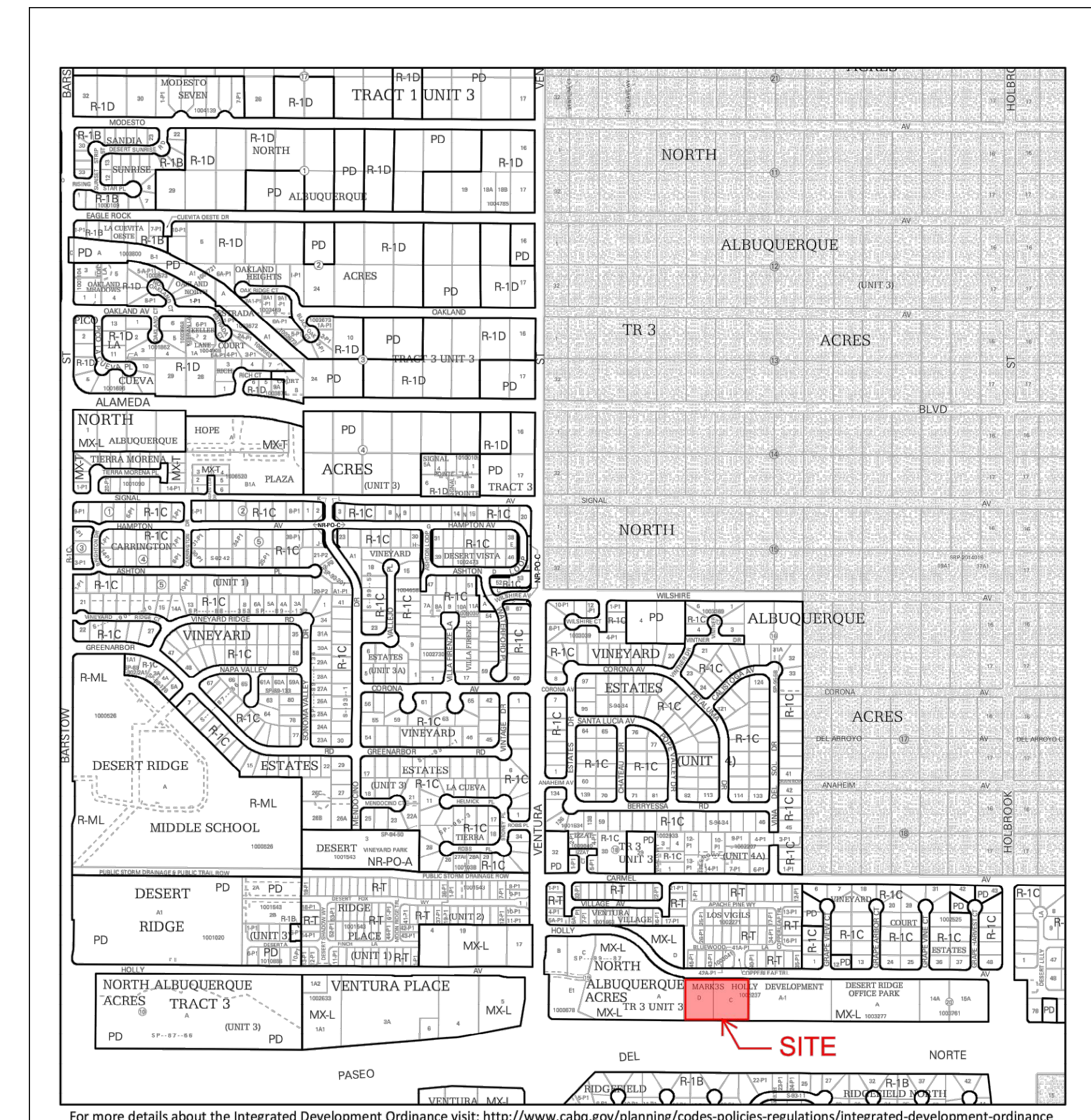


DRAWING INDEX

SDP 1.1	SITE PLAN
SDP 1.2	SITE DETAILS
SDP 1.3	SITE DETAILS
SDP 1.4	ELECTRICAL SITE LIGHTING PLAN
SDP 2.1	LANDSCAPE PLAN
SDP 3.1	GRADING AND DRAINAGE
SDP 3.2	LIGHTING LAYOUT
SDP 4.1	SITE UTILITIES
SDP 5.1	EXTERIOR BUILDING ELEVATIONS
SDP 6.1	FIRE ONE



VICINITY MAP



ENGINEER

PROJECT

HOLLY AVENUE SENIOR LIVING

PROJECT TEAM

OWNER/BUILDER

MARK 3S, INC.
6501 WYOMING BLVD. NE
ALBUQUERQUE, NM 87109
PHONE: 505.220.7625

ARCHITECTURAL/STRUCTURAL

DEKKER/PERICH/SABATINI, LTD.
7601 JEFFERSON ST. NE, SUITE 100
ALBUQUERQUE, NM 87109
PHONE: 505.761.9700

CIVIL

HIGH MESA CONSULTING GROUP
6010-B MIDWAY PARK BLVD. NE
ALBUQUERQUE, NM 87109
PHONE: 505.345.4250

MECHANICAL /PLUMBING

ARSED ENGINEERING GROUP, LLC
4700 LINCOLN ROAD NE
ALBUQUERQUE, NM 87109
PHONE: 505.761.3100

ELECTRICAL

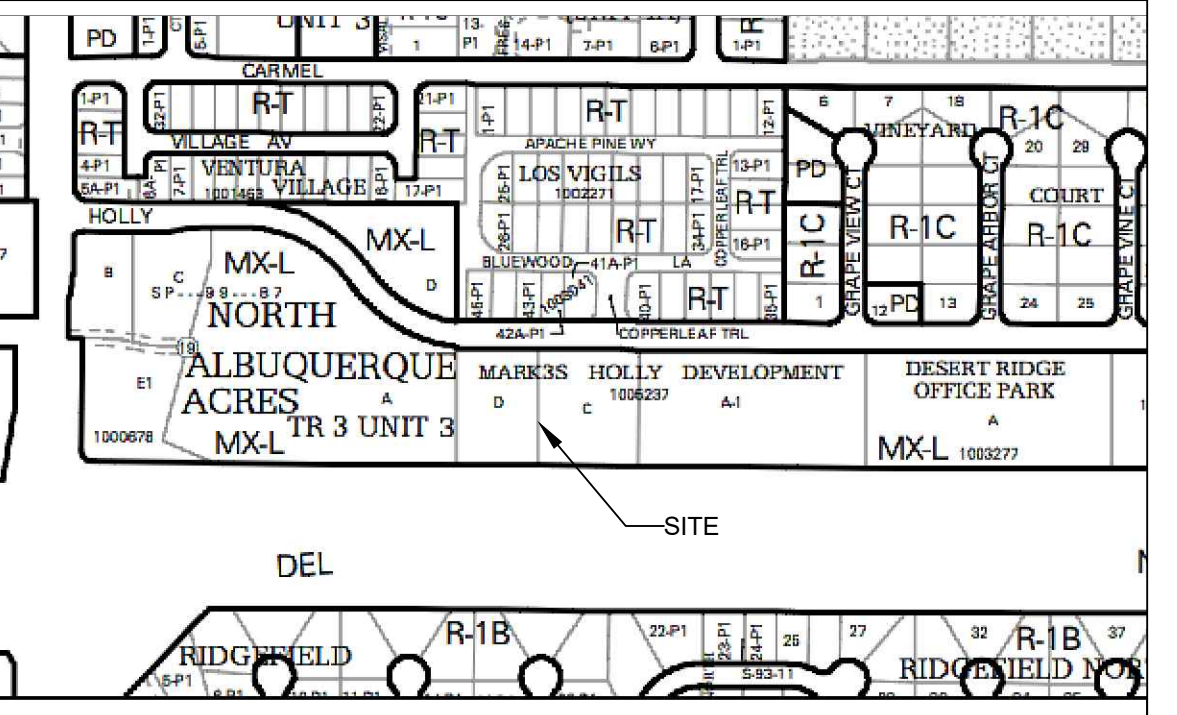
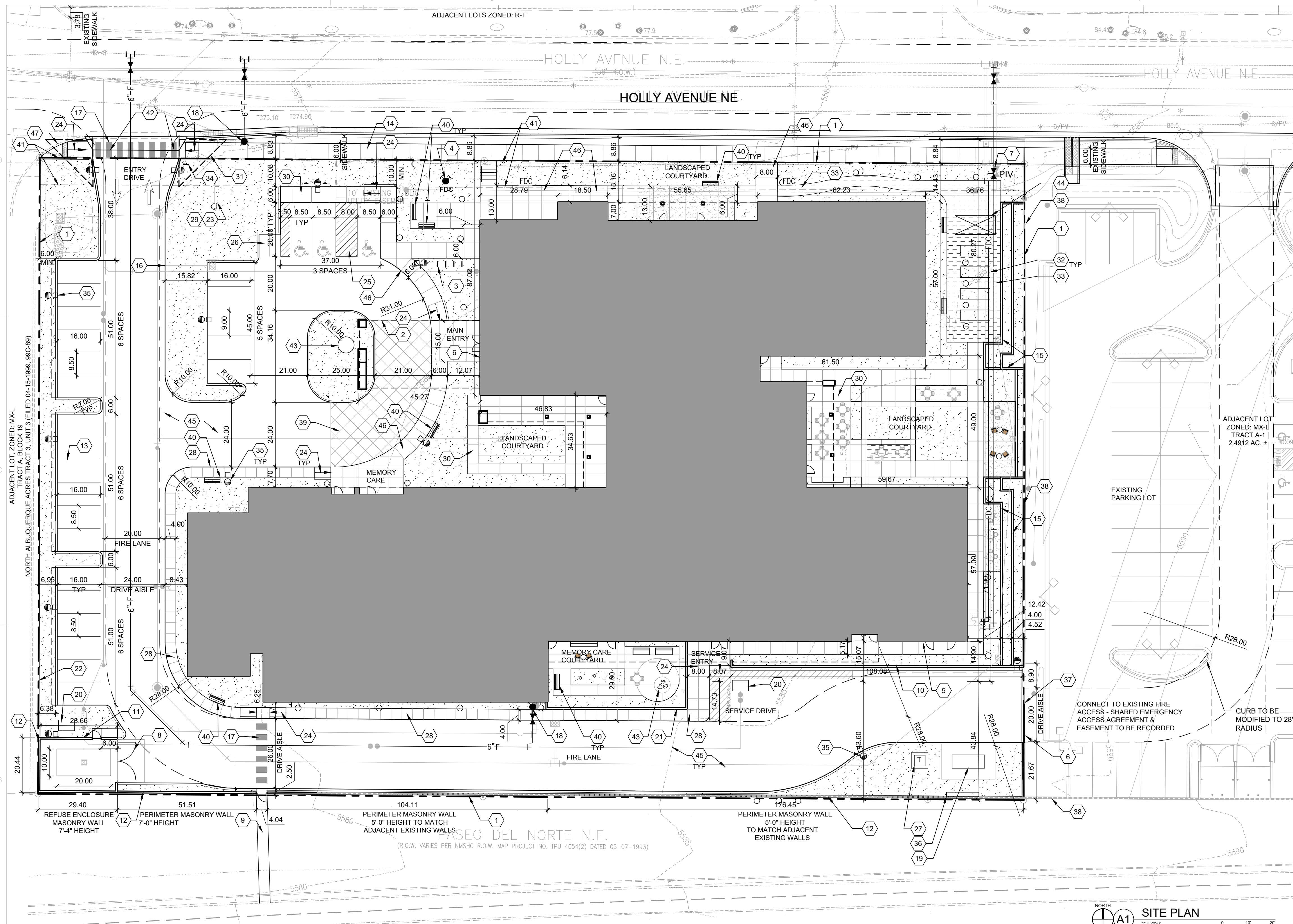
AC ENGINEERING ENTERPRISES, LLC.
120 ALISO DR. SE
ALBUQUERQUE, NM 87108
PHONE: 505.842.5787

DATE 10-19-2018

PROJECT NO. 18-0038

ISSUE PURPOSE

**SDP
APPLICATION**



VICINITY MAP PARTIAL ZONE MAP # C-20-Z

PROJECT NO.	
APPLICATION NO.	
IS AN APPROVED INFRASTRUCTURE LIST REQUIRED? [] YES [] NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
DRB SITE DEVELOPMENT PLAN APPROVAL:	
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE:
ABCWUA	DATE:
PARKS & RECREATION DEPARTMENT	DATE:
CITY ENGINEER/HYDROLOGY	DATE:
ENVIRONMENTAL HEALTH (CONDITIONAL)	DATE:
SOLID WASTE MANAGEMENT	DATE:
DRB CHAIRPERSON, PLANNING DEPT.	DATE:
CODE ENFORCEMENT	DATE:

SITE PLAN
1" = 20'0"

LEGEND	
	LANDSCAPE AREA
	STABILIZED CRUSHER FINES PAVING
	FIRE DEPARTMENT ACCESS LANE / EASEMENT AS NOTED
	PROPERTY LINE
	FIRE HYDRANT
	MAX BUILDING SET BACK LINE
	EASEMENT LINE
	6' WIDE PAINTED CROSSWALK
	SIDEWALK RAMP (ARROW POINTS DOWN)
	POST INDICATOR VALVE, RE: CONCEPTUAL UTILITY PLAN
	FIRE DEPARTMENT CONNECTION
	ACCESSIBLE PARKING ONLY SIGN
	BENCH
	ADA PARKING

DRAWN BY	VNF
REVIEWED BY	MJH
DATE	10-19-2018
PROJECT NO.	18-0038
DRAWING NAME	

SITE PLAN
SHEET NO.
SDP1.1
OF

GENERAL SHEET NOTES
A. SOLID WASTE COLLECTION IS THE RESPONSIBILITY OF THE CITY OF ALBUQUERQUE SOLID WASTE DEPARTMENT.
B. THE SITE SHALL COMPLY WITH THE INTERNATIONAL FIRE CODE (IFC) 2015.
C. THE FIRE DEPARTMENT ACCESS SHALL NOT BE LESS THAN 20' THROUGHOUT THE COMPLEX.
D. THE SITE SHALL HAVE A WATER SUPPLY THAT MEETS FIRE FLOW AND HAVE A DISTANCE TO THE NEAREST HYDRANT TO MEET IFC REQUIREMENTS.
E. ALL FIRE DEPARTMENT ACCESS SHALL HAVE A GRADE NO GREATER THAN 10%.
F. ALL BUILDING AND FREESTANDING SIGNAGE TO BE SUBMITTED UNDER A SEPARATE SIGN PERMIT AS PER THE UNDERLYING ZONING.
G. SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL ADA STANDARDS & GUIDELINES.
H. DESIGN WILL COMPLY WITH 2015 INTERNATIONAL FIRE CODE APPENDIX B.C&D.
I. ALL INSIDE RADII ALONG FIRE LANE SHALL BE 28'-0".
J. MAIN ENTRY DOORS AND EMERGENCY FIRE ACCESS GATE WILL HAVE A KNOX BOX FOR FIRE DEPARTMENT ACCESS.
K. FIRE ACCESS LANES SHALL BE MARKED FIRE LANE ON BOTH SIDES ALONG CURB.
L. FDC SHALL BE WITHIN 100 FEET OF A HYDRANT.
M. FIRE LANE SHALL BE CAPABLE OF SUPPORTING 75,000 LBS.
N. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
O. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
P. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

SHEET KEYED NOTES
1. PROPERTY LINE
2. LINE OF PORTE COCHERE ENTRY COVER
3. BIKE PARKING
4. FIRE DEPARTMENT CONNECTION
5. FIRE RISER LOCATION
6. KNOX BOX LOCATION PER FIRE ONE
7. POST INDICATOR VALVE (PIV) LOCATION
8. REFUSE ENCLOSURE GATE. SEE A1/SDP1.2
9. WALKWAY CONNECTION TO PASEO DEL NORTE TRAIL, A PAVED MULTI USE TRAIL CLOSED TO AUTOMOTIVE TRAFFIC. DEVELOPER TO COORDINATE WITH NMDOT ASSISTANT TRAFFIC ENGINEER MARGARET HAYNES ON PROPOSED TRAIL ACCESS CONNECTION.
10. RETAINING WALL
11. 7'-4" HIGH MASONRY REFUSE ENCLOSURE WALL FOR COMPACTOR AND RECYCLE CONTAINERS
12. 6'-0" TALL SPLITFACE CMU WALL TYP. COLOR BUFF#270, ACCENT COLOR MANZANO BROWN #350 WITH 4" CAP TO MATCH ADJACENT EXISTING WALL.
13. PARKING LOT STRIPING, 4" WIDE TYPICAL, COLOR: WHITE
14. 6" WIDE CONCRETE SIDEWALK PER COA IDO STANDARDS
15. TERRACED RETAINING WALLS WITH RAISED GARDEN
16. CONCRETE CURB AND GUTTER
17. PAINTED CROSSWALK, COLOR: WHITE
18. FIRE HYDRANT, PAINT SAFETY ORANGE. SEE CIVIL
19. SEC BACK UP STANDBY GENERATOR
20. GREASE INTERCEPTOR
21. MEMORY CARE WALL
22. 3'-0" HIGH MASONRY WALL
23. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
24. ACCESSIBLE CONCRETE CURB RAMP, TYPICAL
25. ACCESSIBLE PARKING

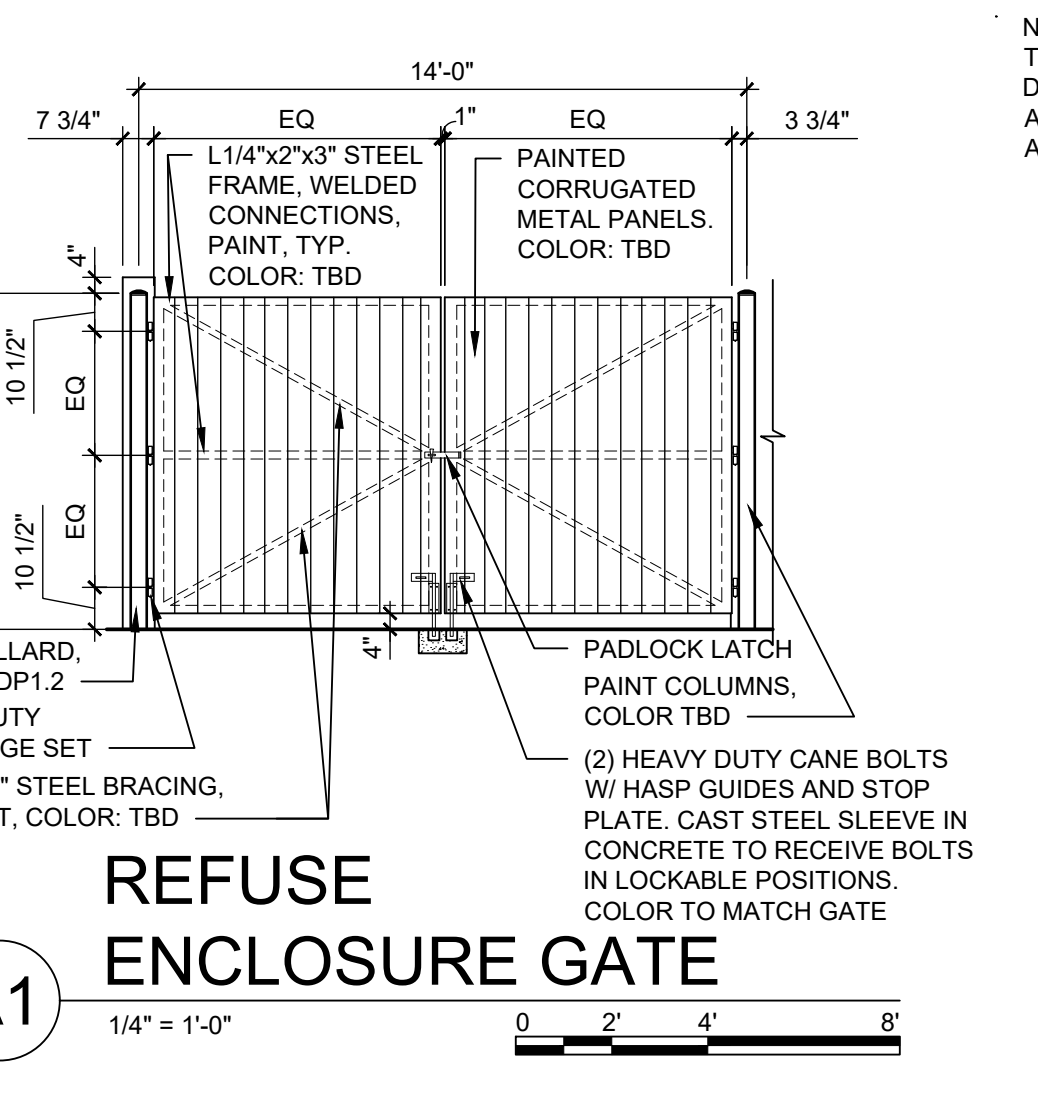
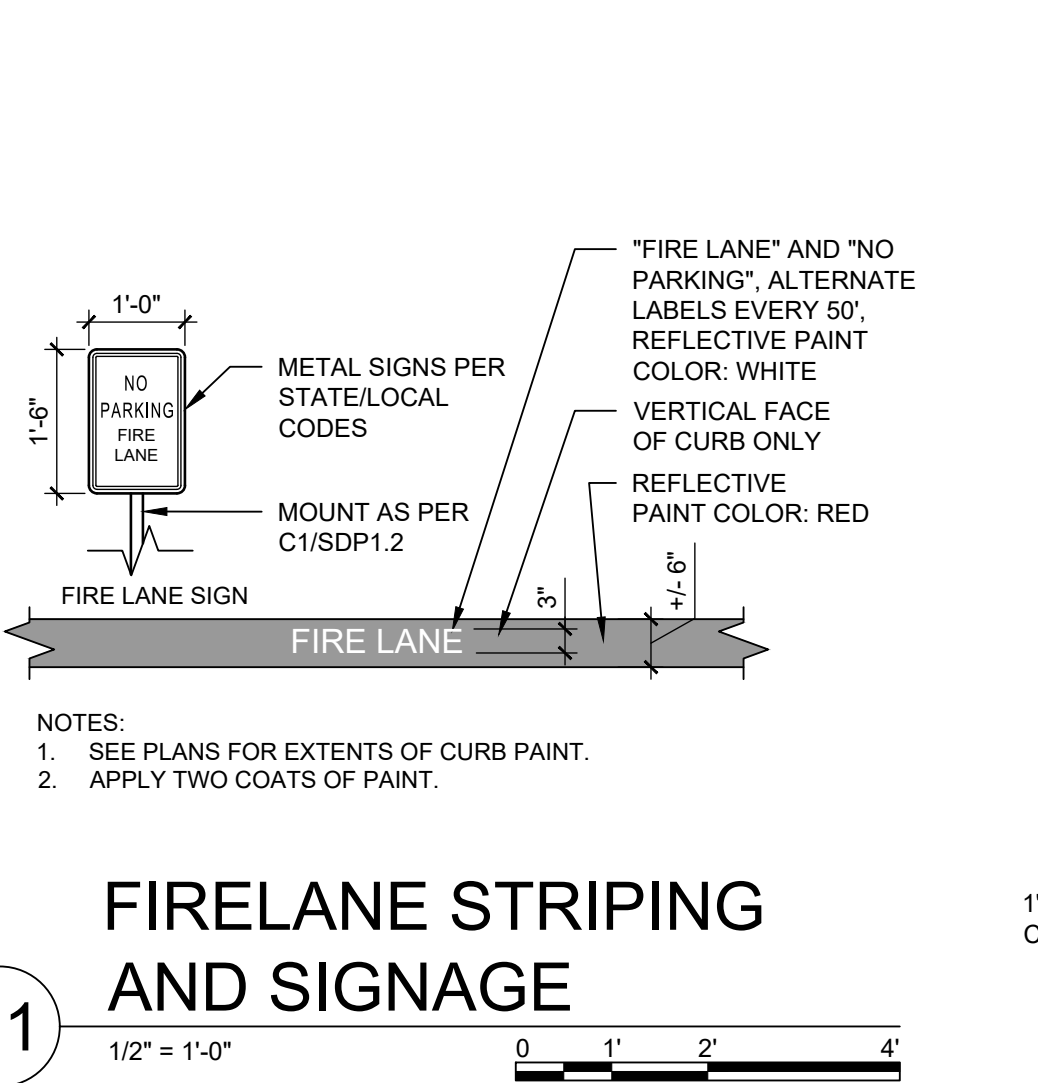
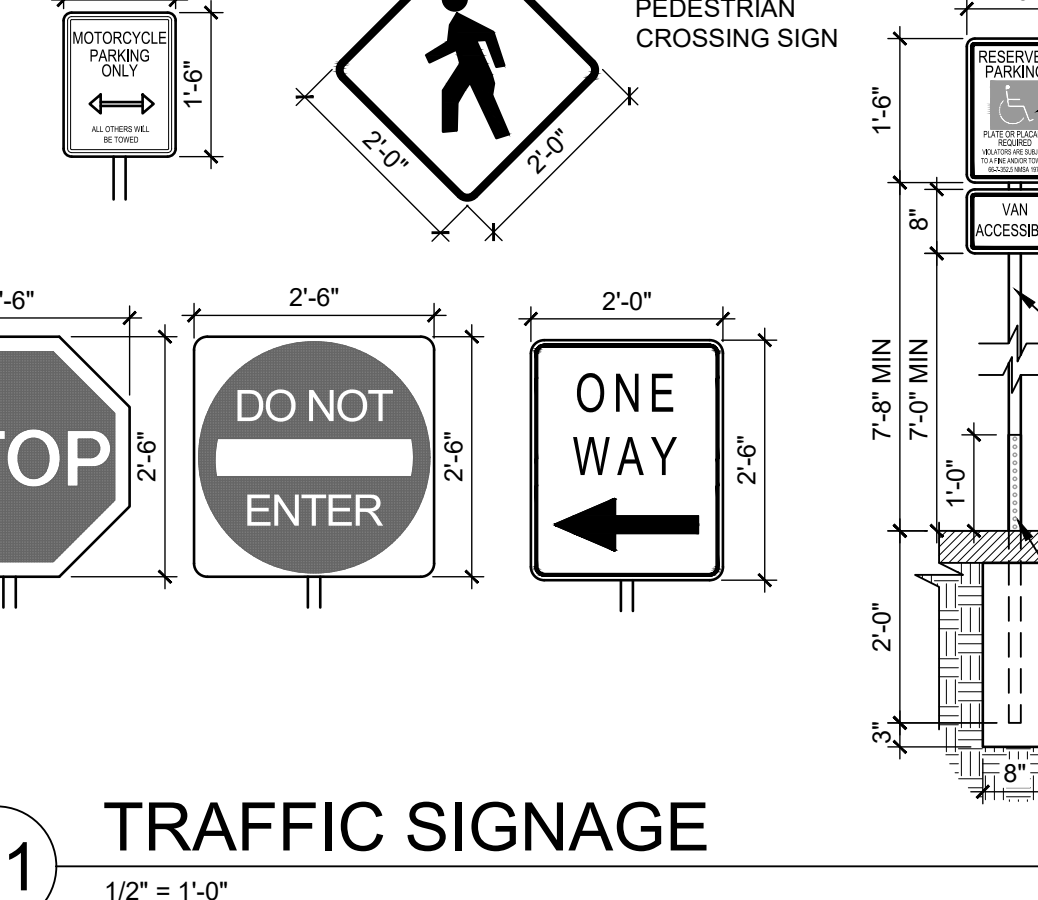
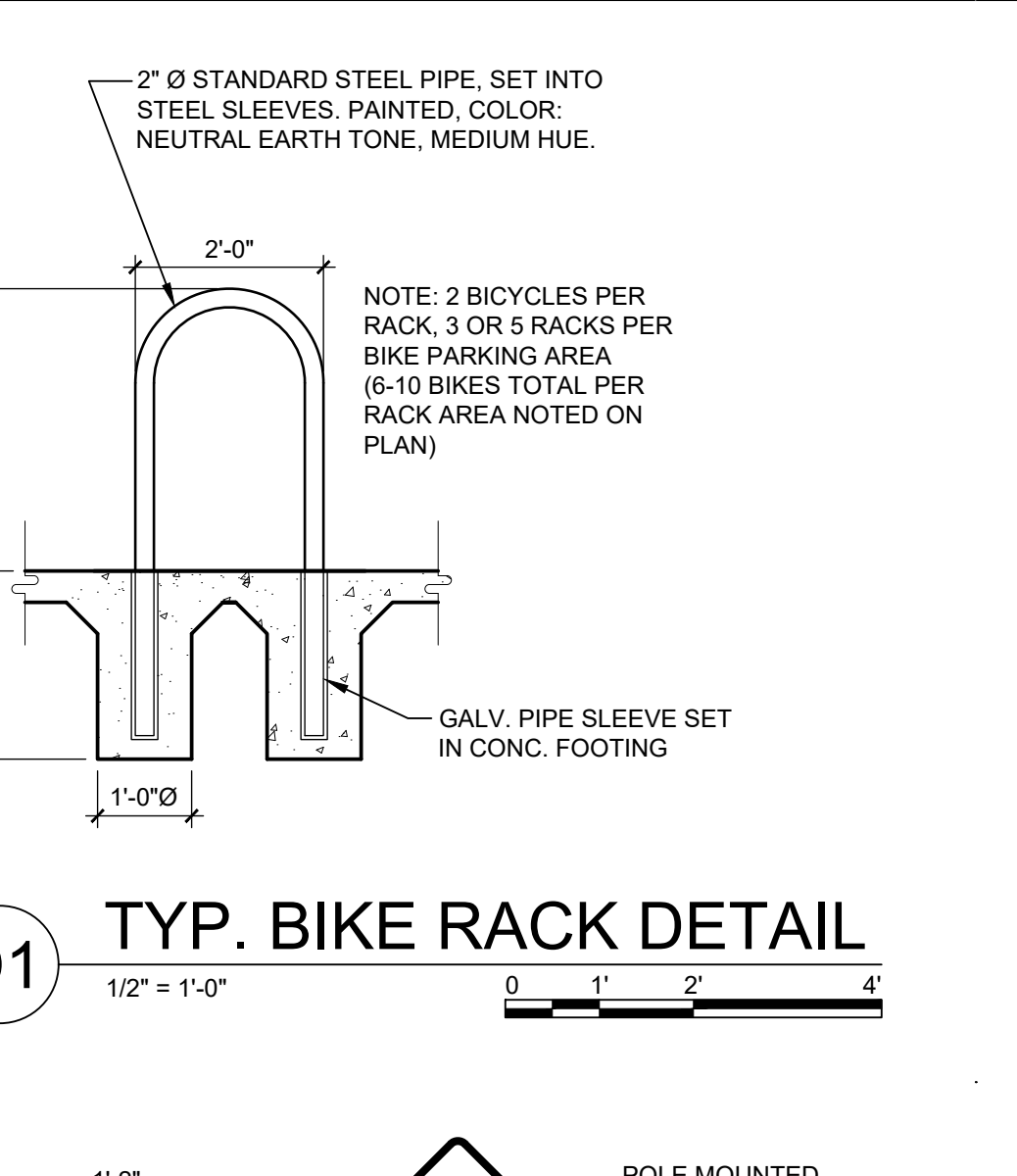
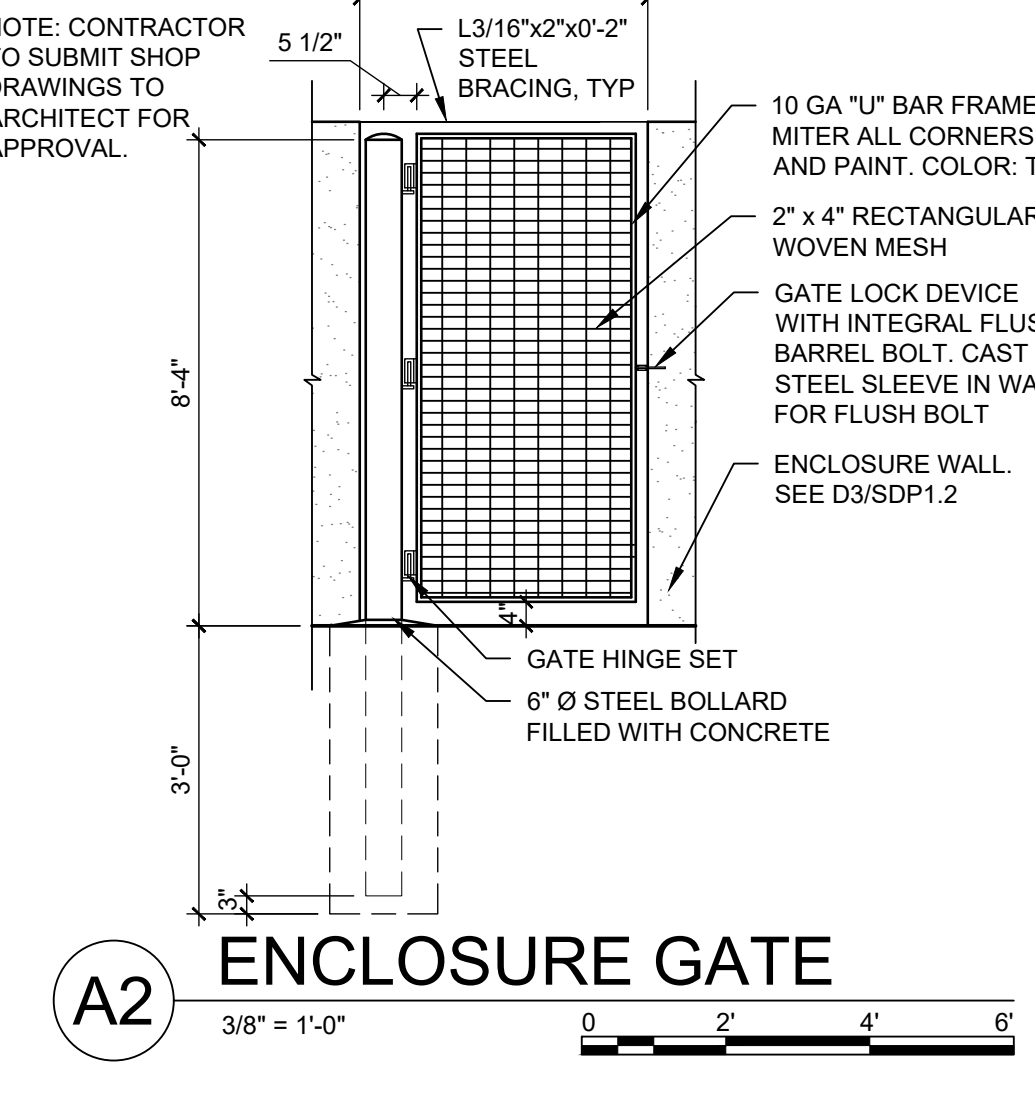
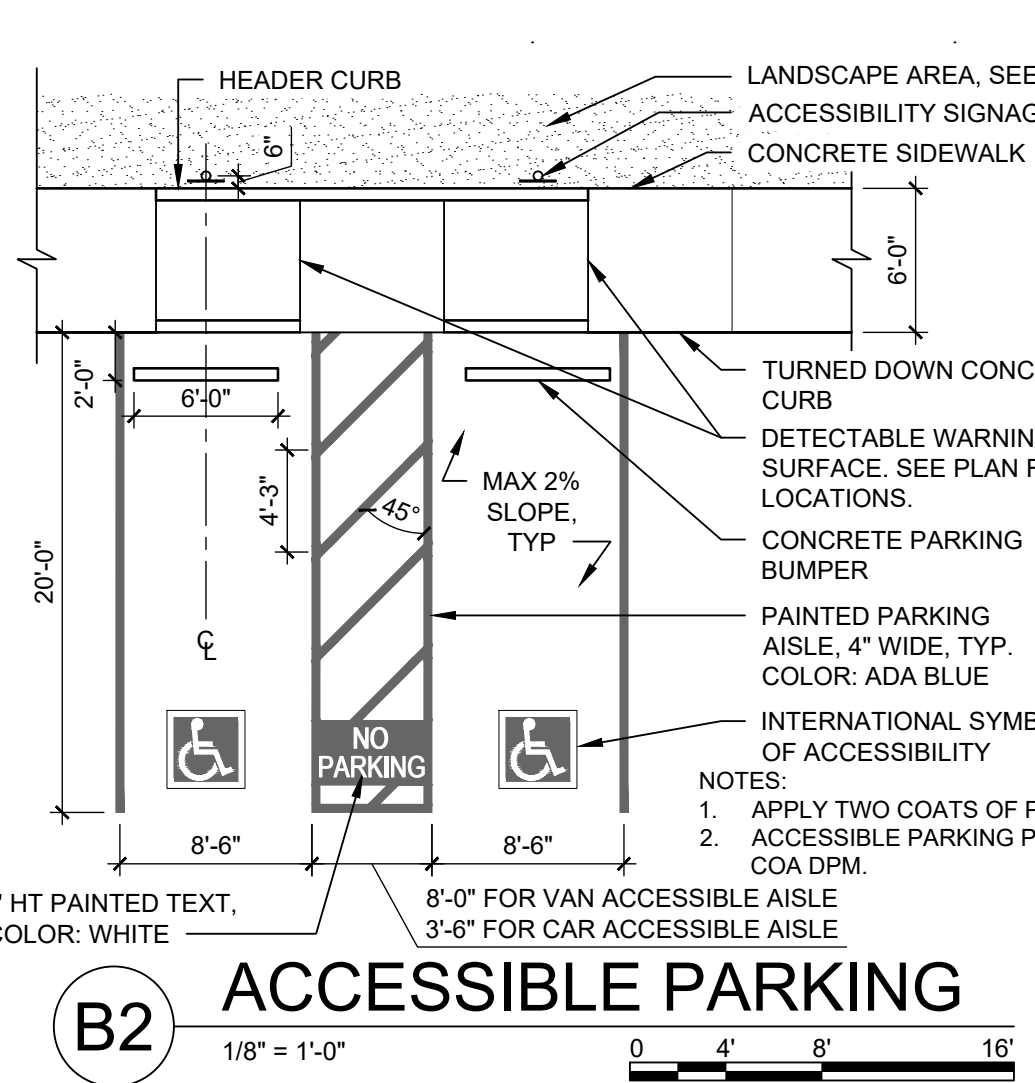
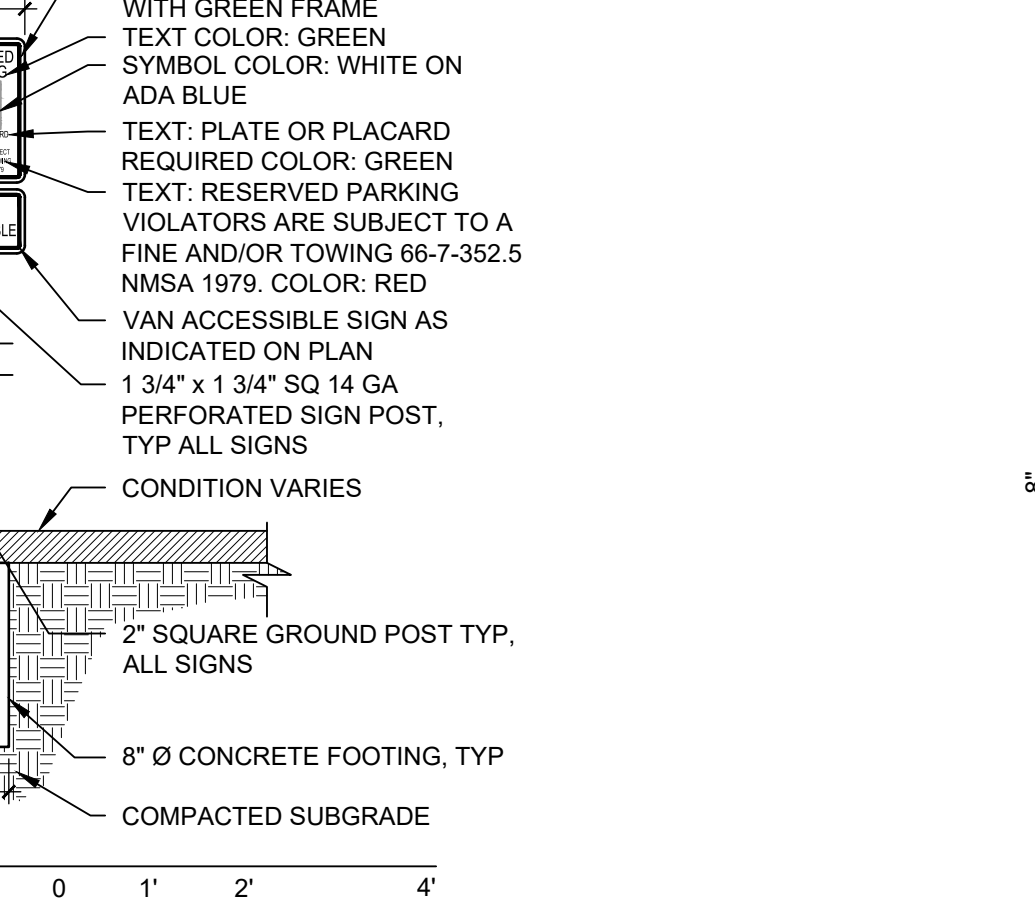
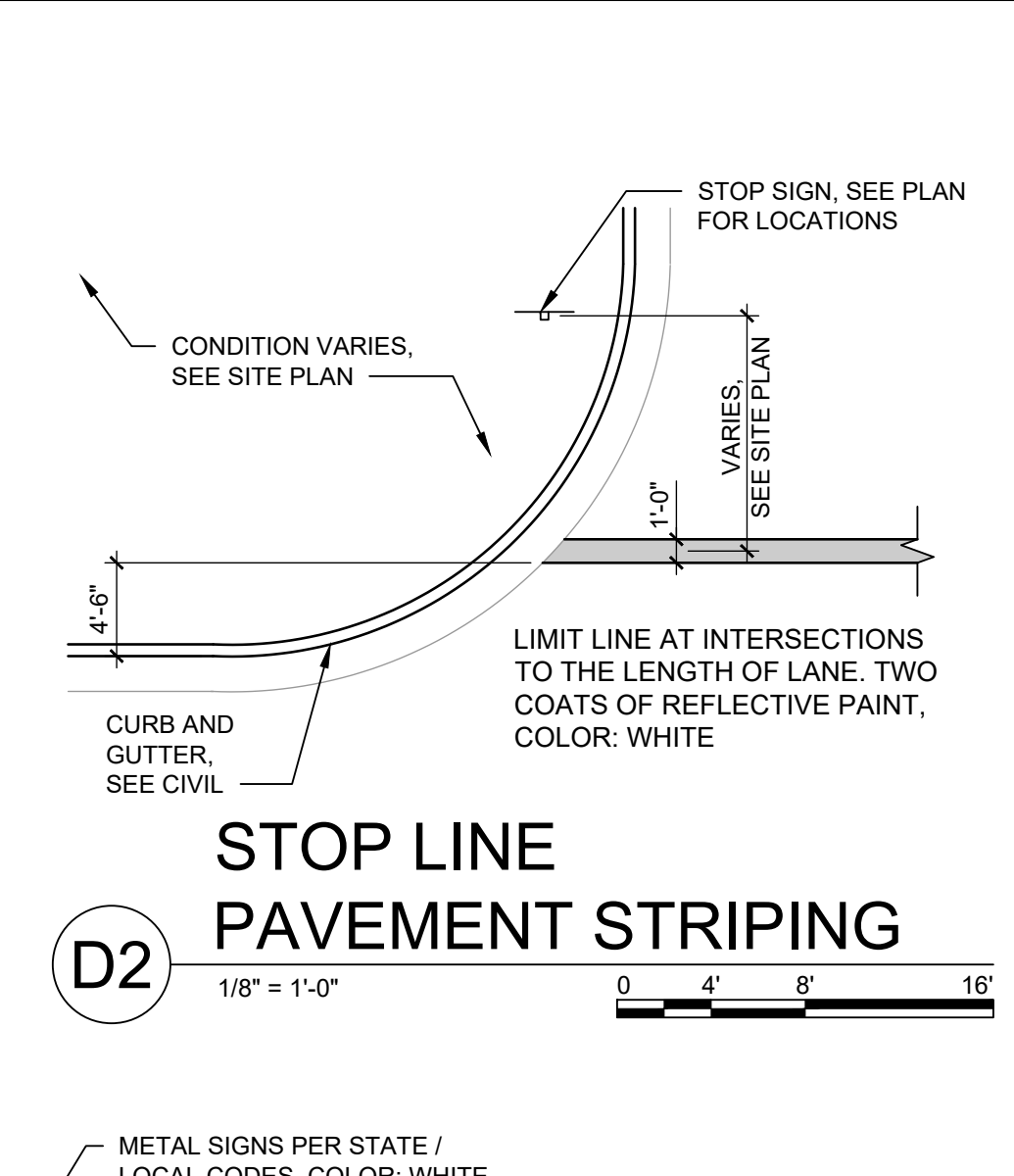
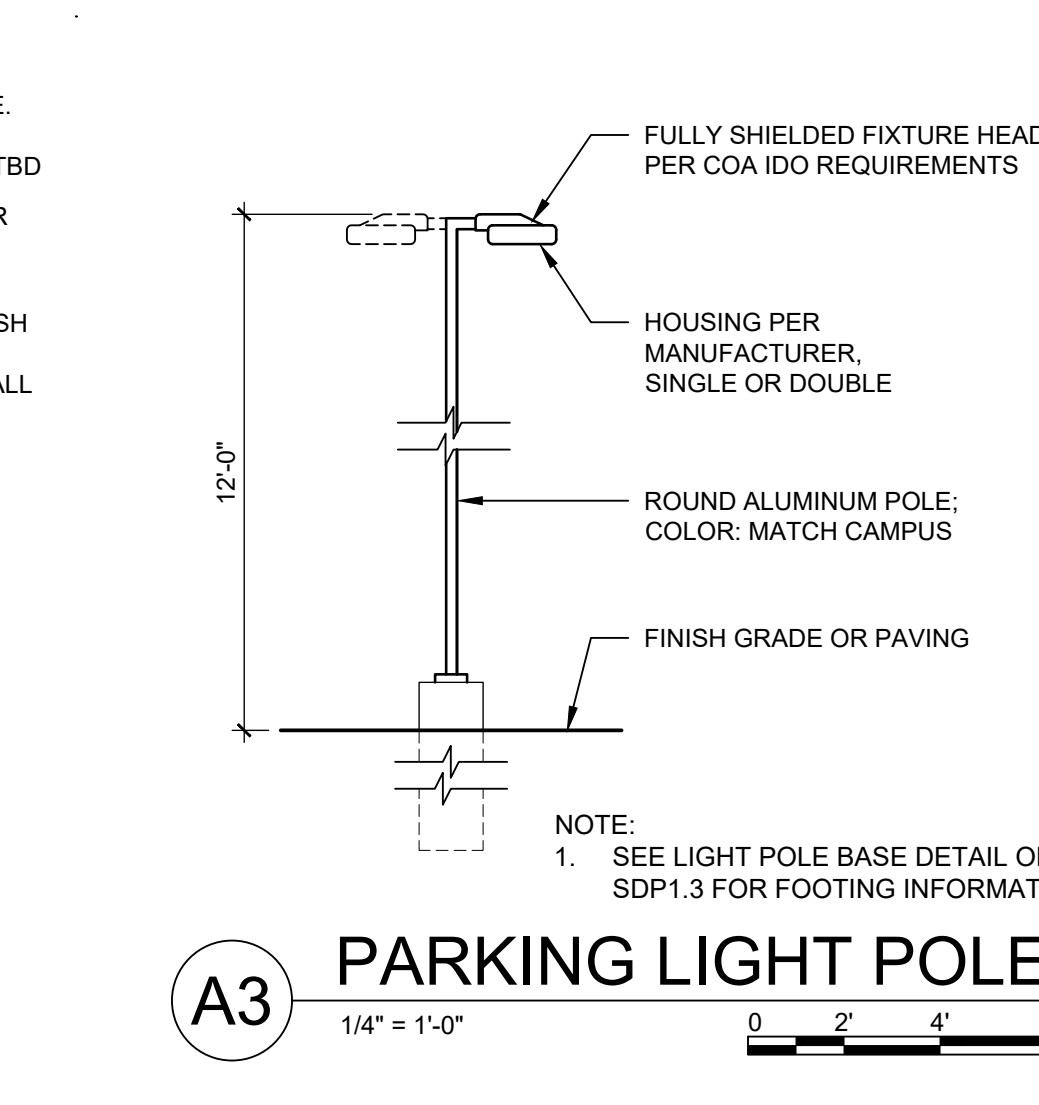
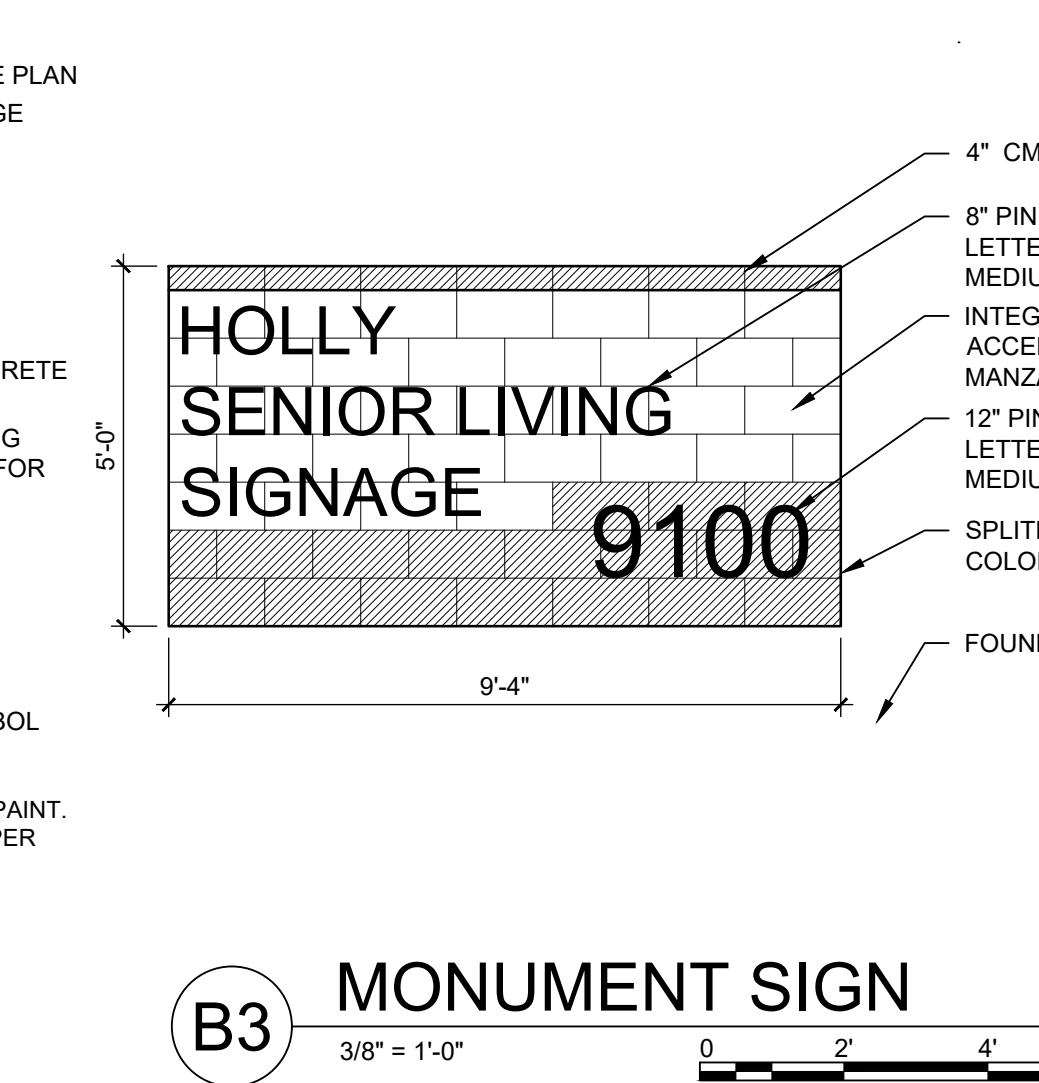
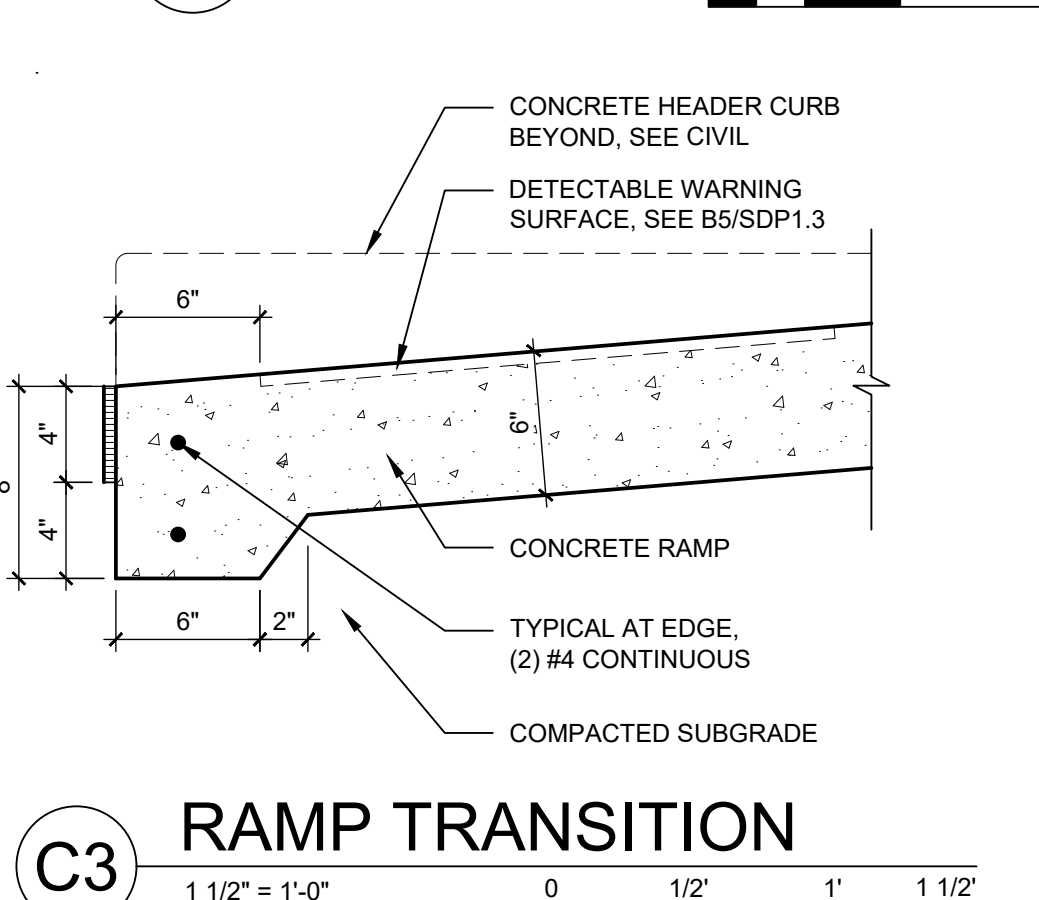
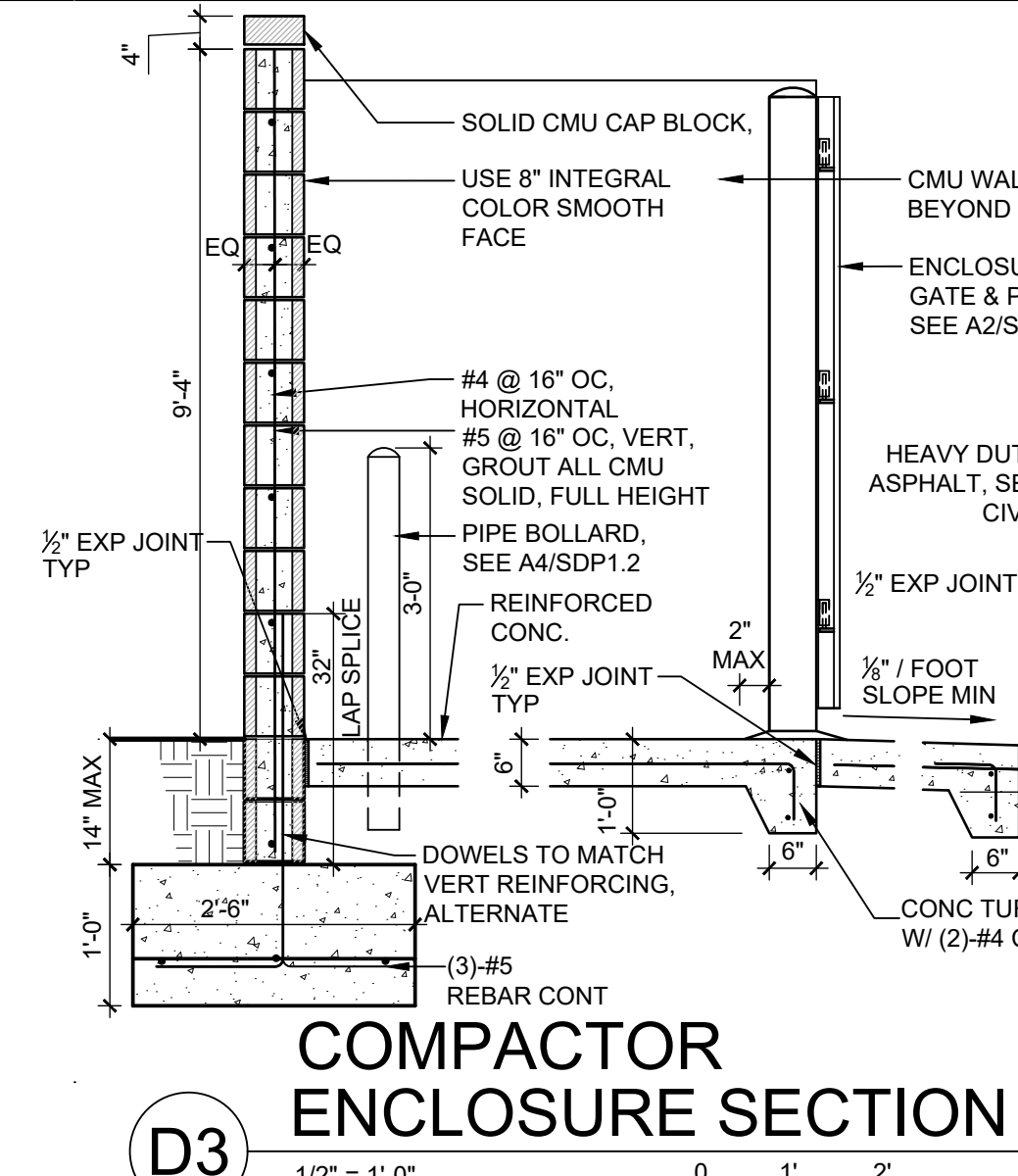
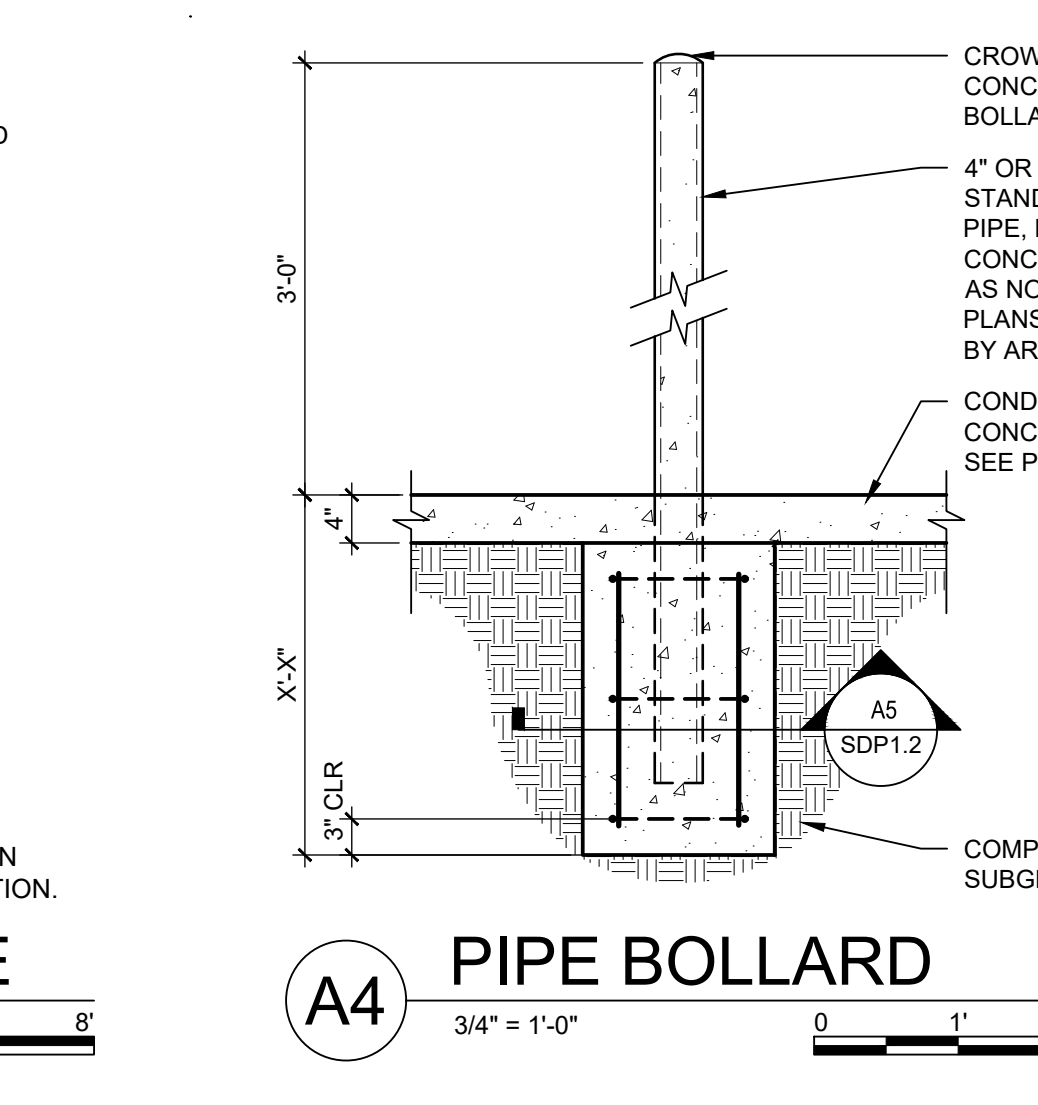
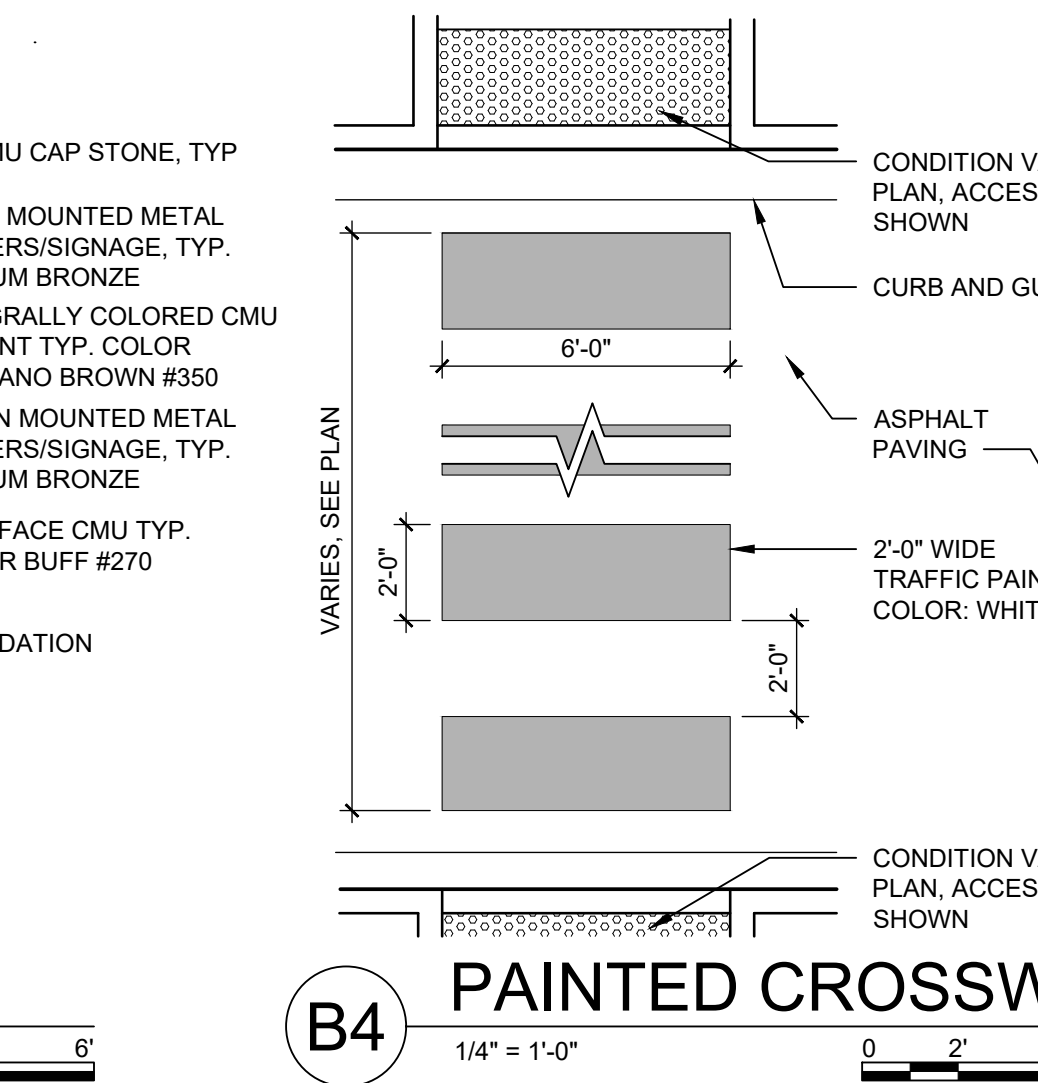
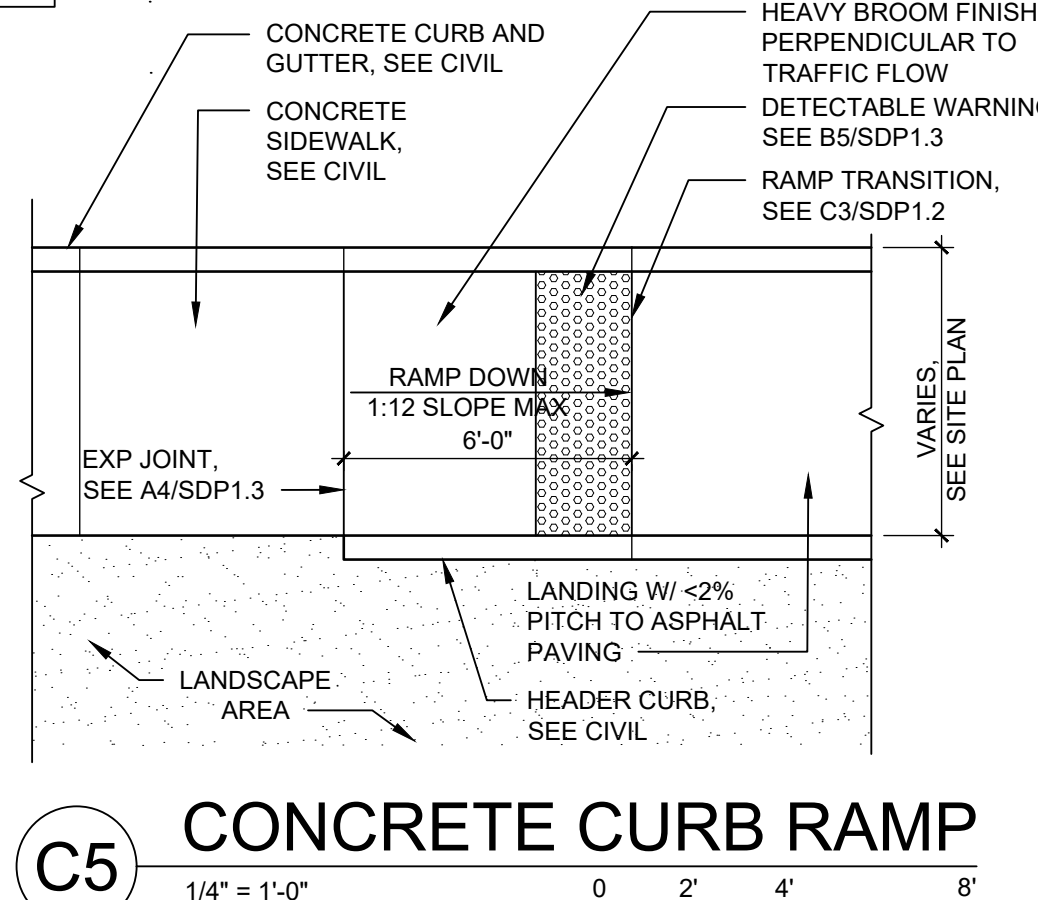
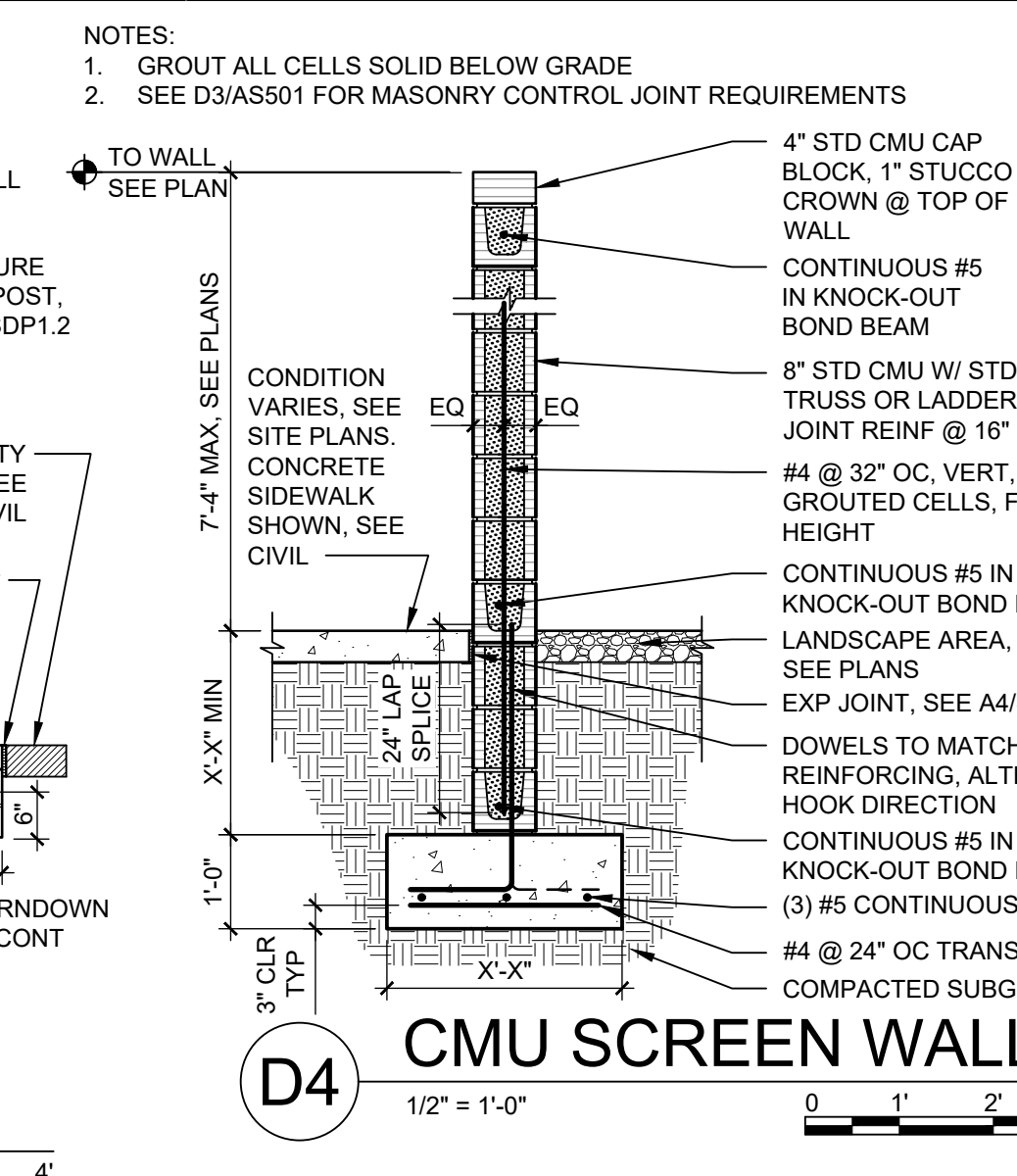
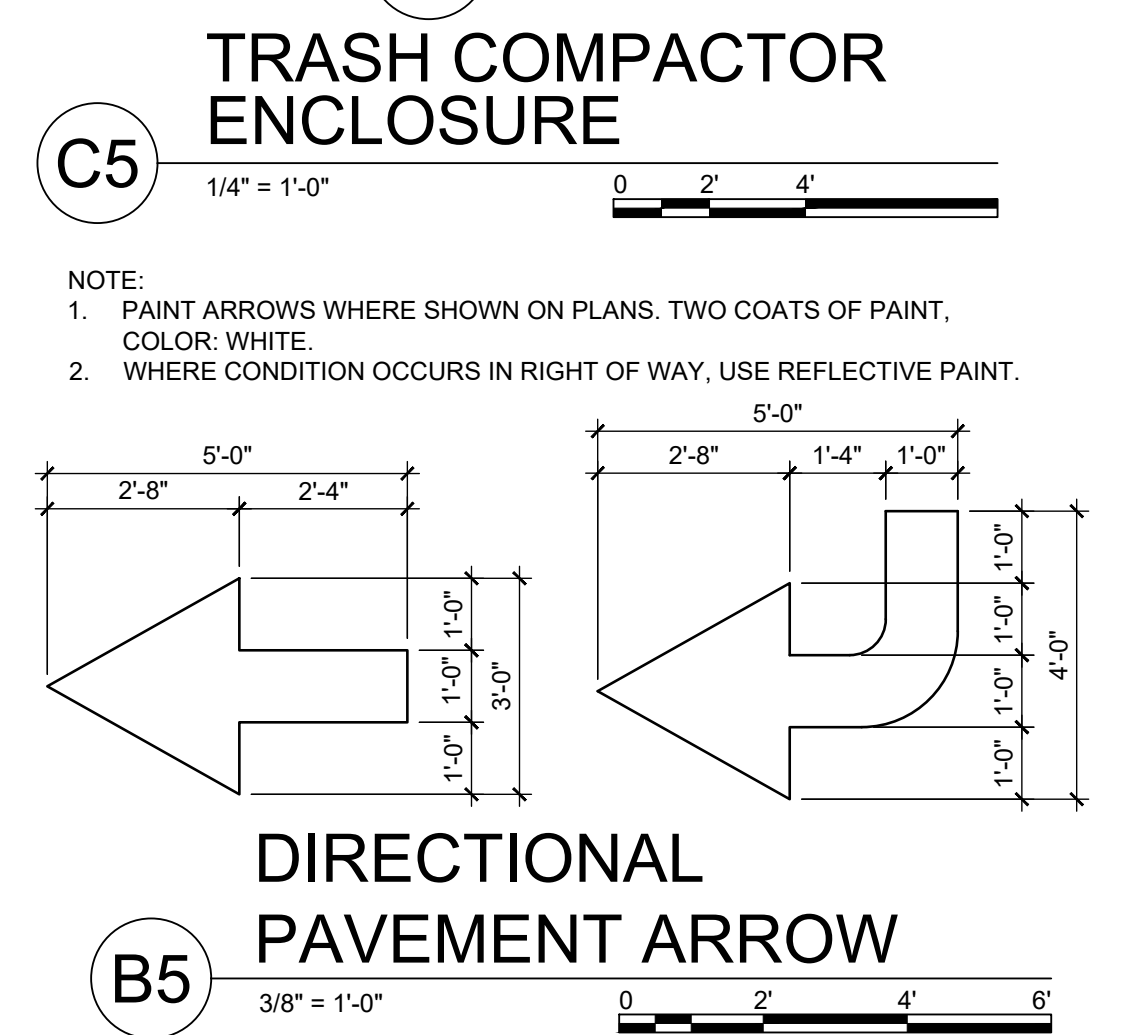
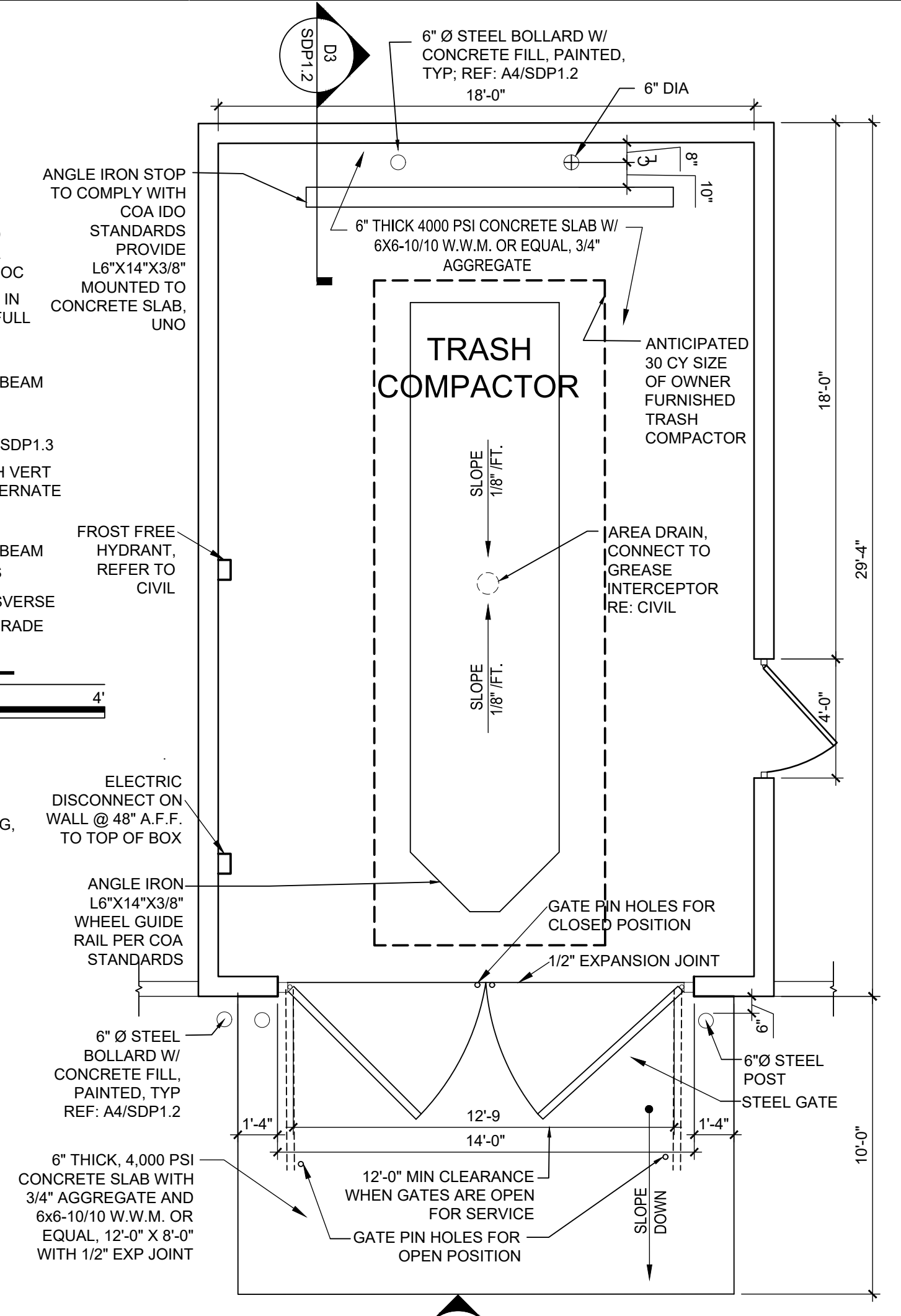
26. MOTORCYCLE PARKING
27. ELECTRICAL TRANSFORMER ON 6" CONCRETE PAD
28. CONCRETE SIDEWALK WITH THICKENED EDGE
29. MONUMENT SIGN PER COA IDO REQUIREMENTS
30. CONCRETE SIDEWALK WIDTH SHOWN ON PLAN
31. CLEAR SIGHT TRIANGLE. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
32. RAISED PLANTER
33. CRUSHER FINES PATH
34. STOP SIGN
35. POLE MOUNTED SHIELDED LIGHT FIXTURE
36. ILLUMINATED WALL MOUNTED SIGNAGE VISABLE FROM PASEO DEL NORTE
37. GATE
38. EXISTING PERIMETER MASONRY WALL
39. CONCRETE PAVING OR PAINTED DROP-OFF ZONE
40. BENCH
41. 10'-0" EXISTING PUBLIC UTILITY EASEMENT
42. NEW 32'-0" WIDE DRIVE PAD PER COA STD DWG 2425
43. SCULPTURE OR OTHER SITE FEATURE
44. GARDEN SHADE STRUCTURE
45. ASPHALT PAVING
46. 6" WIDE MINIMUM CONCRETE PEDESTRIAN PATHWAY
47. EXISTING PARTIAL CURB AND RAMP TO BE DEMOLISHED

PROJECT DATA
ZONING: (MX-L) MIXED USE - LOW INTENSITY ZONE DISTRICT
LEGAL DESCRIPTION: TRACT C AND D, MARK 35 HOLLY DEVELOPMENT
SITE AREA: 0.8943 + 1.0863 = 1.9806 ACRES
ZONE ATLAS: C-20-Z
SETBACKS: FRONT= 5', SIDE= 5', INTERIOR= 10', REAR= 15'
BUILDING HEIGHT: 35'-0" ALLOWED, 38'-6" WITH DEVIATION
SPRINKLED: YES
FIRE FLOW: 2500 GPM
HYDRANTS REQUIRED: 3 TOTAL
BUILDING OCCUPANCY: I-1 CONDITION 2, 56 UNITS OF ASSISTED LIVING, 16 UNITS OF MEMORY CARE VA, FULLY SPRINKLED
CONSTRUCTION TYPE:
BUILDING SF:
FIRST LEVEL 31,837 GSF
SECOND LEVEL 24,564 GSF
THIRD LEVEL 19,771 GSF
TOTAL 76,172 GSF
PARKING CALCULATION: (TABLE 5-5-1) REQUIRED:
1 SPACE/ 3 BEDS
3 / 76 = 26
2 MOTORCYCLE SPACES
SPACES REQUIRED = 26 SPACES
SPACES PROVIDED = 26 SPACES
(INCLUDES 3 ADA ACCESSIBLE SPACES: 2 STANDARD, 1 VAN, 8.5'x20' PER COA DPM)
MOTORCYCLE = 2 SPACES

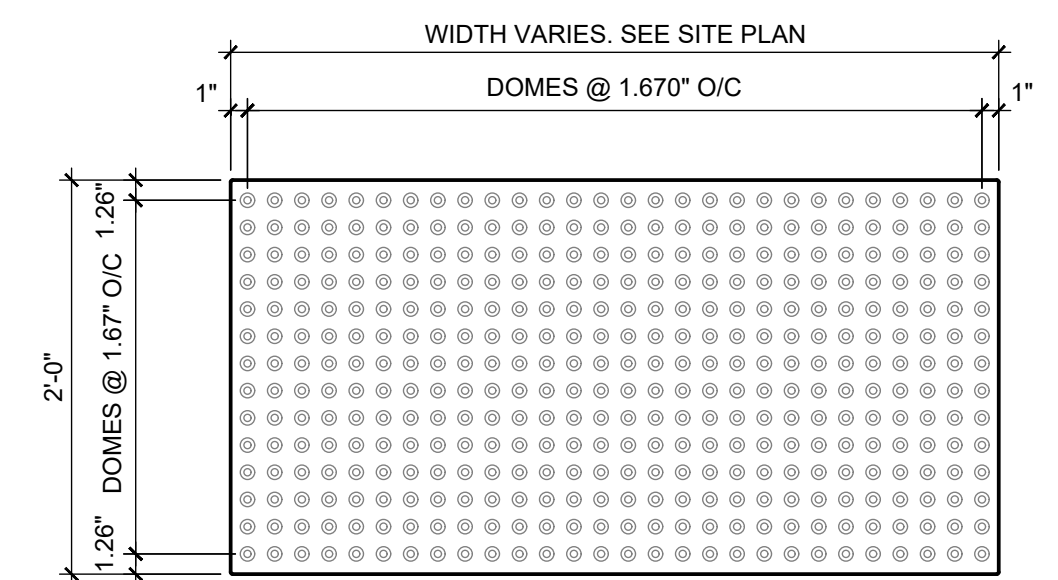
Table with 2 columns: REVISIONS, and 2 rows of empty revision boxes.

Table with 2 columns: DRAWN BY, REVIEWED BY, DATE, PROJECT NO., DRAWING NAME. Values: VNF, JFM, 09-28-2018, 18-0038, SITE DETAILS.

SITE DETAILS



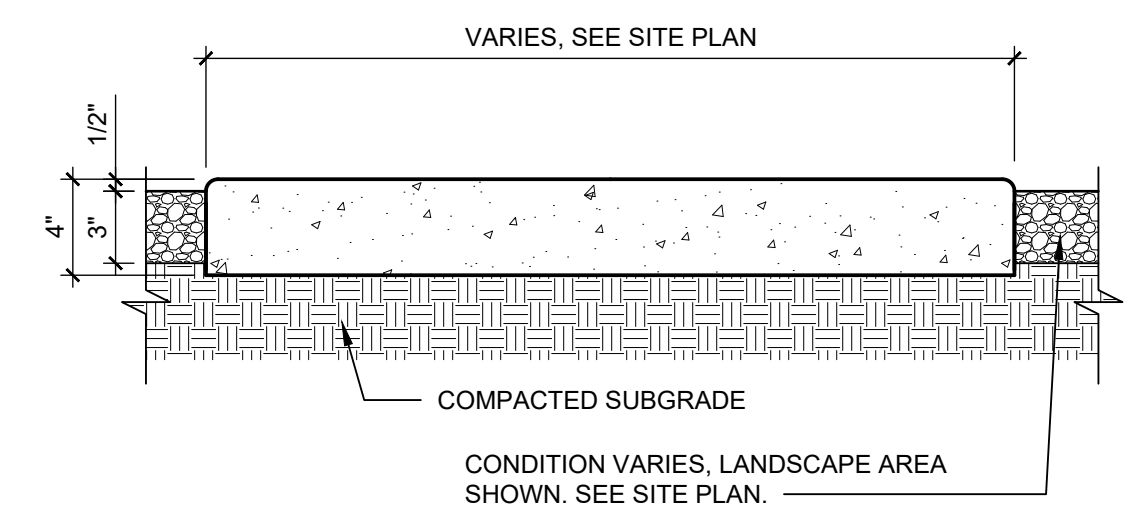
- NOTES:
1. MANUFACTURER: XXXX
2. COLOR: XXXX
3. INSTALL PER MANUFACTURER'S DETAILS AND SPECIFICATIONS



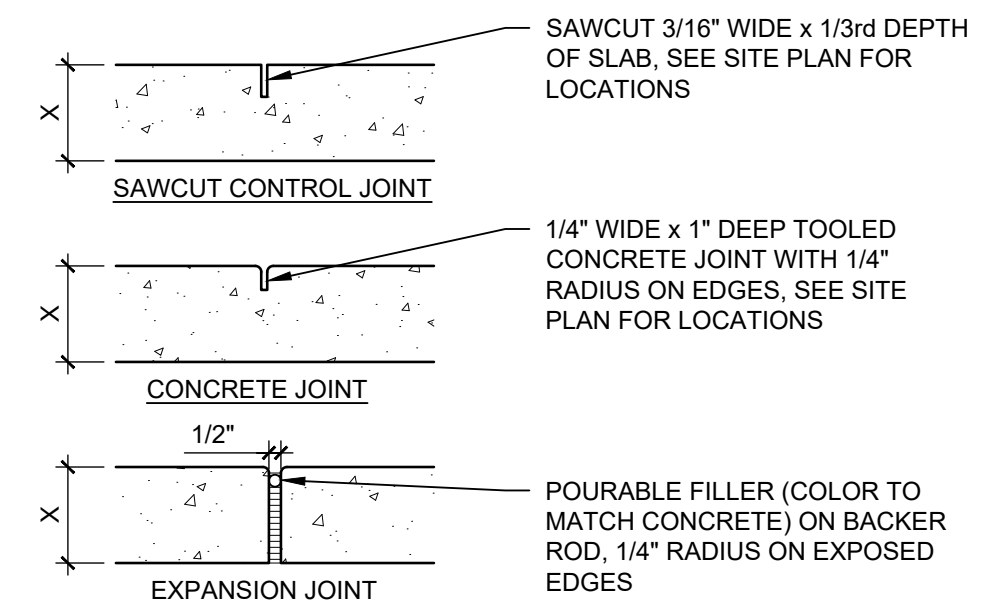
**DETECTABLE
WARNING
SURFACE**



- NOTES:
1. SEE SITE PLANS AND A4/SDP1.3 FOR JOINTING.
2. CAST-IN-PLACE CONCRETE PAVING LIGHT BROOM PERPENDICULAR TO TRAFFIC FLOW WITH 1/2" RADIUS ON EXPOSED EDGES.
3. INTEGRAL COLOR WHERE NOTED ON PLANS.
4. FINISH GRADE FOR LANDSCAPE AREAS SHALL BE 1/2" BELOW TOP OF PAVING.



A5 CONCRETE SIDEWALK



CONTROL AND EXPANSION JOINT SPACING - UNLESS NOTED OTHERWISE ON PLANS

APPROX WIDTH OF CONCRETE	CURB & GUTTER, ROLL, HEADER, FLUSH CURBS	5' WALK	8' WALK & BLDG APRON	6'-12' WALK
CONTROL JOINTS	4' OC	5' OC	8' OC	6' OC
EXPANSION JOINTS	16' OC	15' OC	24' OC	18' OC

**CONCRETE JOINTS
& JOINT SPACING**

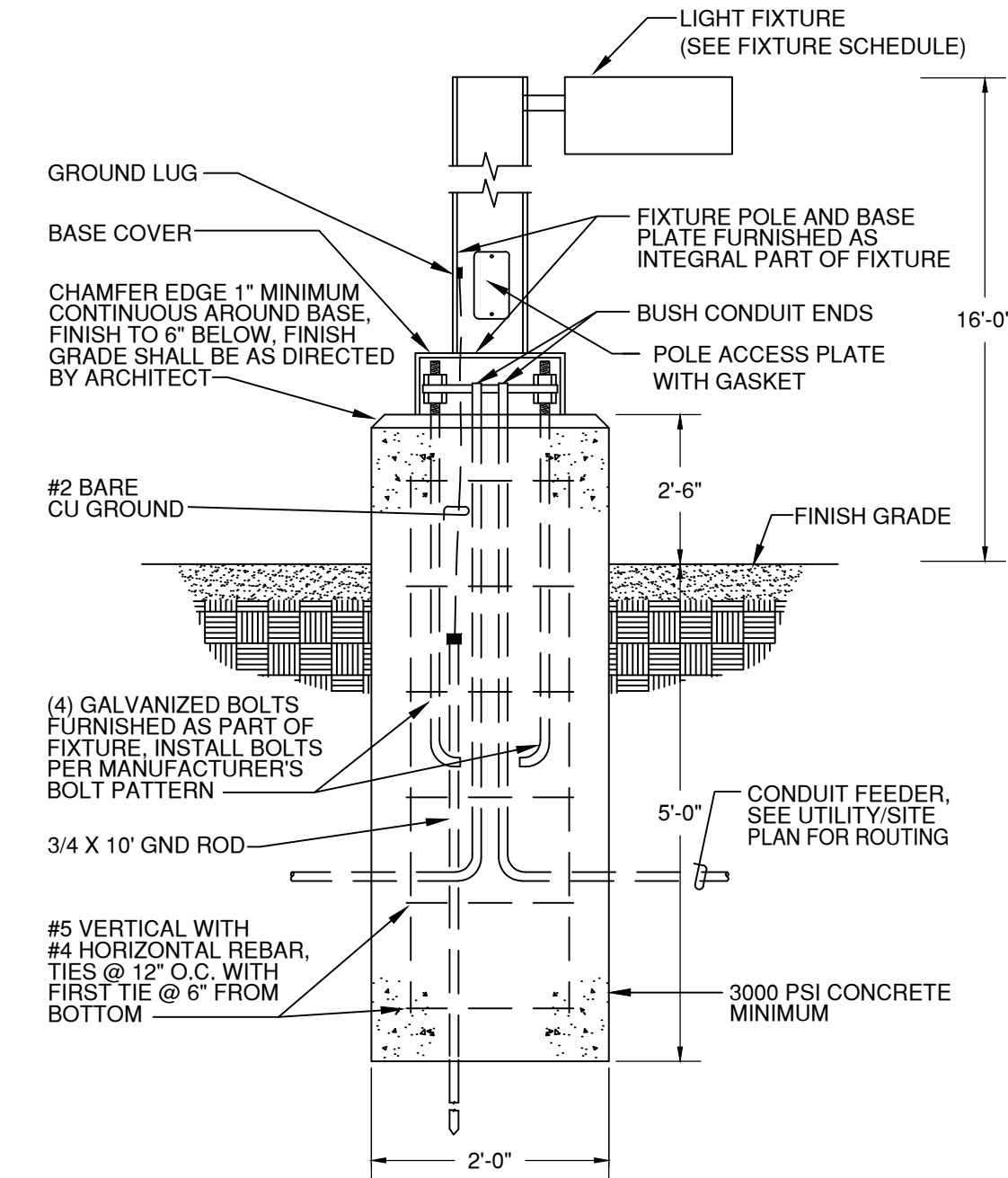
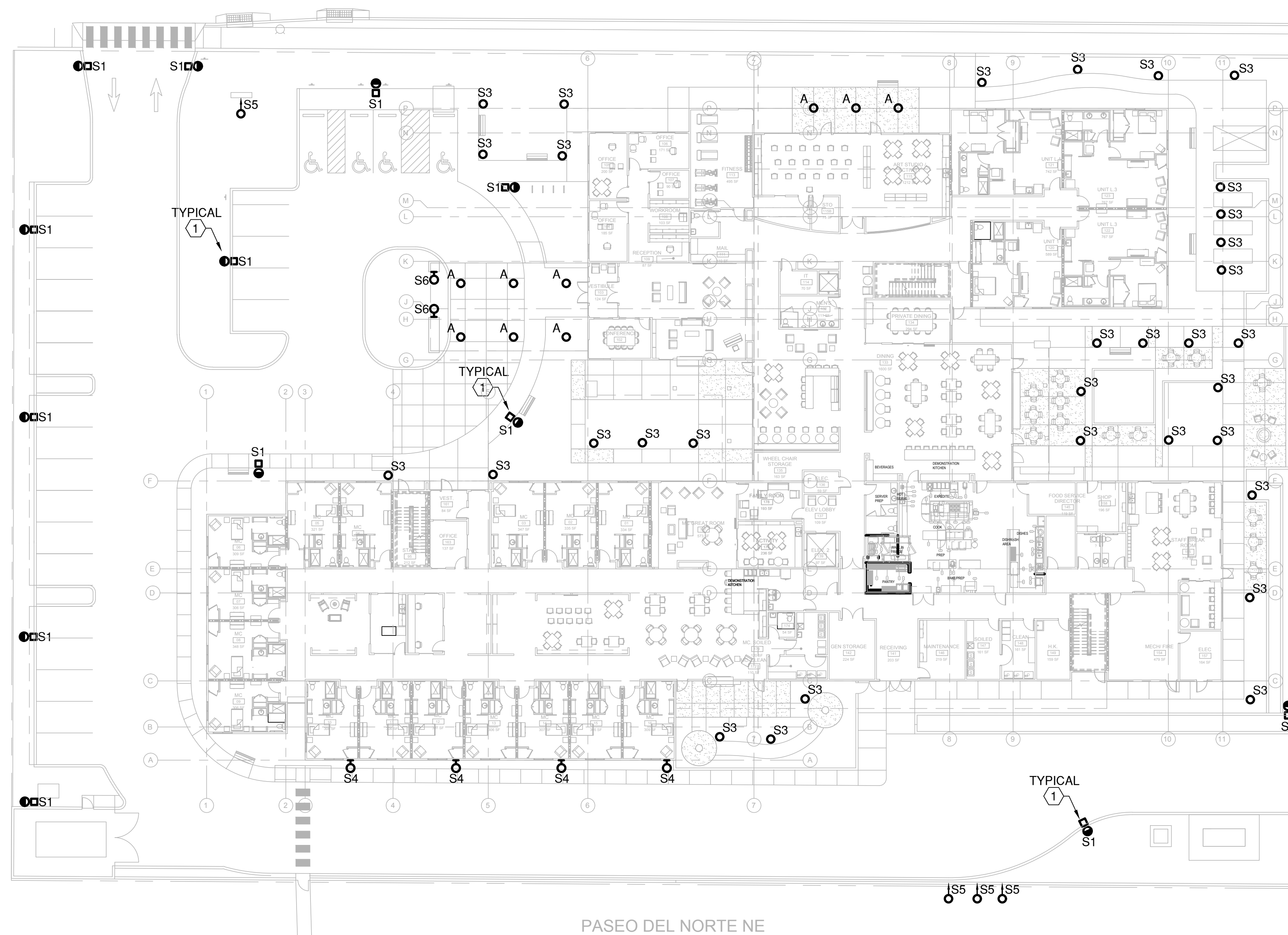


REVISIONS

△	
△	
△	
△	

DRAWN BY	VNF
REVIEWED BY	JFM
DATE	10-19-2018
PROJECT NO.	18-0038
DRAWING NAME	

**SITE
DETAILS**



POLE BASE DETAIL FOR PARKING LUMINAIRES
NO SCALE

**DEKKER
PERICH
SABATINI**

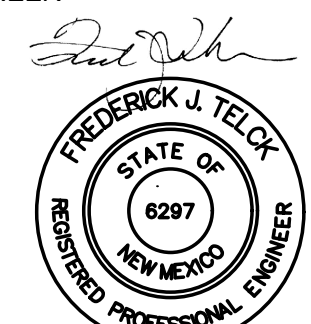
7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT

FOR REFERENCE ONLY

ENGINEER



08/09/18

PROJECT

HOLLY AVENUE SENIOR LIVING
9300 HOLLY AVENUE NORTHEAST
ALBUQUERQUE, NEW MEXICO 87122

REVISIONS
△
△
△
△

DRAWN BY
REVIEWED BY
DATE 7-30-2018
PROJECT NO. 18-0038
DRAWING NAME

ELECTRICAL
SITE LIGHTING
PLAN

SHEET NO.
SDP1.4
OF

C1 ELECTRICAL SITE LIGHTING PLAN
1" = 20'-0"

FIXTURE SCHEDULE

TYPE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION / LOCATION	LAMPS			MOUNTING INSTRUCTIONS	REMARKS
				TYPE	WATTS	LUMENS		
A	PORTFOLIO	#	RECESSED DOWN LIGHT IN SOFFIT	LED	35	4,725	RECESSED	
S1	INVUE	MSA-E06-LED-E1-T3-BZ	LED SITE LUMINAIRE TYPE III DISTRIBUTION ON 12' POLE WITH DARK BRONZE FINISH	LED	150	14,911	12' POLE - SEE DETAIL THIS SHEET	
S3			LED BOLLARD LOW LEVEL ILLUMINATION					
S4			LED ARCHITECTURAL WALL SCONCE				MOUNT ON BLDG AT 15' AFG	
S5			LED SIGN LIGHT					
S6			LED SIGN LIGHT				MOUNT AT PORTE COCHERE AT 9' AFG	

GENERAL SHEET NOTES

- SITE LIGHTING POLE AND LUMINAIRE SHALL COMPLY WITH NEW MEXICO DARK SKIES ENFORCEMENT ACT AND THE CITY OF ALBUQUERQUE LIGHTING ORDINANCE.
- PARKING LOTS SHALL BE ILLUMINATED TO 1 FOOTCANDLE AVERAGE MAINTAINED AND SHALL NOT EXCEED 4 FOOTCANDLES AVERAGE MAINTAINED.
- SITE LIGHTING SHALL BE PEDESTRIAN STYLE AND SHALL NOT EXCEED 15' IN HEIGHT FROM THE GROUND LEVEL THE TOP OF THE LUMINAIRE.

REFERENCE KEYNOTES

- SITE LIGHTING POLE AND LUMINAIRE. REFER TO THE FIXTURE SCHEDULE AND MOUNTING DETAIL THIS SHEET.

DESCRIPTION

The geometric form of MESA LED luminaire allows it to adapt to either contemporary or traditional architectural settings. Available in single or twin pole mount configurations with optional wall mounting capability, the MESA LED luminaire's mounting options allow for harmonized site design whether at the entryway or in the parking lot. UL/cUL listed for use in wet locations.

SPECIFICATION FEATURES

Construction
HOUSING: Die-cast aluminum main housing and spider mount base maintains a minimum 0.125 wall thickness. Integral aluminum heat sink provides superior thermal heat transfer in -40°C ambient environments. DOOR ASSEMBLY: Top mounted, heavy wall, die-cast aluminum door maintains a nominal 0.125 thickness. Door includes a self-retaining interior hinge. GASKET: Continuous silicone gasket provided to seal housing door assembly and optic tray. LENS: Downlight lens is LED board integrated acrylic over-optic, each individually sealed for IP66 rating. HARDWARE: Four inset fasteners on underside of housing provide access to luminaire interior. Concealed, stainless steel four bar hinge lock allows door to lock in the open position.

Optics
Choice of twelve patented, high-efficiency AccuLED Optic™ technology manufactured from injection-molded acrylic. Optics are precisely designed to shape the light output, maximizing efficiency and application spacing. AccuLED Optic technology, creates consistent distributions with the

scalability to meet customized application requirements. Offered Standard in 4000K (+/- 275K CCT and minimum 70 CRI), optional 3000K CCT and 5000K CCT. For the ultimate level of spill light control, an optional house-side shield accessory can be field or factory installed. The house-side shield is designed to seamlessly integrate with the SL2, SL3 or SL4 optics. LightBAR optic tray is removable and able to rotate 360° in 90° increments for specific placement of the distribution relative to fixture.

Electrical
LED drivers mount to die-cast aluminum back housing for optimal heat sinking, operation efficiency, and prolonged life. Standard drivers feature electronic universal voltage (120-277V 50/60Hz), 347V 60Hz or 480V 60Hz operation, greater than 0.9 power factor, less than 20% harmonic distortion, and is suitable for operation in -40°C to 40°C ambient environments. All fixtures are shipped standard with 10kV/10kA common-mode and differential-mode surge protection. LightBar feature and IP66 enclosure rating and maintain greater than 90% lumen maintenance at 60,000 hours per

IESNA TM-21 Occupancy sensor and dimming options available.

Mounting
Fitter assembly mounts over 3" O.D. tenon and is secured via three concealed stainless steel set screws. Design of fitter provides seamless transition to 4" round poles. Additional mounting accessories include a dual fixture post top mounting arm and wall mount arm.

Finish
Housing is finished in five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. LightBAR™ cover plates are standard white and may be specified to match finish of luminaire housing. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult Outdoor Architectural Colors brochure for a complete selection.

Warranty
Five-year warranty.

Invue

Catalog #	HOLLY SENIOR LIVING "S1"
Project	PARKING LOT
Comments	ACE
Prepared by	ACE
Type	
Date	08/20/18

MSA LED

1-6 LightBARs
Solid State LED
DECORATIVE LUMINAIRE

CERTIFICATION DATA
UL/cUL Listed
90-9001
IP66 LightBARs
UL974 UL984 Compliant
2G Vibration Tested

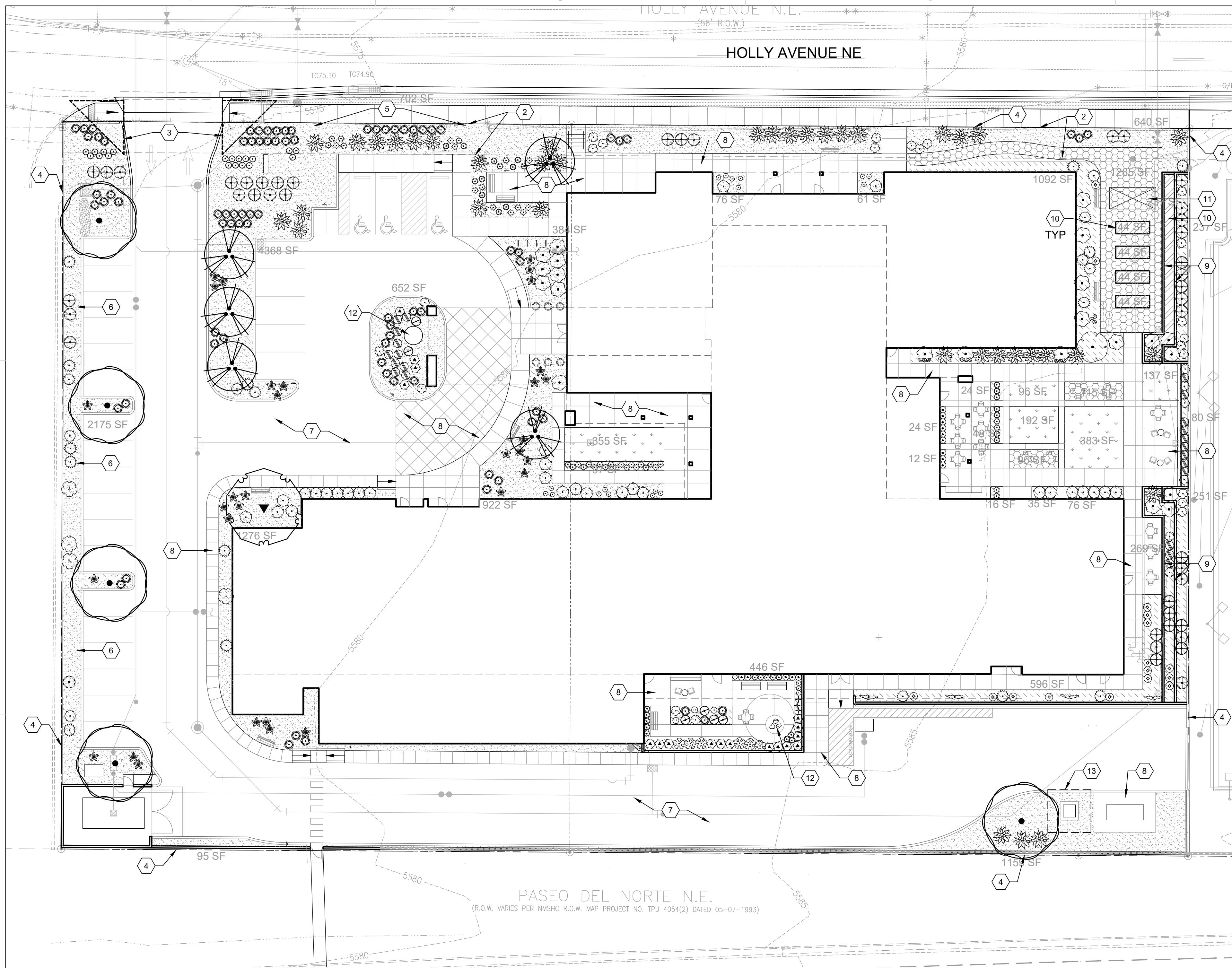
ENERGY DATA
Electronic LED Driver
0.9 Power Factor
<20% Total Harmonic Distortion
120-277V/50 & 60Hz, 347V/60Hz, 480V/60Hz
-40°C Minimum Temperature
40°C Ambient Temperature Rating

EPA
Effective Projected Area (Sq. Ft.)
Single Mount 1.1

SHIPPING DATA
Approximate Net Weight:
50 lbs. (22.7 kg)

FAT-N
Fighting Business Worldwide

**A C ENGINEERING
ENTERPRISES, LLC**
120 Aliso Drive, SE
Albuquerque, New Mexico 87108
Phone 505.842.5787
Facsimile 505.842.5797



PLANT SCHEDULE

Table with columns: TREES, SHRUBS, DESERT ACCENT, GRASSES, PERENNIALS, VINE/ESPALIER. Each row lists botanical name, common name, size, mat. ht., mat. dia., water use, and est qty.



LANDSCAPE CALCULATIONS

TOTAL SITE AREA = 1.9806 AC = 86,275 SF
AREA OF LOT COVERED BY BUILDINGS = 31,837 SF
NET LOT AREA = 54,438 SF
REQUIRED LANDSCAPE AREA (15% OF NET LOT AREA) = 8,166 SF
PROVIDED LANDSCAPE AREA = 16,591 SF = 31%
(see hatch legend for exclusions from landscape areas)
REQUIRED TREES
TREES PER PARKING SPACES: REQUIRED = 1 TREE / 10 PARKING SPACES
TOTAL NUMBER OF PARKING = 26 SPACES
REQUIRED NUMBER OF PARKING LOT TREES = 3 TREES
PROVIDED NUMBER OF PARKING LOT TREES = 7 TREES
NO PARKING SPACE MAY BE MORE THAN 100 FEET AWAY FROM A TREE TRUNK
REQUIRED STREET TREES = 15 placed at 25' on center (365' of street frontage)
PROVIDED STREET TREES = 0 (Proposed landscape along Holly Avenue frontage is consistent with adjacent development showing no street trees between the curb and the sidewalk due to site constraints, public utility easement and overhead utility lines.)
REQUIRED VEGETATIVE COVERAGE
REQUIRED GROUND COVERAGE = 12,443 SF = 75% OF PROVIDED LANDSCAPE AREA
A MINIMUM 25% OF TOTAL LANDSCAPE COVERAGE BY GROUND PLANTS
PROVIDED TOTAL GROUND COVERAGE = 12,493 SF = 75%
TREE CANOPY COVERAGE = 6,872 SF = 41% OF PROVIDED COVERAGE
GROUND PLANT COVERAGE = 4,813 SF = 29% OF PROVIDED COVERAGE
PROPOSED TURF AREA = 808 SF = 5% OF REQUIRED LANDSCAPE AREA
NO MORE THAN 10% OF REQUIRED LANDSCAPE AREAS SHALL BE TURF
GROUND COVER MATERIAL
ROCK MULCH GROUND COVER = 11,809 SF = 71% OF PROVIDED LANDSCAPE AREA
ORGANIC MULCH GROUND COVER = 4,782 SF = 29% OF PROVIDED LANDSCAPE AREA
A MAXIMUM OF 75% OF GRAVEL OR CRUSHER FINES IS PERMITTED
PARKING LOT EDGE LANDSCAPE - 90 LF OF PARKING LOT EDGE
REQUIRED PARKING LOT EDGE = 2 TREES AND 6 SHRUBS PER 25' OF PARKING LOT
REQUIRED BUFFER = 13 TREES AND 40 SHRUBS
PROVIDED BUFFER = 0 TREES AND 25 SHRUBS (no trees included due to utility easement)

GENERAL SHEET NOTES

- 1. RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD.
2. STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPE DESIGN WILL COMPLY WITH THE CITY OF ALBUQUERQUE'S GENERAL LANDSCAPING, BUFFERING, AND SCREENING REGULATIONS AND WATER CONSERVATION ORDINANCE.
3. TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY. SURFACE TREATMENT: ALL LANDSCAPE AREAS SHALL BE COVERED WITH TURF OR VEGETATION AND MULCH. ORGANIC MULCH IS REQUIRED AT EACH TREE ROOTBALL AREA/DRIPLINE.
4. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
5. MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS: 2" CALIPER TREES, 6' HEIGHT CONIFERS, AND 1 GALLON SHRUBS.
6. AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.
7. VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5' OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
8. NO EXISTING PLANT MATERIAL IS TO BE PRESERVED ON THE PROPERTY. ALL PLANT MATERIALS ILLUSTRATED ARE NEW.

IRRIGATION NOTES

- 1. ALL PLANTINGS SHALL BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM, WITH PROGRAMMABLE SETTINGS, AUTOMATED IRRIGATION CONTROLLER, AND MOISTURE SENSOR TO AVOID OVERWATERING.
2. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO MINIMIZE THE USE OF WATER.
3. THE IRRIGATION SYSTEM SHALL NOT IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, STREETS AND PARKING OR LOADING AREAS.
4. IRRIGATION POINT OF CONNECTION TO THE CITY WATER WILL BE LOCATED WITHIN PROPERTY LIMITS AND SHALL COMPLY WITH THE CITY OF ALBUQUERQUE REDUCED PRESSURE BACKFLOW PREVENTER STANDARDS AND SPECIFICATIONS.
5. RUN TIMES AND IRRIGATION ZONES SHALL BE BASED UPON PLANT SPECIES AND THEIR ESTABLISHMENT. RUN TIMES SHALL BE REGULARLY ADJUSTED ACCORDING TO PLANT MATURITY, SEASON, LOCATION AND PERFORMANCE.

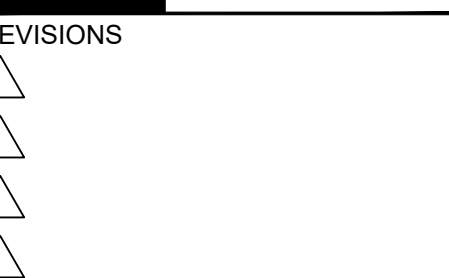
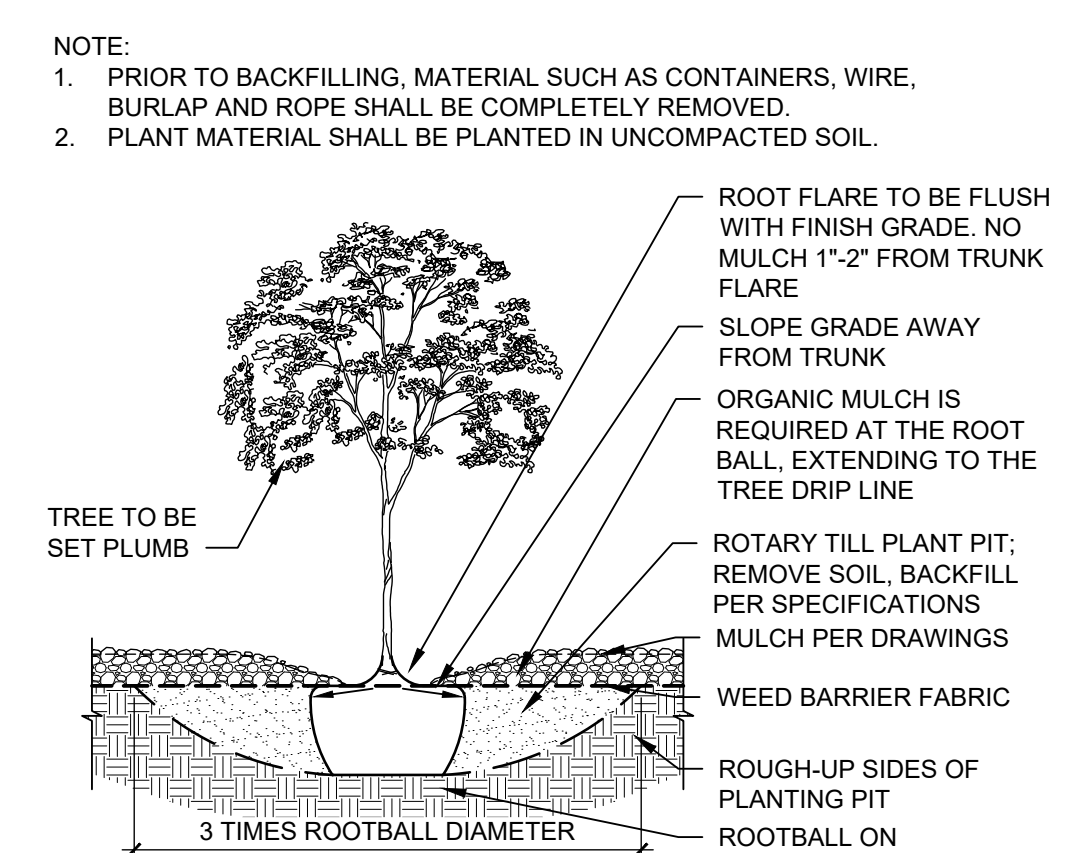
SHEET KEYED NOTES

- 1. DRAINAGE SWALE. SEE CIVIL.
2. PUBLIC UTILITY EASEMENT.
3. CLEAR SIGHT TRIANGLE.
4. PROPERTY LINE.
5. PARKING LOT FRONT LOT EDGE LANDSCAPE BUFFER.
6. PARKING OVERHANG.
7. ASPHALT PAVING.
8. CONCRETE PAVING.
9. RETAINING WALL.
10. COMMUNITY GARDEN BED.
11. GARDEN SHADE STRUCTURE.
12. SCULPTURE OR OTHER SITE FEATURE.
13. 5' CLEARANCE AROUND ELECTRICAL EQUIPMENT.

PERVIOUS AREAS LEGEND

Table with columns: SYMBOL, NOTES, EST QTY. Includes entries for crusher fines, gravel mulch, shredded bark mulch, community garden planting soil, and irrigated sod.

TREE PLANTING DETAIL



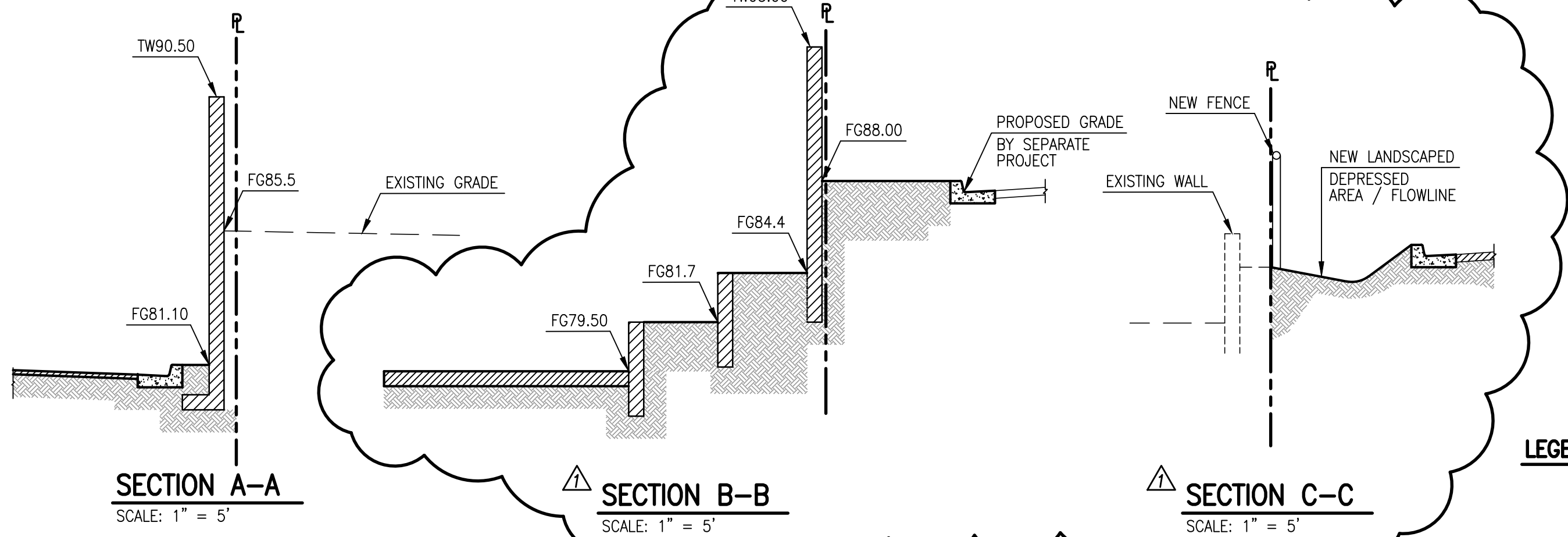
DRAWN BY JD/TC
REVIEWED BY MB
DATE 10-19-2018
PROJECT NO. 18-0038
DRAWING NAME

LANDSCAPE PLAN

CONCEPTUAL DRAINAGE NARRATIVE

THIS PROJECT IS A NEW DEVELOPMENT ON AN UNDEVELOPED SITE THAT CONSISTS OF A NEW BUILDING, PAVED PARKING AREAS, SITE WORK, COURTYARDS, SERVICE DRIVE AND NEW LANDSCAPED AREAS. THE SITE DRAINS FROM SOUTHEAST TO NORTHWEST TO HOLLY AVE NE. THE SITE DOES NOT LIE WITHIN A DESIGNATED FLOODPLAIN. THE PROPOSED DRAINAGE CONCEPT FOR THE SITE WILL BE CONTINUED FREE DISCHARGE TO EXISTING PUBLIC STORM DRAINAGE FACILITIES IN HOLLY THAT WERE DESIGNED, SIZED AND CONSTRUCTED TO ACCEPT 4.68 CFS PER ACRE FROM THIS SITE BASED ON THE FOLLOWING PLANS PREPARED BY THIS OFFICE FOR THIS SITE AND SURROUNDING AREAS: LOMR FOR NORTH DOMINGO BACA ARROYO CARMEL AVENUE STORM DRAIN EXTENSION (HMCG 12/08/2003) APPROVED BY FEMA 03/23/2004. DRAINAGE REPORT FOR LOS VIGILIS SUBDIVISION (HMCG 12/31/2002, C20/D41). GRADING AND DRAINAGE PLAN FOR DESERT RIDGE OFFICE PARK (HMCG C20/D51). DRAINAGE REPORT FOR VINEYARD COURT ESTATES (HMCG 08/21/2003) GRADING AND DRAINAGE PLANS FOR HOLLY MARK 3S DEVELOPMENT (HMCG 02/05/2007 AND 05/11/2015).

SITE RUNOFF WILL BE DIRECTED TO LANDSCAPED AREAS FOR WATER QUALITY WHERE PRACTICABLE BUT THE FIRST FLUSH RETENTION REQUIREMENT WILL NOT BE MET THIS SITE AND A PAYMENT WILL BE MADE IN LIEU OF MEETING THE ENTIRE REQUIREMENT. NO RETENTION PONDING FOR DISCHARGE CONTROL IS REQUIRED OR PROPOSED BEYOND WHAT IS USED FOR WATER QUALITY.

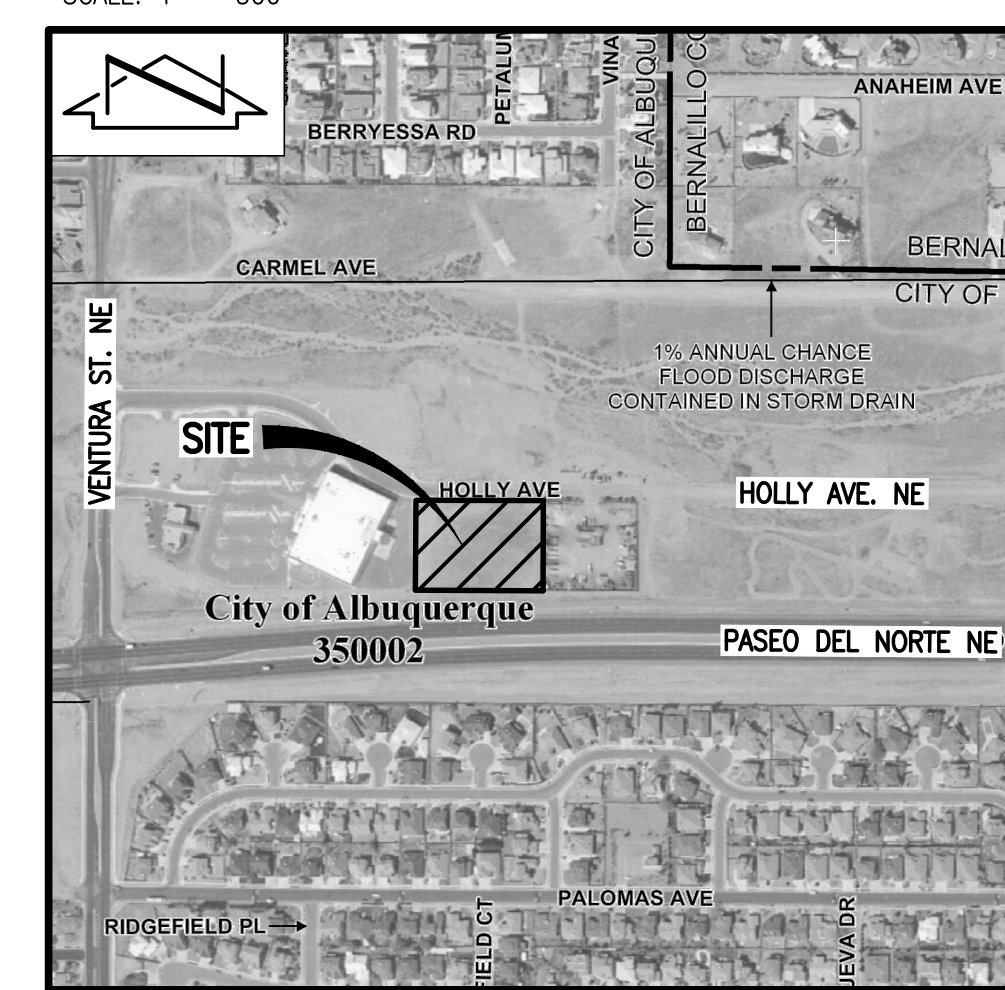
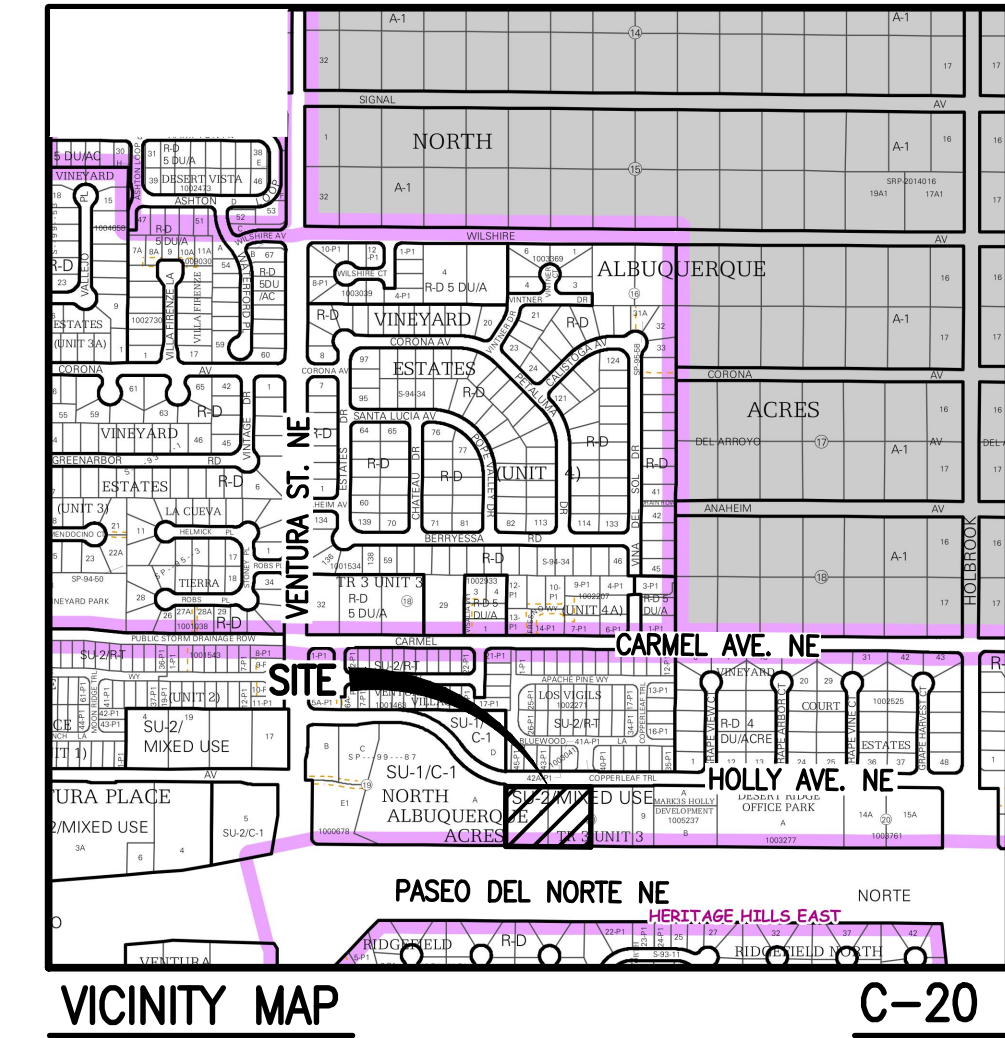
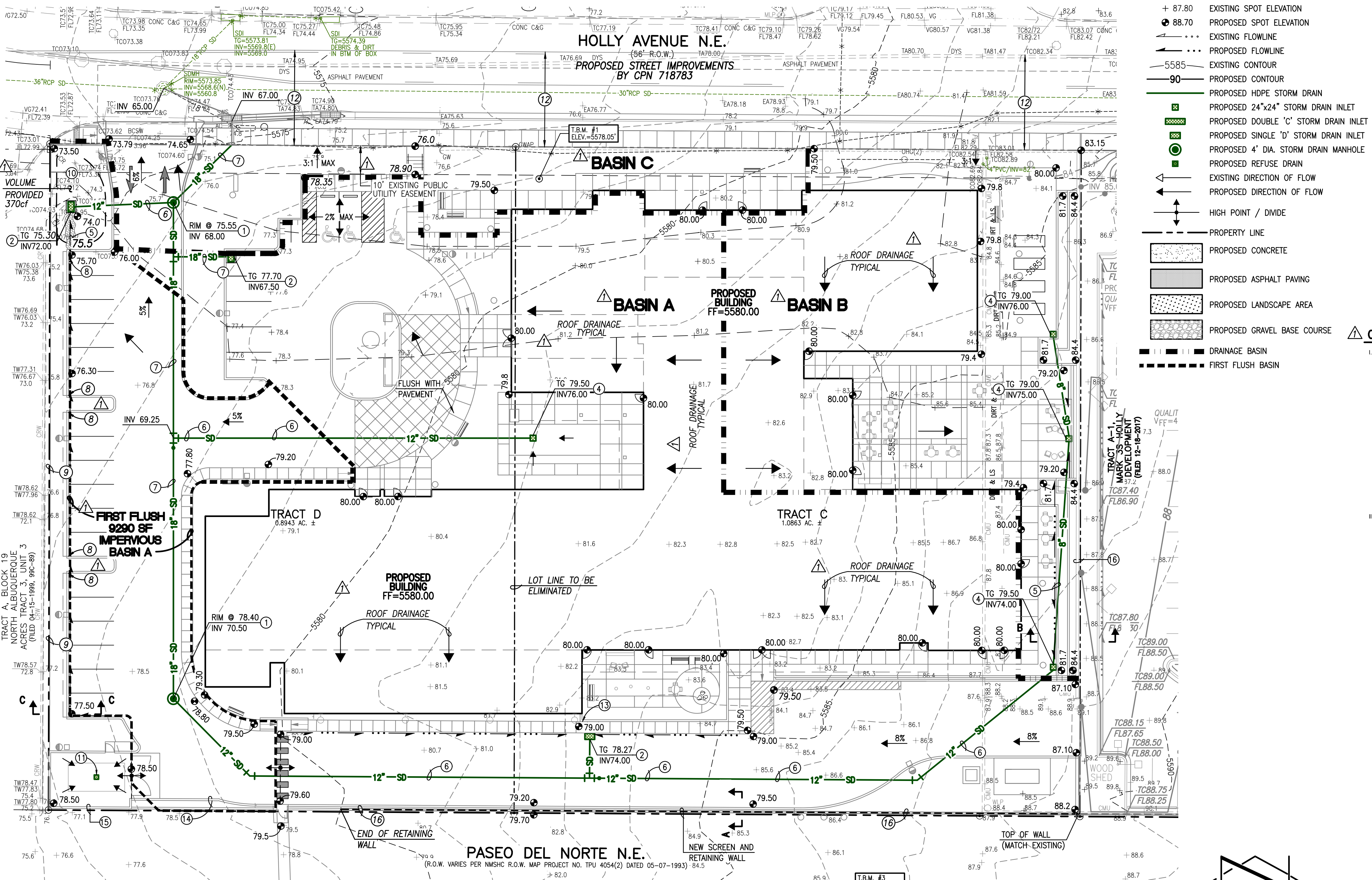


KEYED NOTES:

- 1 CONSTRUCT 4" DIA. STORM DRAIN MANHOLE
- 2 CONSTRUCT SINGLE 'D' STORM DRAIN INLET
- 3 CONSTRUCT DOUBLE 'C' STORM DRAIN INLET
- 4 CONSTRUCT 24"x24" STORM DRAIN INLET
- 5 INSTALL 8" HDPE STORM DRAIN
- 6 INSTALL 12" HDPE STORM DRAIN
- 7 INSTALL 18" HDPE STORM DRAIN
- 8 NEW 12" CURB OPENING
- 9 NEW 6" DRAIN OPENING
- 10 DEPRESSED LANDSCAPING FOR WATER QUALITY PLAN
- 11 NEW REFUSE DRAIN. SEE CONCEPTUAL UTILITY PLAN
- 12 HOLLY IMPROVEMENTS TO BE CONSTRUCTED BY WORK ORDER
- 13 NEW 6" WALL OPENING
- 14 NEW REFUSE WALL
- 15 NEW RETAINING WALL

LEGEND:

- INV INVERT
- TA TOP OF ASPHALT PAVEMENT
- TC TOP OF CURB
- TG TOP OF GRATE
- + 87.80 EXISTING SPOT ELEVATION
- 88.70 PROPOSED SPOT ELEVATION
- EXISTING FLOWLINE
- PROPOSED FLOWLINE
- 5585 EXISTING CONTOUR
- 90 PROPOSED CONTOUR
- PROPOSED HDPE STORM DRAIN
- PROPOSED 24"x24" STORM DRAIN INLET
- PROPOSED DOUBLE 'C' STORM DRAIN INLET
- PROPOSED SINGLE 'D' STORM DRAIN INLET
- PROPOSED 4" DIA. STORM DRAIN MANHOLE
- PROPOSED REFUSE DRAIN
- EXISTING DIRECTION OF FLOW
- PROPOSED DIRECTION OF FLOW
- HIGH POINT / DVIDE
- PROPERTY LINE
- PROPOSED CONCRETE
- PROPOSED ASPHALT PAVING
- PROPOSED LANDSCAPE AREA
- PROPOSED GRAVEL BASE COURSE
- DRAINAGE BASIN
- FIRST FLUSH BASIN



CALCULATIONS

I. SITE CHARACTERISTICS

A. PRECIPITATION ZONE = 3
 B. $P_{24} = P_{30} = 2.60$

C. TOTAL PROJECT AREA (A_T) = 88,275 SF
 D. LAND TREATMENTS

1. EXISTING LAND TREATMENT

Treatment	Area (SF/AC)	%
Overall	88,275 / 1.98	
Treatment A Area	88,275 / 1.98	100
Treatment B Area	88,275 / 1.98	100
Treatment C Area	88,275 / 1.98	100
Treatment D Area	88,275 / 1.98	100

2. DEVELOPED LAND TREATMENT

Treatment	Area (SF/AC)	%
Overall	88,275 / 1.98	
Treatment A Area	88,275 / 1.98	6
Treatment B Area	4,782 / 0.11	15
Treatment C Area	13,058 / 0.30	15
Treatment D Area	68,437 / 1.57	79

II. HYDROLOGY

A. EXISTING CONDITION

1. BASIN A

a. VOLUME
 $E_{100} = (E_{100} + E_{100} + E_{100} + E_{100})/A$
 $E_{100} = (0.00'0.66) + (0.00'0.92) + (1.98'1.29) + (0.00'2.36)/1.98 = 1.29$ IN
 $V_{100} = E_{100}/12A = (1.29/12)1.98 = 0.2129$ AC-FT = 9,276 CF

b. PEAK DISCHARGE
 $Q_p = Q_{100} + Q_{100} + Q_{100} + Q_{100}$
 $Q_p = Q_{100} = (0.00'1.87) + (0.00'2.6) + (1.98'3.45) + (0.00'5.02) = 6.8$ CFS

B. DEVELOPED CONDITION

1. BASIN A

a. VOLUME
 $E_{100} = (E_{100} + E_{100} + E_{100} + E_{100})/A$
 $E_{100} = (0.00'0.66) + (0.11'0.92) + (0.30'1.29) + (1.57'2.36)/1.98 = 2.12$ IN
 $V_{100} = E_{100}/12A = (2.12/12)1.98 = 0.3498$ AC-FT = 15,240 CF

b. PEAK DISCHARGE
 $Q_p = Q_{100} + Q_{100} + Q_{100} + Q_{100}$
 $Q_p = Q_{100} = (0.00'1.87) + (0.11'2.6) + (0.30'3.45) + (1.57'5.02) = 9.20$ CFS

C. COMPARISON

1. BASIN A

a. VOLUME
 $\Delta V_{100} = 15,240 - 9,276 = 5,964$ CF 64.4% (INCREASE)

b. PEAK DISCHARGE
 $\Delta Q_{100} = 9.2 - 6.8 = 2.40$ CFS 35.3% (INCREASE)

c. DISCHARGE RATE
 $9.2 \text{ CFS} / 1.98 \text{ AC} = 4.64 \text{ CFS/AC}$ (4.66 CFS/AC ALLOWABLE)

D. FIRST FLUSH BASIN CALCULATIONS

1. DEVELOPED AREA = 88,275 SF
 b. PERVIOUS AREA = 17,838 SF
 c. IMPERVIOUS AREA = 88,275 SF - 17,838 SF = 68,437 SF

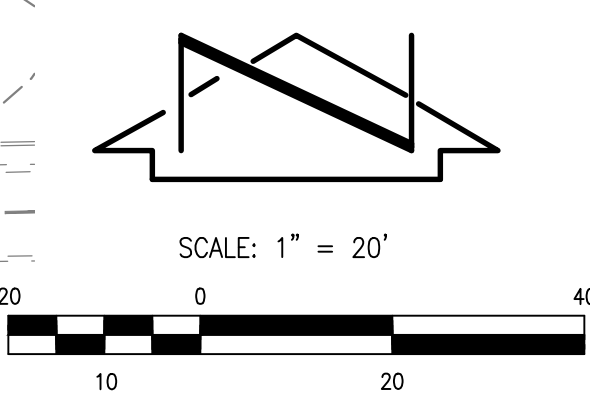
2. FIRST FLUSH VOLUME - DEVELOPED AREA
 $V_{FF, DEV} = (0.44/12)(68,437 \text{ SF}) = 2,510 \text{ CF}$

3. PROPOSED RETAINED VOLUMES & IMPERVIOUS FF CONTRIBUTION

Area	$V_{100, CAP}$	A_{IMP}	$V_{IMP, FF} = (0.44/12)(A_{IMP})$
A	376 CF	9,290 SF	356 CF

$A_{IMP} = \text{IMPERVIOUS AREA DISCHARGING TO POND}$
 $V_{IMP, FF} = \text{FIRST FLUSH VOLUME GENERATED BY IMPERVIOUS AREA}$

NOTE:
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 THE TOPOGRAPHIC AND UTILITY INFORMATION DEPICTED HEREON IS BASED UPON THE EXISTING TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY THIS FIRM, NMPS NO. 11184, DATED 01/10/2017 (2016.059.1).



2018.027.1

HIGH MESA Consulting Group

6010-B MIDWAY PARK BLVD. NE ALBUQUERQUE, NEW MEXICO 87109
 PHONE: 505.345.4250 FAX: 505.345.4254 www.highmesacg.com

ARCHITECTURE / DESIGN / INSPIRATION

DEKKER PERICH SABATINI

7601 JEFFERSON NE, SUITE 100 ALBUQUERQUE, NM 87109
 505.761.9700 / DPSDESIGN.ORG

ARCHITECT

ENGINEER

9/19/2018
 10/17/2018

PROJECT

HOLLY SENIOR LIVING
 9100 HOLLY AVENUE NE
 ALBUQUERQUE, NM 87122

REVISIONS

NO.	HYDROLOGY COMMENTS
1	
2	
3	

DRAWN BY J.Y.R.
 REVIEWED BY G.M.
 DATE 10.09.2018
 PROJECT NO. 18-0038
 DRAWING NAME
 CONCEPTUAL GRADING AND DRAINAGE PLAN

SHEET NO. **SDP 3.1** OF

File Path: P:\JRM\2018\027.1\DWG\ Plot Date: 10-16-2018
 File Name: 180271_BASE.DWG Plot Time: 4:55 pm

**DEKKER
PERICH
SABATINI**

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
505.761.9700 / DPSDESIGN.ORG

ARCHITECT

ENGINEER



PROJECT

HOLLY SENIOR LIVING
9100 HOLLY AVENUE NE
ALBUQUERQUE, NM 87122

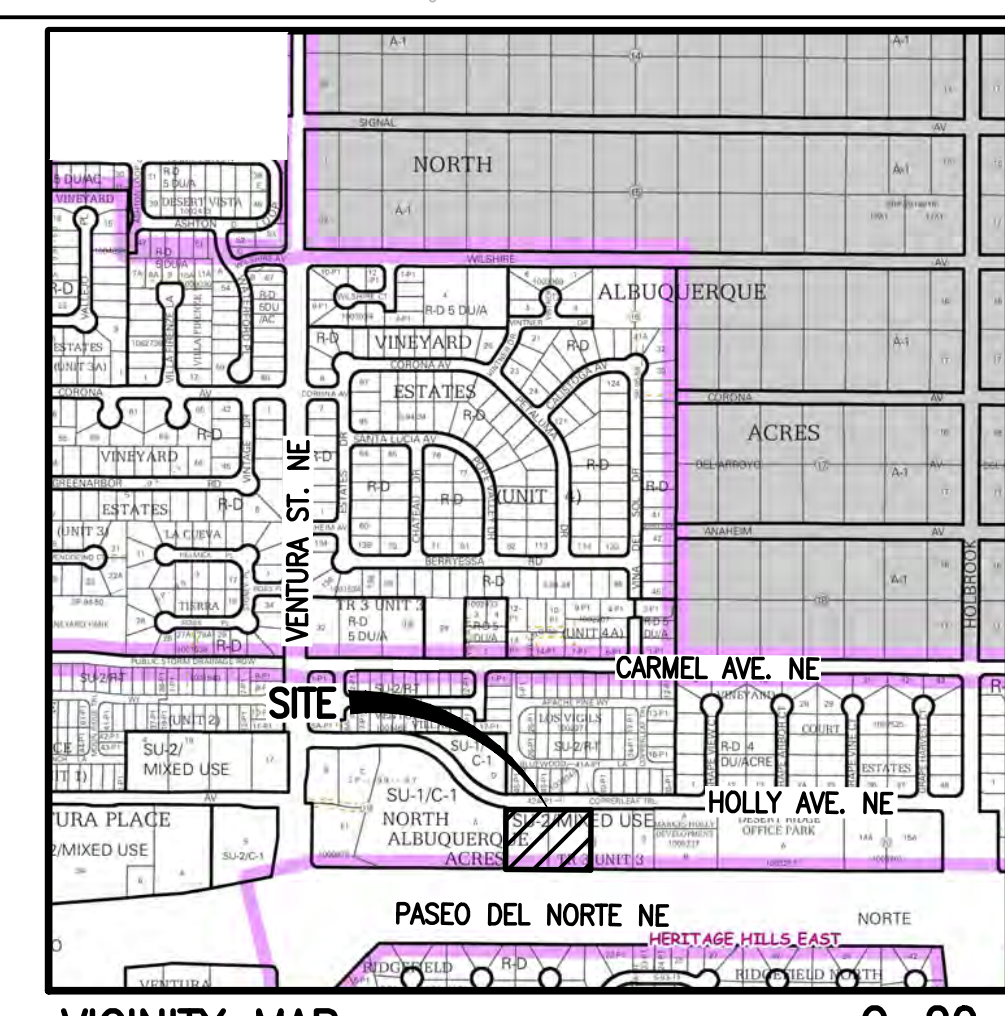
REVISIONS

▲	REVISED BFP LOCATION
△	
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DRAWN BY	J.Y.R.
REVIEWED BY	G.M.
DATE	10.09.2018
PROJECT NO.	18-0038
DRAWING NAME	

CONCEPTUAL
UTILITY PLAN

SHEET NO.
SDP 4.1
OF



VICINITY MAP C-20
SCALE: 1" = 500'



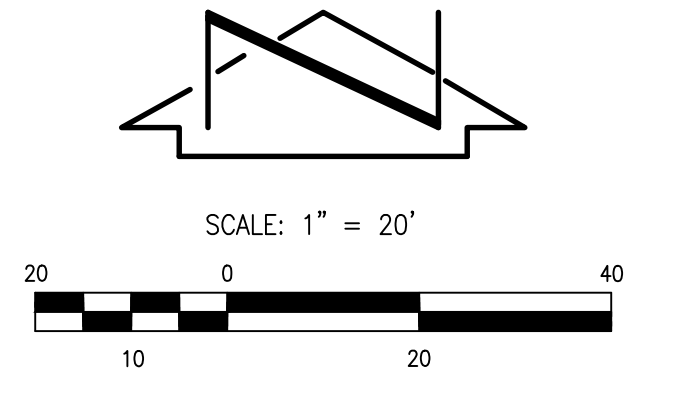
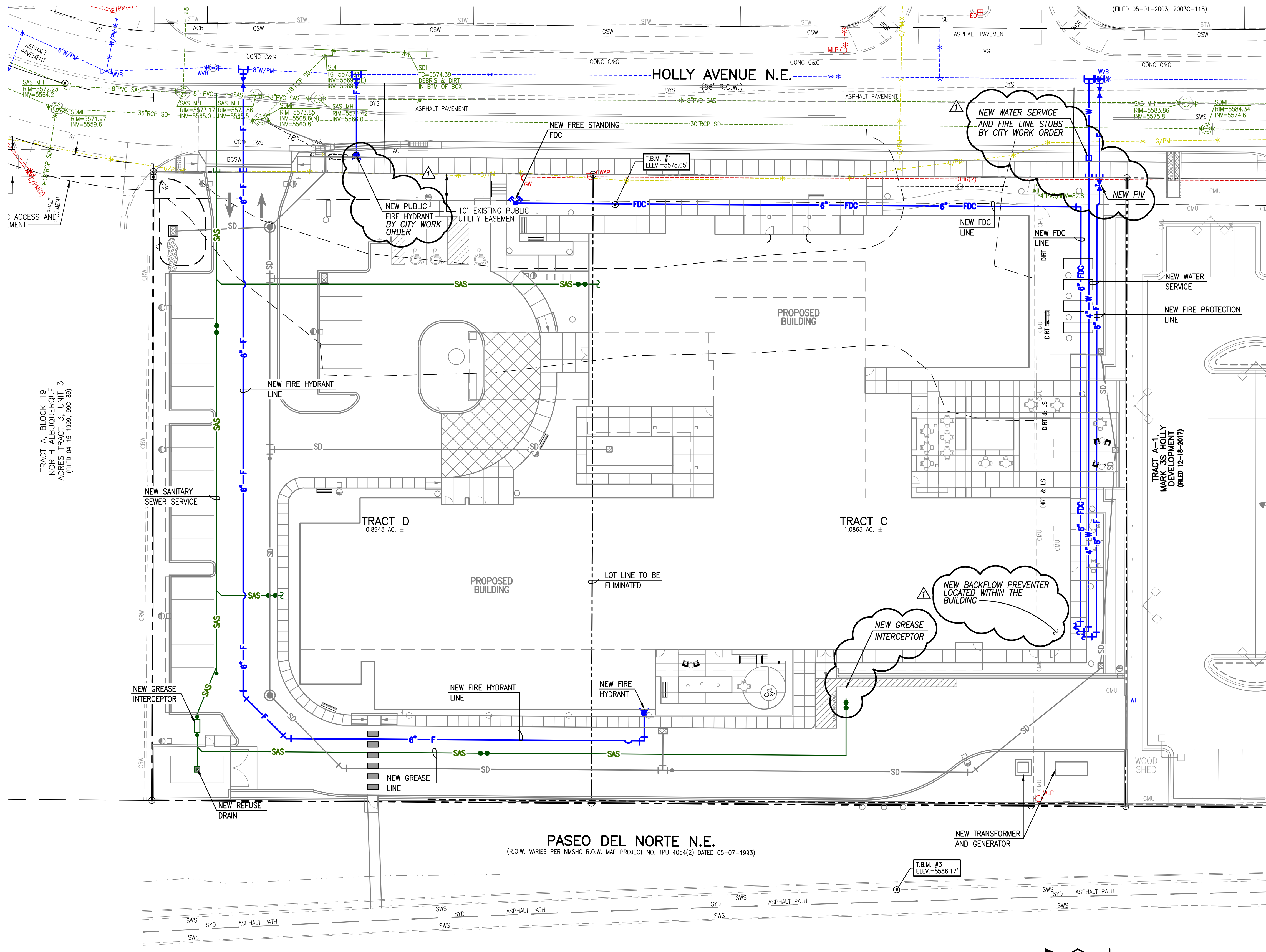
F.I.R.M. 141 OF 825
SCALE: 1" = 500'

LEGEND:

	PROPOSED STORM DRAIN
	PROPOSED INFILTRATION PIT
	PROPOSED STORM INLET
	PROPOSED STORM DRAIN MANHOLE
	EXISTING STORM DRAIN MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING VALVE BOX
	PROPOSED FIRE HYDRANT
	FIRE DEPARTMENT CONNECTION
	PROPOSED VALVE BOX
	EXISTING FIRE LINE
	PROPOSED FIRE LINE
	EXISTING POST INDICATOR VALVE
	PROPOSED POST INDICATOR VALVE
	EXISTING WATER SERVICE
	PROPOSED WATER SERVICE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SINGLE CLEANOUT
	PROPOSED SINGLE CLEANOUT
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE
	EXISTING SANITARY SEWER MANHOLE
	SANITARY SEWER MANHOLE
	EXISTING DOUBLE CLEANOUT
	PROPOSED DOUBLE CLEANOUT
	PROPERTY LINE
	PROPOSED CONCRETE
	PROPOSED ASPHALT PAVING
	PROPOSED LANDSCAPE AREA
	PROPOSED GRAVEL BASE COURSE

2018.027.1

HIGH MESA Consulting Group
6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109
PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com



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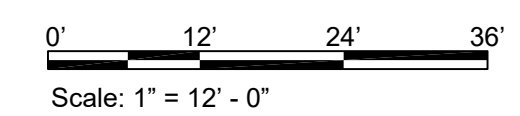
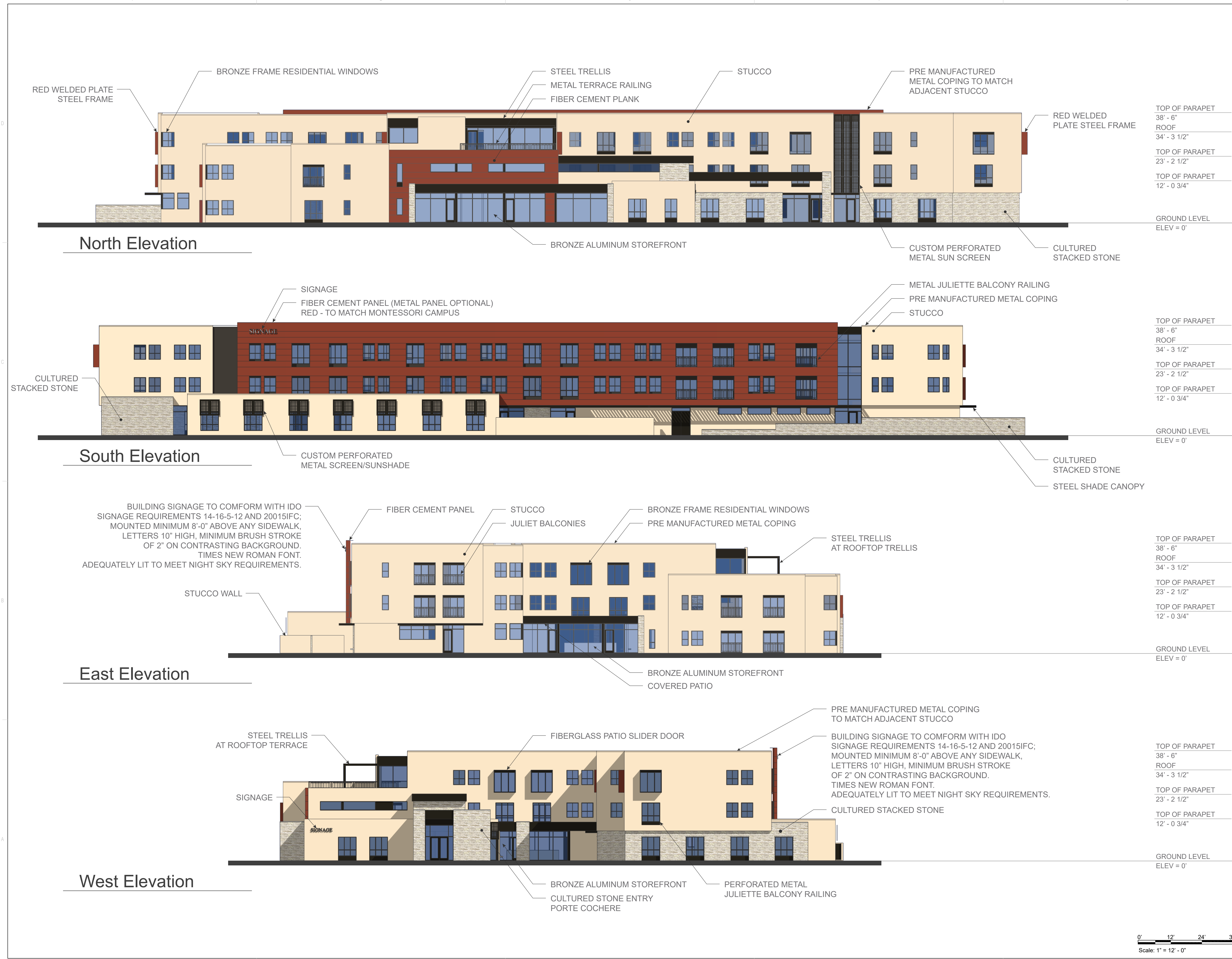
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File Name: 180271_BASE.DWG Plot Time: 4:55 pm

REVISIONS

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DRAWN BY	RM
REVIEWED BY	JC
DATE	10/19/2018
PROJECT NO.	18-0038
DRAWING NAME	

**EXTERIOR
BUILDING
ELEVATION**



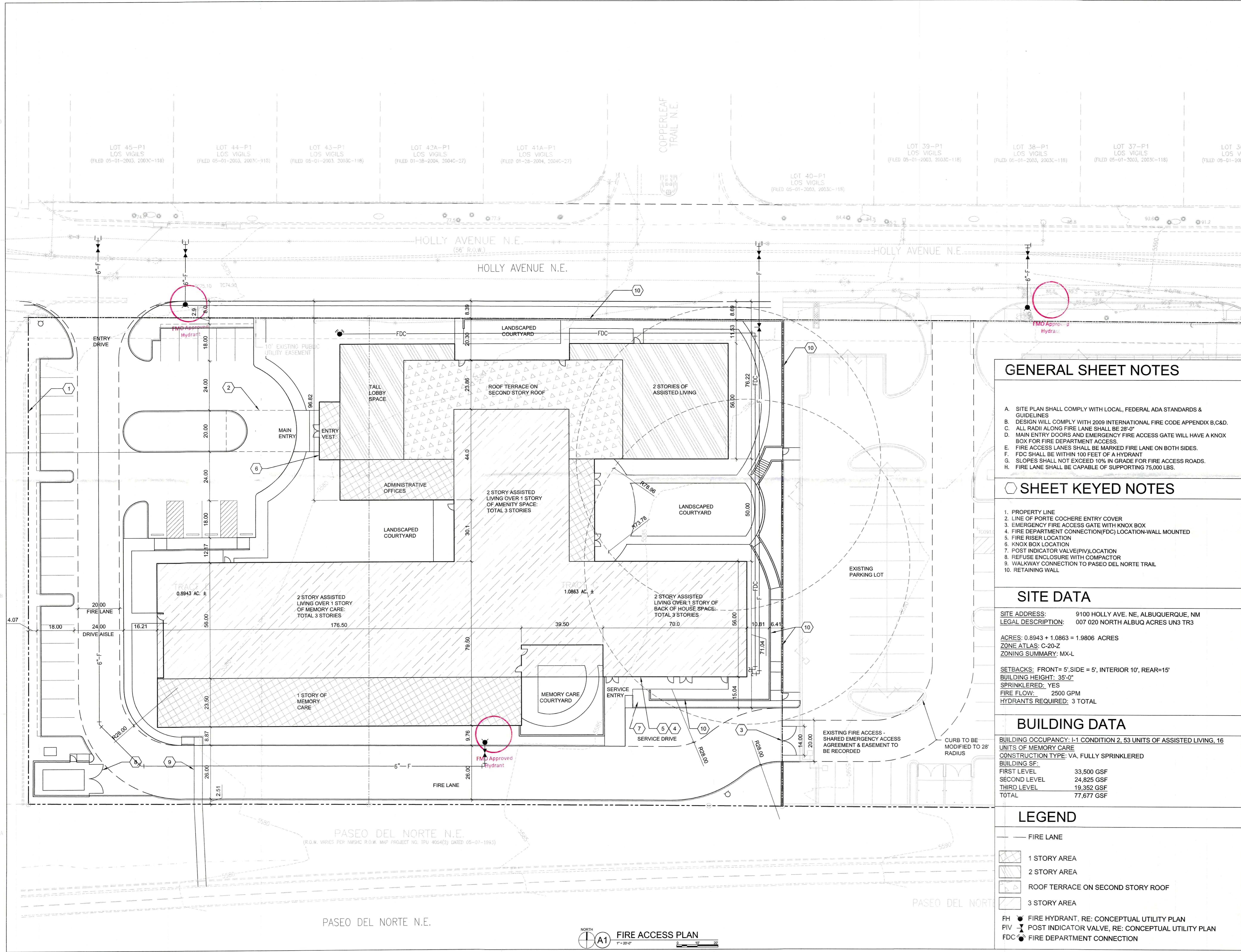
322718
HYDRANT AND FIRE ACCESS
ALBUQUERQUE FIRE MARSHAL'S OFFICE
PLANS CHECKING DIVISION
SOFT 2267 CONSTRUCTION TYPE 2
GPM 2500 NUMBER OF HYDRANTS 3
APPROVED / DISAPPROVED
2018/07/27 7:12/18
SIGNATURE / MARK NUMBER / DATE

REVISIONS

△	
△	
△	
△	

DRAWN BY	MJH
REVIEWED BY	MJH
DATE	07/02/2018
PROJECT NO.	18-0038
DRAWING NAME	

FIRE ONE



GENERAL SHEET NOTES

- A. SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL ADA STANDARDS & GUIDELINES
- B. DESIGN WILL COMPLY WITH 2009 INTERNATIONAL FIRE CODE APPENDIX B,C&D.
- C. ALL RADII ALONG FIRE LANE SHALL BE 28'-0"
- D. MAIN ENTRY DOORS AND EMERGENCY FIRE ACCESS GATE WILL HAVE A KNOX BOX FOR FIRE DEPARTMENT ACCESS.
- E. FIRE ACCESS LANES SHALL BE MARKED FIRE LANE ON BOTH SIDES.
- F. FDC SHALL BE WITHIN 100 FEET OF A HYDRANT
- G. SLOPES SHALL NOT EXCEED 10% IN GRADE FOR FIRE ACCESS ROADS.
- H. FIRE LANE SHALL BE CAPABLE OF SUPPORTING 75,000 LBS.

SHEET KEYED NOTES

- 1. PROPERTY LINE
- 2. LINE OF PORTE COCHERE ENTRY COVER
- 3. EMERGENCY FIRE ACCESS GATE WITH KNOX BOX
- 4. FIRE DEPARTMENT CONNECTION(FDC) LOCATION-WALL MOUNTED
- 5. FIRE RISER LOCATION
- 6. KNOX BOX LOCATION
- 7. POST INDICATOR VALVE(PIV)LOCATION
- 8. REFUSE ENCLOSURE WITH COMPACTOR
- 9. WALKWAY CONNECTION TO PASEO DEL NORTE TRAIL
- 10. RETAINING WALL

SITE DATA

SITE ADDRESS: 9100 HOLLY AVE. NE, ALBUQUERQUE, NM
 LEGAL DESCRIPTION: 007 020 NORTH ALBUQ ACRES UN3 TR3
 ACRES: 0.8943 + 1.0863 = 1.9806 ACRES
 ZONE ATLAS: C-20-Z
 ZONING SUMMARY: MX-L
 SETBACKS: FRONT= 5', SIDE = 5', INTERIOR 10', REAR=15'
 BUILDING HEIGHT: 35'-0"
 SPRINKLERED: YES
 FIRE FLOW: 2500 GPM
 HYDRANTS REQUIRED: 3 TOTAL

BUILDING DATA

BUILDING OCCUPANCY: I-1 CONDITION 2, 53 UNITS OF ASSISTED LIVING, 16 UNITS OF MEMORY CARE
 CONSTRUCTION TYPE: VA, FULLY SPRINKLERED
 BUILDING SF:
 FIRST LEVEL 33,500 GSF
 SECOND LEVEL 24,825 GSF
 THIRD LEVEL 19,352 GSF
 TOTAL 77,677 GSF

LEGEND

- FIRE LANE
- ▨ 1 STORY AREA
- ▩ 2 STORY AREA
- ▧ ROOF TERRACE ON SECOND STORY ROOF
- ▤ 3 STORY AREA
- FH ● FIRE HYDRANT, RE: CONCEPTUAL UTILITY PLAN
- PIV ⚡ POST INDICATOR VALVE, RE: CONCEPTUAL UTILITY PLAN
- FDC ● FIRE DEPARTMENT CONNECTION