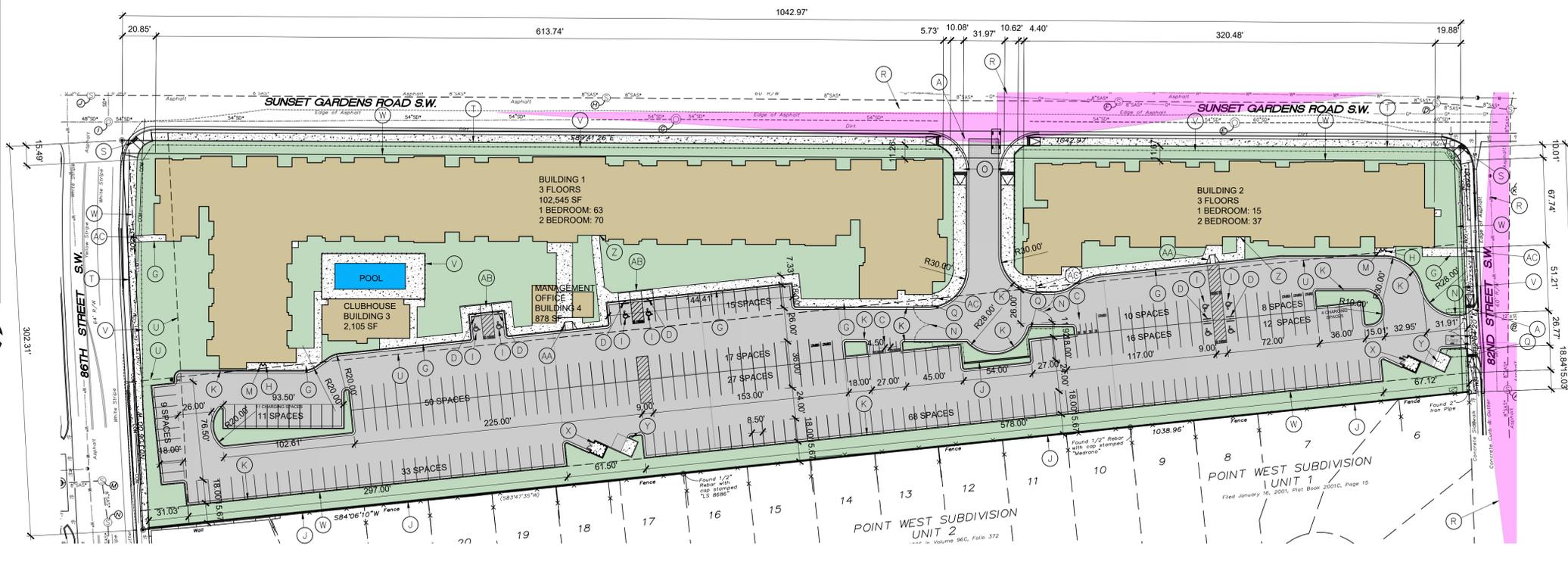


**AREA MAP**  
SCALE: NTS



**SITE PLAN**

SCALE: 1" = 50'-0"

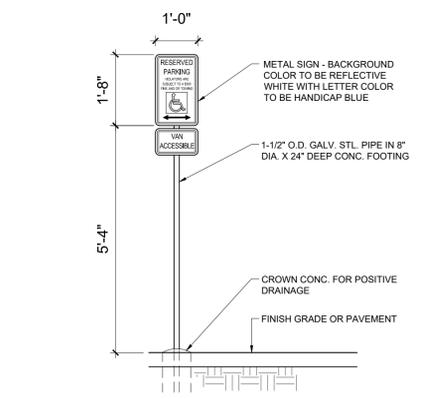
- KEYED NOTES**
- NEW DRIVE CUT REF CITY OF ALBUQUERQUE STANDARD DETAIL 2426 FOLLOW PARALLEL RAMP DETAIL, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE
  - 12 SPACE BIKE RACK, REF DETAIL THIS SHEET
  - MOTORCYCLE PARKING SIGN REF DETAIL THIS SHEET
  - H.C. PARKING SIGN, REF DETAIL ON THIS SHEET
  - NEW FIRE HYDRANT
  - IRRIGATION BOX
  - NEW 6" SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430
  - FIRE DEPT. CONNECTION
  - HC PARKING SYMBOL
  - 6" CMU WALL
  - CURB, REF DETAIL THIS SHEET
  - EXISTING PROPERTY LINE
  - STAND PIPE CONNECTION
  - VEHICULAR GATE
  - NEW 10' SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430
  - EXISTING POWER POLE, NEW POWER POLES WILL BE AGAINST BACK OF CURB.
  - KNOX BOX
  - CLEAR SIGHT TRIANGLE, LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FT TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
  - CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2441, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE
  - PROPERTY LINE
  - 100' NEIGHBORHOOD EDGE PROTECTION LINE
  - 6" WROUGHT IRON FENCE
  - IDO BUILDING SETBACK LINE
  - REFUSE CONTAINER PICKUP POINT, COA STANDARD DETAIL 9'X5' SWANSON COLLECTION SITE WITH ENCLOSURE, 4EA 4" BOLLARDS AND PAIR OF 3" DOORS
  - RECYCLING CONTAINER, REF DETAIL THIS SHEET
  - REFUSE COMPACTOR ROOM, 4 BINS STORED INSIDE
  - AA CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2442, DRAWING A
  - AB CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2443, DRAWING A
  - AC PEDESTRIAN GATE

**NOTE:**  
PROPERTY OWNER RESPONSIBLE FOR PLACING RECYCLING AT DESIGNATED COLLECTION POINT ON COLLECTION DAY.

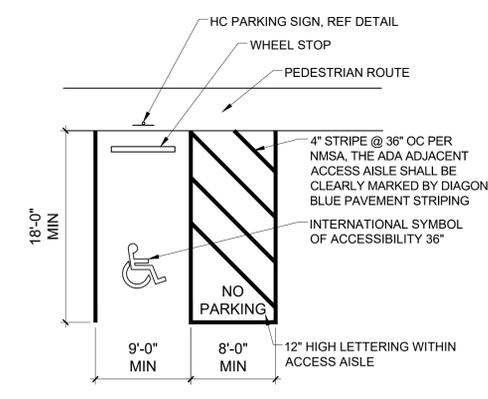
PROPERTY OWNER RESPONSIBLE FOR PLACING REFUSE IN ENCLOSURE ON COLLECTION DAY

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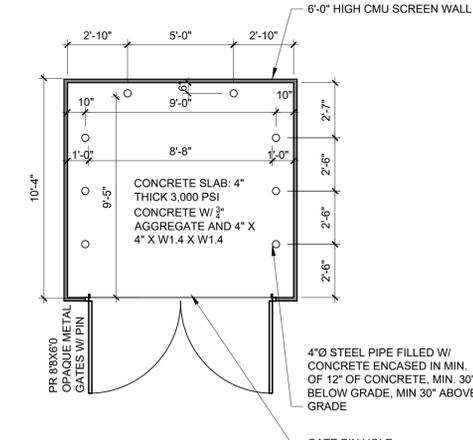
**ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WALL MUST BE INCLUDED ON A PUBLIC WORK ORDER**



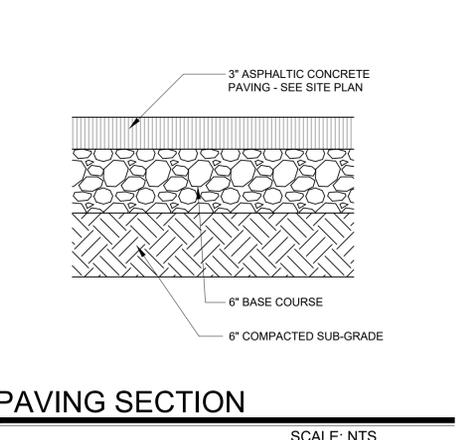
**HC SIGN**  
SCALE: NTS



**ADA PARKING**  
SCALE: 1/8" = 1'-0"



**REFUSE ENCLOSURE DETAIL**  
SCALE: 1/4" = 1'-0"



**PAVING SECTION**  
SCALE: NTS

**NOTE:**  
ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN ON A PUBLIC WORK ORDER.

LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

ALL PAVING SHALL BE ASPHALT UNLESS NOTED OTHERWISE, REF. DETAIL THIS SHEET.

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED IN ACCORDANCE WITH IDO SECTION 5-5 (G).

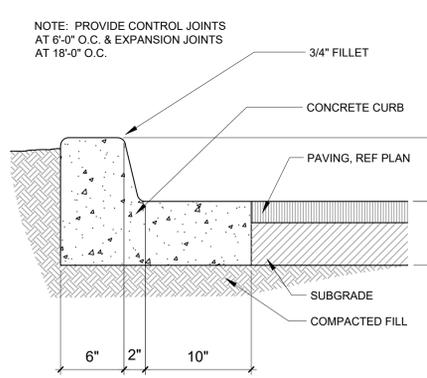
ALL OUTDOOR LIGHT FIXTURES SHALL BE LED, FIXTURES 70 WATTS OR GREATER SHALL BE SHIELDED USING FULL CUTOFF LIGHT FIXTURES.

BUILDING MOUNTED SIGNS SHALL BE EXTERNALLY ILLUMINATED AND SHALL NOT EXTEND MORE THAN 2 FEET ABOVE THE EXTERIOR WALLS OF THE BUILDING.

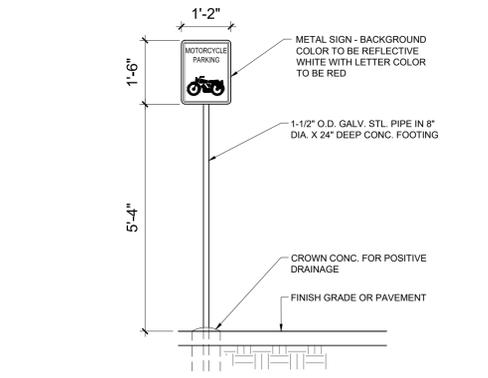
WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER.

PROVIDE ELECTRIC VEHICLE CHARGER AT EACH BAY OF LEASED GARAGES

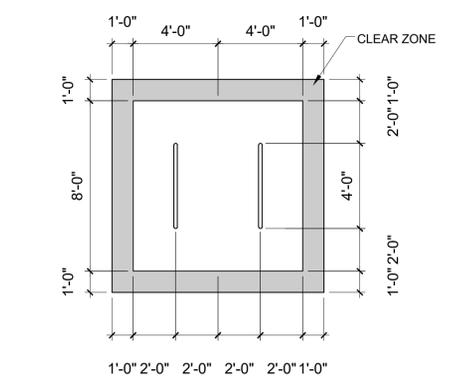
SITE LIGHTING WILL BE PROVIDED BY LIGHT BOLLARDS AND WALL MOUNTED FIXTURES AND SHALL COMPLY WITH 5-8 OF THE IDO



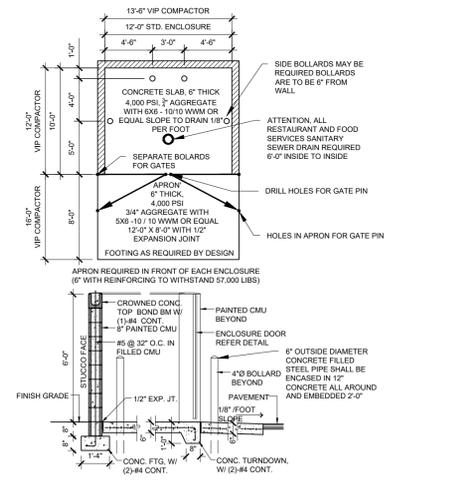
**CURB AND GUTTER**  
SCALE: NTS



**MOTORCYCLE SIGN**  
SCALE: 1/2" = 1'-0"



**BIKE PARKING**  
SCALE: 1/4" = 1'-0"



**RECYCLING ENCLOSURE**  
SCALE: 1/8" = 1'-0"

UPC: 100905647441510205  
LEGAL: TRACT 52, UNIT 2, ATRISCO GRANT  
ZONING: MX-L  
ZONE ATLAS PAGE: L9

GROSS LOT AREA = 6.04 AC = 263,102 SF  
BUILDING FOOTPRINT = 69,610 SF  
NET LOT AREA = 193,492 SF  
REQUIRED LANDSCAPE AREA @ 15% = 29,023 SF / 74,520 SF PROVIDED

**PARKING:**  
MULTI-FAMILY  
1 BEDROOM: 78 EACH X 1.2 SPACES = 93.6 SPACES  
2 BEDROOM: 107 EACH X 1.6 SPACES = 171.2 SPACES  
LEASING OFFICE 878 SF X 0.0035 = 3.1 SPACES REQUIRED  
TOTAL SPACES REQUIRED = 268 SPACES  
SPACES PROVIDED = 278 SPACES  
268 SPACES X 5% = 14 CHARGING SPACES REQUIRED, 15 PROVIDED

HC REQUIRED: 5 STANDARD, 4 VAN / 24 VAN ACCESSIBLE PROVIDED  
MOTORCYCLE PARKING 151-300 SPACES: 5 SPACES REQUIRED / 14 PROVIDED  
BIKE PARKING 10% OF 268, 27 REQUIRED  
12 SPACES ON SITE PLAN, 36 PROVIDED IN BUILDINGS

IDO TABLE 5-1-2 OPEN SPACE:  
1 BEDROOM: 78 EA X 225 SF = 17,550 SF  
2 BEDROOM: 107 EA X 285 SF = 30,495 SF

TOTAL REQUIRED = 48,045 SF  
GRADE LEVEL OPEN SPACE = 74,520 SF PROVIDED

SOLID WASTE CALCS:  
185 UNITS X 0.55 CY = 102 CY PER WEEK  
102 CY X 0.333 COMACTED = 34 CY PER WEEK  
8 EA, 2 CY CONTAINERS PROVIDED.

**PROJECT NUMBER:** \_\_\_\_\_  
**APPLICATION NUMBER:** \_\_\_\_\_

Is an Infrastructure List required? ( ) Yes ( ) No. If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DFT SITE DEVELOPMENT PLAN APPROVAL:**

Traffic Engineer, Transportation Division	Date
ABCWUA	Date
Parks & Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date

\* Environmental Health, if necessary

**SCOTT C. ANDERSON & ASSOCIATES ARCHITECTS**  
4419 4th St. SW, Ste. B  
ALBUQUERQUE, NM 87102  
505.401.7575

**SUNSET APARTMENTS**  
7000 SUNSET GARDENS RD SW  
ALBUQUERQUE, NM 87121

**DRAWING TITLE**  
**SITE PLAN**

DESIGNED	PROJECT NO
DRAWN	SCALE
CHECKED	DRAWING NO
REVIEWED	<b>A-100</b>
DATE	11/28/2023

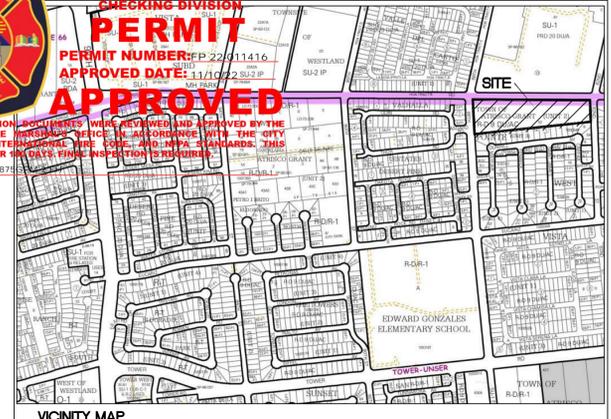
DATE: 11/28/2023



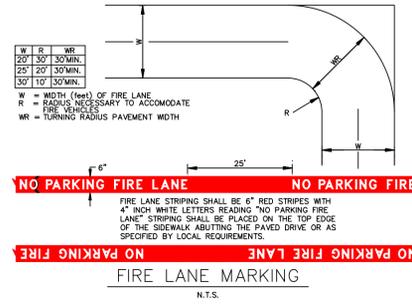
ALBUQUERQUE FIRE MARSHAL'S  
DIVISION OFFICE PLANS  
CHECKING DIVISION

**PERMIT**  
PERMIT NUMBER: P-22011416  
APPROVED DATE: 11/10/22 2:52 P.  
**APPROVED**

THESE CONSTRUCTION REQUIREMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 90 DAYS FROM THE DATE OF ISSUANCE.  
**FIRE FLOW: 1875**



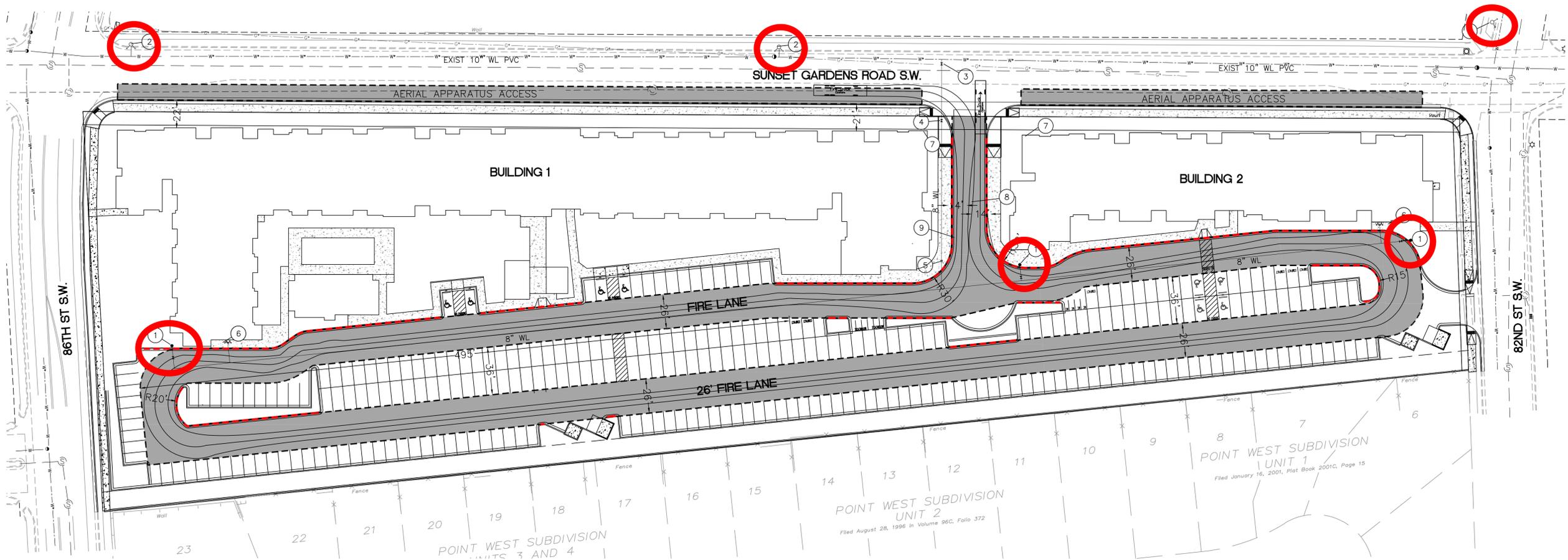
VICINITY MAP  
TOWN OF ATRISCO GRANT UNIT 2



BUILDING 1		BUILDING 2	
RESIDENTIAL OCCUPANCY TYPE	R-2	RESIDENTIAL OCCUPANCY TYPE	R-2
LOT AREA	255650 SF (5.87 ACRES)	LOT AREA	255650 SF (5.87 ACRES)
BUILDING FOOTPRINT	46394 SF	BUILDING FOOTPRINT	20213 SF
CONSTRUCTION TYPE	V-A	CONSTRUCTION TYPE	V-A
FULLY SPRINKLED (IN BUILDING)		FULLY SPRINKLED (IN BUILDING)	
MAX BUILDING HEIGHT	38' (3 STORY)	MAX BUILDING HEIGHT	38' (3 STORY)
FIRE FLOW	1875 GPM	FIRE FLOW	1500 GPM

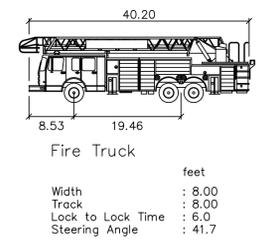
**LEGEND**

—	CURB & GUTTER
- - -	BOUNDARY LINE
▭	BUILDING
- - -	EXISTING CURB
- - -	EXISTING BOUNDARY LINE
▬▬▬	FIRE ACCESS
●	PROPOSED HYDRANT
- - -	FIRE LANE MARKING



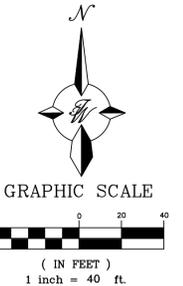
**NOTES**

- ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES, AS DIRECTED BY FIRE MARSHALL
- FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75000 LBS
- KEY BOX (KNOX BOX) SHALL BE MOUNTED BETWEEN 4 AND 6 FEET ABOVE GRADE AND SHALL BE ILLUMINATED.
- THERE ARE NO OVERHEAD OBSTRUCTIONS THAT WOULD INTERFERE WITH ANY FIRE APPARATUS.



**KEYED NOTES**

- PROPOSED FIRE HYDRANT W/PRIVATE GATE VALVE
- EXISTING FIRE HYDRANT
- NEW 8" GATE VALVE (PUBLIC)
- NEW 8" GATE VALVE (PRIVATE)
- NEW PIV
- NEW FDC AND FIRELINE BUILDING ENTRY POINT
- BUILDING ADDRESS
- PROPOSED ROLL CURB
- GATE W/KNOX BOX



**CAUTION**

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

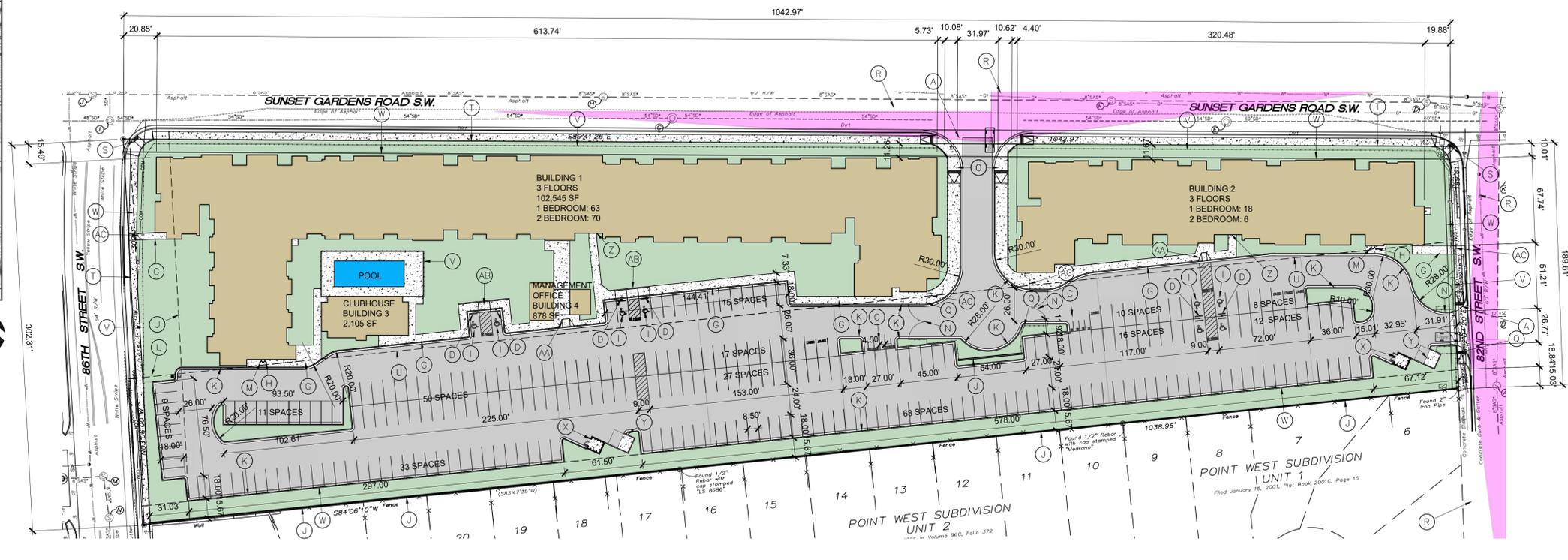
ENGINEER'S SEAL  
RONALD R. BOHANNAN  
NEW MEXICO  
7868  
PROFESSIONAL ENGINEER  
12-23-22  
RONALD R. BOHANNAN  
P.E. #7868

**SUNSET APARTMENTS  
ALBUQUERQUE, NM**  
**FIRE ONE PLAN**  
  
TIERRA WEST, LLC  
5571 MIDWAY PARK PL NE  
ALBUQUERQUE, NEW MEXICO 87109  
(505) 858-3100  
www.tierrawestllc.com

DRAWN BY  
pm  
DATE  
11-9-22  
DRAWING  
  
SHEET #  
**1**  
JOB #  
2022028



**AREA MAP**  
SCALE: NTS



**SITE PLAN**

SCALE: 1" = 50'-0"  
0' 25' 50' 100' 150' 200'

- KEYED NOTES**
- A. NEW DRIVE CUT REF CITY OF ALBUQUERQUE STANDARD DETAIL 2426 FOLLOW PARALLEL RAMP DETAIL, NOTE DETAIL 2446 FOR DETECTABLE WARNING SURFACE
  - B. 12 SPACE BIKE RACK, REF DETAIL THIS SHEET
  - C. MOTORCYCLE PARKING SIGN REF DETAIL THIS SHEET
  - D. H.C. PARKING SIGN, REF DETAIL ON THIS SHEET
  - E. NEW FIRE HYDRANT
  - F. IRRIGATION BOX
  - G. NEW 6" SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430
  - H. FIRE DEPT. CONNECTION
  - I. HC PARKING SYMBOL
  - J. 6" CMU WALL
  - K. CURB, REF DETAIL THIS SHEET
  - L. EXISTING PROPERTY LINE
  - M. STAND PIPE CONNECTION
  - N. VEHICULAR GATE
  - O. NEW 10' SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430
  - P. EXISTING POWER POLE, NEW POWER POLES WILL BE AGAINST BACK OF CURB.
  - Q. KNOX BOX
  - R. CLEAR SIGHT TRIANGLE, LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FT TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
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  - W. IDO BUILDING SETBACK LINE
  - X. REFUSE CONTAINER PICKUP POINT, COA STANDARD DETAIL 9'X5' SWANSON COLLECTION SITE WITH ENCLOSURE, 4EA 4" BOLLARDS AND PAIR OF 3' DOORS
  - Y. RECYCLING CONTAINER, REF DETAIL THIS SHEET
  - Z. REFUSE COMPACTOR ROOM, 4 BINS STORED INSIDE
  - AA. CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2442, DRAWING A
  - AB. CURB RAMP, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2443, DRAWING A
  - AC. PEDESTRIAN GATE

**NOTE:**  
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CABQ SOLID WASTE DEPARTMENT SHALL HAVE 24HR ACCESS TO THE SITE AND BE PROVIDED WITH KEYPAD GATE CONTROL TO ENTER THE SITE

**ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WALL MUST BE INCLUDED ON A PUBLIC WORK ORDER**

PROJECT NUMBER: 2022  
APPLICATION NUMBER: SI-2022

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is and Infrastructure List required ( ) Yes ( ) No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

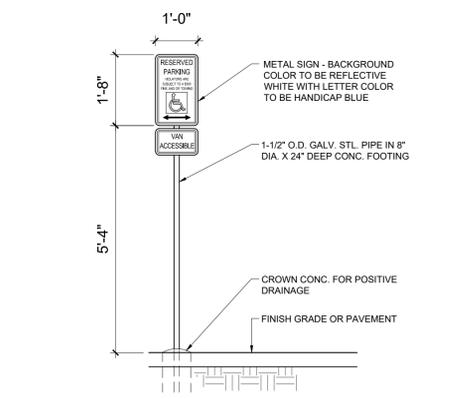
Traffic Engineer, Transportation Division	Date
Water Utility Department	Date
Parks & Recreation Department	Date
City Engineer	Date
Environmental Health	Date
Herman Gallegos Solid Waste Management	12-20-22 Date
Code Enforcement	Date
Albuquerque Metropolitan Flood Control Authority	Date
DRB Chairperson, Planning Department	Date
Environmental Health, if necessary	

**SCOTT C. ANDERSON & associates architects**  
4419 4th St. NW, Ste. B  
Albuquerque, NM 87107  
505.401.7575

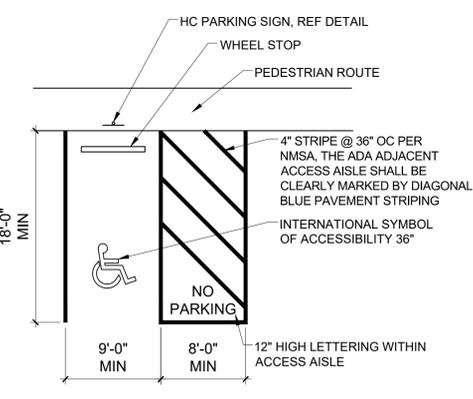
**SUNSET APARTMENTS**  
7000 SUNSET GARDENS RD SW  
ALBUQUERQUE, NM 87121

**SITE PLAN**

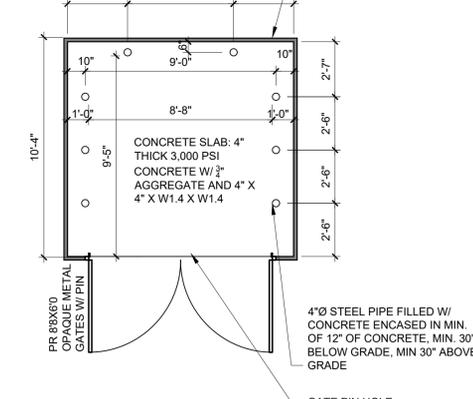
DESIGNED	PROJECT NO
DRAWN	SCALE
CHECKED	DRAWING NO
REVIEWED	<b>A-100</b>
DATE	10/26/2022



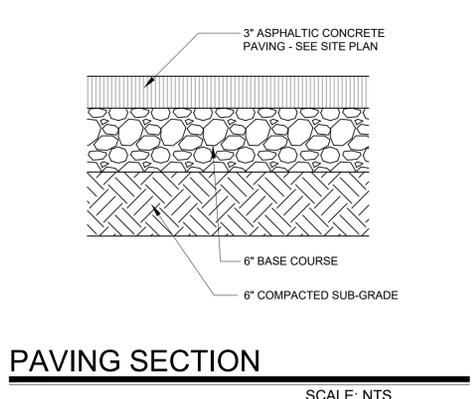
**HC SIGN**  
SCALE: NTS



**ADA PARKING**  
SCALE: 1/8" = 1'-0"



**REFUSE ENCLOSURE DETAIL**  
SCALE: 1/4" = 1'-0"



**PAVING SECTION**  
SCALE: NTS

**NOTE:**  
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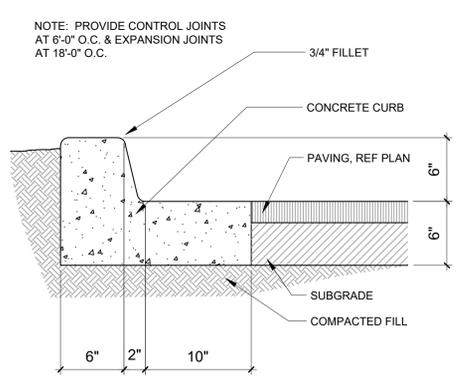
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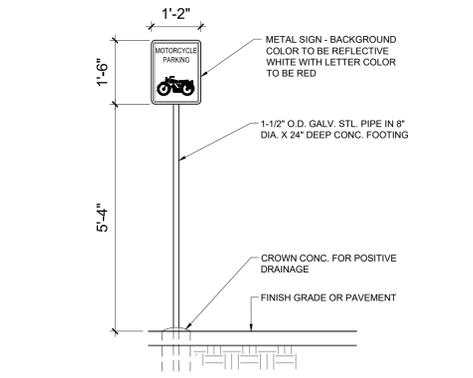
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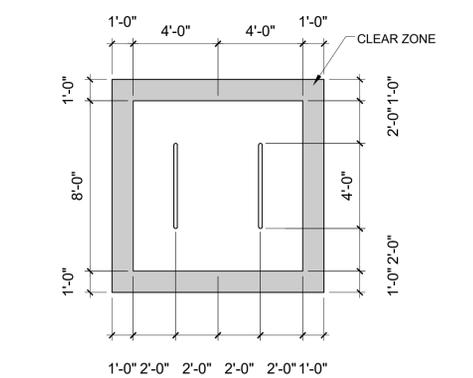
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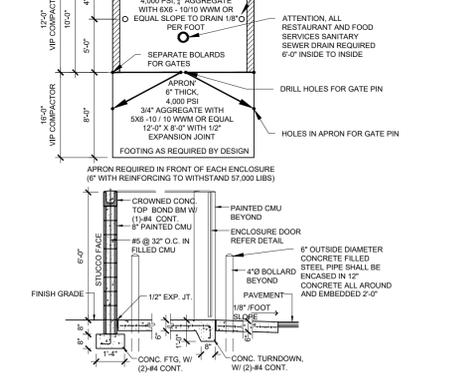
**CURB AND GUTTER**  
SCALE: NTS



**MOTORCYCLE SIGN**  
SCALE: 1/2" = 1'-0"



**BIKE PARKING**  
SCALE: 1/4" = 1'-0"



**RECYCLING ENCLOSURE**  
SCALE: 1/8" = 1'-0"

UPC: 100905647441510205  
LEGAL: TRACT 52, UNIT 2, ATRISCO GRANT  
ZONING: M-XL  
ZONE ATLAS PAGE: L9

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BUILDING FOOTPRINT = 69,610 SF  
NET LOT AREA = 193,492 SF  
REQUIRED LANDSCAPE AREA @ 15% = 29,023 SF / 74,520 SF PROVIDED

**PARKING:**  
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1 BEDROOM: 78 EACH X 1.2 SPACES = 93.6 SPACES  
2 BEDROOM: 107 EACH X 1.6 SPACES = 171.2 SPACES  
LEASING OFFICE 878 SF X 0.0035 = 3.1 SPACES REQUIRED  
TOTAL SPACES REQUIRED = 268 SPACES  
SPACES PROVIDED = 278 SPACES  
268 SPACES X 2% = 6 CHARGING SPACES REQUIRED, 6 PROVIDED

HC REQUIRED: 5 STANDARD, 4 VAN / 24 VAN ACCESSIBLE PROVIDED  
MOTORCYCLE PARKING 151-300 SPACES: 5 SPACES REQUIRED / 14 PROVIDED  
BIKE PARKING 10% OF 268, 27 REQUIRED  
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TOTAL REQUIRED = 48,045 SF  
GRADE LEVEL OPEN SPACE = 74,520 SF PROVIDED

SOLID WASTE CALCS:  
185 UNITS X 0.55 CY = 102 CY PER WEEK  
102 CY X 0.333 COMACTED = 34 CY PER WEEK  
8 EA, 2 CY CONTAINERS PROVIDED.

Approved for access by the Solid Waste Department for 2-2yd compactors to be placed in the trash enclosure on service day, a 2-2yd compactors to be placed under the chute, 2-2yd compactors to be on standby, 2-6yd recycle dumpsters to be placed in the standard size trash enclosures.  
Herman Gallegos 12-20-22

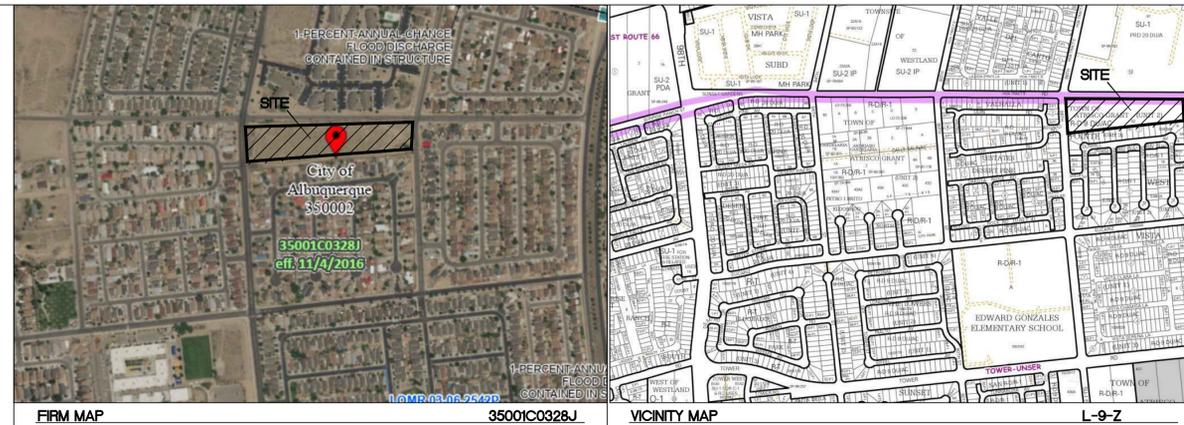


**EROSION CONTROL NOTES:**

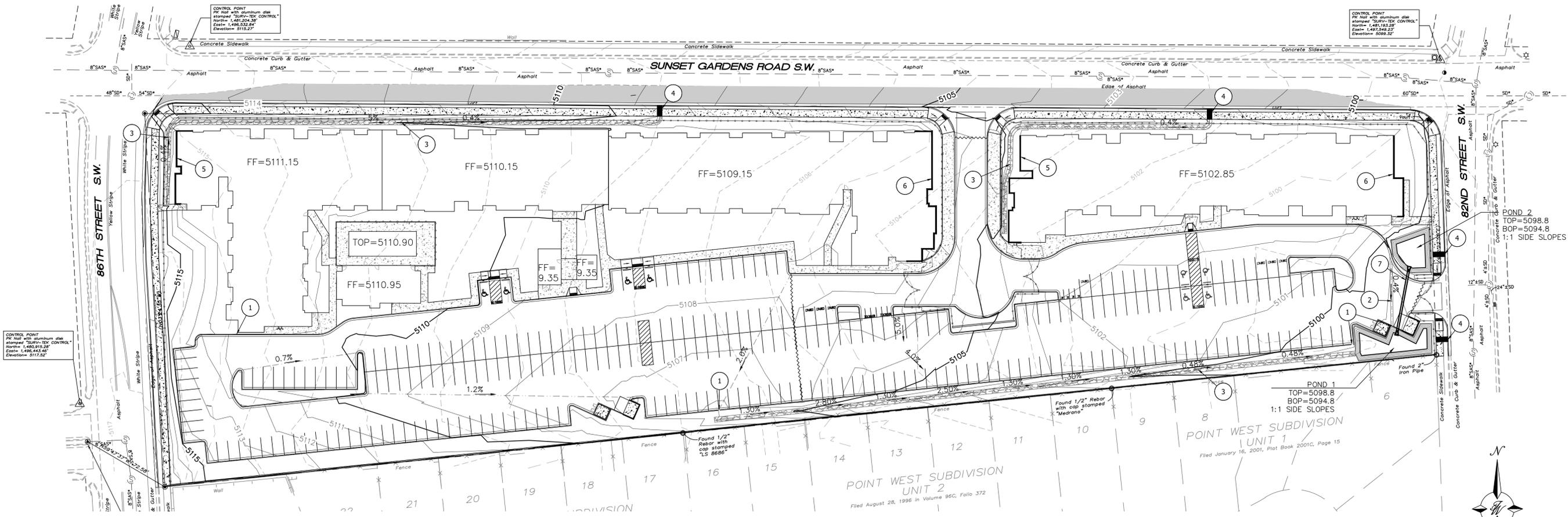
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
- ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH THE CITY OF RIO RANCHO SPECS OR 1/2" GRAVEL.

**NOTICE TO CONTRACTORS**

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF RIO RANCHO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



**LEGAL DESCRIPTION**  
TRACT 52 UNIT ATRISCO GRANT  
6.04 AC



CONTROL POINT  
Pin Nail with aluminum disk  
Stamped "SURV-TX CONTROL"  
North= 1,496,443.28'  
East= 1,496,443.46'  
Elevation= 5115.52'

CONTROL POINT  
Pin Nail with aluminum disk  
Stamped "SURV-TX CONTROL"  
North= 1,497,248.22'  
East= 1,496,532.84'  
Elevation= 5115.27'

CONTROL POINT  
Pin Nail with aluminum disk  
Stamped "SURV-TX CONTROL"  
North= 1,497,248.22'  
East= 1,497,248.22'  
Elevation= 5099.32'

**SPOT ELEVATION NOTES**

- ADD 5100 TO ALL SPOT ELEVATIONS
- ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED

**KEYED NOTES**

- 2' CURB CUT OPENING
- 2' CONC VALLEY GUTTER
- LANDSCAPE SWALE WITH RIP RAP
- 4' SIDEWALK CULVERT
- EXTENDED STEMWALL
- EXTENDED FOOTING
- 18" HDPE - POND EQUALIZING PIPE

**CAUTION**

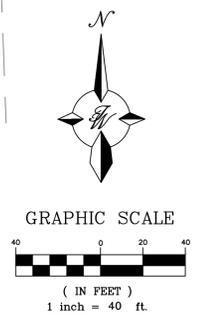
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

**LEGEND**

- ===== CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- ===== RETAINING WALL
- RIGHT-OF-WAY
- ===== BUILDING
- ===== PROPOSED SIDEWALK
- ===== EXISTING CURB & GUTTER
- ===== WATER BLOCK
- ===== LANDSCAPING
- EXISTING INDEX CONTOUR
- EXISTING CONTOUR
- PROPOSED INDEX CONTOUR
- PROPOSED CONTOUR
- FLOW

City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**PRELIMINARY APPROVED**  
DATE: 02/27/23  
BY: *Ronald R. Bohannan*  
HydroTime # L10D032

THESE PLANS AND/OR REPORT ARE  
CONCEPTUAL ONLY. MORE INFORMATION MAY  
BE NEEDED IN THEM AND SUBMITTED TO  
HYDROLOGY FOR BUILDING PERMIT APPROVAL.



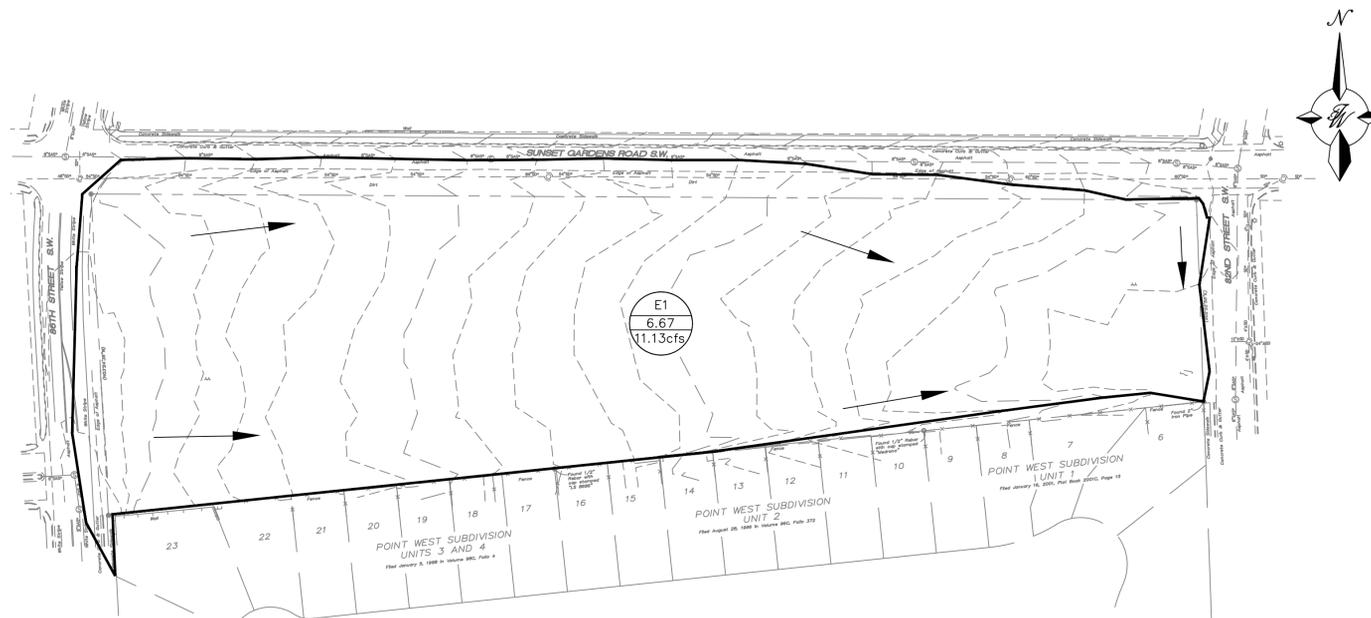
ENGINEER'S SEAL  
RONALD R. BOHANNAN  
NEW MEXICO  
7868  
PROFESSIONAL ENGINEER  
12-23-22  
RONALD R. BOHANNAN  
P.E. #7868

**SUNSET APARTMENTS  
ALBUQUERQUE, NM**

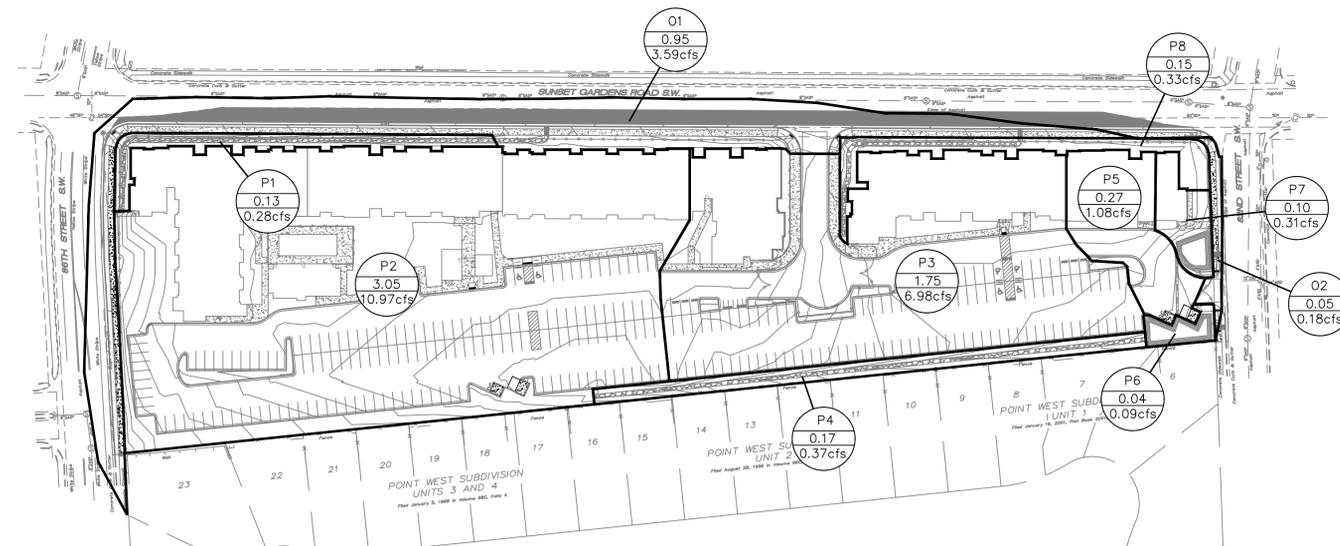
**CONCEPTUAL  
GRADING AND DRAINAGE PLAN**

**TIERRA WEST, LLC**  
5571 MIDWAY PARK PL NE  
ALBUQUERQUE, NEW MEXICO 87109  
(505) 858-3100  
www.tierwestllc.com

DRAWN BY	pm
DATE	12-19-22
DRAWING	
SHEET #	<b>C2.1</b>
JOB #	2022028



EXISTING BASIN MAP



PROPOSED BASIN MAP



Existing Conditions

Basin ID	Area (sf)	Area (acres)	Area (sq miles)	Basin Descriptions				100-Year, 6-Hr			10-Year, 6-Hr						
				Treatment A %	Treatment B %	Treatment C %	Treatment D %	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs				
E1	290,514.00	6.669	0.01042	95%	6.336	0%	0.000	0%	0.000	5%	0.333	0.635	0.353	11.13	0.176	0.098	2.76
<b>Total</b>	<b>290,514.00</b>	<b>6.669</b>	<b>0.01042</b>	<b>0.000</b>	<b>0.000</b>	<b>0.000</b>	<b>0.000</b>	<b>0.000</b>	<b>0.333</b>	<b>0.353</b>	<b>11.13</b>	<b>0.098</b>	<b>0.098</b>	<b>2.76</b>			

Proposed Conditions

Basin ID	Area (sf)	Area (acres)	Area (sq miles)	Basin Descriptions				100-Year, 6-Hr			10-Year, 6-Hr						
				Treatment A %	Treatment B %	Treatment C %	Treatment D %	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs				
P1	5,672.00	0.130	0.00020	0%	0.000	100%	0.130	0%	0.000	0%	0.000	0.730	0.008	0.28	0.260	0.003	0.11
P2	133,045.00	3.054	0.00477	0%	0.000	27%	0.825	0%	0.000	73%	2.230	1.832	0.466	10.97	1.114	0.284	6.40
P3	76,350.00	1.753	0.00274	0%	0.000	7%	0.123	0%	0.000	93%	1.630	2.134	0.312	6.98	1.348	0.197	4.29
P4	7,436.00	0.171	0.00027	0%	0.000	100%	0.171	0%	0.000	0%	0.000	0.730	0.010	0.37	0.260	0.004	0.14
P5	11,938.00	0.274	0.00043	0%	0.000	10%	0.027	0%	0.000	90%	0.247	2.089	0.048	1.08	1.313	0.030	0.66
P6	1,761.00	0.040	0.00006	0%	0.000	90%	0.036	10%	0.004	0%	0.000	0.752	0.003	0.09	0.277	0.001	0.04
P7	4,272.00	0.098	0.00015	0%	0.000	41%	0.040	10%	0.010	49%	0.048	1.492	0.012	0.31	0.850	0.007	0.17
P8	6,675.00	0.153	0.00024	0%	0.000	100%	0.153	0%	0.000	0%	0.000	0.730	0.009	0.33	0.260	0.003	0.12
O1	41,325.00	0.949	0.00148	0%	0.000	17%	0.161	0%	0.000	83%	0.787	1.983	0.157	3.59	1.231	0.097	2.15
O2	2,040.00	0.047	0.00007	0%	0.000	17%	0.008	0%	0.000	83%	0.039	1.983	0.008	0.18	1.231	0.005	0.11
<b>Total</b>	<b>290,514.00</b>	<b>6.669</b>	<b>0.01042</b>	<b>0.000</b>	<b>0.000</b>	<b>1.675</b>	<b>0.000</b>	<b>0.000</b>	<b>4.981</b>	<b>1.033</b>	<b>24.18</b>	<b>0.630</b>	<b>0.630</b>	<b>14.18</b>			

Equations:

Weighted E =  $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d / (\text{Total Area})$

Volume = Weighted D \* Total Area

Flow =  $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Excess Precipitation, E (in.)		
Zone	100-Year	10-Year
Ea	0.55	0.11
Eb	0.73	0.26
Ec	0.95	0.43
Ed	2.24	1.43

Peak Discharge (cfs/acre)		
Zone	100-Year	10-Year
Qa	1.54	0.30
Qb	2.16	0.81
Qc	2.87	1.46
Qd	4.12	2.57

Water Quality Volume (Basins P1-P8)

Total Impervious Area = 4.264 Acres = 185,740 SF  
 Retention depth = 0.42" = 0.035' (COA DPM Article 6-12)  
 Retention Volume = 0.035 x 185,740 = 6,501 CF

EXISTING DRAINAGE:

AS SHOWN BY THE VICINITY MAP, THIS SITE IS BOUNDED BY 86TH STREET TO THE WEST, SUNSET GARDENS ROAD TO THE NORTH, 82ND STREET TO THE EAST, AND A SINGLE FAMILY RESIDENTIAL SUBDIVISION TO THE SOUTH. THE SITE CONSISTS OF ONE VACANT LOT, WHICH WILL BE REPLATTED FOR RIGHT-OF-WAY DEDICATION FOR PERIMETER PUBLIC SIDEWALKS AND CURB. THE LEGAL DESCRIPTION OF THE PROPERTY IS TRACT 52 UNIT 2 TOWN OF ATRISCO GRANT. THE TOTAL AREA OF THE PROPERTY IS 5.8 ACRES. AS SHOWN BY THE FEMA FIRM MAP, THE SITE DOES NOT LIE WITHIN ANY FLOODPLAIN.

THE SITE IS CURRENTLY UNDEVELOPED AND CONSISTS OF DRAINAGE FLOW FROM WEST TO EAST TOWARDS 82ND STREET. THE GROUND COVER CONSISTS OF NATIVE GRASSES AND WEEDS AND IS MODERATELY SLOPED, WITH SLOPES RANGING BETWEEN 1% AND 2%. THERE ARE NO UPLAND OFFSITE FLOWS THAT PASS THROUGH THE SITE FROM THE SURROUNDING STREETS AND NEIGHBORHOODS. THERE IS CURRENTLY A LOW POINT IN THE SOUTHEAST CORNER OF THE PROPERTY WHERE RUNOFF WILL STAND AND EVENTUALLY MAKE ITS WAY TO THE STORM DRAIN INLET IN 82ND STREET.

THE SITE LIES WITHIN BASIN U OF THE VALHALLA ESTATES DRAINAGE REPORT WITH ENGINEER'S STAMP DATE OF 12/19/1997 (L9/D19), WHICH ALLOWS THE SITE TO DISCHARGE INTO THE 82ND STREET STORM DRAIN SYSTEM AT A MAXIMUM RATE OF 24.63 CFS.

PROPOSED DRAINAGE:

THE PROPOSED DEVELOPMENT WILL BE AN APARTMENT COMPLEX WITH 2-3-STORY RESIDENT BUILDINGS, A CLUBHOUSE BUILDING, 2 LEASING OFFICE BUILDINGS, AND A POOL. ALL IMPROVEMENTS WILL BE BUILT OUT IN THEIR ENTIRETY IN ONE SINGLE PHASE.

BASINS P2 THROUGH P5 WILL CONSIST OF A MAJORITY OF THE SITE WHICH WILL CONVEY RUNOFF VIA SURFACE FLOW FROM NORTHWEST TO SOUTHEAST TOWARDS PONDS 1 AND 2, WHICH ARE BASINS P6 AND P7 RESPECTIVELY. PONDS 1 AND 2 ARE STORMWATER QUALITY RETENTION PONDS TO HOLD THE REQUIRED FIRST FLUSH VOLUME OF 6,501 CUBIC FEET. ONCE THESE PONDS HAVE REACHED THEIR CAPACITY, EXCESS RUNOFF WILL PASS THROUGH AN OVERLOW AND SIDEWALK CULVERTS ATTACHED TO EACH POND AND FREE DISCHARGE INTO 82ND STREET AND THE EXISTING STORM DRAIN SYSTEM.

BASINS P1 AND P8 ARE THE ONSITE LANDSCAPE AREAS BETWEEN THE APARTMENT BUILDINGS AND THE PROPOSED PUBLIC SIDEWALK. THESE AREAS WILL CONVEY RUNOFF THROUGH A LANDSCAPE SWALE AND FREE DISCHARGE THROUGH PROPOSED SIDEWALK CULVERTS TOWARD SUNSET GARDENS ROAD. THIS RUNOFF EVENTUALLY MAKES ITS WAY TOWARDS THE 82ND STREET STORM DRAIN SYSTEM AS WELL.

THERE ARE 2 OFFSITE BASINS, BASINS O1 AND O2, THAT CONSIST OF THE ADJACENT PUBLIC SIDEWALK AND CURBS TO BE INSTALLED WITH THIS PROJECT. THESE FLOWS ARE CONVEYED TOWARDS THE 82ND STREET STORM DRAIN SYSTEM AS WELL.

THE TOTAL DEVELOPED FLOW FROM THESE BASINS ARE 24.18 CFS, WHICH IS LESS THAN THE ALLOWABLE 24.63 CFS IN THE GOVERNING VALHALLA ESTATES DRAINAGE REPORT.



	<b>SUNSET APARTMENTS</b> <b>ALBUQUERQUE, NM</b>	DRAWN BY pm
	<b>CONCEPTUAL</b> <b>GRADING AND DRAINAGE PLAN</b>	DATE 12-19-22
	<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # <b>C.2.2</b>
RONALD R. BOHANNAN P.E. #7868		JOB # 2022028

**GENERAL UTILITY NOTES:**

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH CITY OF SANTA FE STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE PLUMBING PLANS FOR WATER LINE RISER LOCATIONS. BACKFLOW PREVENTOR LOCATED INSIDE BUILDING UNLESS OTHERWISE NOTED ON THIS PLAN
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS AT LOCATIONS INDICATED AND AT MID RUN IF LONGER THAN 100'
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. TO BE PROVIDED IN THE BUILDING UNLESS OTHERWISE NOTED ON THIS PLAN
7. ALL EX. SD INLETS AND MH'S SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.

10. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
11. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
12. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

**NOTICE TO CONTRACTORS**

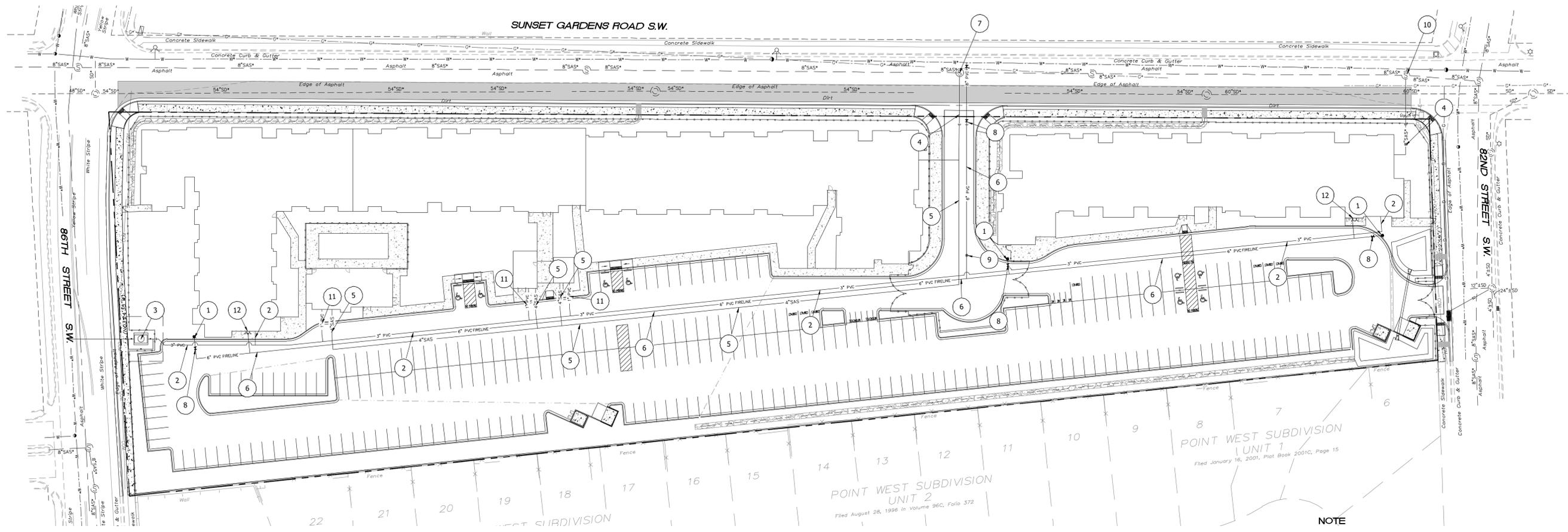
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF RIO RANCHO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
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5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

**LEGEND**

- Curb & Gutter
- Boundary Line
- Building
- - - Existing Curb & Gutter
- ⊕ Existing Gate Valve
- - - Existing Waterline
- S Existing SAS
- - - Sanitary Sewer Line
- - - Waterline
- ⊕ Proposed Hydrant
- ⊕ New SAS MH
- ⊕ New Water Valve
- ⊕ New Single Water Meter



**LEGAL DESCRIPTION**  
 TRACT 52 UNIT ATRISCO GRANT  
 6.04 AC



**KEYED NOTES**

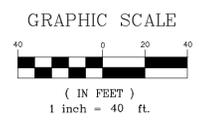
1. PROPOSED PRIVATE HYDRANT W/6" PVC FIRELINE AND 6" GATE VALVE PAINTED SAFETY ORANGE
2. NEW PRIVATE 3" WATER SERVICE LINE
3. NEW 3" DOMESTIC WATER METER AND VAULT
4. NEW 8" PVC SAS SERVICE LINE w/CLEANOUTS PER UPC
5. NEW 4" PVC SAS SERVICE LINE w/CLEANOUTS PER UPC (TYP.)
6. NEW PRIVATE 6" PVC FIRE LINE
7. NEW SAS MANHOLE (TYP.)
8. NEW 6" GATE VALVE (PRIVATE)
9. NEW POST INDICATOR VALVE
10. CONNECT SAS SERVICE TO EX. SAS MH
11. NEW PRIVATE 1" WATER SERVICE LINE
12. NEW FIRELINE ENTRY TO BUILDING PLUS FDC AND STANDPIPE COMBINED

**NOTE**

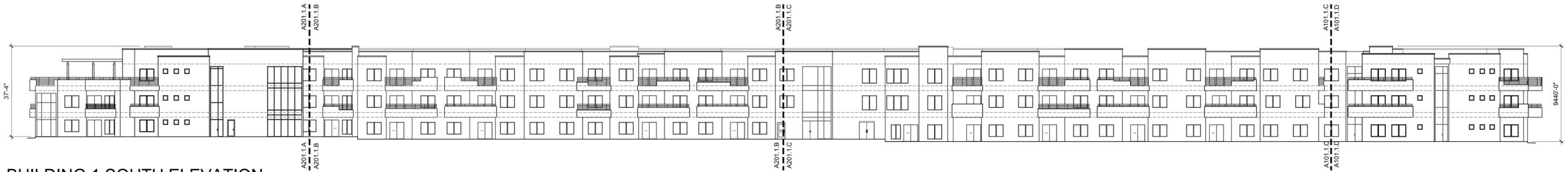
ELECTRIC, GAS AND COMMUNICATION SERVICES TO THE MEDICAL OFFICE BUILDING WILL BE EXTENDED FROM EXISTING FACILITIES LOCATED ON OR ADJACENT TO BECKNER ROAD ROW. EXACT LOCATION TO BE DETERMINED

**CAUTION**

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	<b>SUNSET APARTMENTS</b> ALBUQUERQUE, NM	DRAWN BY RMG
	<b>MASTER UTILITY</b> PLAN	DATE 05-15-2023
TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # <b>C3.0</b>	JOB # 2022028



**BUILDING 1 SOUTH ELEVATION**

SCALE: 1" = 20'-0"



**BUILDING 1 WEST ELEVATION**

SCALE: 1" = 20'-0"



**BUILDING 1 EAST ELEVATION**

SCALE: 1" = 20'-0"



**BUILDING 1 NORTH ELEVATION**

SCALE: 1" = 20'-0"

No	Revision Item	Date

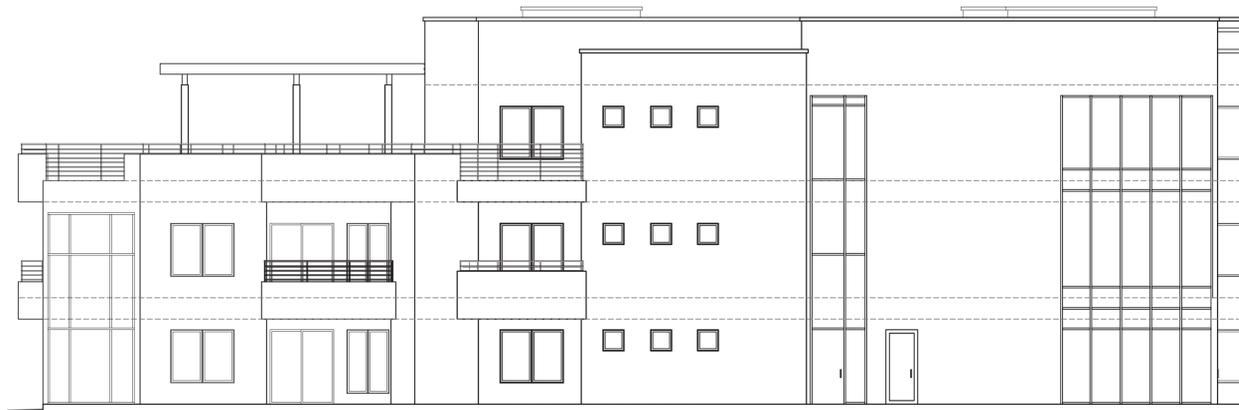


**SCOTT C. ANDERSON**  
& associates architects  
4419 4th St. SW, Ste. B  
Albuquerque, NM 87107  
scand@scottcanderson.com 505.461.7575

SUNSET GARDENS  
7000 SUNSET GARDENS RD SW  
ALBUQUERQUE, NM 87121

DRAWING TITLE  
**BUILDING 1  
BUILDING ELEVATIONS**

DESIGNED	PROJECT NO
DRAWN	SCALE
CHECKED	DRAWING NO
REVIEWED	<b>A-201.1.0</b>
DATE 1/10/2023	



**BUILDING ONE AREA A SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



**BUILDING ONE AREA A NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



**BUILDING ONE AREA A WEST ELEVATION**

SCALE: 1/8" = 1'-0"

No	Revision Item	Date
 <b>SCOTT C. ANDERSON</b> & associates architects <small>4419 14th St. NW, Ste. B            Albuquerque, NM 87107            scand@scottcanderson.com 505.401.7575</small>		
SUNSET GARDENS 7000 SUNSET GARDENS RD SW ALBUQUERQUE, NM 87121		
DRAWING TITLE <b>BUILDING 1 AREA A ELEVATIONS</b>		
SEAL	DESIGNED	PROJECT NO
	DRAWN	SCALE
	CHECKED	DRAWING NO
	REVIEWED	<b>A-201.1.A</b>
	DATE 1/10/2023	



**BUILDING 1 AREA B SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



**BUILDING 1 AREA B NORTH ELEVATION**

SCALE: 1/8" = 1'-0"

No	Revision Item	Date
 <b>SCOTT C. ANDERSON</b> & associates architects <small>4419 14th St. NW, Ste. B            Albuquerque, NM 87107            scott@scottanderson.com 505.461.7575</small>		
SUNSET GARDENS 7000 SUNSET GARDENS RD SW ALBUQUERQUE, NM 87121		
DRAWING TITLE <b>BUILDING 1 AREA B ELEVATIONS</b>		
SEAL	DESIGNED	PROJECT NO
	DRAWN	SCALE
	CHECKED	DRAWING NO
	REVIEWED	A-201.1.B
	DATE 1/10/2023	



**BUILDING 1 AREA C SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



**BUILDING 1 AREA C NORTH ELEVATION**

SCALE: 1/8" = 1'-0"

No	Revision Item	Date
 <p><b>SCOTT C. ANDERSON</b> &amp; associates architects 4419 4th St. SW, Ste. B Albuquerque, NM 87107 scand@scottcanderson.com 505.401.7575</p>		
<p>SUNSET GARDENS 7000 SUNSET GARDENS RD SW ALBUQUERQUE, NM 87121</p>		
<p>DRAWING TITLE <b>BUILDING 1 AREA B ELEVATIONS</b></p>		
SEAL	DESIGNED	PROJECT NO
	DRAWN	SCALE
	CHECKED	DRAWING NO
	REVIEWED	<b>A-201.1.C</b>
	DATE 1/10/2023	



**BUILDING 1 AREA D NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



**BUILDING 1 AREA D SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



**BUILDING 1 AREA D WEST ELEVATION**

SCALE: 1/8" = 1'-0"

No	Revision Item	Date

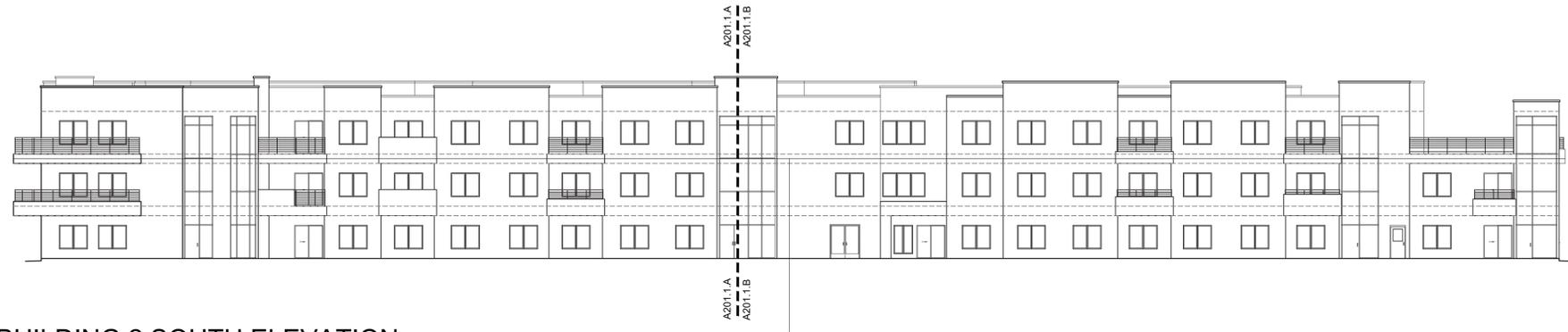


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 scora@scottcanderson.com 505.401.7575

SUNSET GARDENS  
 7000 SUNSET GARDENS RD SW  
 ALBUQUERQUE, NM 87121

DRAWING TITLE  
**CLUBHOUSE BUILDING ELEVATIONS**

<small>SEAL</small>	<small>DESIGNED</small>	<small>PROJECT NO</small>
	<small>DRAWN</small>	<small>SCALE</small>
	<small>CHECKED</small>	<small>DRAWING NO</small>
	<small>REVIEWED</small>	<b>A-201.1.D</b>
	<small>DATE</small> 1/10/2023	



**BUILDING 2 SOUTH ELEVATION**

SCALE: 1/6" = 1'-0"



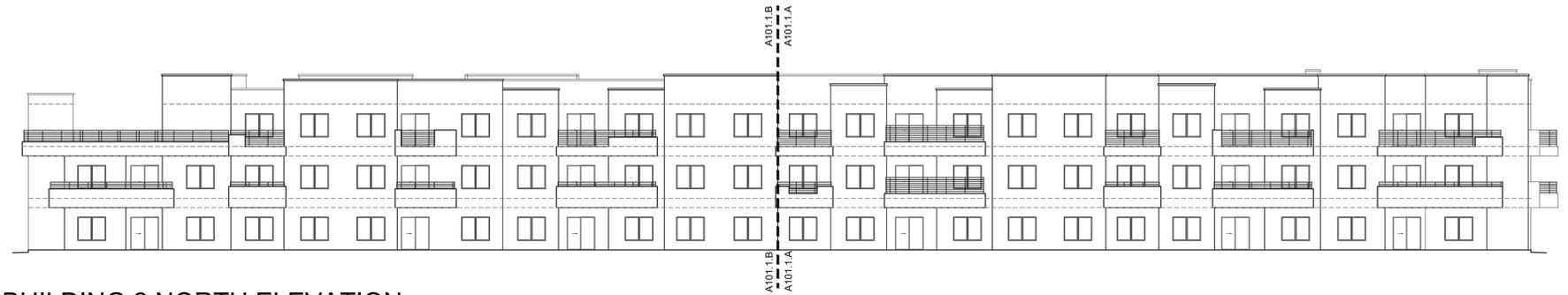
**BUILDING 2 EAST ELEVATION**

SCALE: 1/6" = 1'-0"



**BUILDING 2 WEST ELEVATION**

SCALE: 1/6" = 1'-0"



**BUILDING 2 NORTH ELEVATION**

SCALE: 1/6" = 1'-0"

No	Revision Item	Date



**SCOTT C. ANDERSON**  
& associates architects  
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scand@scottcanderson.com 505.401.7575

SUNSET GARDENS  
7000 SUNSET GARDENS RD SW  
ALBUQUERQUE, NM 87121

DRAWING TITLE: **BUILDING 2  
BUILDING ELEVATIONS**

SEAL	DESIGNED	PROJECT NO
	DRAWN	SCALE
	CHECKED	DRAWING NO
	REVIEWED	<b>A-202.1.0</b>
	DATE 1/10/2023	



**BUILDING 2 AREA A SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



**BUILDING 2 AREA A NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



**BUILDING 2 AREA A EAST ELEVATION**

SCALE: 1/8" = 1'-0"

No	Revision Item	Date



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 7000 SUNSET GARDENS RD SW  
 ALBUQUERQUE, NM 87121

DRAWING TITLE  
**CLUBHOUSE BUILDING ELEVATIONS**

SEAL	DESIGNED	PROJECT NO
	DRAWN	SCALE
	CHECKED	DRAWING NO
	REVIEWED	A-202.1.A
	DATE 1/10/2023	



**BUILDING 2 AREA B SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



**BUILDING 2 AREA B WEST ELEVATION**

SCALE: 1/8" = 1'-0"



**BUILDING 2 AREA D SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"

No	Revision Item	Date
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SUNSET GARDENS 7000 SUNSET GARDENS RD SW ALBUQUERQUE, NM 87121		
DRAWING TITLE <b>BUILDING ELEVATIONS</b>		
SEAL	DESIGNED	PROJECT NO
	DRAWN	SCALE
	CHECKED	DRAWING NO
	REVIEWED	A-202.1.B
	DATE 1/10/2023	



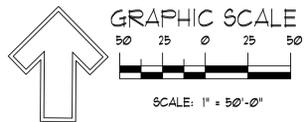
### IRRIGATION LEGEND

COMPONENT	MANUFACTURER	SIZE / NOTES
□ POINT OF CONNECTION PROVIDED BY OTHERS	SEE CIVIL PLANS	1 1/2" 100gpm, 10psi required
□ IRRIGATION CONTROLLER	HUNTER	As Required
⊥ BACKFLOW PREVENTION DEVICE RPA	FEBCO (OR EQUAL)	1 1/2" Cover, Provide Freeze Protection
⊙ MASTERVALVE ASSEMBLY	HUNTER	2"
— MAINLINE	8ch 40 PVC	2"
⊙ ELECTRIC ZONE VALVE	HUNTER	3/4" with Pressure Regulation and Y Filter
— SLEEVES	Class 200 PVC	2 SIZES LARGER THAN PIPE TO BE SLEEVED.
— Drip Line, Tree Netafim Rings	Class 200 PVC	1 1/2"
— Drip Line, Shrub Drip Emitter Line	Polyline	3/4" - 1"
▲ NETAFIM SPIRAL TREE IRRIGATION	RAINBIRD	SEE DETAIL

Size Equipment as Required for Flow Rate

### IRRIGATION NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, EQUIPMENT QUANTITIES, AND UTILITY LOCATIONS PRIOR TO BEGINNING WORK.
  - CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN PLANS OR SPECIFICATIONS PRIOR TO BEGINNING OR CONTINUING WORK.
  - THE IRRIGATION CONTRACTOR SHALL MAKE NO SUBSTITUTIONS, DELETIONS, OR ADDITIONS TO THIS PLAN WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT.
  - ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REQUIREMENTS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THAT ALL IRRIGATION EQUIPMENT MEETS GOVERNMENT REGULATIONS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS OR APPROVALS.
  - THIS PLAN IS SCHEMATIC AND DUE TO THE NATURE OF CONSTRUCTION SLIGHT FIELD MODIFICATIONS MAY BE NECESSARY TO IMPLEMENT PLAN.
  - IRRIGATION SYSTEMS CONNECTED TO POTABLE WATER SUPPLY, SHALL HAVE A BACKFLOW PREVENTER INSTALLED.
  - IRRIGATION LATERAL LINES, MAIN LINES AND EQUIPMENT MAY BE SHOWN OUTSIDE PROPERTY LINES ON THIS PLAN, ALL IRRIGATION LINES AND EQUIPMENT ARE TO BE WITHIN AND INSTALLED WITHIN THE LIMITS OF THE PROPERTY LINE.
  - ALL IRRIGATION SLEEVING TO BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. ELECTRICAL WIRES FOR IRRIGATION VALVES AND IRRIGATION LINES ARE TO BE PLACED IN SEPARATE SLEEVES. SEE SLEEVING DETAIL.
  - SUPPLY LINE AND WATER METER TO BE PROVIDED BY OWNER. BACKFLOW PREVENTOR TO BE PROVIDED BY IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR'S POINT OF CONNECTION TO BEGIN DOWNSTREAM OF THE IRRIGATION WATER METER.
- IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 45' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 20 GPH Drip Emitters.
- Trees and Shrubs shall be on separate zones, Class 200 PVC lines shall supply netafim tree rings for Trees, 3" Polyline shall supply drip emitters for shrubs, with flush caps at each end.
- Trees and shrubs shall be on separate valves.
- Point of connection for irrigation system is shown on the plan. Irrigation contractor shall coordinate with general contractor. General contractor shall supply point of connection with shut off gate valve, at the point of connection for irrigation.
- Irrigation will be operated by automatic controller.
- Location of controller to be field determined and power source for controller to be provided by others.
- Irrigation maintenance shall be the responsibility of the Property Owner.
- Water and Power source shall be the responsibility of the Developer/Builder/General Contractor



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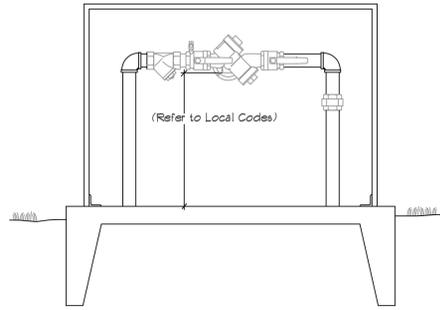


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DRAWING TITLE  
**IRRIGATION PLAN**

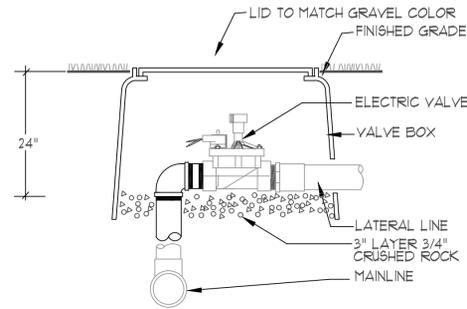
Landscape Architect SEAL 	DESIGNED: EY DRAWN: EY CHECKED: CM REVIEWED: CM DATE: 11/13/23	PROJECT NO: 2023-086 SCALE: 1" = 50'-0" DRAWING NO: <h1 style="font-size: 2em; margin: 0;">LS-102</h1>
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Reduced Pressure Assembly  
Outdoor Freeze Protection Installation

**RPA, HOTBOX TYP.**

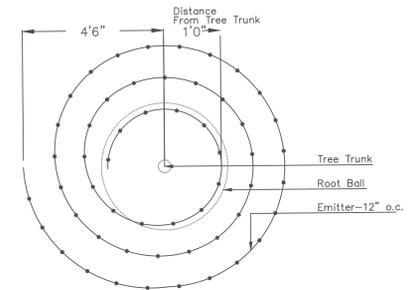
N.T.S.



**ELECTRIC VALVE ASSEMBLY**

NOTE: ALL IRRIGATION COMPONENTS WILL  
USE RECLAIMED WATER WHEN IT BECOMES  
AVAILABLE TO MESA DEL SOL.

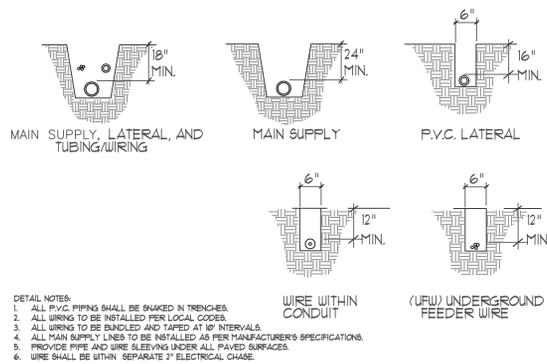
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Netafim Spiral Detail

**NETAFIM DETAIL**

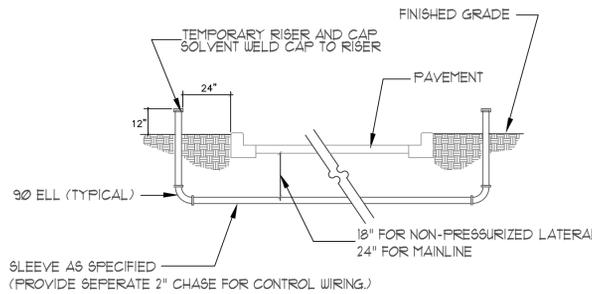
N.T.S.



- DETAIL NOTES:
1. ALL P.V.C. PIPING SHALL BE SNAKED IN TRENCHES.
  2. ALL WIRING TO BE INSTALLED PER LOCAL CODES.
  3. ALL WIRING TO BE BUNDLED AND TAPED AT 10' INTERVALS.
  4. ALL MAIN SUPPLY LINES TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
  5. PROVIDE PIPE AND WIRE SLEEVING UNDER ALL PAVED SURFACES.
  6. WIRE SHALL BE WITHIN SEPARATE 2" ELECTRICAL CHASE.

**TRENCHING DETAIL**

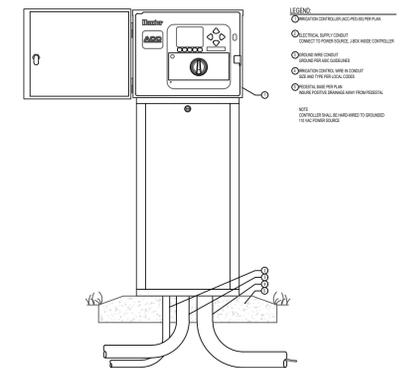
N.T.S.



SLEEVE AS SPECIFIED  
(PROVIDE SEPERATE 2" CHASE FOR CONTROL WIRING.)

**SLEEVE INSTALLATION DETAIL**

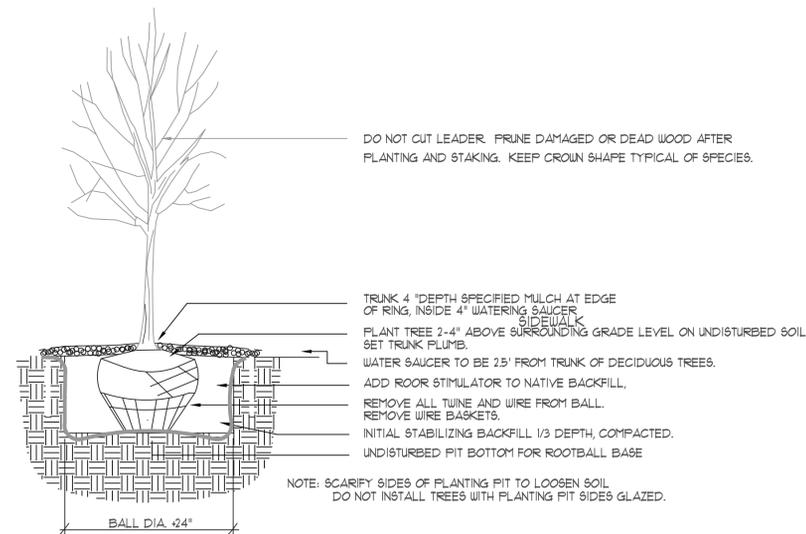
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**ACC - PEDESTAL MOUNT STAINLESS STEEL**

C.ACC.05

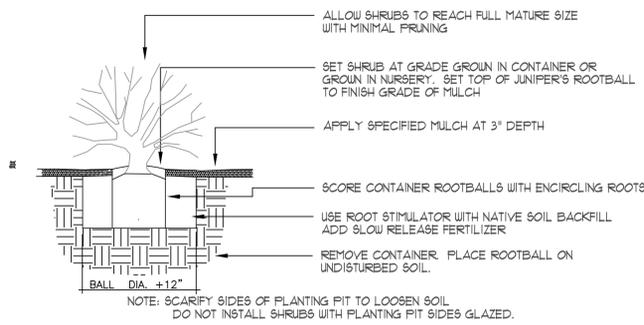
NOT TO SCALE



NOTE: SCARIFY SIDES OF PLANTING PIT TO LOOSEN SOIL.  
DO NOT INSTALL TREES WITH PLANTING PIT SIDES GLAZED.

**TREE PLANTING DETAIL**

N.T.S.



NOTE: SCARIFY SIDES OF PLANTING PIT TO LOOSEN SOIL.  
DO NOT INSTALL SHRUBS WITH PLANTING PIT SIDES GLAZED.

**SHRUB PLANTING DETAIL**

N.T.S.



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DRAWING TITLE <b>LANDSCAPE DETAILS</b>	
Landscape Architect DESIGNED BY DRAWN BY CHECKED BY REVIEWED BY DATE 11/13/23	PROJECT NO 2023-006 SCALE 1"=50'-0" DRAWING NO <b>LS-103</b> OF