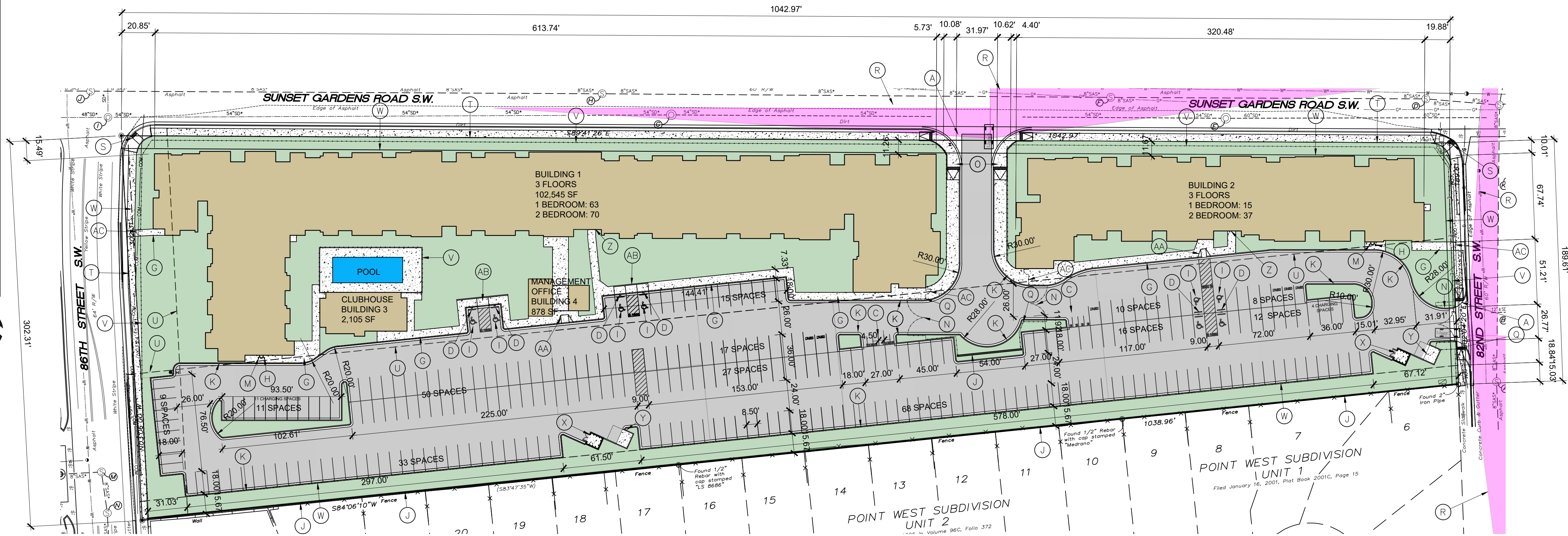




## AREA MAP

SCALE: NTS



## SITE PLAN

SCALE: 1" = 50'-0"



### KEYED NOTES

- NEW DRIVE CUT REF CITY OF ALBUQUERQUE STANDARD DETAIL 2426 FOLLOW PARALLEL RAMP DETAIL, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE
- 12 SPACE BIKE RACK, REF DETAIL THIS SHEET
- MOTORCYCLE PARKING SIGN REF DETAIL THIS SHEET
- H.C. PARKING SIGN, REF DETAIL ON THIS SHEET
- NEW FIRE HYDRANT
- IRRIGATION BOX
- NEW 6" SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430
- FIRE DEPT. CONNECTION
- HC PARKING SYMBOL
- 6" CMU WALL
- CURB, REF DETAIL THIS SHEET
- EXISTING PROPERTY LINE
- STAND PIPE CONNECTION
- VEHICULAR GATE
- NEW 10' SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430
- EXISTING POWER POLE. NEW POWER POLES WILL BE AGAINST BACK OF CURB.
- KNOX BOX
- CLEAR SIGHT TRIANGLE. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FT TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
- CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2441, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE
- PROPERTY LINE
- 100' NEIGHBORHOOD EDGE PROTECTION LINE
- 6" WROUGHT IRON FENCE
- IDO BUILDING SETBACK LINE
- REFUSE CONTAINER PICKUP POINT, COA STANDARD DETAIL 9'X5' SWANSON COLLECTION SITE WITH ENCLOSURE, 4EA 4" BOLLARDS AND PAIR OF 3' DOORS
- RECYCLING CONTAINER, REF DETAIL THIS SHEET
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- AA. CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2442, DRAWING A
- AB. CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2443, DRAWING A
- AC. PEDESTRIAN GATE

NOTE:  
PROPERTY OWNER RESPONSIBLE FOR PLACING  
RECYCLING AT DESIGNATED COLLECTION POINT ON  
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PROPERTY OWNER RESPONSIBLE FOR PLACING REFUSE  
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CABQ SOLID WASTE DEPARTMENT SHALL HAVE 24HR  
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### ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WALL MUST BE INCLUDED ON A PUBLIC WORK ORDER

PROJECT NUMBER: \_\_\_\_\_

APPLICATION NUMBER: \_\_\_\_\_

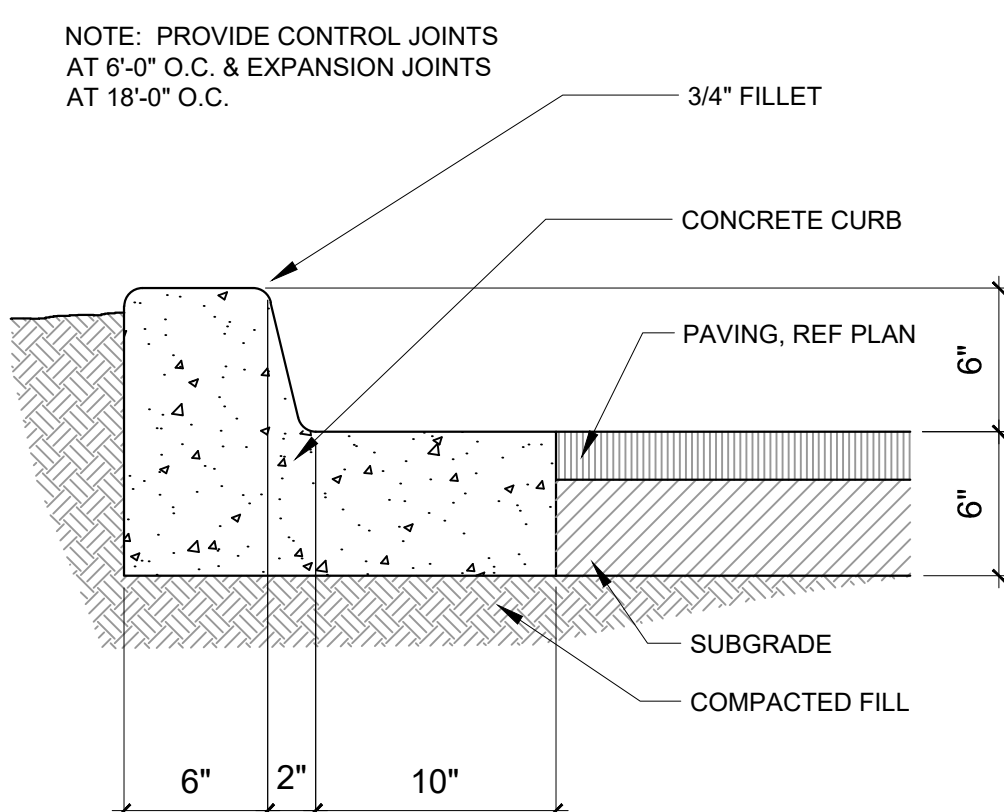
Is an Infrastructure List required? ( ) Yes ( ) No. If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
ABCWUA	Date
Parks & Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date
* Environmental Health, if necessary	

## HC SIGN

SCALE: NTS



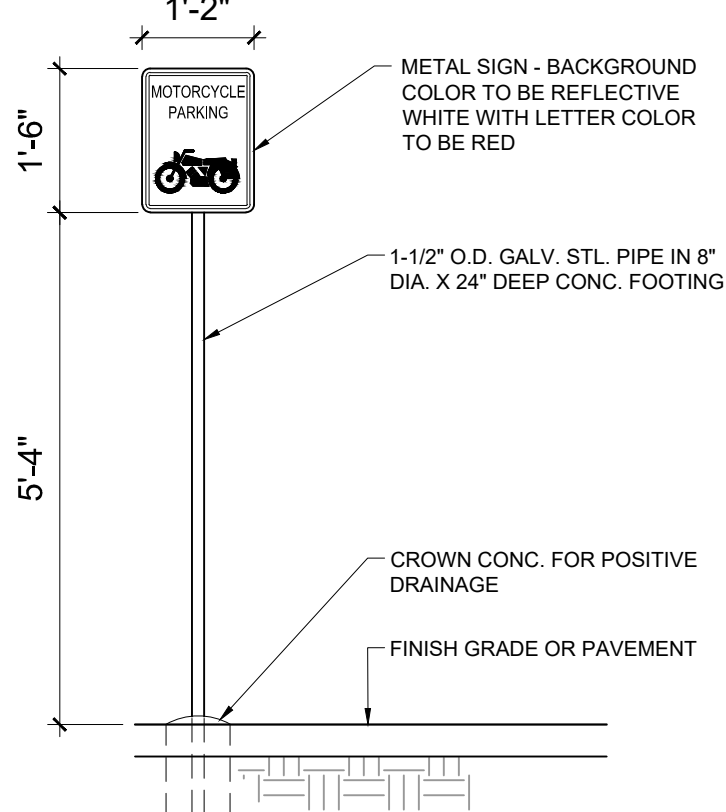
## CURB AND GUTTER

SCALE: NTS



## ADA PARKING

SCALE: 1/8" = 1'-0"



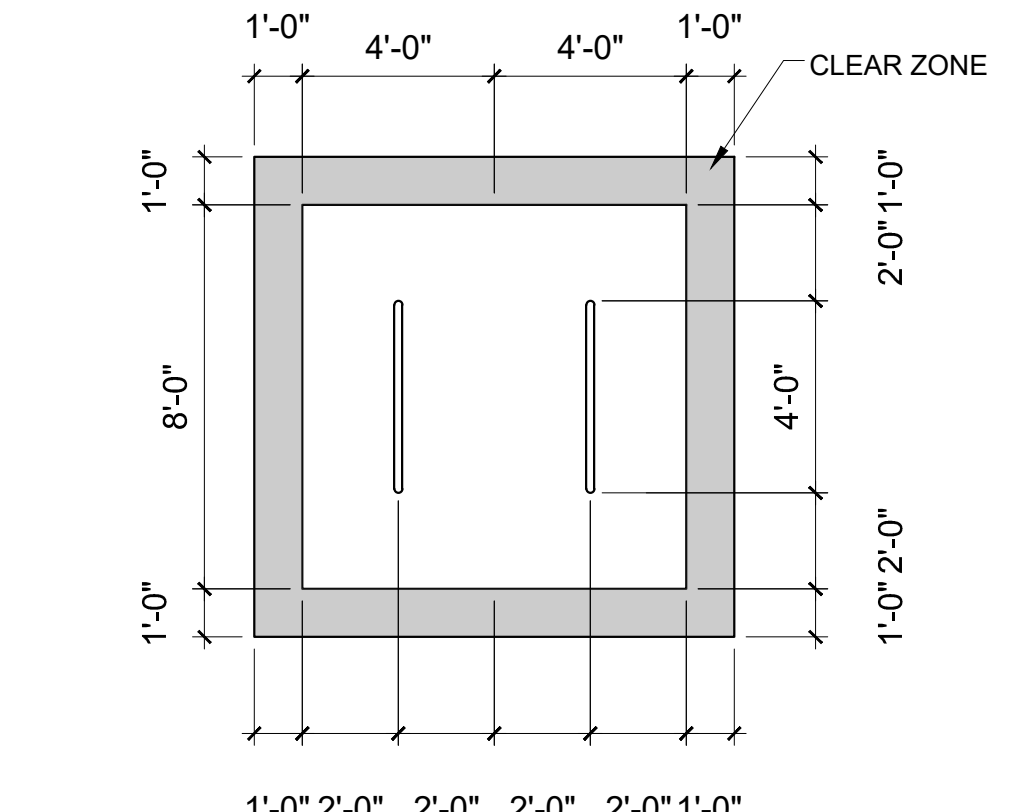
## MOTORCYCLE SIGN

SCALE: 1/2" = 1'-0"



## REFUSE ENCLOSURE DETAIL

SCALE: 1/4" = 1'-0"



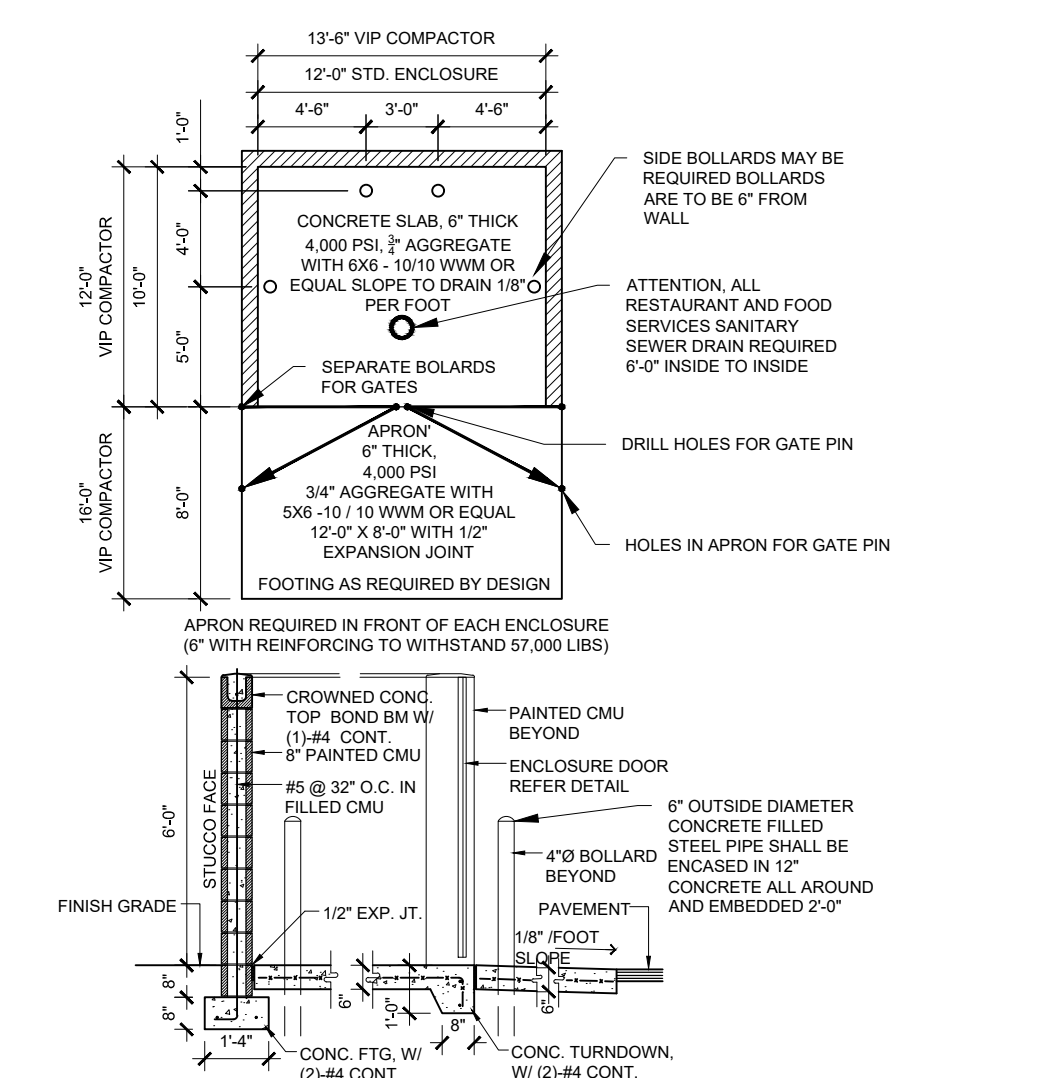
## BIKE PARKING

SCALE: 1/4" = 1'-0"



## PAVING SECTION

SCALE: NTS



## RECYCLING ENCLOSURE

SCALE: 1/8" = 1'-0"



NOTE:  
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ALL PAVING SHALL BE SHALL BE ASPHALT UNLESS NOTED  
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ALL MECHANICAL EQUIPMENT SHALL BE SCREENED IN  
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ALL OUTDOOR LIGHT FIXTURES SHALL BE LED. FIXTURES 70  
WATTS OR GREATER SHALL BE SHIELDED USING FULL CUTOFF  
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BUILDING MOUNTED SIGNS SHALL BE EXTERNALLY ILLUMINATED  
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WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK  
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PROVIDE ELECTRIC VEHICLE CHARGER AT EACH BAY OF LEASED  
GARAGES

SITE LIGHTING WILL BE PROVIDED BY LIGHT BOLLARDS AND WALL  
MOUNTED FIXTURES  
AND SHALL COMPLY WITH 5-8 OF THE IDO

UPC: 100905647441510205

LEGAL: TRACT 52, UNIT 2, ATRISCO GRANT

ZONING: MX-L

ZONE ATLAS PAGE: L9

GROSS LOT AREA = 6.04 AC = 263,102 SF

BUILDING FOOTPRINT = 69,610 SF

NET LOT AREA = 193,492 SF

REQUIRED LANDSCAPE AREA @ 15% = 29,023 SF; 74,520 SF PROVIDED

PARKING:

MULTI-FAMILY

1 BEDROOM: 78 EACH X 1.2 SPACES = 93.6 SPACES

2 BEDROOM: 107 EACH X 1.6 SPACES = 171.2 SPACES

LEASING OFFICE 878 SF X 0.0035 = 3.1 SPACES REQUIRED

TOTAL SPACES REQUIRED = 268 SPACES

SPACES PROVIDED = 278 SPACES

268 SPACES X 5% = 14 CHARGING SPACES REQUIRED, 15 PROVIDED

HC REQUIRED: 5 STANDARD, 4 VAN / 24 VAN ACCESSIBLE PROVIDED

MOTORCYCLE PARKING 151-300 SPACES: 5 SPACES REQUIRED / 14 PROVIDED

BIKE PARKING 10% OF 268: 27 REQUIRED

12 SPACES ON SITE PLAN, 36 PROVIDED IN BUILDINGS

IDO TABLE 5-1-2 OPEN SPACE:

1 BEDROOM: 78 EA X 225 SF = 17,550 SF

2 BEDROOM: 107 EA X 285 SF = 30,495 SF

TOTAL REQUIRED = 48,045 SF



GRADE LEVEL OPEN SPACE = 74,520 SF PROVIDED

SOLID WASTE CALCS:

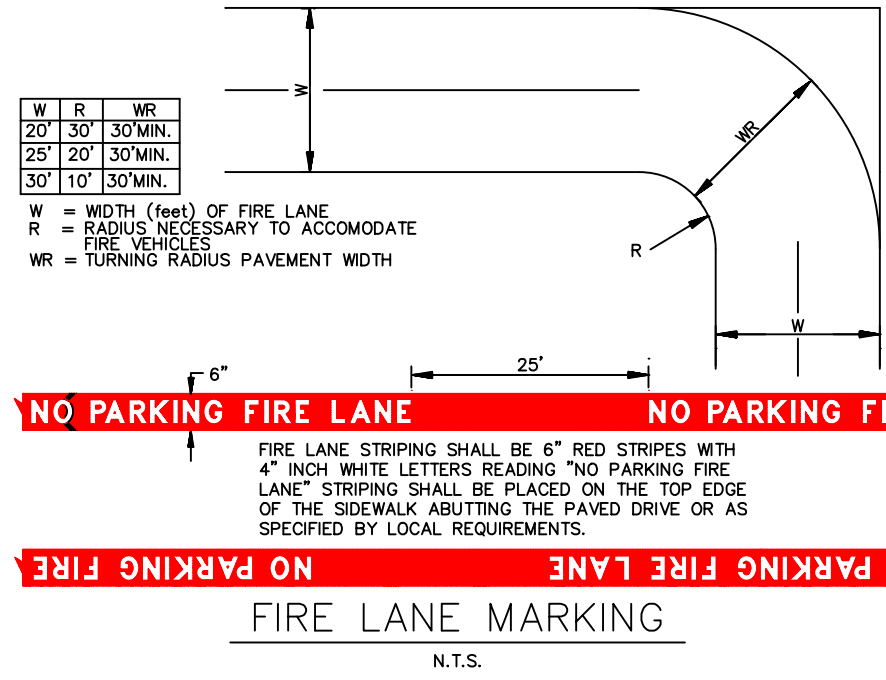
185 UNITS X 0.55 CY = 102 CY PER WEEK

102 CY X 0.333 COMPACTED = 34 CY PER WEEK

8 EA, 2 CY CONTAINERS PROVIDED.

 <b>SCOTT C. ANDERSON &amp; associates architects</b> 4419 4th St. NW, Ste. B Albuquerque, NM 87107 505.401.7575		
<b>SUNSET APARTMENTS</b> 7000 SUNSET GARDENS RD SW ALBUQUERQUE, NM 87121		
DRAWING TITLE		
<b>SITE PLAN</b>		
SEAL	DESIGNED	PROJECT NO
	DRAWN	SCALE
	CHECKED	DRAWING NO
	REVIEWED	<b>A-100</b>
	DATE	
	11/28/2023	OF



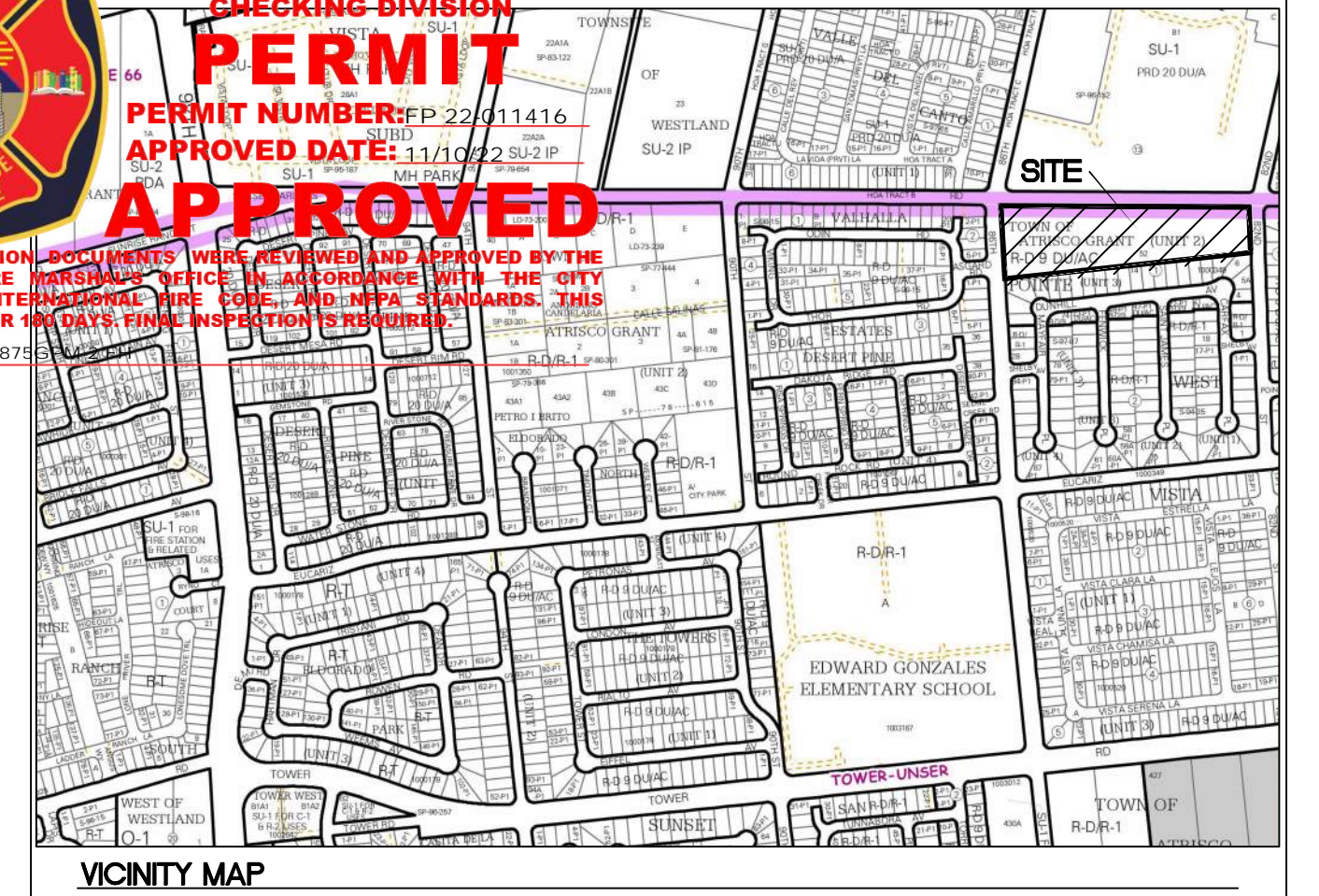


BUILDING 1		BUILDING 2	
RESIDENTIAL OCCUPANCY TYPE	R-2	RESIDENTIAL OCCUPANCY TYPE	R-2
LOT AREA	255650 SF (5.87 ACRES)	LOT AREA	255650 SF (5.87 ACRES)
BUILDING FOOTPRINT	46394 SF	BUILDING FOOTPRINT	20213 SF
CONSTRUCTION TYPE	V-A	CONSTRUCTION TYPE	V-A
FULLY SPRINKLED (IN BUILDING)		FULLY SPRINKLED (IN BUILDING)	
MAX BUILDING HEIGHT	38' (3 STORY)	MAX BUILDING HEIGHT	38' (3 STORY)
FIRE FLOW	1875 GPM	FIRE FLOW	1500 GPM

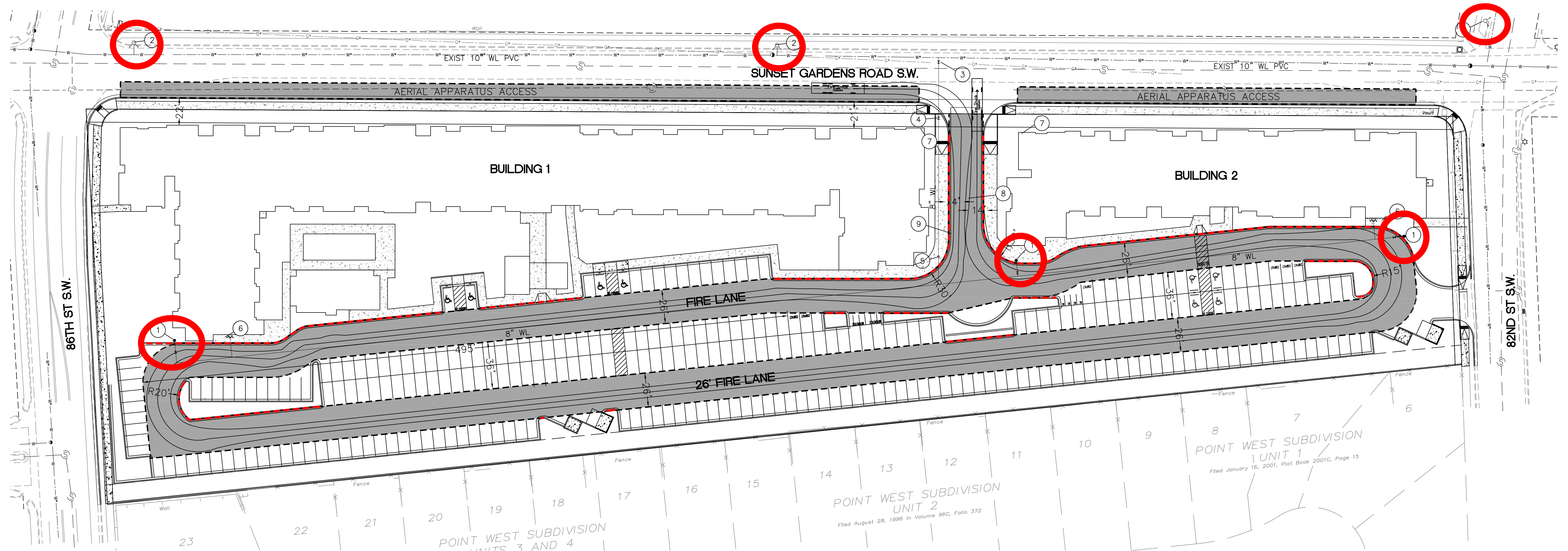
- LEGEND
- CURB & GUTTER
  - BOUNDARY LINE
  - BUILDING
  - EXISTING CURB
  - EXISTING BOUNDARY LINE
  - FIRE ACCESS
  - PROPOSED HYDRANT
  - FIRE LANE MARKING



ALBUQUERQUE FIRE MARSHAL'S  
DIVISION OFFICE PLANS  
CHECKING DIVISION  
**PERMIT**  
PERMIT NUMBER: EP-22-011416  
APPROVED DATE: 11/10/22  
**APPROVED**

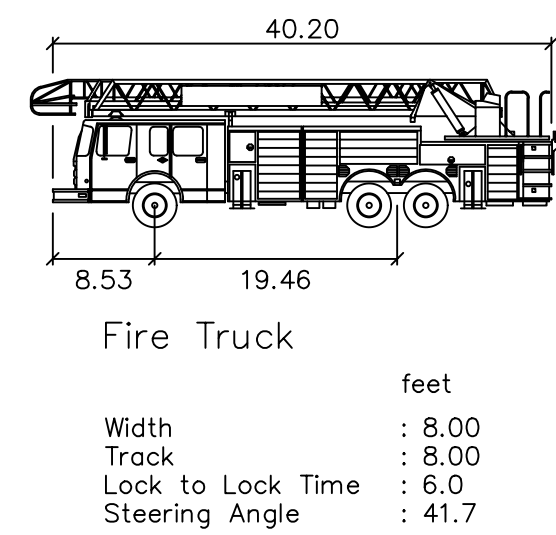


TOWN OF ATRISCO GRANT UNIT 2



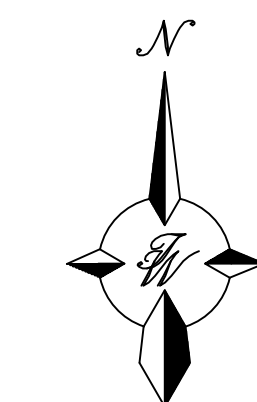
#### NOTES

- ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES, AS DIRECTED BY FIRE MARSHALL
- FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75000 LBS
- KEY BOX (KNOX BOX) SHALL BE MOUNTED BETWEEN 4 AND 6 FEET ABOVE GRADE AND SHALL BE ILLUMINATED.
- THERE ARE NO OVERHEAD OBSTRUCTIONS THAT WOULD INTERFERE WITH ANY FIRE APPARATUS.



#### KEYED NOTES

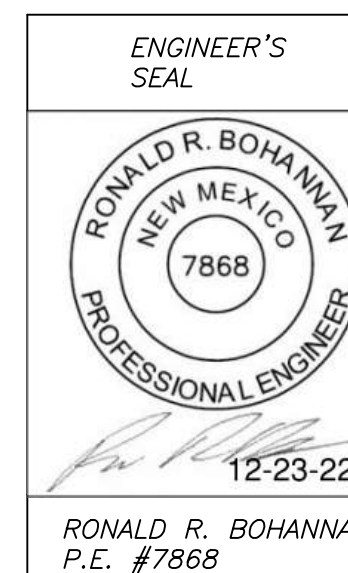
- PROPOSED FIRE HYDRANT W/PRIVATE GATE VALVE
- EXISTING FIRE HYDRANT
- NEW 8" GATE VALVE (PUBLIC)
- NEW 8" GATE VALVE (PRIVATE)
- NEW PIV
- NEW FDC AND FIRELINE BUILDING ENTRY POINT
- BUILDING ADDRESS
- PROPOSED ROLL CURB
- GATE W/KNOX BOX



GRAPHIC SCALE  
( IN FEET )  
1 inch = 40 ft.

#### CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



SUNSET APARTMENTS  
ALBUQUERQUE, NM  
FIRE ONE PLAN

TIERRA WEST, LLC  
5571 MIDWAY PARK PL NE  
ALBUQUERQUE, NEW MEXICO 87109  
(505) 858-3100  
www.tierrawestllc.com

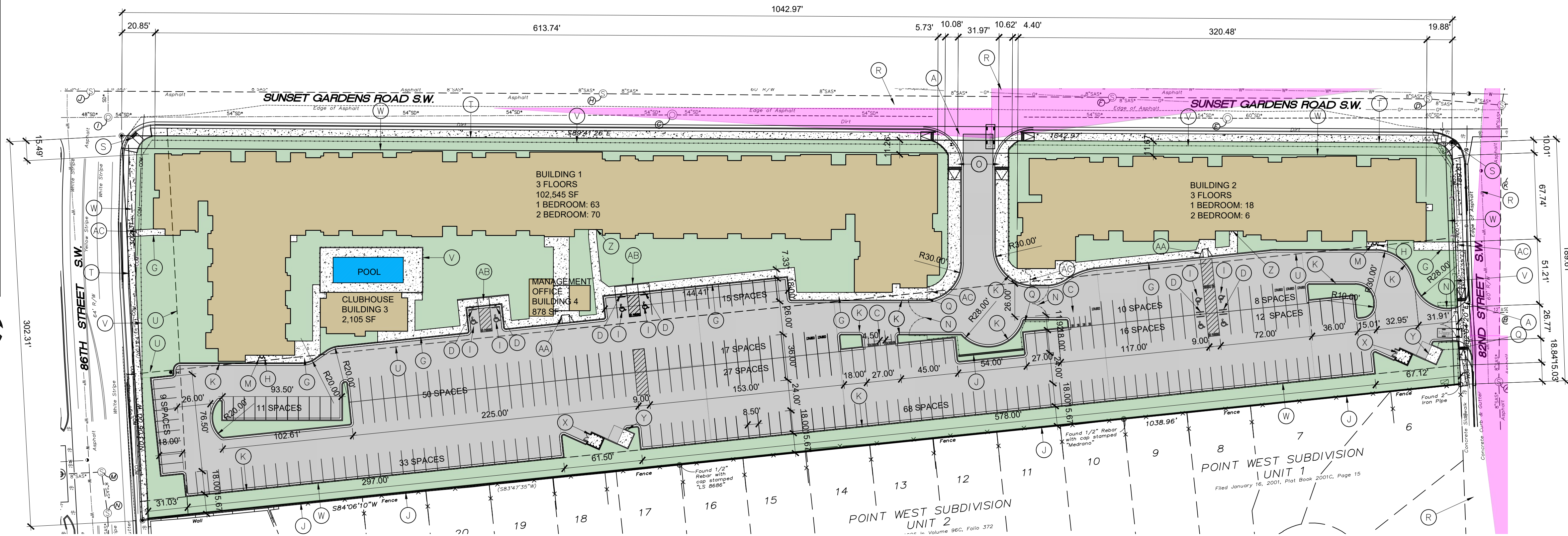
DRAWN BY  
pm  
DATE  
11-9-22  
DRAWING  
SHEET #  
1  
JOB #  
2022028





## AREA MAP

SCALE: NTS



## SITE PLAN

SCALE: 1" = 50'-0"



### KEYED NOTES

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## ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WALL MUST BE INCLUDED ON A PUBLIC WORK ORDER

PROJECT NUMBER: 2022  
APPLICATION NUMBER: SI-2022

This plan is consistent with the specific Site Development Plan approved by the  
Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in  
the Official Notification of Decision are satisfied.

Is and Infrastructure List required ( ) Yes ( ) No If Yes, then a set of approved DRC plans  
with a work order is required for any construction within Public Right-of-Way or for construction of  
public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Department	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health	Date
Herman Gallegos Solid Waste Management	12-20-22 Date
Code Enforcement	Date
Albuquerque Metropolitan Flood Control Authority	Date
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	

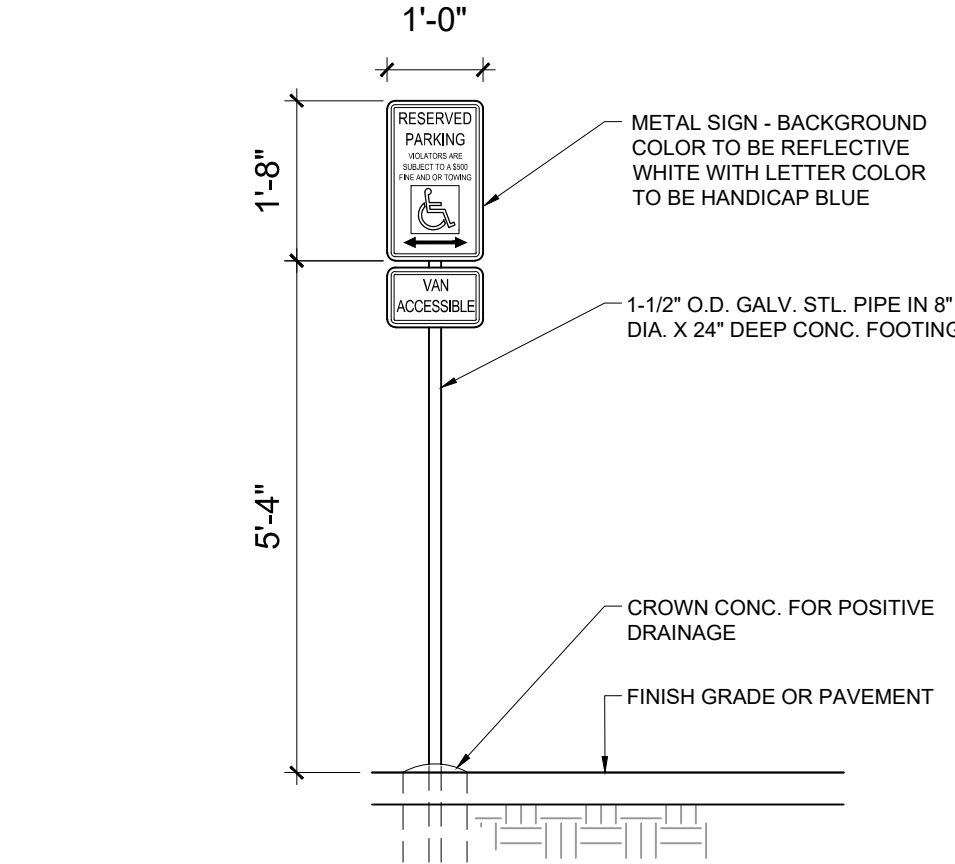


SUNSET APARTMENTS  
7000 SUNSET GARDENS RD SW  
ALBUQUERQUE, NM 87121

### DRAWING TITLE

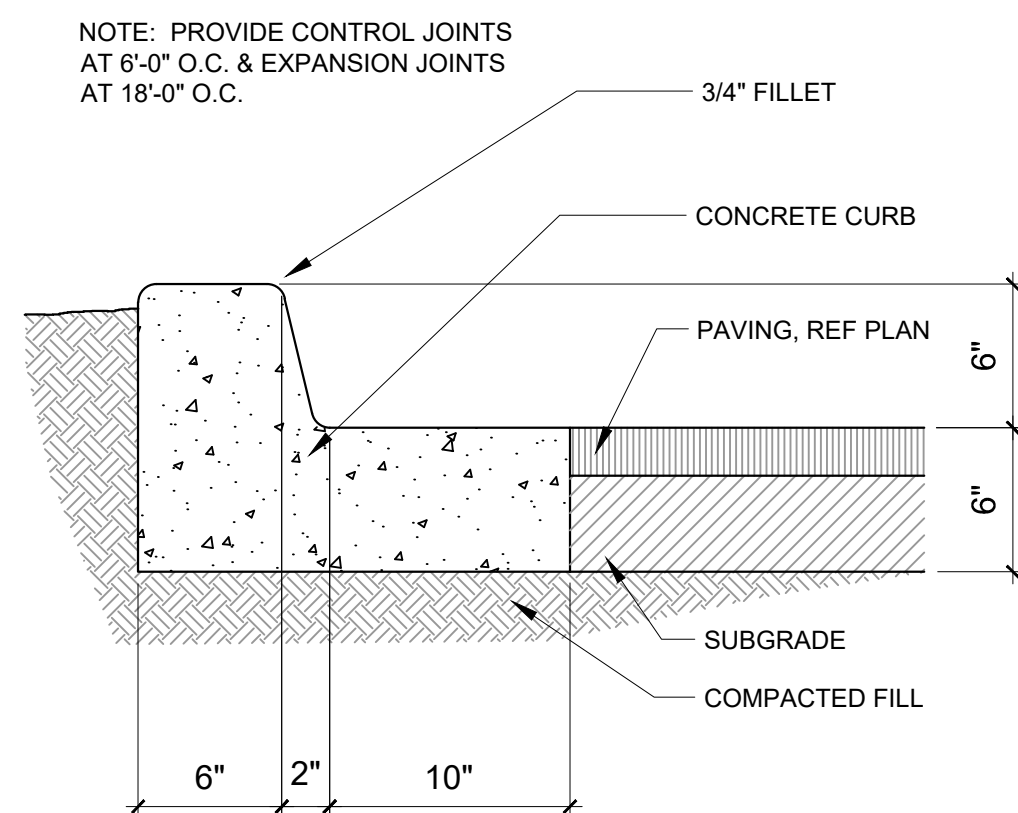
## SITE PLAN

SEAL	DESIGNED	PROJECT NO
	DRAWN	SCALE
	CHECKED	DRAWING NO
	REVIEWED	A-100
	DATE 10/26/2022	



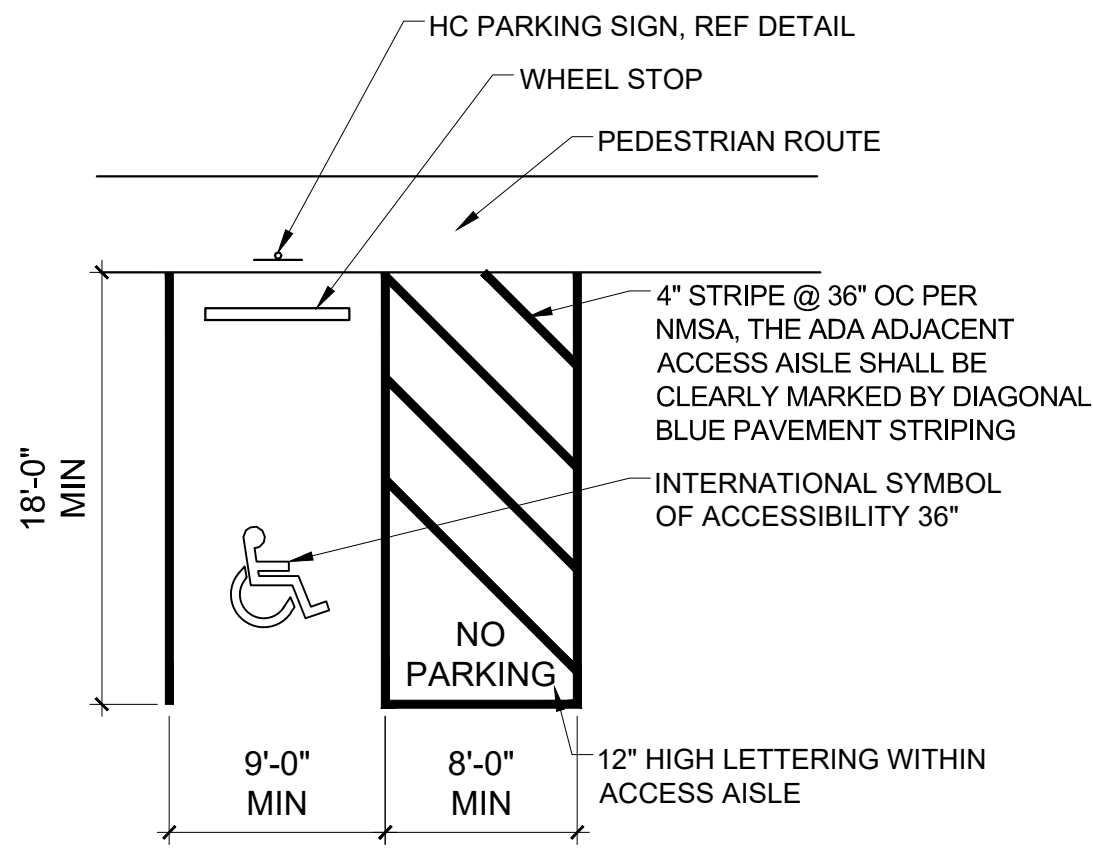
## HC SIGN

SCALE: NTS



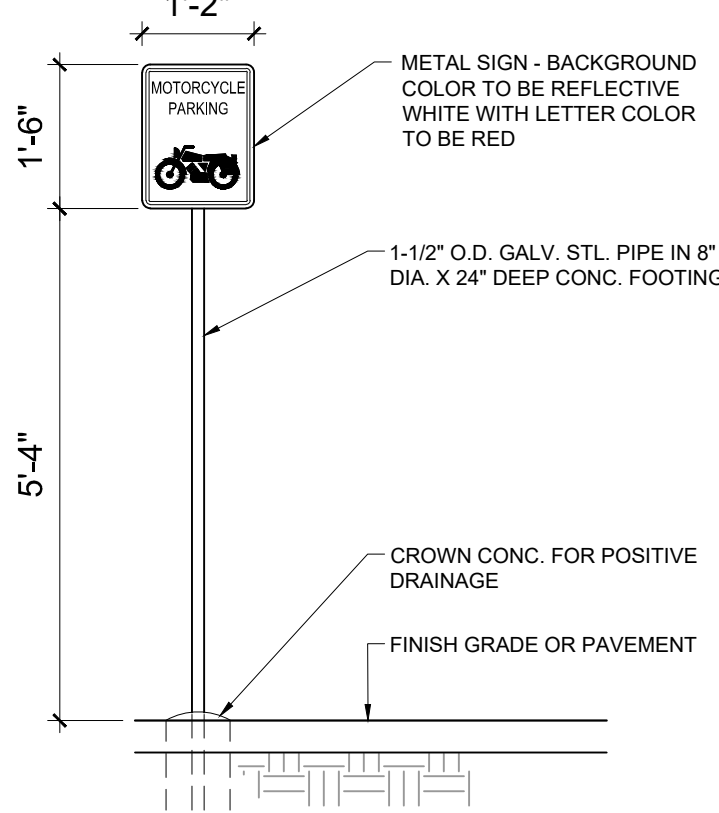
## CURB AND GUTTER

SCALE: NTS



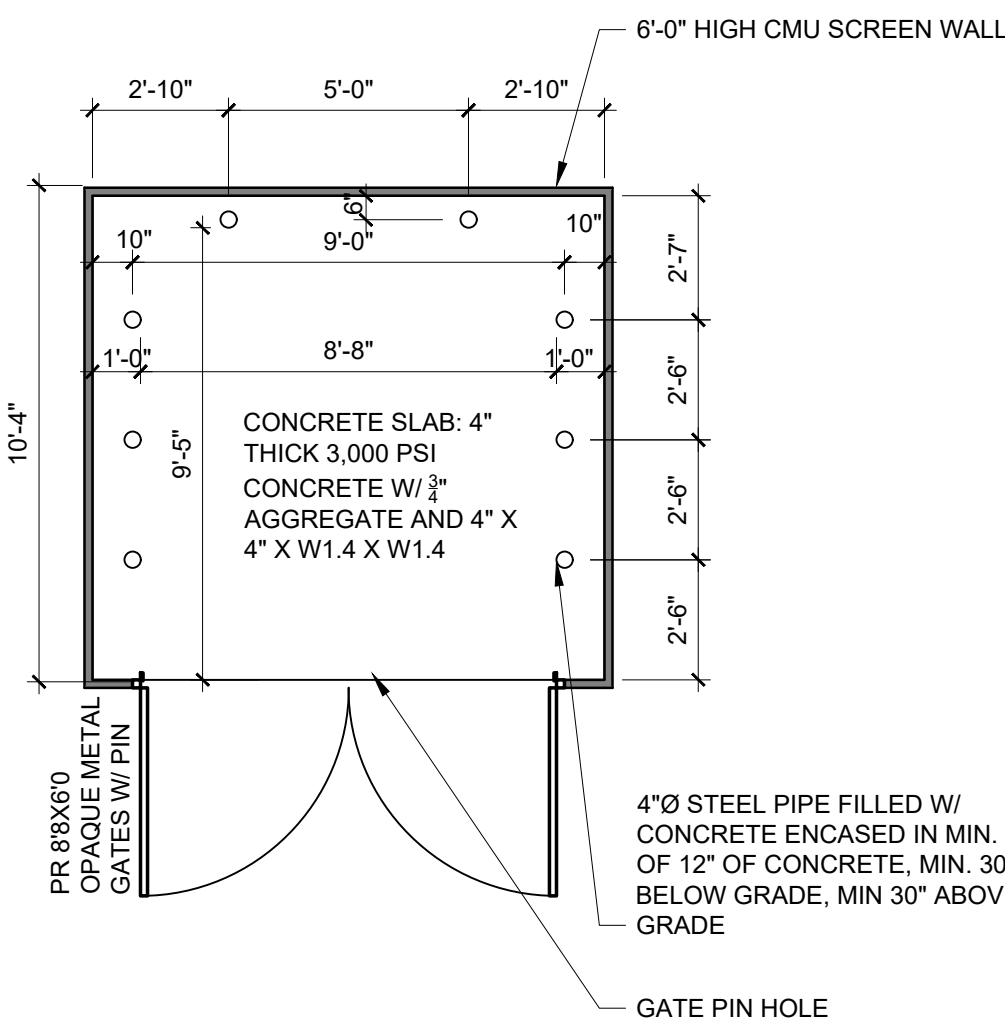
## ADA PARKING

SCALE: 1/8" = 1'-0"



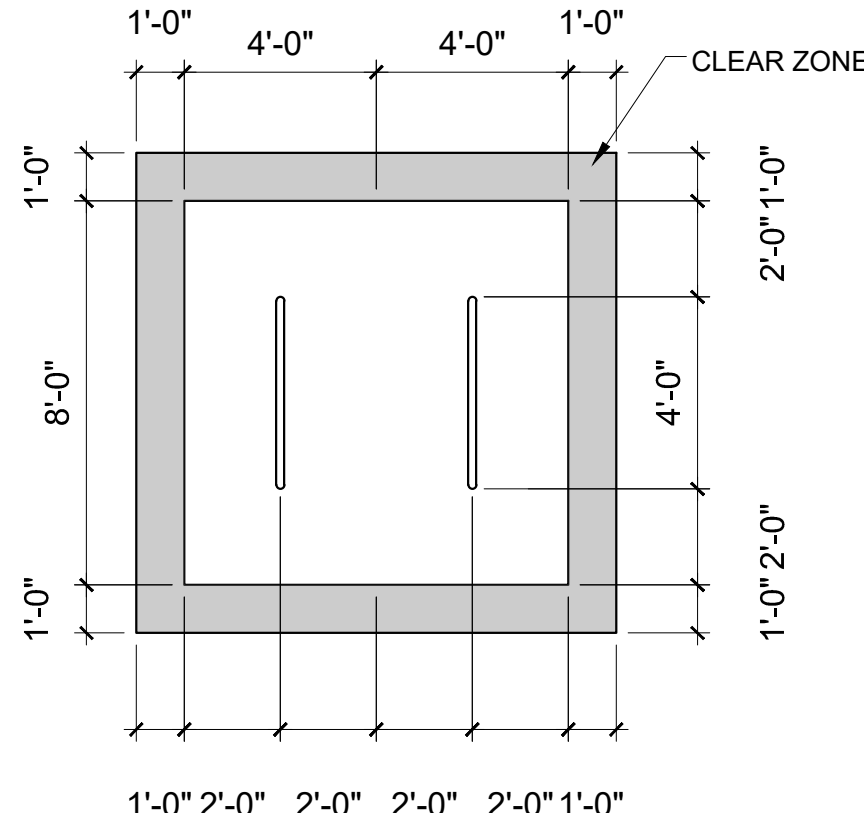
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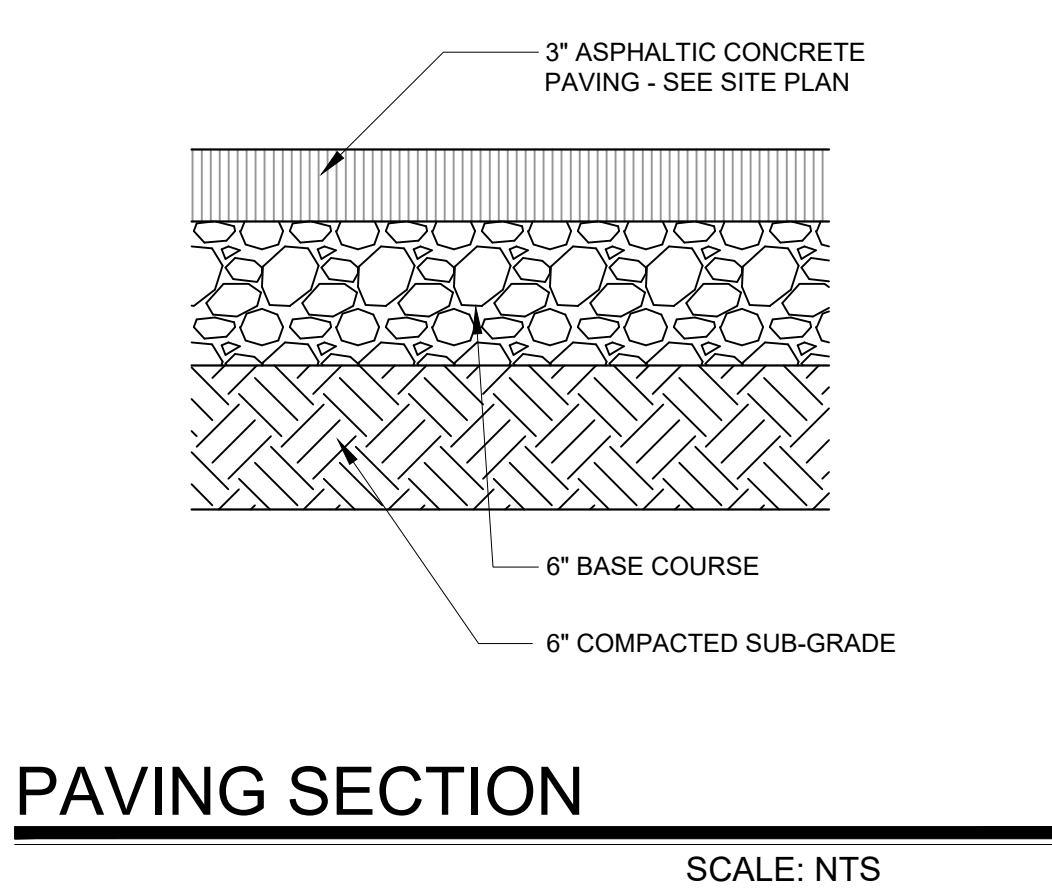
## REFUSE ENCLOSURE DETAIL

SCALE: 1/4" = 1'-0"



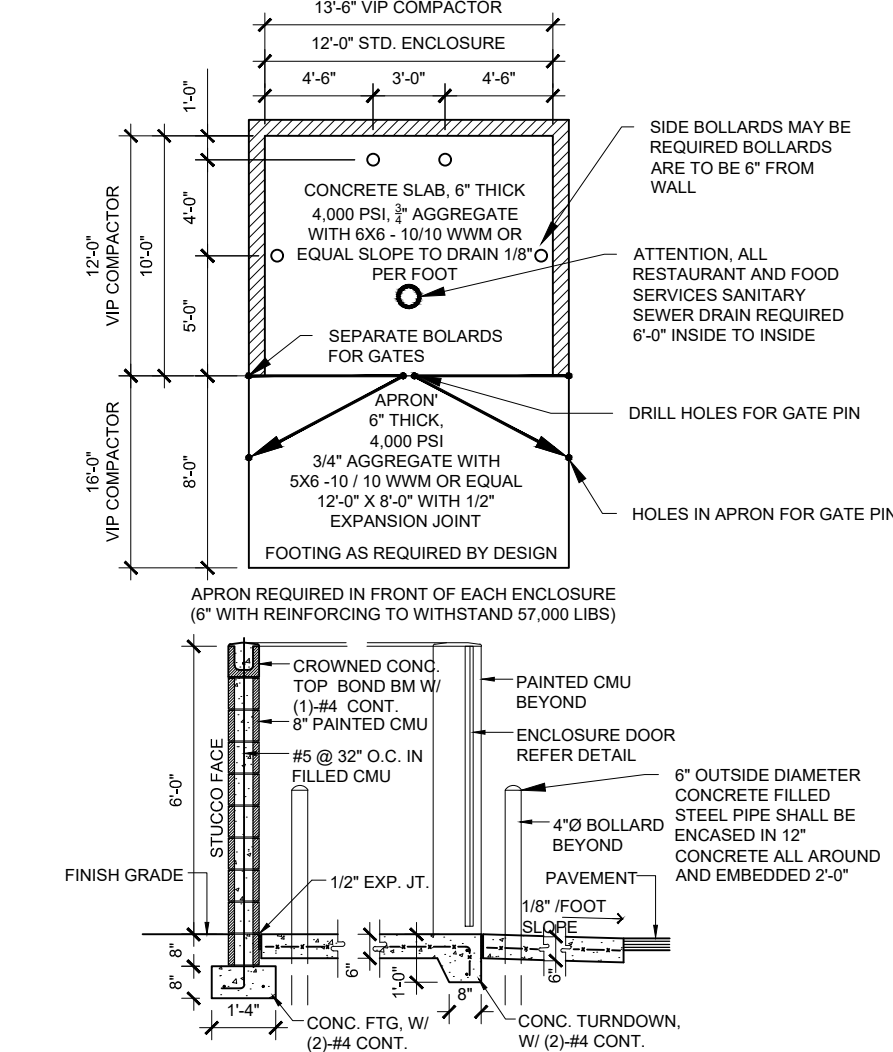
## BIKE PARKING

SCALE: 1/4" = 1'-0"



## PAVING SECTION

SCALE: NTS



## RECYCLING ENCLOSURE

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SITE LIGHTING WILL BE PROVIDED BY LIGHT BOLLARDS AND WALL  
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UPC: 100905647441510205  
LEGAL: TRACT 52, UNIT 2, ATRISCO GRANT  
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ZONE ATLAS PAGE: L9

GROSS LOT AREA = 6.04 AC = 263,102 SF  
BUILDING FOOTPRINT = 69,610 SF  
NET LOT AREA = 193,492 SF  
REQUIRED LANDSCAPE AREA @ 15% = 29,023 SF; 74,520 SF PROVIDED

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1 BEDROOM: 78 EACH X 1.2 SPACES = 93.6 SPACES  
2 BEDROOM: 107 EACH X 1.6 SPACES = 171.2 SPACES  
LEASING OFFICE 878 SF X 0.0035 = 3.1 SPACES REQUIRED  
TOTAL SPACES REQUIRED = 268 SPACES  
SPACES PROVIDED = 278 SPACES  
268 SPACES X 2% = 6 CHARGING SPACES REQUIRED, 6 PROVIDED

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MOTORCYCLE PARKING 151-300 SPACES: 5 SPACES REQUIRED / 14 PROVIDED  
BIKE PARKING 10% OF 268: 27 REQUIRED  
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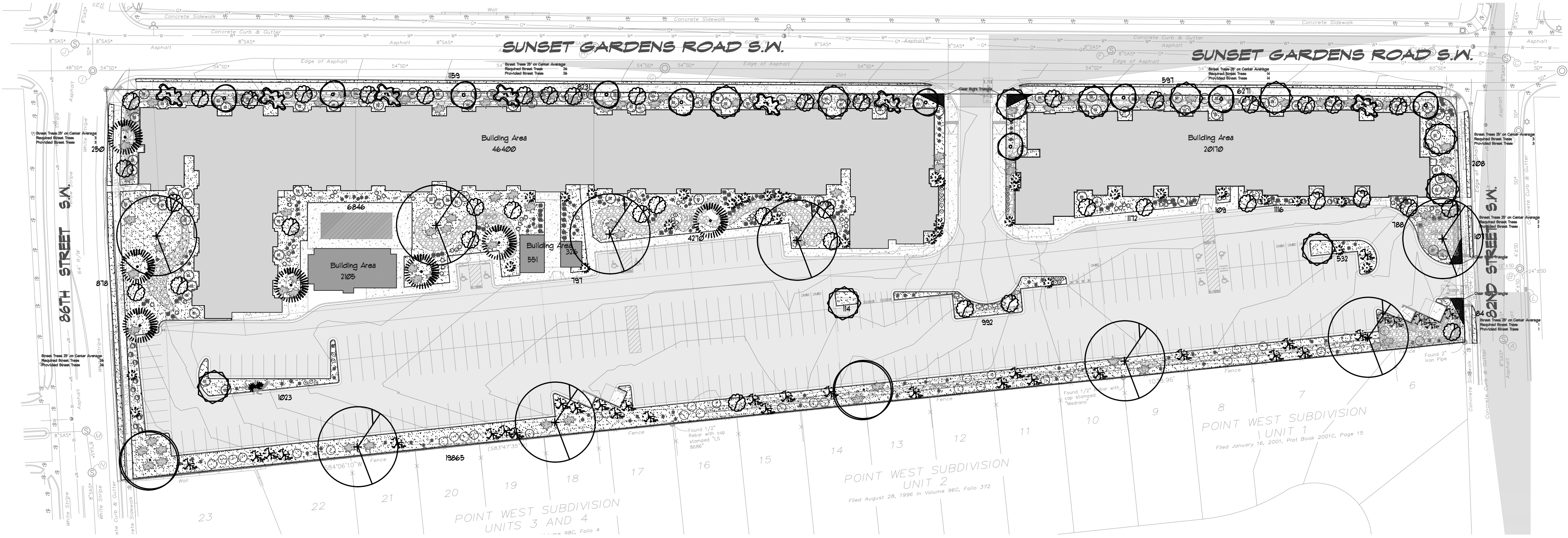
TOTAL REQUIRED = 48,045 SF

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SOLID WASTE CALCS:  
185 UNITS X 0.55 CY = 102 CY PER WEEK  
102 CY X 0.333 COMACTED = 34 CY PER WEEK  
8 EA, 2 CY CONTAINERS PROVIDED

Approved for access by the Solid Waste Department for 2-2yd compactors  
to be placed in the trash enclosure on service day, a 2-2yd compactors to be placed under the chute,  
2-2yd compactors to be on standby, 2-6yd recycle dumpsters to be placed in the standard size trash enclosures.  
Herman Gallegos 12-20-22





### LANDSCAPE LEGEND

QTY SIZE COMMON/BOTANICAL H2O USE

#### Trees

11	2" Cal	Desert Willow <i>Chilopsis linearis</i>	20x25	490.63	5396	M
2	4 - 6'	Palm Yucca <i>Yucca faxoniana</i>	15x6	2826	2826	M
10	2" Cal	Ilex vomitoria Yaupon Holly	15x15	176.63	1766.3	M
34	6 - 8'	Blue Arrow Juniper <i>Juniperus scopulorum</i> "Blue Arrow"	12x4	1256	427	M
9	2" cal	Chinese Pistache <i>Pistacia chinensis</i>	60x60	2826	25434	M
2	2" cal	Honey Locust <i>Gleditsia triacanthos</i>	50x45	2075	4050	M
1	6 - 8'	Austrian Pine <i>Pinus nigra</i>	35x25	490.63	3434	M
1	6-8'	Crape Myrtle <i>Lagerstroemia indica</i> Tree Form	15x15	176.63	1236.41	M
42	15 Gal.	Oklahoma Redbud <i>Cercis reniformis</i>	15x12	113	4520	M
124					46292	

Note: All trees shall have a 5' rad. circle of wood chips, per COA requirement

#### LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	263102
TOTAL BUILDING AREA (sf)	49610
TOTAL NET-LOT AREA (sf)	193492
LANDSCAPE REQUIREMENT	X0.15
TOTAL LANDSCAPE REQUIRED ( 15% )	29023
TOTAL ON-SITE LANDSCAPE PROVIDED	65080
TOTAL LIVE GROUND COVER REQUIRED	16210
TOTAL LIVE GROUND COVER PROVIDED	16750.31
TOTAL LIVE PLANT COVER REQUIRED	48810
TOTAL LIVE PLANT COVER PROVIDED	10135.15

#### Shrubs & Groundcovers

70	5 Gal	Feather Reed Grass <i>Calamagrostis arudinacea</i>	25x2	314	244.92	M
9	5 Gal	Rosemary <i>Rosmarinus officinalis</i> prostratus	1x5	19.63	176.67	M
15	5 Gal	India Hawthorne <i>Raphiolepis indica</i>	3x5	19.63	294.45	M
94	5 Gal	Buffalo Juniper <i>Juniperus sabina</i> "Buffalo"	1x8	50.27	4725.38	M
34	5 Gal	Yellow Bird of Paradise <i>Caesalpinia gilliesii</i>	10x10	78.5	2669	RW
66	5 Gal	Dwarf Fountain Grass <i>Pennisetum alopecuroides</i> "Hamelin"	3x3	1.07	466.62	M
53	5 Gal	Red Yucca <i>Hesperaloe parviflora</i>	3x3	1.07	374.71	L
71	5 Gal	Cherry Sage <i>Salvia greggii</i>	2x3	1.07	501.97	M
21	5 Gal	Blue Mist <i>Caryopteris x clandonensis</i>	3x3	1.07	148.47	M
10	5 Gal	Apache Plume <i>Fallugia paradoxa</i>	6x5	19.63	384.7	L
27	5 Gal	Chamisa <i>Chrysothamnus nauseosus</i>	5x5	19.63	530	L
124	5 Gal	Gre-Low Sumac <i>Rhus aromatica</i> "Gre-Low"	3x8	50.27	6233.48	M

16181.51

15 2-3cf Boulders  
To be placed at contractor discretion

55409	Landscape Gravel / Filter Fabric 3/4" Crushed Grey Submit samples of gravel and cobble for approval
8927	Oversize Landscape Gravel / Filter Fabric 2-4" Adobe Rose Submit samples of gravel and cobble for approval
64336	Total Landscape Area Provided
18403	Wood Mulch No Fabric Submit samples of wood mulch for approval

LANDSCAPE NOTES:  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain landscaping in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque Water , IDO Ordinance.

It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Nonresidential Development, Revised 6/24.

Water management is the sole responsibility of the Property Owner.

Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed, or other treatment.

Contractor shall supply to the owner samples and prices of various gravel samples for approval prior to installing.

25% of landscape area shall be covered with wood mulch. Mulch shall be a minimum of 4" deep in areas as shown on the plan. Landscape maintenance shall ensure that all wood mulch areas are maintained and freshened on a regular basis. Filter Fabric shall not be placed in areas to receive wood mulch.

Landscape shall be watered by a complete underground irrigation system operated by automatic timer.  
Trees shall have Netafim and shrubs shall have a minimum of 2 emitters per shrub.

Trees and shrubs shall be zoned separately.

Point of connection for irrigation system is unknown at current time and shall be coordinated between the Landscape Contractor and the General Contractor of the project prior to construction.

Landscaping shall be installed according to the approved plan. Installation shall be completed within 60 days of the related building's occupancy.

No substitutions or alterations to this plan without the express written permission of the Landscape Architect, and approval of the City of Albuquerque, approved permit set.

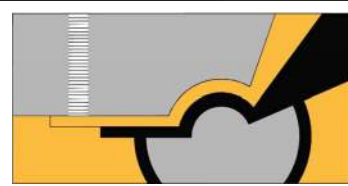
Clear Site Triangle Notes:  
Landscaping and signage will not interfere with clear site requirements. Signs, walls, trees and shrubbery between 3 and 8 feet tall, (as measured from the gutter pan) are not included within the clear site triangle.

#### Street Tree Notes:

Per Section 5-6(D) (1) (a) Required Street Trees. Trees are **GENERALLY** required along street frontages every 25 feet on center unless otherwise specified in Part 6-2-2 of ROA 1994 (Street Trees)

#### Section 6-6-2-5 Street Trees

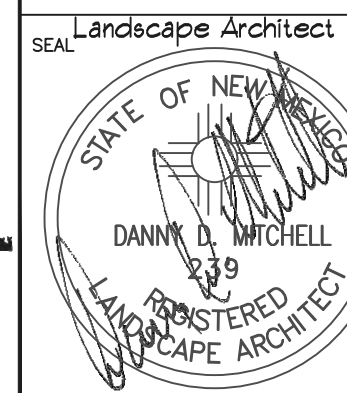
- (A)
- Size of the trees at maturity should be in proportion to the planting space provided for them. **Smaller species of trees will require closer spacing, and larger trees will require greater spacing.** Spacing shall be approved as part of the plan approval process.
  - On sites where evenly spaced street trees are not possible, or do not conform to the overall design objectives of the site, provided that the number of trees equals or exceeds the number that would be required if the trees were evenly spaced



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2818 4th St NW, Suite C Albuquerque NM 87107  
scott@scarchitects.com  
505.401.7575

SUNSET APARTMENTS  
1000 SUNSET GARDENS RD SW  
ALBUQUERQUE, NM 87121

DRAWING TITLE  
**LANDSCAPE PLAN**

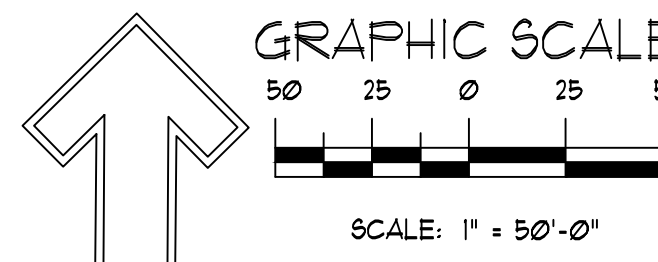


DESIGNED FV	PROJECT NO 2023-006
DRAWN FV	SCALE 1"=50'-0"
CHECKED dm	DRAWING NO
REVIEWED dm	<b>LS-101</b>
DATE 1/30/24	OF



danny@mitchellassociatesinc.com

505.639.9583



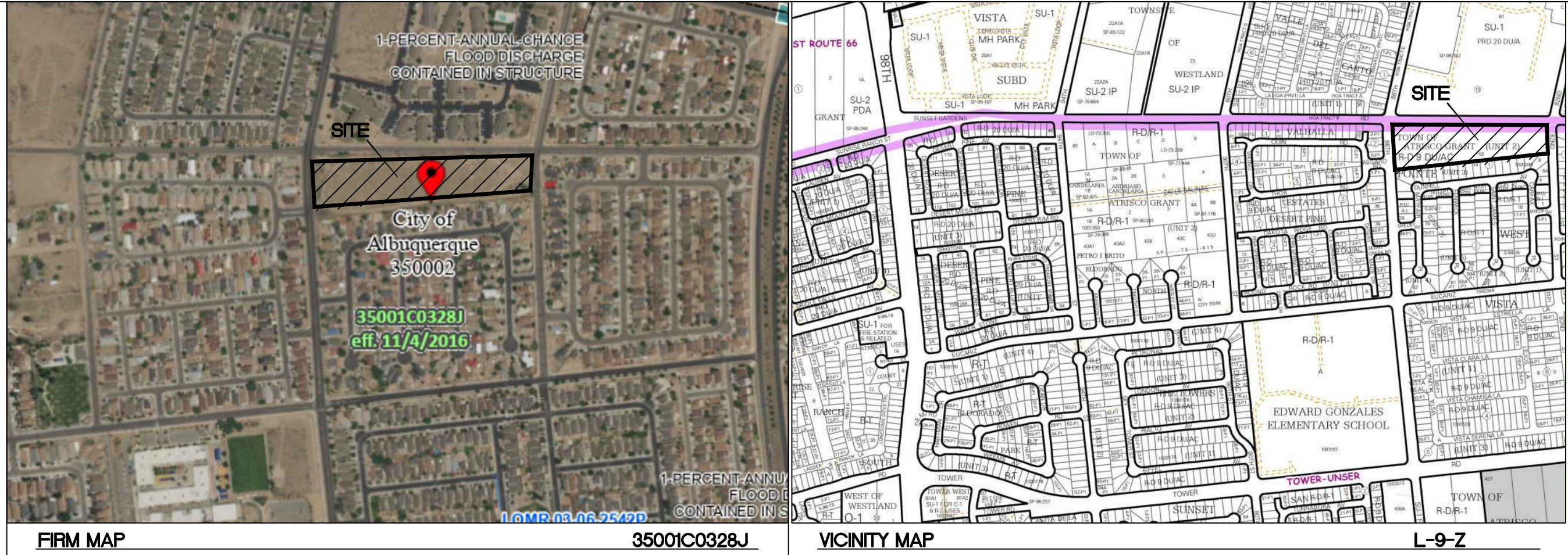


EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
- ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH THE CITY OF RIO RANCHO SPECS OR  $\frac{1}{2}$ " GRAVEL

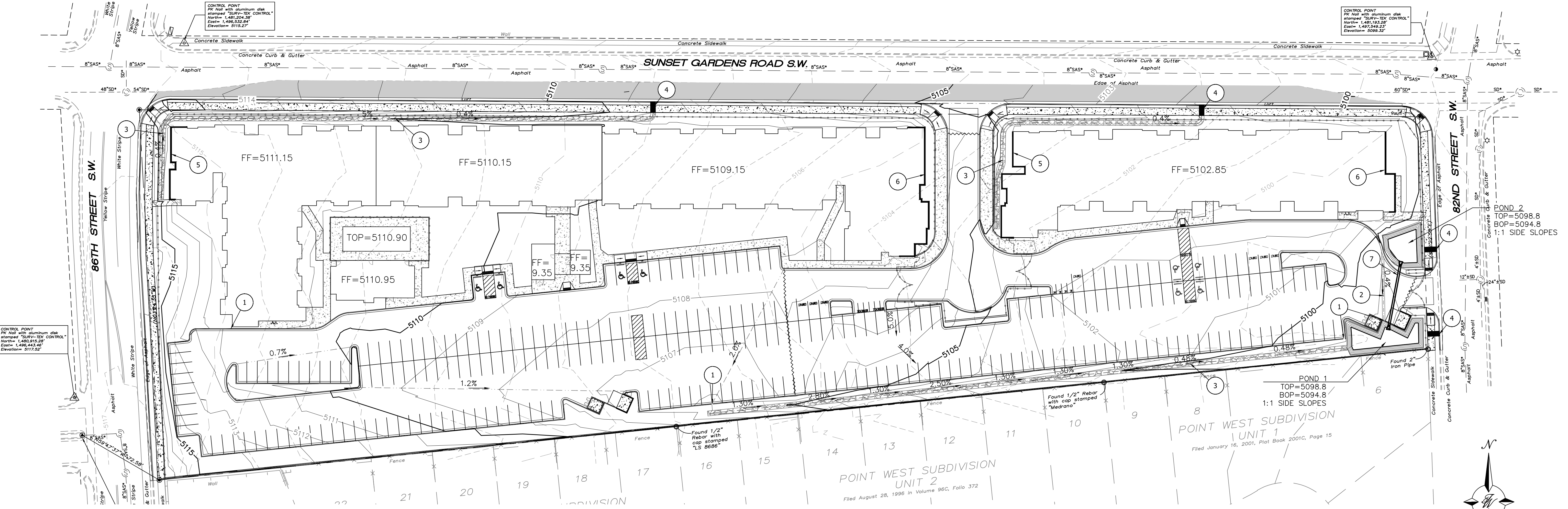
NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF RIO RANCHO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



LEGAL DESCRIPTION

TRACT 52 UNIT ATRISCO GRANT  
6.04 AC



SPOT ELEVATION NOTES

- ADD 5100 TO ALL SPOT ELEVATIONS
- ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED

CAUTION

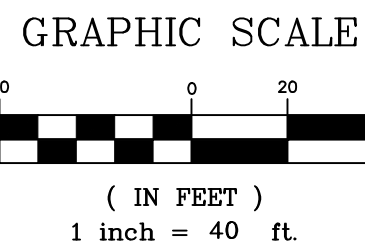
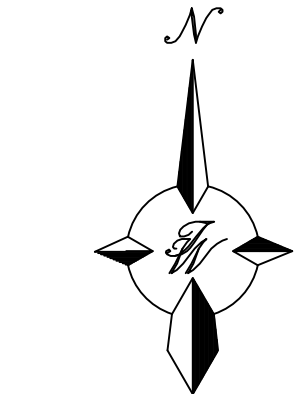
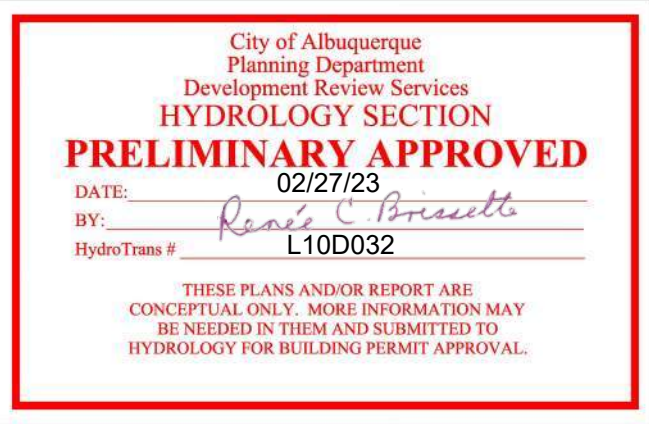
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

KEYED NOTES

- 2' CURB CUT OPENING
- 2' CONC VALLEY GUTTER
- LANDSCAPE SWALE WITH RIP RAP
- 4' SIDEWALK CULVERT
- EXTENDED STEMWALL
- EXTENDED FOOTING
- 18" HDPE - POND EQUALIZING PIPE

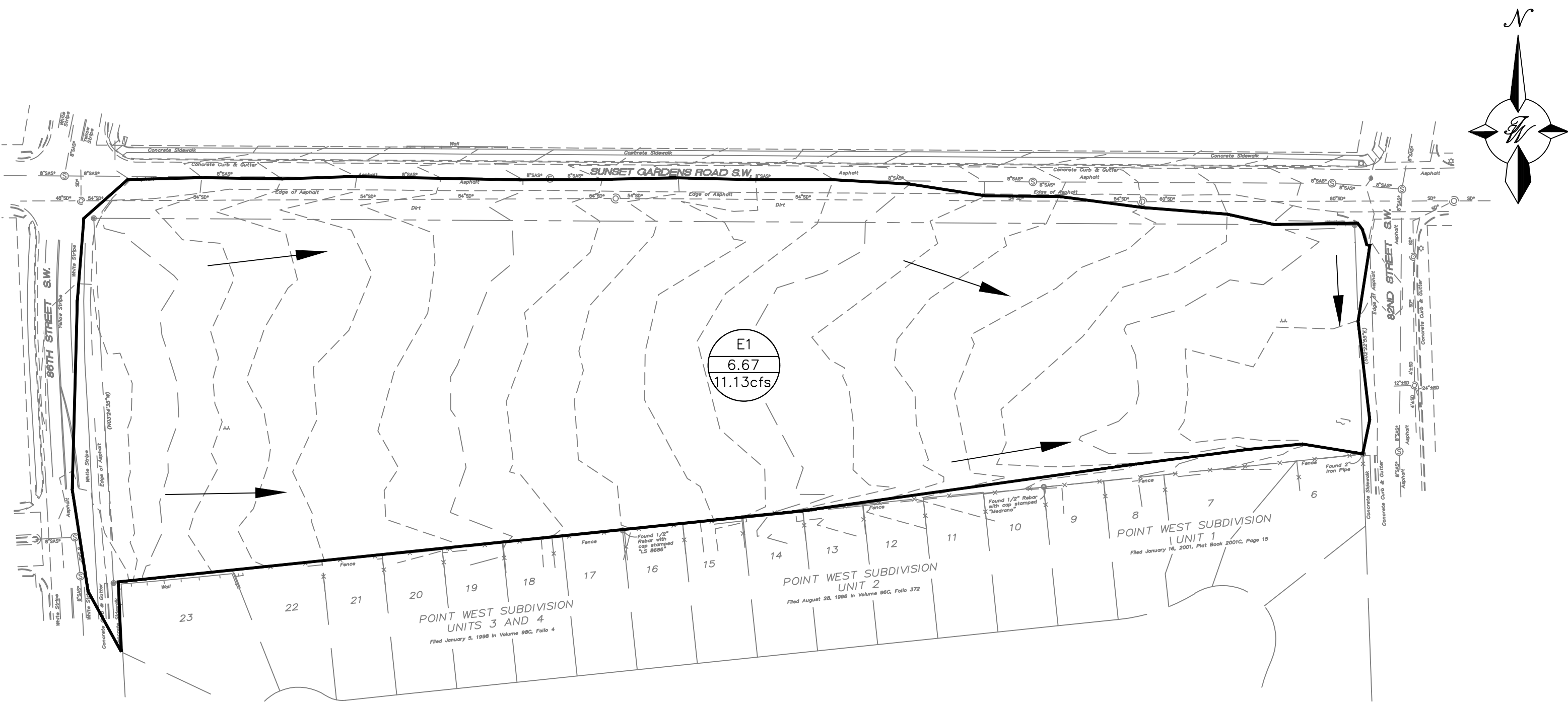
LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- RETAINING WALL
- RIGHT-OF-WAY
- BUILDING
- PROPOSED SIDEWALK
- EXISTING CURB & GUTTER
- WATER BLOCK
- LANDSCAPING
- EXISTING INDEX CONTOUR
- EXISTING CONTOUR
- PROPOSED INDEX CONTOUR
- PROPOSED CONTOUR
- FLOW

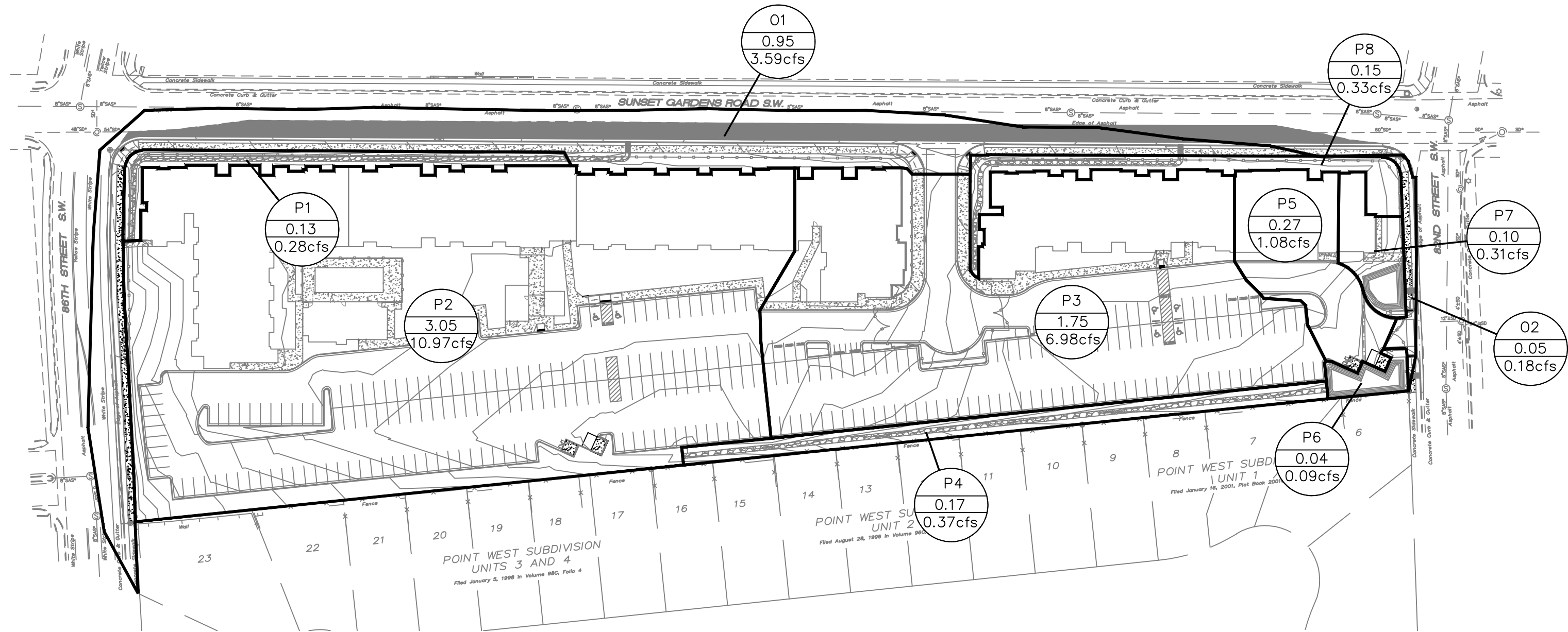


<div>ENGINEER'S SEAL</div> <div></div> <div>RONALD R. BOHANNAN P.E. #7868</div>	SUNSET APARTMENTS ALBUQUERQUE, NM	DRAWN BY pm
	CONCEPTUAL GRADING AND DRAINAGE PLAN	DATE 12-19-22
	<div>Tierra West, LLC</div> <div>5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</div>	SHEET # C2.1
		JOB # 2022028





EXISTING BASIN MAP



PROPOSED BASIN MAP

Existing Conditions

Basin Descriptions											100-Year, 6-Hr			10-Year, 6-Hr			
Basin ID	Area (sf)	Area (acres)	Area (sq miles)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs
				%	(acres)	%	(acres)	%	(acres)	%	(acres)						
E1	290,514.00	6.669	0.01042	95%	6.336	0%	0.000	0%	0.000	5%	0.333	0.635	0.353	11.13	0.176	0.098	2.76
Total	290,514.00	6.669	0.01042		0.000		0.000		0.000		0.333		0.353	11.13		0.098	2.76

Proposed Conditions

Basin Descriptions											100-Year, 6-Hr			10-Year, 6-Hr			
Basin ID	Area (sf)	Area (acres)	Area (sq miles)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs
				%	(acres)	%	(acres)	%	(acres)	%	(acres)						
P1	5,672.00	0.130	0.00020	0%	0.000	100%	0.130	0%	0.000	0%	0.000	0.730	0.008	0.28	0.260	0.003	0.11
P2	133,045.00	3.054	0.00477	0%	0.000	27%	0.825	0%	0.000	73%	2.230	1.832	0.466	10.97	1.114	0.284	6.40
P3	76,350.00	1.753	0.00274	0%	0.000	7%	0.123	0%	0.000	93%	1.630	2.134	0.312	6.98	1.348	0.197	4.29
P4	7,436.00	0.171	0.00027	0%	0.000	100%	0.171	0%	0.000	0%	0.000	0.730	0.010	0.37	0.260	0.004	0.14
P5	11,938.00	0.274	0.00043	0%	0.000	10%	0.027	0%	0.000	90%	0.247	2.089	0.048	1.08	1.313	0.030	0.66
P6	1,761.00	0.040	0.00006	0%	0.000	90%	0.036	10%	0.004	0%	0.000	0.752	0.003	0.09	0.277	0.001	0.04
P7	4,272.00	0.098	0.00015	0%	0.000	41%	0.040	10%	0.010	49%	0.048	1.492	0.012	0.31	0.850	0.007	0.17
P8	6,675.00	0.153	0.00024	0%	0.000	100%	0.153	0%	0.000	0%	0.000	0.730	0.009	0.33	0.260	0.003	0.12
O1	41,325.00	0.949	0.00148	0%	0.000	17%	0.161	0%	0.000	83%	0.787	1.983	0.157	3.59	1.231	0.097	2.15
O2	2,040.00	0.047	0.00007	0%	0.000	17%	0.008	0%	0.000	83%	0.039	1.983	0.008	0.18	1.231	0.005	0.11
Total	290,514.00	6.669	0.01042		0.000		1.675		0.000		4.981		1.033	24.18		0.630	14.18

Equations:

Weighted E = Ea\*Aa + Eb\*Ab + Ec\*Ac + Ed\*Ad / (Total Area)

Volume = Weighted D \* Total Area

Flow = Qa\*Aa + Qb\*Ab + Qc\*Ac + Qd\*Ad

Excess Precipitation, E (in.)			
Zone 1	100-Year	10-Year	
Ea	0.55	0.11	
Eb	0.73	0.26	
Ec	0.95	0.43	
Ed	2.24	1.43	

Peak Discharge (cfs/acre)			
Zone 1	100-Year	10-Year	
Qa	1.54	0.30	
Qb	2.16	0.81	
Qc	2.87	1.46	
Qd	4.12	2.57	

Water Quality Volume (Basins P1-P8)

Total Impervious Area = 4.264 Acres = 185,740 SF  
Retainage depth = 0.42" = 0.035' (COA DPM Article 6-12)  
Retention Volume = 0.035 x 185,740 = 6,501 CF

EXISTING DRAINAGE:

AS SHOWN BY THE VICINITY MAP, THIS SITE IS BOUNDED BY 86TH STREET TO THE WEST, SUNSET GARDENS ROAD TO THE NORTH, 82ND STREET TO THE EAST, AND A SINGLE FAMILY RESIDENTIAL SUBDIVISION TO THE SOUTH. THE SITE CONSISTS OF ONE VACANT LOT, WHICH WILL BE REPLATTED FOR RIGHT-OF-WAY DEDICATION FOR PERIMETER PUBLIC SIDEWALKS AND CURB. THE LEGAL DESCRIPTION OF THE PROPERTY IS TRACT 52 UNIT 2 TOWN OF ATRISCO GRANT. THE TOTAL AREA OF THE PROPERTY IS 5.8 ACRES. AS SHOWN BY THE FEMA FIRM MAP, THE SITE DOES NOT LIE WITHIN ANY FLOODPLAIN.

THE SITE IS CURRENTLY UNDEVELOPED AND CONSISTS OF DRAINAGE FLOW FROM WEST TO EAST TOWARDS 82ND STREET. THE GROUND COVER CONSISTS OF NATIVE GRASSES AND WEEDS AND IS MODERATELY SLOPED, WITH SLOPES RANGING BETWEEN 1% AND 2%. THERE ARE NO UPLAND OFFSITE FLOWS THAT PASS THROUGH THE SITE FROM THE SURROUNDING STREETS AND NEIGHBORHOODS. THERE IS CURRENTLY A LOW POINT IN THE SOUTHEAST CORNER OF THE PROPERTY WHERE RUNOFF WILL STAND AND EVENTUALLY MAKE IT'S WAY TO THE STORM DRAIN INLET IN 82ND STREET.

THE SITE LIES WITHIN BASIN U OF THE VALHALLA ESTATES DRAINAGE REPORT WITH ENGINEER'S STAMP DATE OF 12/19/1997 (L9/D19), WHICH ALLOWS THE SITE TO DISCHARGE INTO THE 82ND STREET STORM DRAIN SYSTEM AT A MAXIMUM RATE OF 24.63 CFS.

PROPOSED DRAINAGE:

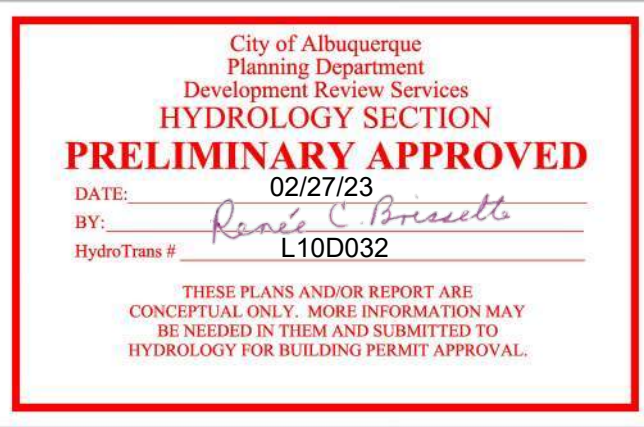
THE PROPOSED DEVELOPMENT WILL BE AN APARTMENT COMPLEX WITH 2-3-STORY RESIDENT BUILDINGS, A CLUBHOUSE BUILDING, 2 LEASING OFFICE BUILDINGS, AND A POOL. ALL IMPROVEMENTS WILL BE BUILT OUT IN THEIR ENTIRETY IN ONE SINGLE PHASE.

BASINS P2 THROUGH P5 WILL CONSIST OF A MAJORITY OF THE SITE WHICH WILL CONVEY RUNOFF VIA SURFACE FLOW FROM NORTHWEST TO SOUTHEAST TOWARDS PONDS 1 AND 2, WHICH ARE BASINS P6 AND P7 RESPECTIVELY. PONDS 1 AND 2 ARE STORMWATER QUALITY RETENTION PONDS TO HOLD THE REQUIRED FIRST FLUSH VOLUME OF 6,501 CUBIC FEET. ONCE THESE PONDS HAVE REACHED THEIR CAPACITY, EXCESS RUNOFF WILL PASS THROUGH AN OVERLOW AND SIDEWALK CULVERTS ATTACHED TO EACH POND AND FREE DISCHARGE INTO 82ND STREET AND THE EXISTING STORM DRAIN SYSTEM.

BASINS P1 AND P8 ARE THE ONSITE LANDSCAPE AREAS BETWEEN THE APARTMENT BUILDINGS AND THE PROPOSED PUBLIC SIDEWALK. THESE AREAS WILL CONVEY RUNOFF THROUGH A LANDSCAPE SWALE AND FREE DISCHARGE THROUGH PROPOSED SIDEWALK CULVERTS TOWARD SUNSET GARDENS ROAD. THIS RUNOFF EVENTUALLY MAKES ITS WAY TOWARDS THE 82ND STREET STORM DRAIN SYSTEM AS WELL.

THERE ARE 2 OFFSITE BASINS, BASINS O1 AND O2, THAT CONSIST OF THE ADJACENT PUBLIC SIDEWALK AND CURBS TO BE INSTALLED WITH THIS PROJECT. THESE FLOWS ARE CONVEYED TOWARDS THE 82ND STREET STORM DRAIN SYSTEM AS WELL.

THE TOTAL DEVELOPED FLOW FROM THESE BASINS ARE 24.18 CFS, WHICH IS LESS THAN THE ALLOWABLE 24.63 CFS IN THE GOVERNING VALHALLA ESTATES DRAINAGE REPORT.



ENGINEER'S SEAL

RONALD R. BOHANNAN  
P.E. #7868

12-23-22

SUNSET APARTMENTS  
ALBUQUERQUE, NM

CONCEPTUAL  
GRADING AND DRAINAGE PLAN

5571 MIDWAY PARK PL. NE  
ALBUQUERQUE, NEW MEXICO 87109  
(505) 858-3100  
www.tierrawestllc.com

DRAWN BY  
pm

DATE  
12-19-22

DRAWING

SHEET #  
**C2.2**

JOB #  
2022028



GENERAL UTILITY NOTES:

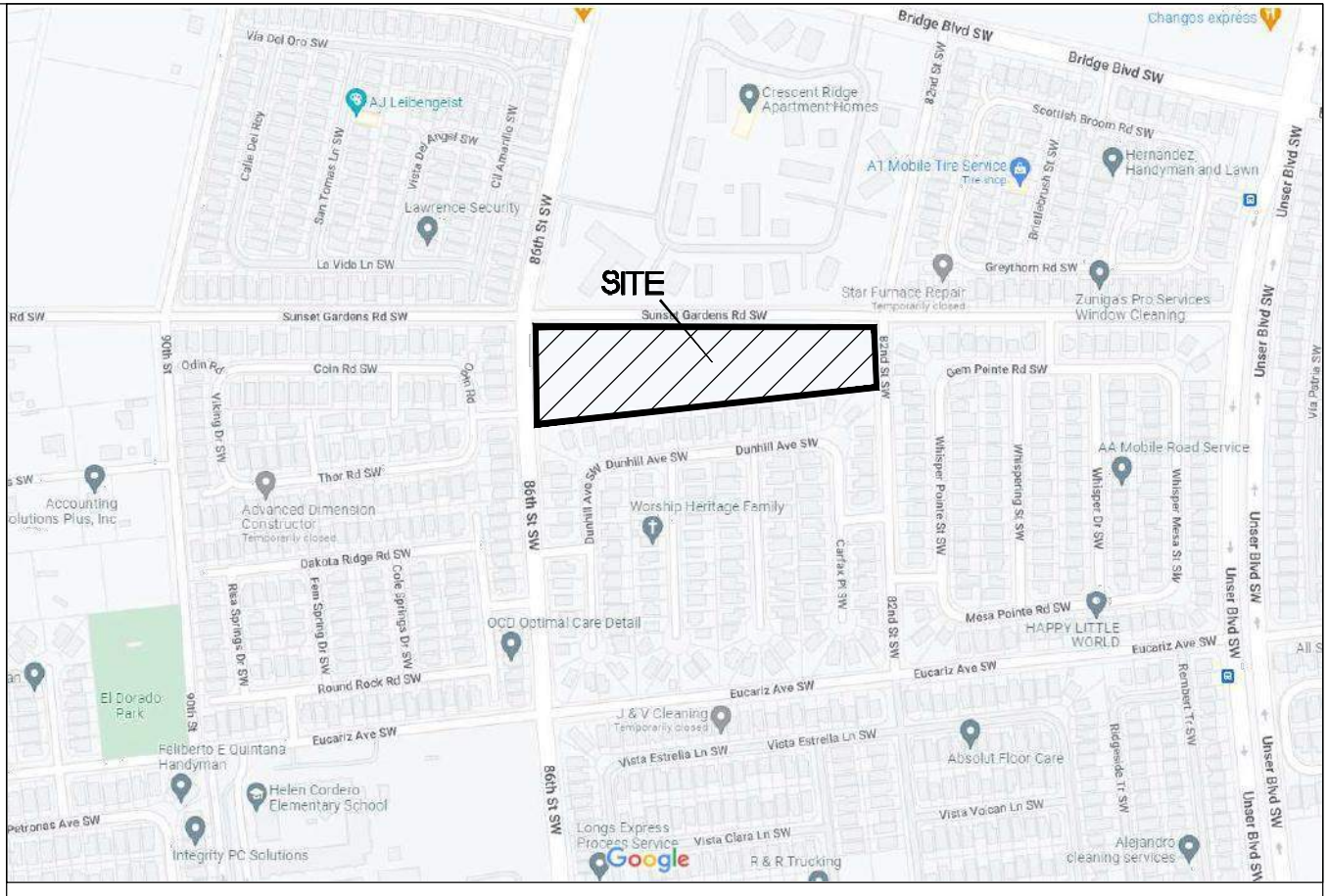
1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH CITY OF SANTA FE STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE PLUMBING PLANS FOR WATER LINE RISER LOCATIONS. BACKFLOW PREVENTOR LOCATED INSIDE BUILDING UNLESS OTHERWISE NOTED ON THIS PLAN
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS AT LOCATIONS INDICATED AND AT MID RUN IF LONGER THAN 100'
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. TO BE PROVIDED IN THE BUILDING UNLESS OTHERWISE NOTED ON THIS PLAN
7. ALL EX. SD INLETS AND MH'S SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
10. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
11. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
12. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF RIO RANCHO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
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5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

LEGEND

- Curb & Gutter
- Boundary Line
- Building
- - - - - Existing Curb & Gutter
- ⋈ Existing Gate Valve
- - - - - Existing Waterline
- - - - - Existing SAS
- - - - - 8" SAS
- - - - - 8" WL
- ⦿ Proposed Hydrant
- ⊕ New SAS MH
- ⊕ New Water Valve
- ⊕ New Single Water Meter

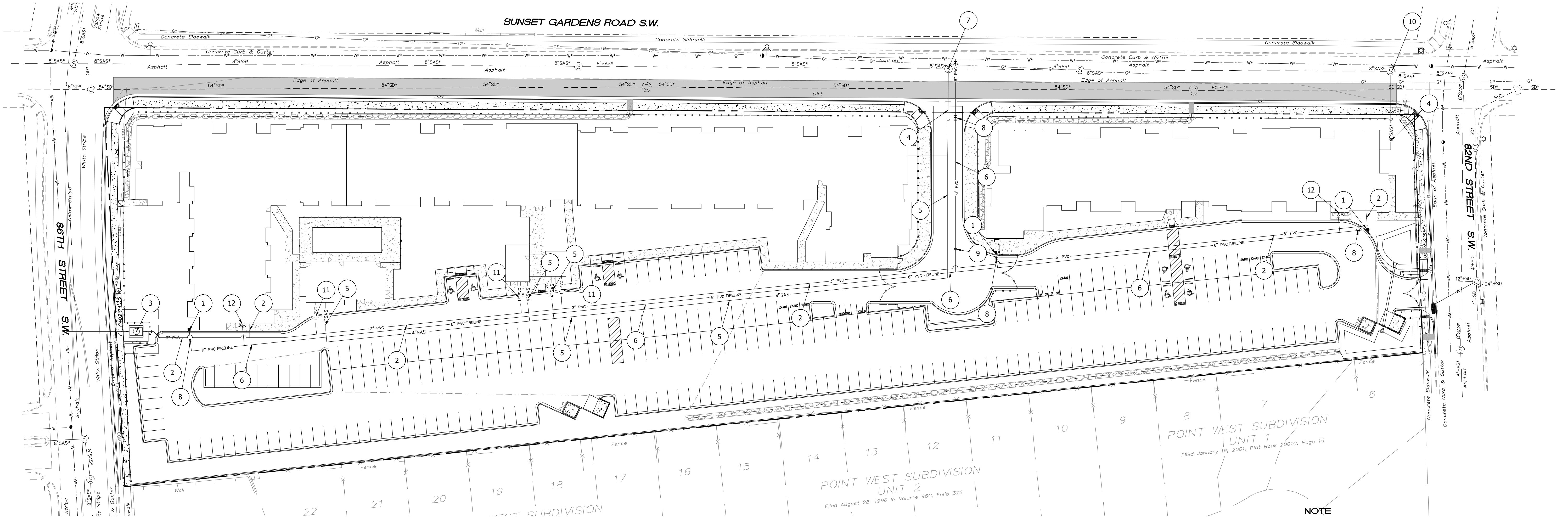


VICINITY MAP

L-9-Z

LEGAL DESCRIPTION

TRACT 52 UNIT ATRISCO GRANT  
6.04 AC



KEYED NOTES

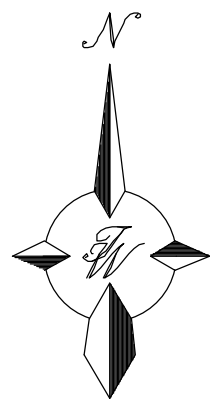
- 1 PROPOSED PRIVATE HYDRANT W/6" PVC FIRELINE AND 6" GATE VALVE PAINTED SAFETY ORANGE
- 2 NEW PRIVATE 3" WATER SERVICE LINE
- 3 NEW 3" DOMESTIC WATER METER AND VAULT
- 4 NEW 8" PVC SAS SERVICE LINE w/CLEANOUTS PER UPC
- 5 NEW 4" PVC SAS SERVICE LINE w/CLEANOUTS PER UPC (TYP.)
- 6 NEW PRIVATE 6" PVC FIRE LINE
- 7 NEW SAS MANHOLE (TYP.)
- 8 NEW 6" GATE VALVE (PRIVATE)
- 9 NEW POST INDICATOR VALVE
- 10 CONNECT SAS SERVICE TO EX. SAS MH
- 11 NEW PRIVATE 1" WATER SERVICE LINE
- 12 NEW FIRELINE ENTRY TO BUILDING PLUS FDC AND STANDPIPE COMBINED

NOTE

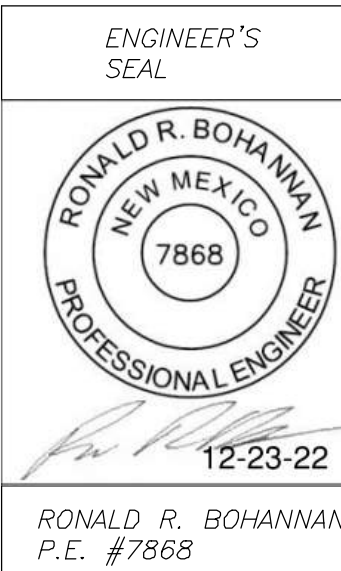
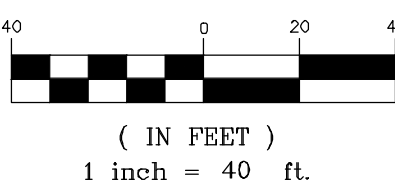
ELECTRIC, GAS AND COMMUNICATION SERVICES TO THE MEDICAL OFFICE BUILDING WILL BE EXTENDED FROM EXISTING FACILITIES LOCATED ON OR ADJACENT TO BECKNER ROAD ROW. EXACT LOCATION TO BE DETERMINED

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



GRAPHIC SCALE



SUNSET APARTMENTS  
ALBUQUERQUE, NM

MASTER UTILITY  
PLAN

TIERRA WEST, LLC  
5571 MIDWAY PARK PL NE  
ALBUQUERQUE, NEW MEXICO 87109  
(505) 858-3100  
www.tierrawestllc.com

DRAWN BY  
RMG

DATE  
05-15-2023

DRAWING

SHEET #

C3.0

JOB #  
2022028





BUILDING 1 SOUTH ELEVATION

SCALE: 1" = 20'-0"



BUILDING 1 WEST ELEVATION

SCALE: 1" = 20'-0"




BUILDING 1 EAST ELEVATION

SCALE: 1" = 20'-0"

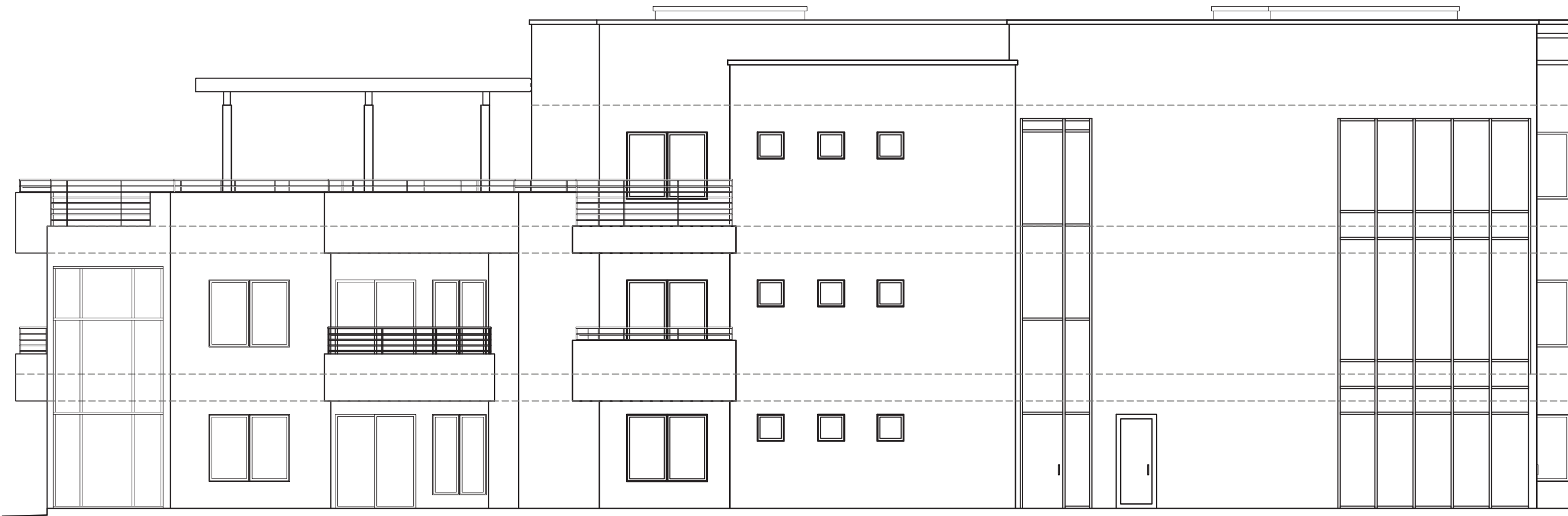


BUILDING 1 NORTH ELEVATION

SCALE: 1" = 20'-0"

No	Revision	Item	Date
<div><div></div><div><div>SCOTT C. ANDERSON</div><div>&amp; associates architects</div><div>4419 4th St. NW, Ste. B</div><div>Albuquerque, NM 87107</div><div>scott@scottcanderson.com</div><div>505.401.7575</div></div></div>			
SUNSET GARDENS 7000 SUNSET GARDENS RD SW ALBUQUERQUE, NM 87121			
DRAWING TITLE <b>BUILDING 1 BUILDING ELEVATIONS</b>			
SEAL	DESIGNED	PROJECT NO	
	DRAWN	SCALE	
	CHECKED	DRAWING NO	
	REVIEWED	<b>A-201.1.0</b>	
	DATE 1/10/2023		





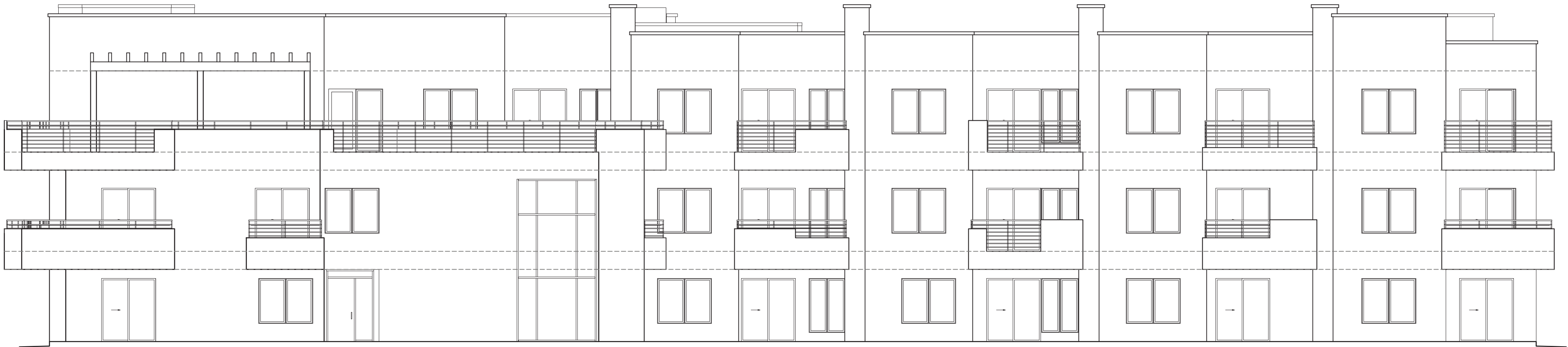
BUILDING ONE AREA A SOUTH ELEVATION

SCALE: 1/8" = 1'-0"




BUILDING ONE AREA A NORTH ELEVATION

SCALE: 1/8" = 1'-0"



BUILDING ONE AREA A WEST ELEVATION

SCALE: 1/8" = 1'-0"

No	Revision	Item	Date
<div><div></div><div><div>SCOTT C. ANDERSON</div><div>&amp; associates architects</div><div>4419 4th St. NW, Ste. B</div><div>Albuquerque, NM 87107</div><div>scott@scottcanderson.com</div><div>505.401.7575</div></div></div>			
SUNSET GARDENS 7000 SUNSET GARDENS RD SW ALBUQUERQUE, NM 87121			
DRAWING TITLE BUILDING 1 AREA A ELEVATIONS			
SEAL	DESIGNED	PROJECT NO	
	DRAWN	SCALE	
	CHECKED	DRAWING NO	
	REVIEWED	A-201.1.A	
	DATE 1/10/2023		






**BUILDING 1 AREA B SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



**BUILDING 1 AREA B NORTH ELEVATION**

SCALE: 1/8" = 1'-0"

No	Revision	Item	Date
<div><div></div><div><div>SCOTT C. ANDERSON</div><div>&amp; associates architects</div><div>4419 4th St. NW, Ste. B</div><div>Albuquerque, NM 87107</div><div>scott@scottcanderson.com</div><div>505.401.7575</div></div></div>			
SUNSET GARDENS 7000 SUNSET GARDENS RD SW ALBUQUERQUE, NM 87121			
DRAWING TITLE BUILDING 1 AREA B ELEVATIONS			
SEAL	DESIGNED	PROJECT NO	
	DRAWN	SCALE	
	CHECKED	DRAWING NO	
	REVIEWED	A-201.1.B	
	DATE 1/10/2023		






**BUILDING 1 AREA C SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



**BUILDING 1 AREA C NORTH ELEVATION**

SCALE: 1/8" = 1'-0"

No	Revision	Item	Date
<div><div></div><div><div>SCOTT C. ANDERSON</div><div>&amp; associates architects</div><div><small>4419 4th St. NW, Ste. B Albuquerque, NM 87107 scor@scottcanderson.com 505.401.7575</small></div></div></div>			
SUNSET GARDENS 7000 SUNSET GARDENS RD SW ALBUQUERQUE, NM 87121			
DRAWING TITLE BUILDING 1 AREA B ELEVATIONS			
SEAL	DESIGNED	PROJECT NO	
	DRAWN	SCALE	
	CHECKED	DRAWING NO	
	REVIEWED	A-201.1.C	
	DATE 1/10/2023		





**BUILDING 1 AREA D NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



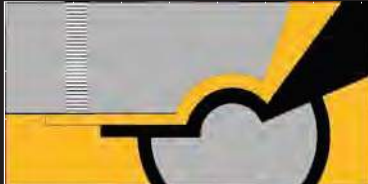
**BUILDING 1 AREA D SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"

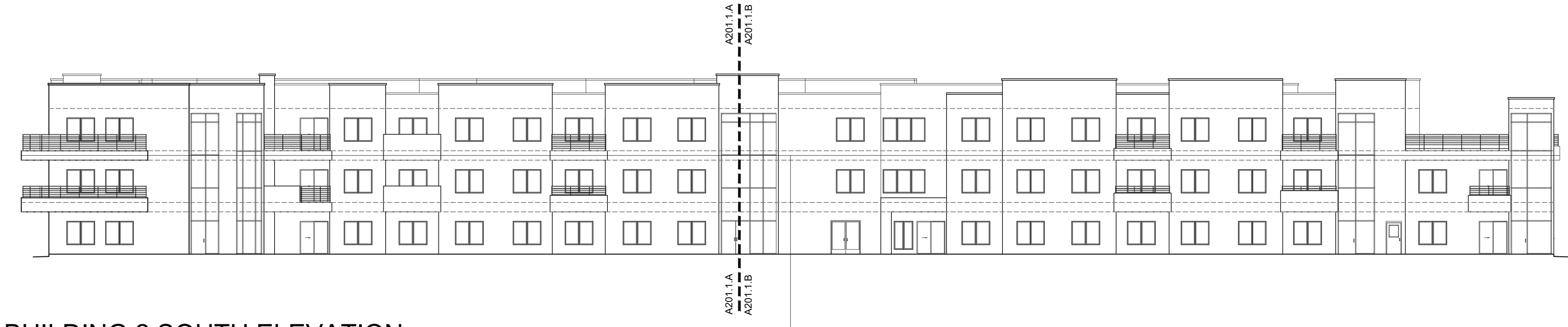


**BUILDING 1 AREA D WEST ELEVATION**

SCALE: 1/8" = 1'-0"

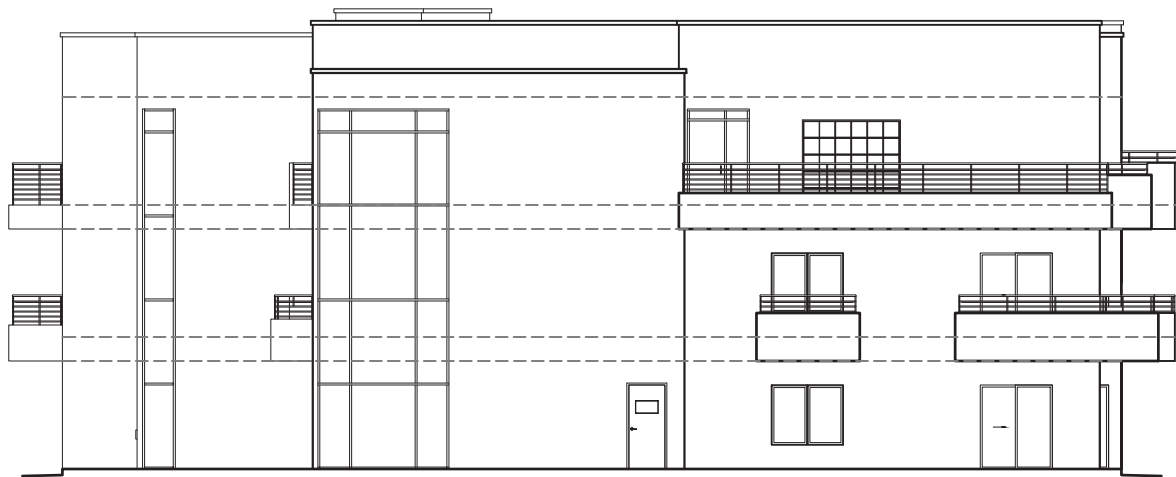
No	Revision	Item	Date
<div><div></div><div><div>SCOTT C. ANDERSON</div><div>&amp; associates architects</div><div>4419 4th St. NW, Ste. B</div><div>Albuquerque, NM 87107</div><div>scott@scottcanderson.com</div><div>505.401.7575</div></div></div>			
SUNSET GARDENS 7000 SUNSET GARDENS RD SW ALBUQUERQUE, NM 87121			
DRAWING TITLE CLUBHOUSE BUILDING ELEVATIONS			
SEAL	DESIGNED	PROJECT NO	
	DRAWN	SCALE	
	CHECKED	DRAWING NO	
	REVIEWED	A-201.1.D	
	DATE 1/10/2023		





BUILDING 2 SOUTH ELEVATION

SCALE: 1/6" = 1'-0"



BUILDING 2 EAST ELEVATION

SCALE: 1/6" = 1'-0"




BUILDING 2 WEST ELEVATION

SCALE: 1/6" = 1'-0"



BUILDING 2 NORTH ELEVATION

SCALE: 1/6" = 1'-0"

No	Revision	Item	Date
<div><div></div><div><div>SCOTT C. ANDERSON</div><div>&amp; associates architects</div><div>4419 4th St. SW, Ste. B</div><div>Albuquerque, NM 87107</div><div>scott@scottcanderson.com</div><div>505.401.7575</div></div></div>			
SUNSET GARDENS 7000 SUNSET GARDENS RD SW ALBUQUERQUE, NM 87121			
DRAWING TITLE <b>BUILDING 2 BUILDING ELEVATIONS</b>			
SEAL	DESIGNED	PROJECT NO	
	DRAWN	SCALE	
	CHECKED	DRAWING NO	
	REVIEWED	<b>A-202.1.0</b>	
	DATE 1/10/2023		





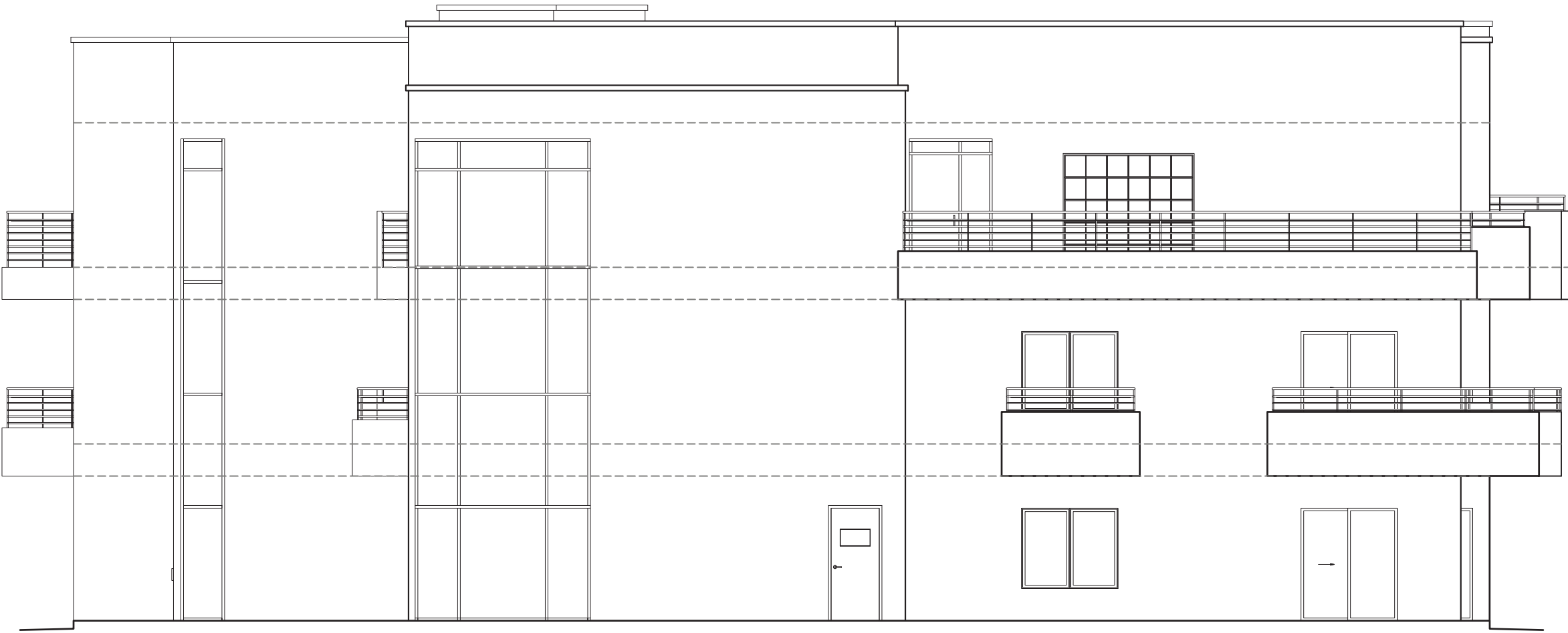
BUILDING 2 AREA A SOUTH ELEVATION

SCALE: 1/8" = 1'-0"




BUILDING 2 AREA A NORTH ELEVATION

SCALE: 1/8" = 1'-0"



BUILDING 2 AREA A EAST ELEVATION

SCALE: 1/8" = 1'-0"

No	Revision	Item	Date
<div><div></div><div><div>SCOTT C. ANDERSON</div><div>&amp; associates architects</div><div>4419 4th St. NW, Ste. B</div><div>Albuquerque, NM 87107</div><div>scott@scottcanderson.com</div><div>505.401.7575</div></div></div>			
SUNSET GARDENS 7000 SUNSET GARDENS RD SW ALBUQUERQUE, NM 87121			
DRAWING TITLE CLUBHOUSE BUILDING ELEVATIONS			
SEAL	DESIGNED	PROJECT NO	
	DRAWN	SCALE	
	CHECKED	DRAWING NO	
	REVIEWED	A-202.1.A	
	DATE 1/10/2023		





**BUILDING 2 AREA B SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"




**BUILDING 2 AREA B WEST ELEVATION**

SCALE: 1/8" = 1'-0"

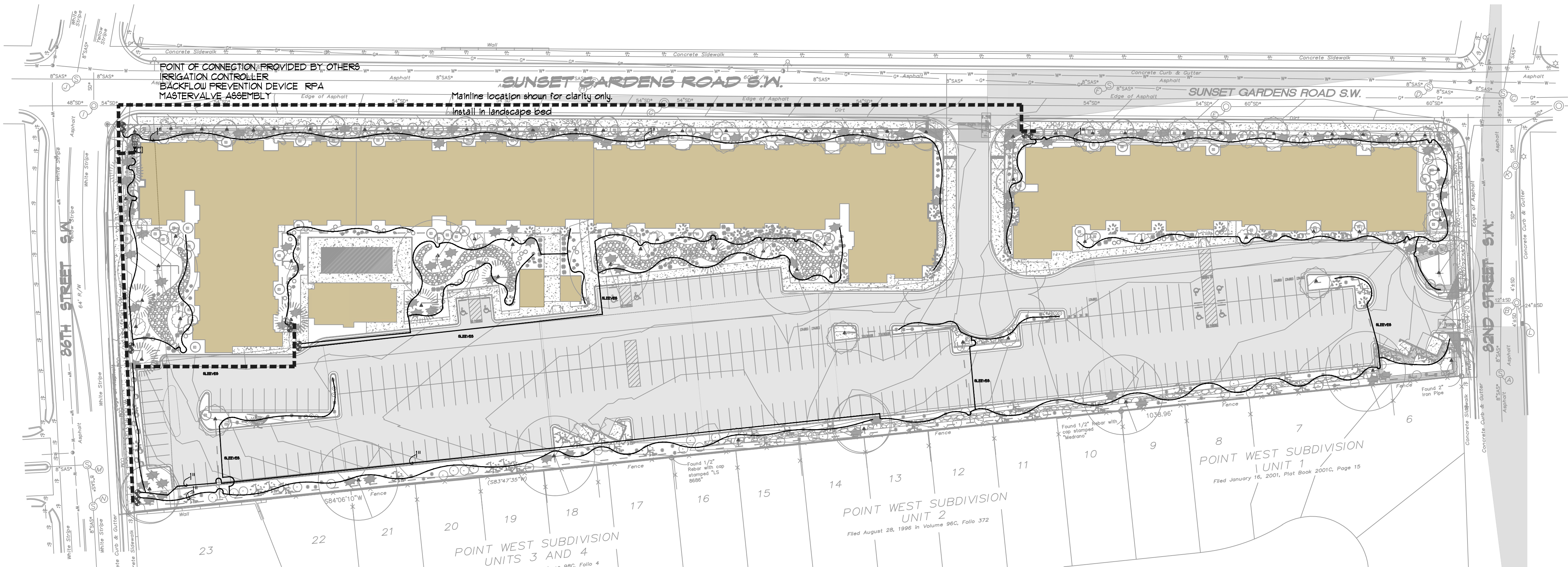


**BUILDING 2 AREA D SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"

No	Revision	Item	Date
<div><div></div><div><div>SCOTT C. ANDERSON &amp; ASSOCIATES architects</div><div>4419 4th St. NW, Ste. B Albuquerque, NM 87107 scott@scottcanderson.com 505.401.7575</div></div></div>			
SUNSET GARDENS 7000 SUNSET GARDENS RD SW ALBUQUERQUE, NM 87121			
DRAWING TITLE			
BUILDING ELEVATIONS			
SEAL	DESIGNED	PROJECT NO	
	DRAWN	SCALE	
	CHECKED	DRAWING NO	
	REVIEWED	A-202.1.B	
	DATE 1/10/2023		





## IRRIGATION LEGEND

COMPONENT	MANUFACTURER	SIZE / NOTES
POINT OF CONNECTION PROVIDED BY OTHERS	SEE CIVIL PLANS	1 1/2", 100gpm, 10psi required
IRRIGATION CONTROLLER	HUNTER	As Required
BACKFLOW PREVENTION DEVICE RFA	FEBCO (OR EQUAL)	1 1/2" Cover, Provide Freeze Protection
MASTERYALVE ASSEMBLY	HUNTER	2"
MAINLINE	Sch 40 PVC	2"
ELECTRIC ZONE VALVE	HUNTER	3/4" with Pressure Regulation and Y Filter
SLEEVES	Class 200 PVC	2 SIZES LARGER THAN PIPE TO BE SLEEVED.
Drip Line, Tree Netafim Rings	Class 200 PVC	1 1/2"
Drip Line, Shrub Drip Emitter Line	Polyline	3/4"- 1"
NETAFIM SPIRAL TREE IRRIGATION	RAINBIRD,	SEE DETAIL

Size Equipment as Required for Flow Rate

## IRRIGATION NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, EQUIPMENT QUANTITIES, AND UTILITY LOCATIONS PRIOR TO BEGINNING WORK.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN PLANS OR SPECIFICATIONS PRIOR TO BEGINNING OR CONTINUING WORK.
- THE IRRIGATION CONTRACTOR SHALL MAKE NO SUBSTITUTIONS, DELETIONS, OR ADDITIONS TO THIS PLAN WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT.
- ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REQUIREMENTS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THAT ALL IRRIGATION EQUIPMENT MEETS GOVERNMENT REGULATIONS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS OR APPROVALS.
- THIS PLAN IS SCHEMATIC AND DUE TO THE NATURE OF CONSTRUCTION SLIGHT FIELD MODIFICATIONS MAY BE NECESSARY TO IMPLEMENT PLAN.
- IRRIGATION SYSTEMS CONNECTED TO POTABLE WATER SUPPLY, SHALL HAVE A BACKFLOW PREVENTER INSTALLED.
- IRRIGATION LATERAL LINES, MAIN LINES AND EQUIPMENT MAY BE SHOWN OUTSIDE PROPERTY LINES ON THIS PLAN, ALL IRRIGATION LINES AND EQUIPMENT ARE TO BE WITHIN AND INSTALLED WITHIN THE LIMITS OF THE PROPERTY LINE.
- ALL IRRIGATION SLEEVING TO BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. ELECTRICAL WIRES FOR IRRIGATION VALVES AND IRRIGATION LINES ARE TO BE PLACED IN SEPARATE SLEEVES. SEE SLEEVING DETAIL.
- SUPPLY LINE AND WATER METER TO BE PROVIDED BY OWNER/BACKFLOW PREVENTOR TO BE PROVIDED BY IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR'S POINT OF CONNECTION TO BEGIN DOWNSTREAM OF THE IRRIGATION WATER METER.

IRRIGATION NOTES:  
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 20 GPH Drip Emitters.

Trees and Shrubs shall be on separate zones, Class 200 PVC lines shall supply netafim tree rings for Trees, 3" Polypipe shall supply drip emitters for shrubs, with flush caps at each end.

Trees and shrubs shall be on separate valves.

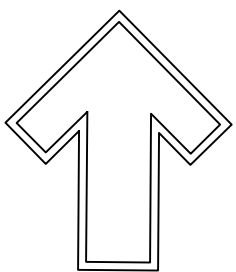
Point of connection for irrigation system is shown on the plan. Irrigation contractor shall coordinate with general contractor. General contractor shall supply point of connection with shut off gate valve, at the point of connection for irrigation.

Irrigation will be operated by automatic controller.

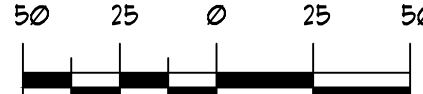
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder/General Contractor



GRAPHIC SCALE

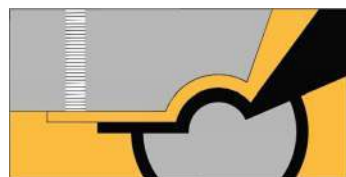


SCALE: 1" = 50'-0"



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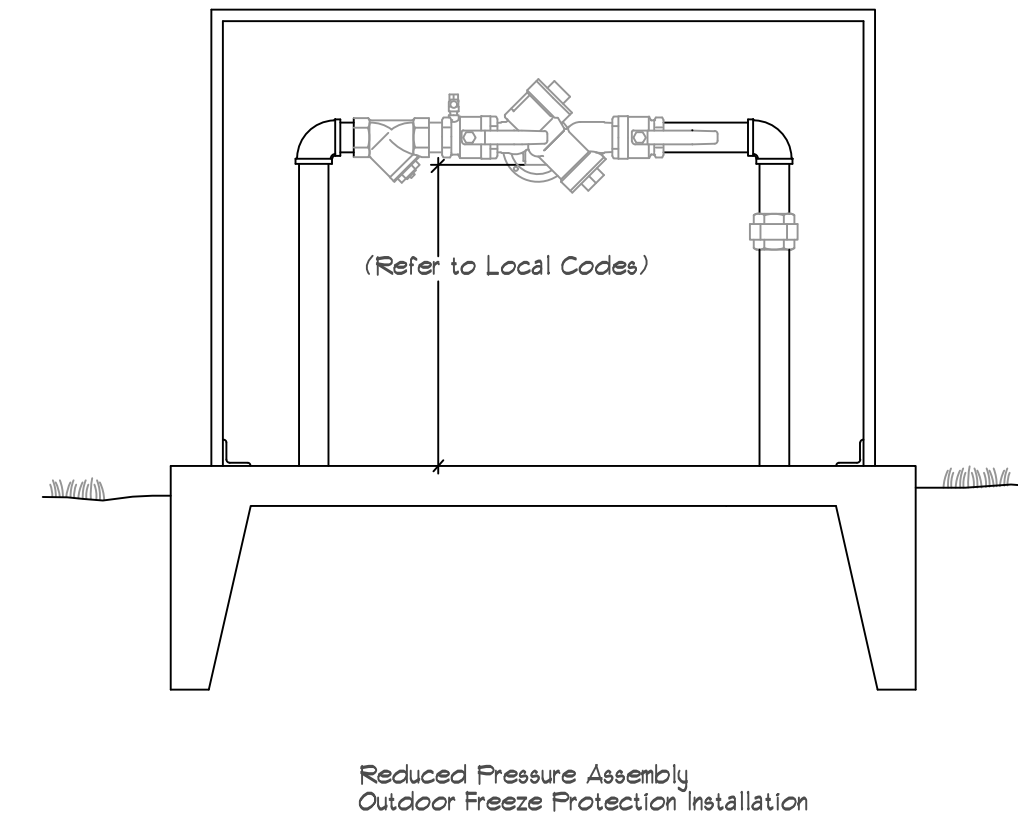
SUNSET APARTMENTS  
1000 SUNSET GARDENS RD SW  
ALBUQUERQUE, NM 87121

DRAWING TITLE

IRRIGATION PLAN

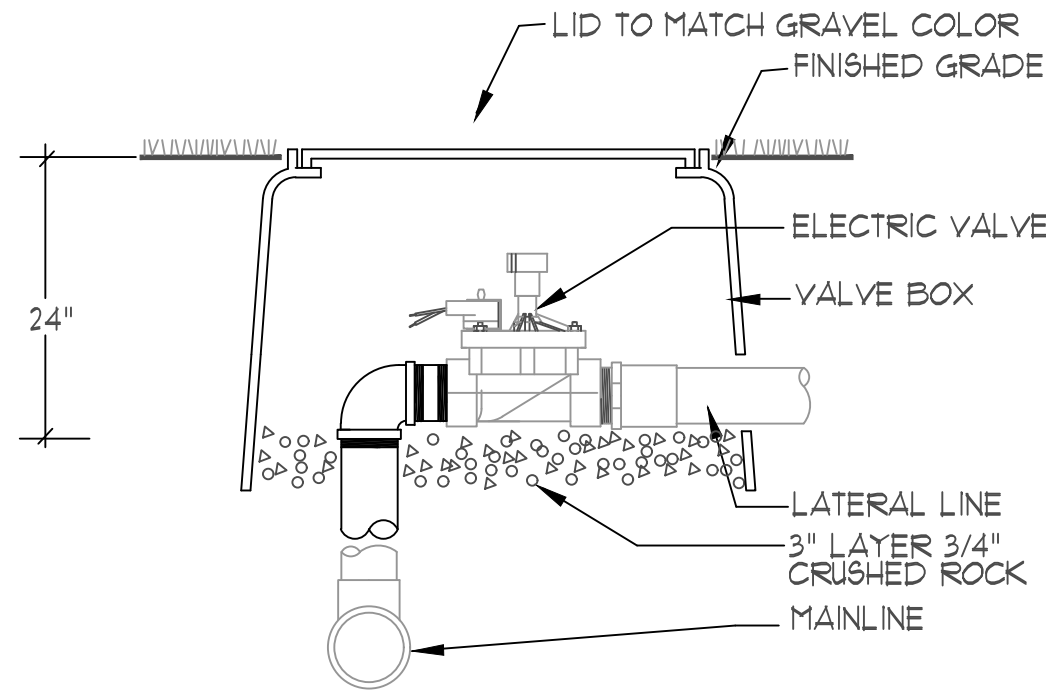
DESIGNED FV	PROJECT NO 2023-086
DRAWN FV	SCALE 1" = 50'-0"
CHECKED dm	DRAWING NO
REVIEWED dm	LS-102
DATE 11/3/23	





RPA, HOTBOX TYP.

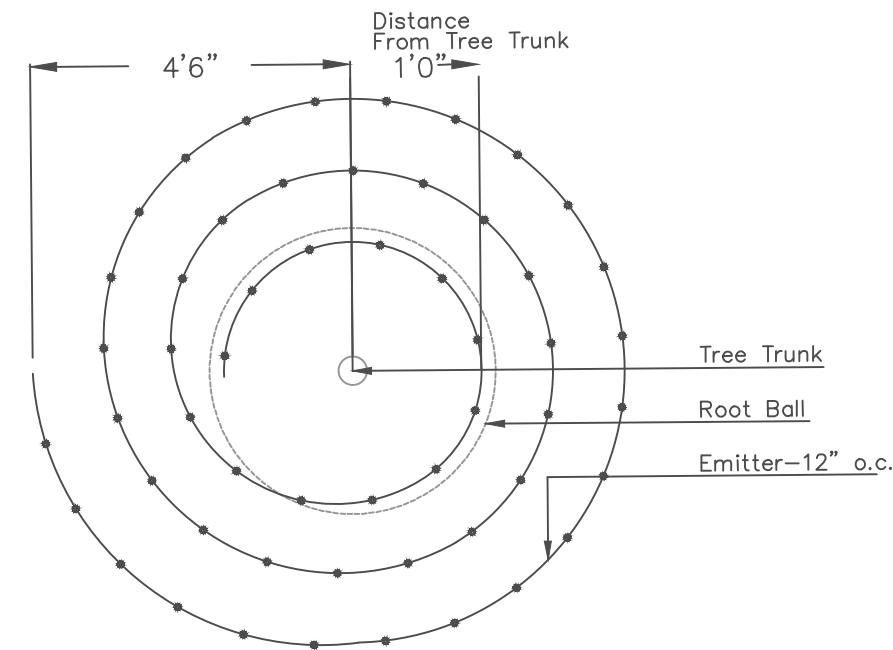
N.T.S.



ELECTRIC VALVE ASSEMBLY

N.T.S.

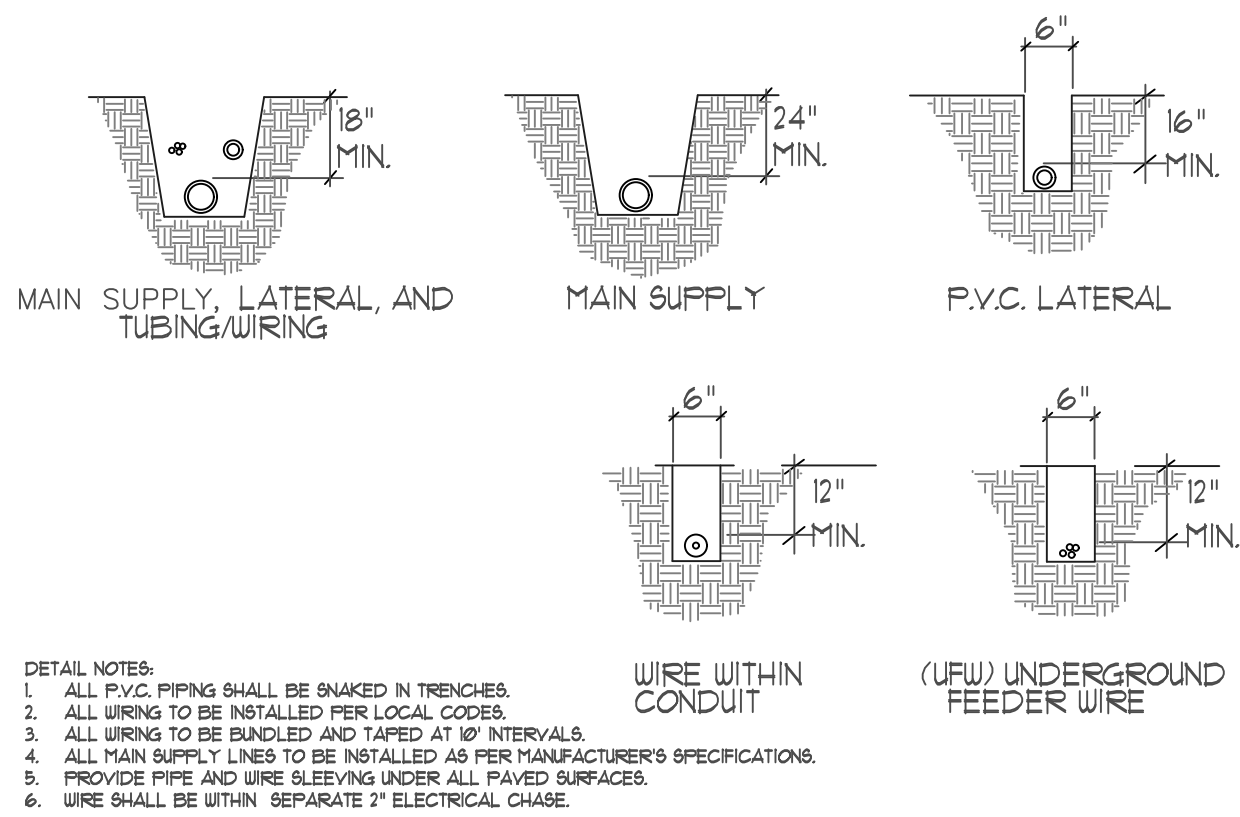
NOTE: ALL IRRIGATION COMPONENTS WILL USE RECLAIMED WATER WHEN IT BECOMES AVAILABLE TO MESA DEL SOL



Netafim Spiral Detail

NETAFIM DETAIL

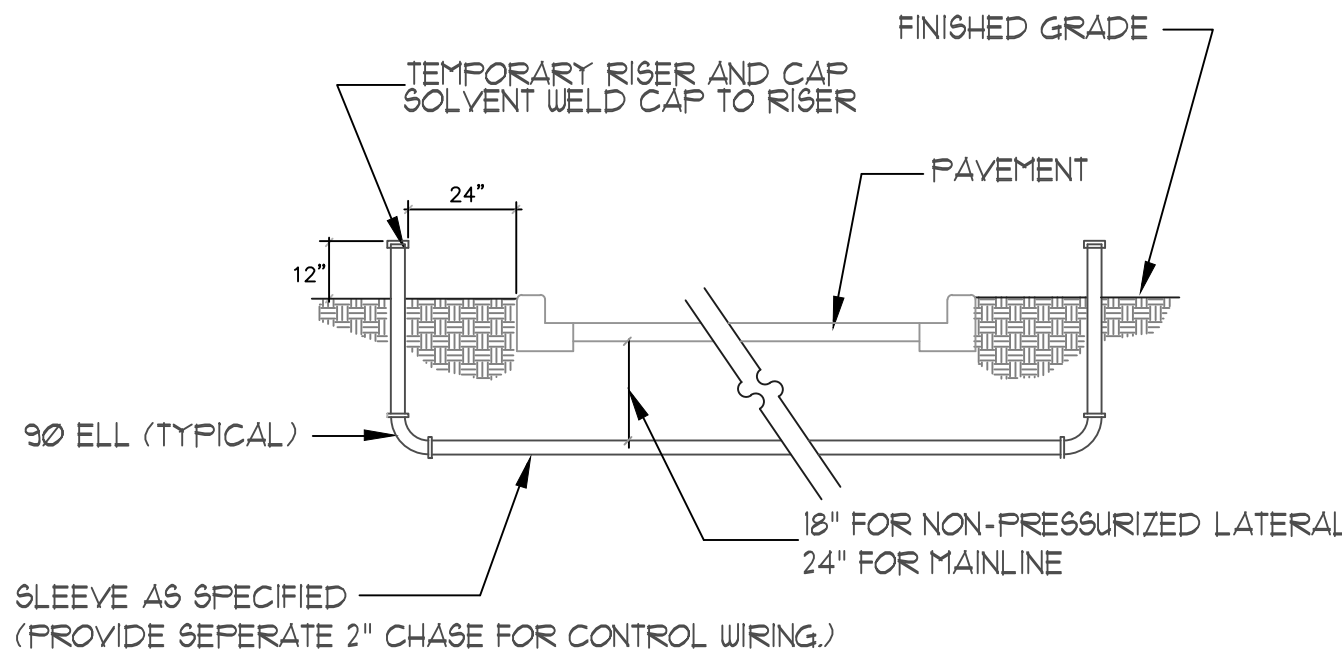
N.T.S.



- DETAIL NOTES:
1. ALL P.V.C. PIPING SHALL BE SHAKED IN TRENCHES.
  2. ALL WIRING TO BE INSTALLED PER LOCAL CODES.
  3. ALL WIRING TO BE BUNDLED AND TAPED AT 18" INTERVALS.
  4. ALL MAIN SUPPLY LINES TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
  5. PROVIDE PIPE AND WIRE SLEEVING UNDER ALL PAVED SURFACES.
  6. WIRE SHALL BE WITHIN SEPARATE 2" ELECTRICAL CHASE.

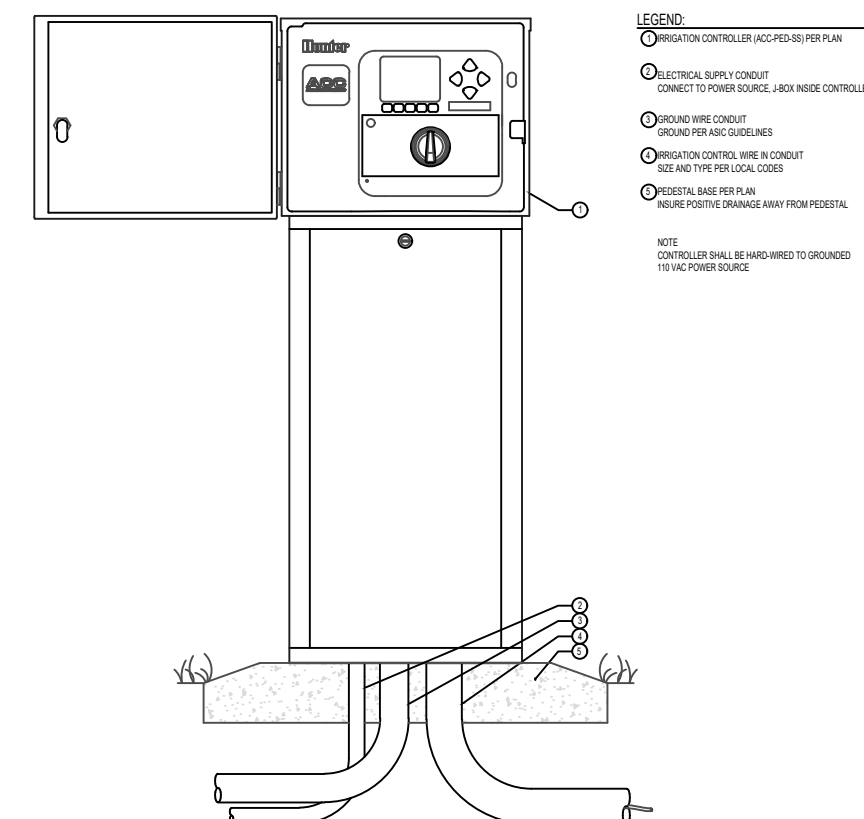
TRENCHING DETAIL

N.T.S.



SLEEVE INSTALLATION DETAIL

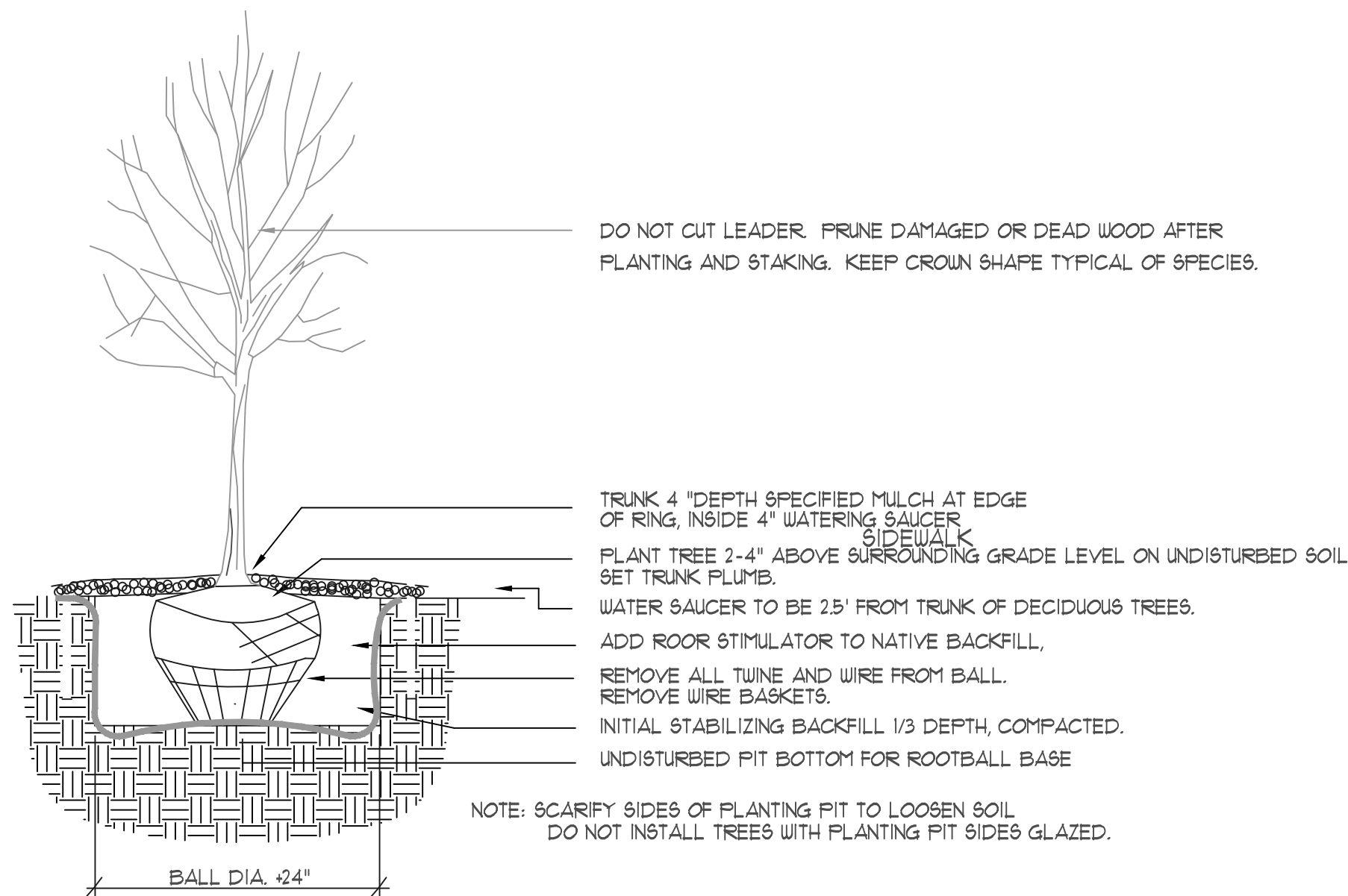
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ACC - PEDESTAL MOUNT STAINLESS STEEL

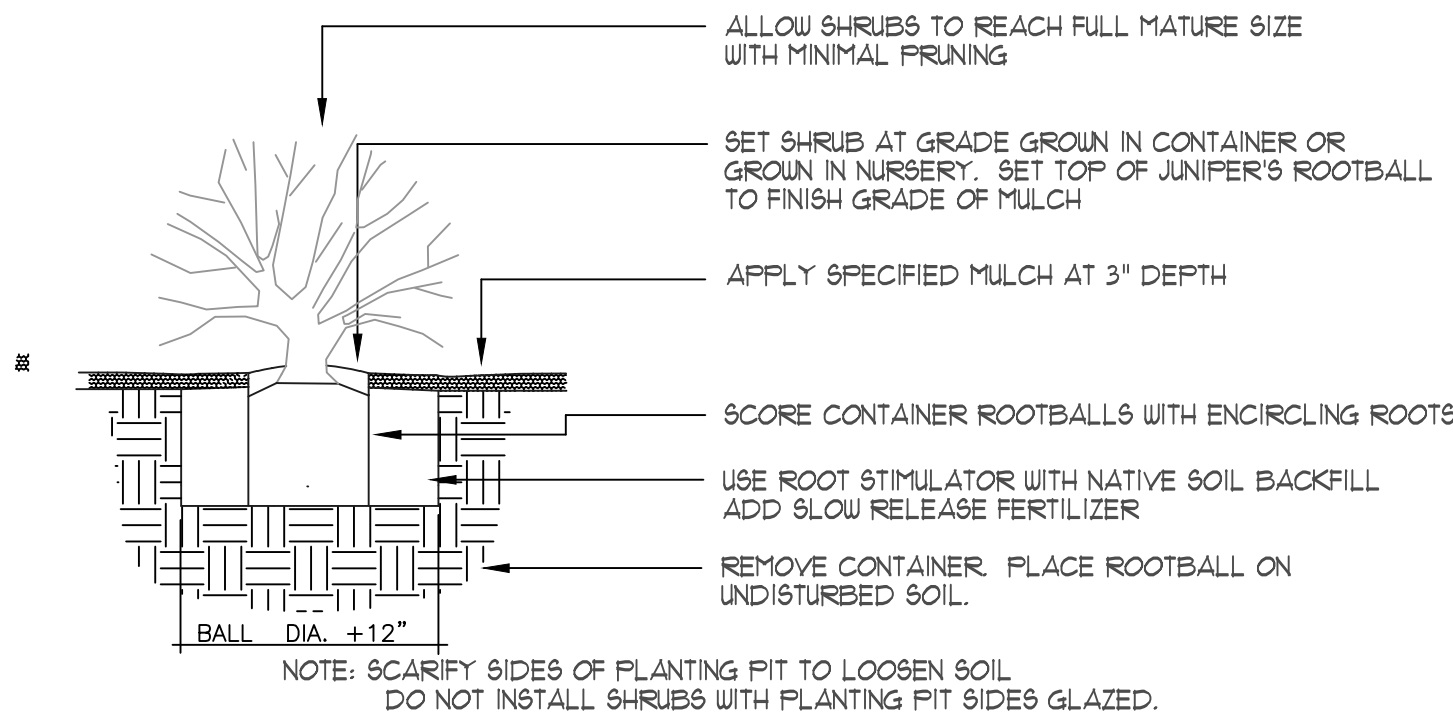
C.ACC.05

NOT TO SCALE



TREE PLANTING DETAIL

N.T.S.



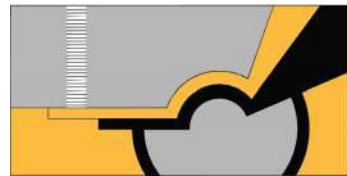
SHRUB PLANTING DETAIL

N.T.S.



danny@mitchellassociatesinc.com

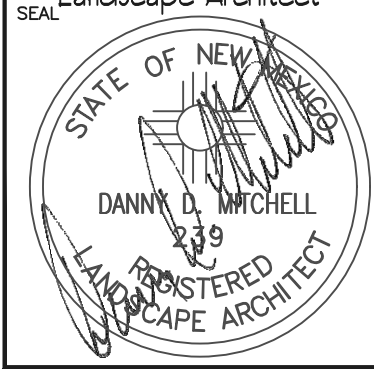
505.639.9583



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SUNSET APARTMENTS  
1000 SUNSET GARDENS RD SW  
ALBUQUERQUE, NM 87121

DRAWING TITLE  
**LANDSCAPE DETAILS**

SEAL  


DANNY D. MITCHELL  
REGISTERED  
LANDSCAPE ARCHITECT

DESIGNED  
FY

DRAWN  
FY

CHECKED  
dm

REVIEWED  
dm

DATE  
11/13/23

PROJECT NO  
2023-086

SCALE  
1"=50'-0"

DRAWING NO  
**LS-103**