

May 5, 2025

Development Facilitation Team, City of Albuquerque – Planning Department PO Box 1293 Albuquerque, NM. 87103

RE: SITE PLAN – ADMINISTRATIVE DEVELOPMENT FACILITATION TEAM TRACT 52-A, UNIT 2 TRACTS ALLOTTED FROM TOWN OF ATRISCO GRANT PR-2018-001681 SUNSET GARDENS

Dear Development Facilitation Team,

Please see responses to DFT comments for PR-2018-001681: Also included are the construction drawings updated to address the comments.

If you have any questions, please feel free to contact me at dsandoval@tierrawestllc.com

Sincerely,

Donna Sandoval Planner

JN:2022028 RRB/DS/LN



Development Facilitation Team (DFT) – Review Comments

Reviewer: David G. Gutierrez, P.E. | Phone: 505-289-3381 | dggutierrez@abcwua.org

Project No: PR-2018-001681 Date: 03/06/2024 Agenda Item: #1 Zone Atlas Page: MX-L

Legal Description: [Tract 52 Unit 2, Atrisco Grant, Request: 185-Unit MF Residential Development

with pool and clubhouse]

Location: [Sunset Gardens Rd SW between 86th St SW and 82nd St SW]

Application For: SI-2024-00271 – SITE PLAN DFT

1. Availability Statement 220907 has been issued but has since expired. Please request a renewal of this statement if nothing has changed. If there are any changes, please request a new statement to provide conditions for service.

a. Initial conditions stated routine connection is available for a 191-unit multi-family apartment complex.

RESPONSE: No changes made to utility plan and per email from Grant Magnanelli (ABCWUA) the request for the updated availability statement was CANCELLED due to no changes being made.

2. Please label the fire hydrants on-site as private and to be painted safety orange.

RESPONSE: Refer keynote #1 on the master utility plan sheet C3.0.

3. Pro Rata is due and must be paid prior to approval.

RESPONSE: Acknowledged.

Comment: (Provide written response explaining how comments were addressed)

UTILITY DEVELOPMENT

DEVELOPMENT FACILITATIVE TEAM(DFT)

Code Enforcement Comments

<u>Disclaimer</u>: Comments provided are based upon information received from applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning staff.

Jeff Palmer-Code Enforcement Supervisor

Planning Department

jppalmer@cabq.gov DATE: 03/06/2024

AGENDA ITEM NO: 1

PROJECT NUMBER:

PR-2018-001681

SI-2024-00271 - SITE PLAN DFT

REOUEST: 185-unit MF Residential Development with pool and clubhouse

LOTS/SUBDIVSION: Tract 52, Unit 2, Atrisco Grant

ADDRESS/LOCATION: Sunset Gardens RD SW between 8th St SW and 82nd St SW

ZONED: MX-L -Area of Consistency

IDO: 2022

COMMENTS:

1. EPC approved site plan 1-EPC-40035 approved May 17th,2018 must be rescinded before site plan can be approved alternatively the approved site plan expires after May 17th 2025 for 81 dwelling units.

RESPONSE: See attached correspondence from Jay Rodenbeck (COA Planning Manager).

2. An address needs to be assigned to this location.

RESPONSE: Acknowledged.

3. Provide landscaping Edge Buffer landscaping as per 14-16-5-6(E)(2)(a) zone to the south is R-1B in an area of consistency.

RESPONSE: See updated landscape plan LS-101.

4. Provide parking lot landscaping as per 14-16-5-6(F)(1)(i)(2) and parking lot trees as per 5-6(F)(2)

RESPONSE: See updated Landscape Plan LS-101.

5. Show the locations of Usable open space as per 14-16-5-1 (D) Table 5-1-2

RESPONSE: See attached open space calculation sheet.

6. The average width of the walkway along the entire length of the façade is a minimum of 8 feet 14-16-5-3(D)(3)(b)(4).

RESPONSE: See updated sheet A-100 the average walway along the façade on average is 8 ft including sidewalk and curb width.

7. Indicate how many units are on the ground and second level and provide tree count accordingly as required by 14-16-4-3(B)(c)

RESPONSE: Refer updated landscape sheet LS-101 for landscape calculations.

8. Provide building designs as per 14-16-5-11(D) (Entrances, Façade and Articulation designs as per 2inch window recess and west side heat mitigation features)

RESPONSE: Refer updated building elevations and are designed per 14-16-5-11(D).

- 9. Provide Entrance features for all buildings facing the parking lot, show color variations. RESPONSE: Refer updated building elevations and are designed per 14-16-5-11(D).
- 10. Show the location of the EV charging equipment.

RESPONSE: See general notes one at each bay of leased garages.

11. Code enforcement has no additional comments at this time.

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DEVELOPMENT FACILITATIVE TEAM (DFT) - HYDROLOGY SECTION

Renée Br	rissette, PE, Senior I	Engineer 5	505-924-399	5 <u>rbrissette</u>	@cabq.gov	<u></u>
DRB Project Number:	2018-001681			Heari	ng Date:	03-06-2024
Project:	Sunset Apartme	ents		Agenda It	em No:	1
	☐ Sketch Plat		Site Plan for rmit	Bldg.		
engineer's star RESPONSE: Ack	an approved Cond np 12/23/2022. nowledged. no objection to the		-	-	n (L10D03	2) with
will need to sub	or to submitting for omit a Grading & D ions is met. (500 c oving).	rainage P	lan to Hydı	ology for r	eview & ap	oproval if one
RESPONSE: Ack	nowledged.					
	DELEGATED TO: Delegated For:	□ TRANS	□ HYD	□WUA	□ PRKS	□ PLNG
		SPSD	□ SPBP	□ FINA	L PLAT	

DEFERRED TO_____

DEVELOPMENT FACILITATION TEAM

TRANSPORTATION DEVELOPMENT

DRB Project N Sunset Garde	lumber: 2018-001681 (1003449) ns	AGENDA ITEM NO: 1
SUBJECT: Sit	e Plan	
ENGINEERIN	G COMMENTS:	
•	ortation has an approved TCL dated 1/24/2 SE: Acknowledged.	023. No objection.
	comments provided are based upon the information on is submitted, additional comments may be prov	
FROM:	Ernest Armijo, P.E. Transportation Development 505-924-3991 or earmijo@cabq.gov	DATE: March 6, 2024
ACTION:		
APPROVED_;	DENIED_; DEFERRED_; COMMENTS PRO	OVIDED_; WITHDRAWN _
DELEGATED:	TO: (TRANS) (HYD)	(WUA) (PRKS) (CE) (PLNG)

Printed: 3/4/24 Page #1



DEVELOPMENT FACILITATION TEAM

Planning - Case Comments

HEARING DATE: 03/06/24 -- **AGENDA ITEM**: #1

Project Number: PR-2023-001681

Application Number: SI-2024-00271

Project Name: Sunset Apartments - two 3-story buildings, with a total of 185 units and some amenities

including pool and clubhouse

Request:

Site Plan Administrative DFT

BACKGROUND

- This is a request to build two 3-story apartment buildings with amenities including pool and clubhouse. Total unit numbers will be 185.
- The subject site is located in MX-L Zone district and abuts properties in R-1B zone all along the south of the property. Properties to the east and west of the project are zoned R-1A and adjacent properties to the north of the property are zoned PD.



^{*(}See additional comments on next page)

^{*}These are preliminary Planning comments. Additional reviews and/or revised comments may be needed for any modifications and/or supplemental submittals.

- 2 Subject property is not located within any Overlay Zones, Centers, or specific corridors.
- 2 Subject Property and all its adjacent properties are located within the City Development Area of Consistency.
- The site is located within the following neighborhood Coalitions: <u>South West Alliance of Neighborhoods (SWAN Coalition)</u>, and <u>Stinson Tower Neighborhood Association</u>.

GENERAL COMMENTS

- Project and Application numbers must be added to the Site Plan.
- All Plan sheets must be sealed and signed by a design professional licensed in the State of New Mexico. Master utility plan and Elevations sheets need to be signed and sealed as mentioned.

RESPONSE: Acknowledged.

Solid Waste signature is required on the site plan before the approval of this project.

RESPONSE: Acknowledged, see signature on sheet A-100.

Fire one plan is required in the site plan set.

RESPONSE: Acknowledged, see approved fire on e plan.

All public notice requirements of IDO section 6, table 6-1-1 have been completed prior to formal site plan submittal. The site plan-administrative notice requirements are summarized below:

Provide photos that show the required signs were posted.

Please confirm if the relevant neighborhood associations responded to the applicant's emails for meeting request.

RESPONSE: Acknowledged, all neighborhood associations were notified.

DHO = Development ZHE = Zoning Hearing										mission	LC = La	indmark	s Commi	ssion	
X = Required [] = P							-								
R = Review/Recommo	end [) = Re	view	and D	ecide	AR	= Apj	oeal R	eview	/ Recom	mend /	AD = Ap	peal Revi	ew and D	ecide
	Mt	gs		Pub	lic No	tice			Revi	ew and	Decisio	n-maki	ng Bodi	es	
Subsection	6-4(B)	6-4(C)	6-4(K)(2)	6-4(K)(3)	6-4(K)(4)	6-4(K)(5)	6-4(K)(6)	6-2(B)	6-2(D)	6-2(E)	6-2(H)	6-2(J)	(1)	6-2(A)	res
Application Type	Neighborhood	Pre-application	Email	Mailed	Posted Sign	Published	Web Posting	City Staff ^[1]	ОНО	EPC	21	ZHE	ОНП	City Council ^[2]	Specific Procedures
Site Plan – Administrative ^[4]	X ^[5]		X		X		х	D		15			<ar></ar>	<ad></ad>	6-5(G

Demonstrate compliance with section 7 of the DPM, Table 7-2-41, regarding Sidewalk width requirements and its landscape buffer. See Table 7-2-41 marked up below for sites located in the Major Transit zone. Section 7-2(D)(1) discusses the definitions for Pedestrian Realm including Frontage Zone, Sidewalks, and Landscape/Buffer Zone for your information.

86th street is a Major collector (outside Center) > 6-foot sidewalk and 5-6-foot landscape buffer is required.

Sunset Garden Rd. and 82nd street are local roads > 5-foot sidewalk and 4-6-foot landscape buffer is required. Con

RESPONSE: Sunset gardens is a local urban st with a 25 MPH speed limit per table 7.2.29; sidewalk = 5' req, 6' provided, buffer 4' req, 11' provided.

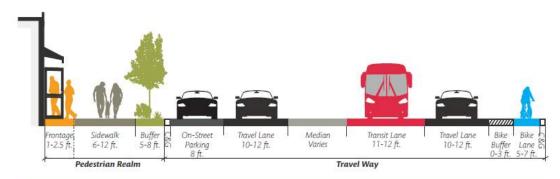


TABLE 7.2.29 Str	eet Element D	Imensi	ons						
		Design	1	Pedestrian Re	ealm	Travel Way			
Corridor Type / Classification	Location	Speed (MPH)	Frontage Zone (ft.)	Sidewalk Width (ft.)	Landscape / Buffer Zone (ft.)	Bike Lane Width (ft.)*	Bike Buffer (ft.)	Travel Lane Width (ft.)***	
D	Inside Center	30-35	1-2.5	10-12	6-8	6-6.5	0-3	10-12	
Premium Transit	Outside Center	35-40	1-2.5	8-10	6-8	6-7	1.5-3	10-12	
Major Transit	Inside Center	30-35	1-2.5	10-12	6-8	5-6.5	0-3	10-12	
	Outside Center	35-40	N/A	6-10	6-8	6-7	1.5-3	10-12	
Multi-modal	Inside Center	30-35	1-2.5	10-12	6-8	5-6.5	0-3	10-11	
	Outside Center	35-40	N/A	6-10	6-8	6-7	1.5-3	10-11	
Commuter	Inside Center	30-35	1-2.5	10	6-8	5-6.5	1.5-3	10-12	
	Outside Center	40-50	N/A	6	6-8	6-7	3-5	10-12	
Main Street	Main Street	25-30	1-2.5	10-12	6-8	5-6.5	0-3	10-11	
Other Arterial	Inside Center	30-35	1-2.5	10	6-8	5-6.5	0-3	10-11	
	Outside Center	35-40	N/A	6	5-6	6-7	1.5-3	10-11	
	Inside Center	30-35	1-2.5	10	6-8	5-6.5	0-3	10-11	
Minor Arterial	Outside Center	35-40	N/A	6	5-6	6-6.5	1.5-3	10-11	
M : - C	Inside Center	25-30	1-2.5	10	5-6	5	0-3	10-11	
Major Collector	Outside Center	30-35	N/A	6	5-6	5-6	0-3	10-11	
Maria Calleria	Inside Center	25-30	1-2.5	10	5-6	5	0-3	10-11	
Minor Collector	Outside Center	30-35	N/A	6	5-6	5-6	0-3	10-11	
Major Local	Inside / Outside Center	18-30	1-2.5 / N/A	5	5-6	Shared I	Lane"	See <u>Part 7-4(J)</u> <u>Local Streets</u>	
Other Locals	Inside / Outside Center	15-25	1-2.5 / N/A	5	4-6	N/A	N/A		

- Please consider using the <u>SubmittalFormClimaticGeographic Responsiveness.pdf</u> (<u>cabq.gov</u>) in order to make your project sustainable and promoting wellness. This information is provided as a guide and is encouraged, but it is not required.
- 2 Provide Sensitive Land Analysis per 5-2(C) SITE DESIGN TO AVOID SENSITIVE LANDS.

Sensitive lands analysis form (cabq.gov)

IDO/DPM COMMENTS

Items in orange type need to be responded to or addressed by the applicant

2-4(B) MIXED-USE – LOW INTENSITY ZONE DISTRICT (MX-L)

MX-L Zone District Dimensional Standards Summary is as follows:

Table 2-4-3: MX-L Zone District Dimensional Standards Summary See Table 5-1-2 for complete Dimensional Standards									
De	evelopment Location	General	UC-MS-PT						
Site	e Standards								
A	Usable open space, minimum	≤1 BR: 225 sq. ft./unit 2 BR: 285 sq. ft./unit ≥3 BR: 350 sq. ft./unit	50% reduction						
Set	Setback Standards								
В	Front, minimum / maximum	5 ft. / N/A	0 ft. / 15 ft.						
С	Side, minimum / maximum	Interior: 0 ft.; Street side: 5 ft. / N/A	0 ft. / Street side: 15 ft.						
D	Rear, minimum	15 ft.	Street or alley: 0 ft.						
Bui	Building Height								
E	Building height, maximum	38 ft.	55 ft.						

-Minimum required Open Space: 48,045 sq. ft. / Provided open space: 74,520 sq. ft. Please show dimension lines, area numbers and calculations in order to confirm this number.

RESPONSE: See attached area calculation sheet. The grade level open space exceeds the required minimum. These calculations exclude the upper level common open space.

-Front Minimum setback: 5 ft. Planning identified two lot fronts in the north and east edge of the property. Planning defers to Code Enforcement for confirmation.

RESPONSE: See dimensions sheet A-100.

- -Side minimum setback: Street side 5 ft. / Provided setback > 5' compliant
- -Rear Minimum setback: 15 ft. / Provided setback: 15.6'

-Maximum Building Height: 38 ft. / proposed Building Height: 38'-4" — Please address RESPONSE: Revised building heights to 38'-0".

this item

Planning defers to Code Enforcement for confirmation.

Please see Table 5-1-2 in this same document for more information.

4-2 ALLOWABLE USES

- Per Table 4-2-1 Allowable Uses:
 - Multi-family dwelling is permitted in the MX-L zone district.

4-3 USE-SPECIFIC STANDARDS

4-3(B)(8) DWELLING, MULTI-FAMILY

4-3(B)(8)(a) No more than 40 percent of required usable open space can be private to a household or occur on upper stories of the project buildings unless the site is located in a DT-UC-MS-PT area or is 660 feet or less in any direction of an NR-PO zone district or Major Public Open Space.

Please confirm compliance with this code.

RESPONSE: Confirmed and see attached area calculation sheet. The grade level open space exceeds the required minimum. These calculations exclude the upper level common open space.

- 4-3(B)(8)(c) In other areas, this use shall meet all of the following landscape standards, in addition to all applicable standards in Section 14-16-5-6 (Landscaping, Buffering, and Screening).
 - 1. This use shall provide, somewhere on the lot, at least 1 tree per ground floor dwelling unit and at least 1 tree per second floor dwelling unit; no additional trees are required for additional dwelling units on the third or higher floors.

 Please confirm compliance with this code.

RESPONSE: Confirmed see updated landscape sheet LS-101.

 Twenty-five (25) percent of the net lot area shall contain landscaping; playgrounds, sports courts, swimming pools, or similar features may count up to 10 percent of net lot landscaping. Tree canopies and ground-level plants shall cover a minimum of 75 percent of the total landscaped area, and the maximum a tree canopy shall count toward this requirement is 600 square feet.

Please confirm compliance with this code. Minimum required landscape area does not match the number on the Site Plan.

RESPONSE: Confirmed see updated landscape sheet LS-101.

3. Cool season grasses are restricted to 20 percent of the landscape area. Warm season grasses may cover up to an additional 70 percent of the landscape area.

Please confirm compliance with this code.

RESPONSE: Confirmed see updated landscape sheet LS-101.

2 4-3(B)(8)(d) At least 50 percent of the trees required by Subsection (b) or (c) above shall

be deciduous canopy-style shade trees or coniferous trees capable of attaining a mature canopy diameter of at least 25 feet. Please articulate compliance with this code.

RESPONSE: Confirmed see updated landscape sheet LS-101 and plant list.

5-1 DIMENSIONAL STANDARDS

5-1(D) MIXED-USE ZONE DISTRICTS

All development in any Mixed-use zone district shall comply with the dimensional standards in Table 5-1-2, unless an exception or a different standard is stated in another section of this IDO.

		trict Dimensional Sta	andards areas as identified in the	ARC Comp Blon			
BR = bedroom DU =		ets, and Premium Transit	areas as identified in the	ABC COMP Plan			
	The state of the s	ards in Part 14-16-3 (Ove	rlay Zones) and Section 1	14-16-5-9			
			de the standards in this t				
Zone District	MX-T ^[1]	MX-L	MX-M	MX-H			
Site Standards			· (1)	W.			
Usable open			BR: 225 sq. ft./unit				
space,			5 sq. ft./unit				
minimum ^[2]			0 sq. ft./unit				
		UC-MS-PT:	50% reduction				
Setbacks[3][4][5][6]							
Front, minimum			5 ft.				
		UC-MS-PT: 0 ft. ^[7]					
Front, maximum	N/A UC-MS-PT: 15 ft.						
Side, minimum		ANTERSONAL PROPERTY.					
side, minimum	Interior: 0 ft.; Street side of corner lots: 5 ft. UC-MS-PT: 0 ft.						
Side, maximum	N/A						
Side, maximum	uc			5 ft [7]			
Rear, minimum	UC-MS-PT: Interior: N/A; Street side of corner lots: 15 ft. 15 ft.						
ical, minimani	UC-MS-PT: 0 ft. where rear lot line abuts a street or alley						
Rear, maximum		1	N/A				
Building Height ^[6]							
Building height,			48 ft.	68 ft.			
maximum		38 ft.	UC-MS-PT: 65 ft.	UC-MS-PT: 75 ft.			
		UC-MS-PT: 55 ft.	No maximum for portions of building >10				
	30 ft.		from all lot lines				
		UC-M	UC-MS-PT-MT:				
			ed Parking Bonus	24 ft. Structured Parking Bonus			
		UC-MS-PT-MT: 12 ft. V	Vorkforce Housing Bonus				

5-3 ACCESS AND CONNECTIVITY

5-3(D) PEDESTRIAN CIRCULATION

5-3(D)(3) On-site Pedestrian Connections

Per 5-3(D)(3)(a)3. Shade trees along required pedestrian walkways are required pursuant to Subsection 14-16-5-6(C)(4)(i) (Required Plant Materials and Site Amenities). Please articulate compliance with this code.

RESPONSE: See updated landscape sheet LS-101, shade trees provided.

5-3(D)(3)(b) Network of Pedestrian Walkways

1. On-site pedestrian walkways that meet the minimum width required by the DPM shall be provided between the pedestrian entrances of each primary building on the site. Please articulate compliance with this code.

RESPONSE: Refer dimensions.

2. A 4-foot wide clear path shall be maintained along the pedestrian walkway at all times. Site amenities, other uses of the sidewalk, the overhang of parked cars, and landscaping may not encroach upon the 4-foot wide clear path.

Please articulate compliance with this code.

Confirm compliance with 5-3(D)(3)(c) Materials to Alert Motorists.

RESPONSE: Acknowledged.

Please refer to 5-5 for any parking and loading, and off-street parking, and bicycle parking requirements. Table 5-1-1 includes minimum off-street parking requirements.

Planning defers to Code Enforcement to confirm that the project complies with these codes.

RESPONSE: Acknowledged.

5-6 LANDSCAPING, BUFFERING, AND SCREENING

Minimum required landscape area does not match the number on the Site Plan. Correct this error.

RESPONSE: Acknowledged.

- 5-6(C)(2)(c) The mature realistic spread of trees and shrubs will be used to calculate required vegetative coverage as follows.
 - 1. Tree canopies and ground-level plants shall cover a minimum of 75 percent of the total landscape area as measured by canopy width or the area beneath the dripline of

the mature size of the actual vegetation. (See figure below.)

2. Of the required vegetative coverage, a minimum of 25 percent shall be provided as ground-level plants (shrubs, grasses, etc.) as measured of the mature size of the actual vegetation.

Correct total landscape area so all sheets are showing the same number. Correct all related calculations.

RESPONSE: Acknowledged.

- Per 5-6(C)(3)(b), landscaped areas may count toward satisfying usable open space requirements specified for Residential zone districts in Table 5-1-1 and for Mixed-use zone districts in Table 5-1-2.
- 5-6(C)(3)(e) Any covered or uncovered outdoor seating and gathering areas provided to meet requirements in Subsection 14-16-5-11(E)(3) (Outdoor Seating and Gathering Areas) may count toward up to 1/3 of required landscaping in Section 14-16-5-6 but shall be subject to standards in Subsection 14-16-5-6(C) (General Landscaping Standards).

Please show proper calculations to indicate the area of each of the items mentioned above separate from the landscape area.

RESPONSE: Acknowledged.

Per 5-6(C)(4)(g), all vegetation shall comply with Article 9-12 and Parts 6-1-1 and 6-6-2 of ROA 1994 (Pollen Control, Water Conservation Landscaping and Water Waste, and Street Trees) and Section 4 of the Albuquerque Bernalillo County Water Authority (ABCWUA) Legislation and Ordinances (Water Waste Reduction Ordinance) as applicable. Please add a note to the Landscape Plan general notes to reflect this code.

RESPONSE: See updated landscape plan notes.

- Per 5-6(C)(4)(h), all required plant materials shall be free of disease and insects and shall conform to the American Standard for Nursery Stock (ASNA) of the American Nursery and Landscape Association. Please add a note to the Landscape Plan general notes to reflect this code.
- **RESPONSE:** Acknowledged.
- Per 5-6(C)(4)(i), shade trees planted approximately 25 feet on-center are required along all required pedestrian walkways. If the walkway is less than 25 feet long, at least one tree is required, or, where there is insufficient space for a tree, a trellis of at least 8 feet high for at least 5 feet along the walkway shall be provided.

 Please articulate compliance with this code.

RESPONSE: See updated landscape plan notes.

Per 5-6(C)(5)(a), all vegetated material required by this Section 14-16-5-6 shall be planted in uncompacted soil. Please add a note to the Landscape Plan general notes to

reflect this code.

- **RESPONSE:** See updated landscape plan notes.
- Per 5-6(C)(5)(b), if used, weed barriers shall be permeable to optimize stormwater infiltration and prevent runoff. Please add a note to the Landscape Plan general notesto

reflect this code.

RESPONSE: See updated landscape plan notes.

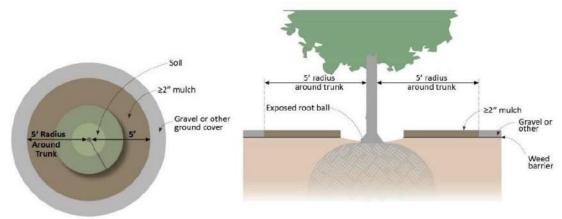
Per 5-6(C)(5)(c), the use of gravel or crusher fines as ground cover is limited to a maximum of 75 percent of any landscaped area. Please add proper calculations to demonstrate compliance with this code. Please see 5-6(C)(5)(e) for further information regarding this code.

RESPONSE: See updated landscape plan notes.

Per 5-6(C)(5)(d), a minimum of 2 inches of organic mulch is required in all planting areas, with 3-4 inches recommended. Please add a note to the Landscape Plan general notes to reflect this code.

RESPONSE: See updated landscape plan.

Per 5-6(C)(5)(e), organic mulch is required as ground cover under trees within a 5- foot radius around the tree trunk, but not directly against the trunk. In these areas, weed barrier fabric is prohibited. (See figure below.)



Please modify your tree planting detail to reflect this requirement. The **organic mulch** used under the trees can be counted towards non gravel mulch used on the site as discussed earlier under 5-6(C)(5)(c).

RESPONSE: Acknowledged.

Per 5-6(C)(5)(f), all landscaped areas shall be protected from vehicular encroachment by curbs or wheel stops located 2 feet outside the landscaped area, with openings to accommodate surface collection of stormwater runoff in vegetated swales and stormwater infiltration areas. Please provide more information regarding this code and storm water run-off collection for this project.

RESPONSE: Acknowledged.

?	All vegetation required by this Section 14-16-5-6 shall meet the minimum size requirements in Table 5-6-1 unless specified otherwise in this IDO.

Table 5-6-1: Minimum Plant Sizes					
Plant material type (ANSI types)	Minimum size				
Deciduous Street Trees	2 in. caliper 6 in. above grade				
Deciduous Accent Trees	1.5 in. caliper 6 in. above grade or 6 ft. in height				
Evergreen Tree	6 ft. in height				
Multi-trunk Tree	Minimum 2 trunks with a combined caliper of 2 in.				
Shrubs	1 gallon container size				
Ground cover and turf	Adequate to provide general ground cover within 2 growing season after planting				

Please add a note to your landscape plan that states this code will be met in the project construction phase.

RESPONSE: see updated landscape plan sheet LS-101.

Per 5-6(C)(7)(a), vegetation required by this Section 14-16-5-6 shall be located at least 3 feet in any direction from any fire hydrants, valve vaults, hose bibs, manholes, hydrants, and fire department connections.

Please confirm compliance with this code per master utility plan, based on the proposed fire hydrant, valve vault, manhole etc.

RESPONSE: acknowledged.

- Per City Forester comments:
 - -Yaupon holly is a toxic tree. Replace with a different tree.
 - -Use Pink pom poms redbud tree instead of Oklahoma redbud.
 - -Replace Palm yucca with a different tree.
 - -Make sure no two Honey Locusts are planted next to one another.

RESPONSE: see updated landscape plan sheet LS-101.

5-6(C)(8) Protecting Clear Sight Triangle

The clear sight triangle shall be maintained at all exits of parking areas and street intersections.

5-6(C)(9) Planting in or over the Public Right-of-way

5-6(C)(9)(a) All planting of vegetated material or installation of any landscaping, buffering, or screening material in the public right-of way shall require the prior approval of the City. The property owner shall be responsible for the maintenance, repairs, or liability for all the landscaping placed in or over the public right-of way. Please add a note to the Landscape Plan general notes to reflect this code.

RESPONSE: see updated landscape plan sheet LS-101, note added.

2 5-6(C)(9)(b) Any trees that overhang a public sidewalk or Major Public Open Space shall be trimmed to maintain an 8 foot clearance over the sidewalk. Any trees that overhang

a public street shall be trimmed to maintain a 9 foot clearance over the street surface. Please add a note to the Landscape Plan general notes to reflect this code

RESPONSE: see updated landscape plan sheet LS-101, note added.

Per 5-6(C)(9)(c), where landscaping is installed in the public right-of-way, the applicant shall install an adequate irrigation system that meets the minimum technical requirements In Article 6-6 of ROA 1994 (Trees, Vegetation and Landscaping) and the DPM, with a separate meter for the landscape area in the public right-of-way, or a separate valve(s) at the property line allowing isolation of the irrigation to the landscape within the public right-of-way. Drip irrigation systems and artificial turf shall not be allowed within the public right-of-way.

Please add a note to the Landscape Plan general notes to reflect this code

RESPONSE: see updated landscape plan sheet LS-101, note added.

5-6(C)(10) Planting near Utilities

Per 5-6(C)(10)(a), trees and shrubs shall not be planted in utility easements unless there is no other practicable location on the lot where the landscaping would achieve its intended purpose. The Planning Director may adjust the location of required landscaping to avoid utility easements, provided that the total amount of landscaping and buffering required is not reduced.

Please confirm compliance with this code. Planner was unable to locate the utility easements.

RESPONSE: Acknowledged.

Per 5-6(C)(10)(b), trees shall not be planted within 10 feet in any direction of the centerline of a sewer or water line. (See figure below.)

Please confirm compliance with this code per proposed water and sewer lines shown on the utility plan.

RESPONSE: see utility plan notes.

Per 5-6(C)(10)(c), trees or shrubs planted within utility easements shall comply with the standards of the utility provider to minimize effects on facilities maintenance and repair. Please confirm compliance with this code

RESPONSE: see utility plan notes.

- Per 5-6(C)(10)(d), if overhead distribution electric lines are present and large trees cannot be planted due to potential interferences with the electric lines, one ornamental tree with a mature height of 12 feet shall be planted per 20 feet of street frontage. New trees planted near electric transmission lines shall be no taller than 25 feet in height at maturity to avoid conflicts with existing electric facilities.
 - Please confirm if any overhead distribution electric lines are present on the site or are being proposed. Please clarify keyed note P on the site plan related to existing power poles.

RESPONSE: No overhead lines present.

Per 5-6(C)(10)(e), all screening and vegetation surrounding ground-mounted

transformers and utility pads must allow 10 feet of clearance for access and to ensure the safety of the work crews and public during maintenance and repair.

Please confirm compliance with this code.

RESPONSE: Acknowledged no equipment is proposed at this time.

Per 5-6(C)(10)(f), trees shall not be planted near existing or proposed street light poles.

15 feet of clearance is required. Please confirm compliance with this code.

5-6(C)(12) Existing Vegetation Credit

Please confirm whether or not any existing vegetation will be maintained.

RESPONSE: All existing vegetation will be removed and re-landscaped.

5-6(C)(13) Stormwater Management Features

Per 5-6(C)(13)(a), required landscape and buffer areas shall be designed to serve as stormwater management areas to the maximum extent practicable and consistent with their required locations and vegetation.

Please articulate how this project has considered this code.

RESPONSE: We provided a 11 ft landscaped buffer area to be built per COA

standards.

5-6(C)(13)(e) Where pedestrian walkways and multi-use trails cross required landscape areas, permeable paving may be used and may count toward satisfying the requirements of Subsection 14-16-5-6(C)(2) (Minimum Landscape Area).

5-6(C)(14) Irrigation Systems

Per 5-6(C)(14)(a), irrigation systems shall comply with Section 8 of the ABCWUA Legislation and Ordinances (Cross Connection Prevention and Control Ordinance). Please add a note to the Landscape Plan general notes to reflect

RESPONSE: see updated landscape plan sheet LS-101, note added.

- Per 5-6(C)(14)(b), all irrigation systems shall be designed to minimize the use of water.

 Please add a note to the Landscape Plan general notes to reflect

 RESPONSE: see updated landscape plan sheet LS-101, note added.
- 5-6(C)(14)(c), all non-residential landscape irrigation shall have automatic timers and/or programmable settings to avoid overwatering.
 Please add a note to the Landscape Plan general notes to reflect this code

RESPONSE: see updated landscape plan sheet LS-101, note added.

Per 5-6(C)(14)(d), the irrigation system shall not spray or irrigate impervious surfaces, including sidewalks, driveways, drive aisles, streets, and parking and loading areas.

Please add a note to the Landscape Plan general notes to reflect

RESPONSE: see updated landscape plan sheet LS-101, note added.

5-6(C)(15) Installation

5-6(C)(15)(c) Any damage to utility lines resulting from the negligence of the abutting property owner or the property owner's agents or employees in the installation and maintenance of any landscaping, screening, or buffering in a public right-of-way, private way, or easement shall be the responsibility of such property owner. Any damage to

utility lines resulting from the growth of plant materials that have been approved by the applicable public utility as part of a plan for landscaping, screening, or buffering on the public right of way shall be the responsibility of such public utility. If a public utility disturbs landscaping, screening, or buffering in a public right-of-way, private way, or easement, it shall make every reasonable effort to preserve the landscaping materials and return them to their prior locations after the utility work. If the plant materials die despite those efforts, it is the obligation of the abutting property owner to replace the plant materials.

Please add a note to the Landscape Plan general notes to reflect this code

RESPONSE: see updated landscape plan sheet LS-101, note added.

5-6(C)(15)(d) Property owners acknowledge that approved landscaping and trees installed and maintained in a public right-of-way, private way, or easement abutting private properties are the property of the City, and that that the City reserves the right to remove them if necessary for a transportation project without compensation, but at no cost to the property owner. Landscaping installed in an abutting public right-of-way, private way, or easement by property owners and later removed by the City shall not impact previously approved net lot area calculations for required landscaping.

Please add a note to the Landscape Plan general notes to reflect this code

RESPONSE: see updated landscape plan sheet LS-101, note added.

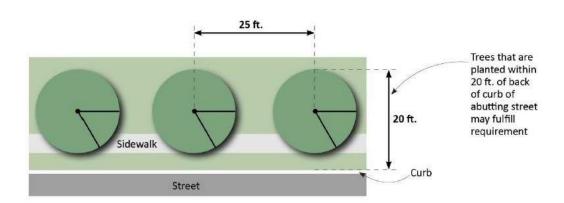
5-6(D) STREET FRONTAGE LANDSCAPING

5-6(D)(1) Required Street Trees

Per 5-6(D)(1)(a), all development shall comply with Part 6-6-2 of ROA 1994 (Street Trees) and any standards developed by the Parks and Recreation Department or other City department to implement that Ordinance. Trees are generally required along street frontages every 25 feet on center unless specified otherwise in Part 6-6-2 of ROA 1994 (Street Trees). Along street frontages where street trees are required, trees that are planted within 20 feet of the back of curb of the abutting street may fulfill this requirement. (See figure below.)

Please confirm compliance with this code.

RESPONSE: see updated landscape plan sheet LS-101, street trees are included every 25



ft.

5-6(E) EDGE BUFFER LANDSCAPING

Development Type	Development Next to	Specific Standards	General Buffering	Buffering in DT-UC-MS-PT	
Industrial	Non-industrial development	14-16-5- 6(E)(4)	Landscaped		
Multi-family	Industrial development	14-16-5- 6(E)(4)	buffer area ≥25 ft.	Mall fance or	
Mixed-use or other non- residential	R-ML or R-MH	14-16-5- 6(E)(3)	Landscaped buffer area ≥20 ft.	Wall, fence, or vegetative screen ≥6 ft.	
Multi-family, mixed-use, or other non- residential	R-A, R-1, R- MC, R-T, or R- ML	14-16-5- 6(E)(2)	Landscaped buffer area ≥15 ft.		

[1] See Subsections 14-16-5-6(E)(2), 14-16-5-6(E)(3), and 14-16-5-6(E)(4) for complete edge buffer standards.

Project complies with this standard.

5-6(E)(2) Development Next to Low-density Residential Zone Districts

- 2 Where multi-family, mixed-use, or non-residential development other than industrial development occurs on a lot abutting or across an alley from a lot containing lowdensity residential development in an R-A, R-1, R-MC, R-T, or RML zone district, a buffer shall be provided along the lot line, as specified in Table 5-6-4 and for the relevant area below.
- Per 5-6(E)(2)(a), General, a landscaped edge buffer area shall be provided on the subject property along the property line between the two properties.
 - 1. If a wall at least 3 feet in height is provided or exists along the property line between

the 2 properties, 1 tree at least 8 feet high at the time of planting shall be provided every for 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.

2. If no wall is provided or exists, **1 tree at least 6 feet tall at the time of planting** and at least 25 feet tall at maturity and 3 shrubs shall be provided for every 25 feet along the lot line, with spacing designed to minimize sound, light, and noise impacts.

Please make adjustments to add buffer along the south property edge in order to meet this code.

RESPONSE: see updated landscape plan sheet LS-101.

5-6(F) PARKING LOT LANDSCAPING

Per 5-6(F)(2)(a) General, at least 10 percent of the parking lot area of lots containing 50 or fewer spaces, and at least 15 percent of the parking lot area of lots containing 50 or more spaces, shall be landscaped. Please show relevant calculations to demonstrate compliance with this code.

RESPONSE: see updated landscape plan sheet LS-101.

5-6(F)(2)(c) Tree Requirements

- 1. One (1) tree is required per 10 parking spaces.
- 2. No parking space may be more than 100 feet in any direction from a tree trunk.
- 3. At least 75 percent of the required parking area trees shall be deciduous canopy-type shade trees, capable of achieving a mature canopy diameter of at least 25 feet.

Please show relevant calculations to demonstrate compliance with this code.

RESPONSE: see updated landscape plan sheet LS-101.

5-6(G) SCREENING OF MECHANICAL EQUIPMENT AND SUPPORT AREAS

5-6(G)(2) Ground-mounted Mechanical Equipment

Per 5-6(G)(2)(a), R-ML, R-MH, and Mixed-use Zone Districts, outdoor ground-mounted mechanical equipment shall be located where it is not visible from streets, City parks or trails, Major Public Open Space, or major arroyos adjacent to the lot or from adjacent properties to the maximum extent practicable.

Please confirm compliance with this code

RESPONSE: None at this time, mechanical equipment shall be screened per code.

5-6(G)(2)(c) Screening

Where it is not practicable to locate ground-mounted mechanical equipment pursuant

to Subsections (a) and (b) above, such equipment shall be screened from view by an opaque decorative wall or fence or a vegetative screen.

- 1. The wall or fence shall be of a height equal to or greater than the height of the mechanical equipment being screened and shall incorporate at least 1 of the primary materials and colors of the nearest wall of the primary building (but excluding exposed CMU block).
- 2. The vegetative screen shall be planted along the full length of the equipment to be screened and shall be of a height equal to or greater than the height of the equipment to be screened at the time of planting.
- 3. No screening of ground-mounted solar energy equipment that would reduce the efficiency or effectiveness of the solar energy equipment is required.

Please confirm compliance with this code

RESPONSE: none proposed.

5-6(G)(2)(d) Safety Exemption

Notwithstanding Subsections (a), (b), and (c) above, screening is not required if it would violate any State or federal safety rules.

Please confirm whether or not any ground mounted mechanical equipment will be installed on the site

RESPONSE: None at this time, mechanical equipment shall be screened per code.

5-6(G)(3) Loading, Service, and Refuse Areas

- Per 5-6(G)(3)(a) Covering Waste Containers, all waste containers and dumpsters shall be in a roofed enclosure or be equipped with and use a lid covering and shall be designed so that stormwater runoff does not reach storm drain inlets.
- Per 5-6(G)(3)(b) Development Abutting Low-density Residential Where a lot is abutting low-density residential development or lots zoned R-1, R-MC, or R-T, dumpsters for solid waste, but not for recycling, are prohibited in any required setback or landscape buffer area that is contiguous with the low-density residential development.
- Per 5-6(G)(3)(c) R-ML, R-MH, and Mixed-use Zone Districts Outdoor loading, service, and refuse areas shall be integrated into the building design if possible, or shall be located where they are not visible from streets, City parks or trails, Major Public Open Space, or major arroyos adjacent to the lot or from adjacent properties to the maximum extent practicable.

Please confirm compliance with this code

RESPONSE: no loading and service area, the refuse areas are hidden from the public streets.

5-6(G)(3)(e) Screening

Where it is not practicable to locate the loading, service, and refuse areas pursuantto Subsections (c) and (d) above, they shall be screened from view by an opaque

decorative wall or fence at least 6 feet tall but not more than 8 feet tall that incorporates at least 1 of the primary materials and colors of the nearest wall of the primary building (but excluding exposed CMU block) or a vegetative screen planted along the full length of the area to be screened and at least 8 feet high at the time of

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5-7 WALLS AND FENCES

It appears a fence is being proposed on the site. Please explain and articulate how the exiting fence is compliant with the IDO per 5-7 - walls and fences.

RESPONSE: Fence height and materials are designed per IDO section 5-7.

5-8 OUTDOOR AND SITE LIGHTING

Please articulate how the project meets codes under this section.

RESPONSE: See sheet A-100 general notes.

5-9 NEIGHBORHOOD EDGES

5-9(B)(1) Protected Lots

The Neighborhood Edges provisions in this Section 14-16-5-9 are intended to protect lots in any R-A, R-1, R-MC, or R-T zone district that contains low-density residential development.

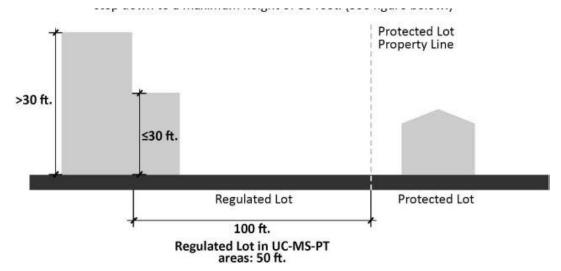
5-9(B)(2) Regulated Lots

Lots regulated by this Section 14-16-5-9 include all those in any R-ML, R-MH, Mixed-use, or Non-residential zone district that are adjacent to a Protected Lot.

5-9(C) BUILDING HEIGHT STEPDOWN

5-9(C)(1) General Requirement

On Regulated Lots, any portion of a primary or accessory building within 100 feet of the nearest Protected Lot property line shall step down to a maximum height of 30 feet.



Articulate how the project meets this code.

RESPONSE: proposed buildings are greater than 100 ft from residential zones.

5-11 BUILDING DESIGN

Please demonstrate how this section is met in a comment response letter as well as notes on the plans. Provide color elevations in the site plan set. Provide vertical and horizontal dimension lines on the elevations.

RESPONSE: See updated Elevation sheets both black and white and in color.

Building 1 is about 600 feet long and 3 stories which is quite a change from existing profiles of buildings and residences in the area. Planning requests that building 1 be separated and two buildings are created to make the project more in context with the adjacent neighborhood.

RESPONSE: Building shall remain as 1 building.

5-11(D) MULTI-FAMILY RESIDENTIAL DEVELOPMENT

5-11(D)(1) Building Entrances

 Primary pedestrian entrances to each primary building shall be emphasized and provide weather protection through variations in the façade, porticos, roof variations, recesses or projections, or other integral building forms.

5-11(D)(2) Façade Design

 Façades shall be designed to provide a sense of human scale. Building façades shall meet all of the following requirements or provide justification that the intent of this section is achieved by an alternative design approach.

5-11(D)(2)(a) Windows

- A facade shall have windows as a prominent feature.
 - 1. The ground floor of each street-facing façade shall contain a minimum of 20 percent of its surfaces in transparent windows and/or doors. Please articulate in a comment response letter how the project complies with this code.
- 2. RESPONSE: See updated site plan and general notes.
 - 3. Windows on the upper floors shall be recessed or projected not less than 2 inches and/or shall be surrounded by a window casing or frame not less than 2 inches wide, except for portions of the façade that are storefront window systems or curtain walls. Workforce housing is exempt from this requirement. Please articulate how the project complies with this code.

RESPONSE: See updated elevation sheets, building design shall comply with IDO.

4. Windows facing west shall use heat mitigation features. Please articulate how the project complies with this code. Please consider renaming the side elevations to easter west elevation in order to clarify this item.

RESPONSE: See updated Elevation sheets directions clarified.

5-11(D)(2)(b) Articulation

- Facades shall change in massing and form as specified below to visually break up the building. Each front and side façade shall meet all of the following requirements or provide justification that the intent of this section is achieved by an alternative design approach.
 - 1. The façade shall have at least one element that is recessed or projected from the façade by at least 6 inches and that is 2 feet in width for every 30 feet of facade length. Please articulate how the project complies with this code.
 - 2. RESPONSE: See updated Elevation sheets.
 - 3. Each street-facing façade shall be designed with more than one building finish material or color. Provide color elevations in the site plan set to confirm compliance with this code.

RESPONSE: See updated color Elevation sheets.

- 4. Art, such as murals or sculpture, that is privately-owned or coordinated through the City Public Arts Program, may count toward requirements in 1 or 2 above.
- 5. Balcony massing, material, or color shall vary to create visual interest. Solid balconies shall not obscure the street-level view of required transparent windows and/or doors. Please articulate how the project complies with this code.

RESPONSE: See updated Elevation sheets.

6. For projects that use 75 percent or more of the ground floor as parking, these standards apply to the stories above the parking level.

5-11(D)(3) Roof Design

Rooflines longer than 60 horizontal feet shall include at least one vertical or horizontal elevation change of at least 2 feet. Roofs with a pitch of less than 2:12 shall be screened by a parapet wall.

Please make proper changes to comply with this code. Provide vertical and horizontal dimension lines on the elevations.

RESPONSE: See updated Elevations and dimensions.

5-12 SIGNS

Please articulate how the project meets codes under this section.

RESPONSE: See sheet A-100 a note is provided stating all signs shall comply with IDO and shall be submitted under a separate permit.

7-1 DEFINITIONS

Dwelling, Multi-family, a building, multiple buildings, or a portion of a building located on a single lot, containing 3 or more dwelling units, each of which is designed for or occupied by one family only, with separate housekeeping and cooking facilities for each, and that does not meet the definition of a townhouse dwelling. Within mixed-use development, a building containing 2 or more dwelling units is considered multi-family.



<u>Disclaimer</u>: The comments provided are based upon the information received from the applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning.

DATE: 03/04/24

FROM: Hannah Aulick/Jolene Wolfley

Planning Department



DEVELOPMENT FACILITATION TEAM

Parks and Recreation Department

PR-2018-001681

SI-2024-00271 - SITE PLAN DFT

REQUEST: 185-unit MF Residential Development with pool and clubhouse

LOTS/SUBDIVSION: Tract 52, Unit 2, Atrisco Grant

ADDRESS/LOCATION: Sunset Gardens RD SW between 86th St SW and 82nd St SW

ZONED: MX-L

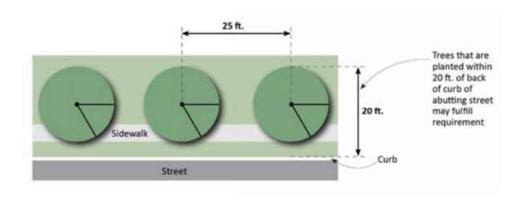
IDO: 2022

Comments:

03-06-2024

Please provide calculations and note on the plans either through measurements or standard detail for how street tree requirements are being met per IDO 14-16-5-6(D).

RESPONSE: Refer sheet LS-101 for calculations.





DEVELOPMENT FACILITATION TEAM

Parks and Recreation Department

09-14-2022

Street trees are typically required if new development applicable per IDO Section 5-6(B). Will the development be walled and gated?

RESPONSE: Gated and street trees are provided refer sheet LS-101.



DEVELOPMENT FACILITATION TEAM

Parks and Recreation Department

PR-2020-004098

SI-2024-01284 - EPC FINAL SITE PLAN SIGN-OFF

All or a portion of: Tract A-1, Bridgepoint Subdivision zoned PD, located at 86th St SW & Bridge Blvd SW containing approximately 4.52 acre(s). (L-09, K-09) EPC ORIGINAL REQUEST: EPC Site Plan review for a 38 lot duplex residential subdivision

IDO - 2023

COMMENTS

4.15.2025

- 1.Please confirm there are no utility easements and or utility lines where street trees are located. Compliant
- 2.Tree palette needs to be reviewed by City Forestry:
 Per City Forestry: The Urbanite Ash proposed is conditionally recommended in the Official
 Albuquerque Plant Palette; "existing population of eastern/American ash have been dying due
 to heat and drought". Please replace this species with other types of street trees.

Urbanite Ash, or any other type of Ash is not in the plant list. No Changes,

Luis Noriega

From: Rodenbeck, Jay B. < jrodenbeck@cabq.gov>

 Sent:
 Monday, March 18, 2024 4:02 PM

 To:
 Sergio Lozoya; Webb, Robert L.

 Cc:
 Vinny Perea; Aulick, Hannah

 Subject:
 RE: [#2022028] PR-2018-001681

Good afternoon Sergio,

I found the existing/governing Site Plan – EPC for the site and confirmed that the site area of the Site Plan – EPC is the same as the site area as the Site Plan Administrative DFT. Per 6-5(G)(1)(b) of the IDO, the Site Plan Administrative DFT application will replace the existing/governing Site Plan – EPC as follows (in bold):

6-5(G)(1)(b) A Site Plan – Administrative may be approved for property with a prior-approved Site Plan, regardless of whether the prior-approved Site Plan is still valid pursuant to Subsection 14-16-6-4(X), subject to allowable uses and development standards in this IDO.

I will also note that 6-5(G)(2)(i) of the IDO notes that the existing/governing Site Plan – EPC must be noted on the current Site Plan Administrative DFT as follows (in bold):

6-5(G)(2)(i) If the Site Plan will replace a prior-approved Site Plan, the project number, case number, site boundary, and date of the Notice of Decision of the original approval shall be noted on the Site Plan.

The Notice of Decision for the Site Plan – EPC approval can be obtained at the following link (in bold):

https://documents.cabq.gov/planning/environmental-planning-commission/june2018/1003449.pdf



Jay Rodenbeck

Planning Manager Development Review Services o (505) 924-3994 c (505) 553-0682 e <u>irodenbeck@cabq.gov</u> cabq.gov/planning

From: Sergio Lozoya <SLozoya@tierrawestllc.com>

Sent: Monday, March 18, 2024 11:18 AM

To: Webb, Robert L. <rwebb@cabq.gov>; Rodenbeck, Jay B. <jrodenbeck@cabq.gov>

Cc: Vinny Perea <vperea@tierrawestllc.com>
Subject: RE: [#2022028] PR-2018-001681

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Hey Robert,

We are following up with the team to figure out a timeline. Once we get a timeline, I will keep you posted as to when to expect the updated materials. We did post a sign, I will make sure to include that in the re-submittal.

I do have a question though, at the hearing Code Enforcement had mentioned that there is a governing EPC site plan. I proposed the idea that we could replace that site plan, as we are taking up the same geography. I believe Jay was going to take this question to the zoning meeting, was this discussed at the City?

Thanks,

Sergio Lozoya Senior Planner

5571 Midway Park Pl., NE Albuquerque, NM 87109 505-278-7088 505-858-1118 (fax) SLozoya@tierrawestllc.com www.tierrawestllc.com

From: Webb, Robert L. <<u>rwebb@cabq.gov</u>>
Sent: Friday, March 15, 2024 1:20 PM

To: Sergio Lozoya <<u>SLozoya@tierrawestllc.com</u>>

Cc: Gomez, Angela J. <agomez@cabq.gov>; Rodenbeck, Jay B. <<u>irodenbeck@cabq.gov</u>>; Aulick, Hannah ; Zamora, Renee C. <<u>rczamora@cabq.gov</u>>; Ortiz, Annette <annetteortiz@cabq.gov>

Subject: RE: PR-2018-001681

Sounds great, let us know.

There's not necessarily a rush for the updated information on our end. However, depending on when it is received, we may not be able to review it in time for the upcoming meeting on Wednesday. The meetings are not public hearings. So if new docs/drawings are not ready, then your team can follow up with each section individually to clear revisions/conditions for approval. Or you can discuss in the next meeting in April.

Thank you,

Robert



ROBERT WEBB

Senior Planner Development Review Services
o 505.924.3910
e rwebb@cabq.gov
cabq.gov/planning

From: Sergio Lozoya <<u>SLozoya@tierrawestllc.com</u>>

Sent: Friday, March 15, 2024 12:08 PM **To:** Webb, Robert L. <<u>rwebb@cabq.gov</u>>

Cc: Gomez, Angela J. <agomez@cabq.gov>; Rodenbeck, Jay B. "ricodenbeck@cabq.

Subject: RE: PR-2018-001681

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Hey Robert,

Let me get with the team and I will update you on Monday. Thanks for the e-mail.

Best,

Sergio Lozoya Senior Planner

5571 Midway Park Pl., NE Albuquerque, NM 87109 505-278-7088 505-858-1118 (fax) SLozoya@tierrawestllc.com www.tierrawestllc.com

From: Webb, Robert L. <<u>rwebb@cabq.gov</u>>
Sent: Friday, March 15, 2024 12:03 PM
To: Sergio Lozoya <<u>SLozoya@tierrawestllc.com</u>>

Cc: Gomez, Angela J. ">"> Rodenbeck, Jay B. "> Aulick, Hannah

 $<\!\!\underline{\text{haulick@cabq.gov}}\!\!>\!; Zamora, Renee C. <\!\!\underline{\text{rczamora@cabq.gov}}\!\!>\!; Ortiz, Annette <\!\!\underline{\text{annetteortiz@cabq.gov}}\!\!>\!; Ortiz, Ortiz, Annette <\!\!\underline{\text{annetteortiz@cabq.gov}}\!\!>\!; Ortiz, Ortiz,$

Subject: RE: PR-2018-001681

Hello Sergio.

We wanted to reach out to check on the status of the Sunset Gardens project – PR-2018-001681

Was there a supplemental submittal that your team was sending over? Any of the revisions from the previous comments and discussions?

I did see a new submittal as of yet and wanted to make sure that we did not miss it.

Or did you need more time to prepare the updates?

It's not an issue if more time is needed, just please let us know what date you would like to be deferred to.

Such as April 3rd or 17th.

PR-2018-001681

SI-2024-00271 - SITE PLAN DFT (2nd submittal)

REQUEST: 185-unit MF Residential Development with pool and clubhous

LOTS/SUBDIVSION: Tract 52, Unit 2, Atrisco Grant

ADDRESS/LOCATION: Sunset Gardens RD SW between 86th St SW and 8

ZONED: MX-L IDO: 2022

** Deferred from March 6th, 2024 for a 2nd submittal

Thank you,

Robert



ROBERT WEBB

Senior Planner Development Review Services
o 505.924.3910
e rwebb@cabq.gov

cabq.gov/planning

From: Aulick, Hannah < haulick@cabq.gov">haulick@cabq.gov>
Sent: Friday, March 15, 2024 11:11 AM

To: Gomez, Angela J. <agomez@cabq.gov>; Zamora, Renee C. <<u>rczamora@cabq.gov</u>>; Montoya, Yolanda <<u>yolandamontoya@cabq.gov</u>>; Ortiz, Annette <<u>annetteortiz@cabq.gov</u>>; Fox, Debi <<u>dlfox@cabq.gov</u>>;

Webb, Robert L. < rwebb@cabq.gov>

Subject: PR-2021-001681

Hi evervone

Just wanted to check with you and see if we ever received a new submittal for this project?

Best Regards,



HANNAH AULICK

Planner
Development Review Services
o 505.924.3630
e haulick@cabq.gov
cabq.gov/planning

Luis Noriega

From: Magnanelli, Grant H. <gmagnanelli@abcwua.org>

Sent: Wednesday, February 7, 2024 4:05 PM

To: Sergio Lozoya

Cc: Bergeron, Edwin V.; Gutierrez, David G.; Shell, Jeremy; Vinny Perea; Adam Johnstone; Donna

Bohannan

Subject: RE: [#2022028] Water Availability for Sunset Gardens Tract - 52 Unit 2 Atrisco Grant

Sergio,

This request has been in HOLDING as it was made around a DRC review.

We are moving it to CANCELLED: from speaking with colleagues the requirements of the previous statement 220907 are still applicable and given that the statement was not expired when it entered DRC review we will not be needing a new statement.

Thank you for following up.

Best,

Grant Magnanelli

Engineer Associate

Albuquerque Bernalillo County Water Utility Authority

PO Box 568 | Albuquerque NM | 87103

505.289.3404 (o) | 505.304.4007 (m) | gmagnanelli@abcwua.org

PLEASE NOTE: my last day at ABCWUA is February 9, 2024— all further communication past that date should be directed to my colleagues — David Gutierrez at 505-289-3381 or dggutierrez@abcwua.org or Jeremy Shell at 505-475-4455 or jshell@abcwua.org or Edwin Bergeron at 505-818-1640 or ebergeron@abcwua.org

From: Sergio Lozoya < <u>SLozoya@tierrawestllc.com</u>>

Sent: Monday, February 05, 2024 10:04 AM

To: Magnanelli, Grant H. <gmagnanelli@abcwua.org>

Cc: Vinny Perea yperea@tierrawestllc.com; Adam Johnstone AJohnstone@tierrawestllc.com; Donna Bohannan

<djb@tierrawestllc.com>

Subject: [#2022028] Water Availability for Sunset Gardens Tract - 52 Unit 2 Atrisco Grant

[CAUTION: This email was received from an EXTERNAL source]

Grant,

I am Sergio Lozoya, Senior Planner at Tierra West LLC

I am following up on a request made by Vinny Perea regarding a Water Availability Statement from you all.

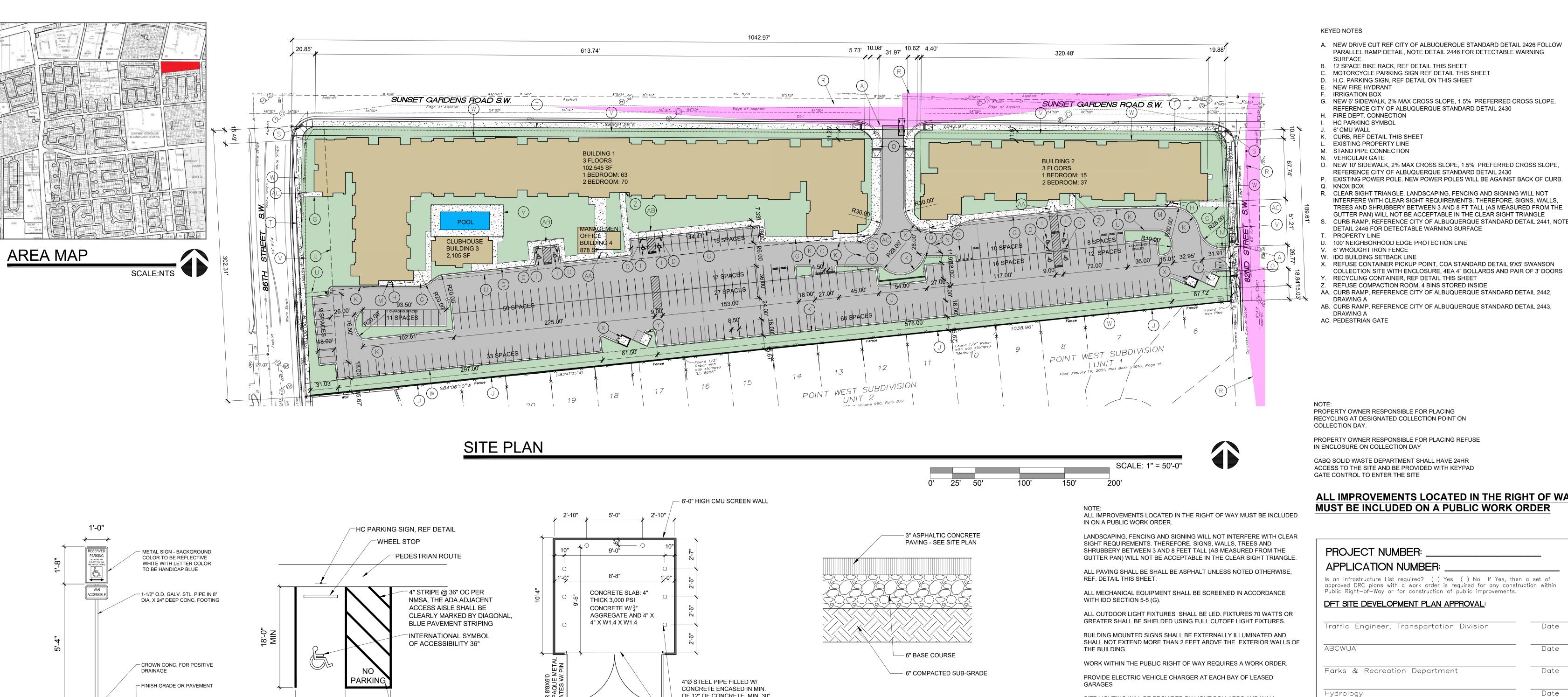
The legal description for the subject site is Tract 52 Unit 2 Atrisco Grant.

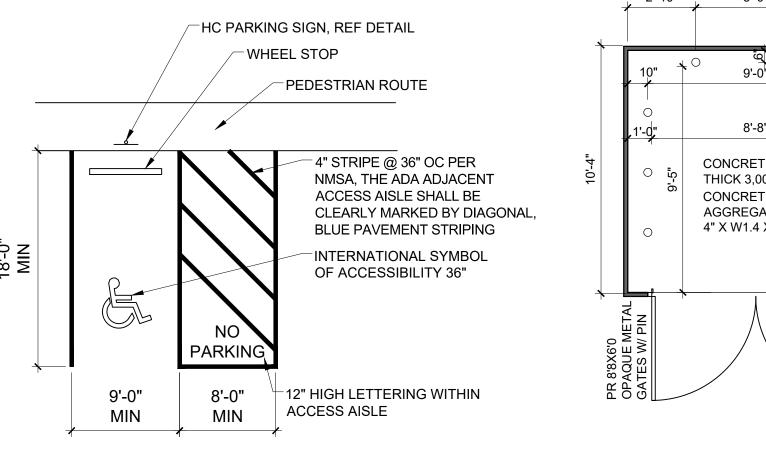
What is the status of this request and is there any information you need from us?

Thanks,

Sergio Lozoya Senior Planner

5571 Midway Park Pl., NE Albuquerque, NM 87109 505-278-7088 505-858-1118 (fax) SLozoya@tierrawestllc.com www.tierrawestllc.com





SCALE: $\frac{1}{8}$ " = 1'-0"

METAL SIGN - BACKGROUND

WHITE WITH LETTER COLOR

- 1-1/2" O.D. GALV. STL. PIPE IN 8"

- CROWN CONC. FOR POSITIVE

FINISH GRADE OR PAVEMENT

DIA. X 24" DEEP CONC. FOOTING

COLOR TO BE REFLECTIVE

TO BE RED

OF 12" OF CONCRETE, MIN. 30" BELOW GRADE, MIN 30" ABOVE GRADE

PAVING SECTION

13'-6" VIP COMPACTOR

12'-0" STD. ENCLOSURE

REFUSE ENCLOSURE DETAIL SCALE: $\frac{1}{4}$ " = 1'-0" -CLEAR ZONE -4" CONC. SLAB FINISH GRADE 1'-0" 2'-0" 2'-0" 2'-0" 2'-0"1'-0"

- GATE PIN HOLE

ARE TO BE 6" FROM CONCRETE SLAB, 6" THICK 4,000 PSI, $\frac{3}{4}$ " AGGREGATE WITH 6X6 - 10/10 WWM OR O EQUAL SLOPE TO DRAIN 1/8" RESTAURANT AND FOOD SEWER DRAIN REQUIRED 6'-0" INSIDE TO INSIDE SEPARATE BOLARDS DRILL HOLES FOR GATE PIN HOLES IN APRON FOR GATE PIN 4.000 PSI GATE FRAME WITH DIAGONAL TENSION 3/4" AGGREGATE WITH 5X6 -10 / 10 WWM OR EQUAL BARS, FABRICATED FROM 2"X2"X1" HSS MITER, WELD, AND GRIND SMOOTH. 12'-0" X 8'-0" WITH 1/2" EXPANSION JOINT WELD 16GA B DECK TO GATE FRAME PAINT TO MATCH THE COLOR OF THE FOOTING AS REQUIRED BY DESIGN BUILDING'S EXTERIOR DOOR FRAMES APRON REQUIRED IN FRONT OF EACH ENCLOSURE (6" WITH REINFORCING TO WITHSTAND 57,000 LIBS) CROWNED CONC.
TOP BOND BM W/ PAINTED CMU BEYOND (1)-#4 CONT. STEEL ENCLOSURE DOOR -#5 @ 32" O.C. IN 6" OUTSIDE DIAMETER CONCRETE FILLED
STEEL PIPE SHALL BE
BEYOND
ENCASED IN 12" BEYOND CONCRETE ALL AROUND PAVEMENT_ W/ (2)-#4 CONT.

RECYCLING ENCLOSURE

SITE LIGHTING WILL BE PROVIDED BY LIGHT BOLLARDS AND WALL MOUNTED FIXTURES AND SHALL COMPLY WITH 5-8 OF THE IDO

ALL SIGNS SHALL COMPLY WITH THE IDO AND SHALL BE SUBMITTED UNDER A SEPARATE PERMIT

UPC: 100905647441510205 LEGAL: TRACT 52, UNIT 2, ATRISCO GRANT ZONING: MX-L ZONE ATLAS PAGE: L9

GROSS LOT AREA = 6.04 AC = 263,102 SF

RECESS WINDOWS MIN OF 2" FROM FACADE

BUILDING FOOTPRINT = 69,610 SF NET LOT AREA = 193,492 SF REQUIRED LANDSCAPE AREA @ 15% = 29,023 SF; 74,520 SF PROVIDED

PARKING: MULTI-FAMILY 1 BEDROOM: 78 EACH X 1.2 SPACES = 93.6 SPACES 2 BEDROOM: 107 EACH X 1.6 SPACES = 171.2 SPACES LEASING OFFICE 878 SF X 0.0035 = 3.1 SPACES REQUIRED TOTAL SPACES REQUIRED = 268 SPACES SPACES PROVIDED = 278 SPACES

268 SPACES X 5% = 14 CHARGING SPACES REQUIRED, 15 PROVIDED

HC REQUIRED: 5 STANDARD, 4 VAN / 24 VAN ACCESSIBLE PROVIDED MOTORCYCLE PARKING 151-300 SPACES: 5 SPACES REQUIRED / 14 PROVIDED BIKE PARKING 10% OF 268: 27 REQUIRED 12 SPACES ON SITE PLAN, 36 PROVIDED IN BUILDINGS

IDO TABLE 5-1-2 OPEN SPACE: 1 BEDROOM: 78 EA X 225 SF = 17,550 SF 2 BEDROOM: 107 EA X 285 SF = 30,495 SF

TOTAL REQUIRED = 48,045 SF

GRADE LEVEL OPEN SPACE = 73,056 SF PROVIDED ROOF DECK @ POOL: 2,107 SF PROVIDED

SOLID WASTE CALCS: 185 UNITS X 0.55 CY = 102 CY PER WEEK 102 CY X 0.333 COMACTED = 34 CY PER WEEK 8 EA, 2 CY CONTAINERS PROVIDED.

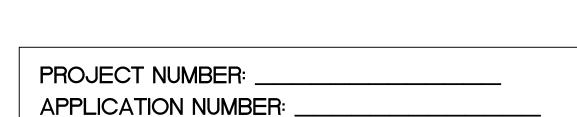
- A. NEW DRIVE CUT REF CITY OF ALBUQUERQUE STANDARD DETAIL 2426 FOLLOW PARALLEL RAMP DETAIL, NOTE DETAIL 2446 FOR DETECTABLE WARNING
- B. 12 SPACE BIKE RACK, REF DETAIL THIS SHEET
- C. MOTORCYCLE PARKING SIGN REF DETAIL THIS SHEET
- D. H.C. PARKING SIGN, REF DETAIL ON THIS SHEET E. NEW FIRE HYDRANT
- G. NEW 6' SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430
- H. FIRE DEPT. CONNECTION HC PARKING SYMBOL
- K. CURB, REF DETAIL THIS SHEET
- EXISTING PROPERTY LINE
- M. STAND PIPE CONNECTION
- O. NEW 10' SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE
- P. EXISTING POWER POLE. NEW POWER POLES WILL BE AGAINST BACK OF CURE
- R. CLEAR SIGHT TRIANGLE. LANDSCAPING, FENCING AND SIGNING WILL NOT
- TREES AND SHRUBBERY BETWEEN 3 AND 8 FT TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
- INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS,
- DETAIL 2446 FOR DETECTABLE WARNING SURFACE
- PROPERTY LINE
- U. 100' NEIGHBORHOOD EDGE PROTECTION LINE V. 6' WROUGHT IRON FENCE
- W. IDO BUILDING SETBACK LINE REFUSE CONTAINER PICKUP POINT, COA STANDARD DETAIL 9'X5' SWANSON
- RECYCLING CONTAINER, REF DETAIL THIS SHEET
- Z. REFUSE COMPACTION ROOM, 4 BINS STORED INSIDE AA. CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2442,
- AB. CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2443.
- AC. PEDESTRIAN GATE

PROPERTY OWNER RESPONSIBLE FOR PLACING RECYCLING AT DESIGNATED COLLECTION POINT ON

PROPERTY OWNER RESPONSIBLE FOR PLACING REFUSE IN ENCLOSURE ON COLLECTION DAY

CABQ SOLID WASTE DEPARTMENT SHALL HAVE 24HR ACCESS TO THE SITE AND BE PROVIDED WITH KEYPAD GATE CONTROL TO ENTER THE SITE

ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WALL MUST BE INCLUDED ON A PUBLIC WORK ORDER



Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.



* Environmental Health, if necessary



SCOTT C. ANDERSON & associates architects 4419 4th St nw ste B albuquerque, nm 87107

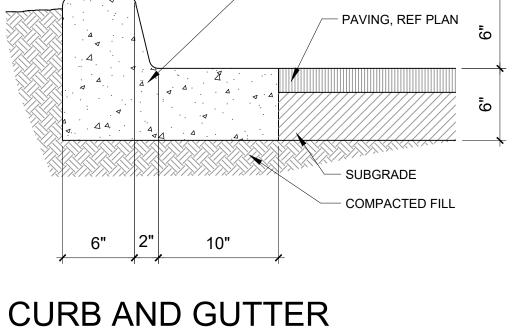
SUNSET APARTMENTS

7000 SUNSET GARDENS RD SW ALBUQUERQUE, NM 87121

SITE PLAN

DESIGNED PROJECT NO CHECKED Mő. 4341 4/21/2025 REVIEWED

^{DATE} 4/21/2025



SCALE: NTS

- 3/4" FILLET

CONCRETE CURB

SCALE: NTS

HC SIGN

NOTE: PROVIDE CONTROL JOINTS

AT 6'-0" O.C. & EXPANSION JOINTS AT 18'-0" O.C.

MOTORCYCLE SIGN

ADA PARKING

1'-2"

/

QZG

BIKE PARKING

SCALE: 1/2" = 1'-0"

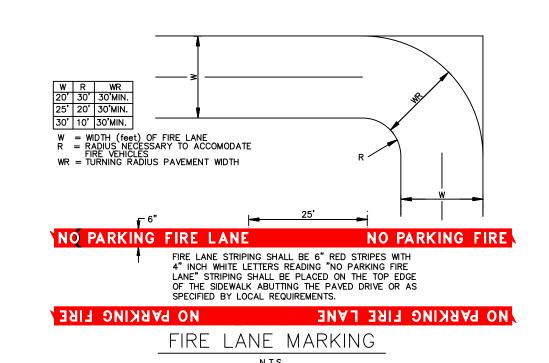
SCALE: 1/4" = 1'-0"

SCALE: 1/8" = 1'-0"

SCALE: NTS

SIDE BOLLARDS MAY BE





BUILDING 1

RESIDENTIAL

OCCUPANCY TYPE

255650 SF (5.87 ACRES) LOT AREA BUILDING FOOTPRINT 46394 SF

CONSTRUCTION TYPE V-A FULLY SPRINKLED (IN BUILDING) MAX BUILDING HEIGHT 38' (3 STORY)

FIRE FLOW 1875 GPM BUILDING 2

RESIDENTIAL OCCUPANCY TYPE

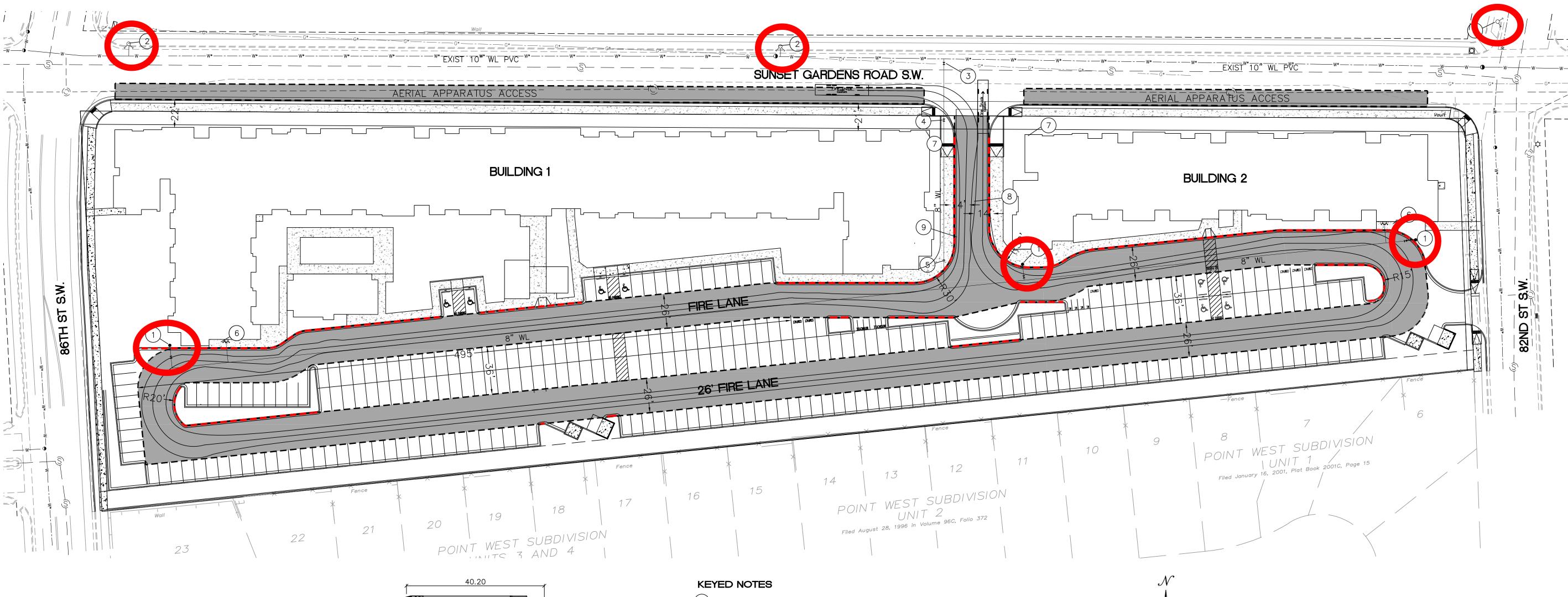
R-2255650 SF (5.87 ACRES) LOT AREA BUILDING FOOTPRINT 20213 SF

CONSTRUCTION TYPE V-A FULLY SPRINKLED (IN BUILDING) MAX BUILDING HEIGHT 38' (3 STORY)

FIRE FLOW 1500 GPM LEGEND ---- BOUNDARY LINE ---- EXISTING BOUNDARY LINE PROPOSED HYDRANT FIRE LANE MARKING

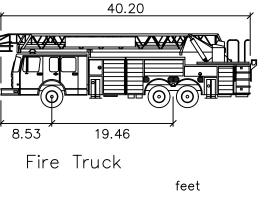
TOWN OF ATRISCO GRANT UNIT 2

VICINITY MAP



<u>NOTES</u>

- 1. ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES, AS DIRECTED BY FIRE MARSHALL
- 2. FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75000 LBS
- 3. KEY BOX (KNOX BOX) SHALL BE MOUNTED BETWEEN 4 AND 6 FEET ABOVE GRADÉ AND SHALL BE ILLUMINATED.
- 4. THERE ARE NO OVERHEAD OBSTRUCTIONS THAT WOULD INTERFERE WITH ANY FIRE APPARATUS.



Lock to Lock Time : 6.0

8.00

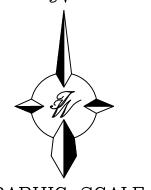
: 41.7

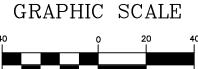
Width

Track

Steering Angle

- (1) PROPOSED FIRE HYDRANT W/PRIVATE GATE VALVE
- (2) EXISTING FIRE HYDRANT
- 3 NEW 8" GATE VALVE (PUBLIC)
- (4) NEW 8" GATE VALVE (PRIVATE)
- 5 NEW PIV
- (6) NEW FDC AND FIRELINE BUILDING ENTRY POINT
- 7 BUILDING ADDRESS
- (8) PROPOSED ROLL CURB
- 9 GATE W/KNOX BOX

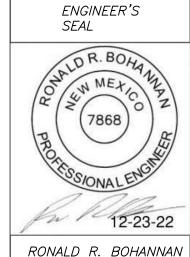




(IN FEET) 1 inch = 40 ft.

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



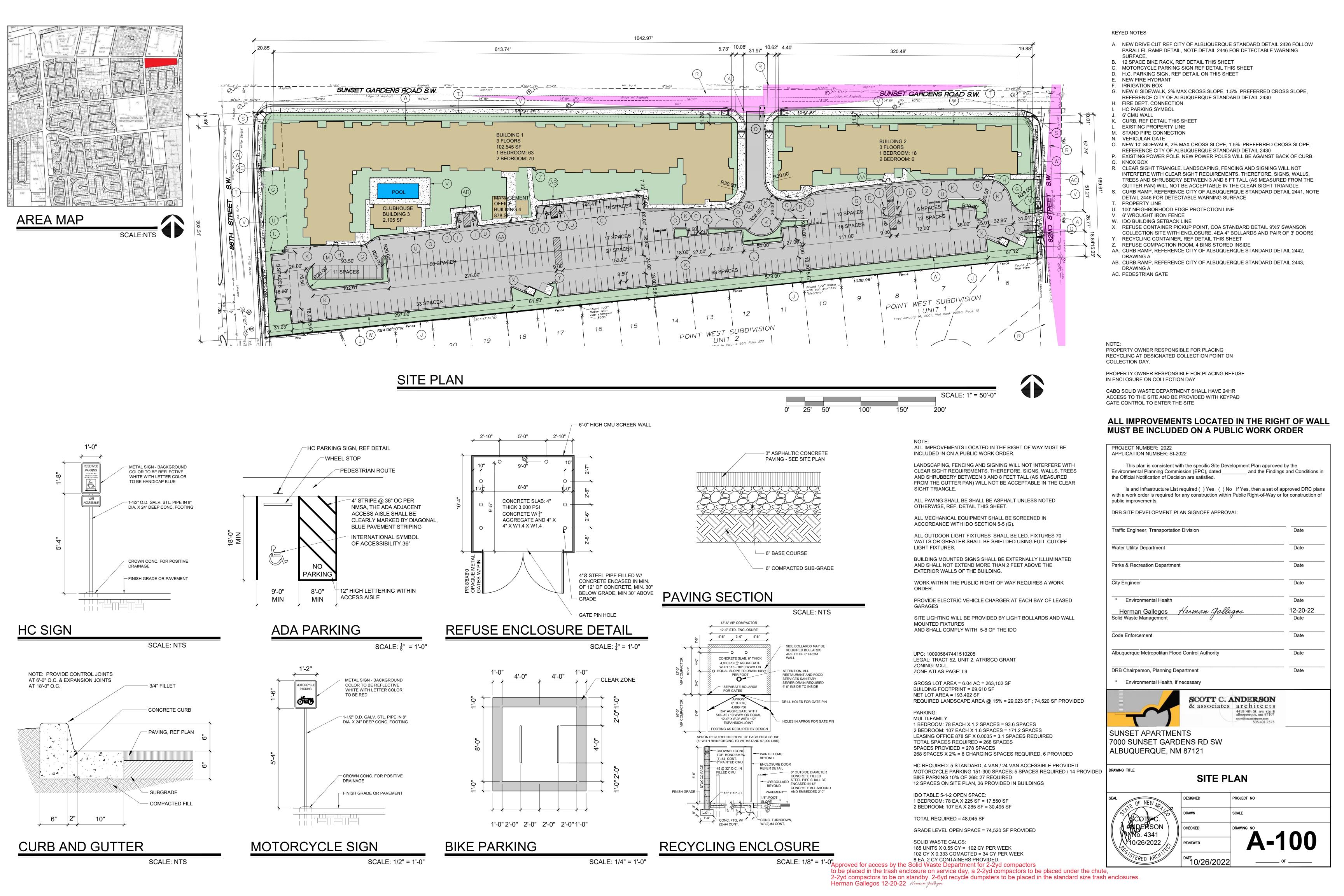
P.E. #7868

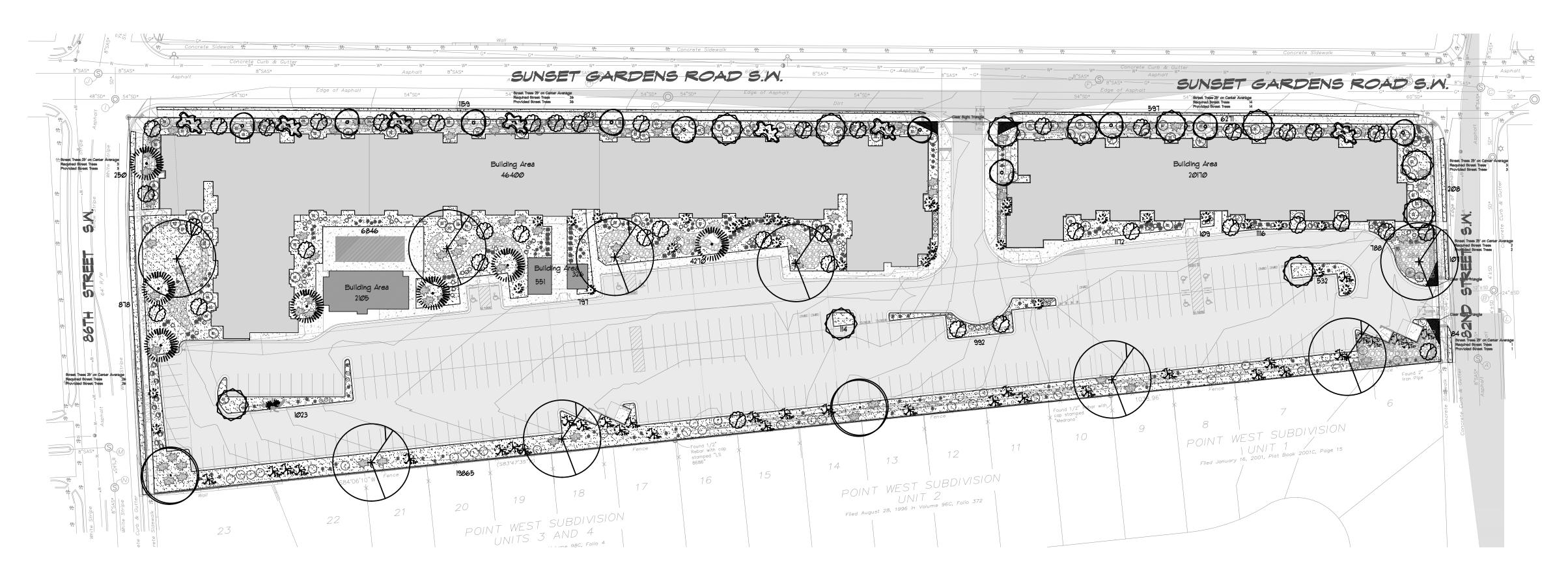
	SUNSET APARTMENTS ALBUQUERQUE, NM	DRAWN 1
	ALBOCOLI ICOL, INIVI	DATE
	FIRE ONE PLAN	11-9-2
		DRAWIN
		SHEET
_	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109	1
. ,	(505) 858-3100	JOR #

www.tiérrawestllc.com

JOB #

2022028





Trees

COMMON/BOTANICAL

H2O USE

2*0*25 4*0*5*0* M

49*0.*63 3434 M

TØT35.75

2" Cal Desert Willow 20x25 49*0.*63 5396 M Chilopsis linearis 28.26 28.26 M 4 - 6' Palm Yucca Yucca faxoniana 2" Cal llex vomitoria 176.63 1766.3 M Yaupon Holly 12.56 427 M 12×4 6 - 8' Blue Arrow Juniper Juniperus' scopulorum "Blue Arrow" 2" cal Chinese Pistache 60x60 2826 25434 M+

Pistacia chinensis

Gleditsia triacanthos

Pinus nigra

2" cal Honey Locust

6 - 8' Austrian Pine

6-8' Crape Myrtle 176.63 1236.41 M 15×15 Lagerstroemia indica Tree Form 15 Gal. Oklahoma Redbud 113 4520 M Cercis reniformis Nore: All trees shall have a 5' rad. circle of wood chips, per COA requirement LANDSCAPE CALCULATIONS

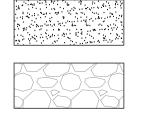
TOTAL LOT AREA (sf)	263,102
TOTAL BUILDING AREA (6f)	-69,610
TOTAL NET-LOT AREA (SF)	193,492
LANDSCAPE REQUIREMENT	ר.15
TOTAL LANDSCAPE REQUIRED (15%)	29,023
TOTAL ON-SITE LANDSCAPE PROVIDED	65080
TOTAL LIVE GROUNDCOVER REQUIRED	16270
TOTAL LIVE GROUNDCOVER PROVIDED	16750.37
TOTAL LIVE PLANT COVER REQUIRED	48810

TOTAL LIVE PLANT COVER PROVIDED

Shrubs & Groundcovers

*	78	5 Gai	Feather Reed Grass 2.5: Calamogrostis arudinacea	×2	3.14	244.92	1
	9	5 Gal	Rosemary Ix Rosmarinus officinalis' prostro	x 5 atus	1 9.6 3	176.67	1
3,,33	15	5 Gal	India Hawthorne 3x Raphiolepis indica	×5	19.63	294.45	١
7.0	94	5 Gal	Buffalo Juniper Juniperus sabina 'Buffalo'	x8	5Ø.27	4725.38	١
6 B	34	5 Gal	Yellow Bird of Paradise loxi Caesalpinia gilliesii	10	78.5	2669	RI
*	66	5 Gal	Dwarf Fountain Grass 3x Pennisetum alopecuroides 'H	x3 Ham	1.0 7 nelin'	466.62	١
*	53	5 Gal	Red Yucca 3x Hesperaloe parviflora	x3	T.ØT	374.71	I
0	IL	5 Gal	Cherry Sage 2x Salvia greggii	x3	ר <i>ס.</i> ר	5Ø1.97	1
\odot	21	5 Gai	Blue Mist 3x Caryopteris x clandonensis	x3	T.ØT	148.47	1
*	10	5 Gal	Apache Plume 6: Fallugia paradoxa	x5	19.63	384.7	ı
	27	5 Gal	Chamisa 5x Chrysothamnus nauseosus	x5	19.63	53Ø	l
	124	5 Gal	Gro-Low Sumac Rhus aromatica 'Gro-Low'	×8	50.27	6233.48	١
	16187.51		Milas aromatica cro zon			16750.37	

2-3cf Boulders To be placed at contractor discretion



Landscape Gravel / Filter Fabric 3/4" Crushed Grey Submit samples of gravel and cobble for approval Oversize Landscape Gravel / Filter Fabric 2-4" Adobe Rose 64336 Total Landscape Area Provided

Submit samples of gravel and cobble for approval

Wood Mulch <u>No Fabric</u> Submit samples of wood mulch for approval

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain landscaping in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque Water , IDO Ordinance.

It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Nonresidential Development, Revised 6/24.

Water management is the sole responsibility of the Property

Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed, or other treatment.

Contractor shall supply to the owner samples and prices of various gravel samples for approval prior to installing.

25% of landscape area shall be covered with wood mulch. Mulch shall be a minimum of 4" deep in areas as shown on the 1. plan. Landscape maintenance shall ensure that all wood mulch areas are maintained and freshened on a regular basis. Filter Fabric shall not be placed in areas to receive wood

Landscape shall be watered by a complete underground irrigation system operated by automatic timer.

Trees shall have Netafim and shrubs shall have a minimum of 2 emitters per shrub.

Trees and shrubs shall be zoned separately.

Point of connection for irrigation system is unknown at current time and shall be coordinated between the Landscape Contractor and the General Contractor of the project prior to construction.

Landscaping shall be installed according to the approved plan: Installation shall be completed wihtin 60 days of the related building's occupancy.

No substitutions or alterations to this plan with out the express written permission of the Landscape Architect, and approval of the City of Albuquerque, approved permit set.

Clear Site Triangle Note:

Landscaping and signage will not interfere with clear site requirements. Signs, walls, trees and shrubbery between 3 and 8 feet tall, (as measured from the gutter pan) are not included within the clear site triangle.

Per Section 5-6(D)(1)(a) Required Street Trees. Trees are GENERALLY required along street frontages every 25 feet on center unless otherwise specified in Part 6-2-2 of ROA 1994 (Street Trees)

Section 6-6-2-5 Street Trees

- Size of the trees at maturity should be in proportion to the planting space provided for them. Smaller species of trees will require closer spacing, and larger trees will require greater spacing, . Spacing shall be approved as part of the plan approval
- On sites where evenly spaced street trees are not possible, or <u>do not conform to the overall design</u> objectives of the site, provided that the number of trees equals or exceeds the number that would be required if the trees were evenly spaced

5-6(C)(15)(D) PROPERTY OWNERS ACKNOWLEDGE THAT APPROVED LANDSCAPING AND TREES INSTALLED AND MAINTAINED IN A PUBLIC RIGHT-OF-WAY, PRIVATE WAY, OR EASEMENT ABUTTING PRIVATE PROPERTIES ARE THE PROPERTY OF THE CITY, AND THAT THAT THE CITY RESERVES THE RIGHT TO REMOVE THEM IF NECESSARY FOR A TRANSPORTATION PROJECT WITHOUT COMPENSATION, BUT AT NO COST TO THE PROPERTY OWNER. LANDSCAPING INSTALLED IN AN ABUTTING PUBLIC RIGHT-OF-WAY, PRIVATE WAY, OR EASEMENT BY PROPERTY OWNERS AND LATER REMOVED BY THE CITY SHALL NOT IMPACT PREVIOUSLY APPROVED NET LOT AREA CALCULATIONS FOR REQUIRED LANDSCAPING.

5-6(C)(15)(C) ANY DAMAGE TO UTILITY LINES RESULTING FROM THE NEGLIGENCE OF THE ABUTTING PROPERTY OWNER OR THE PROPERTY OWNER'S AGENTS OR EMPLOYEES IN THE INSTALLATION AND MAINTENANCE OF ANY LANDSCAPING, SCREENING, OR BUFFERING IN A PUBLIC RIGHT-OF-WAY, PRIVATE WAY, OR EASEMENT SHALL BE THE RESPONSIBILITY OF SUCH PROPERTY OWNER. ANY DAMAGE TO UTILITY LINES RESULTING FROM THE GROWTH OF PLANT MATERIALS THAT HAVE BEEN APPROVED BY THE APPLICABLE PUBLIC UTILITY AS PART OF A PLAN FOR LANDSCAPING, SCREENING, OR BUFFERING ON THE PUBLIC RIGHT OF WAY SHALL BE THE RESPONSIBILITY OF SUCH PUBLIC UTILITY. IF A PUBLIC UTILITY DISTURBS LANDSCAPING, SCREENING, OR BUFFERING IN A PUBLIC RIGHT-OF-WAY, PRIVATE WAY, OR EASEMENT, IT SHALL MAKE EVERY REASONABLE EFFORT TO PRESERVE THE LANDSCAPING MATERIALS AND RETURN THEM TO THEIR PRIOR LOCATIONS AFTER THE UTILITY WORK. IF THE PLANT MATERIALS DIE DESPITE THOSE EFFORTS. IT IS THE OBLIGATION OF THE ABUTTING PROPERTY OWNER TO REPLACE THE PLANT MATERIALS.

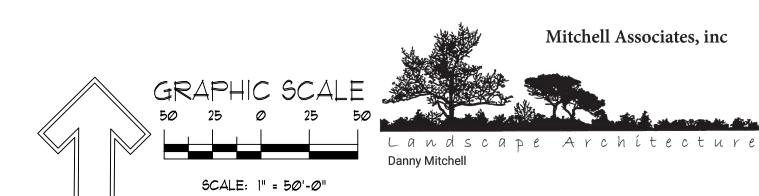
PER 5-6(C)(14)(A), IRRIGATION SYSTEMS SHALL COMPLY WITH SECTION 8 OF THE ABCWUA LEGISLATION AND ORDINANCES (CROSS CONNECTION PREVENTION AND CONTROL ORDINANCE).

PER 5-6(C)(14)(B), ALL IRRIGATION SYSTEMS SHALL BE DESIGNED TO MINIMIZE THE USE OF WATER.

5-6(C)(14)(C), ALL NON-RESIDENTIAL LANDSCAPE IRRIGATION SHALL HAVE AUTOMATIC TIMERS AND/OR PROGRAMMABLE SETTINGS TO AVOID OVERWATERING.

PER 5-6(C)(14)(D), THE IRRIGATION SYSTEM SHALL NOT SPRAY OR IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, DRIVE AISLES, STREETS, AND PARKING AND LOADING AREAS.





505.639.9583



LANDSCAPE LEGEND

·	QTY	SIZE	C	ØMMON/BOTANICAL	1	120 USE			Shrubs & Groundcovers
	T	rees							Sili uds 4 Gi dulidodyel s
		1	2" Cal	Desert Willow Chilopsis linearis	2Øx25	490.63	5396	M	* 78 5 Gal Feather Reed Grass 2.5x2 3.14 244.92 M Calamogrostis arudinacea
2		2	4 - 6'	Palm Yucca Yucca faxoniana	15x6	28.26	28.26	M	→ 9 5 Gal Rosemary Rosmarinus officinalis prostratus
		Ø 2	" Cal	llex vomitoria Yaupon Holly	15x15	176.63	1766.3	M	15 5 Gal India Hawthorne 3x5 19.63 294.45 M Raphiolepis indica
		34	- 8'	Blue Arrow Juniper Juniperus scopulorur	12x4 m "Blue Ai	12.56 rrow"	427	M	94 5 Gal Buffalo Juniper , 1x8 50.27 4725.38 M Juniperus sabina 'Buffalo'
			2" cal	_ 1	60x60		25434	M+	34 5 Gal Yellow Bird of Paradise 10x10 78.5 2669 RW
		2		Gleditsia triacanthos			4050	M	Caesalpinia gilliesii ** 66 5 Gal Dwarf Fountain Grass 3x3 7.07 466.62 M Pennisetum alopecuroides 'Hamelin'
			6 - 8'	Austrian Pine Pinus nigra	35x25	490.63	3434	M	Pennisetum alopecuroides Hamelin
		1	6-8'	Crape Myrtle Lagerstroemia indic	15x15	176.63	1236.41	M	* 53 5 Gal Red Yucca 3x3 7.07 374.71 L Hesperaloe parviflora
		42 124	15 Gal.	Tree Form Oklahoma Redbud Cercis reniformis	15×12	113	452Ø 46292	M	• 71 5 Gal Cherry Sage 2x3 7.07 501.97 M Salvia greggii
				shall have a 5' rad. circle of	250		equiremen	t	a 21 F.Gal Rive Mict 3v2 7 07 1/2/17 M
			LA	NDSCAPE CALC	ULATIO	NS			● 21 5 Gal Blue Mist Caryopteris x clandonensis

It is the intent of this plan to comply with the City Of

It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Nonresidential Development, Revised 6/24.

Water management is the sole responsibility of the Property

Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed, or other treatment.

Contractor shall supply to the owner samples and prices of 6-2-2 of ROA 1994 (Street Trees) various gravel samples for approval prior to installing.

25% of landscape area shall be covered with wood mulch. Mulch shall be a minimum of 4" deep in areas as shown on the plan. Landscape maintenance shall ensure that all wood Filter Fabric shall not be placed in areas to receive wood

Landscape shall be watered by a complete underground irrigation system operated by automatic timer.

Trees shall have Netafim and shrubs shall have a minimum of 2 emitters per shrub.

Trees and shrubs shall be zoned separately.

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Clear Site Triangle Note:

Street Tree Notes:

Trees are GENERALLY required along street frontages every 25 feet on center unless otherwise specified in Part

Section 6-6-2-5 Street Trees

- Size of the trees at maturity should be in proportion to the planting space provided for them. Smaller species of trees will require closer spacing, and larger trees will require greater spacing, . Spacing shall be approved as part of the plan approval
- possible, or do not conform to the overall design objectives of the site, provided that the number of trees equals or exceeds the number that would be required if the trees were evenly spaced

5-6(C)(15)(D) PROPERTY OWNERS ACKNOWLEDGE THAT APPROVED LANDSCAPING AND TREES INSTALLED AND MAINTAINED IN A PUBLIC RIGHT-OF-WAY, PRIVATE WAY, OR OF THE CITY, AND THAT THAT THE CITY RESERVES THE RIGHT TO REMOVE THEM IF NECESSARY FOR A TRANSPORTATION PROJECT WITHOUT COMPENSATION, BUT AT NO COST TO THE PROPERTY OWNER. LANDSCAPING INSTALLED IN AN ABUTTING PUBLIC RIGHT-OF-WAY, PRIVATE WAY, OR EASEMENT BY PROPERTY OWNERS AND LATER REMOVED BY THE CITY SHALL NOT IMPACT PREVIOUSLY APPROVED NET LOT AREA CALCULATIONS FOR REQUIRED LANDSCAPING.

5-6(C)(15)(C) ANY DAMAGE TO UTILITY LINES RESULTING FROM THE NEGLIGENCE OF THE ABUTTING PROPERTY OWNER OR THE PROPERTY OWNER'S AGENTS OR EMPLOYEES IN THE INSTALLATION AND MAINTENANCE OF ANY LANDSCAPING, SCREENING, OR BUFFERING IN A PUBLIC RIGHT-OF-WAY, PRIVATE WAY, OR EASEMENT SHALL BE THE RESPONSIBILITY OF SUCH PROPERTY OWNER. ANY DAMAGE TO UTILITY LINES RESULTING FROM THE GROWTH OF PLANT MATERIALS THAT HAVE BEEN APPROVED BY THE APPLICABLE PUBLIC UTILITY AS PART OF A PLAN FOR LANDSCAPING, SCREENING, OR BUFFERING ON THE PUBLIC RIGHT OF WAY SHALL BE THE RESPONSIBILITY OF SUCH PUBLIC UTILITY. IF A PUBLIC UTILITY DISTURBS LANDSCAPING, SCREENING, OR BUFFERING IN A PUBLIC RIGHT-OF-WAY, PRIVATE WAY, OR EASEMENT, IT SHALL MAKE EVERY REASONABLE EFFORT TO PRESERVE THE LANDSCAPING MATERIALS AND RETURN THEM TO THEIR PRIOR LOCATIONS AFTER THE UTILITY WORK. IF THE PLANT MATERIALS DIE DESPITE THOSE EFFORTS, IT IS THE OBLIGATION OF THE ABUTTING PROPERTY OWNER TO REPLACE THE PLANT MATERIALS.

PER 5-6(C)(14)(A), IRRIGATION SYSTEMS SHALL COMPLY WITH SECTION 8 OF THE ABCWUA LEGISLATION AND ORDINANCES (CROSS CONNECTION PREVENTION AND CONTROL

PER 5-6(C)(14)(B), ALL IRRIGATION SYSTEMS SHALL BE DESIGNED TO MINIMIZE THE USE OF WATER.

5-6(C)(14)(C), ALL NON-RESIDENTIAL LANDSCAPE IRRIGATION SHALL HAVE AUTOMATIC TIMERS AND/OR PROGRAMMABLE SETTINGS TO AVOID OVERWATERING.

PER 5-6(C)(14)(D), THE IRRIGATION SYSTEM SHALL NOT SPRAY OR IRRIGATE IMPERVIOUS SURFACES, INCLUDING SIDEWALKS, DRIVEWAYS, DRIVE AISLES, STREETS, AND PARKING AND LOADING AREAS.

PLANT PALETTE

















Desert Willow

Palm Yucca

Yaupon Holly

Blue Arrow Juniper

Chinese Pistache

Pistache Honey Locust

Austrian Pine

Crape Myrtle



Oklahoma Redbud

SHRUBS



Feather Reed Grass

Rosemary



India Hawthorn



Buffalo Juniper



Yellow Bird of Paradise



Gro-low Sumac



Dwarf Fountain Grass



Red Yucca



Cherry Sage



Blue Mist

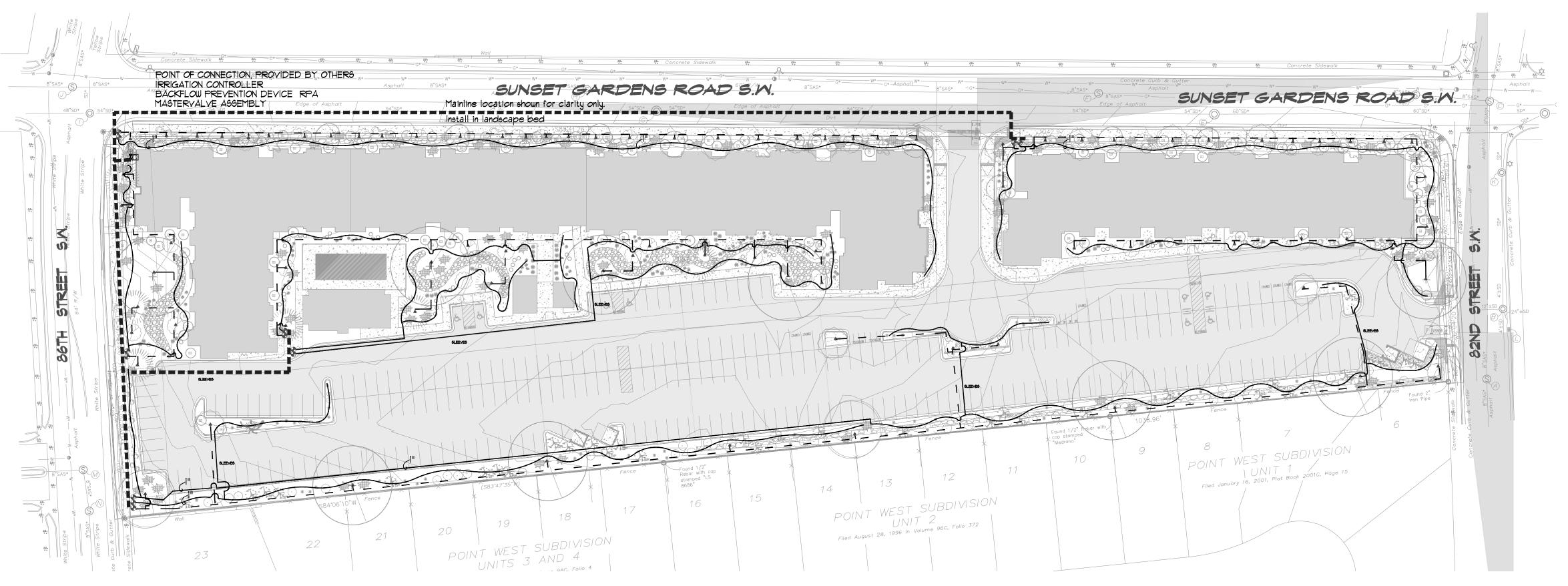


Apache Plume



Chamisa





IRRIGATION LEGEND

POINT OF CONNECTION, PROVIDED BY OTHERS SEE CIVIL PLANS IRRIGATION CONTROLLER

BACKFLOW PREVENTION DEVICE RPA HUNTER FEBCO (OR EQUAL) ⊕ MASTERVALVE ASSEMBLY HUNTER === MAINLINE Sch 40 PVC ◆ ELECTRIC ZONE VALVE HUNTER ==== SLEEYES Class 200 PVC Class 200 PVC Drip Line, Tree Netafim Rings Drip Line, Shrub Drip Emitter Line

* NETAFIM SPIRAL TREE IRRIGATION Polyline RAINBIRD,

1 1/2", 100gpm, 70psi required As Required 1 1/2" Cover, Provide Freeze Protection

3/4" with Pressure Regulation and Y Filter 2 SIZES LARGER THAN PIPE TO BE SLEEVED. SEE DETAIL

Size Equipment as Required for Flow Rate

IRRIGATION NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, EQUIPMENT QUANTITIES, AND UTILITY LOCATIONS PRIOR TO BEGINNING
- 2. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN PLANS OR SPECIFICATIONS PRIOR TO BEGINNING OR CONTINUING WORK.
- 3. THE IRRIGATION CONTRACTOR SHALL MAKE NO SUBSTITUTIONS, DELETIONS, OR ADDITIONS TO THIS PLAN WITHOUT APPROVAL OF THE Trees and shrubs shall be on separate valves. LANDSCAPE ARCHITECT.
- 4. ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REQUIREMENTS. IT SHALL BE THE RESPONSIBILITY OF General contractor shall supply point of connection with shut THE IRRIGATION CONTRACTOR TO ENSURE THAT ALL IRRIGATION EQUIPMENT MEETS GOVERNMENT REGULATIONS, CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS OR APPROVALS.
- 5. THIS PLAN IS SCHEMATIC AND DUE TO THE NATURE OF CONSTRUCTION source for controller to be provided by others. SLIGHT FIELD MODIFICATIONS MAY BE NECESSARY TO IMPLEMENT
- 6. IRRIGATION SYSTEMS CONNECTED TO POTABLE WATER SUPPLY, SHALL HAVE A BACKFLOW PREVENTER INSTALLED.
- 1. IRRIGATION LATERAL LINES, MAIN LINES AND EQUIPMENT MAY BE SHOWN OUTSIDE PROPERTY LINES ON THIS PLAN, ALL IRRIGATION LINES AND EQUIPMENT ARE TO BE WITHIN AND INSTALLED WITHIN THE LIMITS OF THE PROPERTY LINE.
- 8. ALL IRRIGATION SLEEVING TO BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. ELECTRICAL WIRES FOR IRRIGATION VALVES AND IRRIGATION LINES ARE TO BE PLACED IN. SEPARATE SLEEVES, SEE SLEEVING DETAIL.
- 9. SUPPLY LINE AND WATER METER TO BE PROVIDED BY OWNERBACKFLOW PREVENTOR TO BE PROVIDED BY IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR'S POINT OF CONNECTION TO BEGIN DOWNSTREAM OF THE IRRIGATION WATER METER.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive | Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 2.0 GPH Drip Emitters.

Trees and Shrubs shall be on separate zones, Class 200 PVC lines shall supply netafim tree rings for Trees, $\frac{3}{4}$ " Polypipe shall supply drip emitters for shrubs, with flush caps at each end.

Point of connection for irrigation system is shown on the plan. Irrigation contractor shall coordinate with general contractor. off gate valve, at the point of connection for irrigation.

Irrigation will be operated by automatic controller.

Location of controller to be field determined and power

Irrigation maintenance shall be the responsibility of the Property Owner.

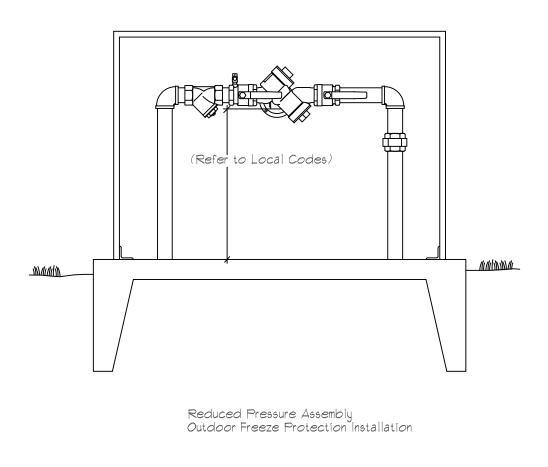
Water and Power source shall be the responsibility of the Developer/Builder/General Contractor



_____ OF ____

SCALE: 1" = 50'-0"

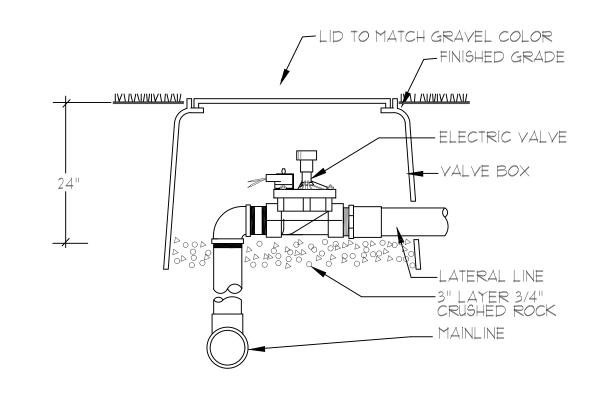
danny@mitchellassociatesinc.com





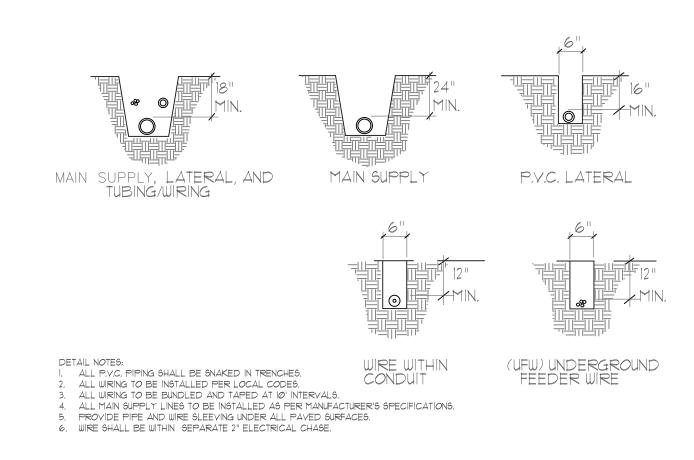
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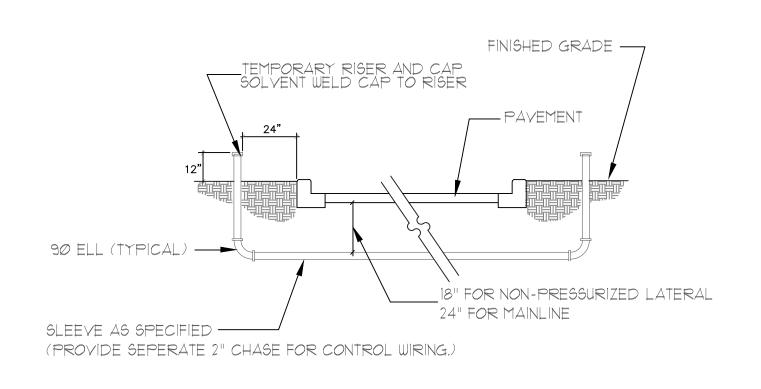


ELECTRIC VALVE ASSEMBLY

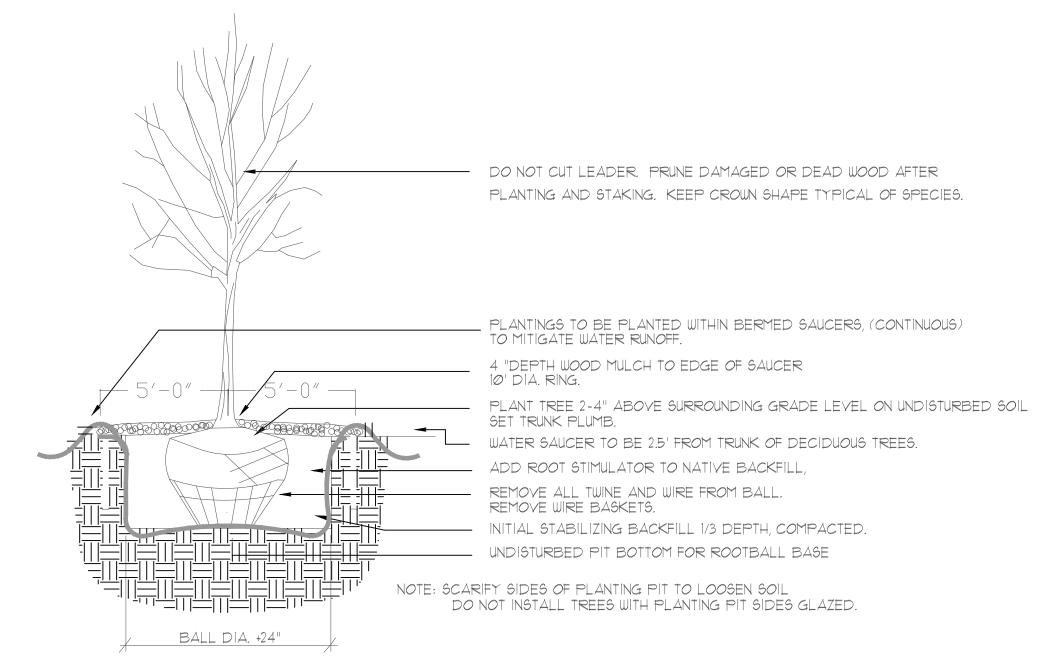
NOTE: ALL IRRIGATION COMPONENTS WILL USE RECLAIMED WATER WHEN IT BECOMES AVAILABLE TO MESA DEL SOL

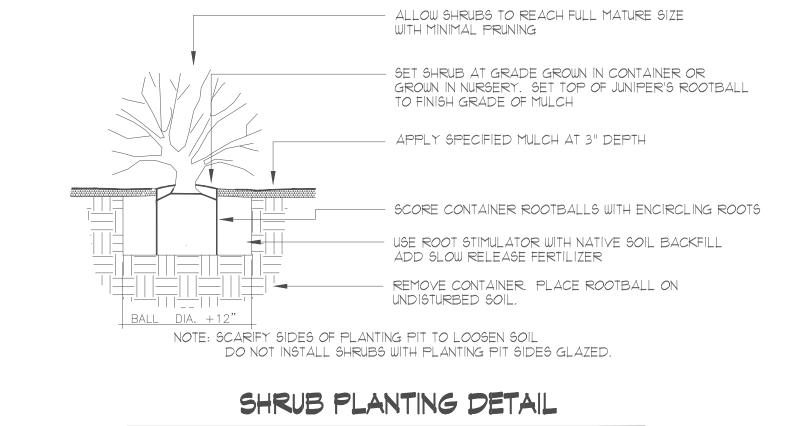


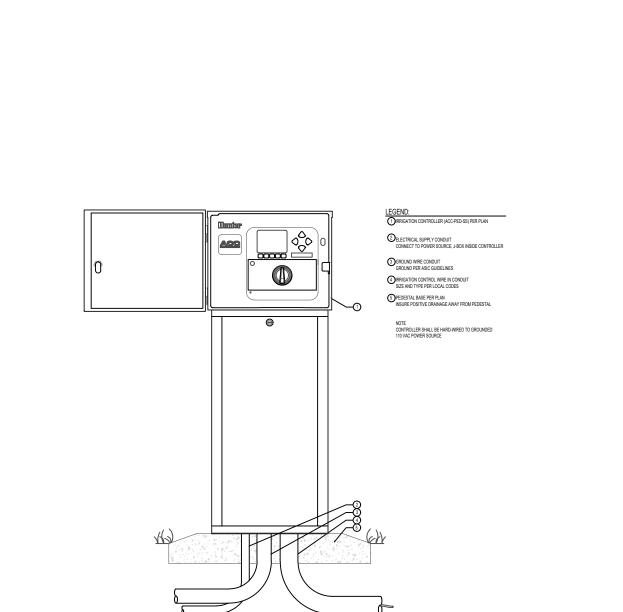
TRENCHING DETAIL



SLEEVE INSTALLATION DETAIL







ACC - PEDESTAL MOUNT STAINLESS STEEL

Hunder C.ACC.05

<u>Netafim Spiral Detail</u>

NETAFIM DETAIL

Emitter-12" o.c.

N.Ŧ.S.

NOT TO SCALE



TREE PLANTING DETAIL

danny@mitchellassociatesinc.com

Danny Mitchell

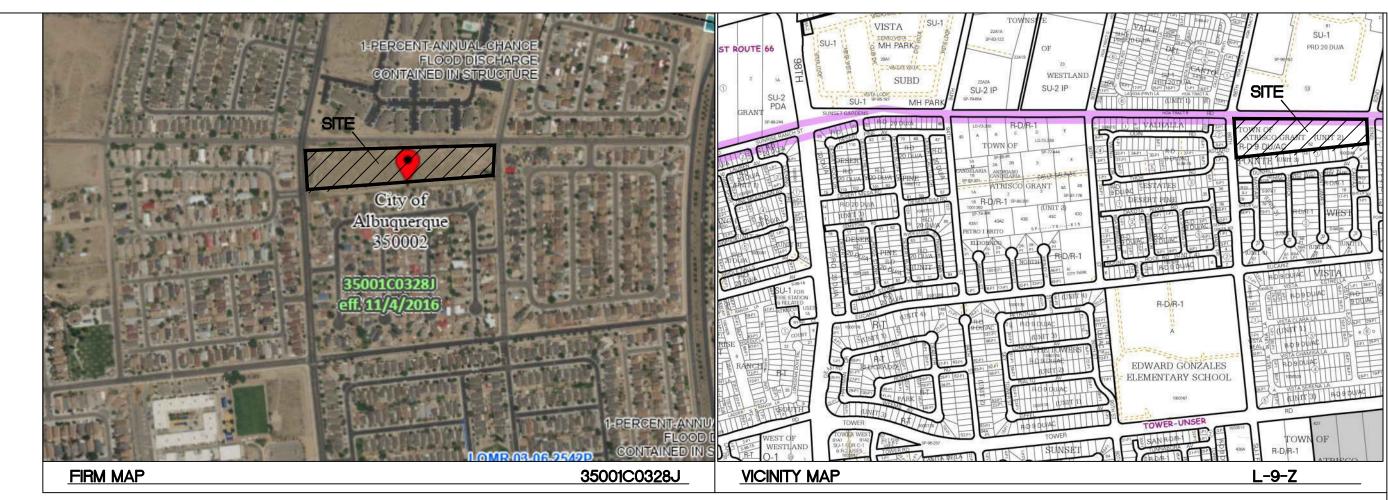
505.639.9583

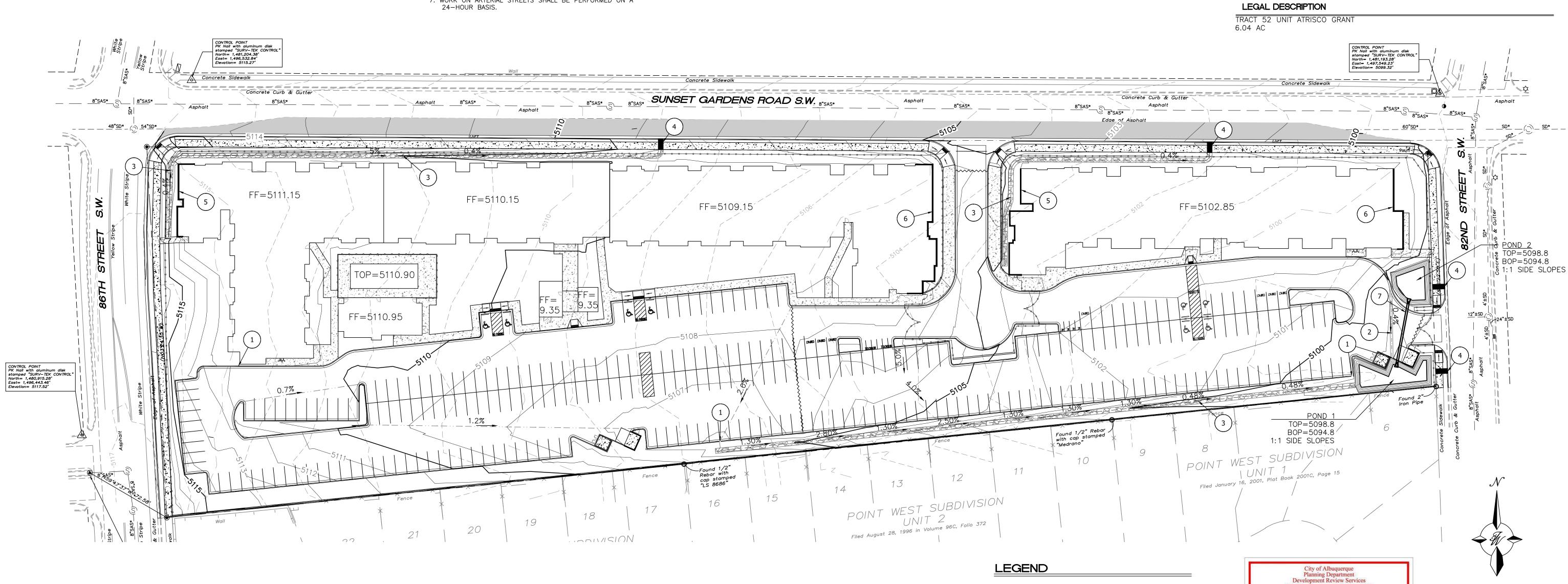
EROSION CONTROL NOTES:

- 1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
- 6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH THE CITY OF RIO RANCHO SPECS OR 37 GRAVEL

NOTICE TO CONTRACTORS

- 1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY
- 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF RIO RANCHO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY
- 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.





SPOT ELEVATION NOTES

ADD 5100 TO ALL SPOT ELEVATIONS 2. ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

KEYED NOTES

- (1) 2' CURB CUT OPENING
- (2) 2' CONC VALLEY GUTTER
- (3) LANDSCAPE SWALE WITH RIP RAP
- (4) 4' SIDEWALK CULVERT
- (5) EXTENDED STEMWALL
- (6) EXTENDED FOOTING
- (7) 18" HDPE POND EQUALIZING PIPE

CURB & GUTTER - BOUNDARY LINE --- -- EASEMENT

RETAINING WALL ---- RIGHT-OF-WAY ----- BUILDING

PROPOSED SIDEWALK

======== EXISTING CURB & GUTTER

—**→** FLOW

[______LANDSCAPING

— — — EXISTING INDEX CONTOUR ---- EXISTING CONTOUR --- PROPOSED INDEX CONTOUR - PROPOSED CONTOUR

SEAL 12-23-22

RONALD R. BOHANNAN

P.E. #7868

SUNSET APARTMENTS

ALBUQUERQUE, NM CONCEPTUAL GRADING AND DRAINAGE PLAN

HYDROLOGY SECTION

PRELIMINARY APPROVED

02/27/23

BY: Rance Brissella
HydroTrans # L10D032

THESE PLANS AND/OR REPORT ARE
CONCEPTUAL ONLY. MORE INFORMATION MAY
BE NEEDED IN THEM AND SUBMITTED TO
HYDROLOGY FOR BUILDING PERMIT APPROVAL.

TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100

C2.1 www.tierrawestllc.com 2022028

GRAPHIC SCALE

(IN FEET) 1 inch = 40 ft.

DRAWN BY

pm

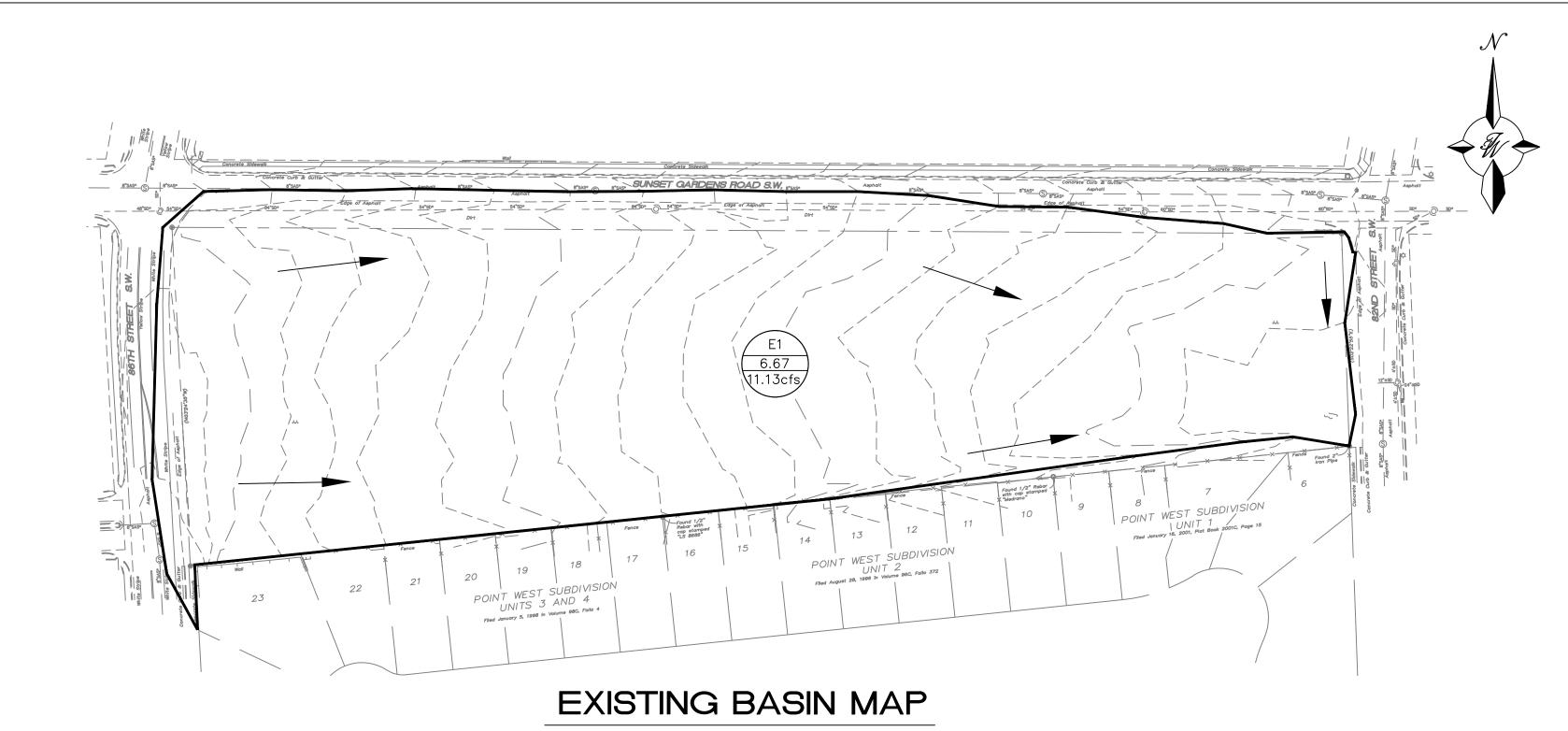
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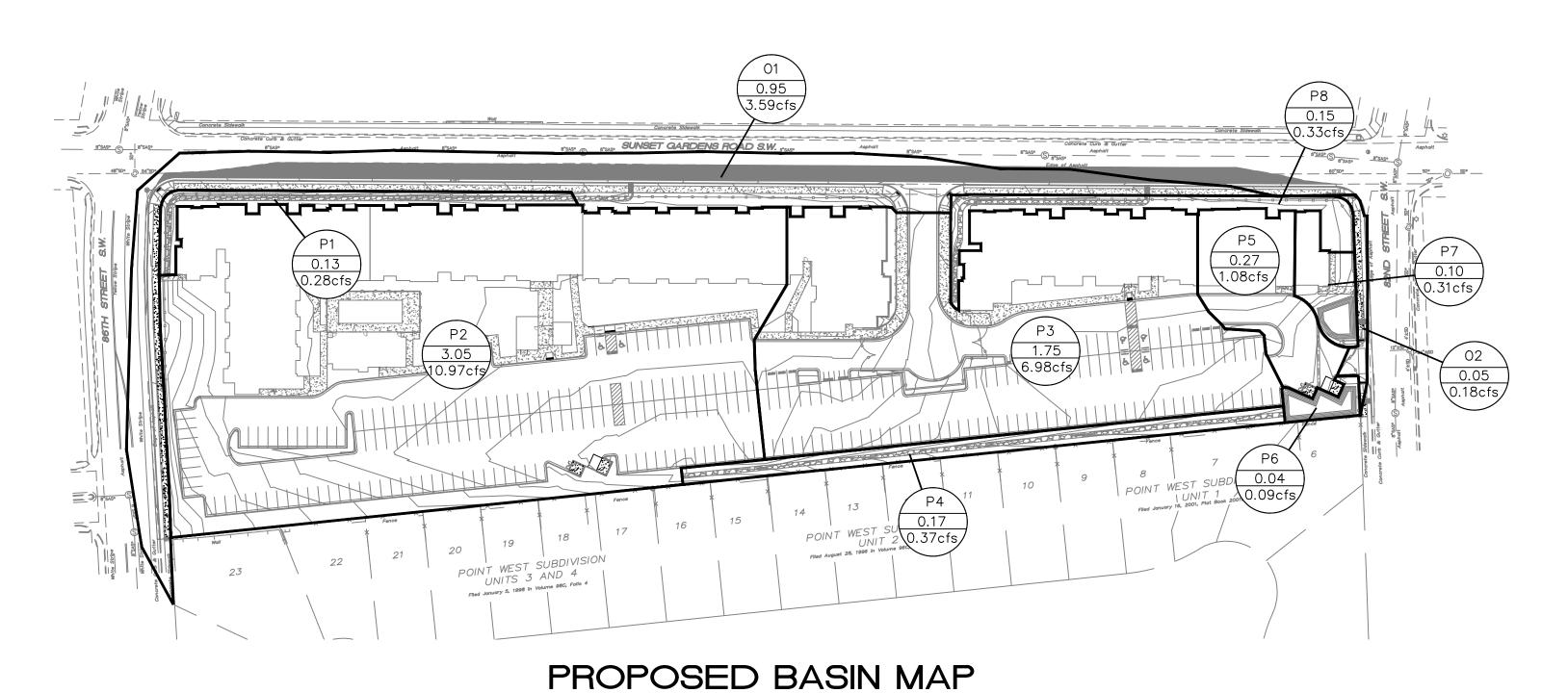
12-19-22

DRAWING

SHEET #

JOB #





Existing Conditions

	Basin Descriptions 100-Year, 6-Hr 10-Year, 6-Hr																
Basin	Area	Area	Area	Treatr	nent A	Treati	ment B	Treati	nent C	Treatr	ment D	Weighted E	Volume	Flow	Weighted E	Volume	Flow
ID	(sf)	(acres)	(sq miles)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	(in)	(ac-ft)	cfs	(in)	(ac-ft)	cfs
E1	290,514.00	6.669	0.01042	95%	6.336	0%	0.000	0%	0.000	5%	0.333	0.635	0.353	11.13	0.176	0.098	2.76
Total	290,514.00	6.669	0.01042		0.000		0.000		0.000		0.333		0.353	11.13		0.098	2.76

Proposed Conditions

				Basin Descriptions 100-Year, 6-Hr 10-Year, 6-Hr													
Basin	Area	Area	Area	Treatr	nent A	Treatr	ment B	Treati	ment C	Treati	ment D	Weighted E	Volume	Flow	Weighted E	Volume	Flow
ID	(sf)	(acres)	(sq miles)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	(in)	(ac-ft)	cfs	(in)	(ac-ft)	cfs
P1	5,672.00	0.130	0.00020	0%	0.000	100%	0.130	0%	0.000	0%	0.000	0.730	0.008	0.28	0.260	0.003	0.11
P2	133,045.00	3.054	0.00477	0%	0.000	27%	0.825	0%	0.000	73%	2.230	1.832	0.466	10.97	1.114	0.284	6.40
P3	76,350.00	1.753	0.00274	0%	0.000	7%	0.123	0%	0.000	93%	1.630	2.134	0.312	6.98	1.348	0.197	4.29
P4	7,436.00	0.171	0.00027	0%	0.000	100%	0.171	0%	0.000	0%	0.000	0.730	0.010	0.37	0.260	0.004	0.14
P5	11,938.00	0.274	0.00043	0%	0.000	10%	0.027	0%	0.000	90%	0.247	2.089	0.048	1.08	1.313	0.030	0.66
P6	1,761.00	0.040	0.00006	0%	0.000	90%	0.036	10%	0.004	0%	0.000	0.752	0.003	0.09	0.277	0.001	0.04
P7	4,272.00	0.098	0.00015	0%	0.000	41%	0.040	10%	0.010	49%	0.048	1.492	0.012	0.31	0.850	0.007	0.17
P8	6,675.00	0.153	0.00024	0%	0.000	100%	0.153	0%	0.000	0%	0.000	0.730	0.009	0.33	0.260	0.003	0.12
01	41,325.00	0.949	0.00148	0%	0.000	17%	0.161	0%	0.000	83%	0.787	1.983	0.157	3.59	1.231	0.097	2.15
02	2,040.00	0.047	0.00007	0%	0.000	17%	0.008	0%	0.000	83%	0.039	1.983	0.008	0.18	1.231	0.005	0.11
Total	290,514.00	6.669	0.01042		0.000		1.675		0.000		4.981		1.033	24.18		0.630	14.18

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa*Aa + Qb*Ab + Qc*Ac + Qd*Ad

Excess Precipitation, E (in.)							
Zone 1	100-Year	10-Year					
Ea	0.55	0.11					
Eb	0.73	0.26					
Ec	0.95	0.43					
Ed	2.24	1.43					

Peak I	Discharge (cfs/acre)
Zone 1	100-Year	10-Year
Qa	1.54	0.30
Qb	2.16	0.81
Qc	2.87	1.46
Qd	4.12	2.57

Water Quality Volume (Basins P1-P8)

Total Impervious Area = 4.264 Acres = 185,740 SF Retainage depth = 0.42" = 0.035' (COA DPM Article 6-12) Retention Volume = 0.035 x 185,740 = **6,501 CF**

ISTING DRAINAGE:

AS SHOWN BY THE VICINITY MAP, THIS SITE IS BOUNDED BY 86TH STREET TO THE WEST, SUNSET GARDENS ROAD TO THE NORTH, 82ND STREET TO THE EAST, AND A SINGLE FAMILY RESIDENTIAL SUBDIVISION TO THE SOUTH. THE SITE CONSISTS OF ONE VACANT LOT, WHICH WILL BE REPLATTED FOR RIGHT-OF-WAY DEDICATION FOR PERIMETER PUBLIC SIDEWALKS AND CURB. THE LEGAL DESCRIPTION OF THE PROPERTY IS TRACT 52 UNIT 2 TOWN OF ATRISCO GRANT. THE TOTAL AREA OF THE PROPERTY IS 5.8 ACRES. AS SHOWN BY THE FEMA FIRM MAP, THE SITE DOES NOT LIE WITHIN ANY FLOODPLAIN.

THE SITE IS CURRENTLY UNDEVELOPED AND CONSISTS OF DRAINAGE FLOW FROM WEST TO EAST TOWARDS 82ND STREET. THE GROUND COVER CONSISTS OF NATIVE GRASSES AND WEEDS AND IS MODERATELY SLOPED, WITH SLOPES RANGING BETWEEN 1% AND 2%. THERE ARE NO UPLAND OFFSITE FLOWS THAT PASS THROUGH THE SITE FROM THE SURROUNDING STREETS AND NEIGHBORHOODS. THERE IS CURRENTLY A LOW POINT IN THE SOUTHEAST CORNER OF THE PROPERTY WHERE RUNOFF WILL STAND AND EVENTUALLY MAKE IT'S WAY TO THE STORM DRAIN INLET IN 82ND STREET.

THE SITE LIES WITHIN BASIN U OF THE VALHALLA ESTATES DRAINAGE REPORT WITH ENGINEER'S STAMP DATE OF 12/19/1997 (L9/D19), WHICH ALLOWS THE SITE TO DISCHARGE INTO THE 82ND STREET STORM DRAIN SYSTEM AT A MAXIMUM RATE OF 24.63 CFS.

PROPOSED DRAINAGE:

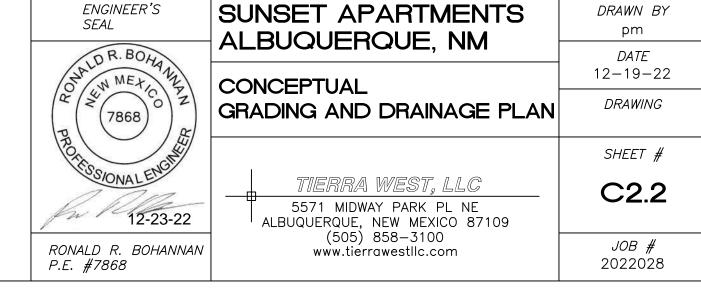
THE PROPOSED DEVELOPMENT WILL BE AN APARTMENT COMPLEX WITH 2 3-STORY RESIDENT BUILDINGS, A CLUBHOUSE BUILDING, 2 LEASING OFFICE BUILDINGS, AND A POOL. ALL IMPROVEMENTS WILL BE BUILT OUT IN THEIR ENTIRETY IN ONE SINGLE PHASE.

BASINS P2 THROUGH P5 WILL CONSIST OF A MAJORITY OF THE SITE WHICH WILL CONVEY RUNOFF VIA SURFACE FLOW FROM NORTHWEST TO SOUTHEAST TOWARDS PONDS 1 AND 2, WHICH ARE BASINS P6 AND P7 RESPECTIVELY. PONDS 1 AND 2 ARE STORMWATER QUALITY RETENTION PONDS TO HOLD THE REQUIRED FIRST FLUSH VOLUME OF 6,501 CUBIC FEET. ONCE THESE PONDS HAVE REACHED THEIR CAPACITY, EXCESS RUNOFF WILL PASS THROUGH AN OVERLOW AND SIDEWALK CULVERTS ATTACHED TO EACH POND AND FREE DISCHARGE INTO 82ND STREET AND THE EXISTING STORM DRAIN SYSTEM.

BASINS P1 AND P8 ARE THE ONSITE LANDSCAPE AREAS BETWEEN THE APARTMENT BUILDINGS AND THE PROPOSED PUBLIC SIDEWALK. THESE AREAS WILL CONVEY RUNOFF THROUGH A LANDSCAPE SWALE AND FREE DISCHARGE THROUGH PROPOSED SIDEWALK CULVERTS TOWARD SUNSET GARDENS ROAD. THIS RUNOFF EVENTUALLY MAKES ITS WAY TOWARDS THE 82ND STREET STORM DRAIN SYSTEM AS WELL.

THERE ARE 2 OFFSITE BASINS, BASINS O1 AND O2, THAT CONSIST OF THE AJDACENT PUBLIC SIDEWALK AND CURBS TO BE INSTALLED WITH THIS PROJECT. THESE FLOWS ARE CONVEYED TOWARDS THE 82ND STREET STORM DRAIN SYSTEM AS WELL.

THE TOTAL DEVELOPED FLOW FROM THESE BASINS ARE 24.18 CFS, WHICH IS LESS THAN THE ALLOWABLE 24.63 CFS IN THE GOVERNING VALHALLA ESTATES DRAINAGE REPORT.



GENERAL UTILITY NOTES:

- ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH THE ALBUQERQUE BERNALILLO COUNTY WATER AUTHORITY (ABCWUA) LATEST STANDARDS AND SPECIFICATIONS.
- 2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
- 3. REFERENCE PLUMBING PLANS FOR WATER LINE RISER LOCATIONS, BACKFLOW PREVENTOR LOCATED INSIDE BUILDING UNLESS OTHERWISE NOTED ON THIS PLAN
- 4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS AT LOCATIONS INDICATED AND AT MID RUN IF LONGER THAN 100'
- 5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
- 6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. TO BE PROVIDED IN THE BUILDING UNLESS OTHERWISE NOTED ON THIS PLAN
- 7. ALL EX. SD INLETS AND MH'S SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
- 8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- 9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.

- 10. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
- 11. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
- 12. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

ABCWUA NOTES:

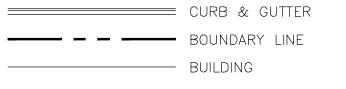
COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE, CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454.

COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH

NOTICE TO CONTRACTORS

- 1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF RIO RANCHO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY
- 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

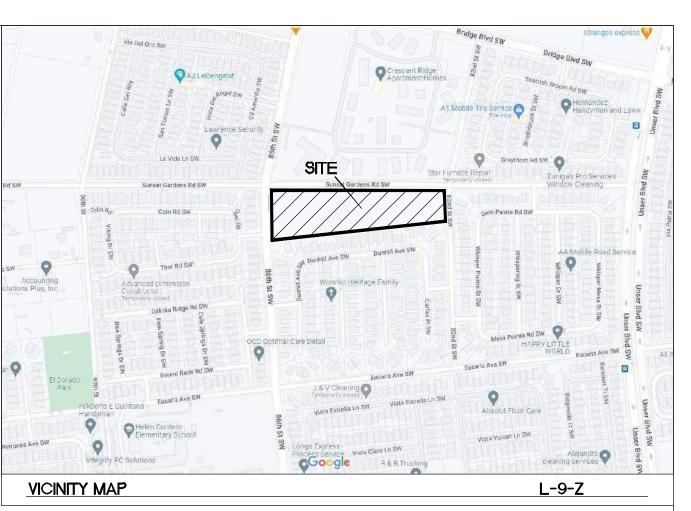
LEGEND



= = = = = = = EXISTING CURB & GUTTER EXISTING GATE VALVE ---- EXISTING WATERLINE -----s ------ EXISTING SAS

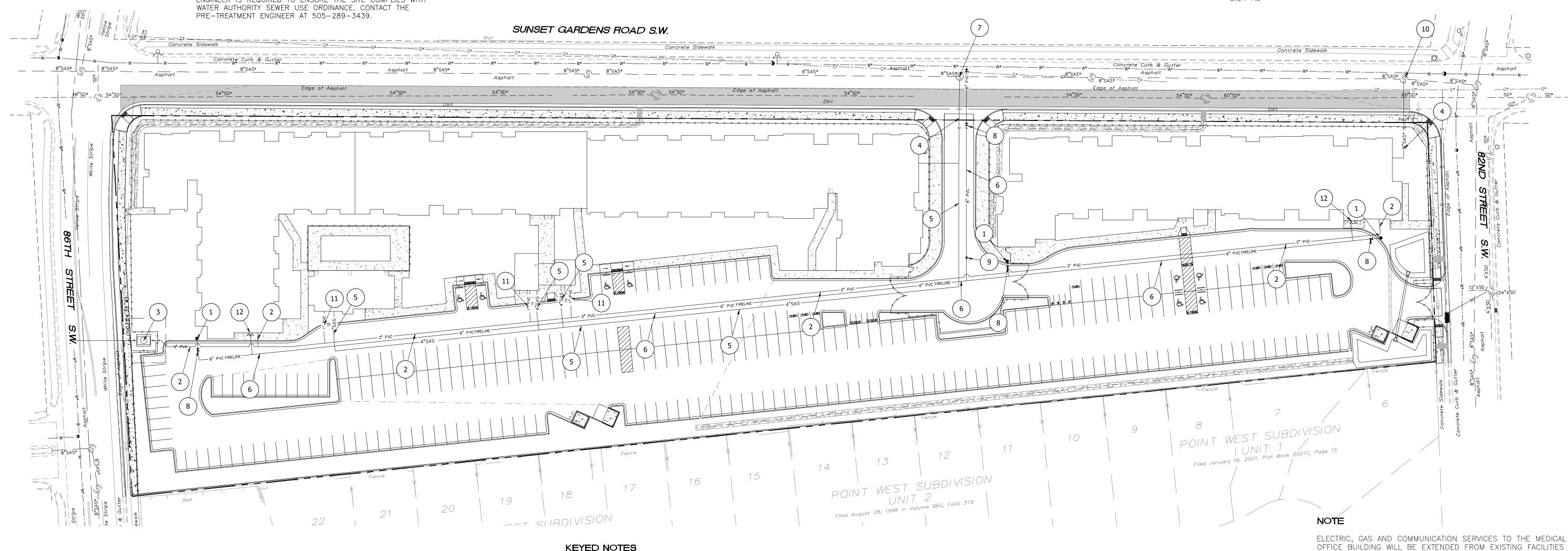
PROPOSED HYDRANT NEW SAS MH NEW WATER VALVE

NEW SINGLE WATER METER



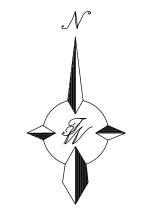
LEGAL DESCRIPTION

TRACT 52 UNIT ATRISCO GRANT 6.04 AC



KEYED NOTES

- 1) PROPOSED PRIVATE HYDRANT W/6" PVC FIRELINE AND 6" GATE VALVE PAINTED SAFETY ORANGE
- (2) NEW PRIVATE 3" WATER SERVICE LINE
- (3) NEW 3" DOMESTIC WATER METER AND VAULT
- NEW 8" PVC SAS SERVICE LINE w/CLEANOUTS PER UPC
- 5 NEW 4" PVC SAS SERVICE LINE w/CLEANOUTS PER UPC (TYP.)
- (6) NEW PRIVATE 6" PVC FIRE LINE
- (7) NEW SAS MANHOLE (TYP.)
- (8) NEW 6" GATE VALVE (PRIVATE)
- (9) NEW POST INDICATOR VALVE
- CONNECT SAS SERVICE TO EX. SAS MH
- (11) NEW PRIVATE 1" WATER SERVICE LINE
- NEW FIRELINE ENTRY TO BUILDING PLUS FDC AND STANDPIPE COMBINED



GRAPHIC SCALE

(IN FEET)

1 inch = 40 ft.

SEAL 12-23-22

P.E. #7868

SUNSET APARTMENTS ALBUQUERQUE, NM

CONTRACTOR TO CONDUCT ALL NECESSARY FIELD

LOCATION TO BE DETERMINED

AND APPROVED BY THE ENGINEER.

LOCATED ON OR ADJACENT TO BECKNER ROAD ROW. EXACT

RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED

BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE

INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND

OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM

MASTER UTILITY PLAN

CAUTION

TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100

RONALD R. BOHANNAN www.tierrawestllc.com SHEET # C3.0 JOB #

DRAWN BY

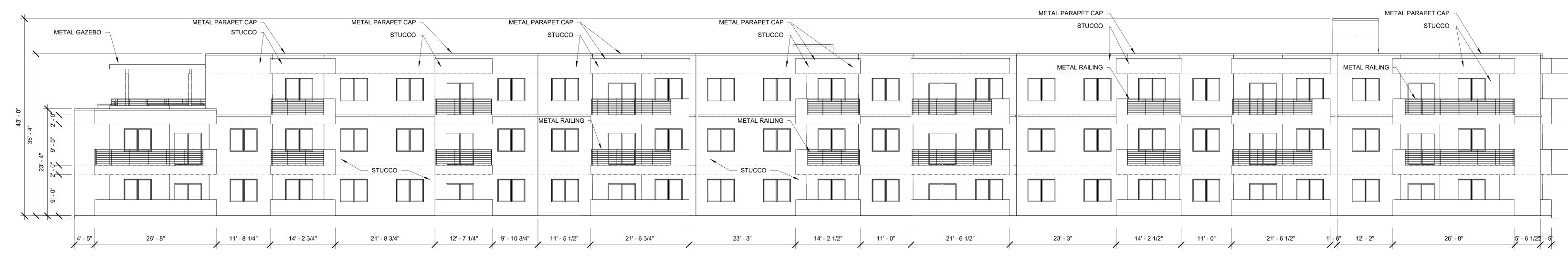
RMG

DATE

05-15-2023

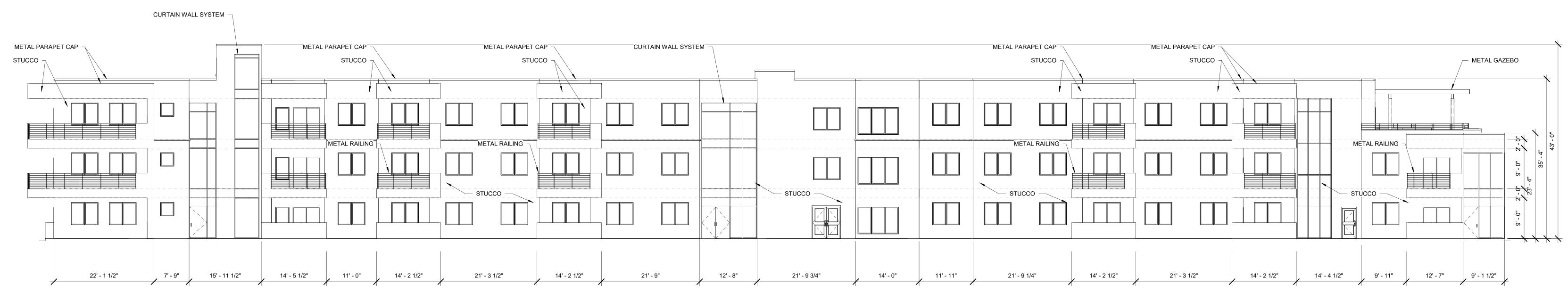
DRAWING

2022028

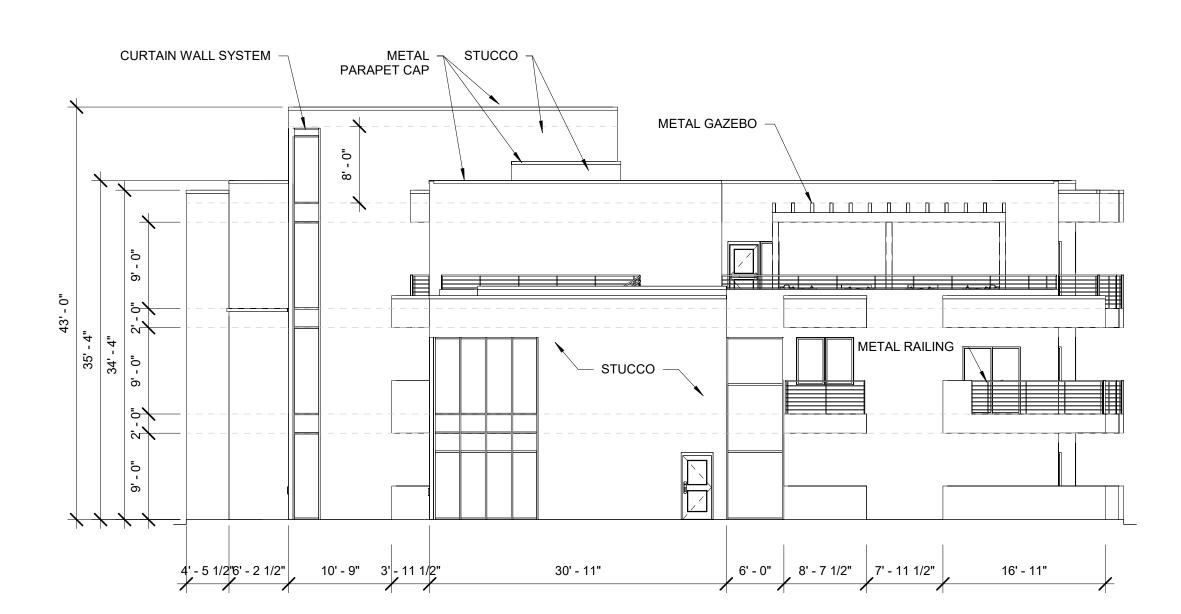


BUILDING 2 NORTH ELEVATION

1" = 10'-0"

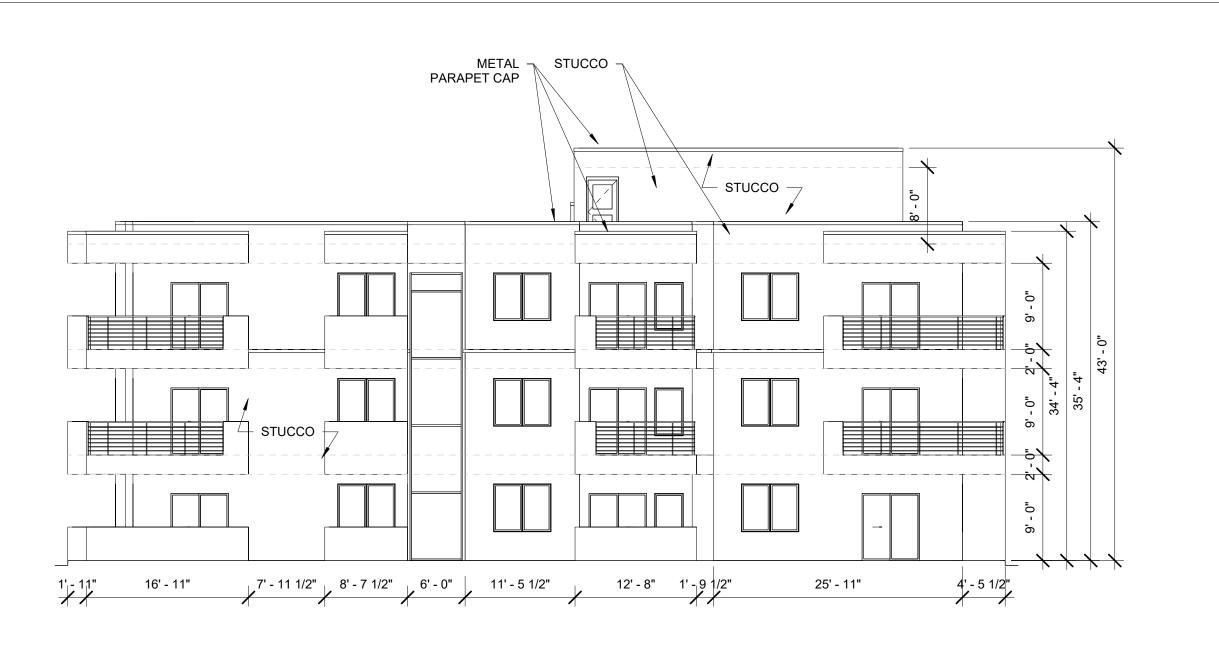


BUILDING 2 SOUTH ELEVATION



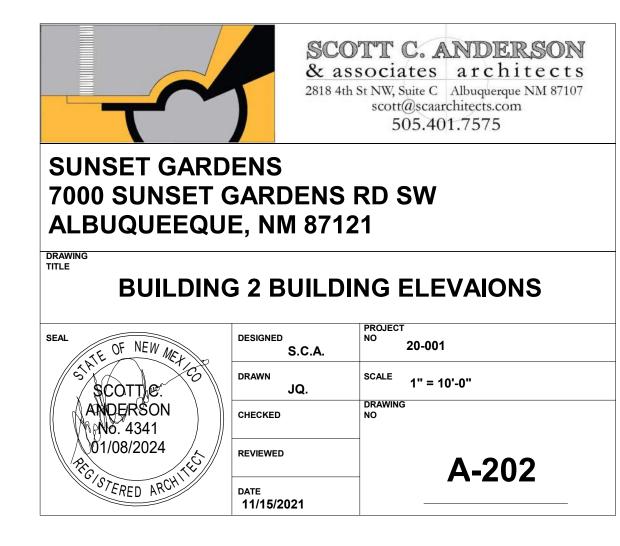
BUILDING 2 EAST ELEVATION

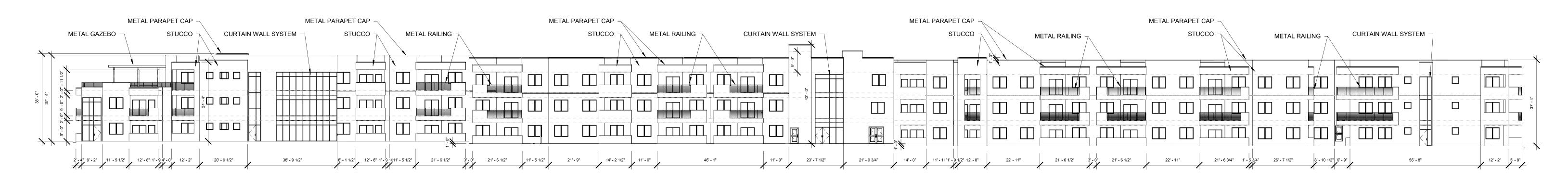
1" = 10'-0"



BUILDING 2 WEST ELEVATION

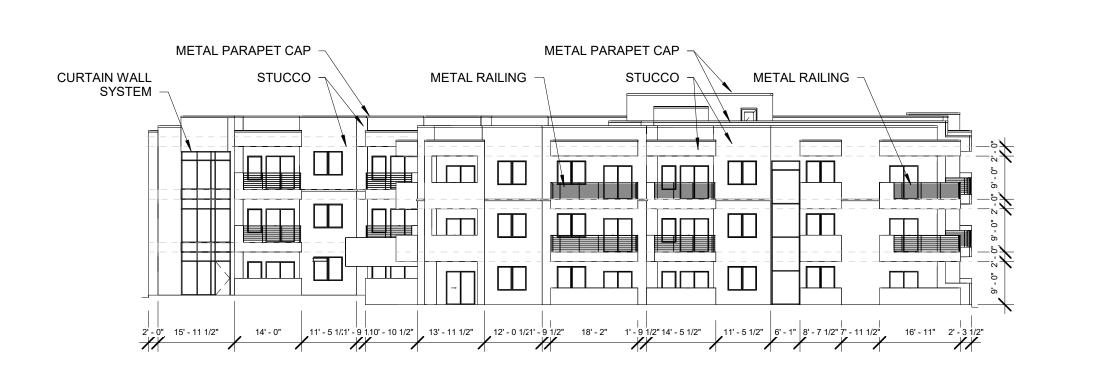
" = 10'-0"

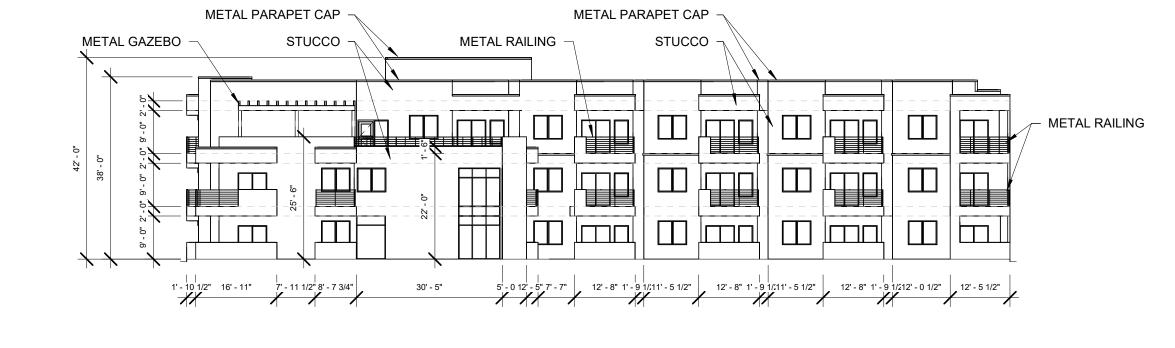




BUILDING 1 SOUTH ELEVATION

1" = 20'-0"



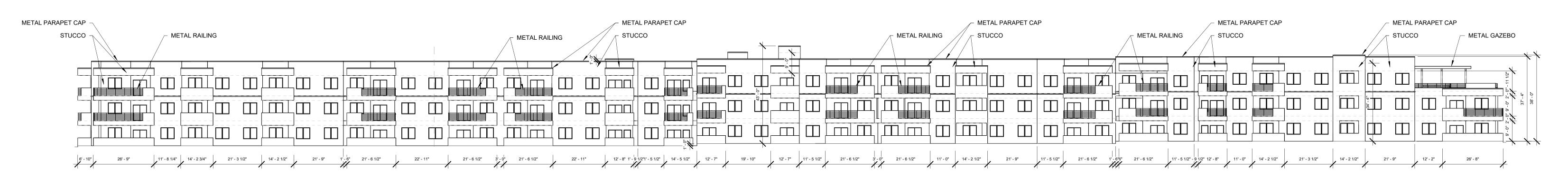


BUILDING 1 EAST ELEVATION

1" = 20'-0"

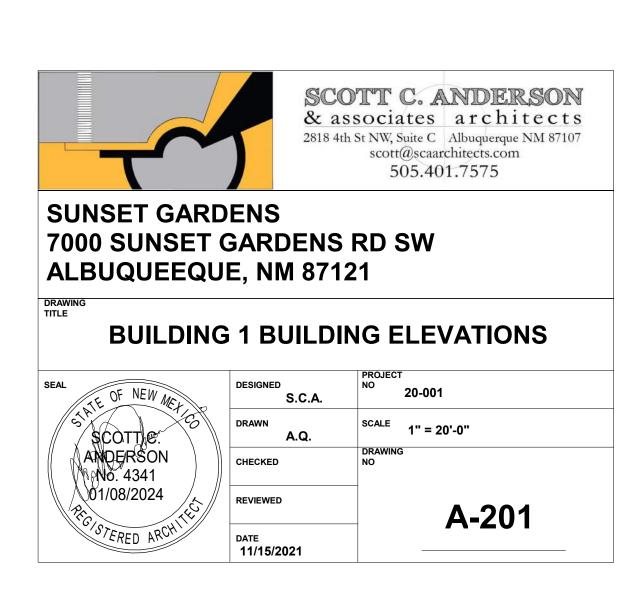
BUILDING 1 WEST ELEVATION

1" = 20'-0"



2 BUILDING 1 NORTH ELEVATION

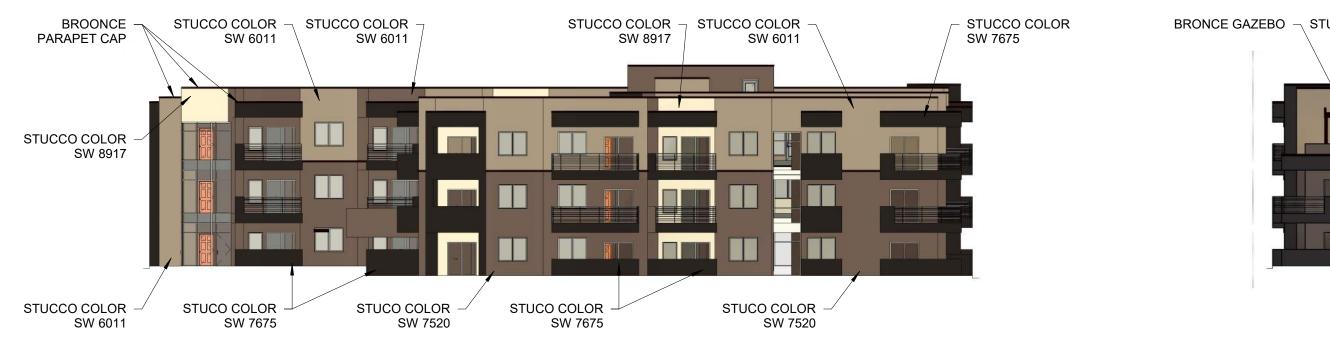
1" = 20'-0"

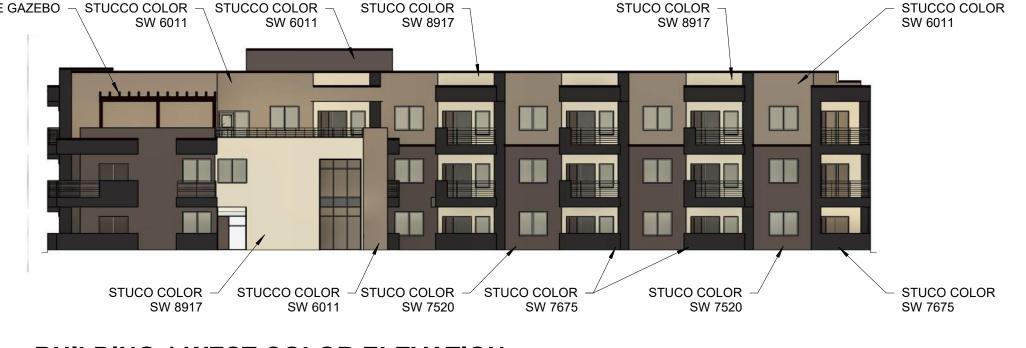




BUILDING 1 SOUTH COLOR ELEVATION

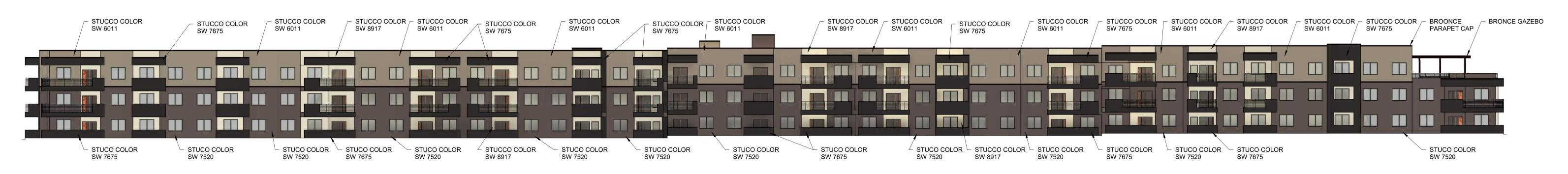
1" = 20'-0"





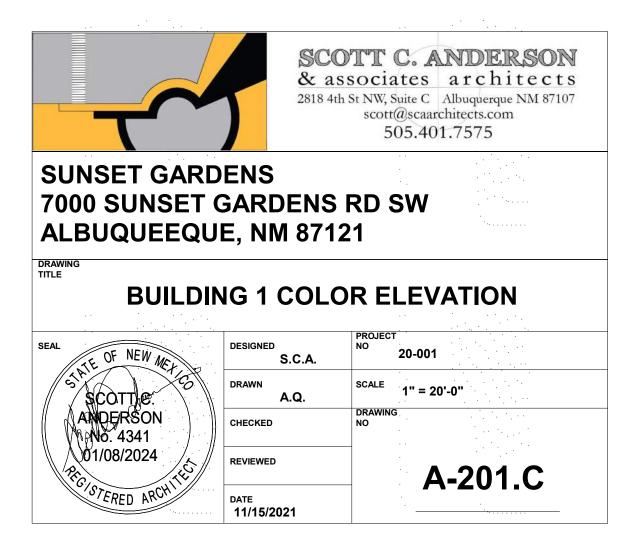
BUILDING 1 EAST COLOR ELEVATION

BUILDING 1 WEST COLOR ELEVATION



BUILDING 1 NORTH COLOR ELEVATION

1" = 20'-0"



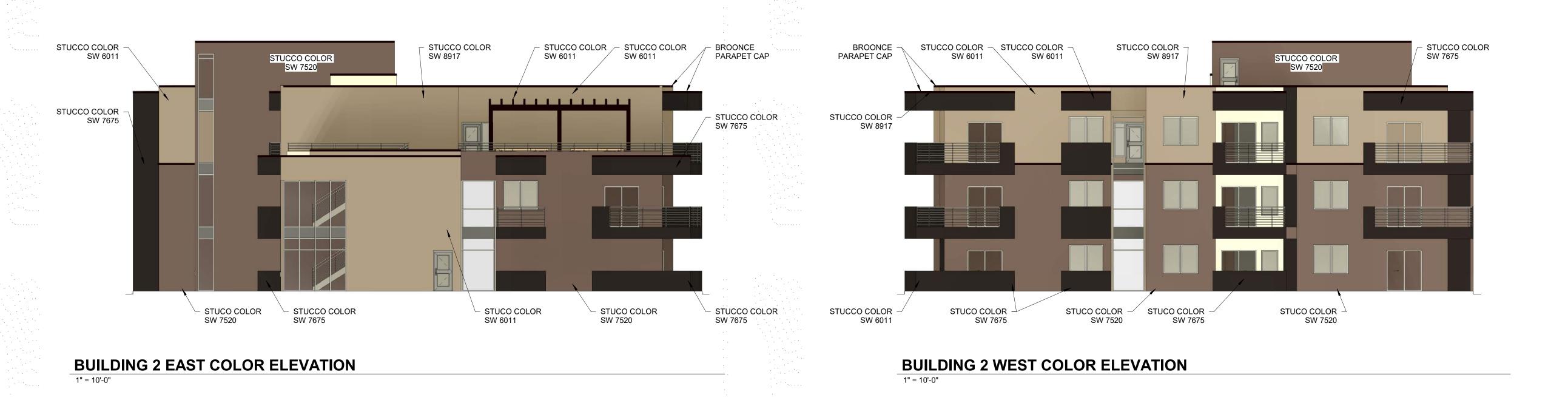


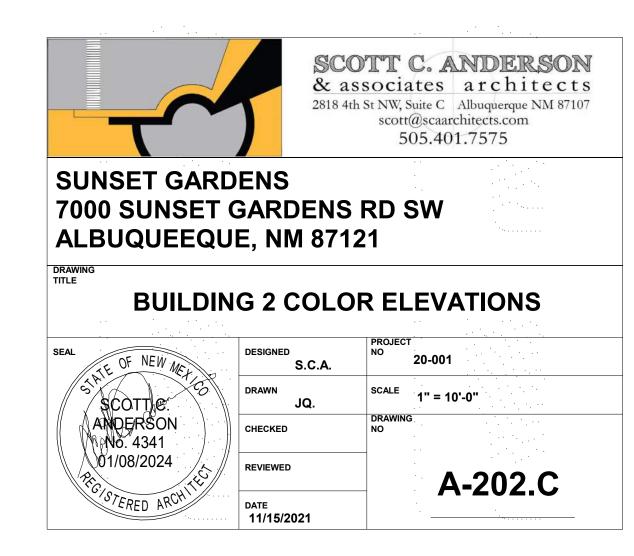
BUILDING 2 NORTH COLOR ELEVATION

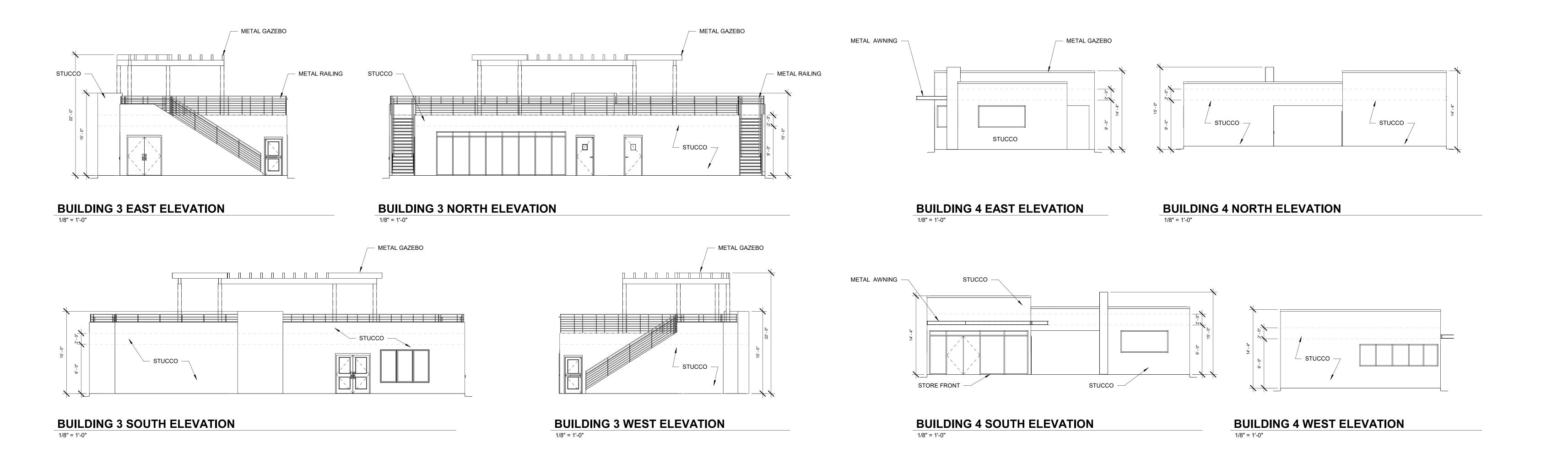
1" = 10'-0"

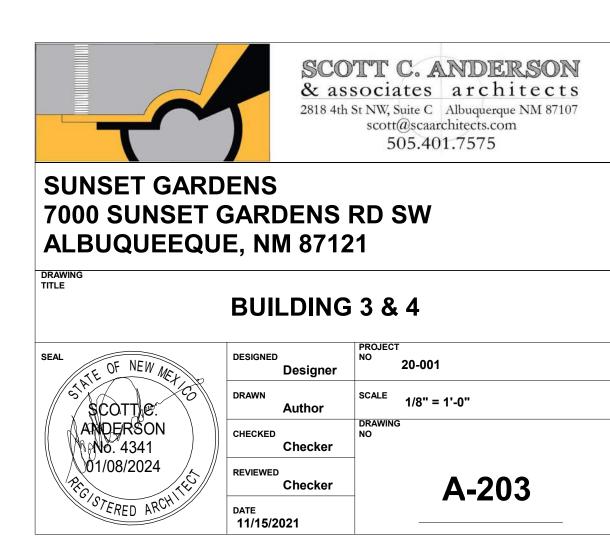


BUILDING 2 SOUTH COLOR ELEVATION

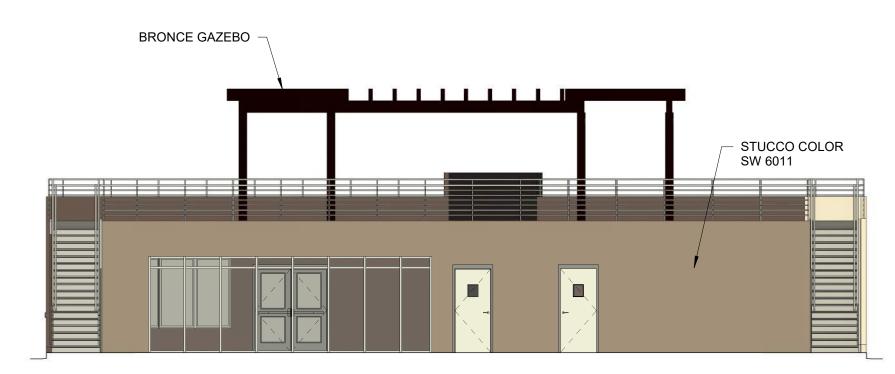






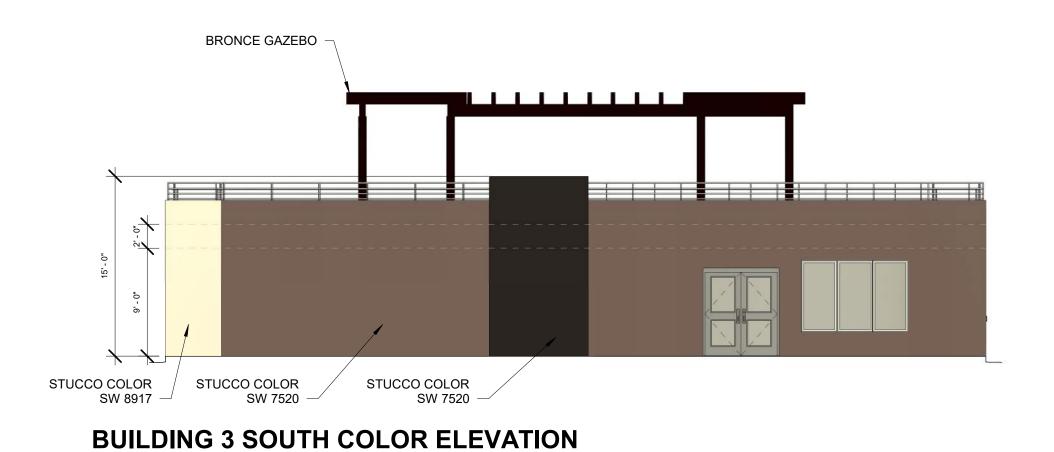


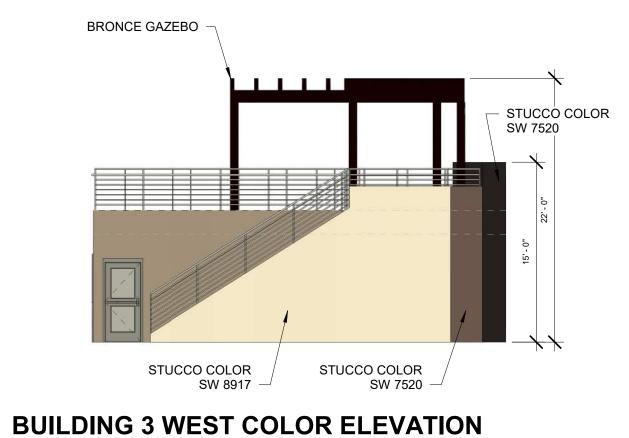




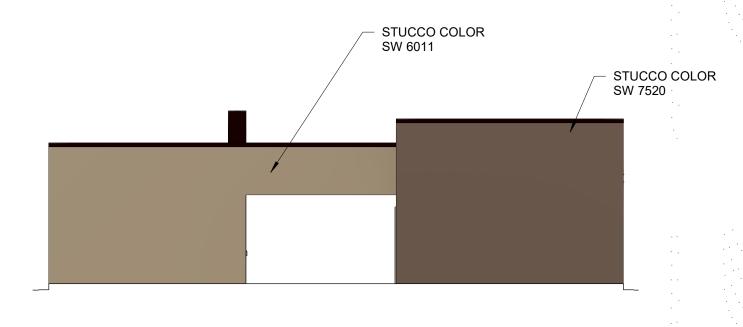
BUILDING 3 EAST COLOR ELEVATION

BUILDING 3 NORTH COLOR ELEVATION



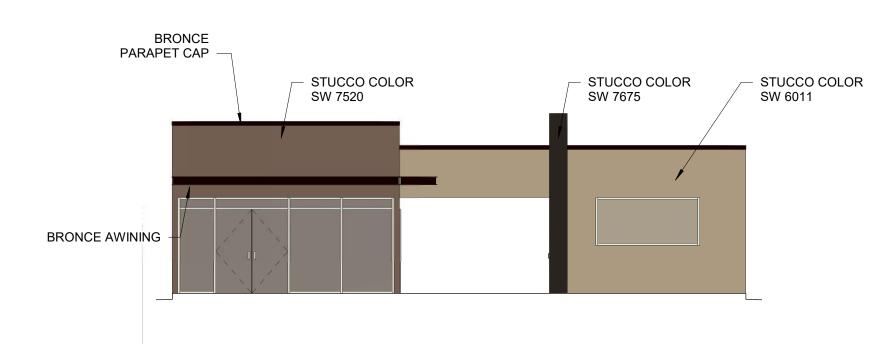


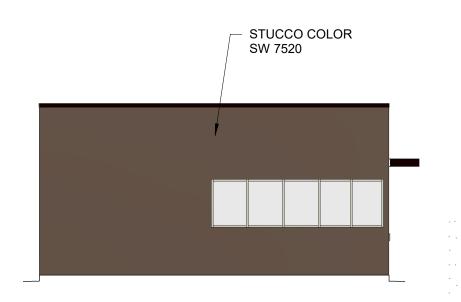
STUCCO COLOR BRONCE PARAPET CAP STUCCO COLOR SW 7520 BRONCE AWINING -



BUILDING 4 EAST COLOR ELEVATION 1/8" = 1'-0"

BUILDING 4 NORTH COLOR ELEVATION 1/8" = 1'-0"



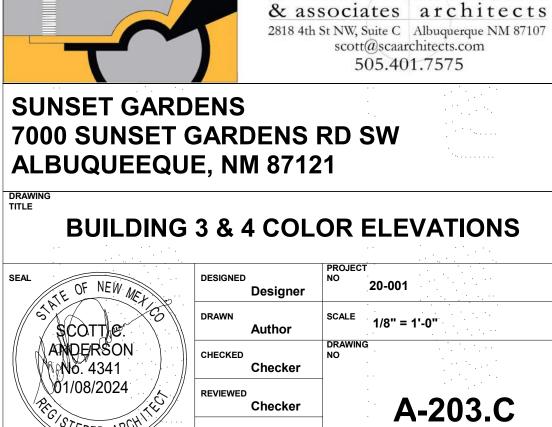


BUILDING 4 SOUTH COLOR ELEVATION

BUILDING 4 WEST COLOR ELEVATION



STERED ARCH



DATE 11/15/2021

SCOTT C. ANDERSON



BUILDING 1 NE CORNER



BUILDING 1 SW CORNER



BUILDING 2 SW CORNER



BUILDING 2 NE CORNER



BUILDING 1 NW CORNER



BUILDING 1 SE CORNER



BUILDING 2 SE ELEVATION



BUILDING 2 NW CORNER



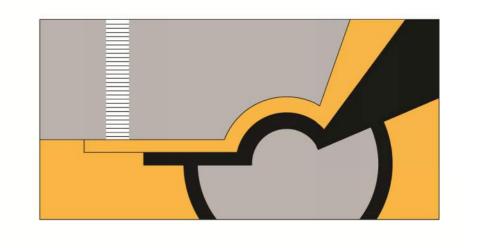
BUILDING 3 NW ELEVATION



BUILDING 3 NE ELEVATION



WINDOWS SHALL BE RECESSED 2 INCHES AS PER 14-16-5-11(C)(2)



SCOTT C. ANDERSON & associates architects albuquerque