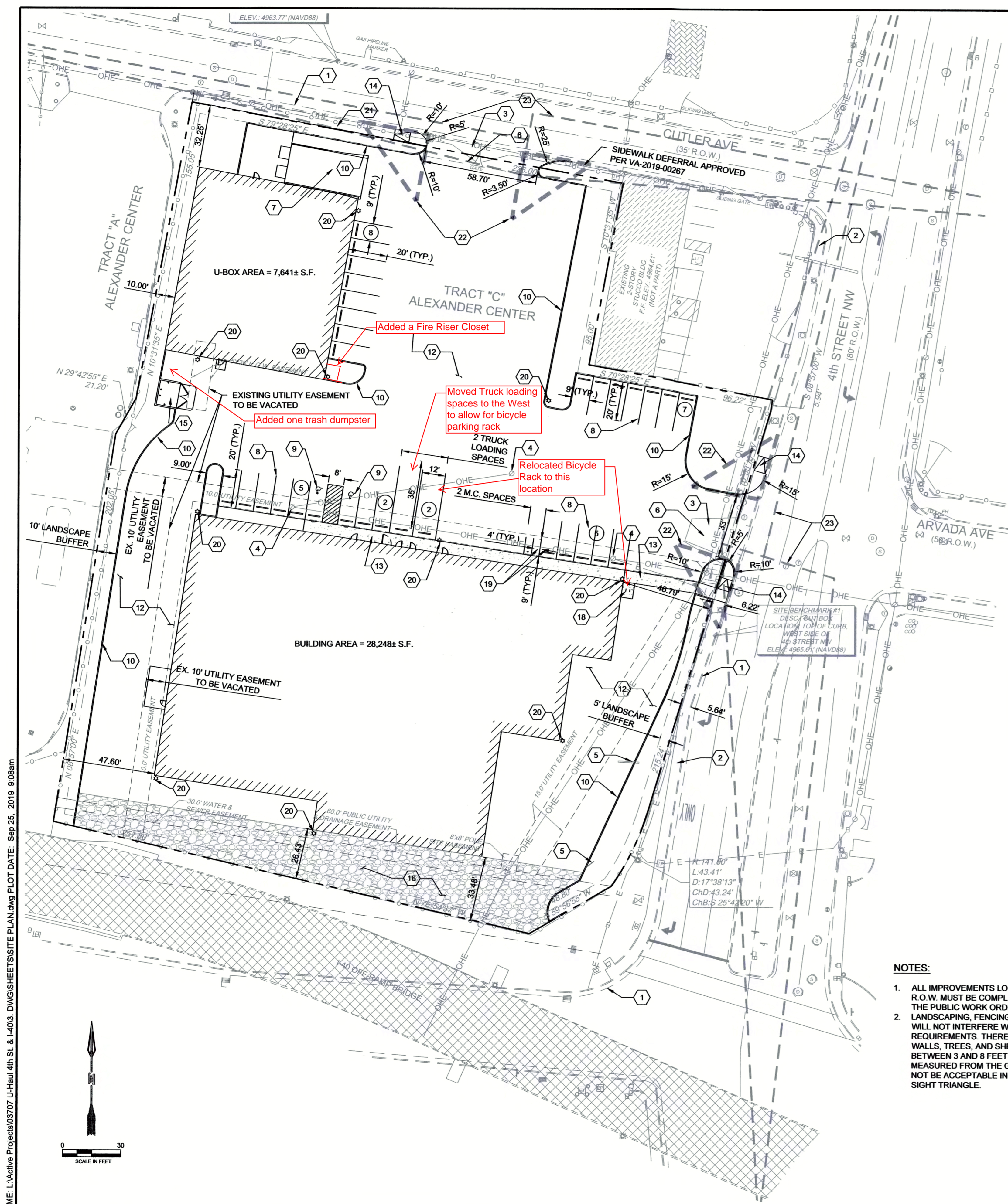


ADMINISTRATIVE AMENDMENT

FILE # _____ PROJECT # _____

APPROVED BY

DATE



LEGEND

ITEM	EXISTING	PROPOSED
FIRE HYDRANT		
WATER VALVE		
SEWER MANHOLE		
STORM SEWER MANHOLE		
DROP INLET		
WATER METER		
CURB AND GUTTER		
BENCHMARK		
BORE HOLE		
ELECTRICAL PEDISTAL		
ELECTRICAL TRANSFORMER		
GAS VALVE		
GATE		
GUARD POST		
LIGHT POLE		
MONUMENT FOUND		
POWER POLE		
ROAD SIGN		
TELEPHONE MANHOLE		
TELEPHONE PEDISTAL		
UTILITY POLE		
ROAD CENTERLINE		
CHAINLINK FENCE		
OVERHEAD ELECTRIC LINE		
SUBJECT BOUNDARY LINE		
BOUNDARY ADJOINER LINE		
EASMENT LINE		
GRAVEL DRIVEWAY		

KEYED NOTES

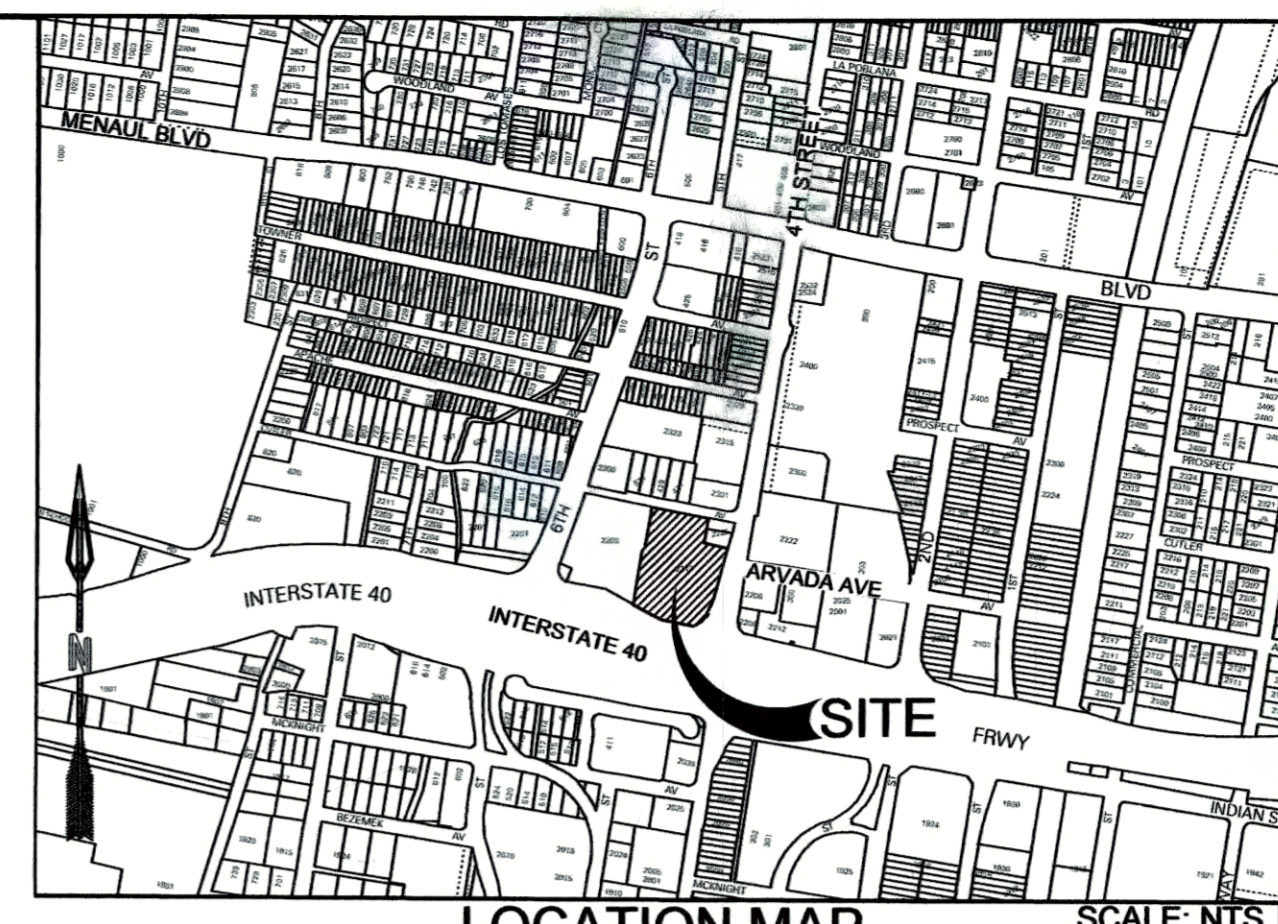
I.D.#	DESCRIPTION
1	EXISTING CURB AND GUTTER
2	EXISTING SIDEWALK
3	EXISTING DRIVEWAY TO BE REMOVED
4	EXISTING UTILITY POLE TO BE REMOVED
5	EXISTING SIGN TO BE REMOVED
6	NEW DRIVEWAY PER COA STD. DWG 2425
7	NEW CONCRETE LOADING DOCK
8	NEW PARKING STRIPING
9	NEW HANDICAP PARKING PER DETAIL 10 SHEET C 501
10	NEW CURB AND GUTTER PER DETAIL 1 SHEET C 500
12	NEW ASPHALT PAVEMENT, PER PAVEMENT SECTION 3 SHEET C 500
13	NEW 6' WIDE SIDEWALK PER DETAIL 6 SHEET C 500 W/AVERTER TO 10' WIDTH APPROVED PER VA-2019-00267
14	NEW HANDICAP RAMP PER COA STD DWG 2440
15	NEW REFUSE ENCLOSURE PER DETAIL 14 SHEET C 501
16	NEW GRAVEL DRIVEWAY, PER PAVING SECTION 5 SHEET C 500
18	NEW BIKE RACK PER DETAIL 7 SHEET C 500
19	NEW MOTORCYCLE PARKING SIGN PER DETAIL 8 SHEET C 500
20	NEW LIGHT POLE PER DETAIL 9 SHEET C 500
21	NEW 6' WIDE PER COA STD. DWG. 2430
22	35' CLEAR SIGHT TRIANGLE PER COA SPECIFICATIONS
23	CLEAR SIGHT TRIANGLE PER AASHTO SPECIFICATIONS

NOTES:

- ALL IMPROVEMENTS LOCATED IN THE R.O.W. MUST BE COMPLETED THROUGH THE PUBLIC WORK ORDER PROCESS. LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

SITE DATA

LEGAL: TRACT C, ALEXANDER CENTER
 ADDRESS: 2217 4TH STREET NW
 SITE AREA: 2.5278 ACRES (110,111 SF)
 ZONING: MX-M FOR MIXED USE-MODERATE
 BENCHMARK:
 BENCHMARK #1
 DESC.: CUT BOX
 LOCATION: TOP OF CURB, WEST SIDE OF 4TH STREET NW
 ELEV.: 4965.81' (NAVD88)
 BENCHMARK #2
 DESC.: CUT BOX
 LOCATION: TOP OF CURB, NORTH SIDE OF CUTLER AVE. NW
 ELEV.: 4963.77' (NAVD88)
 MAPPING: ALTA SURVEY AND CONTROL PROVIDED BY RED PLAINS SURVEYING COMPANY
 FEBRUARY 2019



PROJECT NUMBER: PR-2018-001670
 Application Number: SI-2019-00181
 Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.
 DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Signature	Date
<i>[Signature]</i>	09-25-19
Traffic Engineering, Transportation Division	Date
<i>[Signature]</i>	09-15-19
ABCWUA	Date
<i>[Signature]</i>	2-03-20
Parks and Recreation Department	Date
<i>[Signature]</i>	9/25/19
City Engineer	Date
<i>[Signature]</i>	10/7/19
Solid Waste Management	Date
<i>[Signature]</i>	9/25/19
Code Enforcement	Date
<i>[Signature]</i>	2-09-20
DRB Chairperson, Planning Department	Date

ZONING INFORMATION

PROJECT NAME: U-HAUL STORAGE OF WESTSIDE
 MUNICIPALITY: CITY OF ALBUQUERQUE
 PROJECT ADDRESS: 2217 4TH ST. NW ALBUQUERQUE, NM 87102
 ACRE / AREA: 2.5 ACRES / 108,900 SF.
 ZONE: MX-M - MIXED-USE - MODERATE INTENSITY
 ADJACENT ZONING:
 N- MX-M - MIXED-USE - MODERATE INTENSITY
 E- MX-M - MIXED-USE - MODERATE INTENSITY
 S- INTERSTATE 40/ MX-M - MIXED-USE - MODERATE
 INTENSITY
 W- MX-M - MIXED-USE - MODERATE INTENSITY

USES: SELF STORAGE PERMITTED PER VA-2018-00143, LIGHT VEHICLE RENTAL PERMITTED AND OUTDOOR STORAGE NOT ALLOWED

SETBACKS:

FRONT YARD: 5 FT.
 SIDE YARD: 0 FT.
 REAR YARD: 15 FT.

HEIGHT LIMIT: 45 FT.
 PROPOSED HEIGHT: 35 FT.

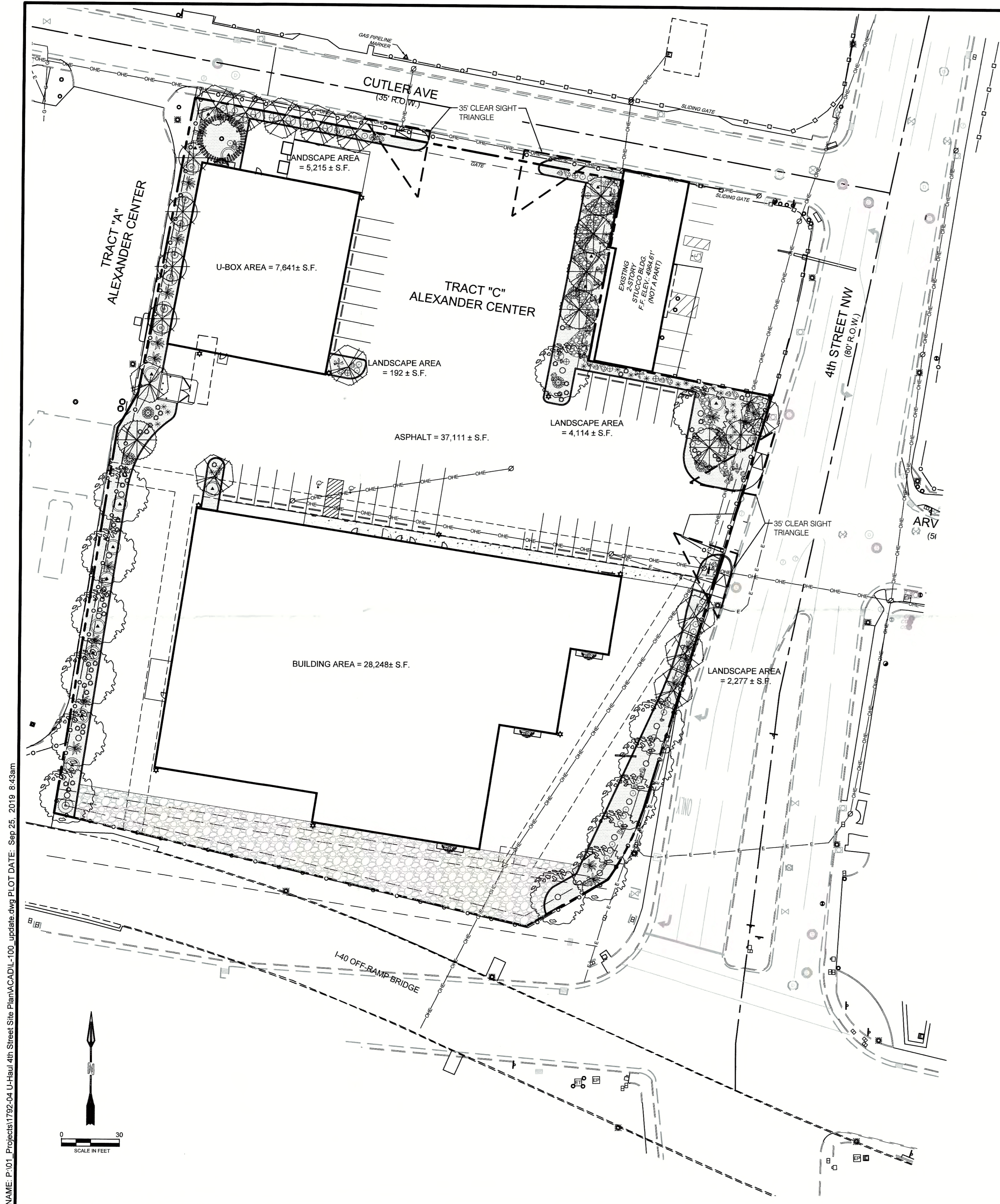
MAX BUILDING COVERAGE: N/A

1 SPACE REQUIRED PER 3,000 SQ. FT. FOR THE TOTAL GROSS AREA OF BUILDING

PARKING:	REQUIRED	PROVIDED
	31 SPACES	31 SPACES
	2 HANDICAP	2 HANDICAP

LANDSCAPE	REQUIRED	PROVIDED
	15% NET LOT AREA	15% NET LOT AREA

DESIGNED BY: RESPEC DRAWN BY: JMT CHECKED BY: SEG DATE: 9.25.2019 5971 JEFFERSON STREET SUITE 101 ALBUQUERQUE, NEW MEXICO 87109 WWW.RESPEC.COM 505.253.9718	REVISION SHEET NUMBER: C 100
STAMP 	
THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED 	
PROJECT NAME: UHAUL 4TH ST & I-40 SHEET TITLE: DRB SITE PLAN SUBMITTED FOR: REVIEW	



GENERAL LANDSCAPE NOTES
LANDSCAPE DESIGN:
 ALL PLANTING AREAS SHALL BE TOP DRESSED WITH MULCHES PER THE LEGEND.

IRRIGATION:
 IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 5 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 2 GPH EMITTERS. TREES, SHRUBS, ACCENTS, AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

RESPONSIBILITY OF MAINTENANCE:
 MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
 THE LANDSCAPE PLAN SHALL LIMIT THE PROVISION OF HIGH WATER USE TURF TO A MAXIMUM OF 20 PERCENT OF THE REQUIRED LANDSCAPED AREA. THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

PNM COORDINATION:
 COORDINATION WITH PNMS NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST FIVE FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE:
 LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

LANDSCAPE AREA COVERAGE:
 TOTAL SITE AREA: 110,063 SF (2.53 AC)
 BUILDING AREA (BUILDING ENVELOPE): - 35,889 SF
 NET AREA: 74,174 SF
 REQUIRED LANDSCAPE AREA (15% OF NET AREA): 11,126 SF
 PROVIDED LANDSCAPE AREA: 11,900 SF (107%)

LANDSCAPE LIVE VEGETATIVE COVERAGE:
 LANDSCAPE COVERAGE REQUIREMENTS SPECIFY LANDSCAPE AREAS TO HAVE A 75% COVERAGE OF LIVE VEGETATIVE MATERIAL. THE PROJECT WILL PROVIDE A MINIMUM OF 75% LIVE VEGETATIVE COVERAGE OF THE REQUIRED LANDSCAPE AREA. A MINIMUM OF 25% COVERAGE OF THE TOTAL LANDSCAPED AREA SHALL BE ACHIEVED BY GROUND-LEVEL PLANTS.
 PROVIDED LIVE VEGETATIVE MATERIAL COVERAGE - 24,163 SF (203% OF LANDSCAPE AREA)
 PROVIDED GROUND-LEVEL PLANTS - 6,436 SF (27% OF LANDSCAPE AREA)

ORGANIC MULCH:
 ORGANIC MULCH, SUCH AS WOOD CHIPS OR PECAN SHELLS, IS REQUIRED AS GROUND COVER FOR THE PORTION OF ANY LANDSCAPED AREA SURROUNDING THE VEGETATED ROOT BALL, AS WELL AS BENEATH THE ENTIRE TREE CANOPY OR DRIP LINE, IN EACH REQUIRED LANDSCAPE AREA.
 ALL TREES, SHRUBS AND GROUND COVER SHALL HAVE ORGANIC WOOD FIBER MULCH APPLIED AROUND THE PLANTINGS DRIP LINES DURING INSTALLATION.
 GRAVEL AND CRUSHER FINES USED AS GROUND COVER IN LANDSCAPE AREAS IS LIMITED TO 75%.
 LANDSCAPE AREA PROVIDED-11,519 SF
 MAXIMUM GRAVEL MULCH IN PLANTING BEDS - 8,639 SF=(75%)
 REQUIRED ORGANIC MULCH 2,880 SF=(25%)
 ORGANIC MULCH COVERAGE IS ACHIEVED BY PROVIDING A 7' DIAMETER MULCH RING UNDER EACH TREE: (25 TREES) = 982 SF ORGANIC MULCH AND A 3.5 RING UNDER EACH SHRUB: (228 SHRUBS) = 2,194 SF
 TOTAL PROVIDED: 3,156 SF OF ORGANIC MULCH (110%)

LANDSCAPE TURF:
 ONLY 20% OF LANDSCAPED AREAS MAY BE HIGH WATER USE TURF. NO HIGH WATER TURF IS PROPOSED FOR THE SITE.

PARKING LOT TREES:
 THE PROJECT IS PROVIDING 33 PARKING SPACES. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.
 PARKING LOT TREES REQUIRED: 3
 PARKING LOT TREES PROVIDED: 3 (IN ADJACENT PLANTER BED)

STREET TREES:
 4TH STREET NW IS AN ARTERIAL STREET AND THEREFORE REQUIRES STREET TREES. STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 25' O.C. CUTLER AVE IS A LOCAL STREET.
 4TH STREET NW IS 313'
 STREET TREES REQUIRED: 13
 STREET TREES PROVIDED: 13 (9 STREET TREES AND 4 PROVIDED IN LANDSCAPE)
 CUTLER AVE IS 226'
 STREET TREES REQUIRED: 9
 STREET TREES PROVIDED: 9 (6 STREET TREES AND 3 PROVIDED IN LANDSCAPE)

LANDSCAPE IN ASPHALT PARKING LOT:
 PARKING LOT LANDSCAPE REQUIRED (10% OF 37,111 SF) = 3,711 SF.
 PARKING LOT LANDSCAPE PROVIDED: 4,430 SF. (119%)

ADDITION OF 8 TREES FOR 206' OF CONCRETE PEDESTRIAN PATH, 1 TREE PER 25'. (8 TREES PROVIDED IN LANDSCAPE)

PLANT LEGEND

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
TREES					
14		ACER NEGUNDO 'SENSATION' SENSATION BOX ELDER	2.5' B&B	45' HT. X 35' SPR.	MED
12		CHILOPSIS LINEARIS 'BUBBA' BUBBA DESERT WILLOW	8' MS	20' HT. X 20' SPR.	FW
1		PINUS NIGRA AUSTRIAN PINE	8' HT. B&B	35' HT. X 25' SPR.	MED
SHRUBS AND GROUNDCOVERS					
43		ERICAMERA LARICIFOLIA DWARF TURPENTINE BUSH	5-GAL	3' HT. X 3' SPR.	LOW
7		FALLUGIA PARADOXA APACHE PLUME	5-GAL	5' HT. X 5' SPR.	LOW
5		FORESTIERA NEOMEXICANA NEW MEXICO OLIVE	15-GAL	15' HT. X 15' SPR.	LOW+
20		JUNIPERUS HORIZ. 'BLUE CHIP' BLUE CHIP JUNIPER	5-GAL	1' HT. X 7' SPR.	MED
5		PINUS MUGO 'PUMILIO' DWARF MUGO PINE	5-GAL	4' HT. X 6' SPR.	MED
17		RHUS TRILOBATA AUTUMN AMBER' AUTUMN AMBER SUMAC	5-GAL	2' HT. X 8' SPR.	LOW+
21		SALVA GREGGII 'FURMAN'S RED' FURMAN'S RED CHERRY SAGE	3-GAL	30' HT. X 3' SPR.	MED
6		VITEX AGNUS-CASTUS CHASTE TREE (MULTI-STEM)	15-GAL	20' HT. X 20' SPR.	MED
DESERT ACCENTS					
29		HESPERALOE PARVIFLORA 'BRAKELIGHTS' BRAKELIGHTS RED YUCCA	3-GAL	3' HT. X 3' SPR.	LOW+
18		OPUNTIA VIOLACEA SANTA RITA PRICKLY PEAR	3-GAL	3' HT. X 4' SPR.	FW
8		OPUNTIA ENGLAMANNII ENGLAMANN PRICKLY PEAR	3-GAL	5' HT. X 8' SPR.	FW
ORNAMENTAL GRASSES					
49		CALAMOGROSTIS A. 'KARL FOERSTER' KARL FOERSTER FEATHER REED GRASS	3-GAL	30' HT. X 3' SPR.	MED
VINES					
4		CAMPIS RADICANS TRUMPET VINE	5-GAL	CLIMBING X 40'	MED
MULCHES AND BOULDERS					
11,657 SF		3/4" - 1" ROCK MULCH, COLOR: TBD SF. (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)			
740+ SF		4" - 8" RIP-RAP, COLOR: TBD SF. (8" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)			
54		BOULDERS (3x3' MIN)			

NAME: P:\01_P\Projects\1792-04_U-Haul_4th Street Site Plan\CAD\1-100_update.dwg PLOT DATE: Sep 25, 2019 8:43am

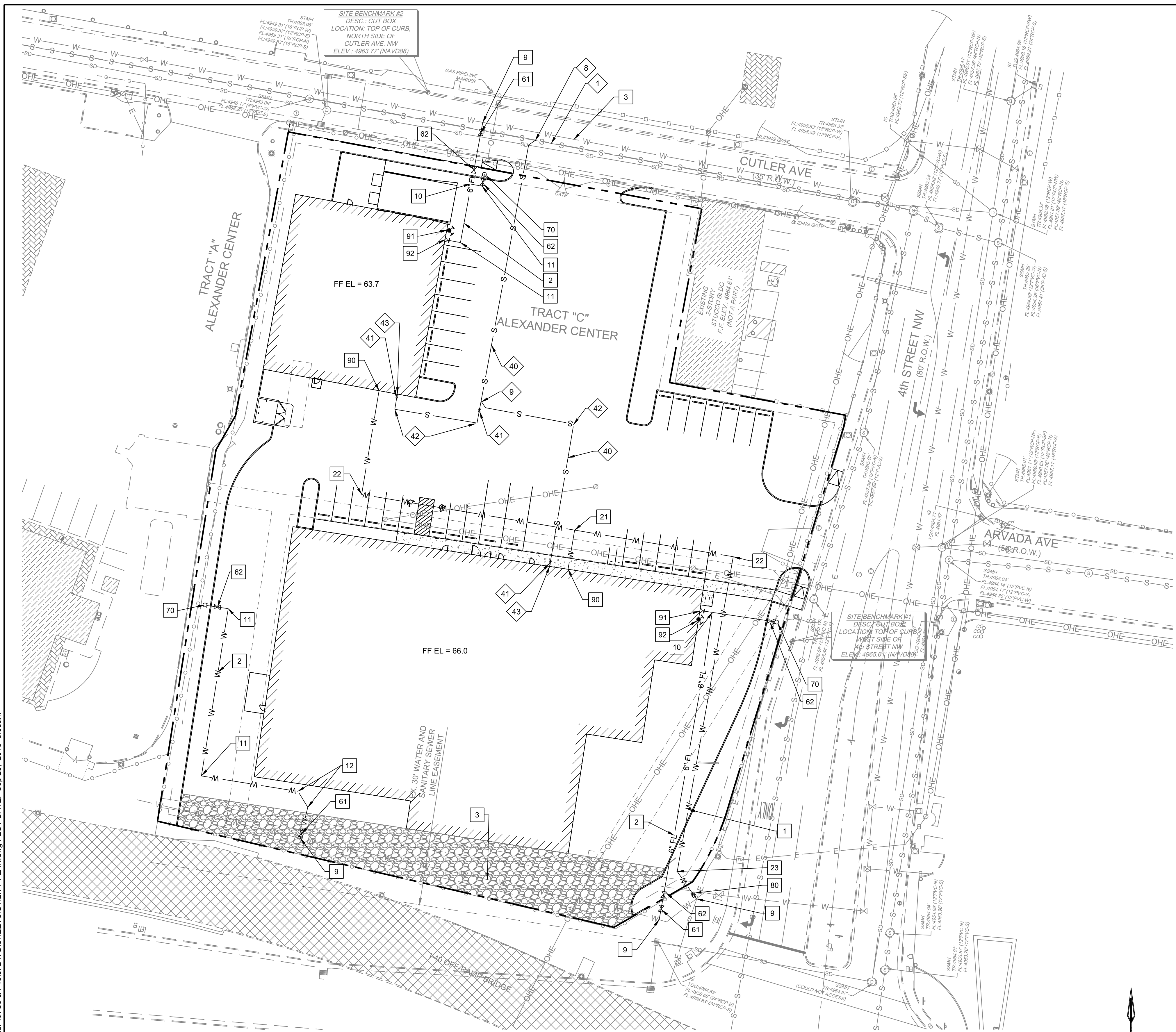


SITE DEVELOPMENT PLAN
 FILE # PR2018-001670/51-2019
 Alternative Landscape Plan
 Approved by [Signature] 26 Sept 2019
 DATE

CONSENSUS PLANNING, INC.
 Planning / Landscape Architecture
 302 Eighth Street NW
 Albuquerque, NM 87102
 (505) 764-9801 Fax 842-5495

DESIGNED AM	AM	REVISION
DRAWN AM	AM	
CHECKED CG	CG	
DATE	DATE	
9/25/2019	9/25/2019	
5871 REFLECTOR SUITE 101 ALBUQUERQUE, NM 87110 WATER & NATURAL RESOURCES WWW.RESPEC.COM 505.253.9718		
STAMP REVIEW 30%		
PRELIMINARY NOT FOR CONSTRUCTION THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.		
Know what's below. Call before you dig.		
PROJECT NAME: UHAUL 4TH ST & I-40		
SHEET TITLE: LANDSCAPE PLAN		
SHEET NUMBER: L 100		

NAME: L:\Active Projects\03707 U-Haul 4th St. & I-403 DWG\SHEET\UTILITY PLAN.dwg PLOT DATE: Sep 25, 2019 9:05am



LEGEND

ITEM	EXISTING	PROPOSED
FIRE HYDRANT		
WATER VALVE		
SEWER MANHOLE		
STORM SEWER MANHOLE		
DROP INLET		
WATER METER		
WATER LINE	W	W
SANITARY SEWER LINE	S	S
STORM DRAIN LINE	SD	SD
UNDERGROUND ELECTRIC	OHE	OHE
OVERHEAD ELECTRIC	E	E
CURB AND GUTTER		
BENCHMARK		
BORE HOLE		
ELECTRICAL PEDISTAL		
ELECTRICAL TRANSFORMER		
GAS VALVE		
GATE		
GUARD POST		
LIGHT POLE		
MONUMENT FOUND		
POWER POLE		
ROAD SIGN		
TELEPHONE MANHOLE		
TELEPHONE PEDISTAL		
UTILITY POLE		
ROAD CENTERLINE		
CHAINLINK FENCE		
OVERHEAD ELECTRIC LINE		
SUBJECT BOUNDARY LINE		
BOUNDARY ADJOINER LINE		
EASEMENT LINE		

WATER CONSTRUCTION NOTES

I.D.#	DESCRIPTION
1	INSTALL 1" WATERLINE
2	INSTALL 6" WATERLINE
3	EXISTING 6" PVC WATERLINE
9	CONNECT NEW WATERLINE TO EXISTING WATERLINE (NON PRESSURIZED CONNECTION)
10	INSTALL 6" TEE
11	INSTALL 6" 90° BEND
12	INSTALL 6" 45° BEND
21	INSTALL 1" TEE
22	INSTALL 1" 90° BEND
23	INSTALL 1" 45° BEND
61	INSTALL 6" GATE VALVE AND VALVE BOX, PER COA STD. DTL. 2326, 2328, AND/OR 2329
70	INSTALL FIRE HYDRANT, PER COA STD. DTL. 2340
80	INSTALL 1" SINGLE WATER SERVICE, PER COA STD. DTL. 2362 AND 2368
90	SEE INTERIOR BUILDING PLANS FOR CONTINUATION

SANITARY SEWER CONSTRUCTION NOTES

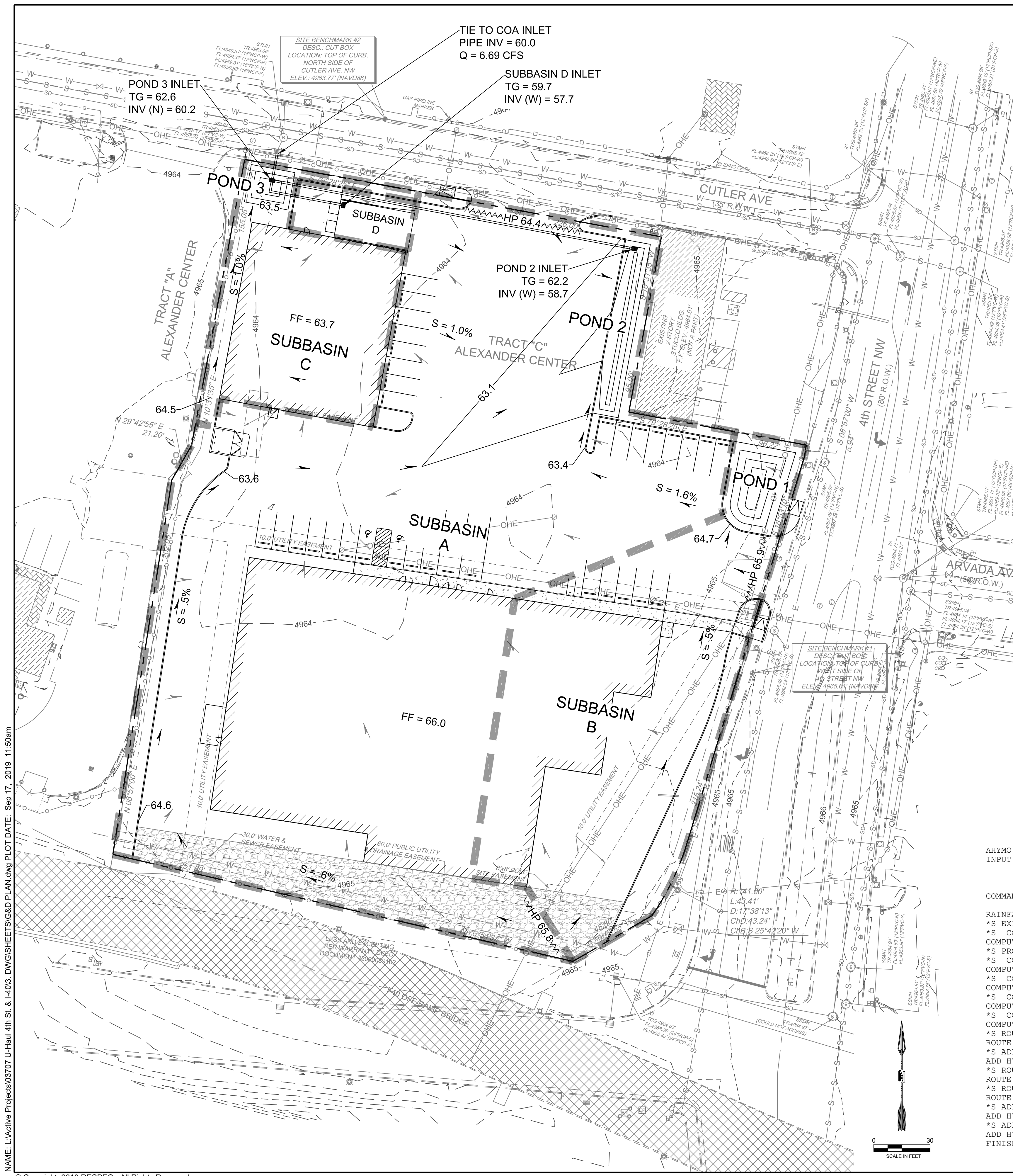
I.D.#	DESCRIPTION
4	EXISTING 8" VCP SANITARY SEWER LINE
5	SANITARY SEWER SERVICE CONNECTION PER COA STD. DTL. 2125, CONTRACTOR TO FIELD VERIFY SIZE AND TYPE OF SAS MAIN AND NOTIFY ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION
6	INSTALL 4" WYE CONNECTION
40	INSTALL 4" SANITARY SEWER LINE
41	INSTALL NEW DOUBLE CLEANOUTS
42	INSTALL 4" 90° BEND
43	SEE INTERIOR BUILDING PLANS FOR CONTINUATION

NOTES:

- CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITY LOCATIONS, DEPTHS, AND TYPE OF MATERIAL AND NOTIFY ENGINEER OF ANY CONFLICTS PRIOR TO ANY CONSTRUCTION.
- ABCWUA RECORDS INDICATE AN 8" SANITARY SEWER ALONG THE EAST SIDE OF THE SITE. CONTRACTOR TO COORDINATE W/ 811 TO DETERMINE LOCATION PRIOR TO CONSTRUCTION.
- ALL UTILITIES TO BE INSTALLED PER CITY OF ALBUQUERQUE SPECIFICATIONS.
- ALL SANITARY SEWER BENDS AND WYE CONNECTIONS TO INCLUDE DOUBLE CLEANOUTS.
- REDUCE PRESSURE BACKFLOW PREVENTERS FOR DOMESTIC WATER LINES AND FIRE LINES TO BE INTERNAL TO THE BUILDINGS.
- ALL ON-SITE FIRE HYDRANTS TO BE PRIVATE AND PAINTED SAFETY ORANGE.

DESIGNED BY: J.L.	DRAWN BY: J.M.T.	CHECKED BY: SEG.	DATE: 9.25.2019
THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.			
PROJECT NAME:		UHAUL 4TH ST & I-40	
SHEET TITLE:		CONCEPTUAL UTILITY PLAN	
SUBMITTED FOR:		REVIEW	
SHEET NUMBER:		C 101	

NAME: L:\Active Projects\03707 U-Haul 4th St. & I-403 DWG\SHEETS\G&D PLAN.dwg PLOT DATE: Sep 17, 2019 11:50am



Background
Tract C, Alexander Center contains approximately 2.5 acres. The site is located on the southwest corner of Cutler Ave. and 4th St. The site is to be developed into a self-storage facility containing two buildings and a parking lot.

Methodology
The hydrology analysis was performed for the site in accordance with the Albuquerque Development Process Manual (DPM), AHYMO-S4 (April 2018) was used to develop peak flow rates for the 100-year 24-hour design storm in accordance with Section 22.2 of the DPM. Hydraulic calculations were performed using Section 22.3 of the DPM.

Existing Conditions
The site does not receive any offsite runoff from developed areas and is currently undeveloped with mild vegetation. The site appears to have been used for parking previously containing gravel surfacing creating mostly type "C" land treatment type. In general, the site surface drains from southeast to northwest at minimal slopes. The existing conditions of the site generate a peak runoff rate of 7.49 CFS.

Proposed Conditions
The proposed development will consist of two buildings and a paved parking lot with a basecourse access drive around the southern building. The site is divided into four proposed subbasins. The subbasin characteristics can be found in the tables below.

Subbasin A consists of approximately 60% of the southern building's roof drainage and most of the middle portion of the site. Subbasin B consists of the eastern portion of the site and approximately 40% of the southern building's roof drainage. Subbasin C consists of the northern building's roof drainage as well as the landscaping area at the northwest corner of the site. Subbasin D contains the ramp area for the loading dock.

Subbasin B drainage is conveyed through surface sheet flow and swales to Pond 1. The remaining stormwater is conveyed through a swale to Pond 2. Subbasin A surface drains directly to Pond 2. An inlet at the north end of the pond captures the stormwater and conveys it to Pond 3 via an 18" storm drain. Subbasin C surface drains to Pond 3. The inlet in pond 3 conveys the stormwater to the City's inlet located in the right-of-way via a proposed 18" RCP. Subbasin D drains directly to an inlet installed at the low point of the dock ramp, where an 18" pipe conveys stormwater to the Pond 3 inlet. In addition, a french drain tied to the inlet allows infiltration for water quality volume. The on-site detention system made up of the three ponds reduces the proposed flow rates to a peak discharge rate of 6.69 CFS to the City's Inlet.

The required water quality volume of 2616 cubic feet was calculated using a first flush value of 0.34". This volume will be exceeded by the on-site infiltration and ponding systems, which provides 3300 cubic feet of retention.

HYDROLOGY CALCULATIONS

* 100 YEAR RAINFALL TABLE
RAINFALL TYPE=13 RAIN QUARTER=0 IN
RAIN ONE=2.01 IN RAIN SIX=2.35 IN
RAIN DAY=2.75 IN DT=0.03333 HR

*S EXISTING CONDITIONS
*S COMPUTE HYD BASIN EX
COMPUTE NM HYD ID=1 HYDNO=101 DA=0.0045Q MI
PER A=0 PER B=30 PER C=70 PER D=0
TP=-0.13 RAIN=-1
PRINT HYD ID=1 CODE=10

*S PROPOSED CONDITIONS
*S COMPUTE HYD BASIN A
COMPUTE NM HYD ID=2 HYDNO=102 DA=0.00265Q MI
PER A=0 PER B=4.1 PER C=10.8 PER D=85.1
TP=-0.13 RAIN=-1
PRINT HYD ID=2 CODE=10

*S COMPUTE HYD BASIN B
COMPUTE NM HYD ID=3 HYDNO=103 DA=0.00095Q MI
PER A=0 PER B=4.1 PER C=10.8 PER D=85.1
TP=-0.13 RAIN=-1
PRINT HYD ID=3 CODE=10

*S COMPUTE HYD BASIN C
COMPUTE NM HYD ID=4 HYDNO=104 DA=0.00045Q MI
PER A=0 PER B=4.1 PER C=10.8 PER D=85.1
TP=-0.13 RAIN=-1
PRINT HYD ID=4 CODE=10

*S COMPUTE HYD BASIN D
COMPUTE NM HYD ID=5 HYDNO=105 DA=0.00015Q MI
PER A=0 PER B=0 PER C=0 PER D=100
TP=-0.13 RAIN=-1
PRINT HYD ID=5 CODE=10

LEGEND

- PROPERTY LINE
- EX SD MH
- EX INLET
- EX FLOW ARROW
- PROP FLOW ARROW
- ▲ PROP HIGH POINT
- ▬ PROP SUBBASIN BDRY
- ▬ PROP SD
- PROP INLET

WATER QUALITY PONDING

Area (ac)	% Imp.	Imp. Area (ac)	WQ Depth (in)	Required WQ Vol (cu ft)	Provided WQ Vol (cu ft)
2.491	85.1%	2.120	0.34	2616	3300

AHYMO PROGRAM SUMMARY TABLE (AHYMO-S4) - Ver. S4.02a, Rel: 02a RUN DATE (MON/DAY/YR) =09/03/2019
INPUT FILE = lbrary\ENG Tools\ahymo-s4-r2\DISK1\program files\AHYMO-S4\03707 Input.HMI USER NO.= AHYMO-S4TempUser05901704

COMMAND	HYDROGRAPH IDENTIFICATION	FROM ID	TO ID	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE	PAGE	NOTATION
	RAINFALL TYPE=13									1	RAIN24= 2.750
	*S EXISTING CONDITIONS										
	*S COMPUTE HYD BASIN EX										
	COMPUTE NM HYD	101.00	-	1	0.00400	7.49	0.215	1.00848	1.500	2.926	PER IMP= 0.00
	*S PROPOSED CONDITIONS										
	*S COMPUTE HYD BASIN A										
	COMPUTE NM HYD	102.00	-	2	0.00260	7.47	0.318	2.29175	1.500	4.492	PER IMP= 85.10
	*S COMPUTE HYD BASIN B										
	COMPUTE NM HYD	103.00	-	3	0.00090	2.60	0.110	2.29175	1.500	4.511	PER IMP= 85.10
	*S COMPUTE HYD BASIN C										
	COMPUTE NM HYD	104.00	-	4	0.00040	1.17	0.049	2.29175	1.500	4.554	PER IMP= 85.10
	*S COMPUTE HYD BASIN D										
	COMPUTE NM HYD	105.00	-	5	0.00010	0.31	0.013	2.51483	1.500	4.878	PER IMP= 100.00
	*S ROUTE BASIN B THROUGH POND 1										
	ROUTE RESERVOIR	501.00	-	3	0.00090	1.51	0.110	2.29141	1.633	2.617	AC-FT= 0.036
	*S ADD ROUTED BASIN B AND BASIN A										
	ADD HYD	201.00	66.2	7	0.00350	8.04	0.427	2.28783	1.533	3.590	
	*S ROUTE ID 7 THROUGH POND 2										
	ROUTE RESERVOIR	502.00	7	8	0.00350	5.69	0.427	2.28783	1.633	2.539	AC-FT= 0.049
	*S ROUTE BASIN C THROUGH POND 3										
	ROUTE RESERVOIR	503.00	4	9	0.00040	1.14	0.049	2.29121	1.500	4.455	AC-FT= 0.001
	*S ADD ROUTED BASIN C AND BASIN D										
	ADD HYD	202.00	96.5	10	0.00050	1.45	0.062	2.33551	1.500	4.539	
	*S ADD ID 10 AND ID 8										
	ADD HYD	203.00	106.8	11	0.00400	6.69	0.489	2.29377	1.567	2.614	
	FINISH										

DESIGNED BY: J.L. RESPEC
DRAWN BY: J.M.T.
CHECKED BY: SEG.
DATE: 9.11.2019

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RESPEC

STAMP
SHELDON E. GREER
NEW MEXICO
17154
LICENSED PROFESSIONAL ENGINEER

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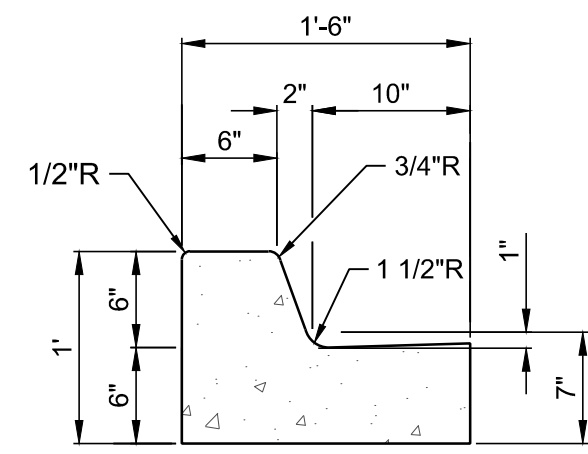
nm811
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PROJECT NAME: UHAUL 4TH ST & I-40

SHEET TITLE: CONCEPTUAL G&D PLAN

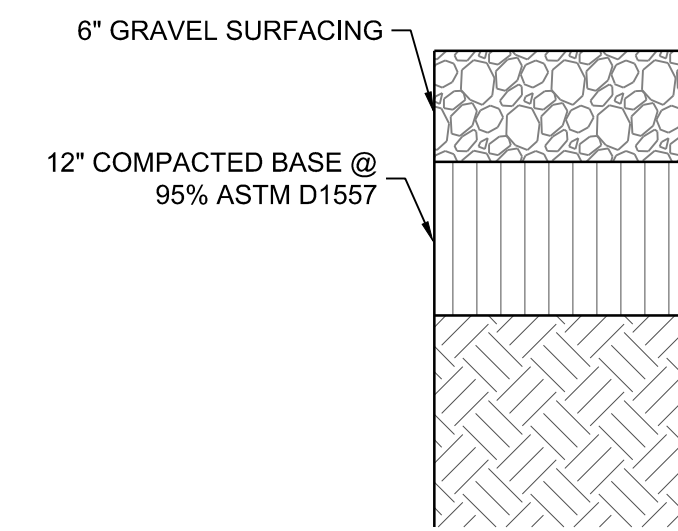
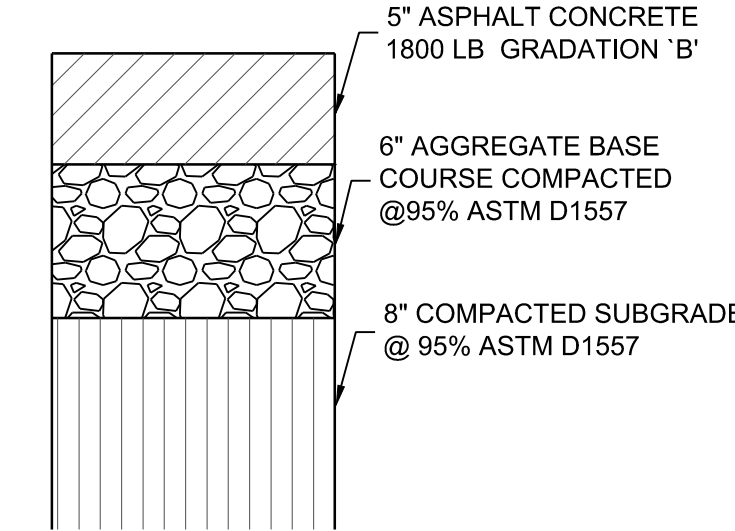
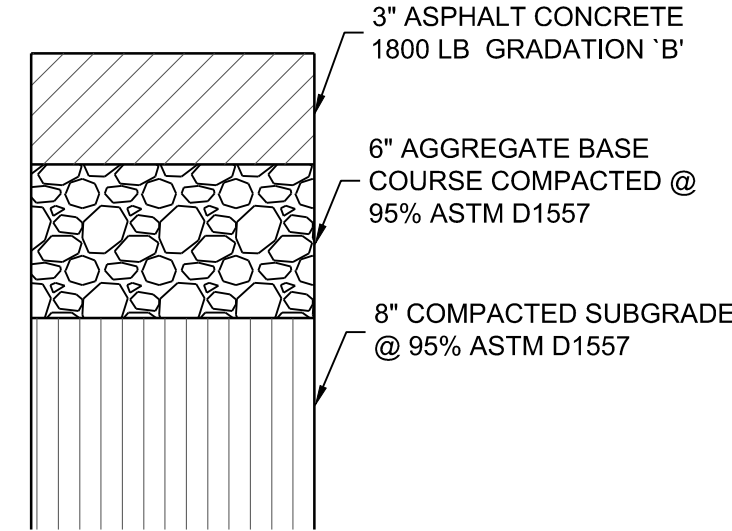
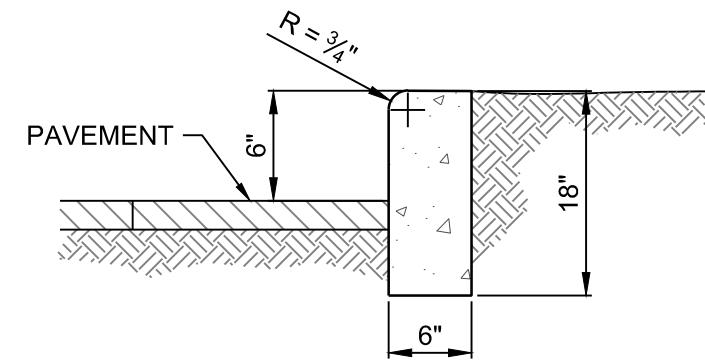
SUBMITTED FOR: REVIEW

SHEET NUMBER: C 102



GENERAL NOTES:

- CURBS & GUTTERS TO BE CONSTRUCTED OF P.C.C.
- FOR STANDARD C. & G. PROVIDE CONTRACTION JTS. 6' O.C. MAX. ALSO PROVIDE 1/2" EXP. JTS. 48" O.C. MAX. AT CURB RETURNS & AT EACH SIDE OF DRIVEWAY & ADJACENT TO WALLS & BUILDINGS
- EDGES NOT SPECIFIED DIMENSIONED SHALL BE EDGED WITH A 3/8" EDGING TOOL.
- STD. C. & G. SHALL BE USED FOR NEW CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE ENGINEER.
- REMOVE & REPLACE 12" WIDE STRIP OF PAVEMENT BEYOND LIP OF GUTTER WHEN CONSTRUCTING
- STD. C. & G. ADJACENT TO EXIST. A.C. PAVEMENT. STD. C. & G. REQUIRE FULL FORM ON ALL FACES EXCEPT WITH PRIOR APPROVAL OF ENGINEER.



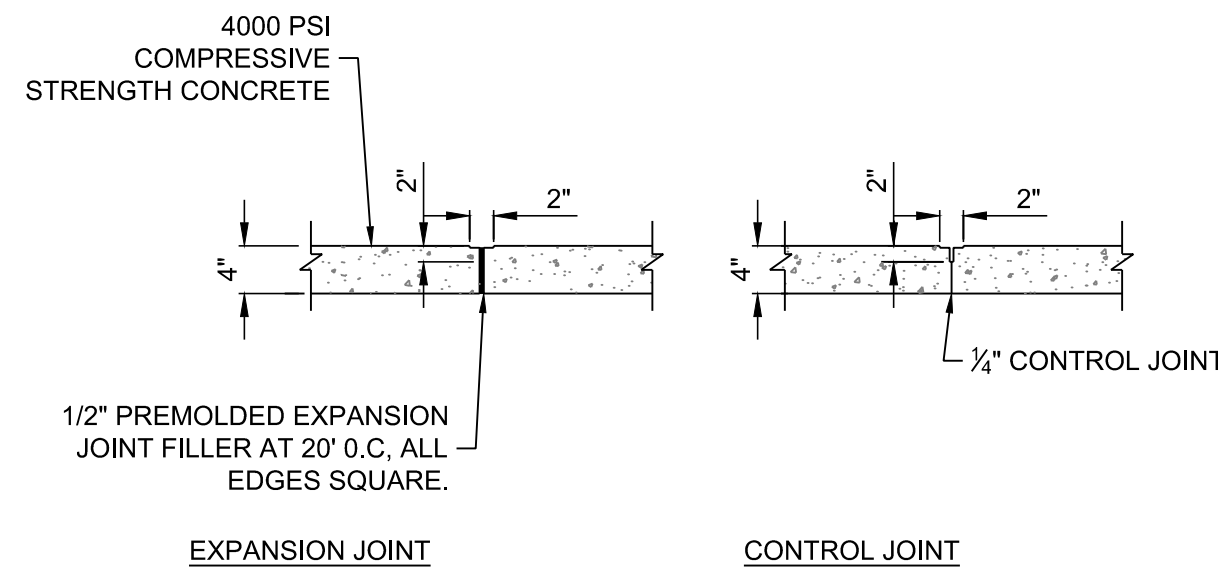
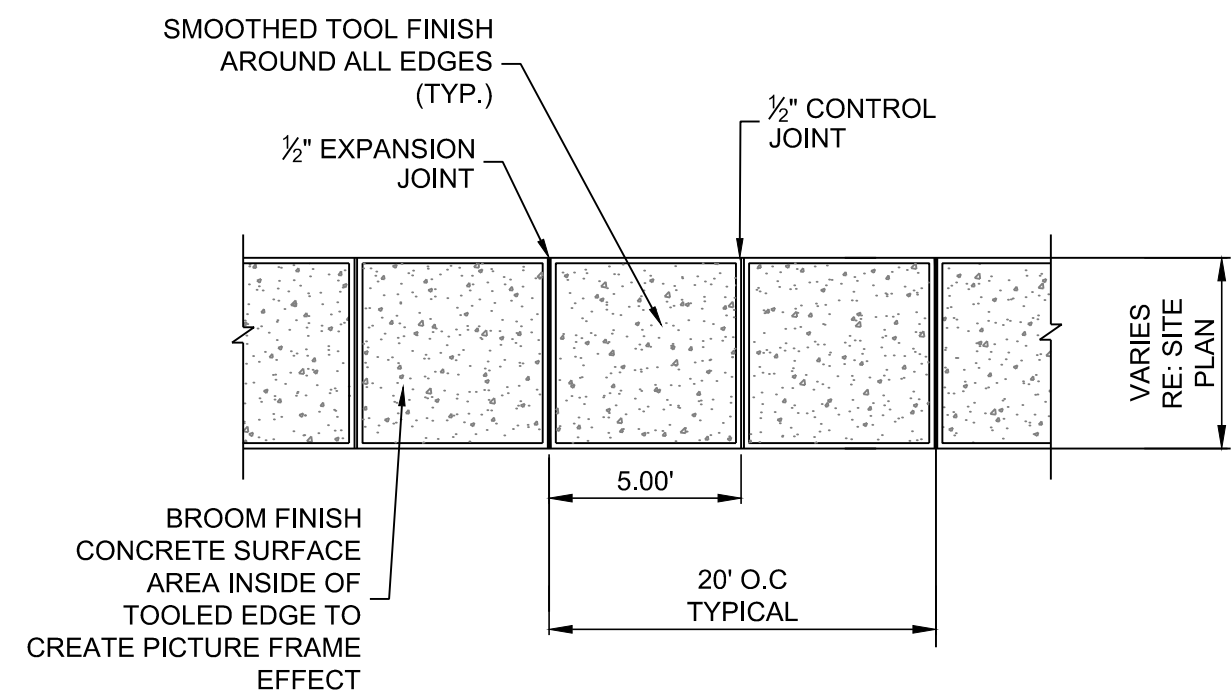
1 STANDARD CURB AND GUTTER NTS

2 HEADER CURB AND GUTTER NTS

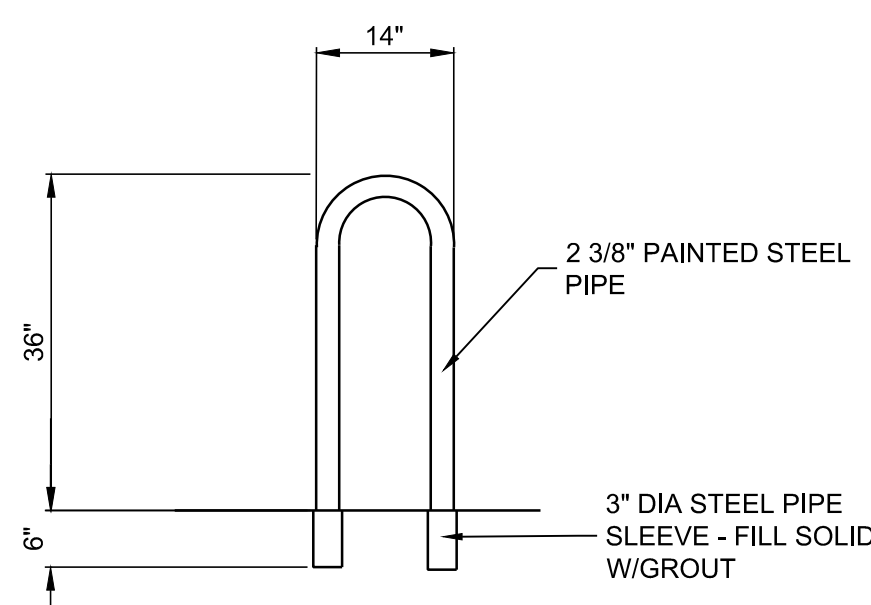
3 LIGHT DUTY PAVEMENT SECTION NTS

4 HEAVY DUTY PAVEMENT SECTION NTS

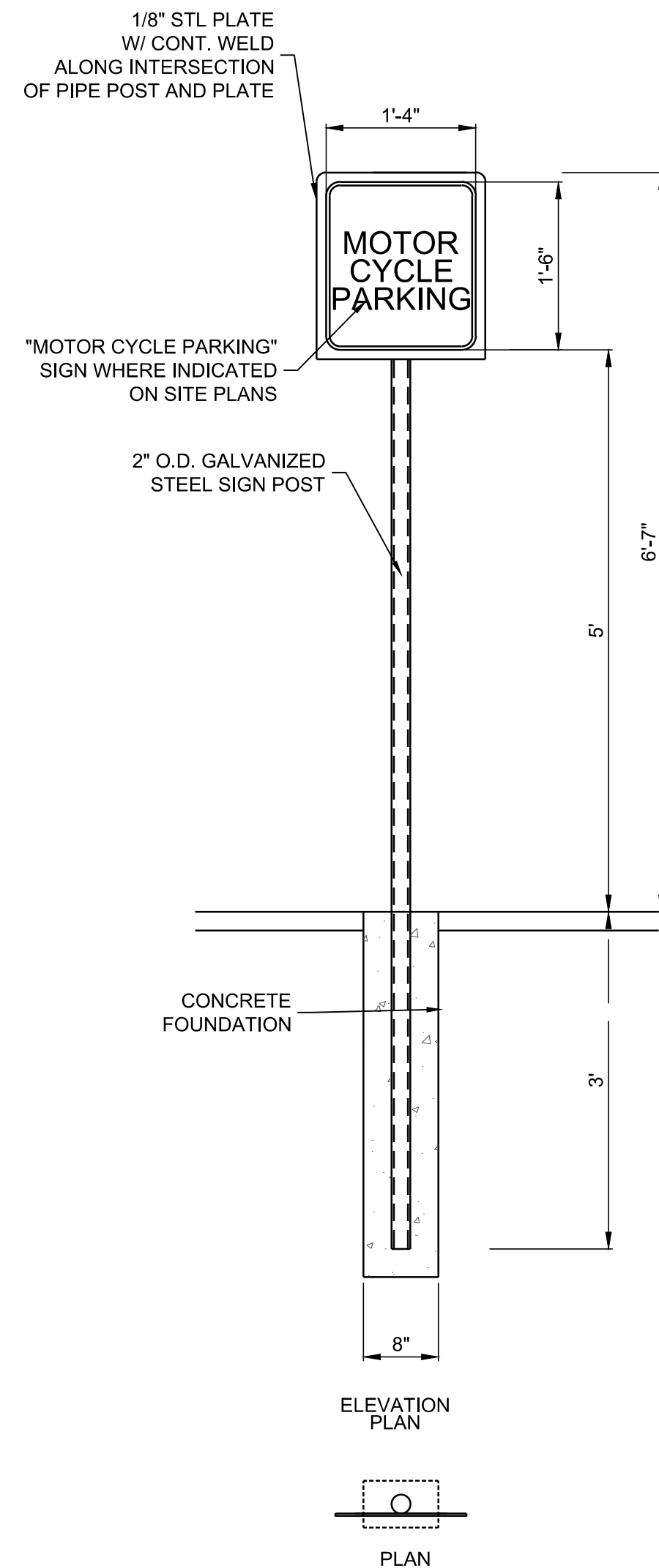
5 GRAVEL DRIVEWAY PAVEMENT SECTION NTS



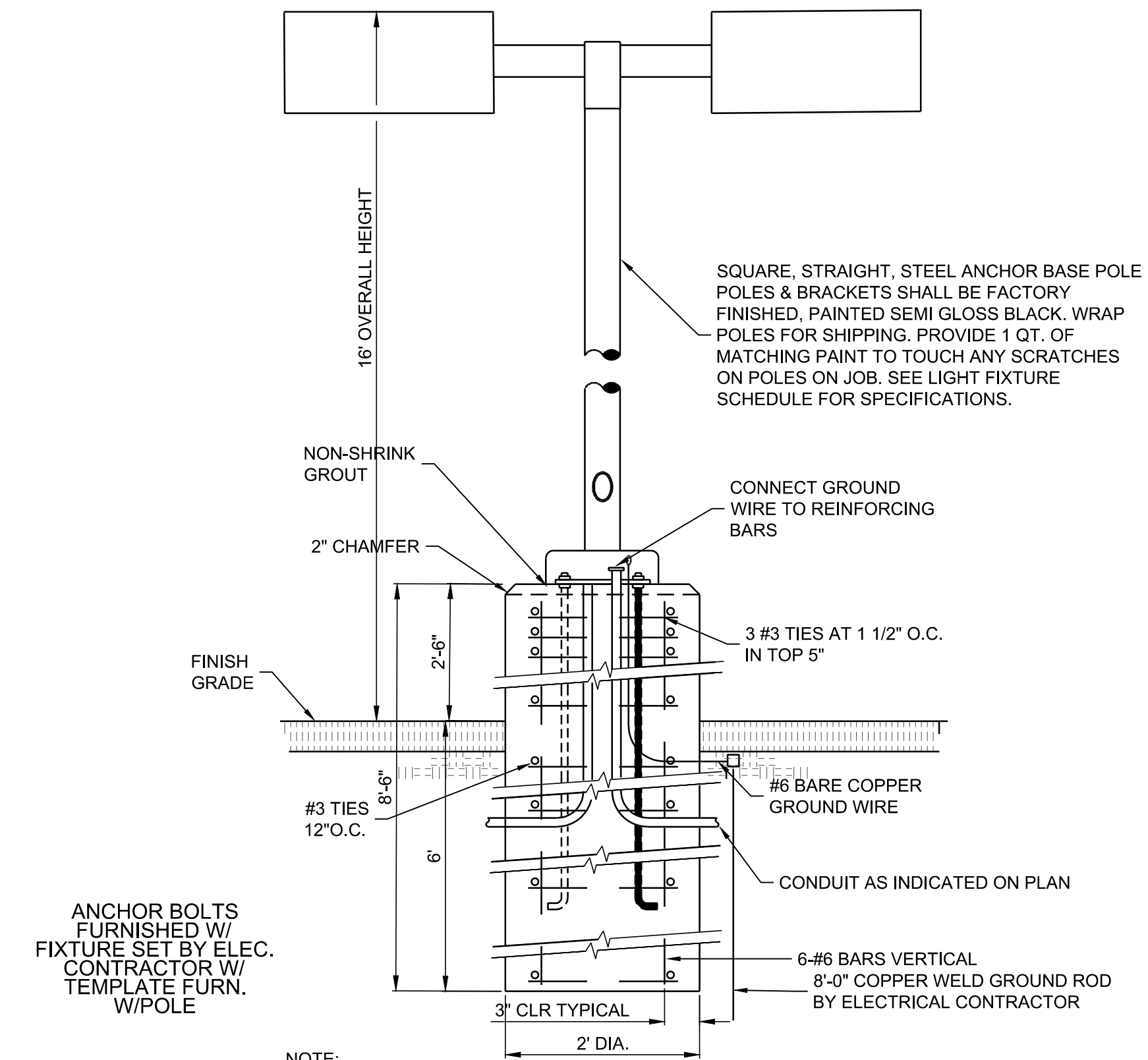
6 TYPICAL SIDEWALK NTS



7 U-STYLE BIKE RACK NTS



8 MOTORCYCLE PARKING SIGN NTS

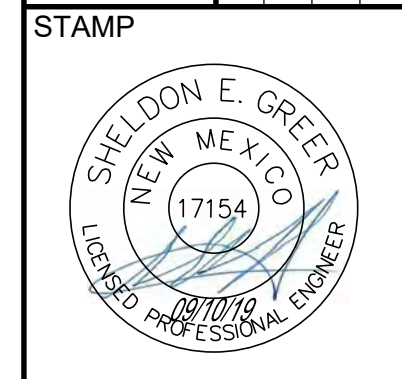


- NOTE:**
- MANUFACTURER SHALL WARRANT THAT THE COMPLETE ASSEMBLY, FIXTURES, POLE, BASE, SHALL WITH STAND MIN 90 MPH SUSTAINED WIND LOAD OR AS REQUIRED BY LOCAL AGENCY, WHICH EVER IS GREATER.
 - CONTRACTOR SHALL VERIFY THAT ALL CONTRACTOR INSTALLED LIGHTS COMPLY WITH LOCAL CODE REQUIREMENTS
 - SHOULD EXISTING POLE HEIGHT TO BE MATCHED EXCEED 22' GENERAL CONTRACTOR SHALL VERIFY W/ ARCHITECT ADEQUACY OF DESIGN SHOWN PRIOR TO INSTALL.

9 LIGHT POLE DETAIL NTS

DESIGNED J.L.	J.M.T.	SEG.
DRAWN	CHECKED	DATE
9.10.2019		

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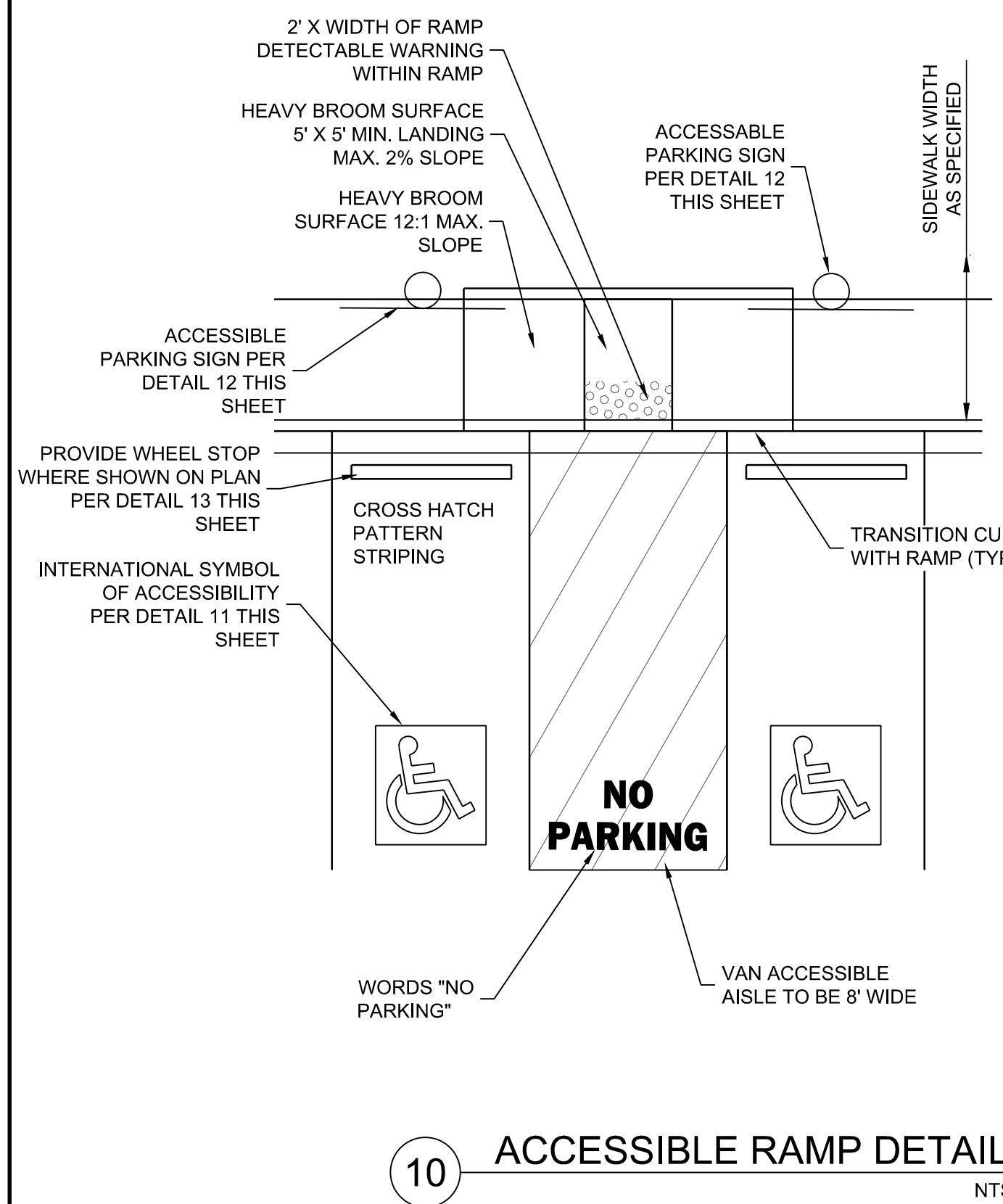
PROJECT NAME: UHAUL 4TH ST & I-40

TYPICAL SITE DETAILS

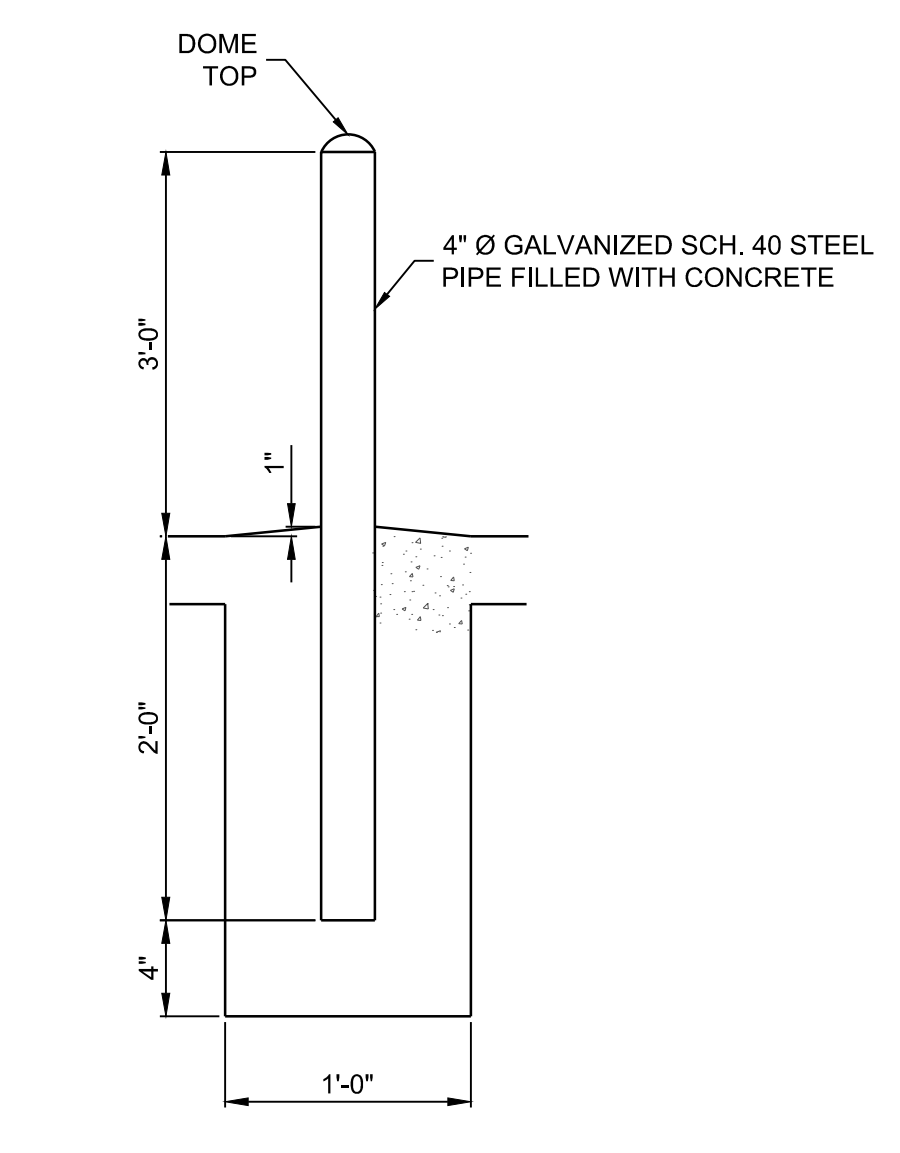
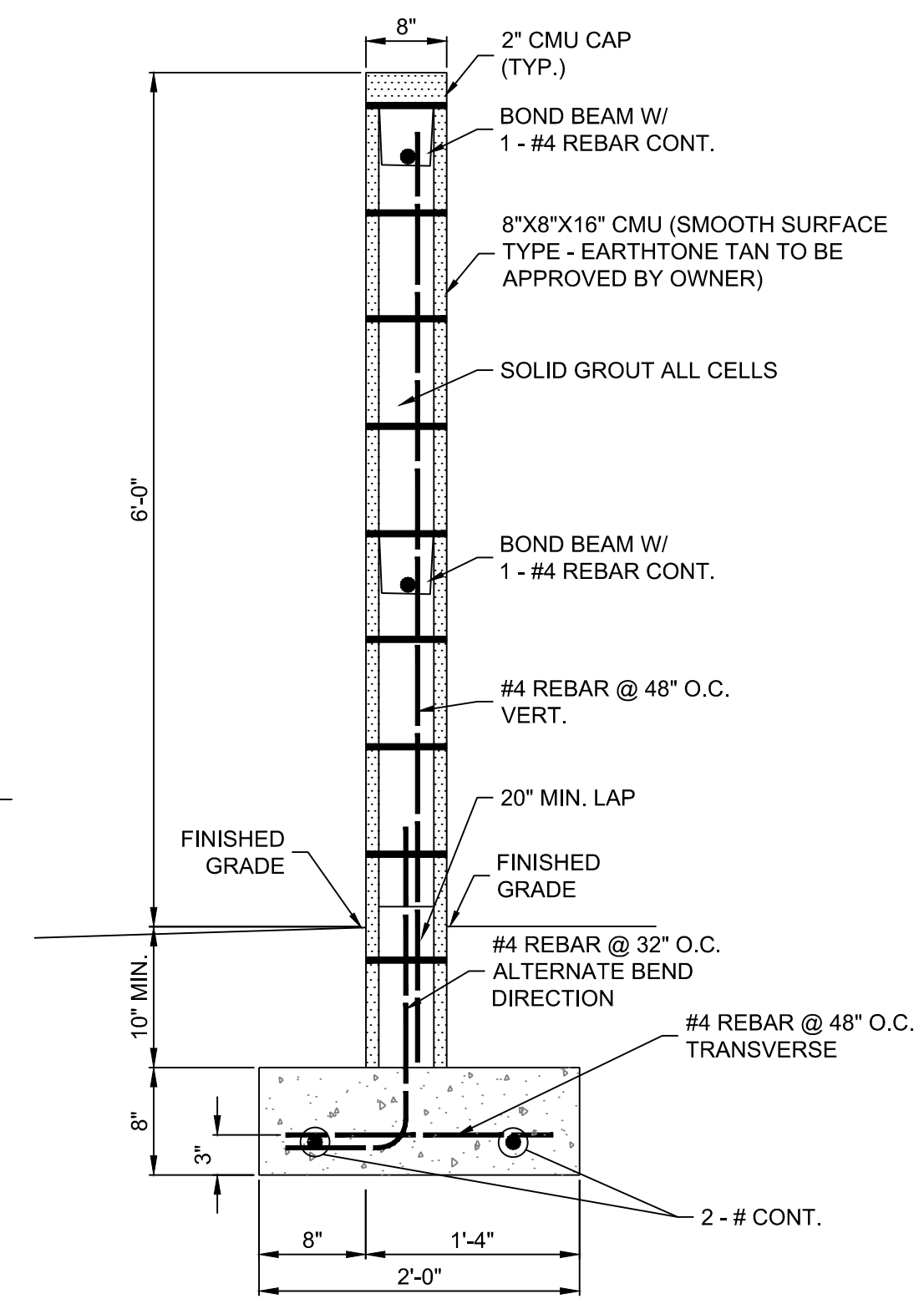
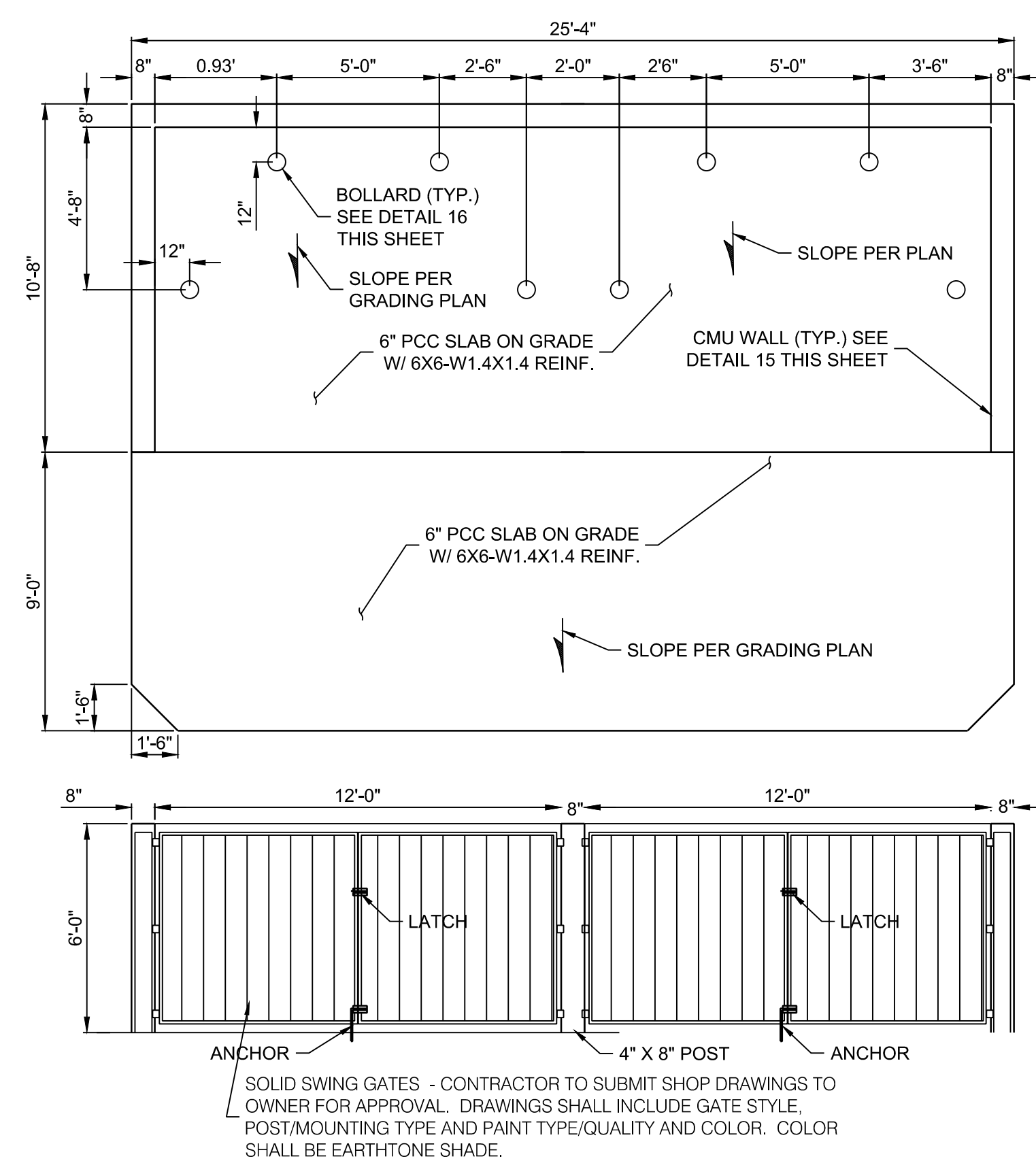
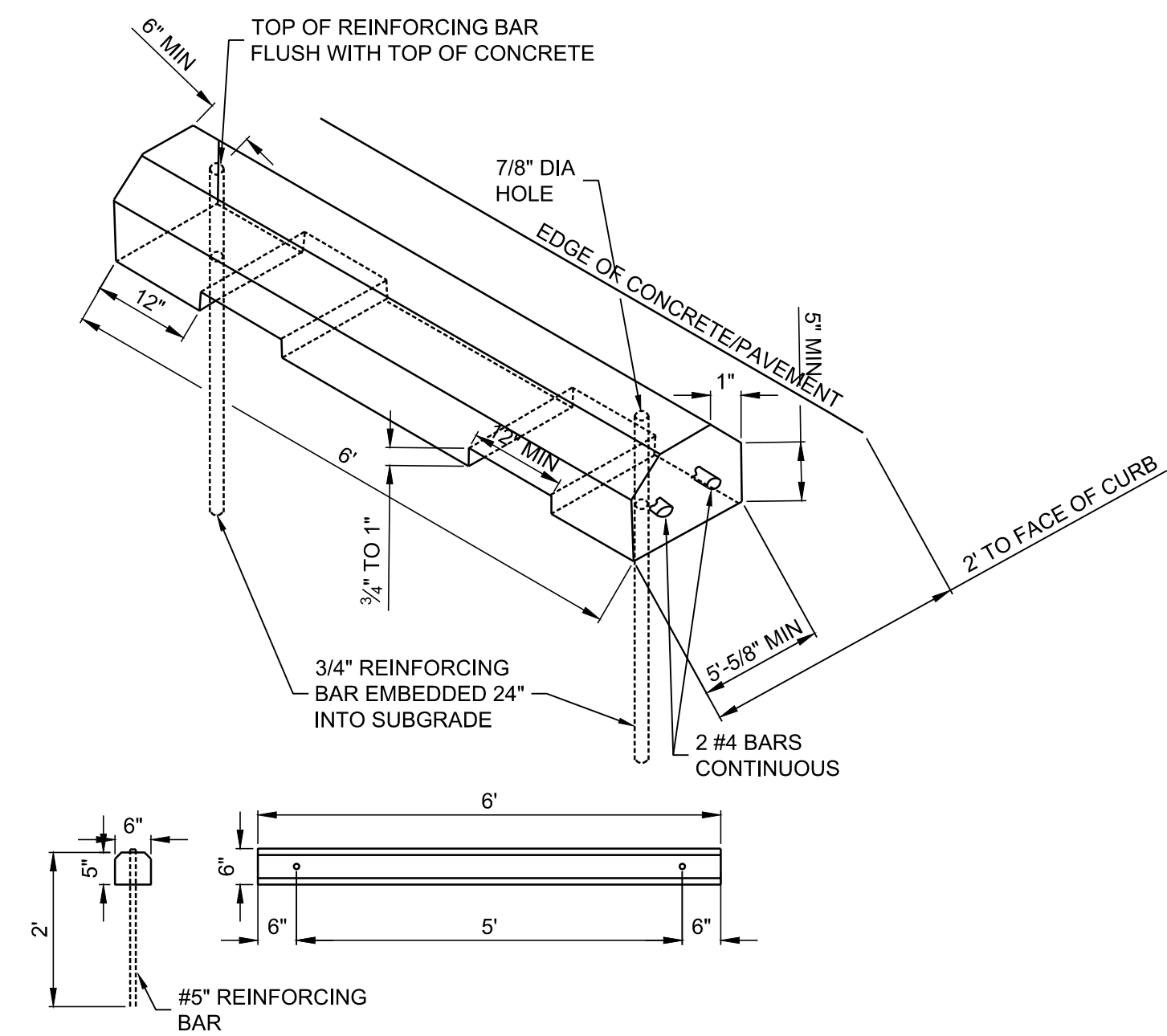
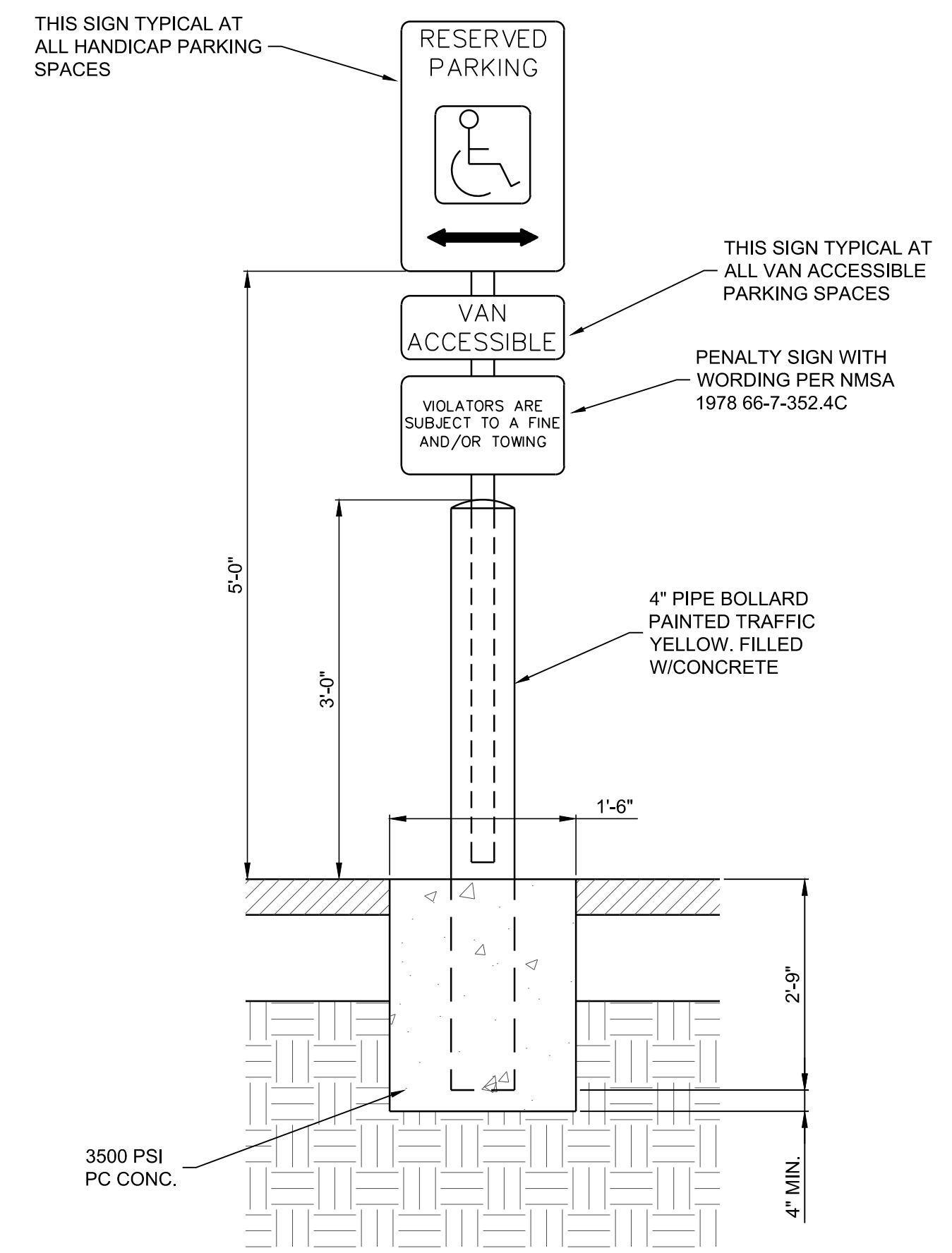
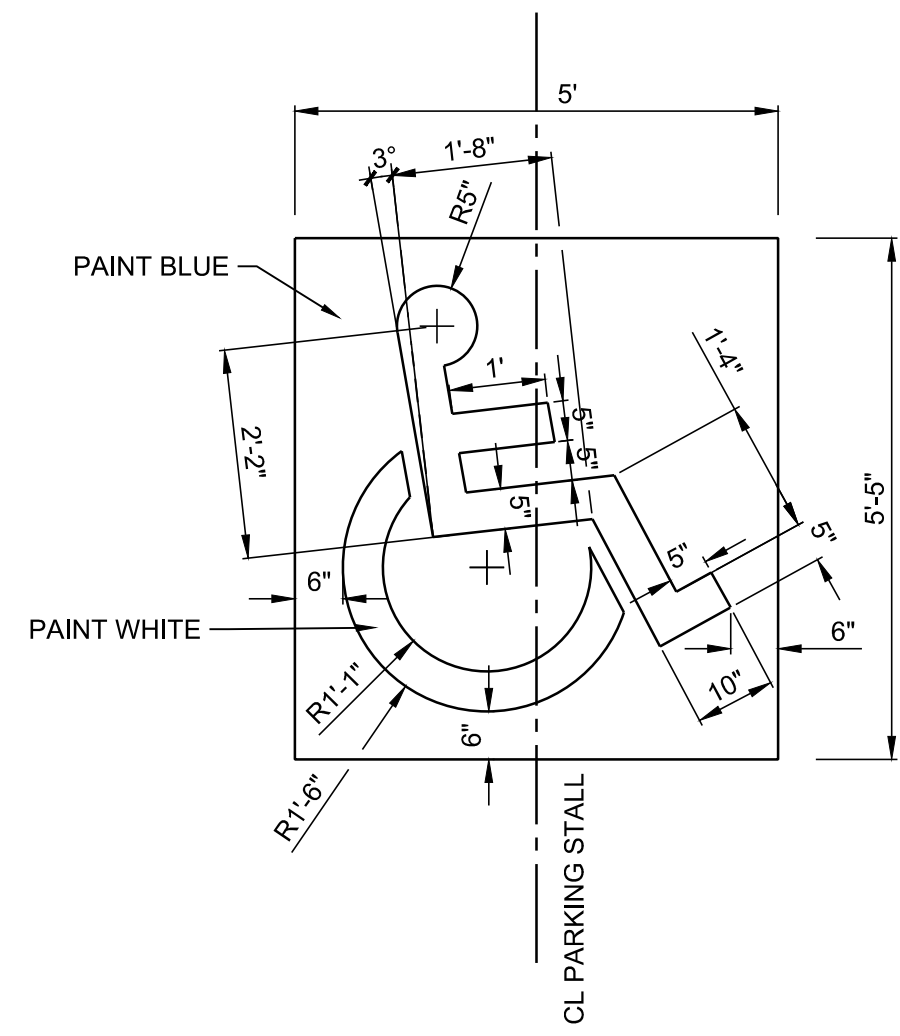
REVIEW


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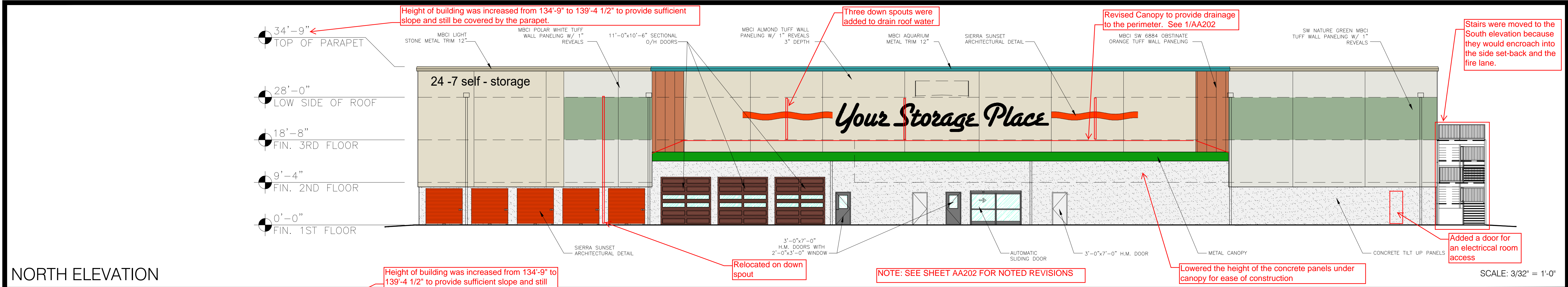
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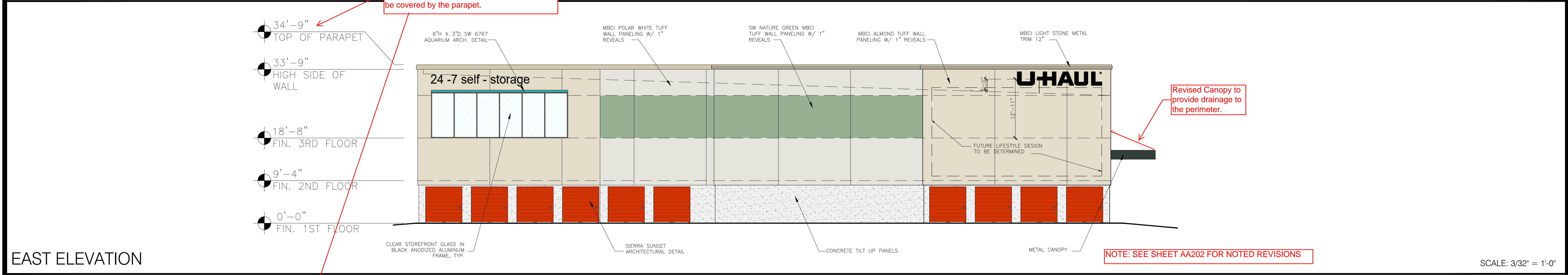
- GENERAL NOTES: ACCESSIBLE PARKING, RAMPS AND SIDEWALK**
- CURB RAMPS MUST CONTAIN A DETECTABLE WARNING SURFACE THAT CONSISTS OF RAISED TRUNCATED DOMES COMPLYING WITH ADA REGULATIONS. THE SURFACE MUST CONTRAST VISUALLY WITH ADJOINING SURFACES, INCLUDING SIDE FLARES. FURNISH DARK BROWN OR DARK RED DETECTABLE WARNING SURFACE ADJACENT TO UNCOLORED CONCRETE, UNLESS SPECIFIED ELSEWHERE IN THE PLANS.
 - DETECTABLE WARNING SURFACES MUST BE SLIP RESISTANT AND NOT ALLOW WATER TO ACCUMULATE.
 - ALIGN TRUNCATED DOMES IN THE DIRECTION OF PEDESTRIAN TRAVEL WHEN ENTERING THE STREET.
 - SHADED AREAS SHOWN ON PLANS ARE THE APPROXIMATE LOCATION FOR THE DETECTABLE WARNING SURFACE FOR EACH CURB RAMP TYPE.
 - DETECTABLE WARNING SURFACES SHALL BE A MINIMUM OF 24" IN DEPTH IN THE DIRECTION OF PEDESTRIAN TRAVEL, AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR LANDING WHERE THE PEDESTRIAN ACCESS ROUTE ENTERS THE STREET.
 - DETECTABLE WARNING SURFACES SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB LINE IS A MINIMUM OF 6" AND A MAXIMUM OF 10" FROM THE EXTENSION OF THE FACE OF CURB. DETECTABLE WARNING SURFACES MAY BE CURVED ALONG THE CORNER RADIUS.
 - MAXIMUM ALLOWABLE CROSS SLOPE ON SIDEWALK AND CURB RAMP SURFACES IS 2%.
 - MAXIMUM ALLOWABLE SLOPE IN ACCESSIBLE PARKING AREAS INCLUDING LOADING AND UNLOADING ZONE IS 2% ON SIDEWALK AND CURB RAMP SURFACES IS 2% IN ANY DIRECTION.
 - MAXIMUM ALLOWABLE SLOPE OF AN ACCESSIBLE RAMP IN THE DIRECTION OF PEDESTRIAN TRAVEL IS 1:12, OR 1 VERTICAL INCREMENT FOR EACH 12 HORIZONTAL INCREMENTS. RAMP SHOWN ON PLAN IS TO BE EXTENDED AS REQUIRED TO PROVIDE NO MORE THAN THE ALLOWABLE SLOPE.
 - THE LANDING AT THE TOP AND BOTTOM OF EACH RAMP SHALL PROVIDE A MINIMUM 5' X 5' AREA WITH A SLOPE NO GREATER THAN 2% IN ANY DIRECTION.
 - ALL STRIPING FOR ACCESSIBLE SPACES TO BE "ACCESSIBLE BLUE" IN COLOR.
 - "NO PARKING" LETTERS TO BE ONE FOOT HIGH BY 4 INCHES WIDE (MIN).



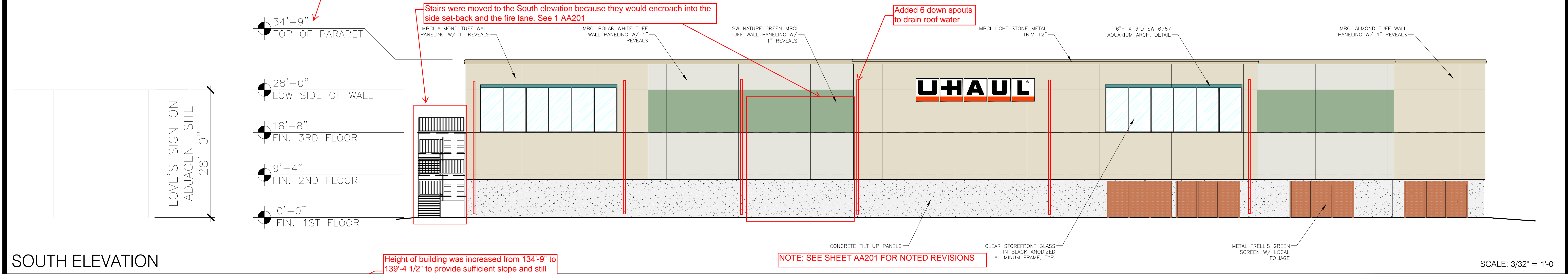
DESIGNED BY: J.L.	DRAWN BY: J.M.T.	CHECKED BY: J.M.T.	DATE: 9.10.2019
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PROJECT NAME:		UHAUL 4TH ST & I-40	
SHEET TITLE:		TYPICAL SITE DETAILS	
SUBMITTED FOR:		REVIEW	
SHEET NUMBER:		C 501	



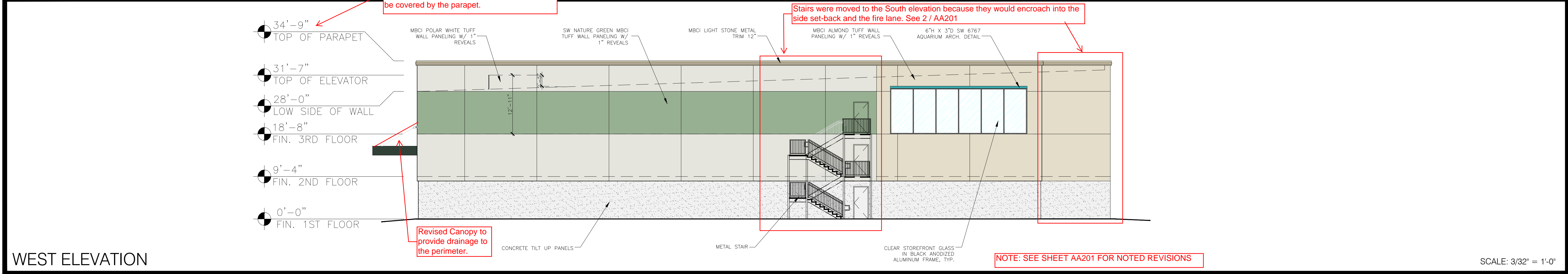
NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

SHEET NOTES:

NO.	DATE	INITIALS	NOTES
1	08/15/19	MM	REVISED ELEVATIONS
2	09/23/19	MM	REVISED ELEVATIONS
3			
4			
5			
6			
7			
8			

REVISIONS:

PROFESSIONAL SEAL:

PRELIMINARY DOCUMENTS. NOT FOR CONSTRUCTION. FOR INFORMATION ONLY.

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AMERCO REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT
2727 NORTH CENTRAL AVENUE
PHOENIX, ARIZONA 85004
P: (602) 263-6502

SITE ADDRESS:
U-HAUL OF WESTSIDE
2217 4TH ST NW
ALBUQUERQUE, NM 87102

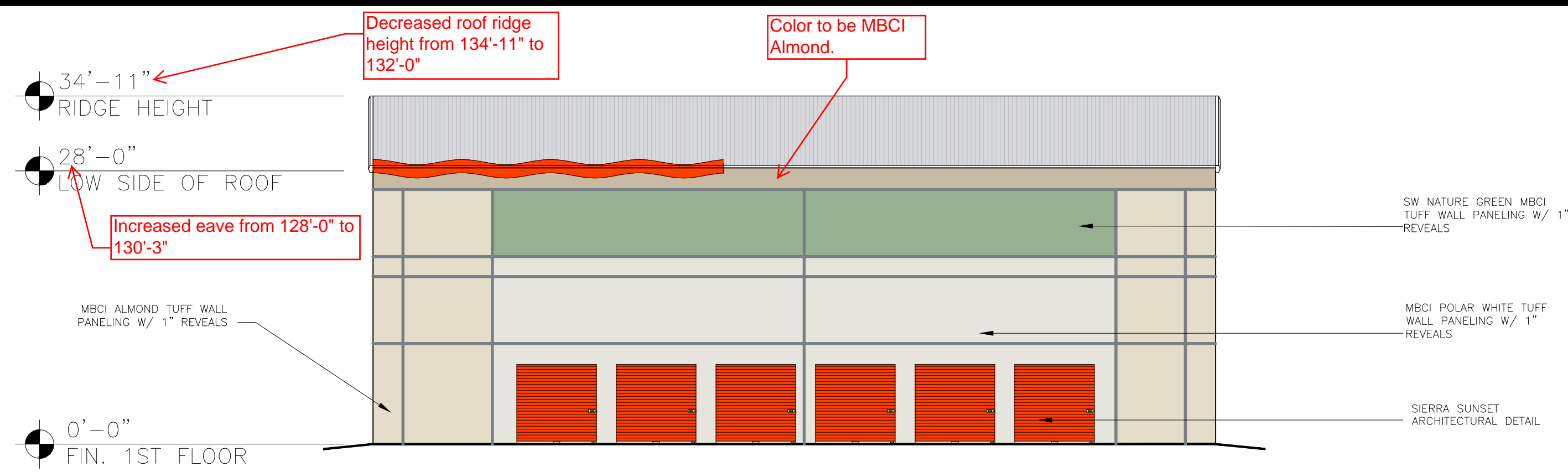
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724077

DRAWN: MM
CHECKED: NH
DATE: 06/04/2019

EV-1

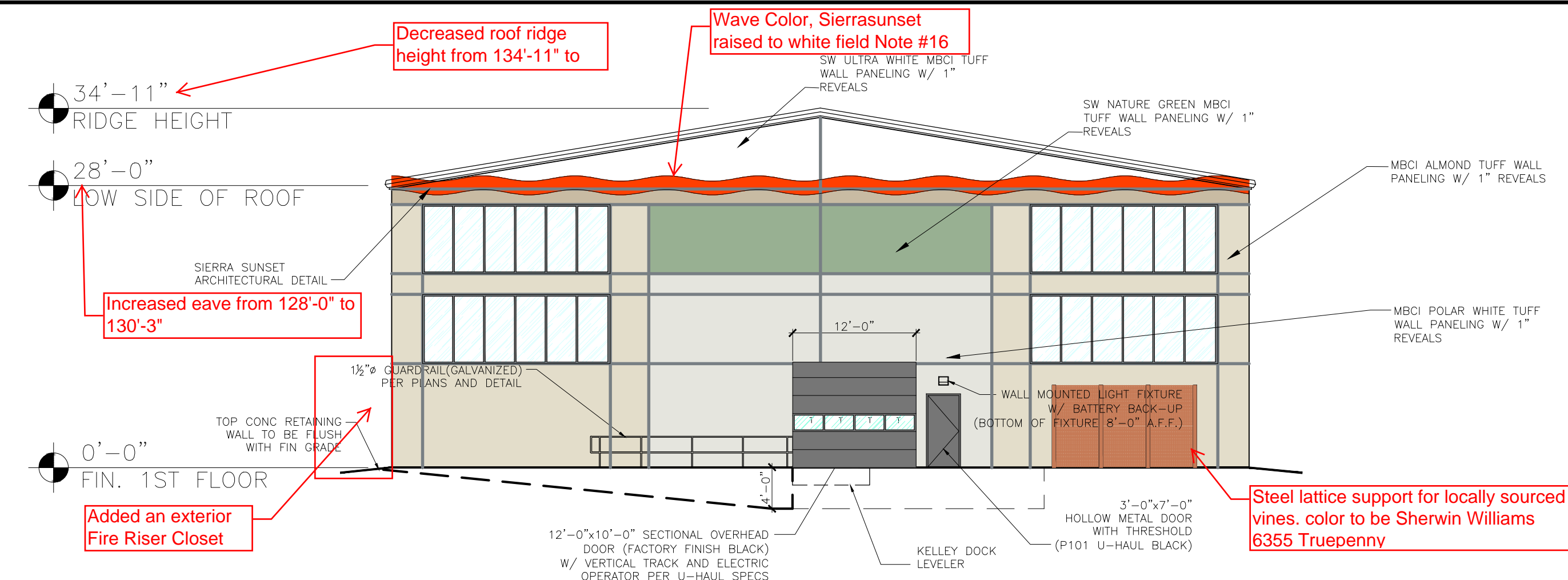
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NOTE: SEE SHEET AB201 FOR NOTED REVISIONS

WEST ELEVATION

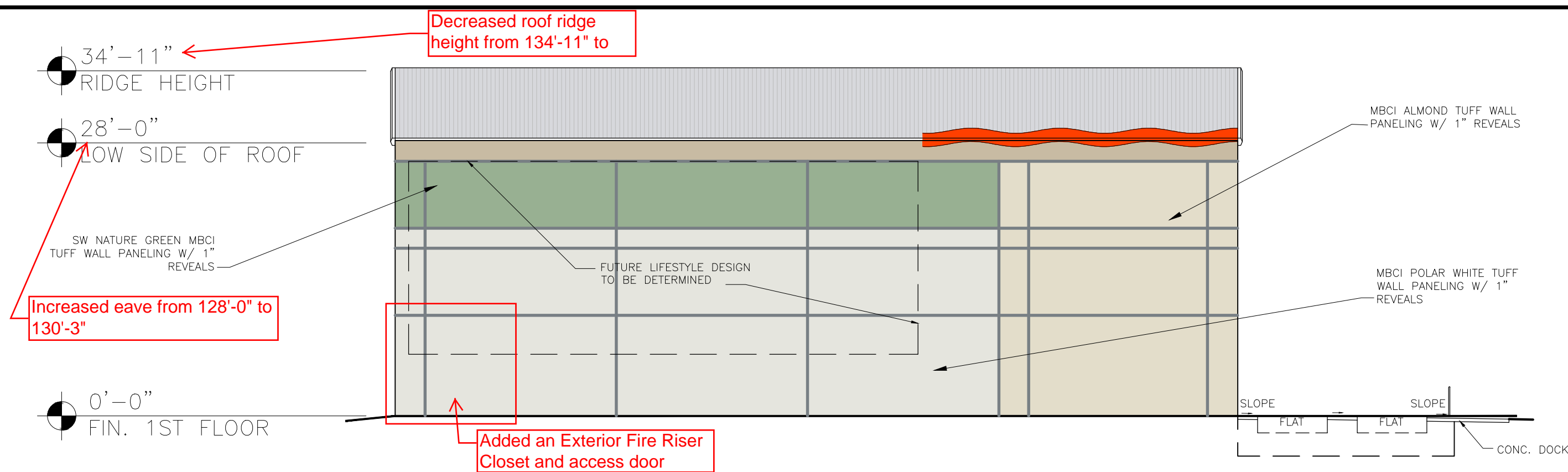
SCALE: 3/32" = 1'-0"



NOTE: SEE SHEET AB201 FOR NOTED REVISIONS

NORTH ELEVATION

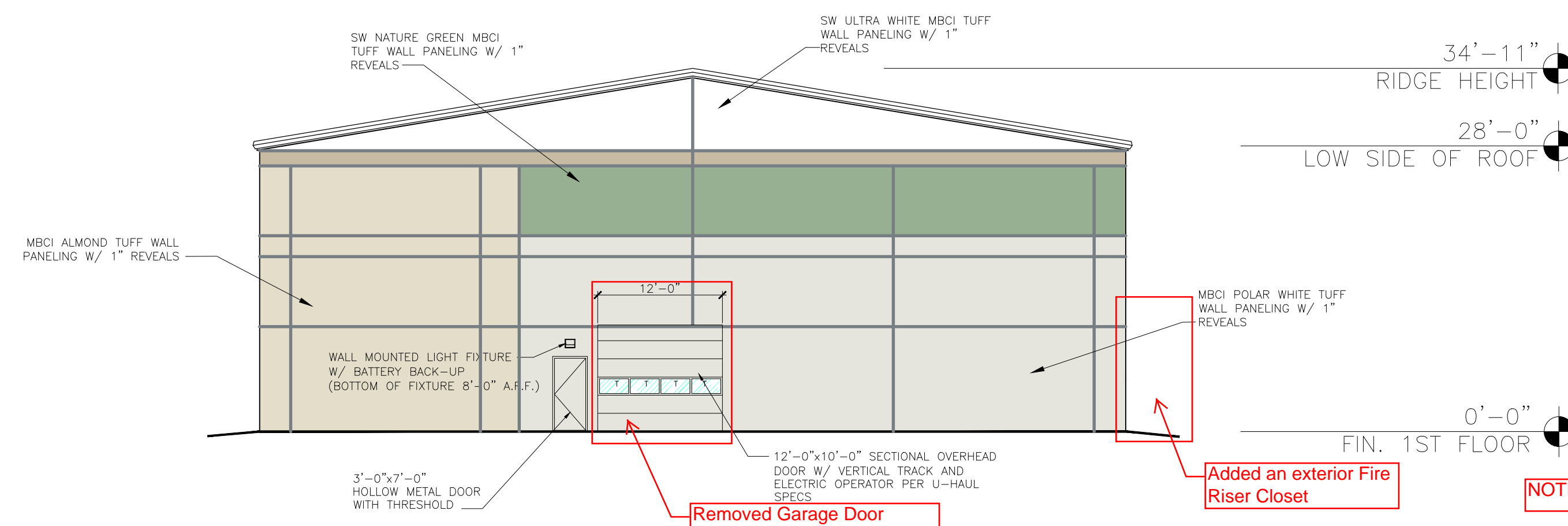
SCALE: 3/32" = 1'-0"



NOTE: SEE SHEET AB201 FOR NOTED REVISIONS

EAST ELEVATION

SCALE: 3/32" = 1'-0"



NOTE: SEE SHEET AB201 FOR NOTED REVISIONS

SOUTH ELEVATION

SCALE: 3/32" = 1'-0"

SHEET NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1	08/15/19	MM	REVISED ELEVATIONS
2	09/23/19	MM	REVISED ELEVATIONS
3			
4			
5			
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7			
8			

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ALBUQUERQUE, NM 87102

SHEET CONTENTS:
PROPOSED
U-BOX ELEVATIONS

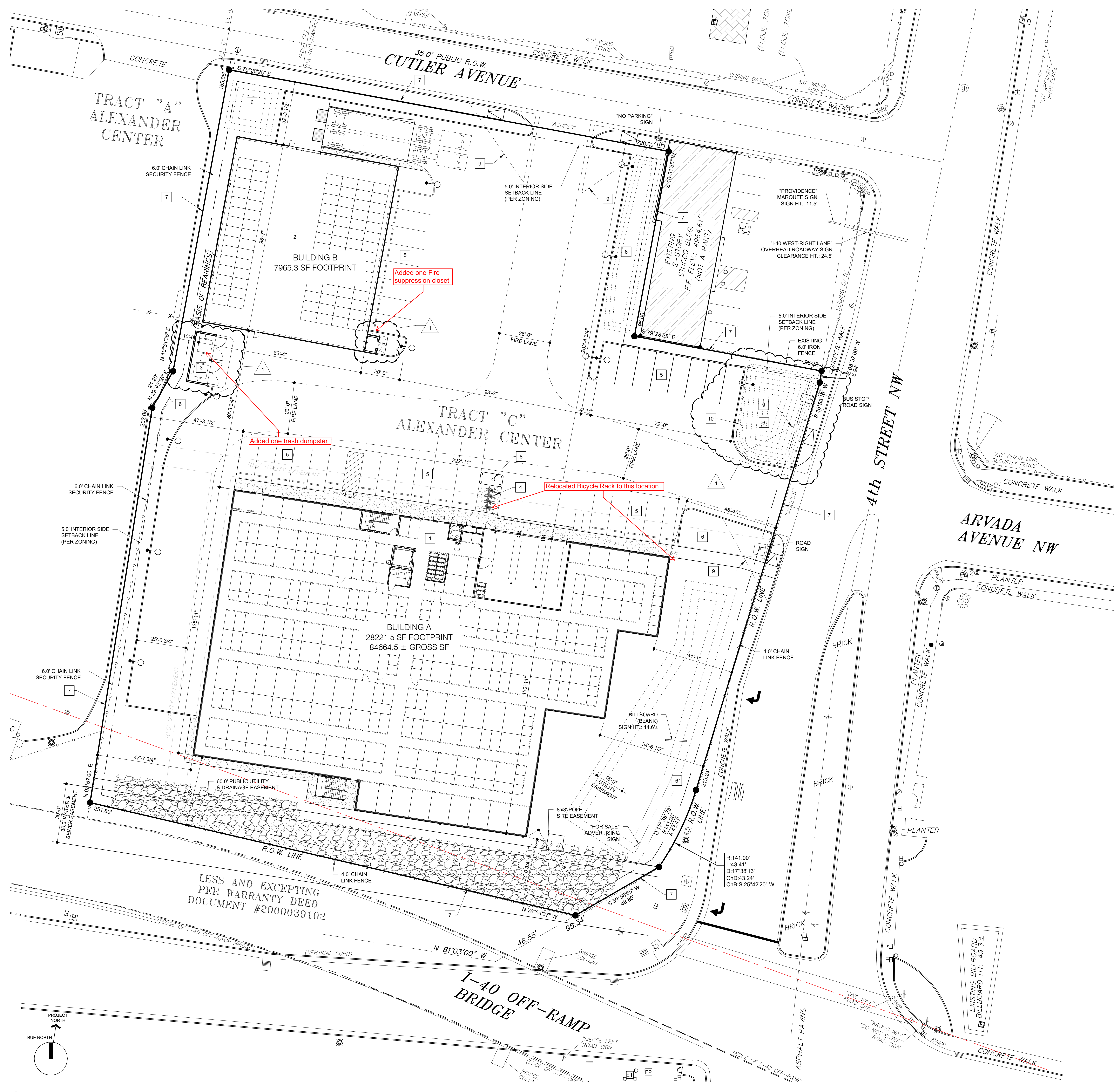
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DRAWN: MM
CHECKED: NH
DATE: 06/04/2019

EV-2

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GENERAL NOTES

- REFER TO APPROVED DEVELOPMENT PLAN FOR SETBACK REQUIREMENTS.
- REFER TO CIVIL DRAWINGS FOR DEMOLITION OF EXISTING IMPROVEMENTS, NEW SITE IMPROVEMENTS, OFF-SITE IMPROVEMENTS, BUILDING LAYOUT, SETBACKS, PAVING, AND SITE UTILITIES.
- REFER TO LANDSCAPE DRAWINGS FOR IRRIGATION AND LANDSCAPING.
- REFER TO PLUMBING DRAWINGS FOR UTILITY CONNECTIONS.
- REFER TO ELECTRICAL DRAWINGS FOR SITE LIGHTING, SPECIALTY CONDUITS ETC.

SITE KEYNOTES

- 1 BUILDING A
- 2 BUILDING B
- 3 DUMPSTER, SEE DETAIL 2/A_002
- 4 BIKE RACK, SEE DETAIL 1/A_002
- 5 PARKING SPACE
- 6 LANDSCAPE
- 7 PROPERTY LINE
- 8 FIRE HYDRANT
- 9 35' x 35' SIGHT TRIANGLE
- 10 4' HIGH CHAINLINK, 9 GA. PAINTED DARK GREEN, WITH 3" WIDE PEDESTRIAN GATE. PROVIDE 12"Ø x 24" DEEP CONC. PIERS @ ALL POST.

PARKING REQUIREMENTS:

REQUIRED: 31 SPACES ARE REQUIRED 2 HANDICAPPED, 1 VAN ACCESSIBLE

PARKING REQUIREMENT: PER TABLE 5-5-1:
 OFF STREET PARKING REQUIREMENTS, WHOLESALING & STORAGE, WAREHOUSING, PROVIDE 1 SPACE PER 3,000 SF OF THE TOTAL GROSS AREA OF BUILDING.

BICYCLE PARKING REQUIREMENT: PER TABLE 5-5-5:
 NON-RESIDENTIAL USES: 3 SPACES OR 10% OF REQUIRED OFF-STREET PARKING SPACES WHICH EVER IS GREATER. THEREFORE ON THIS PROJECT WE NEED A MINIMUM OF 3.

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 Albuquerque, NM 87102
 Telephone: 505-883-8989 Fax: 505-886-1165
 Web address: lloyd-architects.com



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2217 4TH STREET NW, Albuquerque, NM 87102

Current Status: CONSTRUCTION DOCUMENT

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NO.	DESCRIPTION	DATE
1	REVISED	09.18.20

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Checked by: TC

Date: 05-11-2020

Sheet Title: SITE PLAN

Job Number: 1930

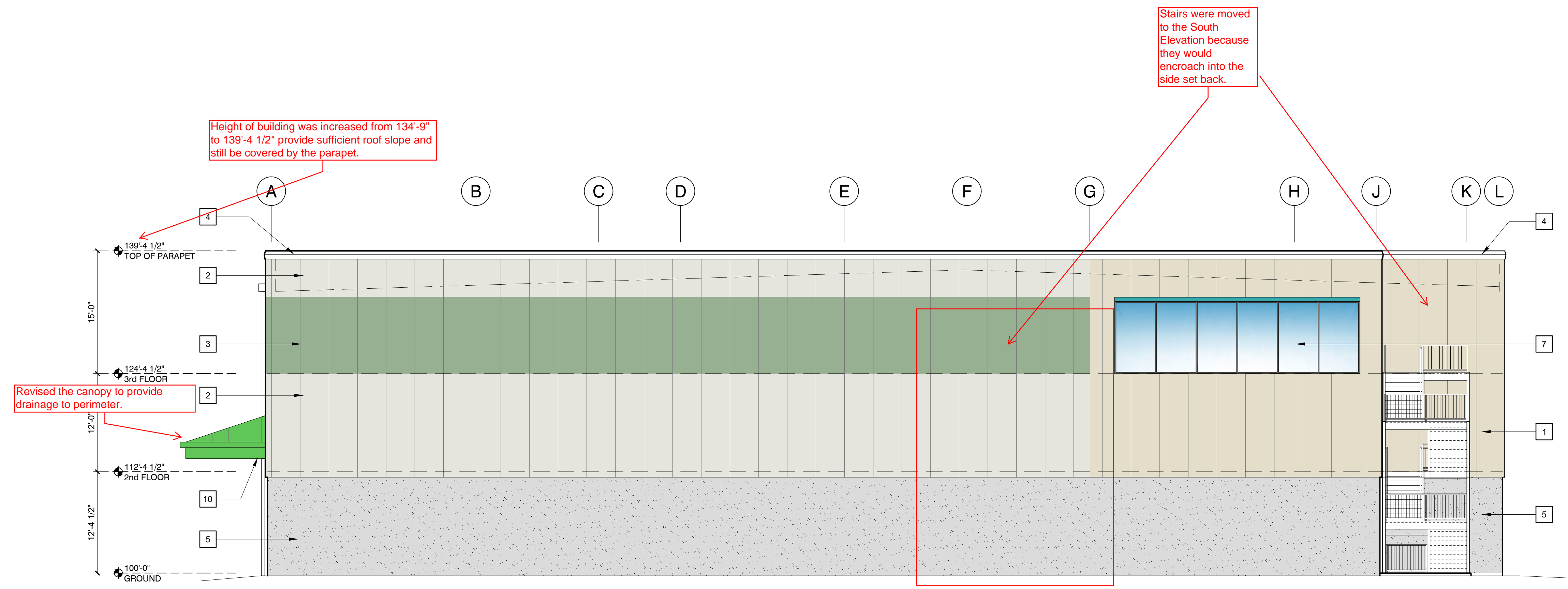
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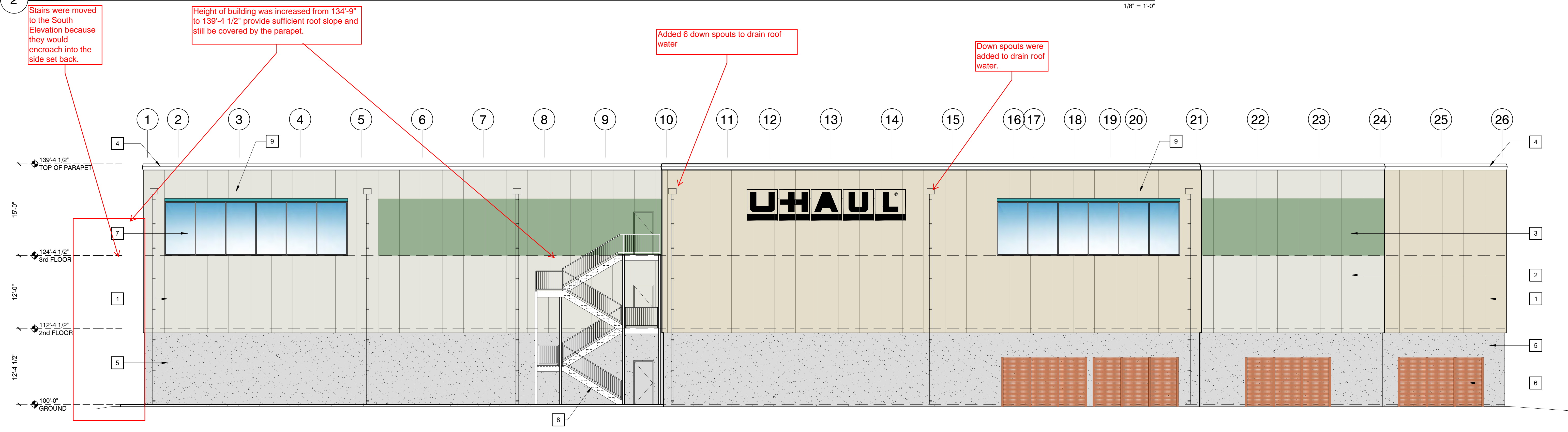
EXTERIOR ELEVATION NOTES:

EXTERIOR KEYNOTES:

- 1 KINGSPAN WALL PANEL SYSTEM, COLOR: ALMOND TUFF
- 2 KINGSPAN WALL PANEL SYSTEM, COLOR: POLAR WHITE TUFF
- 3 KINGSPAN WALL PANEL SYSTEM, COLOR: SW NATURE GREEN
- 4 KINGSPAN METAL TRIM, COLOR LIGHT STONE
- 5 CONCRETE TILT UP PANELS, BROOM FINISH
- 6 METAL TRELLIS GREEN SCREEN W/ LOCAL FOLIAGE
- 7 CLEAR STOREFRONT GLASS IN BLACK ANODIZED ALUMINUM FRAME, TYP.
- 8 STEEL STAIRCASE, COLOR: GREY
- 9 6" X 3" SW 6767 AQUARIUM ARCH. DETAIL
- 10 METAL CANOPY, COLOR:
- 11 KINGSPAN WALL PANEL SYSTEM, SW 6884 OBSTINATE ORANGE TUFF
- 12 SIERRA SUNSET ARCHITECTURAL DETAIL
- 13 DECORATIVE DOOR, SEE SCHEDULE
- 14 ROLL UP DOOR, SEE SCHEDULE
- 15 HOLLOW METAL DOOR, SEE SCHEDULE
- 16 KINGSPAN WALL PANEL SYSTEM, COLOR: SW ULTRA WHITE
- 17 KINGSPAN WALL PANEL SYSTEM, COLOR: ????
- 18 FUTURE LIFESTYLE DESIGN TO BE DETERMINED
- 19 KNOX BOX. VERIFY WITH ASJ FOR EXACT LOCATION OF MOUNTING.

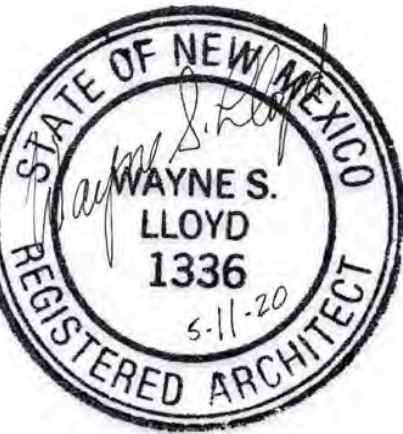


2 (BLDG A) WEST ELEVATION



1 (BLDG A) SOUTH ELEVATION

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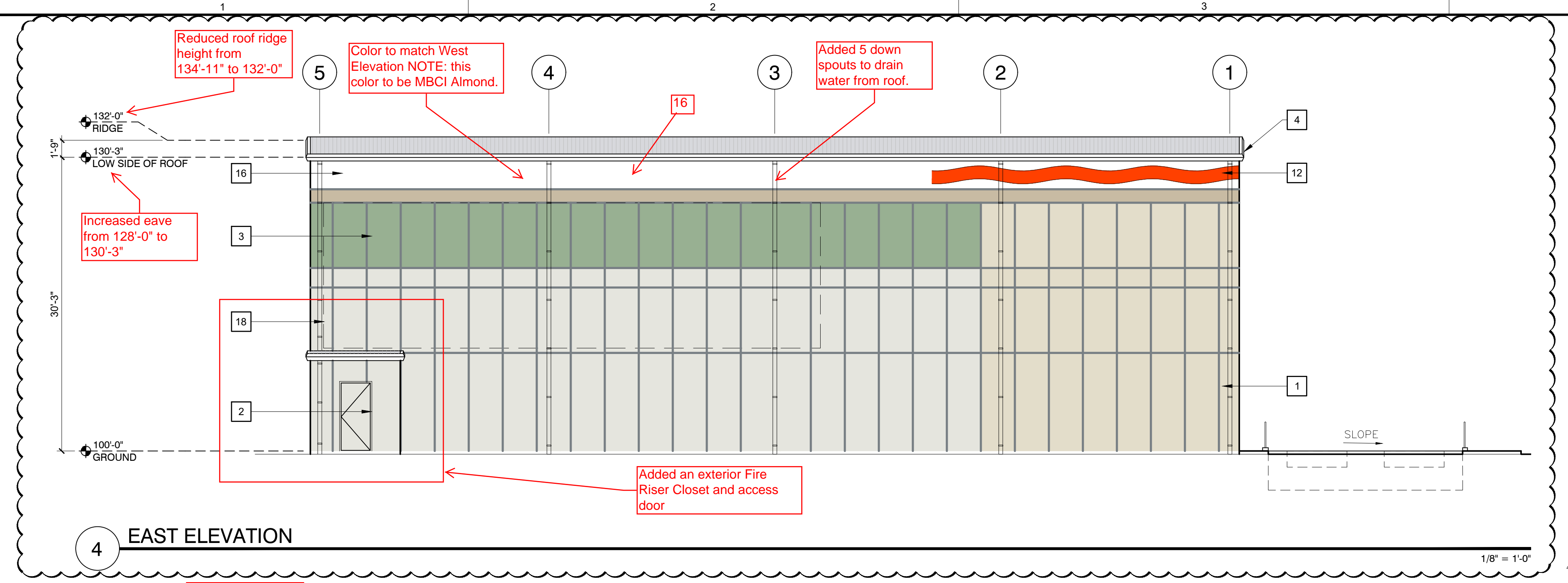
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ELEVATIONS

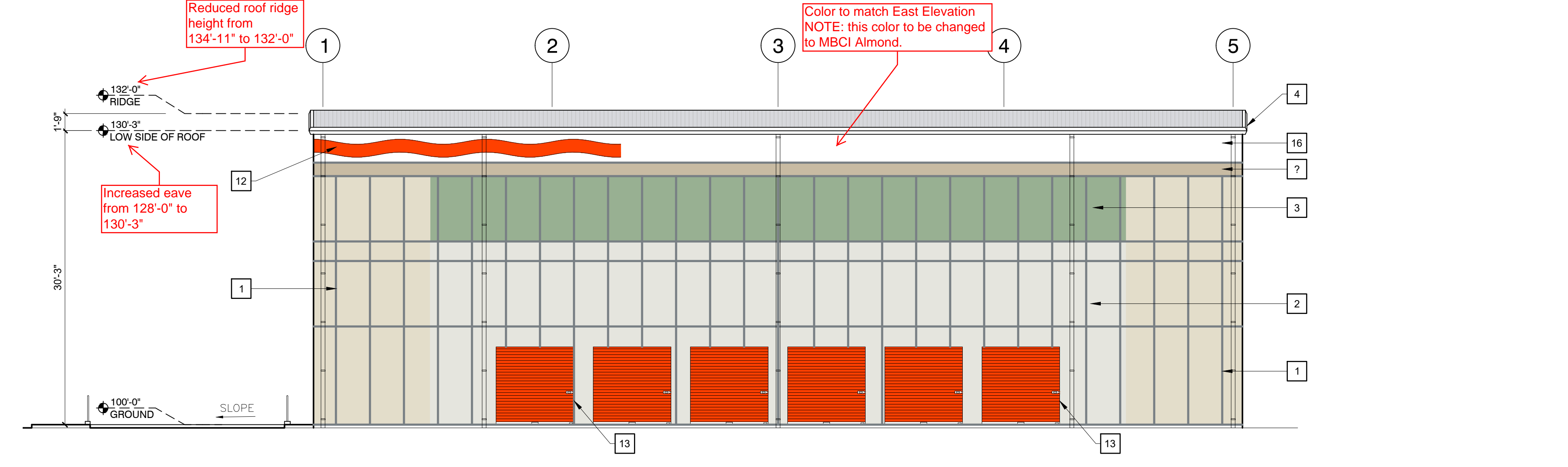
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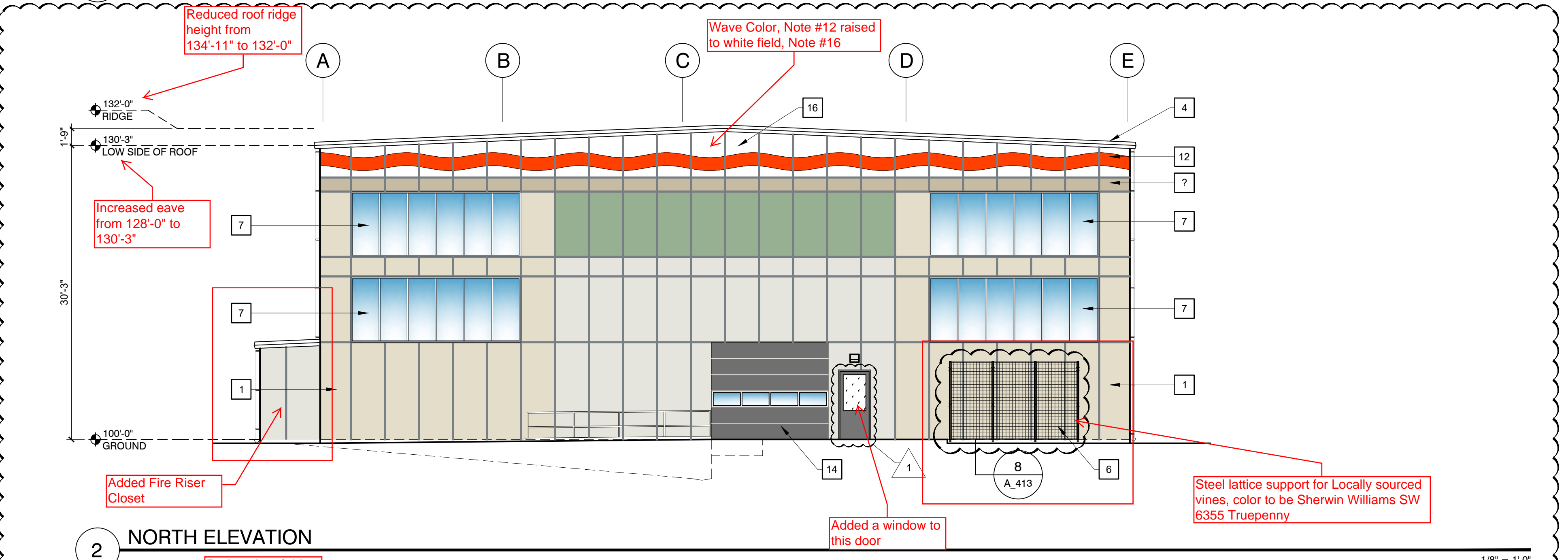
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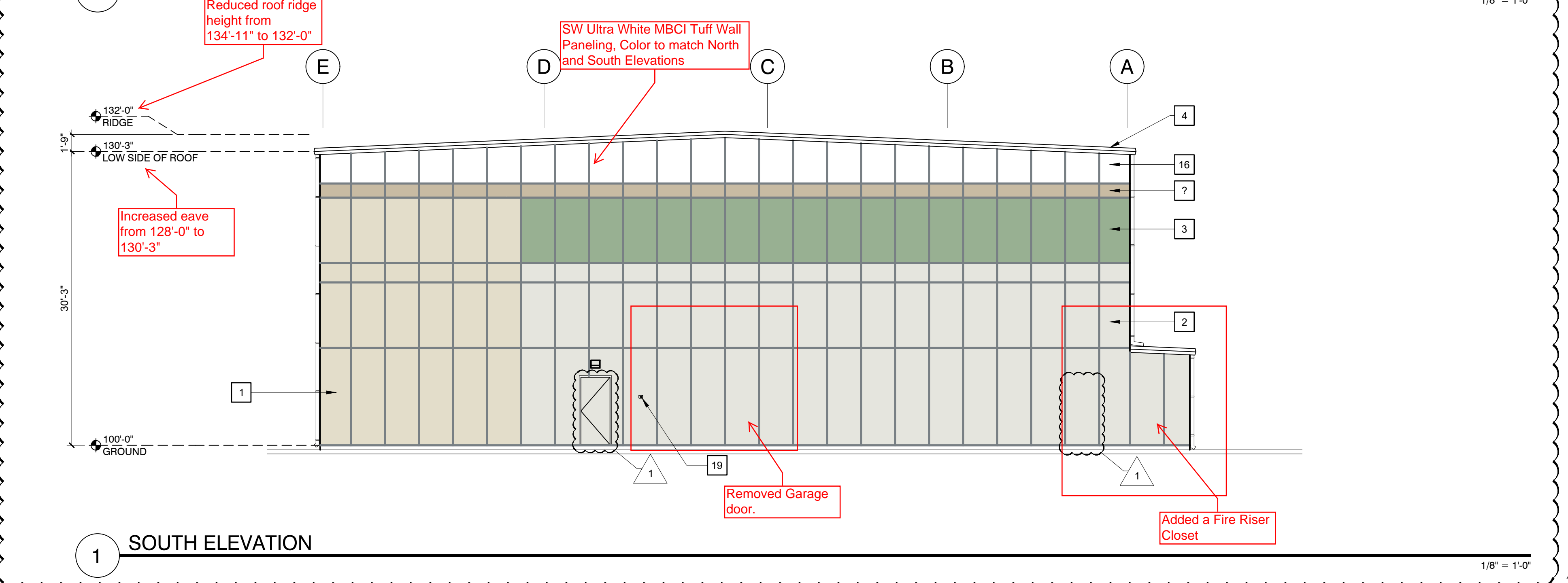
4 EAST ELEVATION



3 WEST ELEVATION



2 NORTH ELEVATION



1 SOUTH ELEVATION

EXTERIOR ELEVATION NOTES:

EXTERIOR KEYNOTES:

- 1 KINGSPAN WALL PANEL SYSTEM 3" THICK, COLOR: ALMOND TUFF
- 2 KINGSPAN WALL PANEL SYSTEM 3" THICK, COLOR: POLAR WHITE TUFF
- 3 KINGSPAN WALL PANEL SYSTEM 3" THICK, COLOR: SW NATURE GREEN
- 4 KINGSPAN METAL TRIM, COLOR LIGHT STONE
- 5 CONCRETE TILT UP PANELS, BROOM FINISH
- 6 METAL TRELLIS GREEN SCREEN W/ LOCAL FOLIAGE
- 7 CLEAR STOREFRONT GLASS IN BLACK ANODIZED ALUMINUM FRAME, TYP.
- 8 STEEL STAIRCASE, COLOR: GREY
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- 10 METAL CANOPY, COLOR:
- 11 KINGSPAN WALL PANEL SYSTEM, SW 6884 OBSTINATE ORANGE TUFF
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- 15 HOLLOW METAL DOOR, SEE SCHEDULE
- 16 KINGSPAN WALL PANEL SYSTEM, COLOR: SW ULTRA WHITE
- 17 KINGSPAN WALL PANEL SYSTEM, COLOR: TBD
- 18 FUTURE LIFESTYLE DESIGN TO BE DETERMINED
- 19 KNOX BOX, VERIFY WITH ASJ FOR EXACT LOCATION OF MOUNTING.

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U-HAUL OF WESTSIDE

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Current Status:
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1	REVISED	09.18.20

Drawn by: RL
Checked by: TC
Date: 05-11-2020

Sheet Title:
**(BLDG. B)
ELEVATIONS**

Job Number: 1930

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AB201

EXTERIOR ELEVATION NOTES:

EXTERIOR KEYNOTES:

- 1 KINGSPAN WALL PANEL SYSTEM, COLOR: ALMOND TUFF
- 2 KINGSPAN WALL PANEL SYSTEM, COLOR: POLAR WHITE TUFF
- 3 KINGSPAN WALL PANEL SYSTEM, COLOR: SW NATURE GREEN
- 4 KINGSPAN METAL TRIM, COLOR: LIGHT STONE
- 5 CONCRETE TILT UP PANELS, BROOM FINISH
- 6 METAL TRELLIS GREEN SCREEN W/ LOCAL FOLIAGE
- 7 CLEAR STOREFRONT GLASS IN BLACK ANODIZED ALUMINUM FRAME, TYP.
- 8 STEEL STAIRCASE, COLOR: GREY
- 9 6" X 3" SW 6767 AQUARIUM ARCH. DETAIL
- 10 METAL CANOPY, COLOR:
- 11 KINGSPAN WALL PANEL SYSTEM, SW 6884 OBSTINATE ORANGE TUFF
- 12 SIERRA SUNSET ARCHITECTURAL DETAIL
- 13 DECORATIVE DOOR, SEE SCHEDULE
- 14 ROLL UP DOOR, SEE SCHEDULE
- 15 HOLLOW METAL DOOR, SEE SCHEDULE
- 16 KINGSPAN WALL PANEL SYSTEM, COLOR: SW ULTRA WHITE
- 17 KINGSPAN WALL PANEL SYSTEM, COLOR: ????
- 18 FUTURE LIFESTYLE DESIGN TO BE DETERMINED
- 19 KNOX BOX, VERIFY WITH ASJ FOR EXACT LOCATION OF MOUNTING.

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U-HAUL OF WESTSIDE

2217 4TH STREET NW, Albuquerque, NM 87102

Current Status:
CONSTRUCTION DOCUMENT

REVISIONS	

Drawn by: RL
Checked by: TC

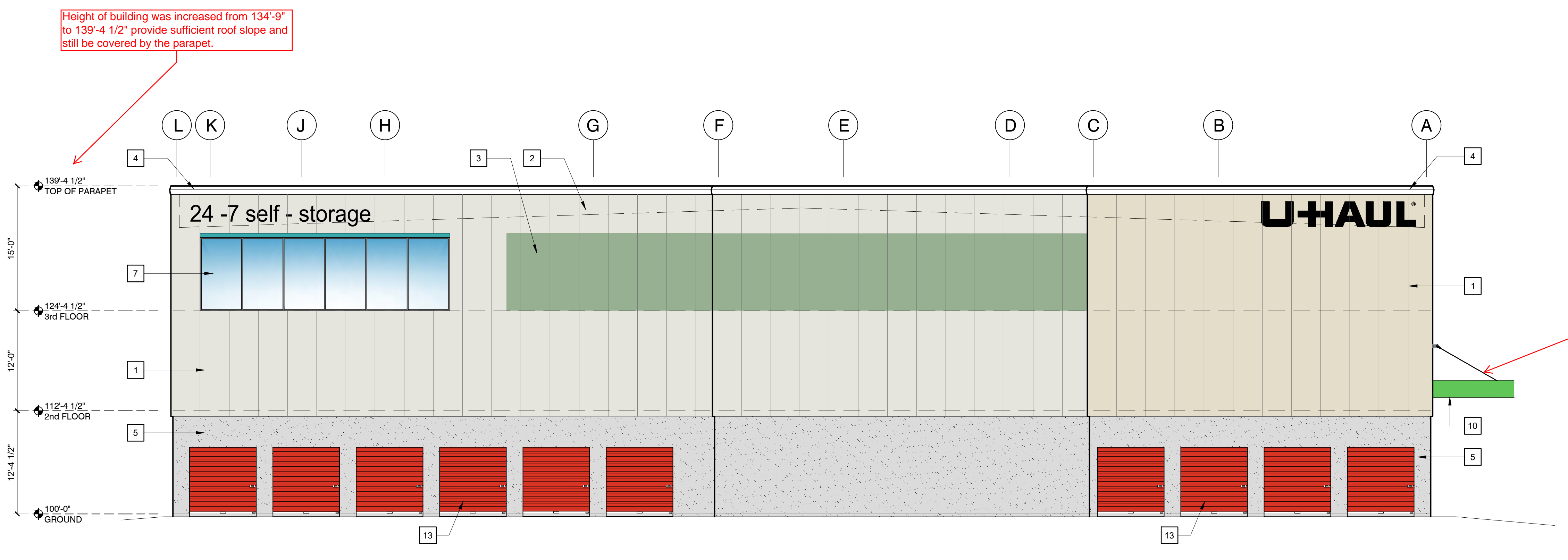
Date: 05-11-2020

Sheet Title:
**(BLDG. A)
ELEVATIONS**

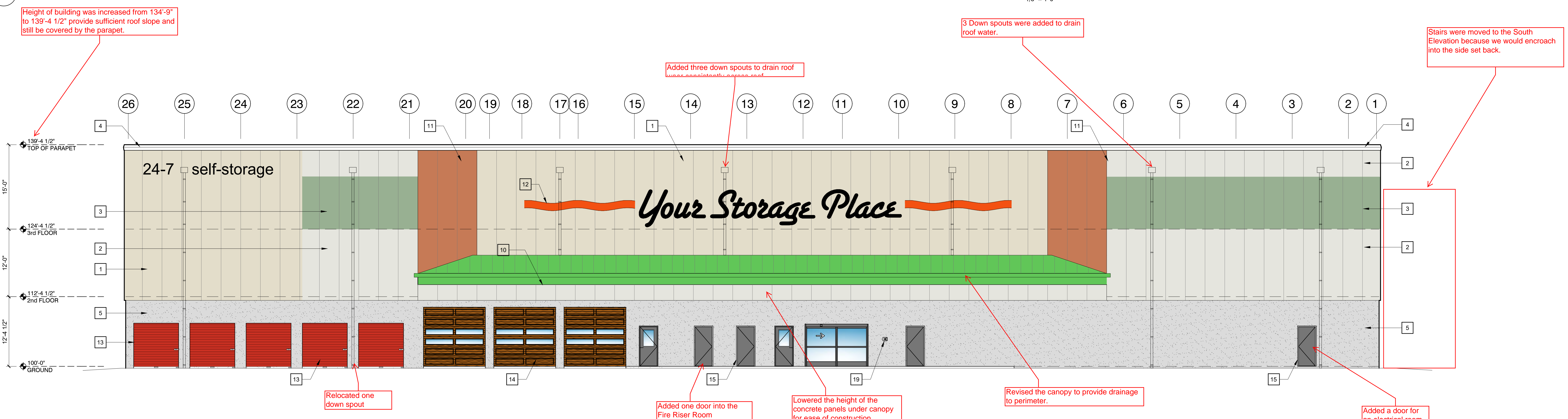
Job Number: 1930

Sheet No.

AA202

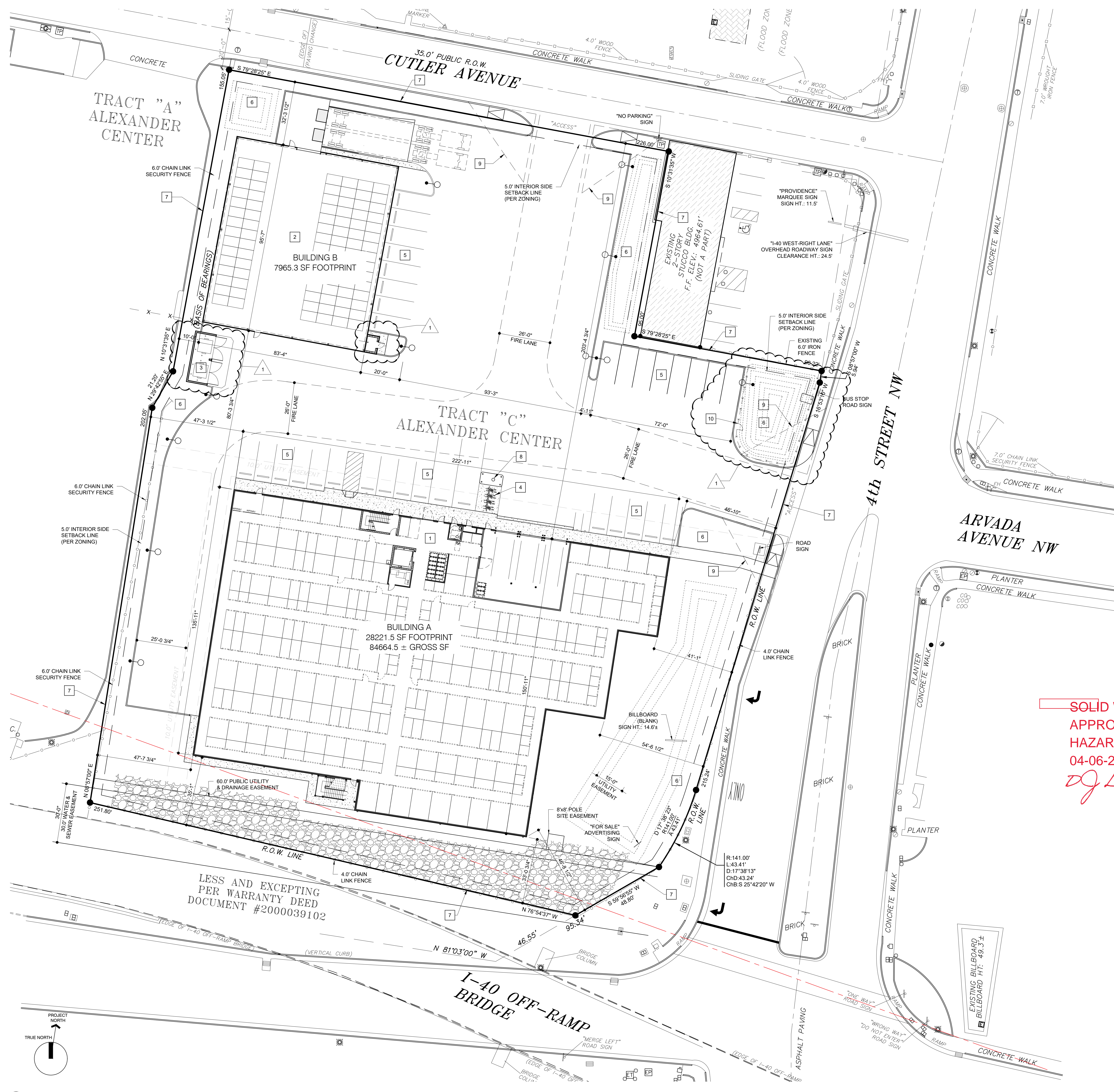


2 (BLDG A) EAST ELEVATION



1 (BLDG A) NORTH ELEVATION

PLOT DATE: 8/4/2020
FILENAME: X:\1930 U-Haul\ABDC\A04_ARCH\ SHEET1930_AA202.dwg



GENERAL NOTES

1. REFER TO APPROVED DEVELOPMENT PLAN FOR SETBACK REQUIREMENTS.
2. REFER TO CIVIL DRAWINGS FOR DEMOLITION OF EXISTING IMPROVEMENTS, NEW SITE IMPROVEMENTS, OFF-SITE IMPROVEMENTS, BUILDING LAYOUT, SETBACKS, PAVING, AND SITE UTILITIES.
3. REFER TO LANDSCAPE DRAWINGS FOR IRRIGATION AND LANDSCAPING.
4. REFER TO PLUMBING DRAWINGS FOR UTILITY CONNECTIONS.
5. REFER TO ELECTRICAL DRAWINGS FOR SITE LIGHTING, SPECIALTY CONDUITS ETC.

SITE KEYNOTES

- 1 BUILDING A
- 2 BUILDING B
- 3 DUMPSTER, SEE DETAIL 2/A_002
- 4 BIKE RACK, SEE DETAIL 1/A_002
- 5 PARKING SPACE
- 6 LANDSCAPE
- 7 PROPERTY LINE
- 8 FIRE HYDRANT
- 9 35' x 35' SIGHT TRIANGLE
- 10 4' HIGH CHAINLINK, 9 GA. PAINTED DARK GREEN, WITH 3' WIDE PEDESTRIAN GATE. PROVIDE 12"Ø x 24" DEEP CONC. PIERS @ ALL POST.

PARKING REQUIREMENTS:

REQUIRED: 31 SPACES ARE REQUIRED 2 HANDICAPPED, 1 VAN ACCESSIBLE

PARKING REQUIREMENT: PER TABLE 5-5-1:
OFF STREET PARKING REQUIREMENTS, WHOLESALING & STORAGE, WAREHOUSING, PROVIDE 1 SPACE PER 3,000 SF OF THE TOTAL GROSS AREA OF BUILDING.

BICYCLE PARKING REQUIREMENT: PER TABLE 5-5-5:
NON-RESIDENTIAL USES: 3 SPACES OR 10% OF REQUIRED OFF-STREET PARKING SPACES WHICH EVER IS GREATER. THEREFORE ON THIS PROJECT WE NEED A MINIMUM OF 3.

**SOLID WASTE DEPARTMENT
APPROVED FOR ACCESS
HAZARD ROUTE ONLY
04-06-2021
DJ Laskowski**

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U-HAUL OF WESTSIDE

2217 4TH STREET NW, Albuquerque, NM 87102

Current Status: CONSTRUCTION DOCUMENT

REVISIONS		
1	REVISED	09.18.20

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Job Number: 1930

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