

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ACCELERATED EXPIRATION SITE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- Site Plan to be Expired
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ALTERNATIVE SIGNAGE PLAN


- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- Required notices with content per IDO Section 14-16-6-4(K)
 - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
 - Sign Posting Agreement
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ALTERNATIVE LANDSCAPE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: <u>Tom Cordova</u>	Date: 6-2-2021
Printed Name: Tom Cordova, Lloyd & Associates Architects	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY	
Project Number:	Case Numbers
PR-2018-001670	SI-2021-00828
	-
	-
Staff Signature:	
Date:	



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant:	Americo Realestate Company C/O Tom Neil	Phone:	505-239-0339
Address:	2727 North Central Avenue	Email:	tom_neill@uhaul.com
City:	Phoenix	State:	Arizona
		Zip:	85004
Professional/Agent (if any):	Lloyd & Associates Architects C/O Tom Cordova	Phone:	505-927-5059
Address:	321 West San Francisco St. Suite A	Email:	tome@lloyd-architects.com
City:	Santa Fe	State:	New Mexico
		Zip:	87501
Proprietary Interest in Site:	None	List all owners:	N/A

BRIEF DESCRIPTION OF REQUEST

Requesting Administrative review and approval of minor revisions to the DRB Plan which was approved prior to final design of the approved development. Changes are consistent with original design intent.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.:	Tract "C" Alexander Center	Block:	Unit:
Subdivision/Addition:	See attached Survey	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	"MX-M"	Proposed Zoning:
# of Existing Lots:	one	# of Proposed Lots:	one
		Total Area of Site (acres):	2.5278 AC

LOCATION OF PROPERTY BY STREETS

Site Address/Street:	2217 4th St. NW	Between:	Interstate FRWY 40	and:	Cutler Ave.
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature:		Date:	6/2/2021
Printed Name:	Tom Cordova, Lloyd and Associates Architects	<input type="checkbox"/> Applicant or	<input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2021-00828	AA				
Meeting/Hearing Date:			Fee Total:		
Staff Signature:		Date:	Project #	PR-2018-001670	



GENERAL NOTES

- The subject property has ingress and egress to and from 4th Street NW and Cutler Avenue NW, which are existing public rights-of-ways, and as shown hereon.
- The bearing of N 10°31'35" E, as shown on the West line of a the subject property, per recorded plat of Tract "C" of Alexander Center, as the same is shown and designated on the Plat thereof filed in the Office of the County Clerk of Bernalillo County, New Mexico, on September 12, 1984, in Plat Book C25, Folio 11.
- No address was physically observed, posted on site subject property as of date of survey.
- All field measurements matched record dimensions within the precision requirements of ALTA/NSPS specifications unless otherwise shown.
- Surveyor did not find observable evidence of earth moving work, building construction or any building additions completed within recent months.
- Surveyor did not find observable evidence of the site being used as a solid waste dump, sump or sanitary landfill.
- There is no visible evidence on site of use as a cemetery, currently or previously.
- Surveyor is aware of no changes in street right of way lines, either completed or proposed. Surveyor observed no evidence of recent street or sidewalk construction or repairs.
- Subject Property, APN: 101405927019832507; OWNER: KAPLAN 4th STREET LLC; The Subject Area Contains a total of: 110,111 square feet or 2.5278 acres, more or less.
- This Survey Map correctly represents the facts found on the ground at the time of the survey.
- There are no discrepancies between the boundary lines of the Subject Property as shown on this Survey Map and as described in the legal description presented in the Title Commitment.
- The boundary line dimensions as shown on this Survey Map form a mathematically closed figure within +/- 0.1 foot.
- The boundary lines of the Subject Property are contiguous with the boundary lines of all adjoining streets, highways, right of way and easements, public or private, as described in their most recent respective legal descriptions of record.
- Except as otherwise noted below, if the Subject Property consists of two or more parcels, there are no gaps or gores between said parcels.
- All utilities appear to enter the Subject Property via a public right-of-way except as shown hereon.
- The Subject Property appears to drain into the public right-of-way and other detention areas, except as shown hereon.
- A call to a underground utility locator was called prior to site visit. Note all buried utilities may not be shown hereon due to lack of markings. All buried utilities shown hereon are shown in their approximate location per marked pin flags and/or paint and field evidence. No Storm Sewer and/or Sanitary Sewer Manholes within the property of surrounding areas.
- WETLANDS NOTE:**
On this date 09/17/2018, the subject project area does not contain any designated wetland areas onsite, per the National Wetlands Inventory website (www.fws.gov/wetlands).
- All Elevations shown hereon was derived and based from a GPS Static Session with OPUS Solutions and is on NAVD88 Datum. Research was done to find Local and/or NGS data but none were available in the area as of date of survey.

ZONING INFORMATION

According to the City of Albuquerque, NM--Planning (www.cabq.gov); ph: (505) 924-3860, the subject property has the following zoning designation:

The Subject Property is zoned: "MX-M" MIXED USE--MODERATE DISTRICT and is subject to the following requirements:

No specifics to the MX-M Zone, but there are conditions approved by the City Engineer/Planner depending on whether the lot is <10,000 sq. ft. or > 10,000 sq. ft. in size; Max. Building Height: 65'; no limit if 100 ft. from lot line.

SETBACKS:
Front: 0-15' (min.-max); Street Side: 5 ft.; Interior Side: 5 ft.; Rear: 15 ft.;

Parking Requirements: 1/1,000 sq. ft. of G.F.A.; Handicapped: Per ADA Requirements.

Existing Spaces: N/A

Notes: Because there may be a need for interpretation of the applicable zoning codes, we refer you to the Offices of City of Albuquerque, NM and the applicable zoning codes.

NOTES CORRESPONDING TO SCHEDULE B

- Easements reserved across the Land, as shown on the recorded plat, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on September 12, 1984, in Plat Book C25, Folio 11. AFFECTS AND PLOTTED HEREON. (NOTE: THERE ARE FORMER ALLEYS SHOWN ON PLAT THAT HAVE BEEN VACATED PER SAID PLAT. THOSE ITEMS ARE NOT SHOWN.)
- Restrictions contained in Quitclaim Deed, recorded in Book D161A, Page 917, as Document No. 8222395, records of Bernalillo County, New Mexico. AFFECTS; BLANKET IN NATURE AND NOT PLOTTABLE.
- Grant of Right of Way granted to the Public Service Company of New Mexico, recorded in Book Misc. 88, Page 111, as Document No. 74457, records of Bernalillo County, New Mexico. AFFECTS AND PLOTTED HEREON.
- Grant of Right of Way granted to the Public Service Company of New Mexico, filed July 26, 1967, recorded in Book Misc. 75, Page 25, records of Bernalillo County, New Mexico. AFFECTS AND PLOTTED HEREON.
- Easement granted to Public Service Company of New Mexico and Mountain States Telephone and Telegraph Company, recorded as Document No. 46200, records of Bernalillo County, New Mexico. AFFECTS AND PLOTTED HEREON.
- Easements reserved in Ordinance, filed August 1, 1972, recorded in Book Misc. 271, Page 256, as Document No. 1038, records of Bernalillo County, New Mexico. AFFECTS AND PLOTTED HEREON.
- Easement granted to Public Service Company of New Mexico and Mountain States Telephone and Telegraph Company, filed August 24, 1976, recorded in Book Misc. 493, Page 311, as Document No. 7645267, records of Bernalillo County, New Mexico. AFFECTS AND PLOTTED HEREON.
- Easement for View, filed May 27, 1983, recorded in Book Misc. 18A, Page 281, as Document No. 8334061, records of Bernalillo County, New Mexico. AFFECTS SUBJECT PROPERTY. SUBJECT PROPERTY IS SUBJECT TO THE TERMS & CONDITIONS CONTAINED THEREIN.
- Encroachment Agreement, filed June 24, 2004, recorded in Book A79, Page 7779, as Document No. 2004088009, records of Bernalillo County, New Mexico. AFFECTS; AGREEMENT STRIP PLOTTED HEREON.

AS-SURVEYED DESCRIPTION

A TRACT OF LAND SITUATED IN A PORTION OF SECTION EIGHT (8), TOWNSHIP TEN (10) NORTH, RANGE THREE (3) EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING A PORTION OF TRACT "C" OF ALEXANDER CENTER, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 12, 1984, IN PLAT BOOK C25, FOLIO 11. SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND 1/2" IRON PIN WITH "PS 14269" CAP FOR THE NORTHWEST CORNER OF TRACT "C" OF ALEXANDER CENTER AND BEING A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF CUTLER AVENUE, AN EXISTING PUBLIC ROADWAY; THENCE ON SAID RIGHT-OF-WAY LINE, THE SAME BEING THE NORTH LINE OF TRACT "C"; SOUTH 79°28'25" EAST, A DISTANCE OF 226.00 FEET TO A POINT BEING OCCUPIED BY AN EXISTING BUILDING FOR THE MOST NORTH NORTHEAST CORNER OF TRACT "C"; THENCE LEAVING SAID RIGHT-OF-WAY LINE, SOUTH 10°31'35" WEST, A DISTANCE OF 95.00 FEET TO FOUND 1/2" IRON PIN WITH "PS 11463" CAP FOR AN INTERIOR CORNER OF SAID TRACT "C"; THENCE SOUTH 79°28'25" EAST, A DISTANCE OF 96.22 FEET TO FOUND 1/2" IRON PIN (NO CAP) FOR THE NORTH MOST EASTERLY CORNER OF TRACT "C"; BEING A POINT ON THE WESTERLY RIGHT-OF-WAY OF 4th STREET NW, AN EXISTING VARIABLE WIDTH PUBLIC ROADWAY; THENCE, ON SAID WESTERLY RIGHT-OF-WAY, THE SAME BEING THE EAST LINE OF TRACT "C"; THE FOLLOWING FOUR (4) COURSES: 1) SOUTH 08°57'00" WEST, A DISTANCE OF 5.94 FEET TO A FOUND 5/8" IRON PIN WITH ILLEGIBLE CAP; 2) SOUTH 16°53'10" WEST, DISTANCE OF 215.24 FEET TO A FOUND 1/2" IRON PIN (NO CAP) AT A POINT OF CURVATURE; 3) ON A CURVE TO THE RIGHT, HAVING A RADIUS OF 141.00 FEET, A CHORD BEARING OF SOUTH 25°42'20" WEST, A CHORD DISTANCE OF 43.24 FEET, FOR AN ARC DISTANCE OF 43.41 FEET TO A FOUND 1/2" IRON PIN (NO CAP); 4) SOUTH 59°56'55" WEST, DISTANCE OF 48.80 FEET TO A FOUND 1/2" IRON PIN WITH "S14269" CAP AT A POINT WHERE THE EAST LINE OF TRACT "C" INTERSECTS WITH THE NORTH LINE OF A TRACT OF LAND OUT OF TRACT "C"; CONVEYED TO THE NEW MEXICO STATE HIGHWAY AND TRANSPORTATION DEPARTMENT BY WARRANTY DEED FILED APRIL 25, 2000, RECORDED IN BOOK A4, PAGE 8937, AS DOCUMENT NO. 2000039102; THENCE, LEAVING SAID WESTERLY RIGHT-OF-WAY LINE OF 4TH STREET NW AND ON SAID NORTH LINE OF CONVEYED TRACT, NORTH 76°54'37" WEST A DISTANCE OF 251.80 FEET TO A FOUND 1/2" IRON PIN FOR THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT OF LAND AND BEING POINT ON THE WEST LINE OF TRACT "C"; THENCE, ON SAID WEST LINE OF TRACT "C" THE FOLLOWING THREE (3) COURSES: 1) NORTH 08°57'00" EAST, A DISTANCE OF 202.05 FEET TO A FOUND 1/2" IRON PIN WITH "LS 7270" CAP; 2) NORTH 29°42'55" EAST, A DISTANCE OF 21.20 FEET TO A FOUND 1/2" IRON PIN WITH "PS 14269" CAP; 3) NORTH 10°31'35" EAST, A DISTANCE OF 155.05 FEET TO THE POINT OF BEGINNING. (CONTAINING AN AREA OF 110,111 SQUARE FEET OR 2.5278 ACRES, MORE OR LESS.)

TITLE LEGAL DESCRIPTION

The land referred to herein below is situated in the County of Bernalillo, State of NM, and is described as follows:

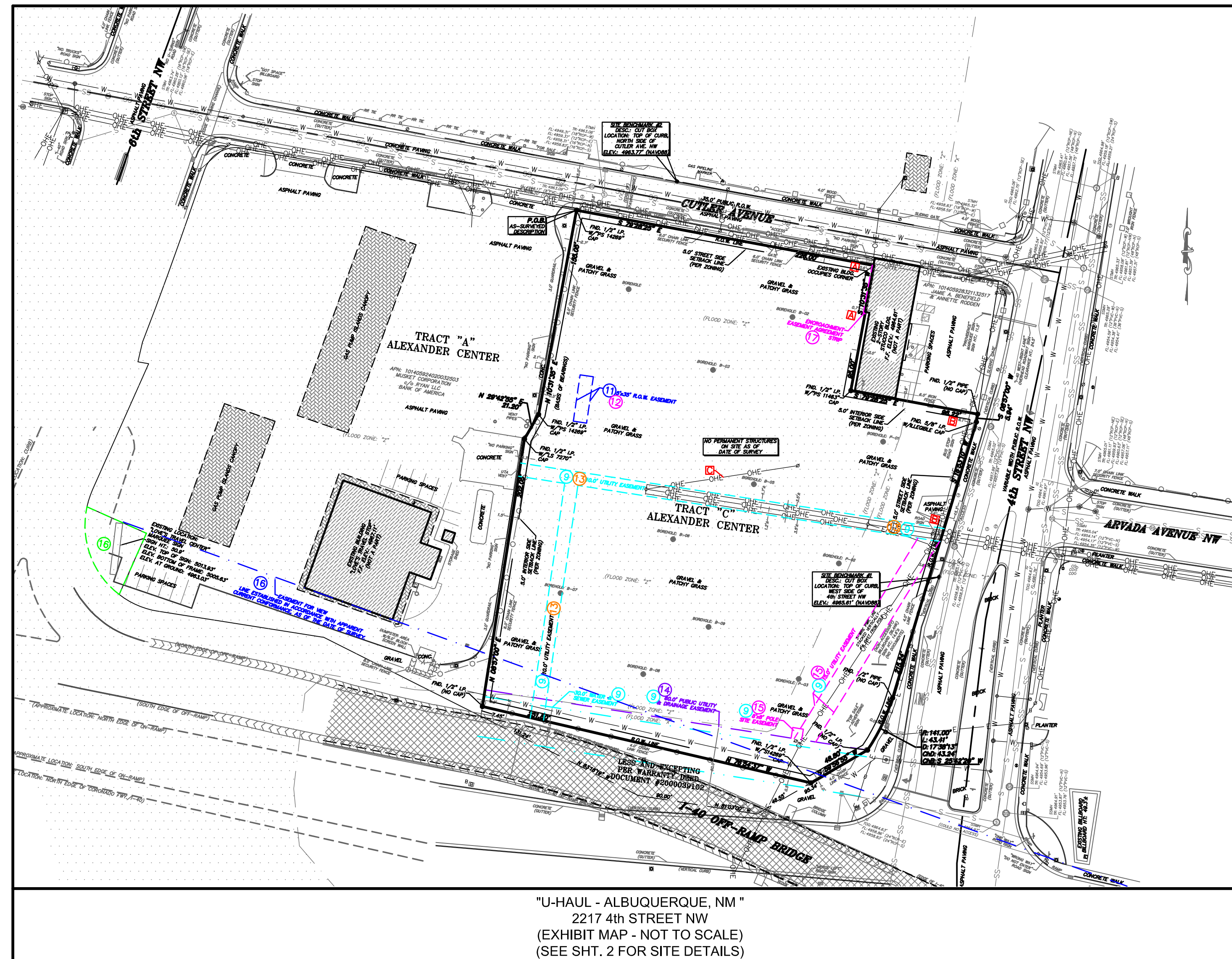
Tract "C" of Alexander Center, as the same is shown and designated on the Plat thereof filed in the Office of the County Clerk of Bernalillo County, New Mexico, on September 12, 1984, in Plat Book C25, Folio 11.

LESS AND EXCEPTING THEREFROM that portion conveyed to the New Mexico State Highway and Transportation Department by Warranty Deed filed April 25, 2000, recorded in Book A4, Page 8937, as Document No. 2000039102, records of Bernalillo County, New Mexico.

THE PROPERTY SHOWN HEREON AND DESCRIBED ABOVE IS THE SAME AS NOTED IN FIRST AMERICAN TITLE INSURANCE COMPANY'S COMMITMENT FILE NO. 2345344-AL01, WITH AN COMMITMENT DATE OF AUGUST 14, 2018.

STATEMENT OF ENCROACHMENTS

- A** The existing building lying on the adjacent property, near the Northwest section of the subject property lies over the subject property maximum distance of 0.7 feet, as shown hereon. Encroachment is allowed via agreement set out in Document No. 2004088009. (See Schedule B item No. 17, hereon.)
- B** APPARENT ENCROACHMENT:
A portion of an existing overhead power line(s) extends over a parts of the Eastern side of the subject property as shown hereon. No easements documents or other within American Title Insurance Company's Commitment File No. 2345344-AL01, dated August 14, 2018, to allow said line(s).
- C** APPARENT ENCROACHMENT:
A portion of an existing overhead power line extends through a portion of the interior of the subject property as shown hereon. No easements documents or other within American Title Insurance Company's Commitment File No. 2345344-AL01, dated August 14, 2018, to allow said line.



UTILITY NOTES

The Aboveground utilities shown have been located from field survey information only. The surveyor makes no guarantee that the utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further certifies that they are located as accurately as possible from the field information obtained.

The underground utilities shown have been located from field survey information and existing drawings, if available. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.

FLOOD NOTE:

By graphic plotting only, this property is in Zone "X" and "Z"-Areas with Reduced Flood Risk due to Levees" of the Flood Insurance Rate Map, Community Panel No. 35001C0332G, which bears an effective date of 09/26/2008 and is NOT in a Special Flood Hazard Area. By the FEMA website on 09/12/2018 we have learned this community DOES currently participate in the program. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

ALTA/NSPS LAND TITLE SURVEY

"U-HAUL - ALBUQUERQUE"
2217 4th Street NW
Albuquerque, NM 87102

Surveyor's Certification

To: Amerco Real Estate Company, a Nevada corporation; U-Haul Co. of New Mexico and First American Title Insurance Company;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6b, 7a, 7b1, 7c, 8, 9, 10a, 11, 13, 14, 16, 17, 18, 19, 20, & 21 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 09/03/2018.

Date of Plat or Map: 02/01/2019

PROFORMA DRAWING FOR REVIEW

Leroy W. Farley, LS
LS No.: 17320
IN THE STATE OF: NEW MEXICO
DATE OF SURVEY: 09/03/2018

"PROFORMA, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT."



Prepared By:
Red Plains Surveying Company
1917 S. Harvard Avenue, Oklahoma City, OK 73128
Phone: 405-603-7842 / Fax: 405-603-7852
Email: Comments@rpsurveying.com

SYMBOL LEGEND

<ul style="list-style-type: none"> AIR VALVE AUTO SPRINKLER BENCHMARK BORER HOLE BUSH CLEAN OUT ELEC. METER ELEC. PED. ELEC. TRANS. FIRE HYDRANT FIRE RISER FLAG POLE GAS VALVE GAS METER GATE GENERATOR BARBED WIRE FENCE ROAD CENTERLINE STOCKADE UNDERGROUND COMMUNICATIONS UNDERGROUND ELECTRIC LINE UNDERGROUND OIL PIPE LINE UNDERGROUND SANITARY SEWER 	<ul style="list-style-type: none"> GROUND LIGHT GROUND ROD GUARD POST GUY ANCHOR HANDICAPPED PARKING IRON GRATE MAIL BOX MAILER RACK MONITOR WELL MON. FOUND TRAIL AS DESCRIBED MARKER POWER MH POWER POLE PROPANE TANK PULL BOX CHAINLINK FENCE OVERHEAD ELECTRIC LINE SUBJECT BOUNDARY LINE UNDERGROUND GAS ELECTRIC OIL PIPE LINE UNDERGROUND STORM SEWER UNDER. WATER 	<ul style="list-style-type: none"> ROAD SIGN SANITARY STORM SEWER MH UNDERGROUND TANK ACCESS TELE. MH TELE. PED. TRAFFIC SIGNAL TRAFFIC CONTROL BOX FREE UNDR. TELE. MARKER T.V. PED. UTILITY CABINET UTILITY POLE WATER METER WATER MH WATER VALVE ADJ. PLAT LINE EASEMENT LINE STAT. SECTION LINE TRAIN TRACKS UNDER. GAS UNDER. ELECTRIC UNDER. OIL PIPE LINE UNDER. STORM SEWER UNDER. WATER 	<ul style="list-style-type: none"> LIST OF ABBREVIATIONS FND - FOUND IP - IRON PIN B/L - BUILDING LINE SEBACK - BUILDING BLVD - BOULEVARD BRNG - BEARING C/L - CENTER LINE CONC. - CONCRETE DIA. - DIAMETER DIST. - DISTANCE ESMT. - EASEMENT F.C.E. - FENCE FL - FLOW LINE GEN. - GENERATOR G/R - GAS REGULATOR HC - HANDICAPPED M - MEASURED DIMENSION P.O.B. - POINT OF BEGINNING P.O.C. - POINT OF COMMENCEMENT P.O.M. - POINT OF MEASUREMENT P.O.T. - POINT OF TERMINATION PED. - PEDESTAL PLT. - PLAT R - RECORD DIMENSION R.O.W. - RIGHT-OF-WAY RD - ROAD BRAN RET. - RETAINING SAH - SANITARY STAT. - STATUTORY TOP - TOP OF RIM TRANS. - TRANSFORMER U/C - UTILITY CABINET W - UNDERGROUND W/ST - WITH UNDERGROUND SERVICE
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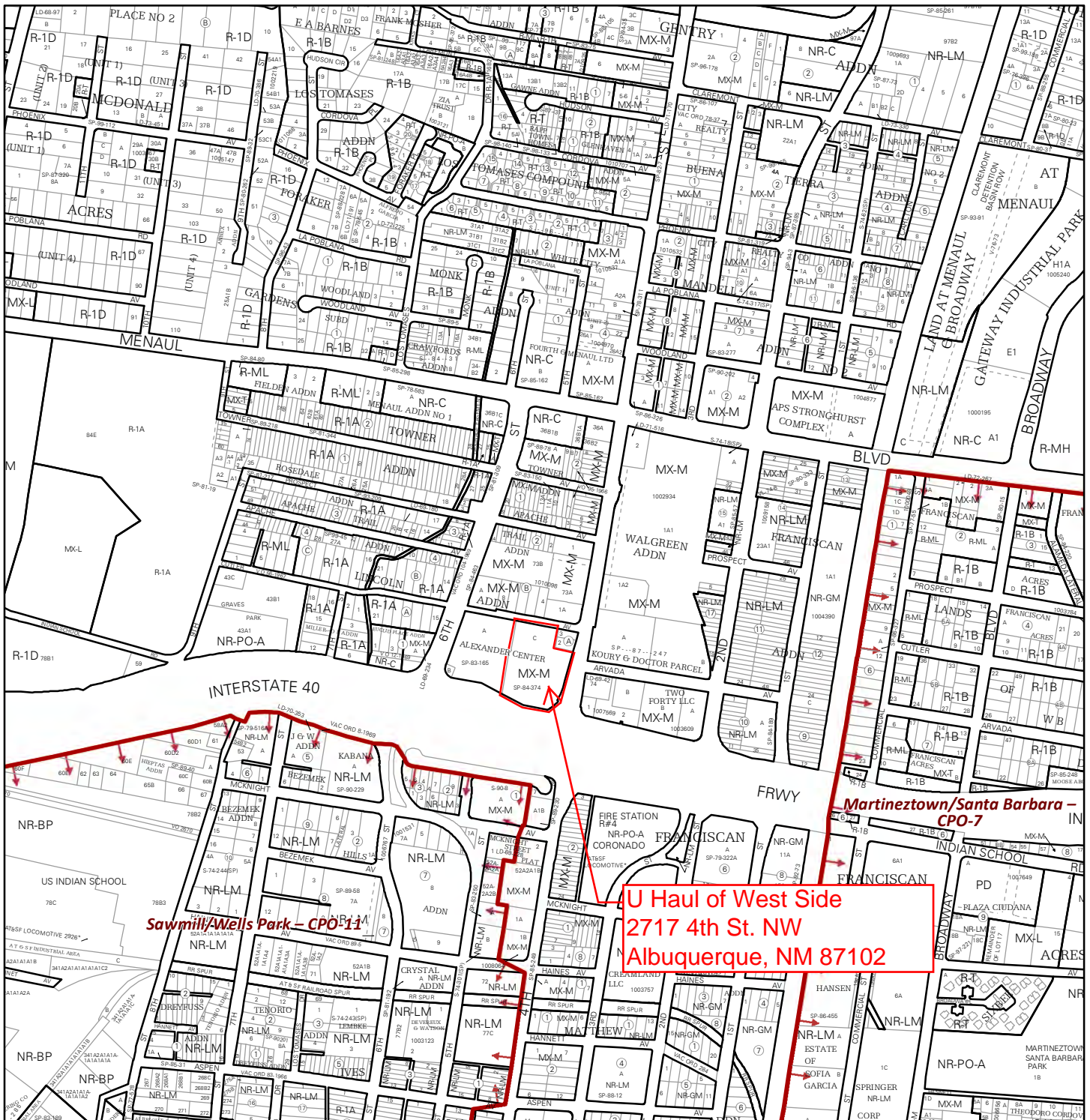
PROJECT INFO:
U-HAUL
2217 4th Street NW
Albuquerque, NM 87102
"ENTITY #724077"

SCALE: SEE SHT. NO. 2	REDLINED BY: SF
SURVEY DATE: 09/06/2018	APPROVED BY: LWF
DWN. BY: SF	J.N.: 18-367-01AD
FIELD BY: HN	SHEET 1 OF 2

02	05.08.2019	ENCROACHMENT NOTE	SF	LWF
01	04.24.2019	REVISED SCIB ITEM NOTE	RB	LWF
MARK	DATE	REVISIONS	BY	APV'D

MONUMENT LEGEND

- 1/2" IRON PIN SET
- IRON PIN FOUND
- P-K NAIL SET (MAGNETIC NAIL)
- P-K NAIL FOUND (MAGNETIC NAIL)
- ✕ CUT "X" SET
- ✕ CUT "X" FOUND
- ◆ BENCHMARK



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

Gray Shading
Represents Area Outside
of the City Limits

Zone Atlas Page:
H-14-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet



U-Haul Company of New Mexico
3101 Princeton N.E.
Albuquerque, NM 87107
505-889-9475 Fax 505-883-3713

June 2, 2021

Mr. Jay B. Rodenbeck

Senior Planner

City of Albuquerque

RE: Minor Amendment to Site Plan – DRB, U Haul of West Side, PROJECT Number: PR-2018-001670

Application Number: SI-2019-00181

Dear Mr. Rodenbeck,

Americo Realestate, the Owner of this Project, through this letter, authorizes Lloyd and Associates to submit for a Minor Amendment to the Site Plan – DRB noted above. The minor changes we are documenting are to comply with the Approved Site Plan.

Should you have any questions or concerns please do not hesitate to contact me.

Respectfully

A handwritten signature in black ink, appearing to read "Tom Neill", is written over the word "Respectfully".

Tom Neill

Owner's representative

505-259-0339

Americo Realestate Company

Construction Department

2727 North Central Avenue

Phoenix, Arizona 85004

MOVING MADE EASIER

June 2, 2021

Mr. Jay B. Rodenbeck
Senior Planner
City of Albuquerque

RE: Minor Amendment to Site Plan – DRB, U Haul of West Side, PROJECT Number: PR-2018-001670
Application Number: SI-2019-00181

1930 Albuquerque U-Haul BP-2020-44029

Dear Mr. Rodenbeck,

Americo Realestate, the Owner of this Project, through this letter, submits for a Minor Amendment to the Site Plan – DRB noted above. The minor changes we are documenting are consistent with the Approved Site Plan.

The revisions are as follows:

SHEET	DESCRIPTION	CONSTRUCTION DOCUMENT SHEET
C100	Added a Fire Riser Closet to the U Box Building. This room was moved From the interior of the building to the exterior to allow better access The fire department and to prevent damage by the Owner when moving Storage boxes with a fork-lift.	A001
C100	Added one Trash dumpster in coordination with the City of Albuquerque	A001
C100	Relocated the bicycle rack to be closer to the front entrance than the Approved DRB location.	A001
C100	Moved the two Truck Loading parking spaces to allow for the bicycle racks.	A001
EV-1	Elevation Revisions: Main Storage Building NORTH ELEVATION: 1. Raised the perimeter parapet height from 134'9" to 139'-4 ½" to provide sufficient roof slope, parapet height, and roof coverage. 2. Added more Down spouts to drain the roof water. The initial design did not have adequate number of drains for the size of roof. Down pouts Were adjusted to evenly drain roof water. 3. The Canopy was changed from a flat-roofed canopy to a sloped-roof to efficiently drain both the Canopy and the Main roof. 4. Staircase was relocated to the South side avoiding conflicts with the Fire and an easement.	AA202

Elevation Revisions: Main Storage Building, Continued:

- | | | |
|------|---|-------|
| Ev-1 | EAST ELEVATION: | AA202 |
| | <ol style="list-style-type: none"> 1. The Canopy was changed from a flat-roofed canopy to a sloped-roof to efficiently drain both the Canopy and the Main roof. | |
| Ev1 | SOUTH ELEVATION: | AA201 |
| | <ol style="list-style-type: none"> 1. Added more Down spouts to drain the roof water. The initial design did not have adequate number of drains for the size of roof. Down pouts Were adjusted to evenly drain roof water. 2. staircase was relocated to the South side avoiding conflicts with the Fire and an easement. | |
| Ev-1 | WEST ELEVATION: | AA201 |
| | <ol style="list-style-type: none"> 1. The Canopy was changed from a flat-roofed canopy to a sloped-roof to efficiently drain both the Canopy and the Main roof. 2. staircase was relocated to the South side avoiding conflicts with the Fire and an easement. | |

Elevation Revisions: Main Storage Building, U Box Building:

- | | | |
|------|---|-------|
| EV-2 | WEST ELEVATION - U BOX: | AB201 |
| | <ol style="list-style-type: none"> 1. Decrease roof ridge height from 134'-11" to 132'-0" to allow the eave Height of the building to raise for sufficient structural clearance from the Top of the storage boxes and bottom of beams. 2. Raised the eave height from 128'—0" to 130'-0" to allow the eave Height of the building to raise for sufficient structural clearance from the top of the storage boxes and bottom of beams. 3. The MBCI trim color immediately below the eave will remain the MBCI Almond color. | |
| EV-2 | NORTH ELEVATION – U BOX: | AB201 |
| | <ol style="list-style-type: none"> 1. Added an exterior Fire Riser Closet in coordination with City of Albuquerque Fire Marshall. 2. Clarified that the lattice wall screen will be made of steel and painted Sherwin Williams 6355 Truepenney to Coordinate with the building color scheme. | |

Lloyd & Associates

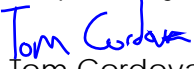
A R C H I T E C T S

EV-2 EAST ELEVATION - U BOX: AB201
1. Added an exterior Fire Riser Closet in coordination with City of Albuquerque Fire Marshall.

EV-2 SOUTH ELEVATION - U BOX: AB201
1. Removed one garage door on the East elevation. It is not needed for This Project.
2. Added an exterior Fire Riser Closet in coordination with City of Albuquerque Fire Marshall.

Please let me know if there is additional information required for this submittal review.

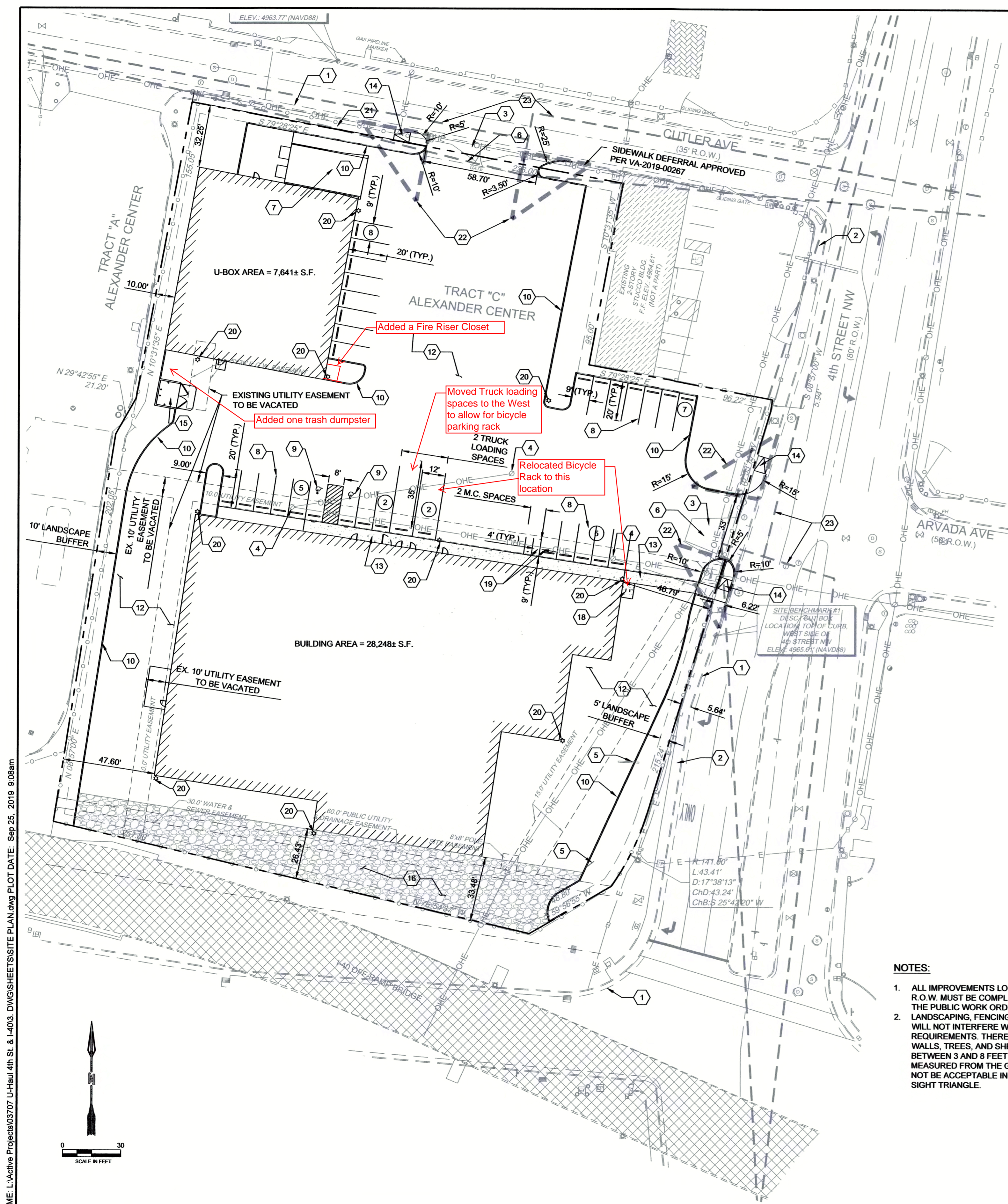
Respectfully submitted.



Tom Cordova,

Project Manager

Lloyd & Associates Architects



LEGEND

ITEM	EXISTING	PROPOSED
FIRE HYDRANT		
WATER VALVE		
SEWER MANHOLE		
STORM SEWER MANHOLE		
DROP INLET		
WATER METER		
CURB AND GUTTER		
BENCHMARK		
BORE HOLE		
ELECTRICAL PEDISTAL		
ELECTRICAL TRANSFORMER		
GAS VALVE		
GATE		
GUARD POST		
LIGHT POLE		
MONUMENT FOUND		
POWER POLE		
ROAD SIGN		
TELEPHONE MANHOLE		
TELEPHONE PEDISTAL		
UTILITY POLE		
ROAD CENTERLINE		
CHAINLINK FENCE		
OVERHEAD ELECTRIC LINE		
SUBJECT BOUNDARY LINE		
BOUNDARY ADJOINER LINE		
EASMENT LINE		
GRAVEL DRIVEWAY		

KEYED NOTES

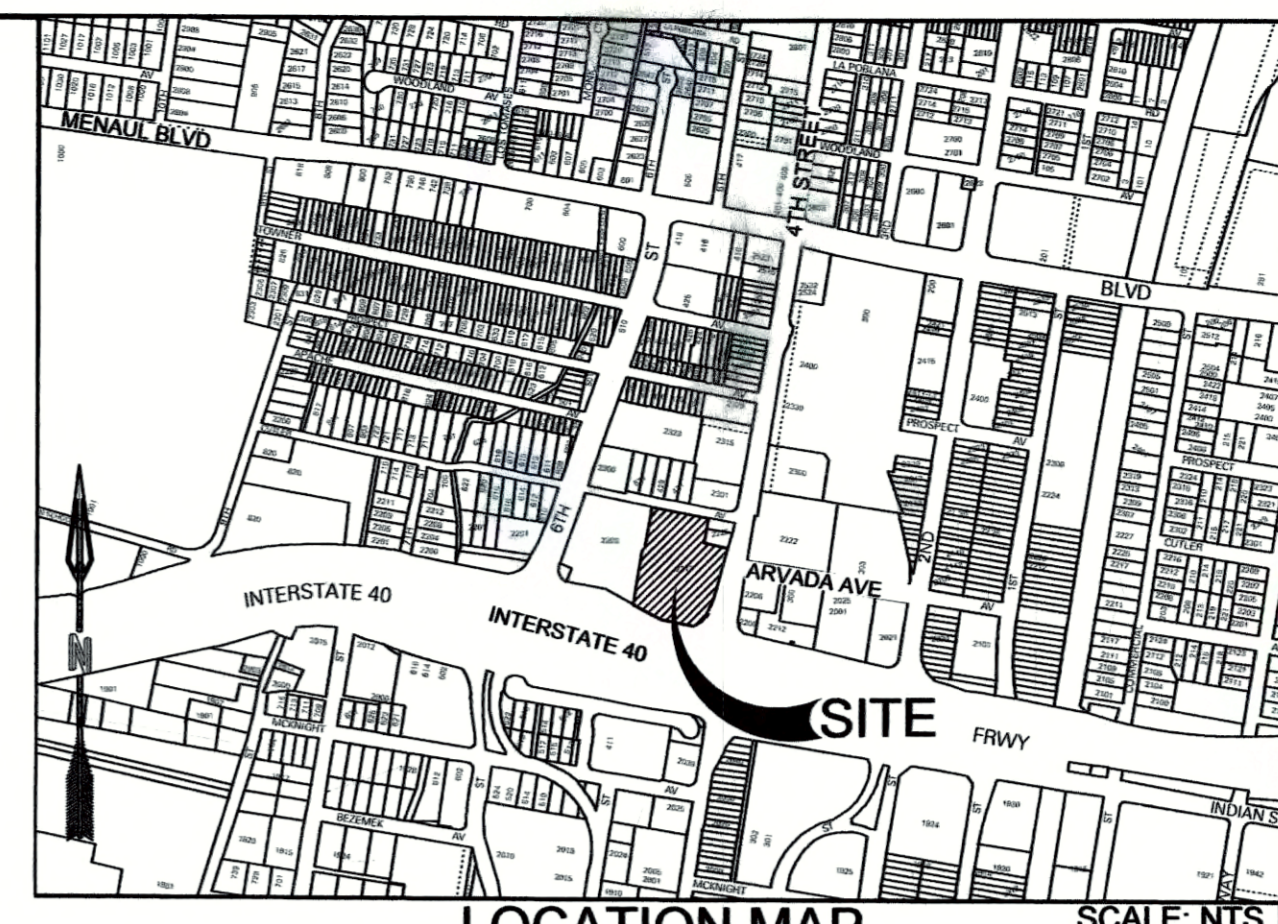
I.D.#	DESCRIPTION
1	EXISTING CURB AND GUTTER
2	EXISTING SIDEWALK
3	EXISTING DRIVEWAY TO BE REMOVED
4	EXISTING UTILITY POLE TO BE REMOVED
5	EXISTING SIGN TO BE REMOVED
6	NEW DRIVEWAY PER COA STD. DWG 2425
7	NEW CONCRETE LOADING DOCK
8	NEW PARKING STRIPING
9	NEW HANDICAP PARKING PER DETAIL 10 SHEET C 501
10	NEW CURB AND GUTTER PER DETAIL 1 SHEET C 500
12	NEW ASPHALT PAVEMENT, PER PAVEMENT SECTION 3 SHEET C 500
13	NEW 6' WIDE SIDEWALK PER DETAIL 6 SHEET C 500 W/ 10' WIDTH APPROVED PER VA-2019-00267
14	NEW HANDICAP RAMP PER COA STD DWG 2440
15	NEW REFUSE ENCLOSURE PER DETAIL 14 SHEET C 501
16	NEW GRAVEL DRIVEWAY, PER PAVING SECTION 5 SHEET C 500
18	NEW BIKE RACK PER DETAIL 7 SHEET C 500
19	NEW MOTORCYCLE PARKING SIGN PER DETAIL 8 SHEET C 500
20	NEW LIGHT POLE PER DETAIL 9 SHEET C 500
21	NEW 6' WIDE PER COA STD. DWG. 2430
22	35' CLEAR SIGHT TRIANGLE PER COA SPECIFICATIONS
23	CLEAR SIGHT TRIANGLE PER AASHTO SPECIFICATIONS

NOTES:

- ALL IMPROVEMENTS LOCATED IN THE R.O.W. MUST BE COMPLETED THROUGH THE PUBLIC WORK ORDER PROCESS. LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

SITE DATA

LEGAL: TRACT C, ALEXANDER CENTER
 ADDRESS: 2217 4TH STREET NW
 SITE AREA: 2.5278 ACRES (110,111 SF)
 ZONING: MX-M FOR MIXED USE-MODERATE
 BENCHMARK:
 BENCHMARK #1
 DESC.: CUT BOX
 LOCATION: TOP OF CURB, WEST SIDE OF 4TH STREET NW
 ELEV.: 4965.81' (NAVD88)
 BENCHMARK #2
 DESC.: CUT BOX
 LOCATION: TOP OF CURB, NORTH SIDE OF CUTLER AVE. NW
 ELEV.: 4963.77' (NAVD88)
 MAPPING: ALTA SURVEY AND CONTROL PROVIDED BY RED PLAINS SURVEYING COMPANY
 FEBRUARY 2019



PROJECT NUMBER: PR-2018-001670
 Application Number: SI-2019-00181
 Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.
 DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Signature	Date
<i>[Signature]</i>	09-25-19
Traffic Engineering, Transportation Division	Date
<i>[Signature]</i>	09-15-19
ABCWUA	Date
<i>[Signature]</i>	2-03-20
Parks and Recreation Department	Date
<i>[Signature]</i>	9/25/19
City Engineer	Date
<i>[Signature]</i>	10/7/19
Solid Waste Management	Date
<i>[Signature]</i>	9/25/19
Code Enforcement	Date
<i>[Signature]</i>	2-09-20
DRB Chairperson, Planning Department	Date

ZONING INFORMATION

PROJECT NAME: U-HAUL STORAGE OF WESTSIDE
 MUNICIPALITY: CITY OF ALBUQUERQUE
 PROJECT ADDRESS: 2217 4TH ST. NW ALBUQUERQUE, NM 87102
 ACRE / AREA: 2.5 ACRES / 108,900 SF.
 ZONE: MX-M - MIXED-USE - MODERATE INTENSITY
 ADJACENT ZONING:
 N- MX-M - MIXED-USE - MODERATE INTENSITY
 E- MX-M - MIXED-USE - MODERATE INTENSITY
 S- INTERSTATE 40/ MX-M - MIXED-USE - MODERATE
 INTENSITY
 W- MX-M - MIXED-USE - MODERATE INTENSITY

USES: SELF STORAGE PERMITTED PER VA-2018-00143, LIGHT VEHICLE RENTAL PERMITTED AND OUTDOOR STORAGE NOT ALLOWED

SETBACKS:

FRONT YARD: 5 FT.
 SIDE YARD: 0 FT.
 REAR YARD: 15 FT.

HEIGHT LIMIT: 45 FT.
 PROPOSED HEIGHT: 35 FT.

MAX BUILDING COVERAGE: N/A

1 SPACE REQUIRED PER 3,000 SQ. FT. FOR THE TOTAL GROSS AREA OF BUILDING

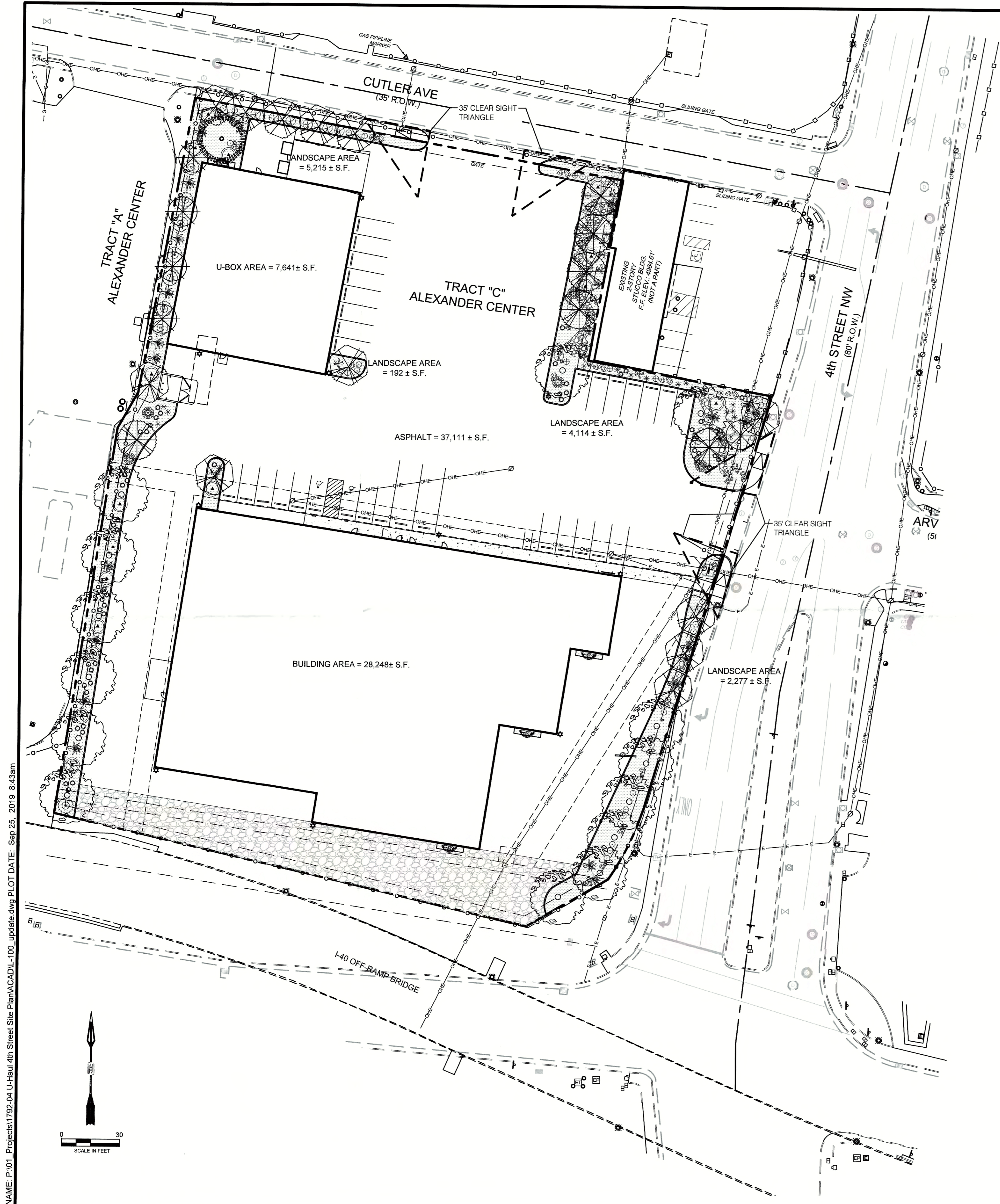
PARKING:	REQUIRED	PROVIDED
	31 SPACES	31 SPACES
	2 HANDICAP	2 HANDICAP

LANDSCAPE	REQUIRED	PROVIDED
	15% NET LOT AREA	15% NET LOT AREA

NAME: L:\Active Projects\03707 U-Haul 4th St. & I-403. DWG\SHEETS\SITE PLAN.dwg PLOT DATE: Sep 25, 2019 9:08am



DESIGNED: JL DRAWN: JMT CHECKED: SEG DATE: 9.25.2019 RESPEC 5971 JEFFERSON STREET SUITE 101 ALBUQUERQUE, NEW MEXICO 87109 WWW.RESPEC.COM 855.253.9718	REVISION SHEET NUMBER: C 100 PROJECT NAME: UHAUL 4TH ST & I-40 SHEET TITLE: DRB SITE PLAN REVIEW
STAMP 	
THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED 	



GENERAL LANDSCAPE NOTES
LANDSCAPE DESIGN:
 ALL PLANTING AREAS SHALL BE TOP DRESSED WITH MULCHES PER THE LEGEND.

IRRIGATION:
 IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 5 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 2 GPH EMITTERS. TREES, SHRUBS, ACCENTS, AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

RESPONSIBILITY OF MAINTENANCE:
 MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
 THE LANDSCAPE PLAN SHALL LIMIT THE PROVISION OF HIGH WATER USE TURF TO A MAXIMUM OF 20 PERCENT OF THE REQUIRED LANDSCAPED AREA. THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

PNM COORDINATION:
 COORDINATION WITH PNMS NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST FIVE FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE:
 LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

LANDSCAPE AREA COVERAGE:
 TOTAL SITE AREA: 110,063 SF (2.53 AC)
 BUILDING AREA (BUILDING ENVELOPE): - 35,889 SF
 NET AREA: 74,174 SF
 REQUIRED LANDSCAPE AREA (15% OF NET AREA): 11,126 SF
 PROVIDED LANDSCAPE AREA: 11,900 SF (107%)

LANDSCAPE LIVE VEGETATIVE COVERAGE:
 LANDSCAPE COVERAGE REQUIREMENTS SPECIFY LANDSCAPE AREAS TO HAVE A 75% COVERAGE OF LIVE VEGETATIVE MATERIAL. THE PROJECT WILL PROVIDE A MINIMUM OF 75% LIVE VEGETATIVE COVERAGE OF THE REQUIRED LANDSCAPE AREA. A MINIMUM OF 25% COVERAGE OF THE TOTAL LANDSCAPED AREA SHALL BE ACHIEVED BY GROUND-LEVEL PLANTS.
 PROVIDED LIVE VEGETATIVE MATERIAL COVERAGE - 24,163 SF (203% OF LANDSCAPE AREA)
 PROVIDED GROUND-LEVEL PLANTS - 6,436 SF (27% OF LANDSCAPE AREA)

ORGANIC MULCH:
 ORGANIC MULCH, SUCH AS WOOD CHIPS OR PECAN SHELLS, IS REQUIRED AS GROUND COVER FOR THE PORTION OF ANY LANDSCAPED AREA SURROUNDING THE VEGETATED ROOT BALL, AS WELL AS BENEATH THE ENTIRE TREE CANOPY OR DRIP LINE, IN EACH REQUIRED LANDSCAPE AREA.
 ALL TREES, SHRUBS AND GROUND COVER SHALL HAVE ORGANIC WOOD FIBER MULCH APPLIED AROUND THE PLANTINGS DRIP LINES DURING INSTALLATION.
 GRAVEL AND CRUSHER FINES USED AS GROUND COVER IN LANDSCAPE AREAS IS LIMITED TO 75%.
 LANDSCAPE AREA PROVIDED-11,519 SF
 MAXIMUM GRAVEL MULCH IN PLANTING BEDS - 8,639 SF=(75%)
 REQUIRED ORGANIC MULCH 2,880 SF=(25%)
 ORGANIC MULCH COVERAGE IS ACHIEVED BY PROVIDING A 7" DIAMETER MULCH RING UNDER EACH TREE: (25 TREES) = 982 SF ORGANIC MULCH AND A 3.5" RING UNDER EACH SHRUB: (228 SHRUBS) = 2,194 SF
 TOTAL PROVIDED: 3,156 SF OF ORGANIC MULCH (110%)

LANDSCAPE TURF:
 ONLY 20% OF LANDSCAPED AREAS MAY BE HIGH WATER USE TURF. NO HIGH WATER TURF IS PROPOSED FOR THE SITE.

PARKING LOT TREES:
 THE PROJECT IS PROVIDING 33 PARKING SPACES. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.
 PARKING LOT TREES REQUIRED: 3
 PARKING LOT TREES PROVIDED: 3 (IN ADJACENT PLANTER BED)

STREET TREES:
 4TH STREET NW IS AN ARTERIAL STREET AND THEREFORE REQUIRES STREET TREES. STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 25' O.C. CUTLER AVE IS A LOCAL STREET.
 4TH STREET NW IS 313'
 STREET TREES REQUIRED: 13
 STREET TREES PROVIDED: 13 (9 STREET TREES AND 4 PROVIDED IN LANDSCAPE)
 CUTLER AVE IS 226'
 STREET TREES REQUIRED: 9
 STREET TREES PROVIDED: 9 (6 STREET TREES AND 3 PROVIDED IN LANDSCAPE)

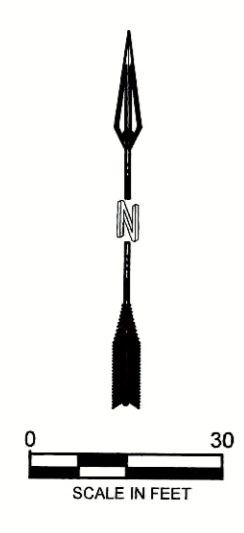
LANDSCAPE IN ASPHALT PARKING LOT:
 PARKING LOT LANDSCAPE REQUIRED (10% OF 37,111 SF) = 3,711 SF.
 PARKING LOT LANDSCAPE PROVIDED: 4,430 SF. (119%)

ADDITION OF 8 TREES FOR 206' OF CONCRETE PEDESTRIAN PATH, 1 TREE PER 25'. (8 TREES PROVIDED IN LANDSCAPE)

PLANT LEGEND

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
TREES					
14		ACER NEGUNDO 'SENSATION' SENSATION BOX ELDER	2.5' B&B	45' HT. X 35' SPR.	MED
12		CHILOPSIS LINEARIS 'BUBBA' BUBBA DESERT WILLOW	8' MS	20' HT. X 20' SPR.	FW
1		PINUS NIGRA AUSTRIAN PINE	8' HT. B&B	35' HT. X 25' SPR.	MED
SHRUBS AND GROUNDCOVERS					
43		ERICAMERA LARICIFOLIA DWARF TURPENTINE BUSH	5-GAL	3' HT. X 3' SPR.	LOW
7		FALLUGIA PARADOXA APACHE PLUME	5-GAL	5' HT. X 5' SPR.	LOW
5		FORESTIERA NEOMEXICANA NEW MEXICO OLIVE	15-GAL	15' HT. X 15' SPR.	LOW+
20		JUNIPERUS HORIZ. BLUE CHIP JUNIPER	5-GAL	1' HT. X 7' SPR.	MED
5		PINUS MUGO 'PUMILIO' DWARF MUGO PINE	5-GAL	4' HT. X 6' SPR.	MED
17		RHUS TRILOBATA AUTUMN AMBER	5-GAL	2' HT. X 8' SPR.	LOW+
21		SALVA GREGGII 'FURMAN'S RED' FURMAN'S RED CHERRY SAGE	3-GAL	30' HT. X 3' SPR.	MED
6		VITEA AGNUS-CASTUS CHASTE TREE (MULTI-STEM)	15-GAL	20' HT. X 20' SPR.	MED
DESERT ACCENTS					
29		HESPERALOE PARVIFLORA BRAKELIGHTS' RED YUCCA	3-GAL	3' HT. X 3' SPR.	LOW+
18		OPUNTIA VIOLACEA SANTA RITA PRICKLY PEAR	3-GAL	3' HT. X 4' SPR.	FW
8		OPUNTIA ENGLAMANNII ENGLAMANN PRICKLY PEAR	3-GAL	5' HT. X 8' SPR.	FW
ORNAMENTAL GRASSES					
49		CALAMOGROSTIS A. 'KARL FOERSTER' KARL FOERSTER FEATHER REED GRASS	3-GAL	30' HT. X 3' SPR.	MED
VINES					
4		CAMPIDIS RADICANS TRUMPET VINE	5-GAL	CLIMBING X 40'	MED
MULCHES AND BOULDERS					
11,657 SF		3/4" - 1" ROCK MULCH, COLOR: TBD SF. (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)			
740+ SF		4" - 8" RIP-RAP, COLOR: TBD SF. (8" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)			
54		BOULDERS (3x3' MIN)			

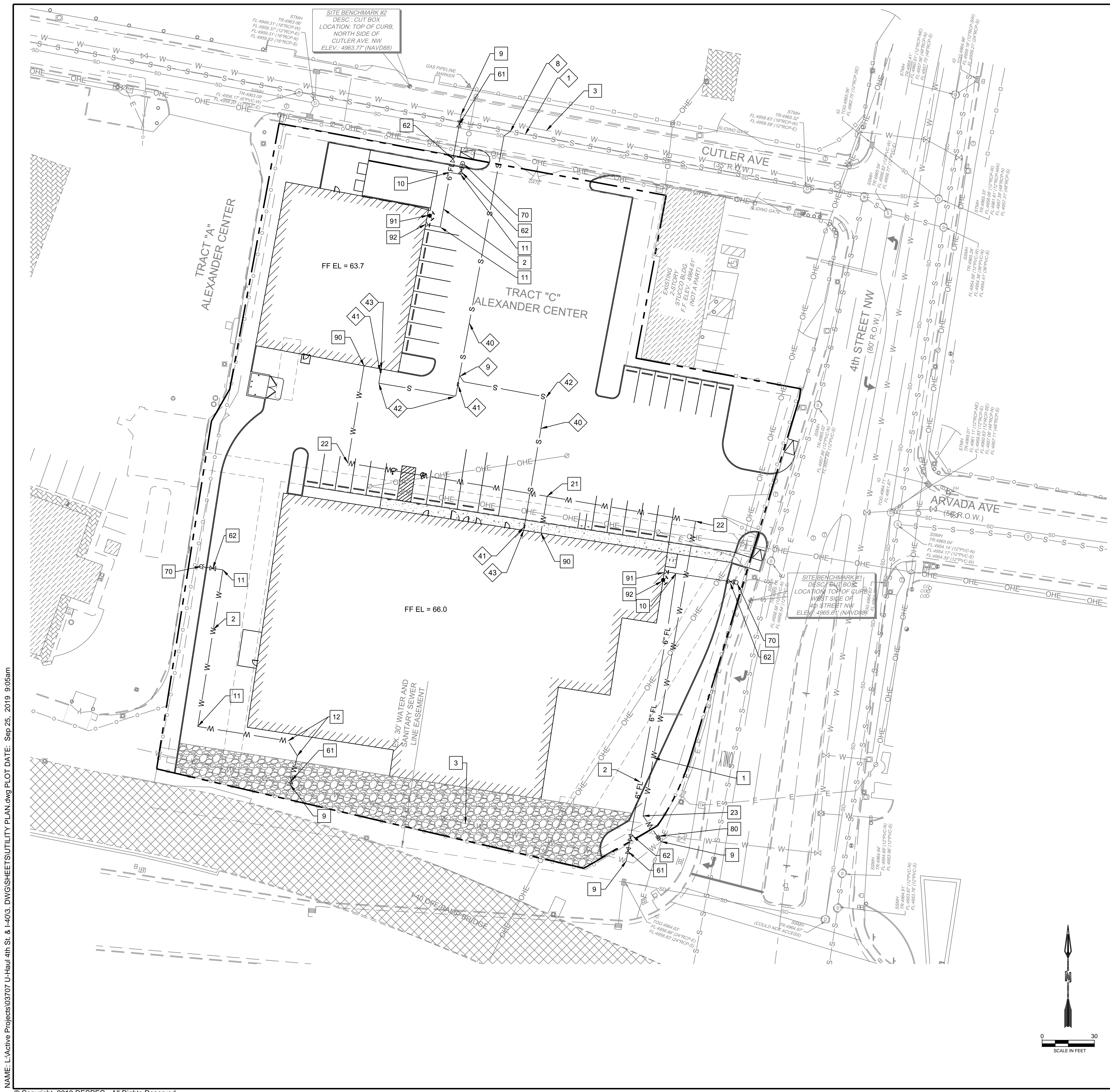
NAME: P:\01_P\Projects\1792-04_U-Haul_4th Street Site Plan\CAD\1-100_update.dwg PLOT DATE: Sep 25, 2019 8:43am



SITE DEVELOPMENT PLAN
 FILE # PR2018-001670/51-2019
 Alternative Landscape Plan
 APPROVED BY [Signature] DATE 26 Sept 2019

CONSENSUS PLANNING, INC.
 Planning / Landscape Architecture
 302 Eighth Street NW
 Albuquerque, NM 87102
 (505) 764-9801 Fax 842-5495

DESIGNED AM	AM	REVISION
DRAWN AM	AM	
CHECKED CG	CG	
DATE	DATE	
9/25/2019	9/25/2019	
5871 REFLECTOR SUITE 101 ALBUQUERQUE, NM 87110 WATER & NATURAL RESOURCES WWW.RESPEC.COM 505.253.9718		
STAMP REVIEW 30%		
PRELIMINARY NOT FOR CONSTRUCTION THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.		
PROJECT NAME: UHAUL 4TH ST & I-40		
SHEET TITLE: LANDSCAPE PLAN		
SHEET NUMBER: L 100		



LEGEND

ITEM	EXISTING	PROPOSED
FIRE HYDRANT		
WATER VALVE		
SEWER MANHOLE		
STORM SEWER MANHOLE		
DROP INLET		
WATER METER		
WATER LINE	W	W
SANITARY SEWER LINE	S	S
STORM DRAIN LINE	SD	SD
UNDERGROUND ELECTRIC	OHE	OHE
OVERHEAD ELECTRIC	E	E
CURB AND GUTTER		
BENCHMARK		
BORE HOLE		
ELECTRICAL PEDISTAL		
ELECTRICAL TRANSFORMER		
GAS VALVE		
GATE		
GUARD POST		
LIGHT POLE		
MONUMENT FOUND		
POWER POLE		
ROAD SIGN		
TELEPHONE MANHOLE		
TELEPHONE PEDISTAL		
UTILITY POLE		
ROAD CENTERLINE		
CHAINLINK FENCE		
OVERHEAD ELECTRIC LINE		
SUBJECT BOUNDARY LINE		
BOUNDARY ADJOINER LINE		
EASEMENT LINE		

WATER CONSTRUCTION NOTES

I.D.#	DESCRIPTION
1	INSTALL 1" WATERLINE
2	INSTALL 6" WATERLINE
3	EXISTING 6" PVC WATERLINE
9	CONNECT NEW WATERLINE TO EXISTING WATERLINE (NON PRESSURIZED CONNECTION)
10	INSTALL 6" TEE
11	INSTALL 6" 90° BEND
12	INSTALL 6" 45° BEND
21	INSTALL 1" TEE
22	INSTALL 1" 90° BEND
23	INSTALL 1" 45° BEND
61	INSTALL 6" GATE VALVE AND VALVE BOX, PER COA STD. DTL. 2326, 2328, AND/OR 2329
70	INSTALL FIRE HYDRANT, PER COA STD. DTL. 2340
80	INSTALL 1" SINGLE WATER SERVICE, PER COA STD. DTL. 2362 AND 2368
90	SEE INTERIOR BUILDING PLANS FOR CONTINUATION

SANITARY SEWER CONSTRUCTION NOTES

I.D.#	DESCRIPTION
4	EXISTING 8" VCP SANITARY SEWER LINE
5	SANITARY SEWER SERVICE CONNECTION PER COA STD. DTL. 2125, CONTRACTOR TO FIELD VERIFY SIZE AND TYPE OF SAS MAIN AND NOTIFY ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION
6	INSTALL 4" WYE CONNECTION
40	INSTALL 4" SANITARY SEWER LINE
41	INSTALL NEW DOUBLE CLEANOUTS
42	INSTALL 4" 90° BEND
43	SEE INTERIOR BUILDING PLANS FOR CONTINUATION

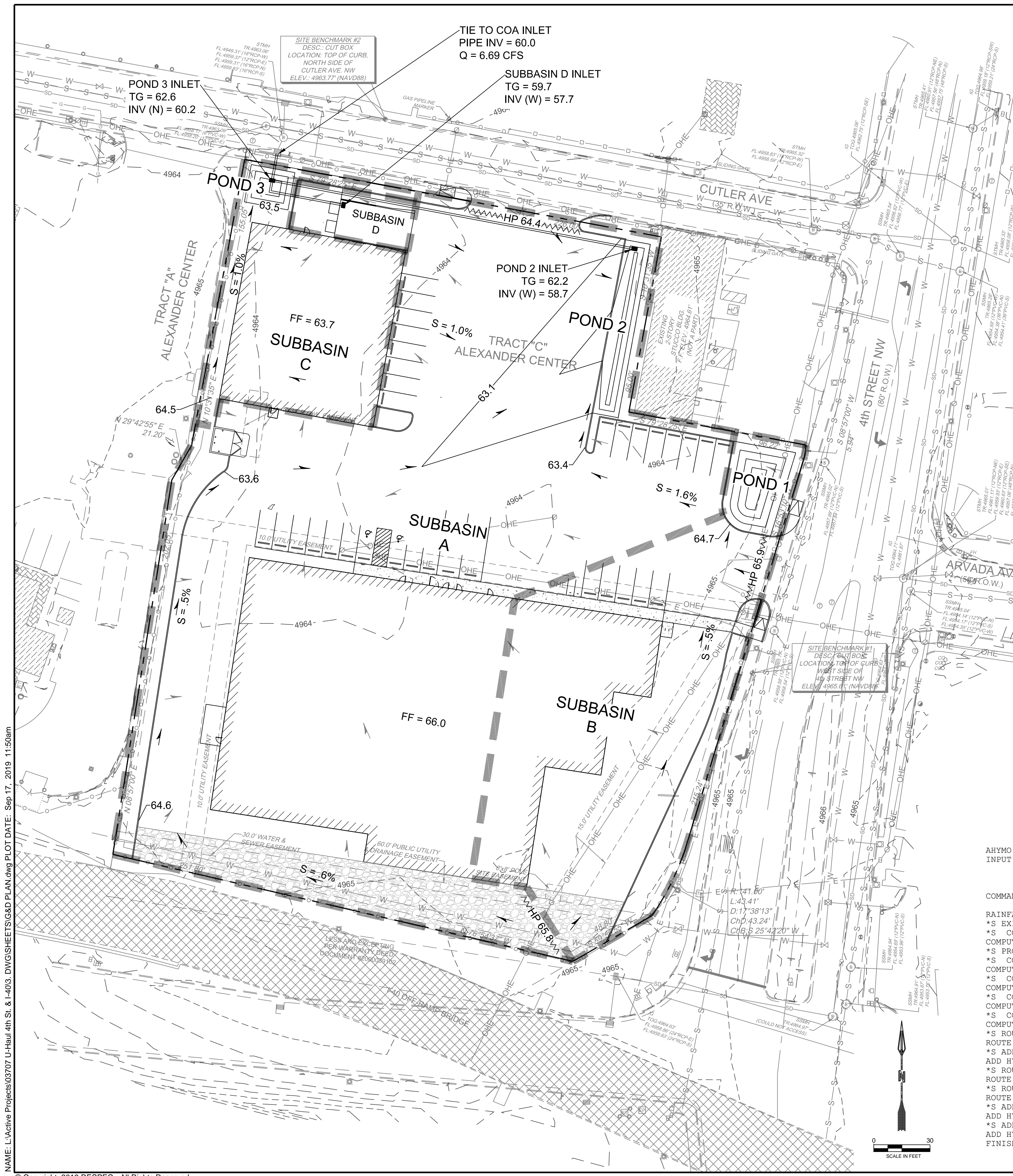
NOTES:

- CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITY LOCATIONS, DEPTHS, AND TYPE OF MATERIAL AND NOTIFY ENGINEER OF ANY CONFLICTS PRIOR TO ANY CONSTRUCTION.
- ABCWUA RECORDS INDICATE AN 8" SANITARY SEWER ALONG THE EAST SIDE OF THE SITE. CONTRACTOR TO COORDINATE W/ 811 TO DETERMINE LOCATION PRIOR TO CONSTRUCTION.
- ALL UTILITIES TO BE INSTALLED PER CITY OF ALBUQUERQUE SPECIFICATIONS.
- ALL SANITARY SEWER BENDS AND WYE CONNECTIONS TO INCLUDE DOUBLE CLEANOUTS.
- REDUCE PRESSURE BACKFLOW PREVENTERS FOR DOMESTIC WATER LINES AND FIRE LINES TO BE INTERNAL TO THE BUILDINGS.
- ALL ON-SITE FIRE HYDRANTS TO BE PRIVATE AND PAINTED SAFETY ORANGE.

DESIGNED J.L.	REVISION
DRAWN J.M.T.	
CHECKED SEG	
DATE 9.25.2019	
 5971 JEFFERSON STREET SUITE 101 ALBUQUERQUE, NM 87113 WWW.RESPEC.COM 505.253.9718	
 SHELDON E. GREER LICENSED PROFESSIONAL ENGINEER	
THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.	
 Know what's below. Call before you dig.	
PROJECT NAME: UHAUL 4TH ST & I-40	
SHEET TITLE: CONCEPTUAL UTILITY PLAN	
SUBMITTED FOR: REVIEW	
SHEET NUMBER: C 101	

NAME: L:\Active Projects\03707 U-Haul 4th St. & I-40\3 DWG\SHEET\UTILITY PLAN.dwg PLOT DATE: Sep 25, 2019 9:05am

NAME: L:\Active Projects\03707 U-Haul 4th St. & I-403 DWG\SHEETS\G&D PLAN.dwg PLOT DATE: Sep 17, 2019 11:50am



Background
Tract C, Alexander Center contains approximately 2.5 acres. The site is located on the southwest corner of Cutler Ave. and 4th St. The site is to be developed into a self-storage facility containing two buildings and a parking lot.

Methodology
The hydrology analysis was performed for the site in accordance with the Albuquerque Development Process Manual (DPM). AHYMO-S4 (April 2018) was used to develop peak flow rates for the 100-year 24-hour design storm in accordance with Section 22.2 of the DPM. Hydraulic calculations were performed using Section 22.3 of the DPM.

Existing Conditions
The site does not receive any offsite runoff from developed areas and is currently undeveloped with mild vegetation. The site appears to have been used for parking previously containing gravel surfacing creating mostly type "C" land treatment type. In general, the site surface drains from southeast to northwest at minimal slopes. The existing conditions of the site generate a peak runoff rate of 7.49 CFS.

Proposed Conditions
The proposed development will consist of two buildings and a paved parking lot with a basecourse access drive around the southern building. The site is divided into four proposed subbasins. The subbasin characteristics can be found in the tables below.

Subbasin A consists of approximately 60% of the southern building's roof drainage and most of the middle portion of the site. Subbasin B consists of the eastern portion of the site and approximately 40% of the southern building's roof drainage. Subbasin C consists of the northern building's roof drainage as well as the landscaping area at the northwest corner of the site. Subbasin D contains the ramp area for the loading dock.

Subbasin B drainage is conveyed through surface sheet flow and swales to Pond 1. The remaining stormwater is conveyed through a swale to Pond 2. Subbasin A surface drains directly to Pond 2. An inlet at the north end of the pond captures the stormwater and conveys it to Pond 3 via an 18" storm drain. Subbasin C surface drains to Pond 3. The inlet in pond 3 conveys the stormwater to the City's inlet located in the right-of-way via a proposed 18" RCP. Subbasin D drains directly to an inlet installed at the low point of the dock ramp, where an 18" pipe conveys stormwater to the Pond 3 inlet. In addition, a french drain tied to the inlet allows infiltration for water quality volume. The on-site detention system made up of the three ponds reduces the proposed flow rates to a peak discharge rate of 6.69 CFS to the City's Inlet.

The required water quality volume of 2616 cubic feet was calculated using a first flush value of 0.34". This volume will be exceeded by the on-site infiltration and ponding systems, which provides 3300 cubic feet of retention.

HYDROLOGY CALCULATIONS

* 100 YEAR RAINFALL TABLE
RAINFALL TYPE=13 RAIN QUARTER=0 IN
RAIN ONE=2.01 IN RAIN SIX=2.35 IN
RAIN DAY=2.75 IN DT=0.03333 HR

*S EXISTING CONDITIONS
*S COMPUTE HYD BASIN EX
COMPUTE NM HYD ID=1 HYDNO=101 DA=0.0045Q MI
PER A=0 PER B=30 PER C=70 PER D=0
TP=-0.13 RAIN=-1
PRINT HYD ID=1 CODE=10

*S PROPOSED CONDITIONS
*S COMPUTE HYD BASIN A
COMPUTE NM HYD ID=2 HYDNO=102 DA=0.00265Q MI
PER A=0 PER B=4.1 PER C=10.8 PER D=85.1
TP=-0.13 RAIN=-1
PRINT HYD ID=2 CODE=10

*S COMPUTE HYD BASIN B
COMPUTE NM HYD ID=3 HYDNO=103 DA=0.00095Q MI
PER A=0 PER B=4.1 PER C=10.8 PER D=85.1
TP=-0.13 RAIN=-1
PRINT HYD ID=3 CODE=10

*S COMPUTE HYD BASIN C
COMPUTE NM HYD ID=4 HYDNO=104 DA=0.00045Q MI
PER A=0 PER B=4.1 PER C=10.8 PER D=85.1
TP=-0.13 RAIN=-1
PRINT HYD ID=4 CODE=10

*S COMPUTE HYD BASIN D
COMPUTE NM HYD ID=5 HYDNO=105 DA=0.00015Q MI
PER A=0 PER B=0 PER C=0 PER D=100
TP=-0.13 RAIN=-1
PRINT HYD ID=5 CODE=10

LEGEND

- PROPERTY LINE
- EX SD MH
- EX INLET
- EX FLOW ARROW
- PROP FLOW ARROW
- ▲ PROP HIGH POINT
- ▬ PROP SUBBASIN BDRY
- ▬ PROP SD
- PROP INLET

WATER QUALITY PONDING

Area (ac)	% Imp.	Imp. Area (ac)	WQ Depth (in)	Required WQ Vol (cu ft)	Provided WQ Vol (cu ft)
2.491	85.1%	2.120	0.34	2616	3300

AHYMO PROGRAM SUMMARY TABLE (AHYMO-S4) - Ver. S4.02a, Rel: 02a RUN DATE (MON/DAY/YR) =09/03/2019
INPUT FILE = lbrary\ENG Tools\ahymo-s4-r2\DISK1\program files\AHYMO-S4\03707 Input.HMI USER NO. = AHYMO-S4TempUser05901704

COMMAND	HYDROGRAPH IDENTIFICATION	FROM ID	TO ID	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE	PAGE	NOTATION
	RAINFALL TYPE=13									1	RAIN24= 2.750
	*S EXISTING CONDITIONS										
	*S COMPUTE HYD BASIN EX										
	COMPUTE NM HYD	101.00	-	1	0.00400	7.49	0.215	1.00848	1.500	2.926	PER IMP= 0.00
	*S PROPOSED CONDITIONS										
	*S COMPUTE HYD BASIN A										
	COMPUTE NM HYD	102.00	-	2	0.00260	7.47	0.318	2.29175	1.500	4.492	PER IMP= 85.10
	*S COMPUTE HYD BASIN B										
	COMPUTE NM HYD	103.00	-	3	0.00090	2.60	0.110	2.29175	1.500	4.511	PER IMP= 85.10
	*S COMPUTE HYD BASIN C										
	COMPUTE NM HYD	104.00	-	4	0.00040	1.17	0.049	2.29175	1.500	4.554	PER IMP= 85.10
	*S COMPUTE HYD BASIN D										
	COMPUTE NM HYD	105.00	-	5	0.00010	0.31	0.013	2.51483	1.500	4.878	PER IMP= 100.00
	*S ROUTE BASIN B THROUGH POND 1										
	ROUTE RESERVOIR	501.00	-	3	0.00090	1.51	0.110	2.29141	1.633	2.617	AC-FT= 0.036
	*S ADD ROUTED BASIN B AND BASIN A										
	ADD HYD	201.00	66.2	7	0.00350	8.04	0.427	2.28783	1.533	3.590	
	*S ROUTE ID 7 THROUGH POND 2										
	ROUTE RESERVOIR	502.00	7	8	0.00350	5.69	0.427	2.28783	1.633	2.539	AC-FT= 0.049
	*S ROUTE BASIN C THROUGH POND 3										
	ROUTE RESERVOIR	503.00	4	9	0.00040	1.14	0.049	2.29121	1.500	4.455	AC-FT= 0.001
	*S ADD ROUTED BASIN C AND BASIN D										
	ADD HYD	202.00	96.5	10	0.00050	1.45	0.062	2.33551	1.500	4.539	
	*S ADD ID 10 AND ID 8										
	ADD HYD	203.00	106.8	11	0.00400	6.69	0.489	2.29377	1.567	2.614	
	FINISH										

DESIGNED BY: J.L. JEFFERSON
DRAWN BY: J.L. JEFFERSON
CHECKED BY: J.L. JEFFERSON
DATE: 9.11.2019

RESPEC
6971 JEFFERSON STREET SUITE 101
ALBUQUERQUE, NM 87113
WWW.RESPEC.COM 505.253.9718

STAMP
SHELDON E. GREER
NEW MEXICO
17154
LICENSED PROFESSIONAL ENGINEER

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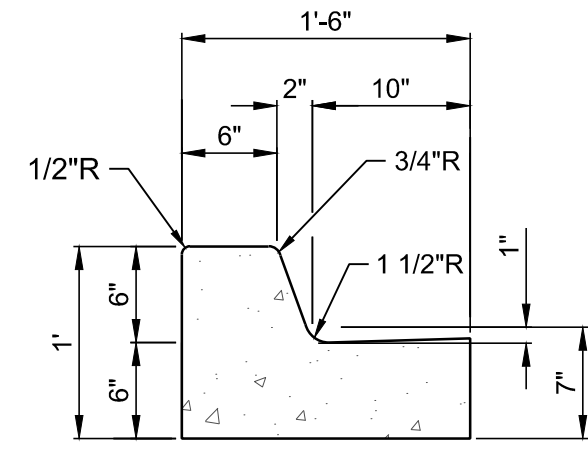
nm811
Know what's below.
Call before you dig.

PROJECT NAME: UHAUL 4TH ST & I-40

SHEET TITLE: CONCEPTUAL G&D PLAN

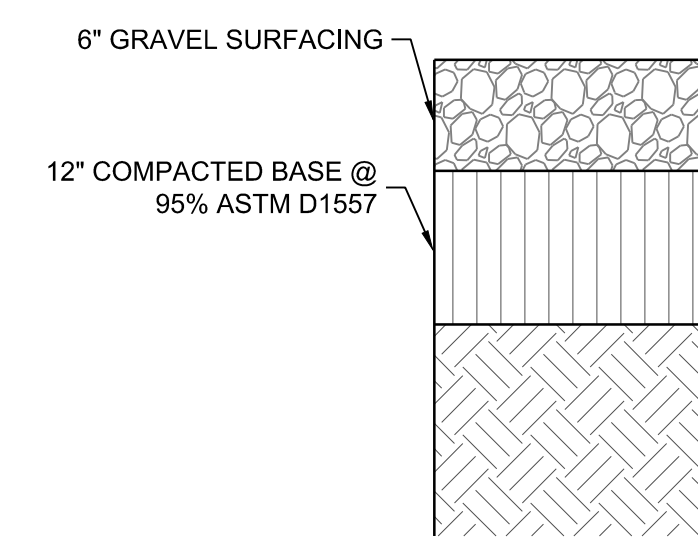
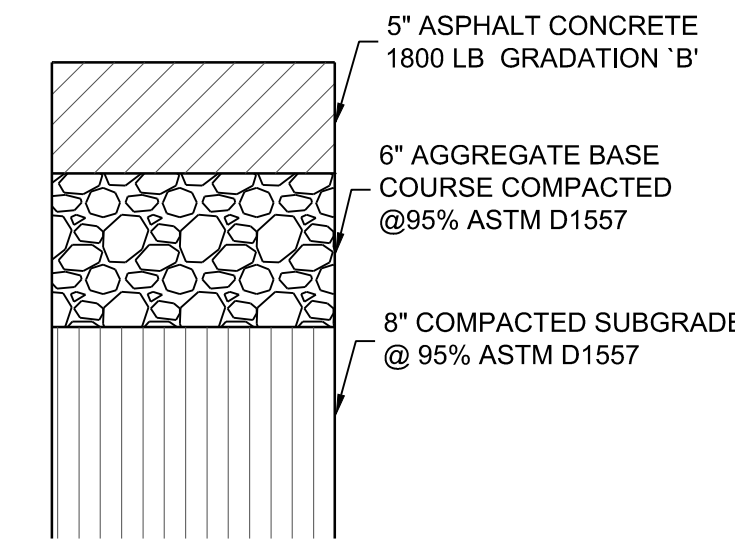
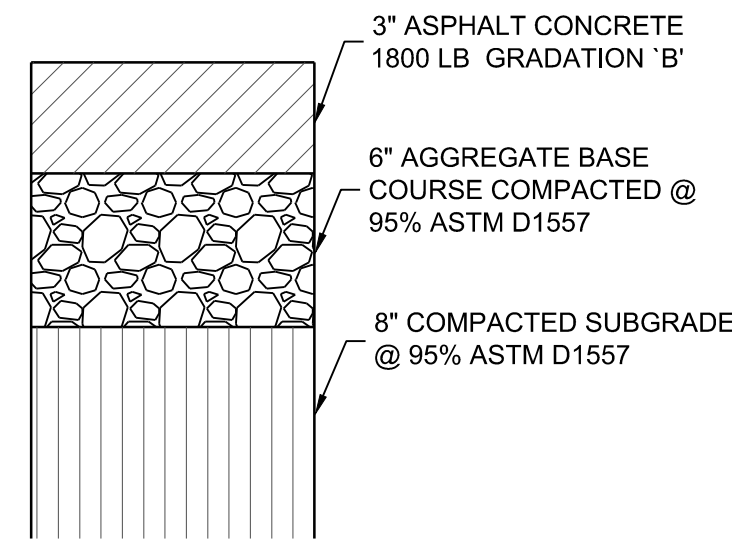
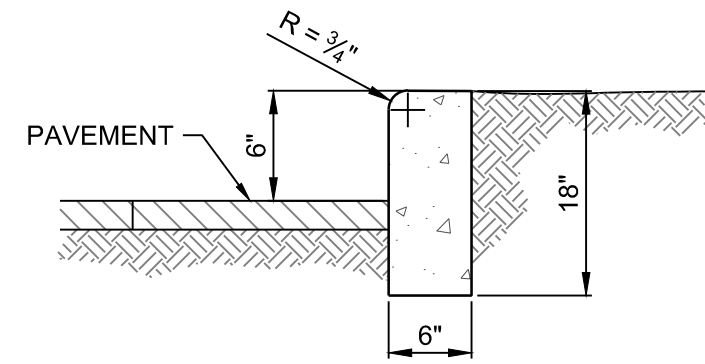
SUBMITTED FOR: REVIEW

SHEET NUMBER: C 102



GENERAL NOTES:

1. CURBS & GUTTERS TO BE CONSTRUCTED OF P.C.C.
2. FOR STANDARD C. & G. PROVIDE CONTRACTION JTS. 6' O.C. MAX. ALSO PROVIDE 1/2" EXP. JTS. 48' O.C. MAX. AT CURB RETURNS & AT EACH SIDE OF DRIVEWAY & ADJACENT TO WALLS & BUILDINGS
3. EDGES NOT SPECIFIED DIMENSIONED SHALL BE EDGED WITH A 3/8" EDGING TOOL.
4. STD. C. & G. SHALL BE USED FOR NEW CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE ENGINEER.
5. REMOVE & REPLACE 12" WIDE STRIP OF PAVEMENT BEYOND LIP OF GUTTER WHEN CONSTRUCTING
6. STD. C. & G. ADJACENT TO EXIST. A.C. PAVEMENT. STD. C. & G. REQUIRE FULL FORM ON ALL FACES EXCEPT WITH PRIOR APPROVAL OF ENGINEER.



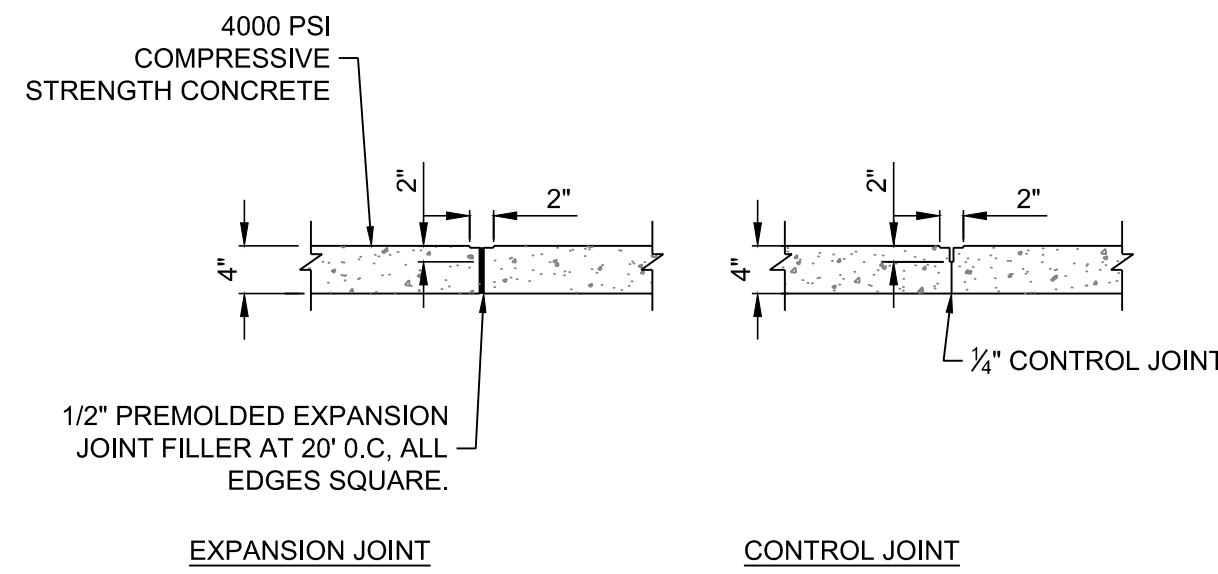
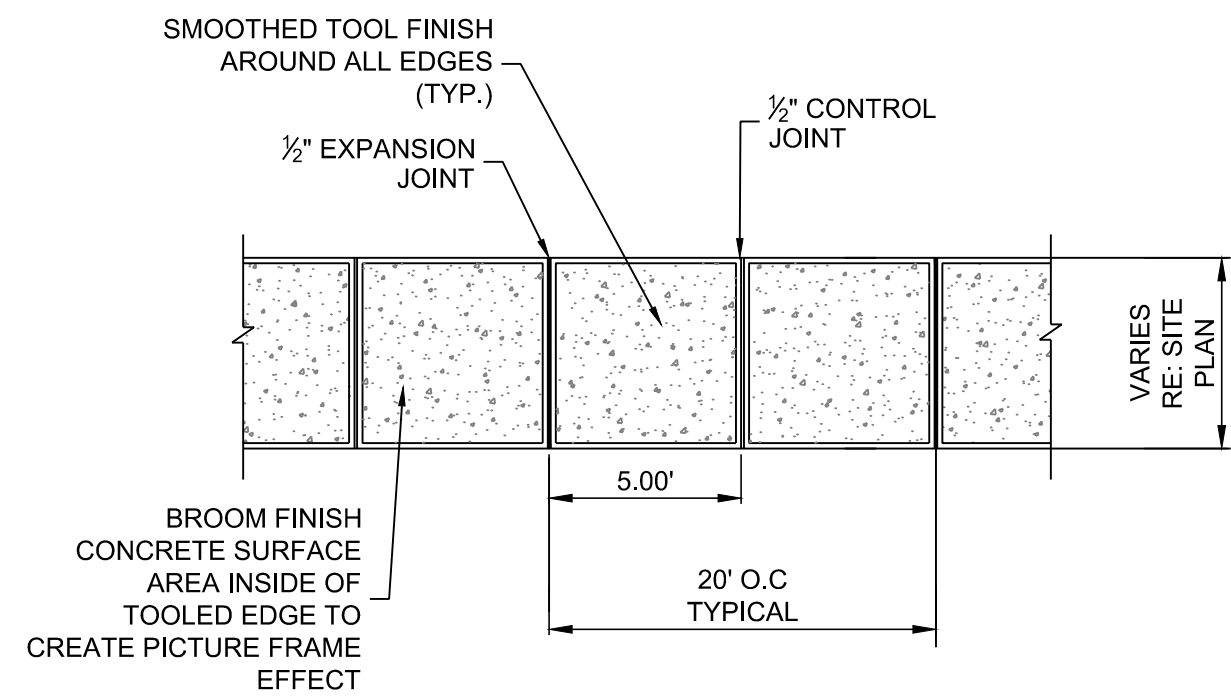
1 STANDARD CURB AND GUTTER NTS

2 HEADER CURB AND GUTTER NTS

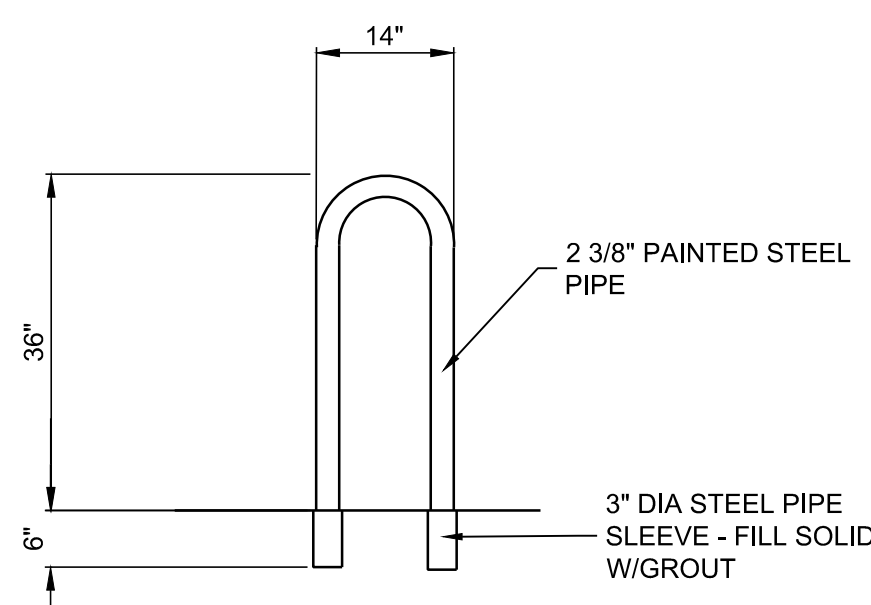
3 LIGHT DUTY PAVEMENT SECTION NTS

4 HEAVY DUTY PAVEMENT SECTION NTS

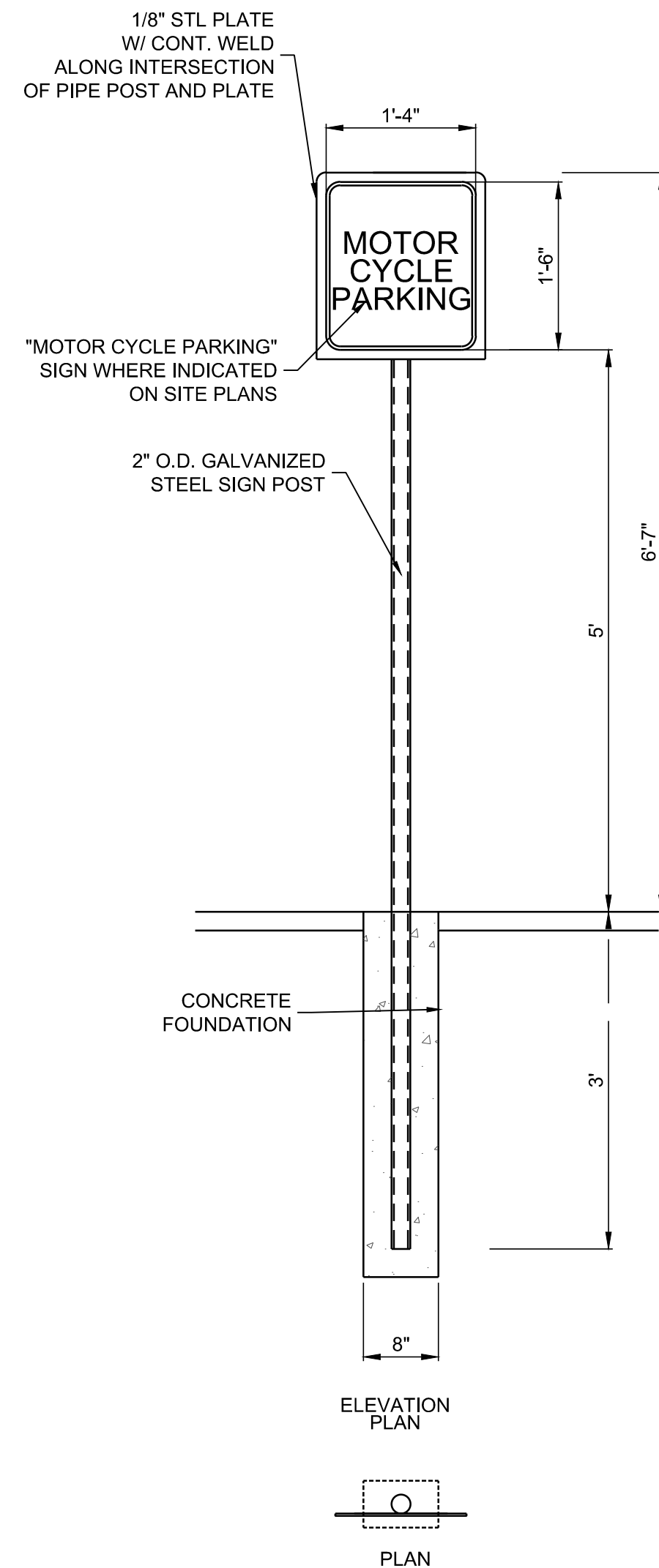
5 GRAVEL DRIVEWAY PAVEMENT SECTION NTS



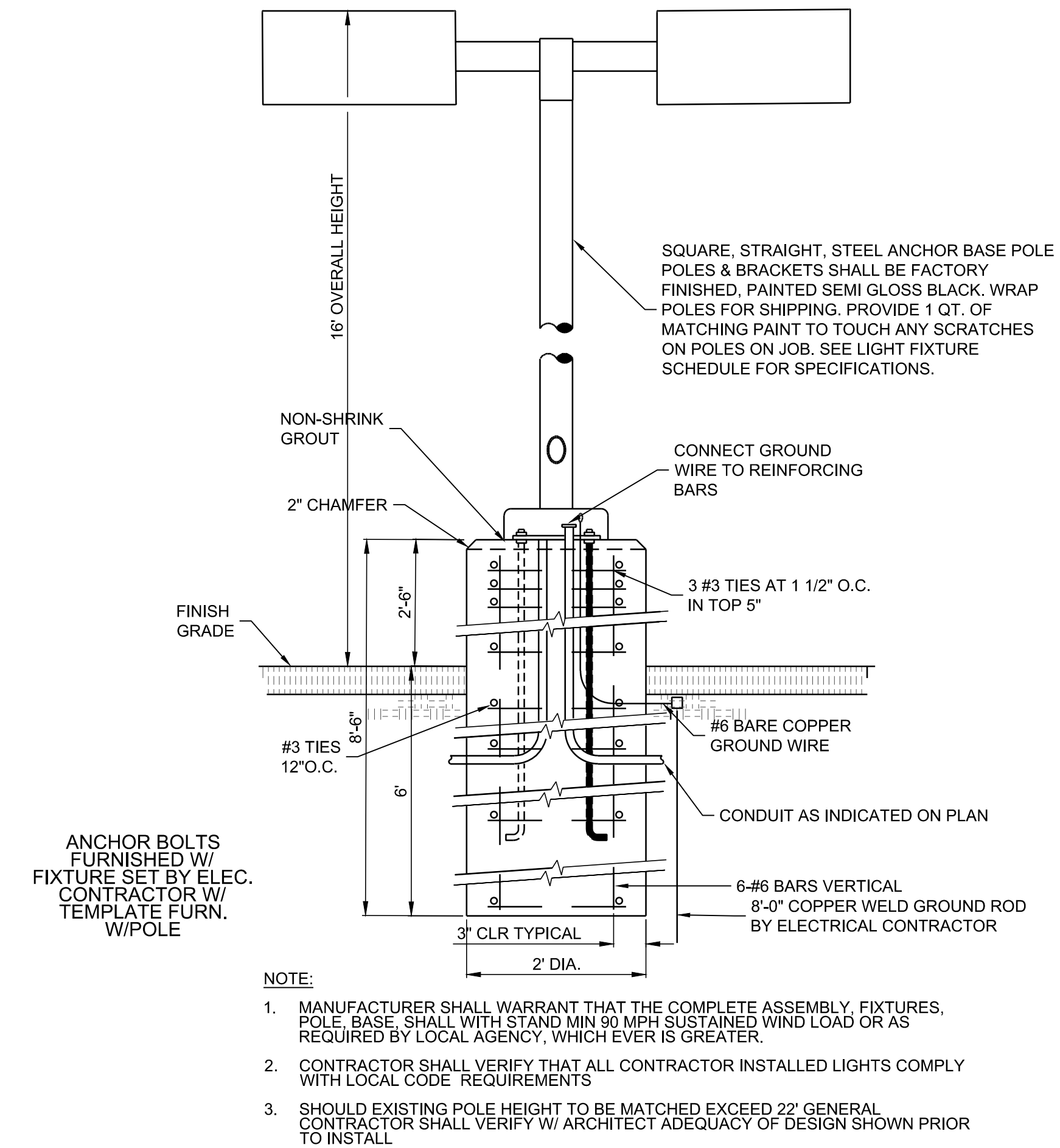
6 TYPICAL SIDEWALK NTS



7 U-STYLE BIKE RACK NTS



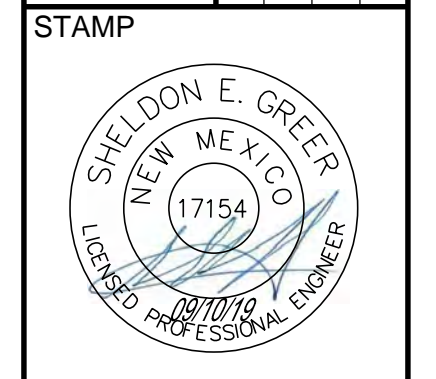
8 MOTORCYCLE PARKING SIGN NTS



9 LIGHT POLE DETAIL NTS

DESIGNED BY	DRAWN BY	CHECKED BY	DATE
JL	JMT	SEG	9.10.2019

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5971 JEFFERSON STREET SUITE 101
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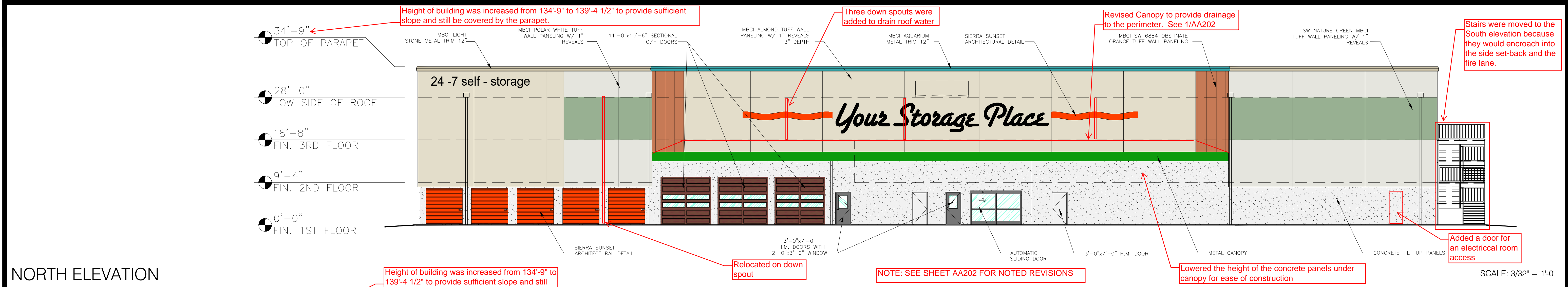


PROJECT NAME:
UHAUL 4TH ST & I-40

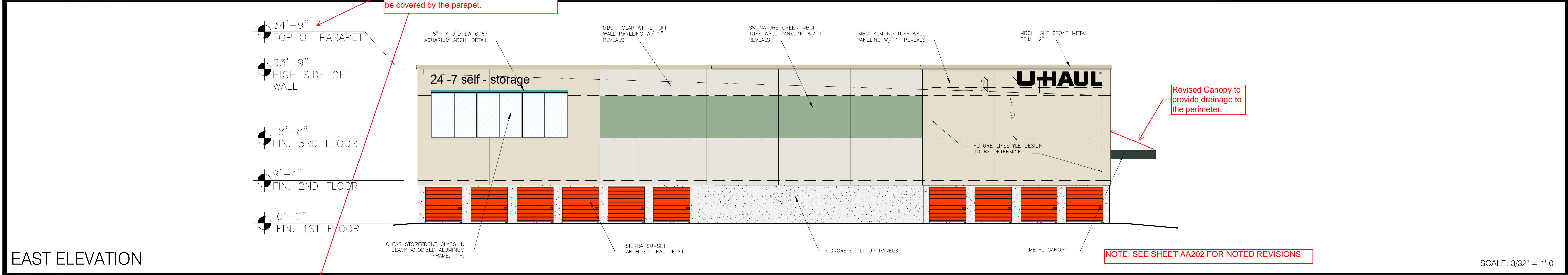
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TYPICAL SITE DETAILS

SUBMITTED FOR:
REVIEW

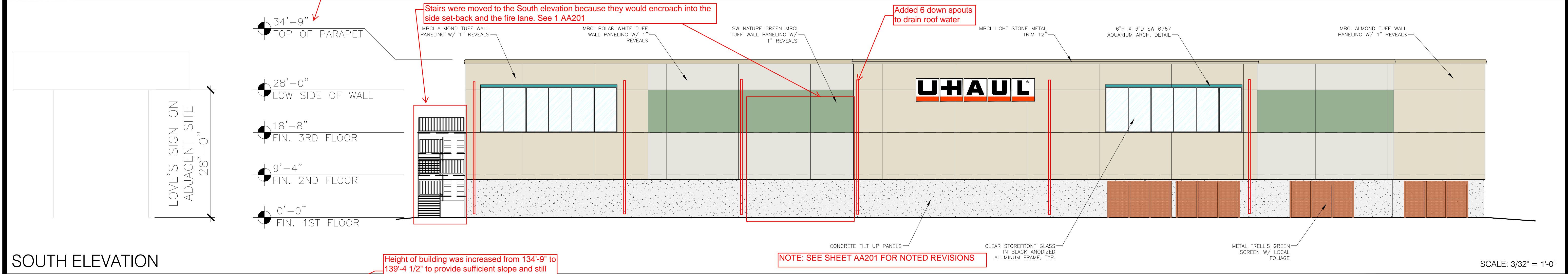
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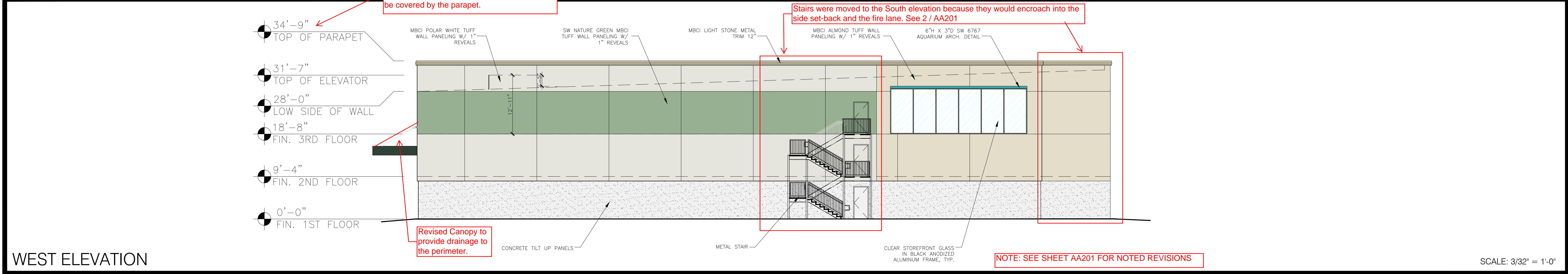
NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

SHEET NOTES:

NO.	DATE	INITIALS	NOTES
1	08/15/19	MM	REVISED ELEVATIONS
2	09/23/19	MM	REVISED ELEVATIONS
3			
4			
5			
6			
7			
8			

REVISIONS:

PROFESSIONAL SEAL:

PRELIMINARY DOCUMENTS;
NOT FOR CONSTRUCTION;
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ARCHITECT LOGO:

AMERCO
REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT
2727 NORTH CENTRAL AVENUE
PHOENIX, ARIZONA 85004
P: (602) 263-6502

SITE ADDRESS:
U-HAUL OF WESTSIDE
2217 4TH ST NW
ALBUQUERQUE, NM 87102

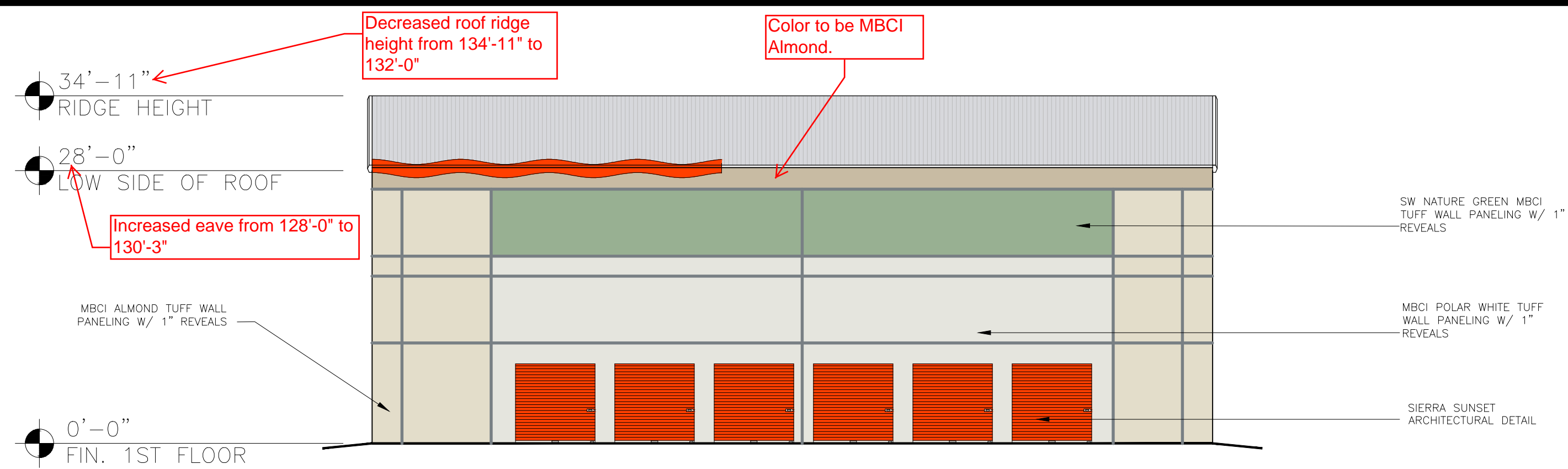
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PROPOSED
STORAGE BUILDING
ELEVATIONS

724077

DRAWN: MM
CHECKED: NH
DATE: 06/04/2019

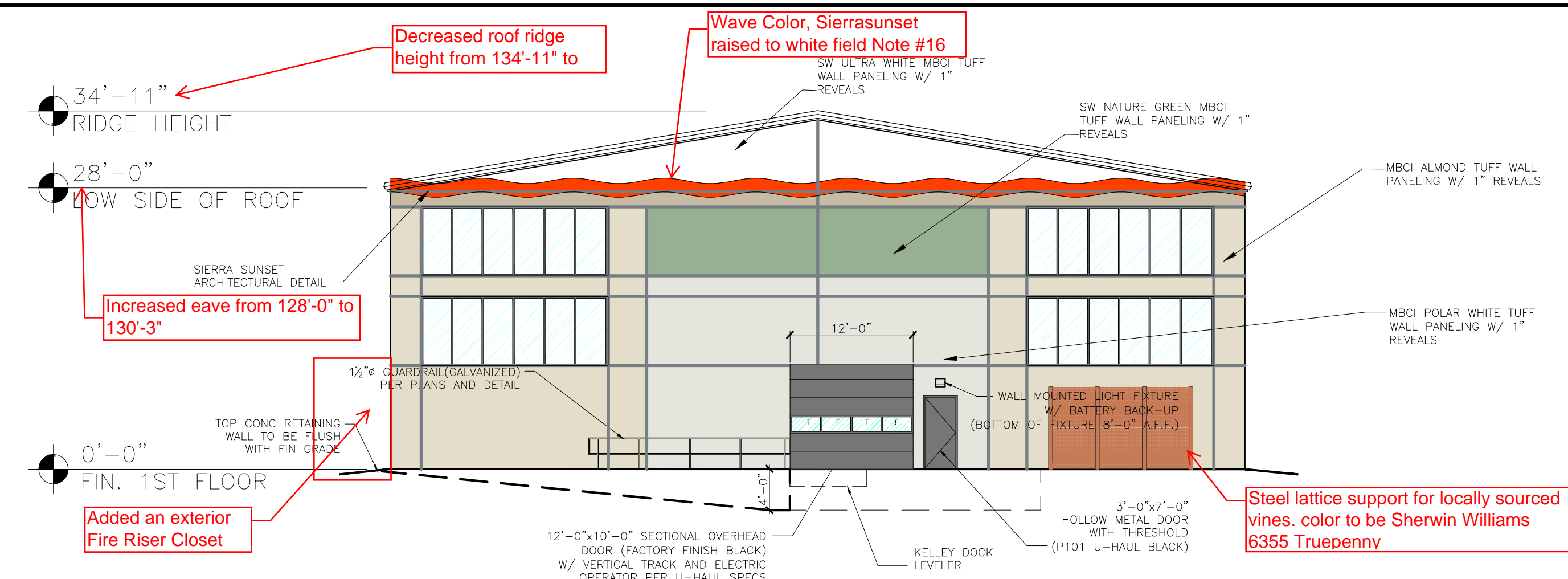
EV-1

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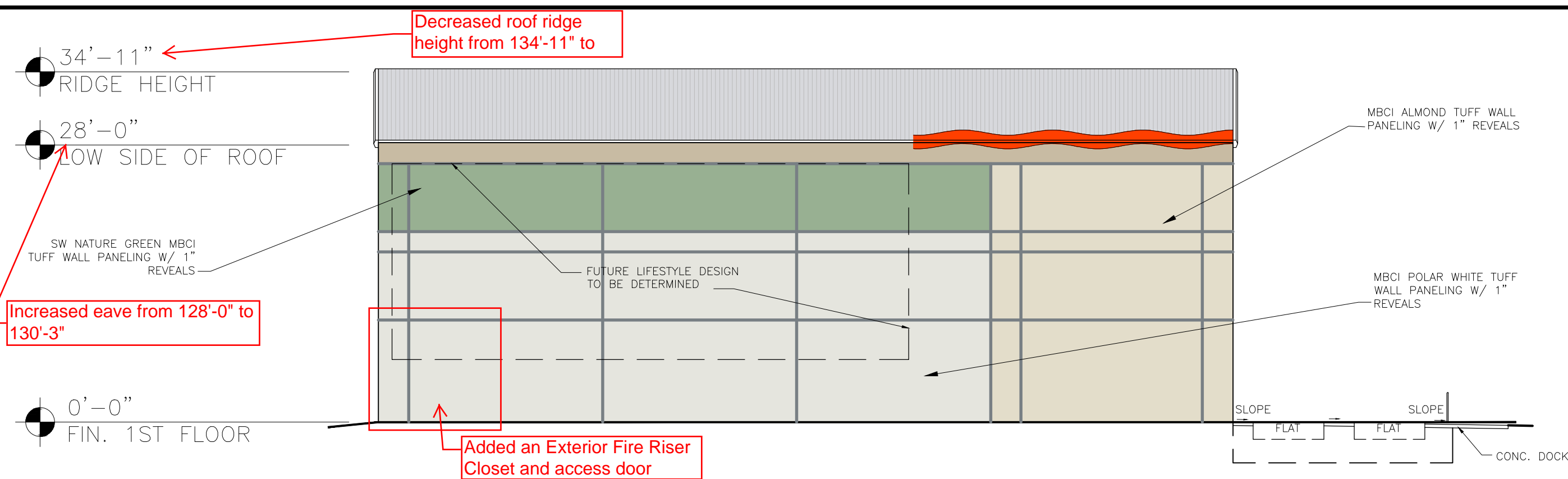
WEST ELEVATION

SCALE: 3/32" = 1'-0"



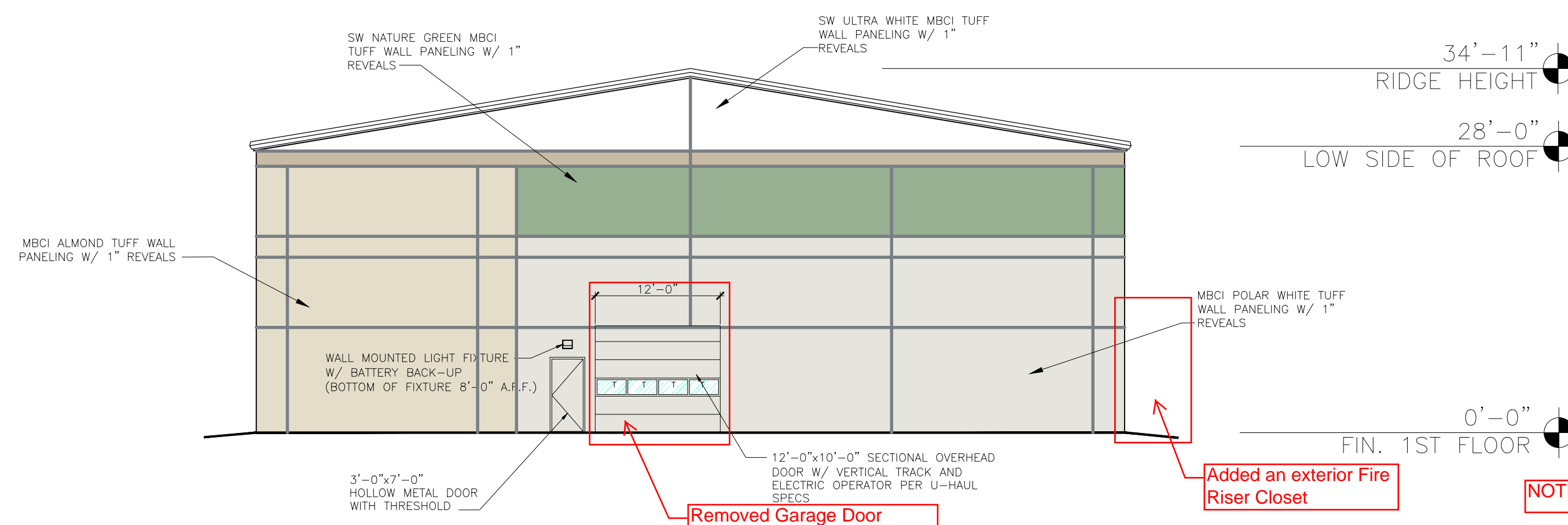
NORTH ELEVATION

SCALE: 3/32" = 1'-0"



EAST ELEVATION

SCALE: 3/32" = 1'-0"



SOUTH ELEVATION

SCALE: 3/32" = 1'-0"

SHEET NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1	08/15/19	MM	REVISED ELEVATIONS
2	09/23/19	MM	REVISED ELEVATIONS
3			
4			
5			
6			
7			
8			

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SITE ADDRESS:

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2217 4TH ST NW
ALBUQUERQUE, NM 87102

SHEET CONTENTS:

PROPOSED
U-BOX ELEVATIONS

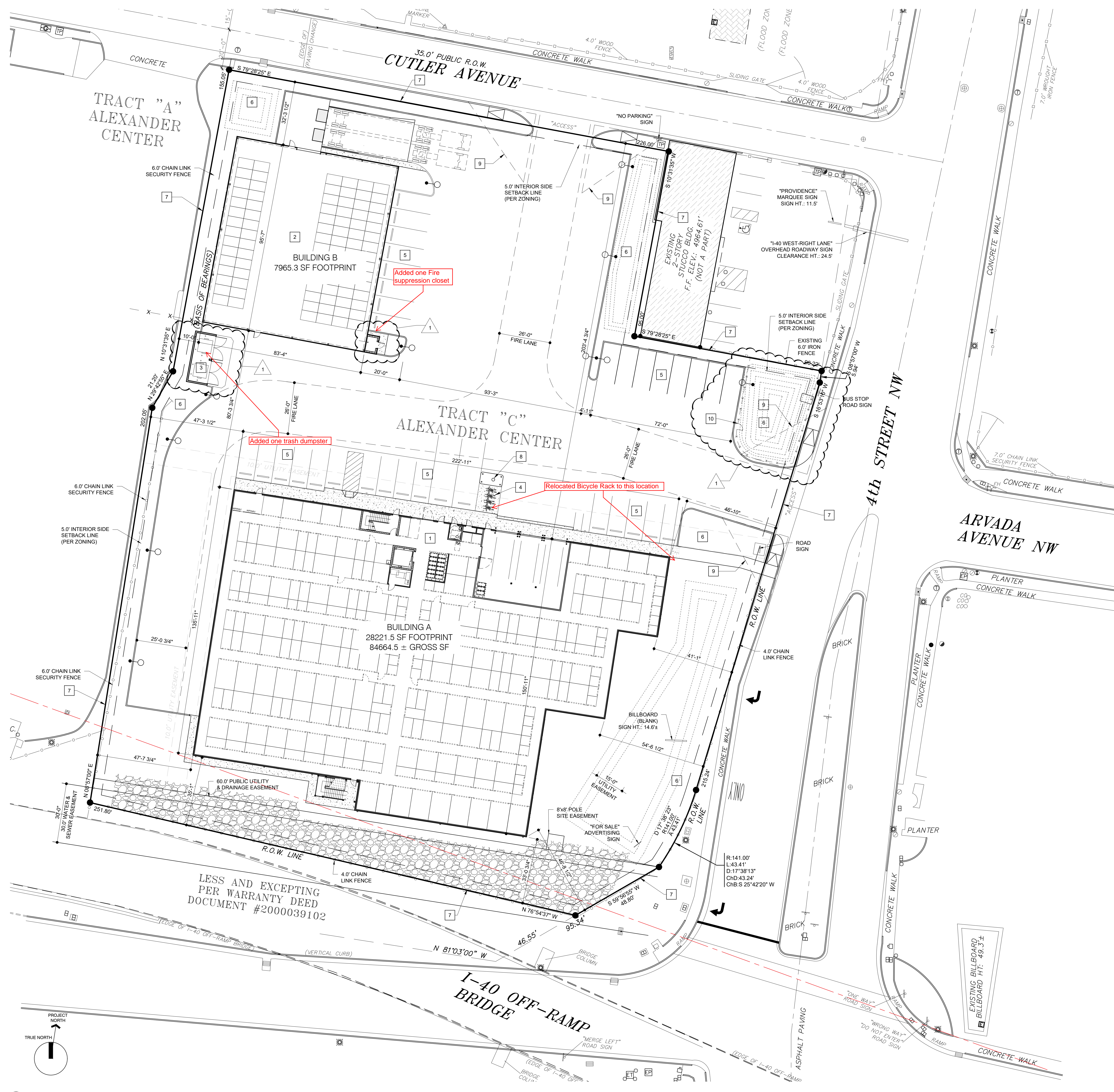
724077

DRAWN: MM
CHECKED: NH
DATE: 06/04/2019

EV-2

724077A1E.DWG

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GENERAL NOTES

1. REFER TO APPROVED DEVELOPMENT PLAN FOR SETBACK REQUIREMENTS.
2. REFER TO CIVIL DRAWINGS FOR DEMOLITION OF EXISTING IMPROVEMENTS, NEW SITE IMPROVEMENTS, OFF-SITE IMPROVEMENTS, BUILDING LAYOUT, SETBACKS, PAVING, AND SITE UTILITIES.
3. REFER TO LANDSCAPE DRAWINGS FOR IRRIGATION AND LANDSCAPING.
4. REFER TO PLUMBING DRAWINGS FOR UTILITY CONNECTIONS.
5. REFER TO ELECTRICAL DRAWINGS FOR SITE LIGHTING, SPECIALTY CONDUITS ETC.

SITE KEYNOTES

- 1 BUILDING A
- 2 BUILDING B
- 3 DUMPSTER, SEE DETAIL 2/A_002
- 4 BIKE RACK, SEE DETAIL 1/A_002
- 5 PARKING SPACE
- 6 LANDSCAPE
- 7 PROPERTY LINE
- 8 FIRE HYDRANT
- 9 35' x 35' SIGHT TRIANGLE
- 10 4' HIGH CHAINLINK, 9 GA. PAINTED DARK GREEN, WITH 3' WIDE PEDESTRIAN GATE. PROVIDE 12"Ø x 24" DEEP CONC. PIERS @ ALL POST.

PARKING REQUIREMENTS:

REQUIRED: 31 SPACES ARE REQUIRED 2 HANDICAPPED, 1 VAN ACCESSIBLE

PARKING REQUIREMENT: PER TABLE 5-5-1:
 OFF STREET PARKING REQUIREMENTS, WHOLESALING & STORAGE, WAREHOUSING, PROVIDE 1 SPACE PER 3,000 SF OF THE TOTAL GROSS AREA OF BUILDING.

BICYCLE PARKING REQUIREMENT: PER TABLE 5-5-5:
 NON-RESIDENTIAL USES: 3 SPACES OR 10% OF REQUIRED OFF-STREET PARKING SPACES WHICH EVER IS GREATER. THEREFORE ON THIS PROJECT WE NEED A MINIMUM OF 3.

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2217 4TH STREET NW, Albuquerque, NM 87102

Current Status: CONSTRUCTION DOCUMENT

REVISIONS		
NO.	DESCRIPTION	DATE
1	REVISED	09.18.20

Drawn by: RL

Checked by: TC

Date: 05-11-2020

Sheet Title: SITE PLAN

Job Number: 1930

Sheet No. A_001

PLOT DATE: 10/11/2020
 FILENAME: X:\1930 U-Haul\ABQ\CAD\04_ARCH_SHEET\1930_A_001.dwg

EXTERIOR ELEVATION NOTES:

EXTERIOR KEYNOTES:

- 1 KINGSPAN WALL PANEL SYSTEM, COLOR: ALMOND TUFF
- 2 KINGSPAN WALL PANEL SYSTEM, COLOR: POLAR WHITE TUFF
- 3 KINGSPAN WALL PANEL SYSTEM, COLOR: SW NATURE GREEN
- 4 KINGSPAN METAL TRIM, COLOR LIGHT STONE
- 5 CONCRETE TILT UP PANELS, BROOM FINISH
- 6 METAL TRELLIS GREEN SCREEN W/ LOCAL FOLIAGE
- 7 CLEAR STOREFRONT GLASS IN BLACK ANODIZED ALUMINUM FRAME, TYP.
- 8 STEEL STAIRCASE, COLOR: GREY
- 9 6" X 3" SW 6767 AQUARIUM ARCH. DETAIL
- 10 METAL CANOPY, COLOR:
- 11 KINGSPAN WALL PANEL SYSTEM, SW 6884 OBSTINATE ORANGE TUFF
- 12 SIERRA SUNSET ARCHITECTURAL DETAIL
- 13 DECORATIVE DOOR, SEE SCHEDULE
- 14 ROLL UP DOOR, SEE SCHEDULE
- 15 HOLLOW METAL DOOR, SEE SCHEDULE
- 16 KINGSPAN WALL PANEL SYSTEM, COLOR: SW ULTRA WHITE
- 17 KINGSPAN WALL PANEL SYSTEM, COLOR: ????
- 18 FUTURE LIFESTYLE DESIGN TO BE DETERMINED
- 19 KNOX BOX. VERIFY WITH ASJ FOR EXACT LOCATION OF MOUNTING.

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U-HAUL OF WESTSIDE

2217 4TH STREET NW, Albuquerque, NM 87102

Current Status:
CONSTRUCTION DOCUMENT

REVISIONS	

Drawn by: **RL**
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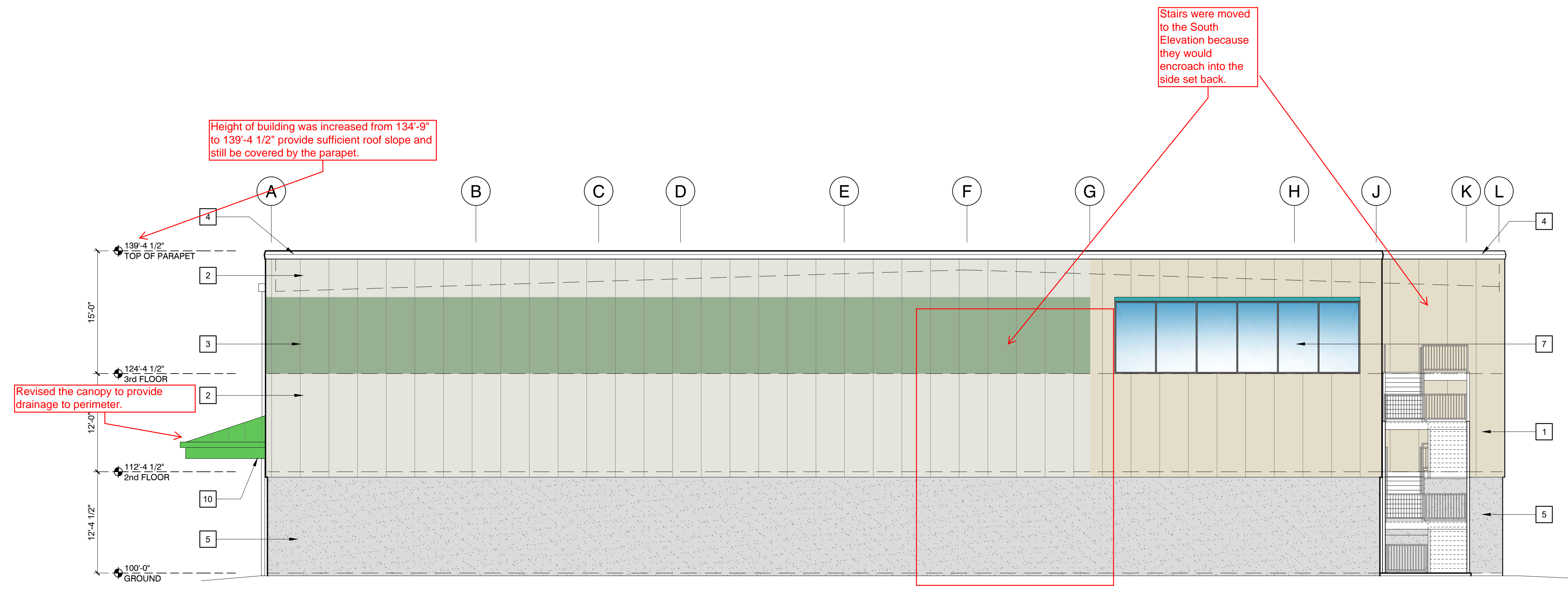
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Sheet Title:
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 ELEVATIONS**

Job Number: **1930**

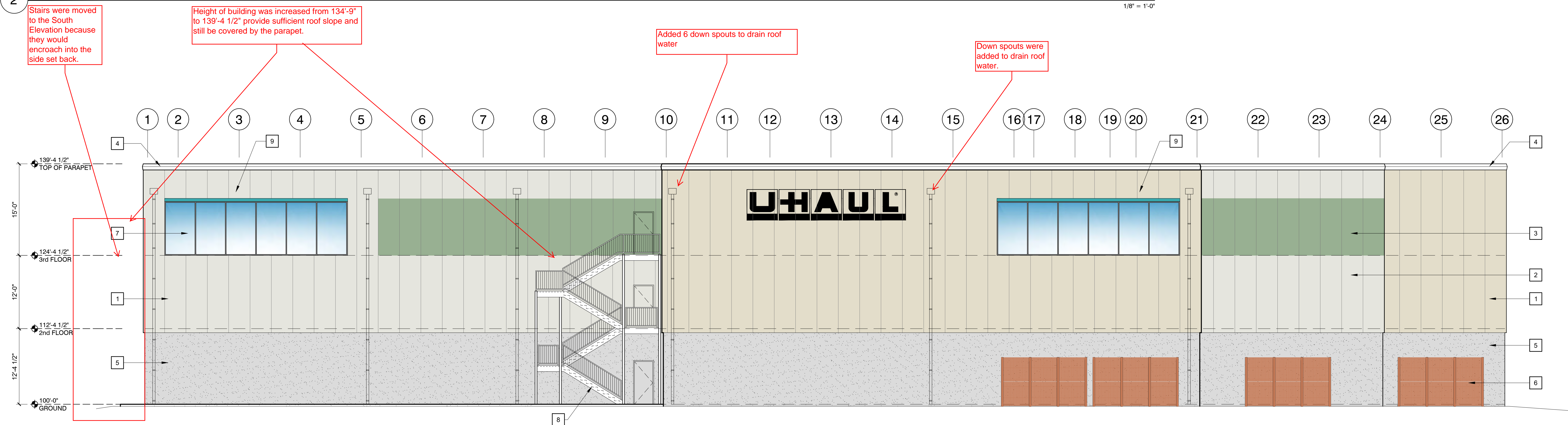
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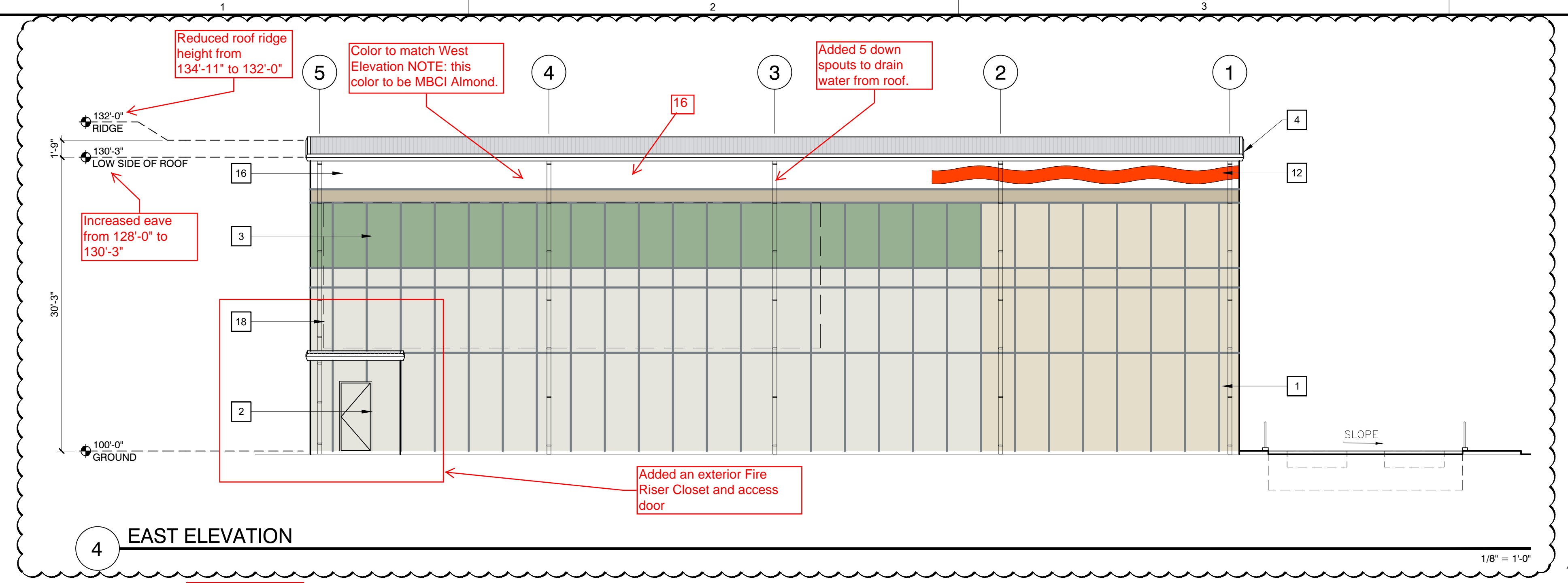
2 (BLDG A) WEST ELEVATION

1/8" = 1'-0"

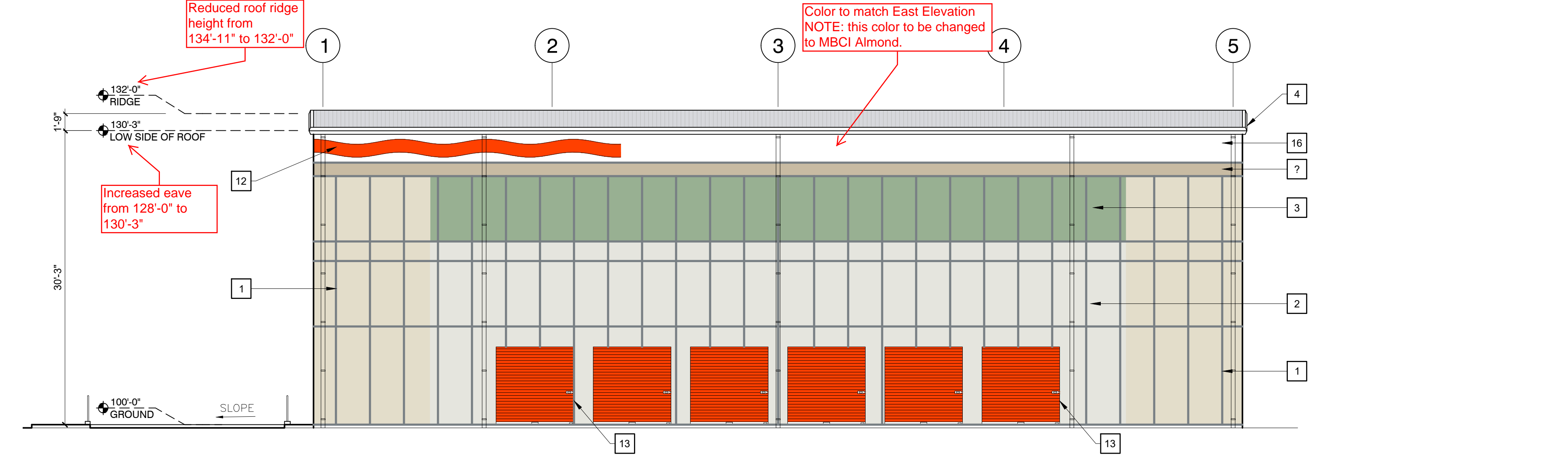


1 (BLDG A) SOUTH ELEVATION

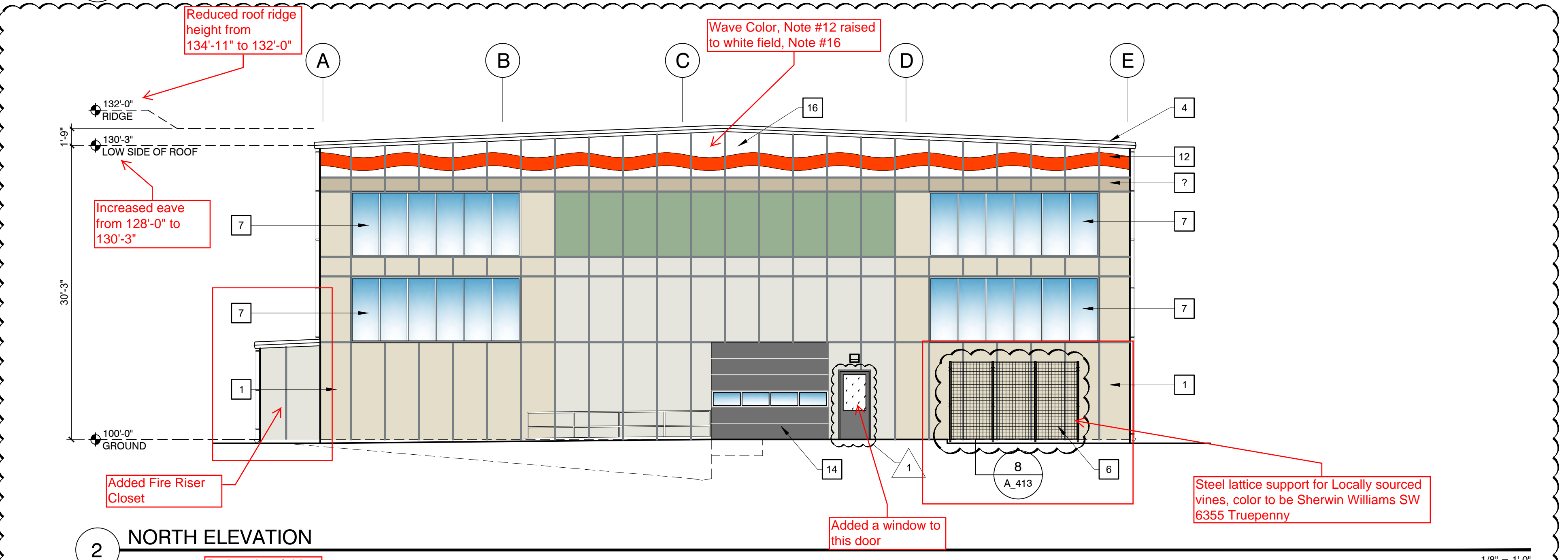
1/8" = 1'-0"



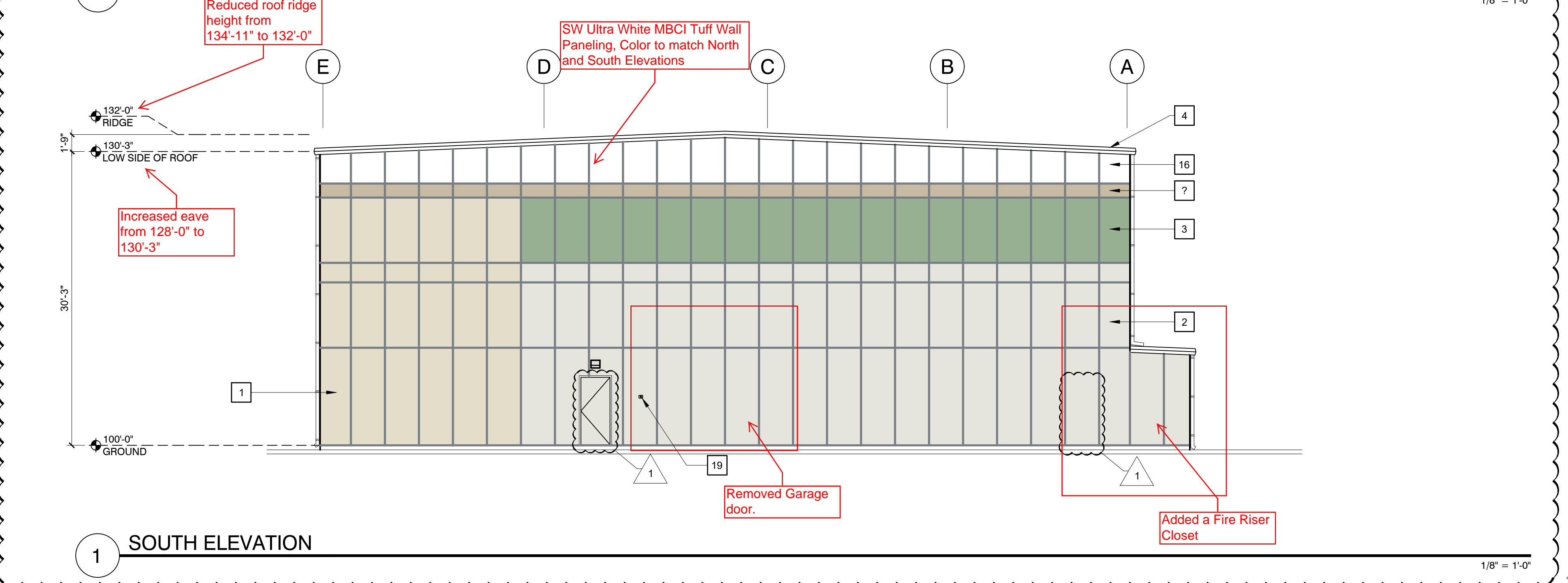
4 EAST ELEVATION



3 WEST ELEVATION



2 NORTH ELEVATION



1 SOUTH ELEVATION

EXTERIOR ELEVATION NOTES:

EXTERIOR KEYNOTES:

- 1 KINGSPAN WALL PANEL SYSTEM 3" THICK, COLOR: ALMOND TUFF
- 2 KINGSPAN WALL PANEL SYSTEM 3" THICK, COLOR: POLAR WHITE TUFF
- 3 KINGSPAN WALL PANEL SYSTEM 3" THICK, COLOR: SW NATURE GREEN
- 4 KINGSPAN METAL TRIM, COLOR LIGHT STONE
- 5 CONCRETE TILT UP PANELS, BROOM FINISH
- 6 METAL TRELLIS GREEN SCREEN W/ LOCAL FOLIAGE
- 7 CLEAR STOREFRONT GLASS IN BLACK ANODIZED ALUMINUM FRAME, TYP.
- 8 STEEL STAIRCASE, COLOR: GREY
- 9 6" X 3" D SW 6767 AQUARIUM ARCH. DETAIL
- 10 METAL CANOPY, COLOR:
- 11 KINGSPAN WALL PANEL SYSTEM, SW 6884 OBSTINATE ORANGE TUFF
- 12 SIERRA SUNSET ARCHITECTURAL DETAIL
- 13 DECORATIVE DOOR, SEE SCHEDULE
- 14 ROLL UP DOOR, SEE SCHEDULE
- 15 HOLLOW METAL DOOR, SEE SCHEDULE
- 16 KINGSPAN WALL PANEL SYSTEM, COLOR: SW ULTRA WHITE
- 17 KINGSPAN WALL PANEL SYSTEM, COLOR: TBD
- 18 FUTURE LIFESTYLE DESIGN TO BE DETERMINED
- 19 KNOX BOX, VERIFY WITH ASJ FOR EXACT LOCATION OF MOUNTING.

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U-HAUL OF WESTSIDE

2217 4TH STREET NW, Albuquerque, NM 87102

Current Status:		
CONSTRUCTION DOCUMENT		
REVISIONS		
1	REVISED	09.18.20
-	-	-
-	-	-
-	-	-
Drawn by:		RL
Checked by:		TC
Date:		05-11-2020
Sheet Title:		
(BLDG. B) ELEVATIONS		
Job Number:		1930
Sheet No.		

AB201

EXTERIOR ELEVATION NOTES:

EXTERIOR KEYNOTES:

- 1 KINGSPAN WALL PANEL SYSTEM, COLOR: ALMOND TUFF
- 2 KINGSPAN WALL PANEL SYSTEM, COLOR: POLAR WHITE TUFF
- 3 KINGSPAN WALL PANEL SYSTEM, COLOR: SW NATURE GREEN
- 4 KINGSPAN METAL TRIM, COLOR: LIGHT STONE
- 5 CONCRETE TILT UP PANELS, BROOM FINISH
- 6 METAL TRELLIS GREEN SCREEN W/ LOCAL FOLIAGE
- 7 CLEAR STOREFRONT GLASS IN BLACK ANODIZED ALUMINUM FRAME, TYP.
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- 9 6" X 3" SW 6767 AQUARIUM ARCH. DETAIL
- 10 METAL CANOPY, COLOR:
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2217 4TH STREET NW, Albuquerque, NM 87102

Current Status:
CONSTRUCTION DOCUMENT

REVISIONS	

Drawn by: RL
 Checked by: TC

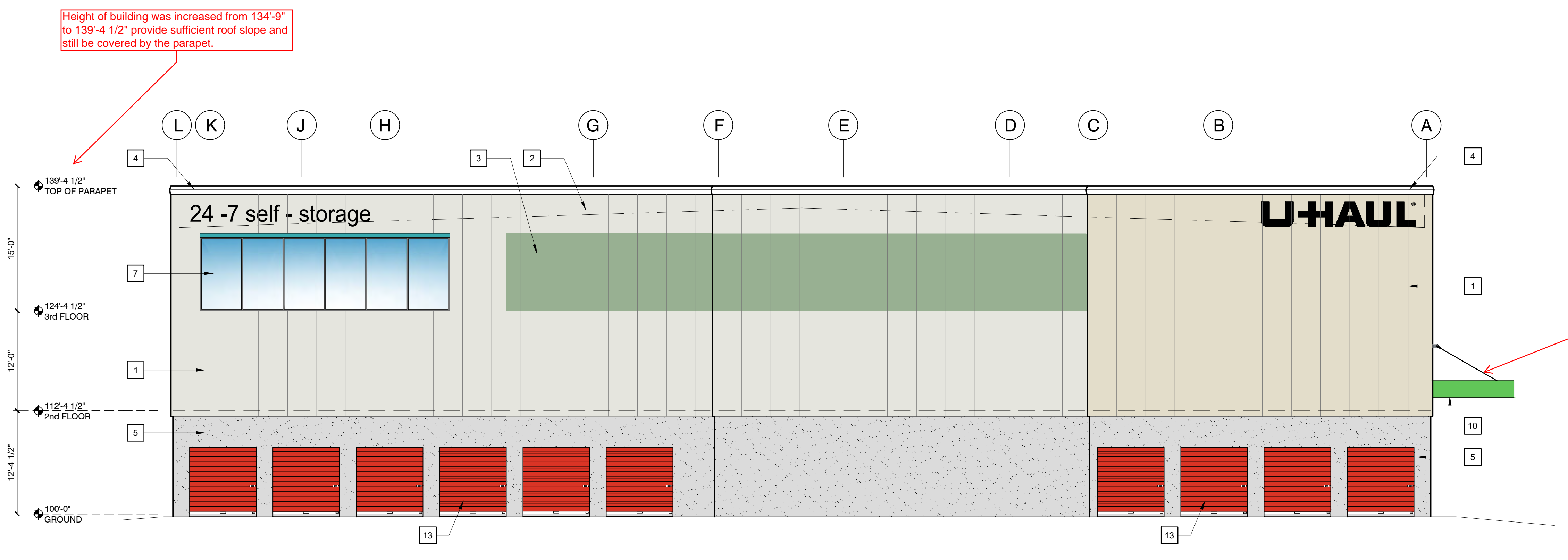
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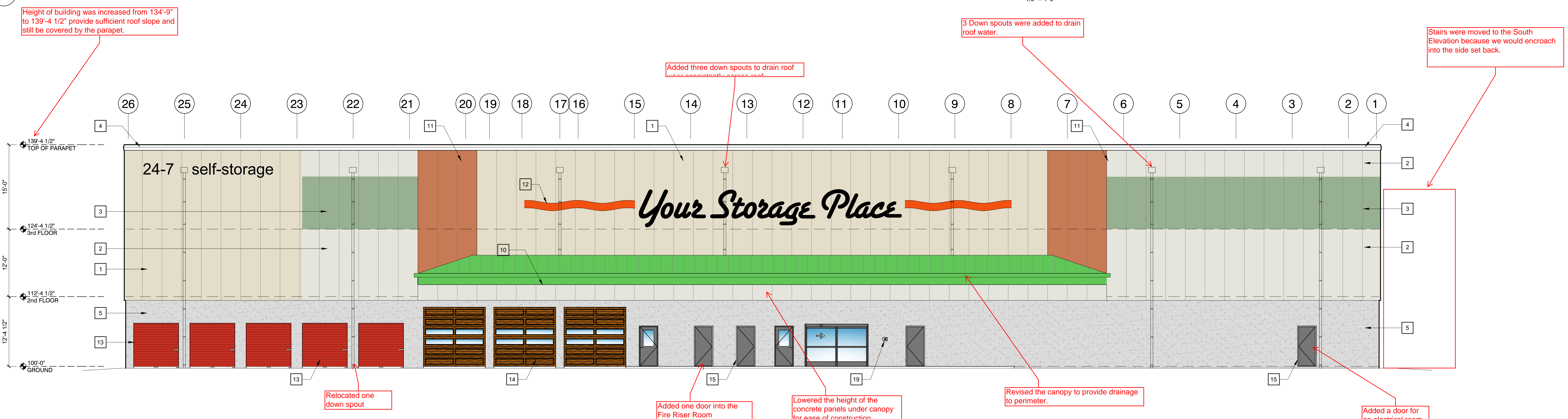
Job Number: 1930

Sheet No.

AA202



2 (BLDG A) EAST ELEVATION



1 (BLDG A) NORTH ELEVATION

PLOT DATE: 8-4-2020
 FILENAME: X:\1930 U-Haul\ABDC\A04_ARCH\ SHEET1930_AA202.dwg