembly mounts over 3" O.D. tenon and is secured via three concealed stainless steel set screws. Design of fitter provides seamless transition to 4" round poles. Additional mounting accessories include a dual fixture post top mounting arm and wall mount arm.

**Finish**  
Housing is finished in five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. LightBARS™ cover plates are standard white and may be specified to match finish of luminaire housing. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult Outdoor Architectural Colors brochure for a complete selection.

**Warranty**  
Five-year warranty.

**MSA LED**  
1-6 LightBARS  
Solid State LED  
DECORATIVE LUMINAIRE

**CERTIFICATION DATA**  
UL6UL Listed  
90/100  
IP66 LightBARS  
LM79 LM84 Compliant  
2G Vibration Tested

**ENERGY DATA**  
Electronic LED Driver  
0.9 Power Factor  
<20% Total Harmonic Distortion  
120-277V/50 & 60Hz, 347V/60Hz, 480V/60Hz  
-40°C Minimum Temperature  
40°C Ambient Temperature Rating

**EPA**  
Effective Projected Area: (Sq. Ft.)  
Single Mount: 1.1

**SHIPPING DATA**  
Approximate Net Weight:  
50 lbs. (22.7 kg)

**TEST**  
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**DIMENSIONS**  
Wall Mount Arm: 5-1/4" (137mm) x 28-1/4" (717mm)  
Dual Mount Arm (EPA 1.36): 10" (254mm) x 28-1/4" (717mm)

**MOUNTING ACCESSORIES**  
Wall Mount Arm: 3" (76mm) x 10" (254mm)  
Dual Mount Arm (EPA 1.36): 3" (76mm) x 10" (254mm)

**FATON**  
Always Business Worldwide

**ELECTRICAL SITE LIGHTING PLAN**  
1" = 20'-0"

**FIXTURE SCHEDULE**

TYPE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION/ LOCATION	LAMPS			MOUNTING INSTRUCTIONS	REMARKS
				TYPE	WATTS	LUMENS		
A	PORTFOLIO	#	RECESSED DOWN LIGHT IN SOFFIT	LED	35	4,725	RECESSED	
S1	INVUE	MSA-E06-LED-E1-T3-BZ	LED SITE LUMINAIRE TYPE III DISTRIBUTION ON 12' POLE WITH DARK BRONZE FINISH	LED	150	14,911	12' POLE - SEE DETAIL THIS SHEET	
S3			LED BOLLARD LOW LEVEL ILLUMINATION					
S4			LED ARCHITECTURAL WALL SCONCE				MOUNT ON BLDG AT 15' AFG	
S5			LED SIGN LIGHT					
S6			LED SIGN LIGHT				MOUNT AT PORTE COCHERE AT 9' AFG	

**GENERAL SHEET NOTES**

- SITE LIGHTING POLE AND LUMINAIRE SHALL COMPLY WITH NEW MEXICO DARK SKIES ENFORCEMENT ACT AND THE CITY OF ALBUQUERQUE LIGHTING ORDINANCE.
- PARKING LOTS SHALL BE ILLUMINATED TO 1 FOOTCANDLE AVERAGE MAINTAINED AND SHALL NOT EXCEED 4 FOOTCANDLES AVERAGE MAINTAINED.
- SITE LIGHTING SHALL BE PEDESTRIAN STYLE AND SHALL NOT EXCEED 15' IN HEIGHT FROM THE GROUND LEVEL THE TOP OF THE LUMINAIRE.

**REFERENCE KEYNOTES**

- SITE LIGHTING POLE AND LUMINAIRE. REFER TO THE FIXTURE SCHEDULE AND MOUNTING DETAIL THIS SHEET.

**A C ENGINEERING ENTERPRISES, LLC**  
120 Aliso Drive, SE  
Albuquerque, New Mexico 87108  
Phone 505.842.5787  
Facsimile 505.842.5797

**REVISIONS**

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**DRAWN BY**

**REVIEWED BY**

**DATE** 7-30-2018

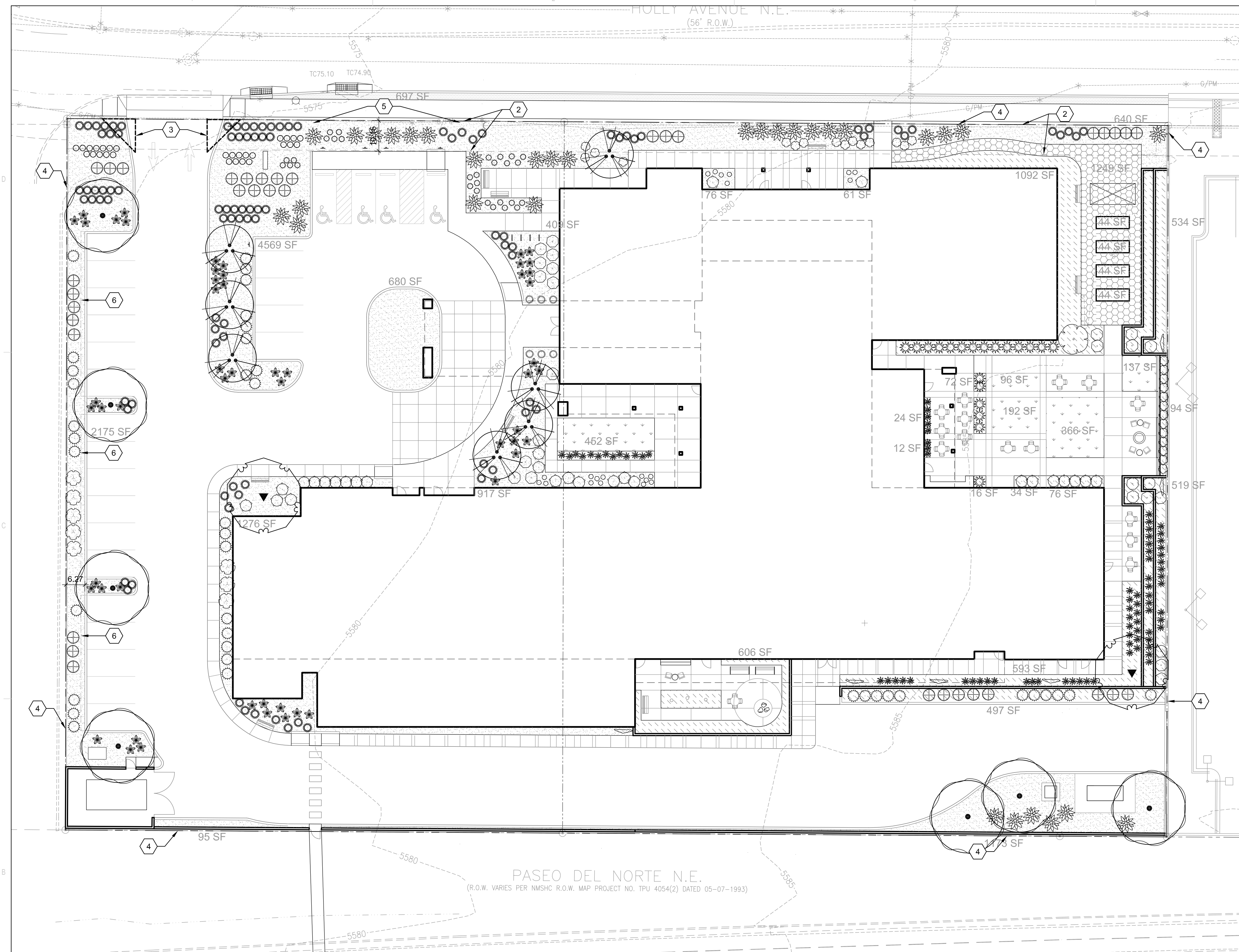
**PROJECT NO.** 18-0038

**DRAWING NAME**

**ELECTRICAL SITE LIGHTING PLAN**

**PLANT SCHEDULE**

TREES	BOTANICAL NAME	COMMON NAME
	CHILOPSIS LINEARIS 'BUBBA'	'BUBBA' DESERT WILLOW
	QUERCUS VIRGINIANA SP. 'FUSIFORMIS'	ESCARPMENT LIVE OAK
	ULMUS X 'FRONTIER'	FRONTIER ELM
SHRUBS	BOTANICAL NAME	COMMON NAME
	BACCHARIS X 'STARN'	THOMPSON BROOM
	BUDDLEIA DAVIDII NANHOENSIS 'NANHO PURPLE'	DWARF BLUE BUTTERFLY BUSH
	BUXUS JAPONICA 'WINTER GEM'	WINTER GEM BOXWOOD
	FALLUGIA PARADOXA	APACHE PLUME
	LAVANDULA X INTERMEDIA 'PROVENCE'	PROVENCE LAVENDER
	PUNICA GRANATUM	POMEGRANATE
DESERT ACCENT	BOTANICAL NAME	COMMON NAME
	DASYLIRION WHEELERI	SOTOL
	HESPERALOE PARVIFLORA 'YELLOW'	YELLOW YUCCA
	NOLINA MICROCARPA	BEARGRASS
GRASSES	BOTANICAL NAME	COMMON NAME
	BOUTELOUA GRACILIS 'BLONDE AMBITION'	'BLONDE AMBITION' BLUE GRAMA
	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	'KARL FOERSTER' FEATHER REED GRASS
	MUHLENBERGIA EMERSLEYI EL TORO	EL TORO MUHLY GRASS
	MUHLENBERGIA RIGENS	DEER GRASS
PERENNIALS	BOTANICAL NAME	COMMON NAME
	AQUILEGIA CAERULEA	ROCKY MOUNTAIN COLUMBINE
	GAURA LINDHEIMERI	WHITE GAURA
VINE/ESPALIER	BOTANICAL NAME	COMMON NAME
	CAMPIS RADICANS	TRUMPET VINE



**LANDSCAPE CALCULATIONS**

TOTAL SITE AREA = 1.9806 AC = 86,275 SF  
 AREA OF LOT COVERED BY BUILDINGS = 31,837 SF  
 NET LOT AREA = 54,438 SF

REQUIRED LANDSCAPE  
 REQUIRED LANDSCAPE AREA (15% OF NET LOT AREA) = 8,166 SF  
 PROVIDED LANDSCAPE AREA = 17,717 SF = 33%  
 (see hatch legend for exclusions from landscape areas)

REQUIRED TREES  
 TREES PER PARKING SPACES: REQUIRED = 1 TREE / 10 PARKING SPACES  
 TOTAL NUMBER OF PARKING = 25 SPACES  
 REQUIRED NUMBER OF TREES = 3 TREES  
 PROVIDED NUMBER OF TREES = 3 TREES  
 NO PARKING SPACE MAY BE MORE THAN 100 FEET AWAY FROM A TREE TRUNK  
 REQUIRED STREET TREES = 15 placed at 25' on center (365' of street frontage)  
 PROVIDED STREET TREES = 0  
 (Proposed landscape along Holly Avenue frontage is consistent with adjacent development, showing no street trees between the curb and the sidewalk due to site constraints, public utility easement and overhead utility lines.)

REQUIRED VEGETATIVE COVERAGE  
 REQUIRED GROUND COVER = 13,288 SF = 75% OF PROVIDED LANDSCAPE AREA  
 A MINIMUM 25% OF TOTAL LANDSCAPE COVERAGE BY GROUND PLANTS  
 PROVIDED TOTAL GROUND COVER = xx SF = xx%  
 TREE CANOPY COVERAGE = xx SF = xx% OF PROVIDED COVERAGE  
 GROUND PLANT COVERAGE = xx SF = xx% OF PROVIDED COVERAGE  
 Calculation assumes an average of 300 sf per tree and 20 sf per ground plant as an average of mature spread and canopy.  
 PROPOSED TURF AREA = 692 SF = 8% OF REQUIRED LANDSCAPE AREA  
 NO MORE THAN 10% OF REQUIRED LANDSCAPE AREAS SHALL BE TURF

GROUND COVER MATERIAL  
 ROCK MULCH GROUND COVER = 12,072 SF = 68% OF PROVIDED LANDSCAPE AREA  
 ORGANIC MULCH GROUND COVER = 5,845 SF = 32% OF PROVIDED LANDSCAPE AREA  
 A MAXIMUM OF 75% OF GRAVEL OR CRUSHER FINES IS PERMITTED

PARKING LOT EDGE LANDSCAPE - 165 LF OR PARKING LOT EDGE  
 REQUIRED PARKING LOT EDGE = 2 TREES AND 6 SHRUBS PER 25' OF PARKING LOT  
 REQUIRED BUFFER = 13 TREES AND 40 SHRUBS  
 PROVIDED BUFFER = xx TREES AND xx SHRUBS

**GENERAL SHEET NOTES**

- RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
- STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S GENERAL LANDSCAPING, BUFFERING, AND SCREENING REGULATIONS AND WATER CONSERVATION ORDINANCE.
- TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- SURFACE TREATMENT: ALL LANDSCAPE AREAS SHALL BE COVERED WITH VEGETATION AND MULCH. ORGANIC MULCH IS REQUIRED AT EACH TREE ROOTBALL AREA/DRIPLINE.
- LANDSCAPE, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS: 2" CALIPER TREES, 6" HEIGHT CONIFERS, AND 1 GALLON SHRUBS.
- ALL AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.
- ROOF DRAINS: SURFACE DRAINAGE OFF DOWNSPOUTS SHALL BE DIRECTED AWAY FROM BUILDINGS INTO LANDSCAPE AREAS OR ENGINEERED DRAINAGE SYSTEM. REFER TO CIVIL.
- ALL VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5' OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
- CONTRACTOR IS TO VERIFY ALL EXISTING UTILITY LOCATIONS BEFORE EXCAVATION AND PLANTING.

**IRRIGATION NOTES**

- ALL PLANTINGS SHALL BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM, WITH PROGRAMMABLE SETTINGS, AUTOMATED IRRIGATION CONTROLLER, AND MOISTURE SENSOR TO AVOID OVERWATERING.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MINIMIZE THE USE OF WATER.
- THE IRRIGATION SYSTEM SHALL NOT IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, STREETS AND PARKING OR LOADING AREAS.
- IRRIGATION POINT OF CONNECTION TO THE CITY WATER WILL BE LOCATED WITHIN PROPERTY LIMITS AND SHALL COMPLY WITH THE CITY OF ALBUQUERQUE REDUCED PRESSURE BACKFLOW PREVENTER STANDARDS AND SPECIFICATIONS.
- RUN TIMES AND IRRIGATION ZONES SHALL BE BASED UPON PLANT SPECIES AND THEIR ESTABLISHMENT. RUN TIMES SHALL BE REGULARLY ADJUSTED ACCORDING TO PLANT MATURITY, SEASON, LOCATION AND PERFORMANCE.

**SHEET KEYED NOTES**

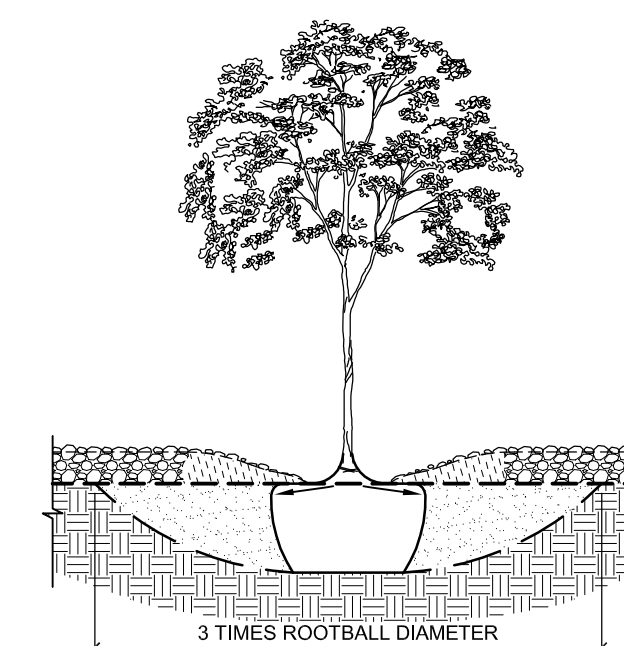
- DRAINAGE SWALE. SEE CIVIL.
- PUBLIC UTILITY EASEMENT.
- CLEAR SIGHT TRIANGLE.
- PROPERTY LINE.
- PARKING LOT FRONT LANDSCAPE BUFFER.
- PARKING OVERHANG.

**PERVIOUS AREAS LEGEND**

SYMBOL	NOTES	EST QTY
	GRAVEL MULCH LANDSCAPE AREA	12,072 SF
	ORGANIC MULCH LANDSCAPE AREA	4,953 SF
	GRAVEL MULCH LANDSCAPE AREA in R.O.W excluded from landscape area calculations	697 SF
	TURF	692 SF
	STABILIZED CRUSHER FINES excluded from landscape area calculations	1,249 SF

**TREE PLANTING DETAIL**

- NOTE:
- PRIOR TO BACKFILLING, ALL MATERIAL SUCH AS CONTAINERS, WIRE, BURLAP AND ROPE SHALL BE COMPLETELY REMOVED.
  - ALL PLANT MATERIAL SHALL BE PLANTED IN UNCOMPACTED SOIL.



REVISIONS

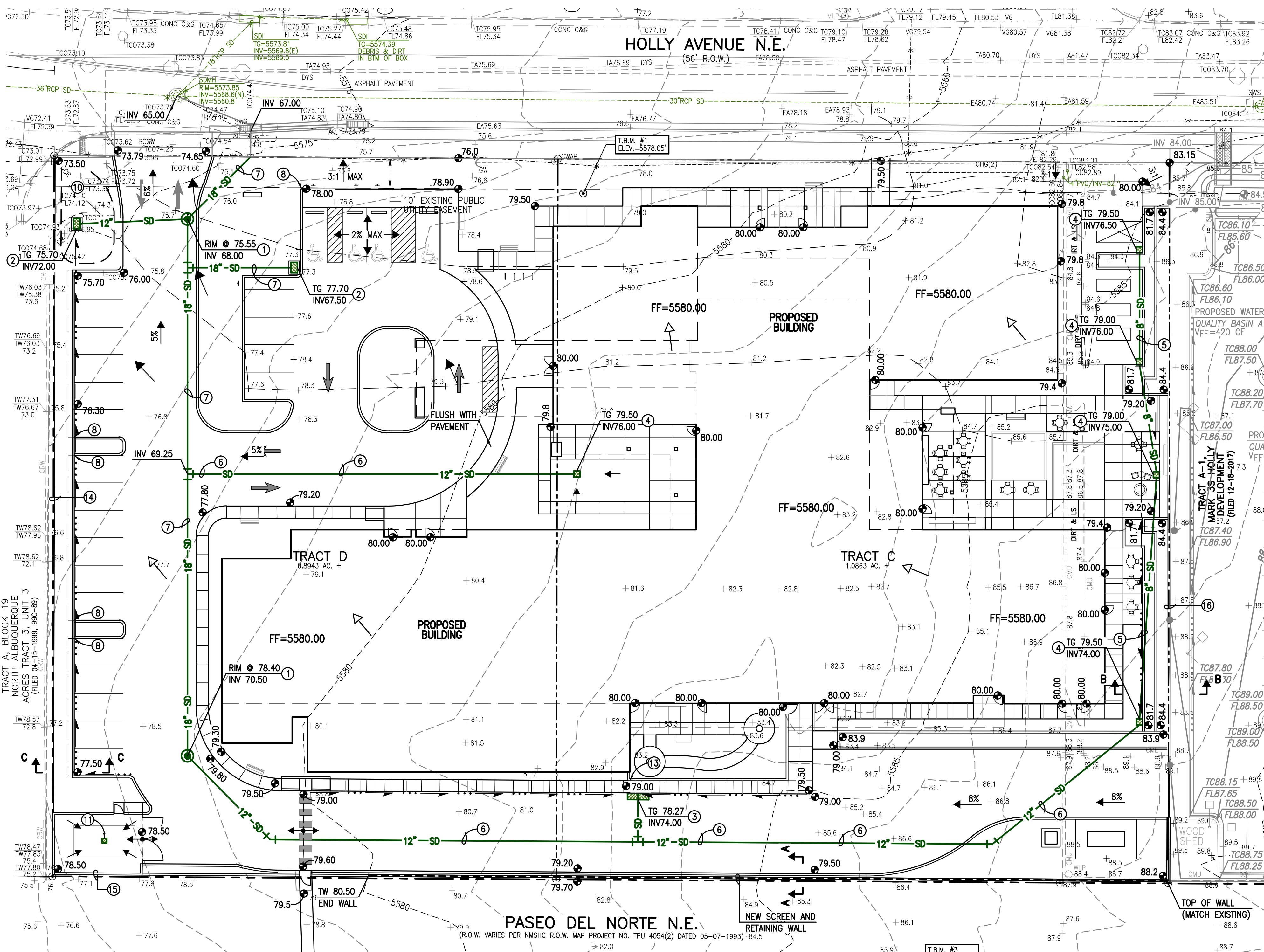
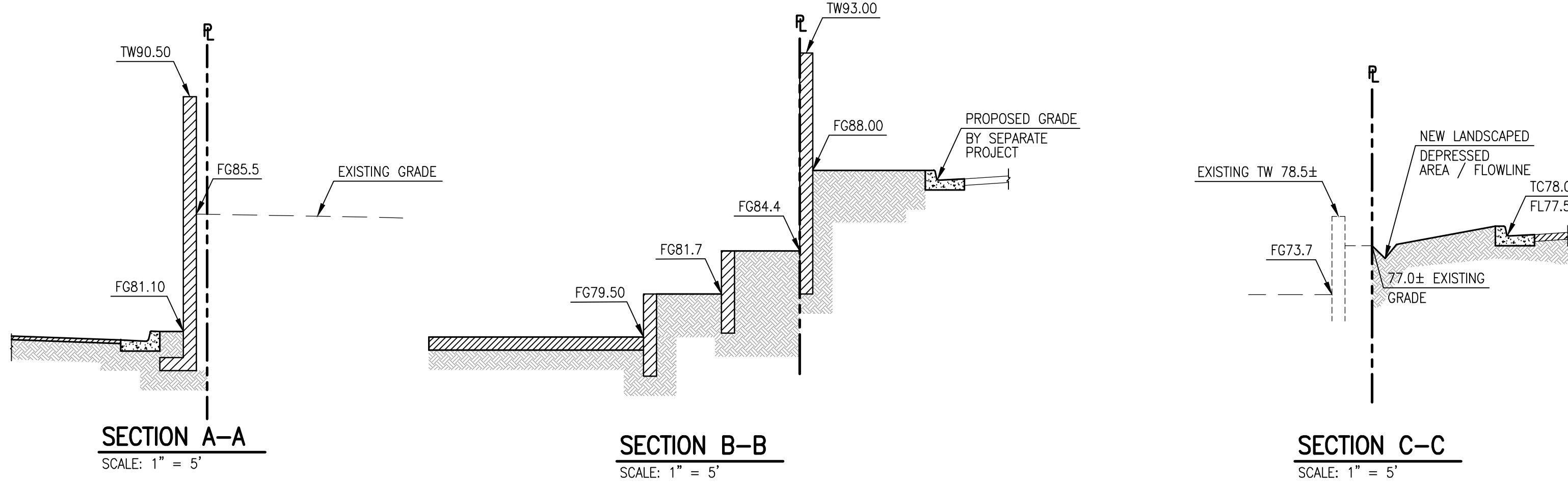
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DRAWN BY	JD/TC
REVIEWED BY	MB
DATE	09-21-2018
PROJECT NO.	18-0038
DRAWING NAME	LANDSCAPE PLAN PROGRESS DRAFT

**CONCEPTUAL DRAINAGE NARRATIVE**

THIS PROJECT IS A NEW DEVELOPMENT ON AN UNDEVELOPED SITE THAT CONSISTS OF A NEW BUILDING, PAVED PARKING AREAS, SITE WORK, COURTYARDS, SERVICE DRIVE AND NEW LANDSCAPED AREAS. THE SITE DRAINS FROM SOUTHEAST TO NORTHWEST TO HOLLY AVE NE. THE SITE DOES NOT LIE WITHIN A DESIGNATED FLOODPLAIN. THE PROPOSED DRAINAGE CONCEPT FOR THE SITE WILL BE CONTINUED FREE DISCHARGE TO EXISTING PUBLIC STORM DRAINAGE FACILITIES IN HOLLY THAT WERE DESIGNED, SIZED AND CONSTRUCTED TO ACCEPT 4.68 CFS PER ACRE FROM THIS SITE BASED ON THE FOLLOWING PLANS PREPARED BY THIS OFFICE FOR THIS SITE AND SURROUNDING AREAS: LOMR FOR NORTH DOMINGO BACA ARROYO CARMEL AVENUE STORM DRAIN EXTENSION (HMCG 12/08/2003) APPROVED BY FEMA 03/23/2004. DRAINAGE REPORT FOR LOS VIGILIS SUBDIVISION (HMCG 12/31/2002, C20/D41). GRADING AND DRAINAGE PLAN FOR DESERT RIDGE OFFICE PARK (HMCG C20/D51). DRAINAGE REPORT FOR VINEYARD COURT ESTATES (HMCG 08/21/2003) GRADING AND DRAINAGE PLANS FOR HOLLY MARK 3S DEVELOPMENT (HMCG 02/05/2007 AND 05/11/2015).

SITE RUNOFF WILL BE DIRECTED TO LANDSCAPED AREAS FOR WATER QUALITY WHERE PRACTICABLE BUT THE FIRST FLUSH RETENTION REQUIREMENT WILL NOT BE MET THIS SITE AND A PAYMENT WILL BE MADE IN LIEU OF MEETING THE ENTIRE REQUIREMENT. NO RETENTION PONDING FOR DISCHARGE CONTROL IS REQUIRED OR PROPOSED BEYOND WHAT IS USED FOR WATER QUALITY.

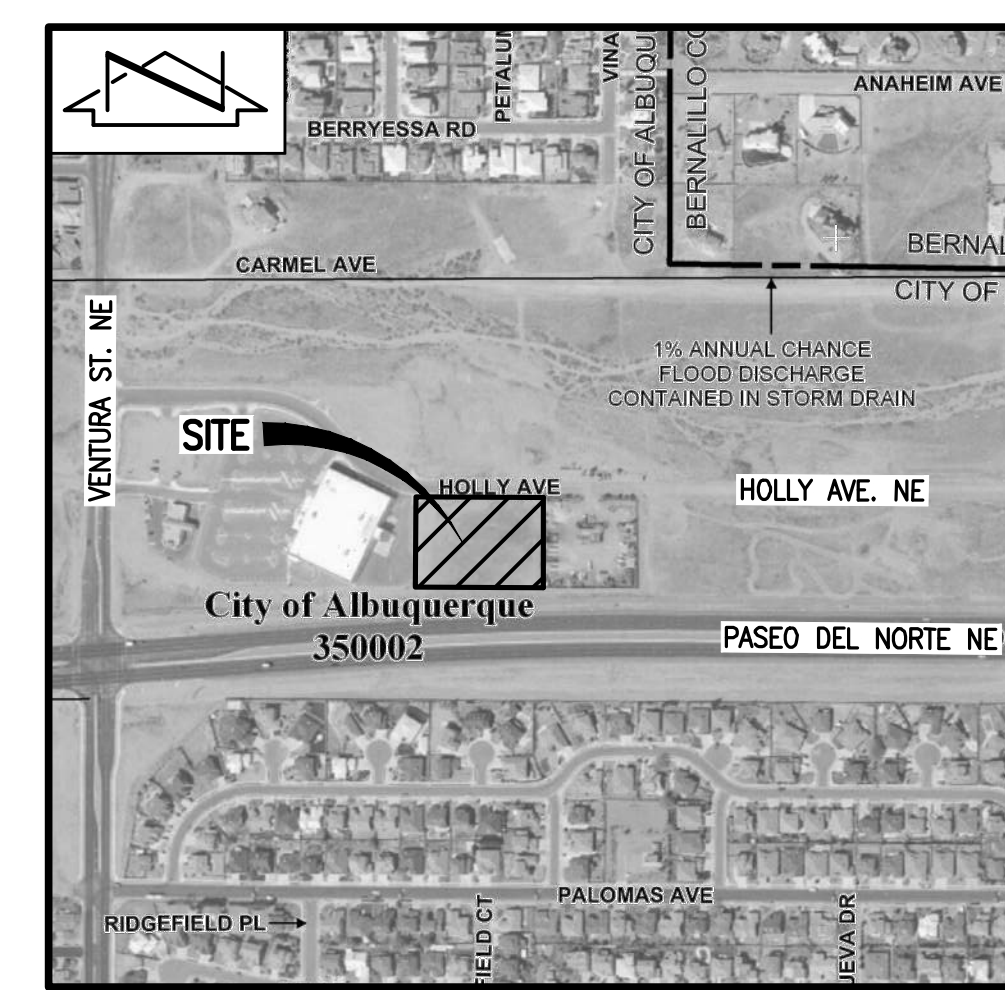
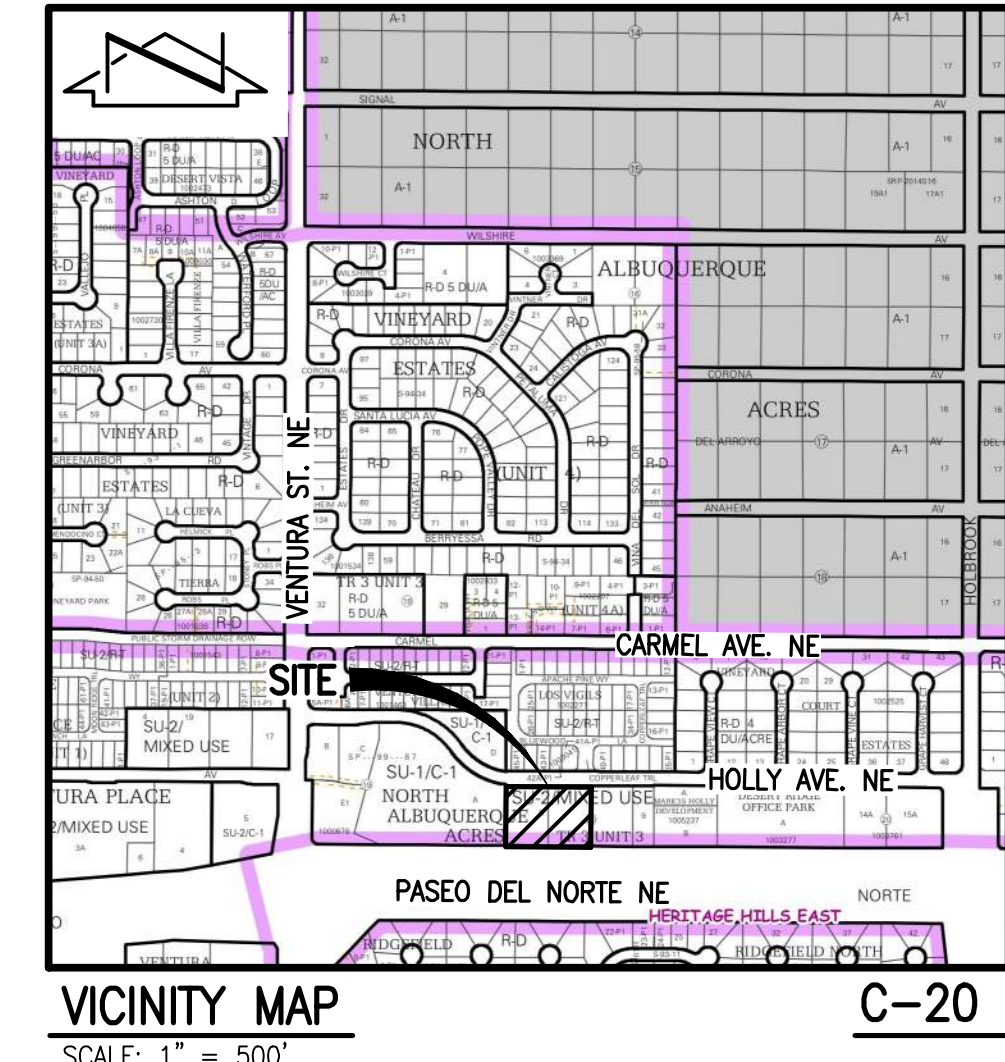


- KEYED NOTES:**
- CONSTRUCT 4' DIA. STORM DRAIN MANHOLE
  - CONSTRUCT SINGLE 'D' STORM DRAIN INLET
  - CONSTRUCT DOUBLE 'C' STORM DRAIN INLET
  - CONSTRUCT 24"x24" STORM DRAIN INLET
  - INSTALL 8" HDPE STORM DRAIN
  - INSTALL 12" HDPE STORM DRAIN
  - INSTALL 18" HDPE STORM DRAIN
  - NEW 12" CURB OPENING
  - NEW 6" DRAIN OPENING
  - DEPRESSED LANDSCAPING FOR WATER QUALITY
  - NEW REFUSE DRAIN. SEE CONCEPTUAL UTILITY PLAN
  - HOLLY IMPROVEMENTS TO BE CONSTRUCTED BY WORK ORDER
  - NEW 6" WALL OPENING
  - NEW SCREEN WALL
  - NEW REFUSE WALL
  - NEW RETAINING WALL

**LEGEND:**

INV	INVERT
TA	TOP OF ASPHALT PAVEMENT
TC	TOP OF CURB
TG	TOP OF GRATE
+ 87.80	EXISTING SPOT ELEVATION
● 88.70	PROPOSED SPOT ELEVATION
→	EXISTING FLOWLINE
→	PROPOSED FLOWLINE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
—	PROPOSED HDPE STORM DRAIN
—	PROPOSED 24"x24" STORM DRAIN INLET
—	PROPOSED DOUBLE 'C' STORM DRAIN INLET
—	PROPOSED SINGLE 'D' STORM DRAIN INLET
—	PROPOSED 4' DIA. STORM DRAIN MANHOLE
—	PROPOSED REFUSE DRAIN
→	EXISTING DIRECTION OF FLOW
→	PROPOSED DIRECTION OF FLOW
↑	HIGH POINT / DIVIDE
---	PROPERTY LINE
---	PROPOSED CONCRETE
---	PROPOSED ASPHALT PAVING
---	PROPOSED LANDSCAPE AREA
---	PROPOSED GRAVEL BASE COURSE

**NOTE:**  
THIS IS NOT A BOUNDARY SURVEY; DATA IS SHOWN FOR ORIENTATION ONLY. THE BOUNDARY INFORMATION DEPICTED BY THIS PLAN IS BASED UPON THE PLAT OF RECORD (2017C-0146, RECORDED 12-18-2017).  
THE TOPOGRAPHIC AND UTILITY INFORMATION DEPICTED HEREON IS BASED UPON THE EXISTING TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY THIS FIRM, NMPS NO. 11184, DATED 01/10/2017 (2016.059.1).



ARCHITECTURE / DESIGN / INSPIRATION

**DEKKER PERICH SABATINI**

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ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT

ENGINEER

9/19/2018

**HOLLY SENIOR LIVING**  
9100 HOLLY AVE NE  
ALBUQUERQUE, NM

**REVISIONS**

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DRAWN BY J.Y.R.  
REVIEWED BY G.M.  
DATE September, 2018  
PROJECT NO. 18-0038  
DRAWING NAME  
**CONCEPTUAL GRADING AND DRAINAGE PLAN**

2018.027.1

**HIGH MESA Consulting Group**

6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109  
PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com

SHEET NO. **SDP 3.1**

File Path: P:\JMA\2018\2018.027.1\DWG\Plot Date: 09-07-2018  
File Name: 180271\_BASE.DWG Plot Time: 10:52 am

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ARCHITECT

ENGINEER



PROJECT

**HOLLY SENIOR LIVING**  
9100 HOLLY AVE NE  
ALBUQUERQUE, NM

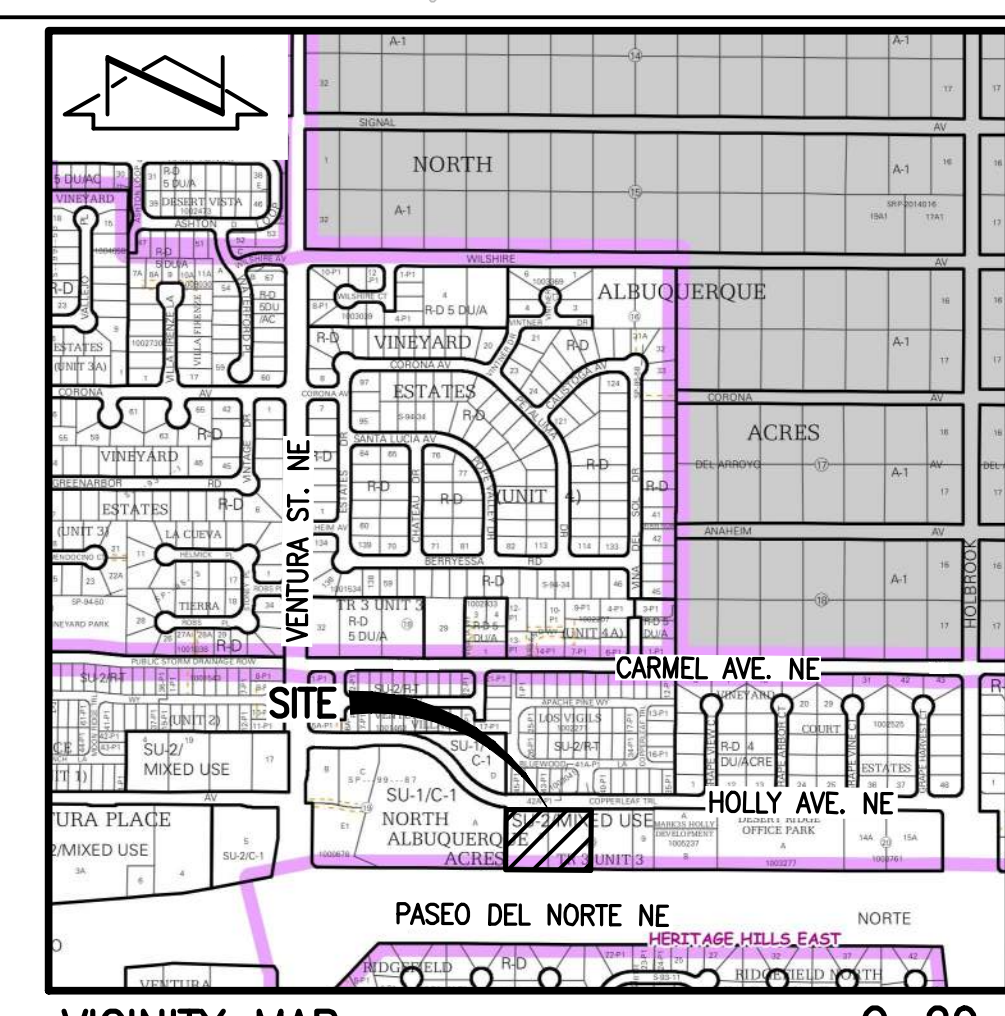
REVISIONS

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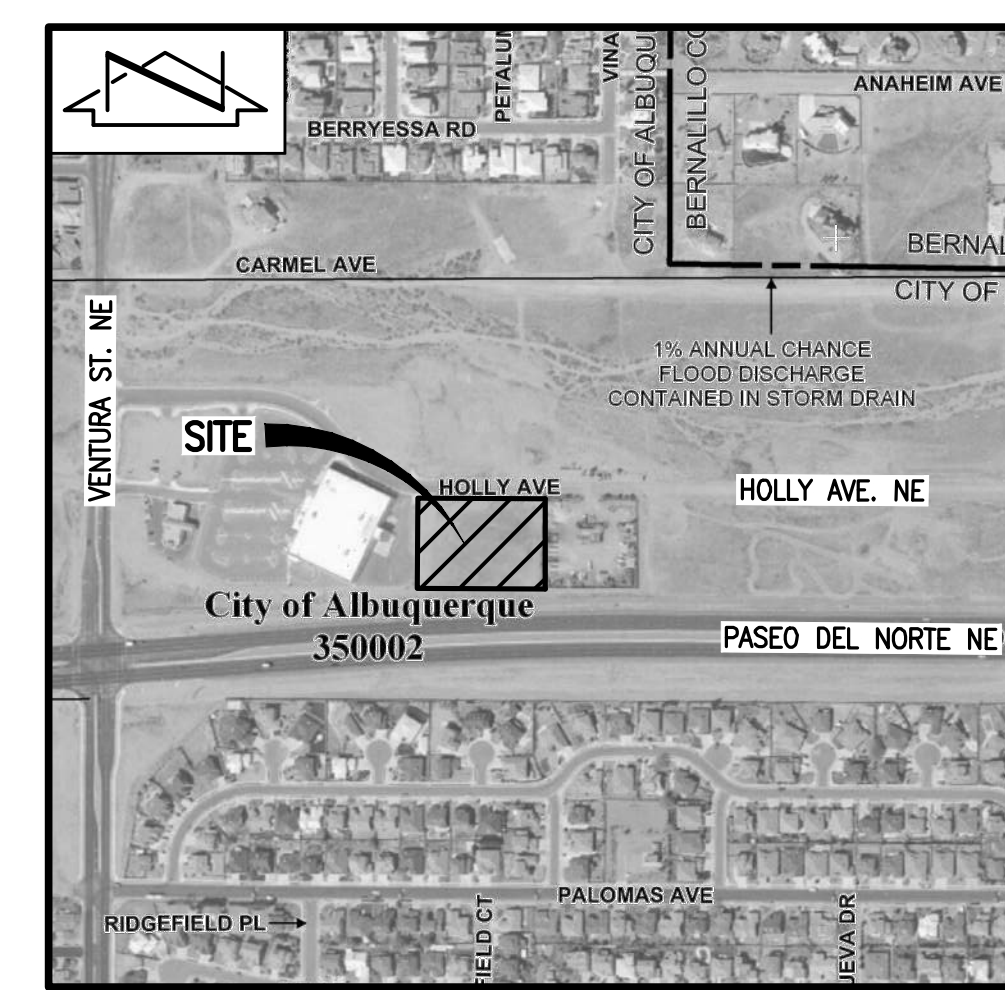
DRAWN BY J.Y.R.  
REVIEWED BY G.M.  
DATE September, 2018  
PROJECT NO. 18-0038  
DRAWING NAME

CONCEPTUAL  
UTILITY PLAN

SHEET NO.  
**SDP 4.1**  
OF



VICINITY MAP C-20  
SCALE: 1" = 500'



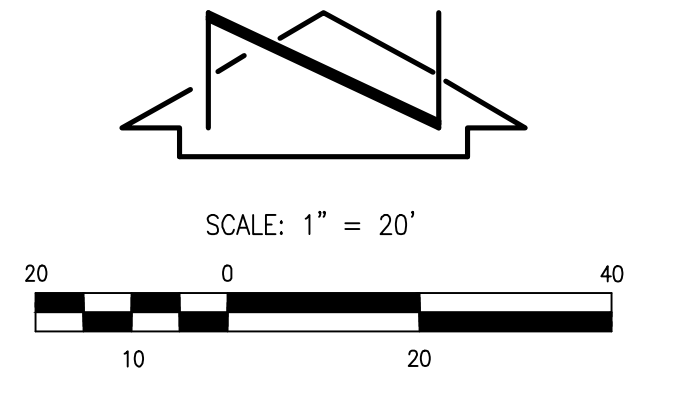
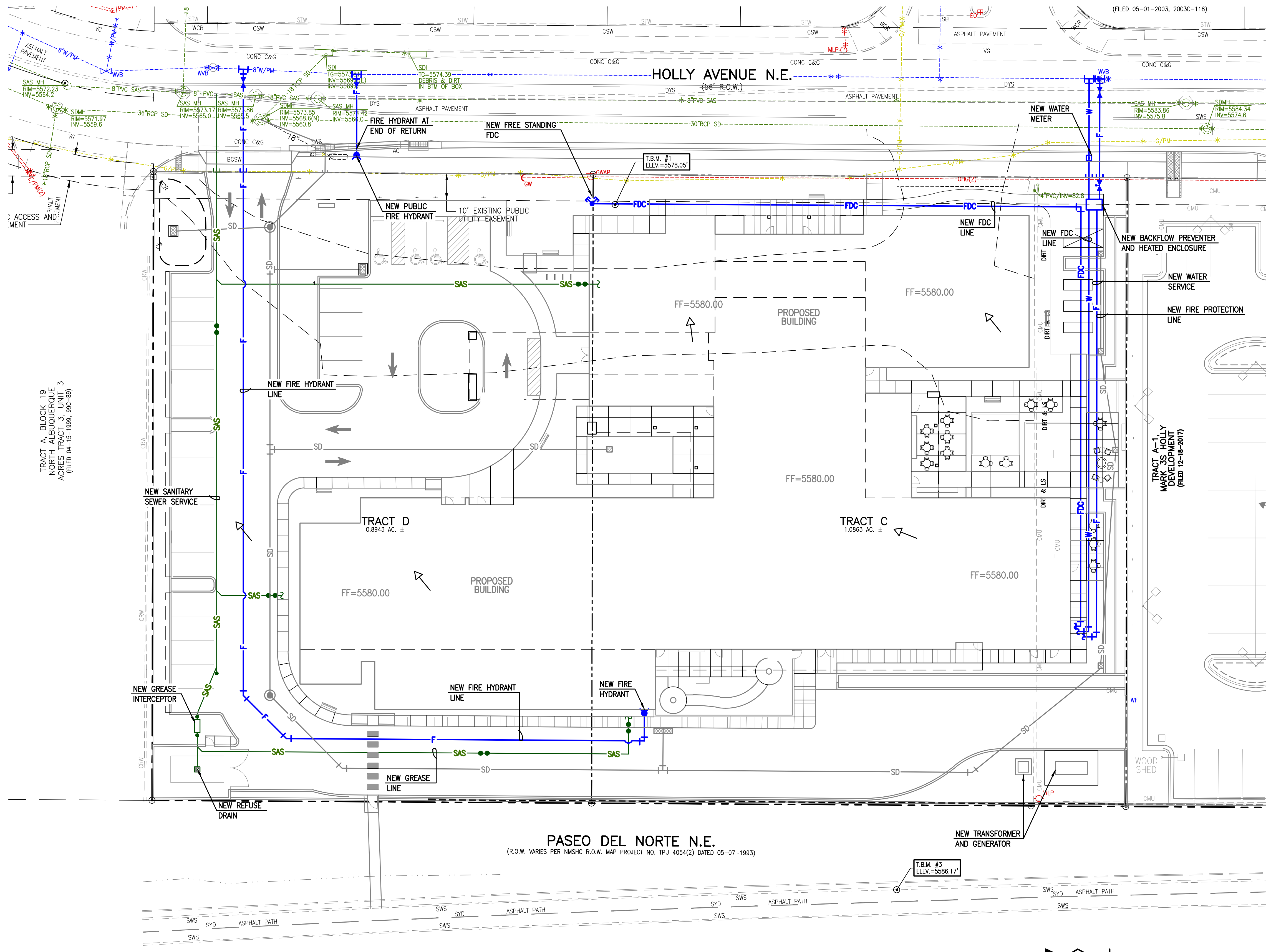
F.I.R.M. 141 OF 825  
SCALE: 1" = 500'

**LEGEND:**

	PROPOSED STORM DRAIN
	PROPOSED INFILTRATION PIT
	PROPOSED STORM INLET
	PROPOSED STORM DRAIN MANHOLE
	EXISTING STORM DRAIN MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING VALVE BOX
	PROPOSED FIRE HYDRANT
	FIRE DEPARTMENT CONNECTION
	PROPOSED VALVE BOX
	EXISTING FIRE LINE
	PROPOSED FIRE LINE
	EXISTING POST INDICATOR VALVE
	PROPOSED POST INDICATOR VALVE
	EXISTING WATER SERVICE
	PROPOSED WATER SERVICE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SINGLE CLEANOUT
	PROPOSED SINGLE CLEANOUT
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE
	EXISTING SANITARY SEWER MANHOLE
	SANITARY SEWER MANHOLE
	EXISTING DOUBLE CLEANOUT
	PROPOSED DOUBLE CLEANOUT
	PROPERTY LINE
	PROPOSED CONCRETE
	PROPOSED ASPHALT PAVING
	PROPOSED LANDSCAPE AREA
	PROPOSED GRAVEL BASE COURSE

2018.027.1

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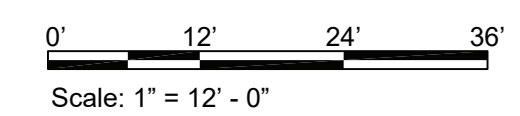
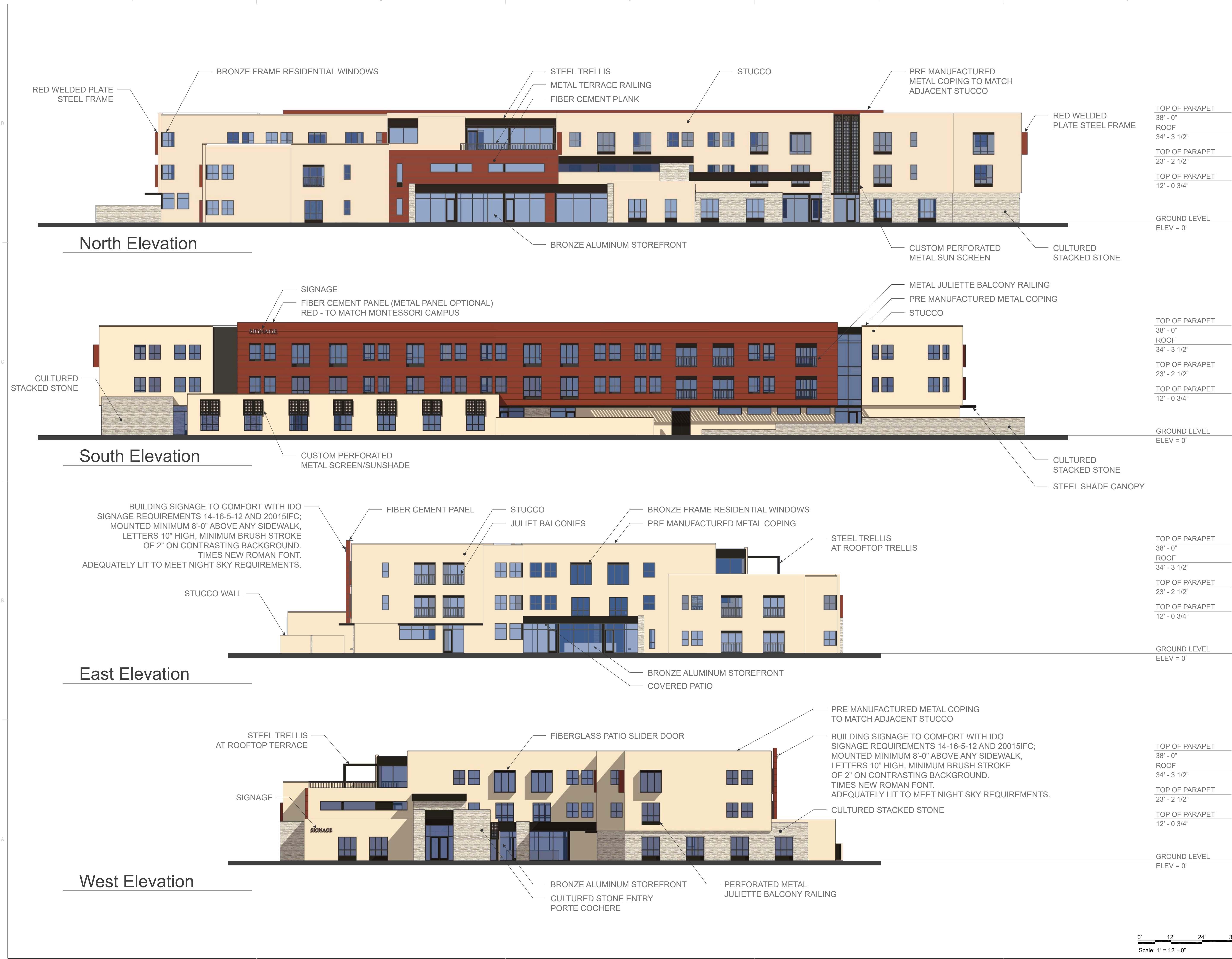
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File Name: 180271\_BASE.DWG Plot Time: 07:52 am

REVISIONS

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DRAWN BY	VNF
REVIEWED BY	MJH
DATE	09/20/2018
PROJECT NO.	18-0038
DRAWING NAME	

**EXTERIOR  
BUILDING  
ELEVATION**





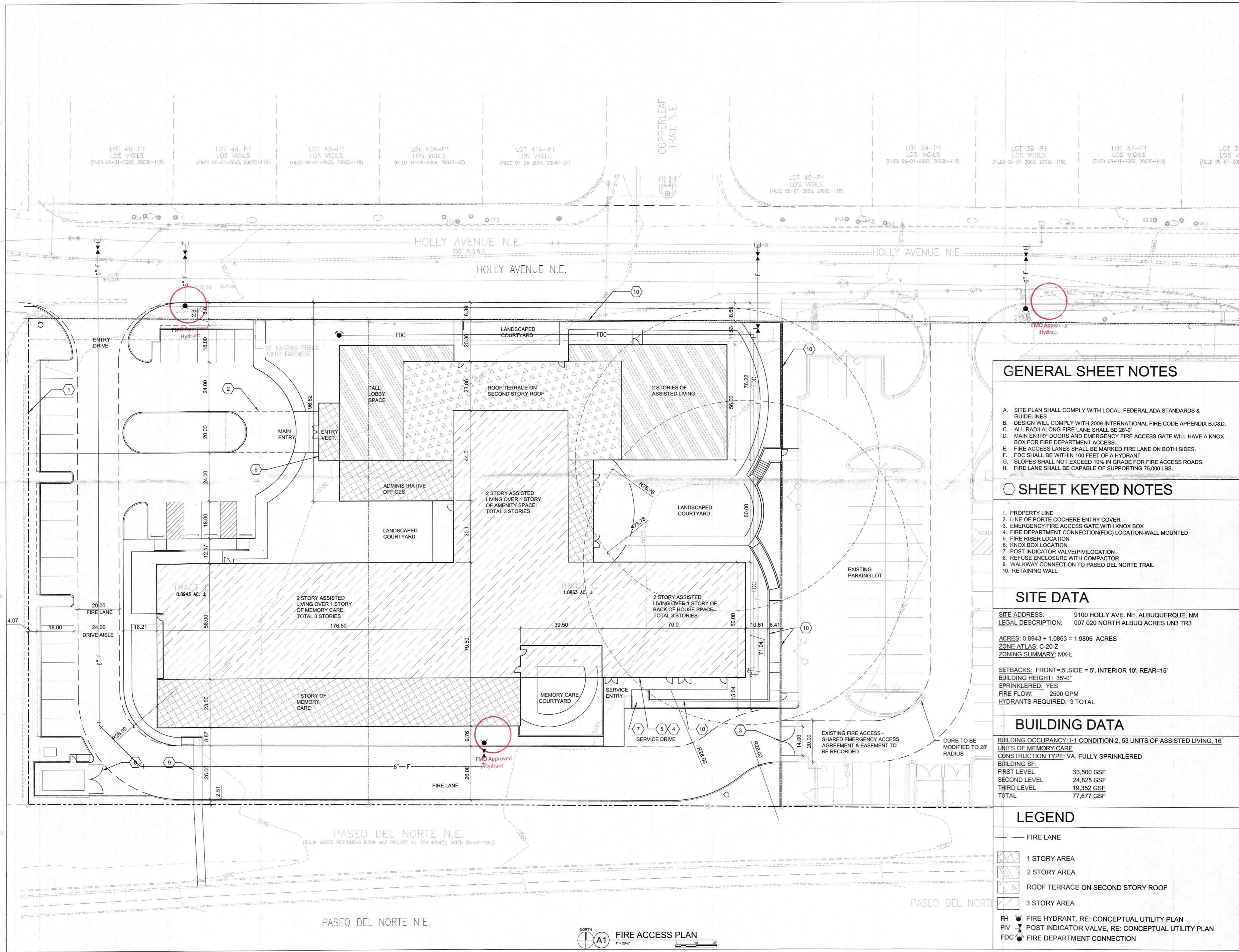


REVISIONS

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DRAWN BY	MJH
REVIEWED BY	MJH
DATE	07/02/2018
PROJECT NO.	18-0038
DRAWING NAME	

**FIRE ONE**



**GENERAL SHEET NOTES**

- A. SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL ADA STANDARDS & GUIDELINES
- B. DESIGN WILL COMPLY WITH 2009 INTERNATIONAL FIRE CODE APPENDIX B,C&D.
- C. ALL RADII ALONG FIRE LANE SHALL BE 28'-0"
- D. MAIN ENTRY DOORS AND EMERGENCY FIRE ACCESS GATE WILL HAVE A KNOX BOX FOR FIRE DEPARTMENT ACCESS.
- E. FIRE ACCESS LANES SHALL BE MARKED FIRE LANE ON BOTH SIDES.
- F. FDC SHALL BE WITHIN 100 FEET OF A HYDRANT
- G. SLOPES SHALL NOT EXCEED 10% IN GRADE FOR FIRE ACCESS ROADS.
- H. FIRE LANE SHALL BE CAPABLE OF SUPPORTING 75,000 LBS.

**SHEET KEYED NOTES**

- 1. PROPERTY LINE
- 2. LINE OF PORTE COCHERE ENTRY COVER
- 3. EMERGENCY FIRE ACCESS GATE WITH KNOX BOX
- 4. FIRE DEPARTMENT CONNECTION(FDC) LOCATION-WALL MOUNTED
- 5. FIRE RISER LOCATION
- 6. KNOX BOX LOCATION
- 7. POST INDICATOR VALVE(PIV)LOCATION
- 8. REFUSE ENCLOSURE WITH COMPACTOR
- 9. WALKWAY CONNECTION TO PASEO DEL NORTE TRAIL
- 10. RETAINING WALL

**SITE DATA**

SITE ADDRESS: 9100 HOLLY AVE. NE, ALBUQUERQUE, NM  
 LEGAL DESCRIPTION: 007 020 NORTH ALBUQ ACRES UN3 TR3  
 ACRES: 0.8943 + 1.0863 = 1.9806 ACRES  
 ZONE ATLAS: C-20-Z  
 ZONING SUMMARY: MX-L  
 SETBACKS: FRONT= 5', SIDE = 5', INTERIOR 10', REAR=15'  
 BUILDING HEIGHT: 35'-0"  
 SPRINKLERED: YES  
 FIRE FLOW: 2500 GPM  
 HYDRANTS REQUIRED: 3 TOTAL

**BUILDING DATA**

BUILDING OCCUPANCY: I-1 CONDITION 2, 53 UNITS OF ASSISTED LIVING, 16 UNITS OF MEMORY CARE  
 CONSTRUCTION TYPE: VA, FULLY SPRINKLERED  
 BUILDING SF:  
 FIRST LEVEL 33,500 GSF  
 SECOND LEVEL 24,825 GSF  
 THIRD LEVEL 19,352 GSF  
 TOTAL 77,677 GSF

**LEGEND**

- FIRE LANE
- ▨ 1 STORY AREA
- ▩ 2 STORY AREA
- ▧ ROOF TERRACE ON SECOND STORY ROOF
- ▦ 3 STORY AREA
- FH ● FIRE HYDRANT, RE: CONCEPTUAL UTILITY PLAN
- PIV ● POST INDICATOR VALVE, RE: CONCEPTUAL UTILITY PLAN
- FDC ● FIRE DEPARTMENT CONNECTION

**FIRE ACCESS PLAN**  
1" = 20'-0"