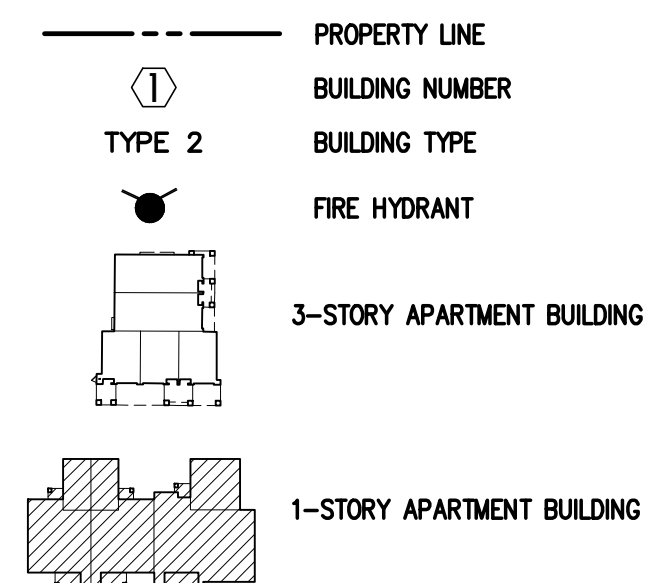
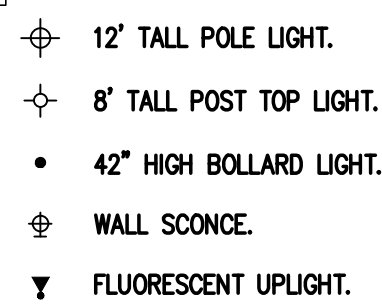


LEGEND



LIGHTING LEGEND



KEYNOTES

- 8.5'x18' PARKING SPACE WITH 2' OVERHANG, TYPICAL. SEE DETAIL 01/A1.20.
- ACCESSIBLE CURB RAMP, SEE DETAIL 02/A1.20.
- ACCESSIBLE DRIVEWAY CROSSING WITH SCORED CONCRETE.
- DOUBLE TRASH ENCLOSURE SURROUNDED BY 6' CMU WALL PAINTED TO MATCH BUILDINGS, SEE DETAIL 10/A1.20.
- SINGLE TRASH ENCLOSURE SURROUNDED BY 6' CMU WALL PAINTED TO MATCH BUILDINGS, SEE DETAIL 04/A1.20.
- ELECTRONIC ENTRY GATE TO BE EQUIPPED FOR FIRE DEPARTMENT ACCESS, SEE DETAIL 27/A1.21.
- GATE CONTROL BOX AND SITE DIRECTORY MAP, SEE DETAIL 11/A1.20. PROVIDE KNOX BOX FOR FIRE DEPARTMENT ACCESS.
- PEDESTRIAN ENTRY GATE, SEE DETAIL 20/A1.21.
- WROUGHT IRON PERIMETER VIEW FENCE, SEE DETAIL 16 & 19/A1.21.
- 3" H. CMU SCREEN WALL, SEE DETAIL 18/A1.21.
- EXISTING WALL.
- NEW PERIMETER CMU WALL WITH STUCCO FINISH, SEE DETAIL 18/A1.21.
- 6' SIDEWALK DETACHED FROM CURB, TYPICAL AT ALL STREET FRONTAGE.
- 6' SIDEWALK CONNECTING TO PUBLIC WAYS.
- 4' SIDEWALK, TYPICAL ON SITE.
- 6' SIDEWALK, TYPICAL AT PARKING, SEE DETAIL 03/A1.20.
- 6' SIDEWALK MEANDERING NEXT TO SOUTH PROPERTY EDGE.
- MONUMENT SIGN, SEE DETAIL 15/A1.20.
- SIGHT VISIBILITY, LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE. FLAG POLE.
- MAIL KIOSK, SEE DETAIL 25&26/A1.21.
- EXISTING STREET CURB AND GUTTER.
- NEW STREET CURB AND GUTTER.
- CONNECT NEW STREET CURB TO EXISTING.
- RAMADA, SEE DETAIL 28/A1.21.
- EXISTING FIRE HYDRANT.
- NEW PRIVATE FIRE HYDRANT PAINTED ORANGE.
- WATER METER VAULT WITH A 35'x35' EASEMENT, REFER TO UTILITY DRAWINGS.
- IDENTIFY ONE SIDE OF 28' DRIVE ISLE AS FIRE LANE WITH CURBS PAINTED RED.

DEVELOPMENT DATA

NET SITE AREA :
5.8689 ACRES (255,649 S.F.)

ZONING :
SU-1 for PRD
(PLANNED RESIDENTIAL DEVELOPMENT)
IDO / PD

BUILDING HEIGHT :
37 FEET

DENSITY :
13.80 DU/ACRE

SETBACKS PROVIDED :

	FRONT (N)	REAR (S)	SIDE (E)	SIDE (W)
BUILDINGS	20'-0"	15'	15'-0"	9'-2"
PARKING	124'-9"	15'	15'-2"	10'-10"

PARKING SPACE REQUIREMENTS

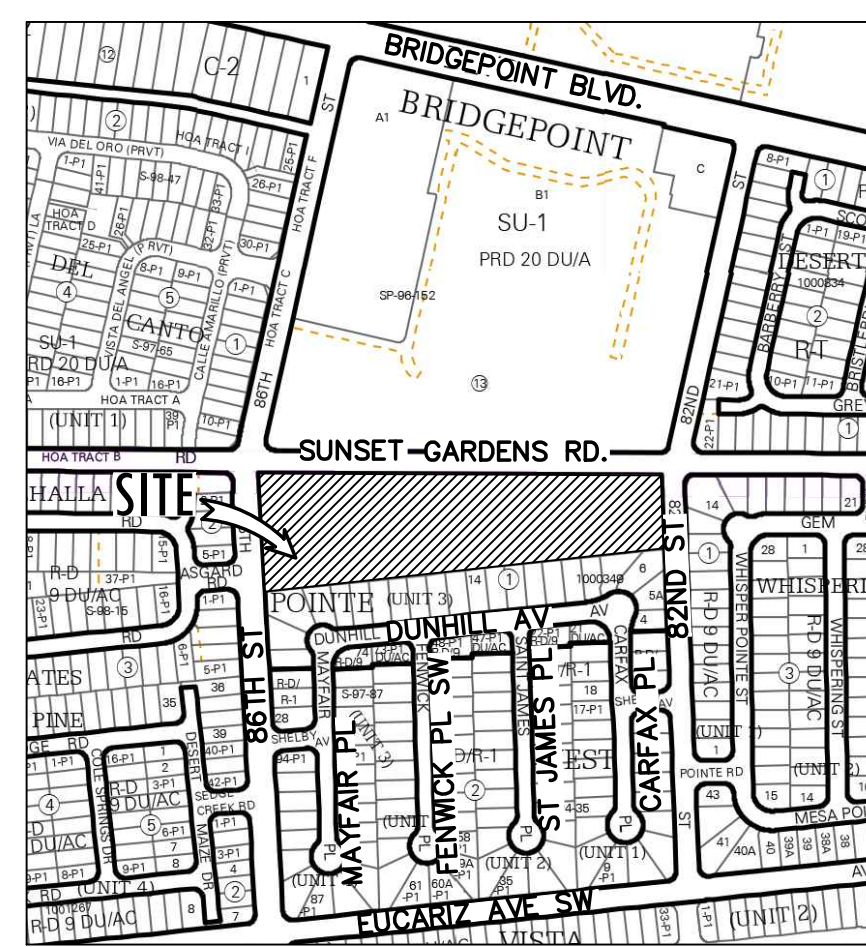
	PARKING RATIO REQUIRED	PARKING SPACES
UNIT A1, TA1 < 1,000 SF	50 - 1 BR / 1 BATH	1.5 / 1 = 75
UNIT TB1 > 1,000 SF	24 - 2 BR / 2 BATH	2 / 2 = 48
UNIT C1 > 1,000 SF	7 - 3 BR / 2 BATH	2 / 2 = 14
Total Parking Spaces Required		137
OPEN PARKING PROVIDED		60
GARAGE PARKING PROVIDED		112
Total Parking Provided		172
Bicycle Parking Required (1 SPACE FOR EVERY 2 DWELLING UNITS)		40
GARAGE		81
Total Bicycle Parking Provided		81

MINIMUM ON-LOT USABLE OPEN SPACE REQUIRED AND PROVIDED

	SF REQ. PER DU	# OF DU'S	TOTAL SF REQUIRED	TOTAL SF PROVIDED
1 BEDROOM	400	50	20,000	
2 BEDROOM	500	24	12,000	
3 BEDROOM	600	7	4,200	
PROVIDED SITE OPEN SPACE				118,484
PROVIDED BALCONY PRIVATE OPEN SPACE				4,809
TOTAL (excess of 87,293 SF)	81		36,000	123,293

BUILDING AREAS :

BLDG	OCCUPANCY	AREA			TOTAL PER BLDG	GRAND TOTAL
		1ST FLR	2ND FLR	3RD FLR		
TYPE 1	U/R-2	2,416	2,786	2,477	7,679	92,148
TYPE 2	U/R-2	4,093			4,093	28,651
RAMADA	U	225			225	225
TOTAL						121,024



VICINITY MAP
NOT TO SCALE

PROJECT NUMBER: 1003449
Application Number: 18EPC-40032

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated June 14, 2018 and the Findings and Conditions in the Official Notification of Decision are satisfied.

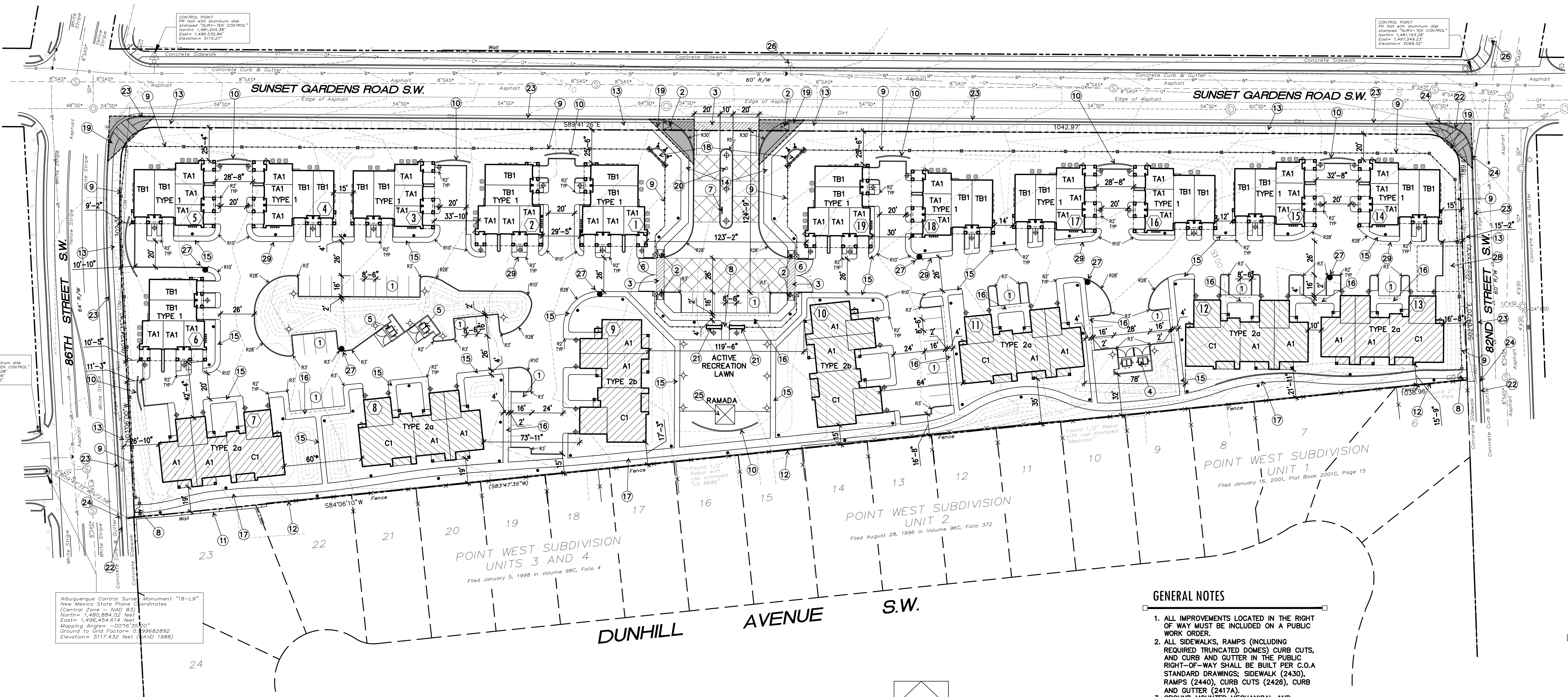
Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer	Date
Solid Waste Management	Date
Code Enforcement	Date
DRB Chairperson, Planning Department	Date

SUNSET GARDENS APARTMENTS
SEC SUNSET GARDENS ROAD AND 86TH STREET
Albuquerque, New Mexico

Office of Rich Barber Architecture, LLC
ORB
WorldHQ@ORBArch.com



SITE PLAN - FOR BUILDING PERMIT

SCALE: 1" = 40'-0"

GENERAL NOTES

- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.
- ALL SIDEWALKS, RAMPS (INCLUDING REQUIRED TRUNCATED DOME) CURB CUTS, AND CURB AND GUTTER IN THE PUBLIC RIGHT-OF-WAY SHALL BE BUILT PER C.O.A STANDARD DRAWINGS; SIDEWALK (2430), RAMPS (2440), CURB CUTS (2426), CURB AND GUTTER (2417A).
- GROUND MOUNTED MECHANICAL AND ELECTRICAL EQUIPMENT, INCLUDING TRANSFORMERS, ADJACENT TO A MAJOR FACADE SHALL BE SCREENED THROUGH THE USE OF WALLS, EARTH BERMS, DENSE EVERGREEN FOLIAGE OR OTHER ACCEPTABLE SCREENING DEVICE.

DATE: SEPTEMBER 4, 2018 ORB # 18-203

A1.10

SITE PLAN FOR BUILDING PERMIT

GENERAL LANDSCAPE NOTES

LANDSCAPE DESIGN
ALL PLANTING AREAS SHALL BE TOP DRESSED WITH CRUSHER FINES, 3/4" GRAY ROCK MULCH, 2"-4" ROCK MULCH, OR SIMILAR MATERIAL. CONCRETE HEADERS SHALL BE PROVIDED TO SEPARATE TURF AREAS FROM PLANTING AREAS.

IRRIGATION
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUNDCOVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS, ACCENTS, AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE. TURF VALVES WILL BE OPERATED TO PROVIDE 1/2" OF WATER PER CYCLE (PEAK SEASON).

RESPONSIBILITY OF MAINTENANCE
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
THE LANDSCAPE PLAN SHALL LIMIT THE PROVISION OF HIGH WATER USE TURF TO A MAXIMUM OF 20 PERCENT OF THE REQUIRED LANDSCAPED AREA. THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

PNM COORDINATION
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST FIVE FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

LANDSCAPE AREA COVERAGE

TOTAL SITE AREA:	255,649 SF (5.86 AC)
BUILDING AREA (BUILDING ENVELOPE):	63,190 SF
NET AREA:	192,459 SF
REQUIRED LANDSCAPE AREA (15% OF NET AREA):	28,868 SF
PROVIDED LANDSCAPE AREA:	99,350 SF (51%)

LANDSCAPE LIVE VEGETATIVE COVERAGE
LANDSCAPE COVERAGE REQUIREMENTS SPECIFY LANDSCAPE AREAS TO HAVE A 75% COVERAGE OF LIVE VEGETATIVE MATERIAL. THE PROJECT WILL PROVIDE A MINIMUM OF 75% LIVE VEGETATIVE COVERAGE OF THE REQUIRED LANDSCAPE AREA. A MINIMUM OF 30% COVERAGE OF THE TOTAL LANDSCAPED AREA SHALL BE ACHIEVED BY GROUND-LEVEL PLANTS.
PROVIDED LIVE VEGETATIVE MATERIAL COVERAGE: 94,135 SF (95% OF LANDSCAPE AREA)

LANDSCAPE TURF
ONLY 20% OF LANDSCAPED AREAS MAY BE HIGH WATER USE TURF.
PROVIDED HIGH WATER TURF AREA: 3,650 SF (4% OF LANDSCAPE AREA)

PARKING LOT TREES
THE PROJECT IS PROVIDING 64 PARKING SPACES, EXCLUDING GARAGE PARKING. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.
PARKING LOT TREES REQUIRED: 6
PARKING LOT TREES PROVIDED: 10

STREET TREES
86TH STREET IS AN URBAN COLLECTOR THEREFORE, REQUIRES STREET TREES. SUNSET GARDEN ROAD AND 82ND STREET ARE LOCAL STREETS AND DO NOT REQUIRE STREET TREES. STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 30' O.C.

86TH STREET FRONTAGE IS 302'.
STREET TREES REQUIRED: 10
STREET TREES PROVIDED: 10

SITE TREES
TREE REQUIREMENTS FOR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS ARE AT A RATE OF ONE TREE PER GROUND FLOOR UNIT AND ONE TREE FOR EVERY TWO SECOND FLOOR UNITS. NO ADDITIONAL TREES ARE REQUIRED FOR UNITS ABOVE SECOND STORY. 81 FIRST FLOOR UNITS AND NO SECOND STORY UNITS ARE PROVIDED.
SITE TREES REQUIRED: 81
SITE TREES PROVIDED: 182

PLANT LEGEND

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE	QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME	SIZE	INSTALLED SIZE MATURE SIZE	WATER USE
TREES											
18		ACER FREEMANII 'AUTUMN BLAZE' AUTUMN BLAZE MAPLE (ABM)	2.5' B&B	10' HT. X 6' SPR. 45' HT. X 35' SPR.	MED			NANDINA DOMESTICA 'GULFSTREAM' HEAVENLY BAMBOO (HB)	5-GAL	4' HT. X 4' SPR.	MED+
10		CHILLOPSIS LINEARIS 'BUBBA' BUBBA DESERT WILLOW (BDW)	8' MS	8' HT. X 4' SPR. 20' HT. X 20' SPR.	LOW+			PINUS MUGO PUMILIO DWARF MUGO PINE (DMP)	5-GAL	4' HT. X 6' SPR.	MED
36		JUNIPERUS SCOPULORUM 'SKYROCKET' SKYROCKET JUNIPER (SJ)	15 GAL	6' MIN. HT. 12' HT. X 5' SPR.	LOW+			POTENTILLA FRUTICOSA 'JACKMANI' JACKMAN'S SHRUBBY CINQUEFOIL (JSC)	5-GAL	3' HT. X 3' SPR.	MED
13		PINUS NIGRA AUSTRIAN PINE (AP)	B&B	8' MIN. HT. 35' HT. X 25' SPR.	MED			PRUNUS CISTENA PURPLELEAF SAND CHERRY (PSC)	5-GAL	6' HT. X 5' SPR.	MED
19		PISTACHE X RED PUSH RED PUSH PISTACHE (RPP)	2.5' B&B	12' HT. X 6' SPR. 40' HT. X 40' SPR.	MED			RHAPHOLEPIS INDICA INDIA HAWTHORN (IH)	5-GAL	4' HT. X 4' SPR.	LOW
22		ULMUS PROPINQUA 'JFS-BIEBERICH' EMERALD SUNSHINE ELM (ESE)	2.5' B&B	12' HT. X 6' SPR. 35' HT. X 25' SPR.	MED+			RHUS AROMATICA GRO-LOW PROSTRATE SUMAC (PS)	5-GAL	2' HT. X 4' SPR.	LOW+
20		PRUNUS Cerasifera 'KRAUTER VESUVIUS' KRAUTER VESUVIUS PLUM (KVP)	2' B&B	10' HT. X 4' SPR. 20' HT. X 15' SPR.	MED			ROSA 'KNOCK OUT' KNOCK OUT ROSE (KOR)	5-GAL	3' HT. X 3' SPR.	MED
12		PRUNUS VIRGINIANA 'CANADA RED' CANADA RED CHOKECHERRY (CRC)	2' B&B	10' HT. X 4' SPR. 20' HT. X 20' SPR.	MED			SALVIA DORRRII PURPLE SAGE (PS)	5-GAL	3' HT. X 3' SPR.	MED
10		PYRUS CALLERYANA 'GLEN'S FORM' CHANTICLEER PEAR (CP)	2' B&B	10' HT. X 4' SPR. 40' HT. X 15' SPR.	MED+			SALVIA GREGGII 'FURMANS RED' FURMANS RED CHERRY SAGE (FRS)	3-GAL	30' HT. X 3' SPR.	MED
18		VITEA AGNUS-CASTUS CHASTETREE (MULTI STEM) (CT)	15-GAL	8' HT. X 4' SPR. 20' HT. X 20' SPR.	MED			VINES			
								LONGICERA JAPONICA HALLIANA HALL'S HONEYSUCKLE (HH)	5-GAL	6' SPR.	MED+
SHRUBS AND GROUNDCOVERS											
		ACHILLEA MOONSHINE MOONSHINE YARRROW (MY)	1-GAL	2' HT. X 2' SPR.	MED			ACCENTS			
		BUDDLEIA DAVIDII 'NANOENSI' DWARF BLUE BUTTERFLY BUSH (BB)	5-GAL	4' HT. X 4' SPR.	MED			DASYLIRION WHEELERI DESERT SPOON (DS)	5-GAL	4' HT. X 4' SPR.	LOW
		BUXUS JAPONICA 'WINTER GEM' WINTER GEM BOXWOOD (WGB)	5-GAL	4' HT. X 4' SPR.	MED			HESPERALOE PARVIFLORA 'BRAKELIGHTS' BRAKELIGHTS RED YUCCA (BRY)	3-GAL	3' HT. X 3' SPR.	LOW
		CARYOPTERIS CLAN 'DARK KNIGHT' DARK KNIGHT SPIREA (DKN)	5-GAL	4' HT. X 4' SPR.	LOW			CALAMAGROSTIS A. 'KARL FOERSTER' KARL FOERSTER FEATHER REED GRASS (KFG)	5-GAL	30' HT. X 3' SPR.	MED
		COTONEASTER APICULATUS CRANBERRY COTONEASTER (CRC)	5-GAL	2' HT. X 5' SPR.	MED			MUHLENBERGIA C. 'REGAL MIST' MUHLY GRASS (MG)	5-GAL	3' HT. X 4' SPR.	MED
		CYTISUS SCOPARIUS 'ALL GOLD' ALL GOLD SCOTCH BROOM (ASB)	5GAL	4' HT. X 4' SPR.	LOW			PANICUM VIRGATUM 'SHENANDOAH' SHENANDOAH SWITCH GRASS (SSG)	1-GAL	4' HT. X 4' SPR.	LOW
		FALLUGIA PARADOXA APACHE PLUME (APL)	5-GAL	5' HT. X 5' SPR.	LOW	3,650 SF		TURF GRASS			
		JUNIPERUS HORIZ. 'BLUE CHIP' BLUE CHIP JUNIPER (BCJ)	5-GAL	1' HT. X 7' SPR.	MED			REVELLE BLUEGRASS SOD			
		LAGERSTROEMIA INDICA 'DYNAMITE' DYNAMITE CRAPE MYRTLE (DCM)	15-GAL	12' HT. X 6' SPR.	MED						

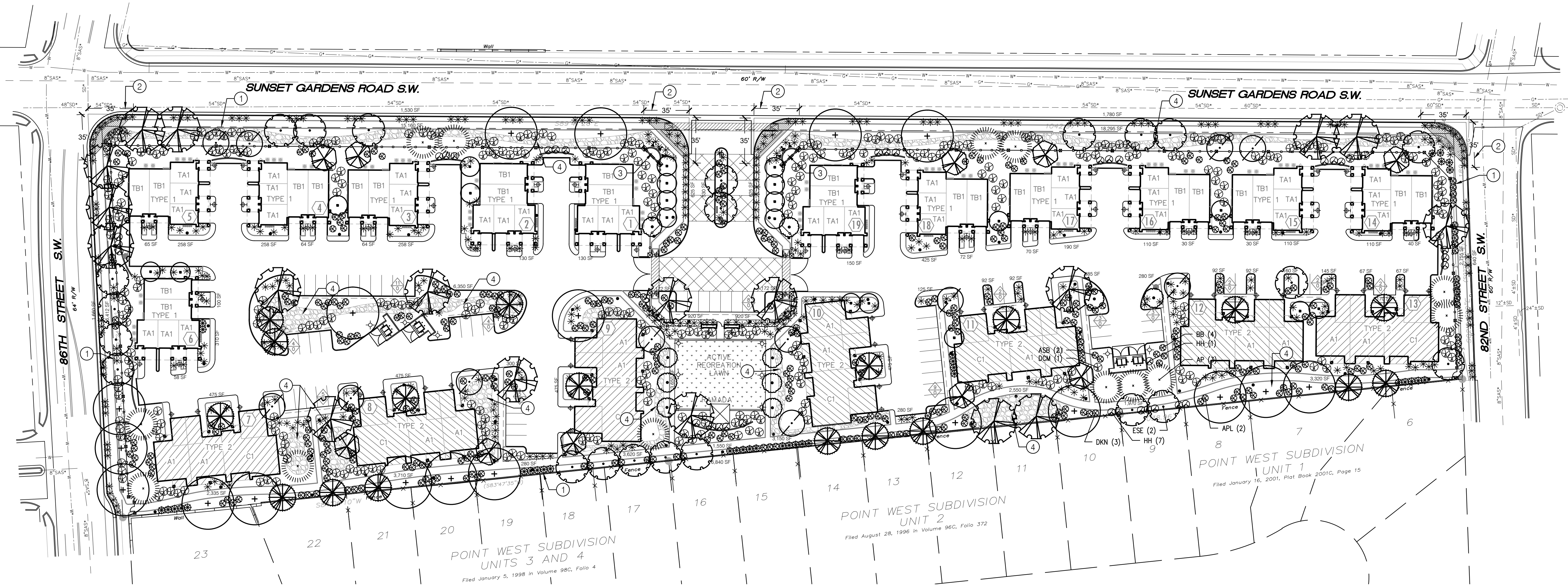
MULCHES

- 81,710 SF 3/4" GRAY CRUSHED GRAVEL MULCH (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)
- 12,940 SF 2"-4" COYOTE MIST COBBLE (4" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)

HARDSCAPE

- 6" CONCRETE EDGER AT TURF

- KEY NOTES**
- PROPERTY LINE, TYP
 - CLEAR SIGHT TRIANGLE
 - RAISED ANNUAL BEDS
 - PONDING AREA. SEE CONCEPTUAL GRADING AND DRAINAGE PLAN



SUNSET GARDENS TOWNHOMES
SEC SUNSET GARDENS ROAD AND 86TH STREET
Albuquerque, New Mexico

Office of Rich Barber
ORB Architecture, LLC
WorldHQ@ORBArch.com

CONSENSUS PLANNING, INC.
Planning / Landscape Architecture
302 Eighth Street NW
Albuquerque, NM 87102
(505) 764-9801 Fax 842-5495
e-mail: cp@consensusplanning.com

REVISIONS

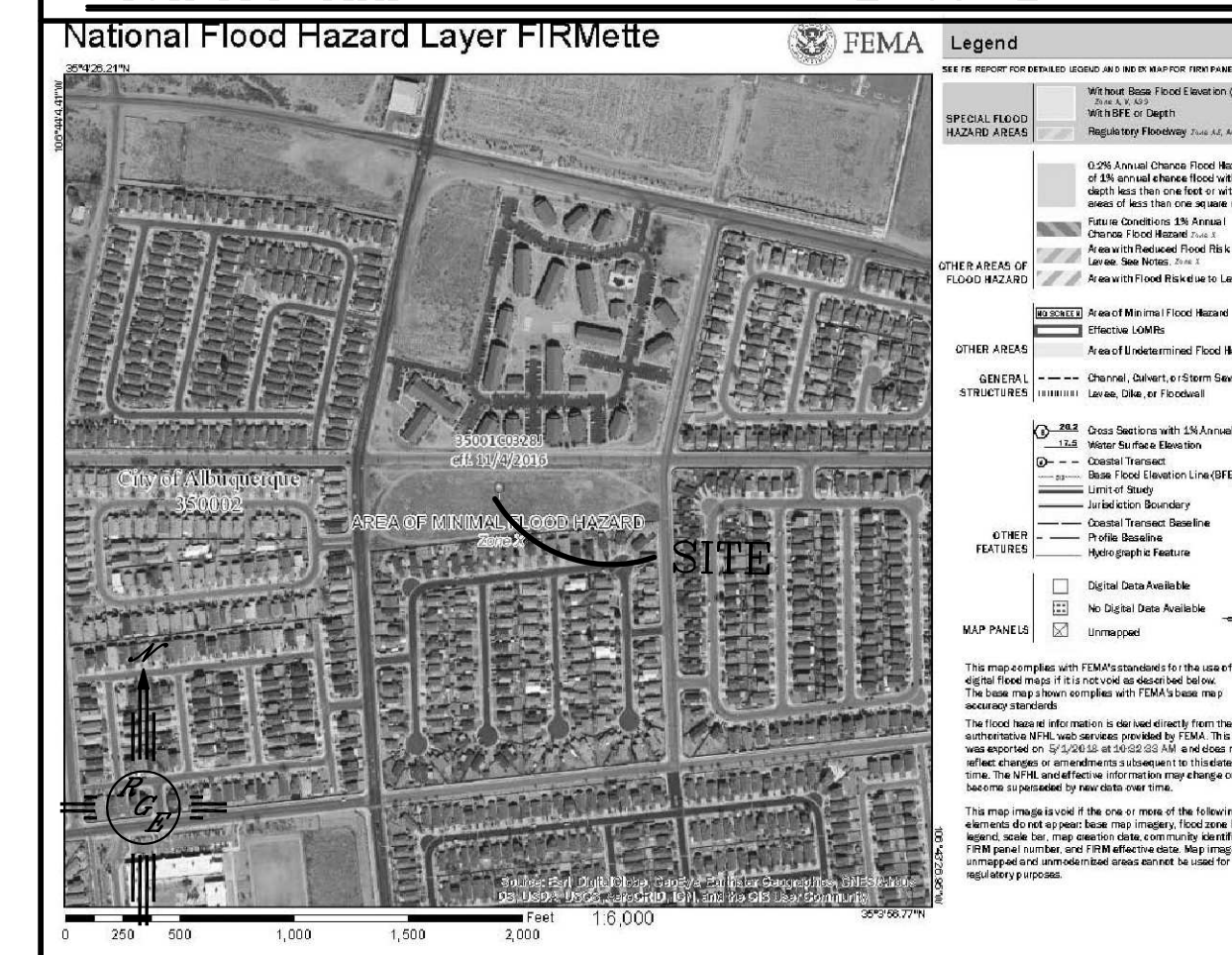
DATE: JUNE 26, 2018 ORB # 18-203

SCALE: 1" = 40'

NORTH

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



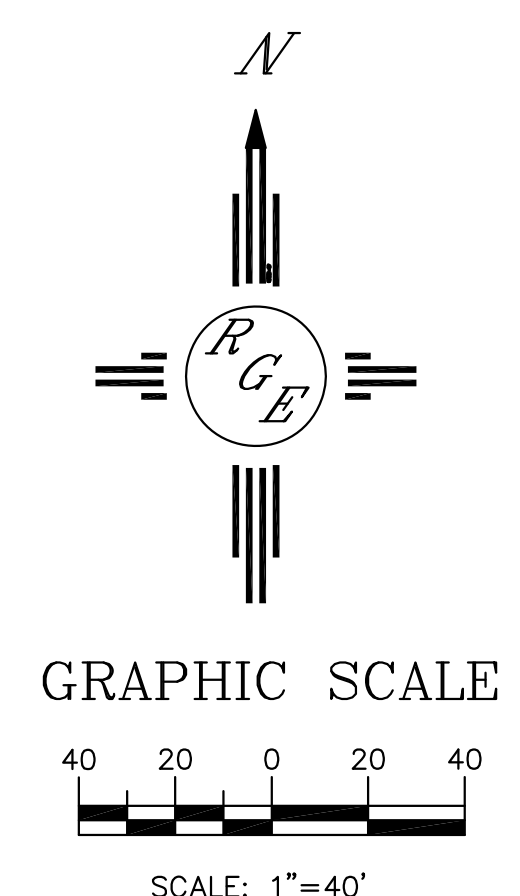
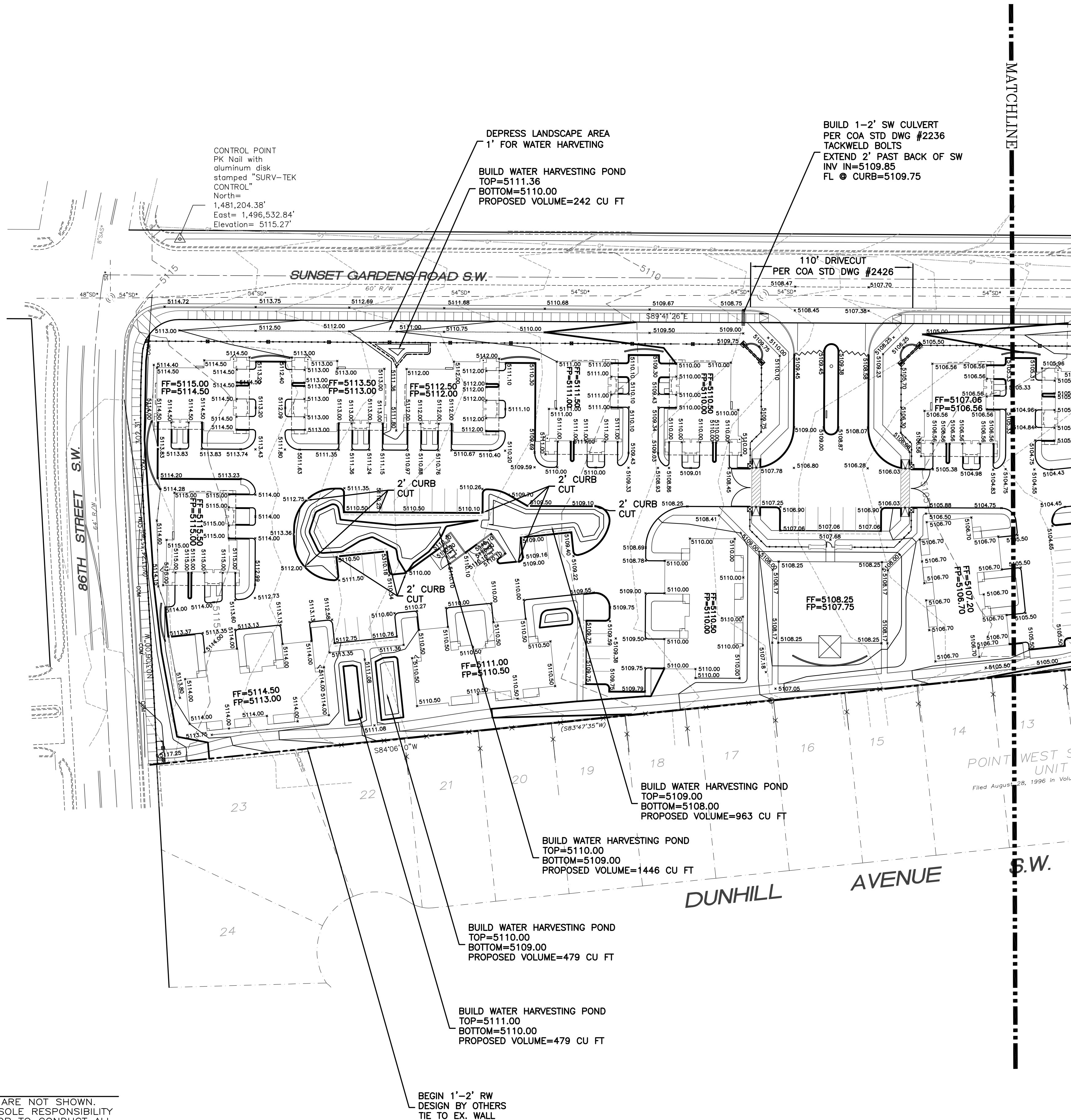
FIRM MAP:
LEGAL DESCRIPTION:
 TRACT 52, UNIT 2, TOWN OF ATRISCO GRANT

- NOTES:**
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
 2. ALL CURB AND GUTTER TO 6" HEADER UNLESS OTHERWISE NOTED.
 3. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
 4. ALL NEW PAVING SHALL BE 6" PCC OVER 8" SUBGRADE PREPARATION IN CONFORMANCE TO ACI 330R-08. UNLESS OTHERWISE NOTED.
 5. ANY CURBS OR PAVEMENT NEGATIVELY IMPACTED BY CONSTRUCTION ACTIVITY SHALL BE REPLACED TO MATCH EXISTING CONDITIONS.
 6. ALL SITE WORK SHALL CONFORM TO CITY OF ALBUQUERQUE STANDARDS FOR PUBLIC WORKS CONSTRUCTION EDITION 9

LEGEND

---	EXISTING CONTOUR
- - - -	EXISTING INDEX CONTOUR
—	PROPOSED CONTOUR
—▲—	PROPOSED INDEX CONTOUR
—▲—	SLOPE TIE
×	EXISTING SPOT ELEVATION
×	PROPOSED SPOT ELEVATION
---	BOUNDARY
---	CENTERLINE
---	RIGHT-OF-WAY
---	PROPOSED CURB
---	EXISTING CURB AND GUTTER
---	PROPOSED SIDEWALK
---	EXISTING SIDEWALK
---	PROPOSED SCREEN WALL
---	FLOWLINE

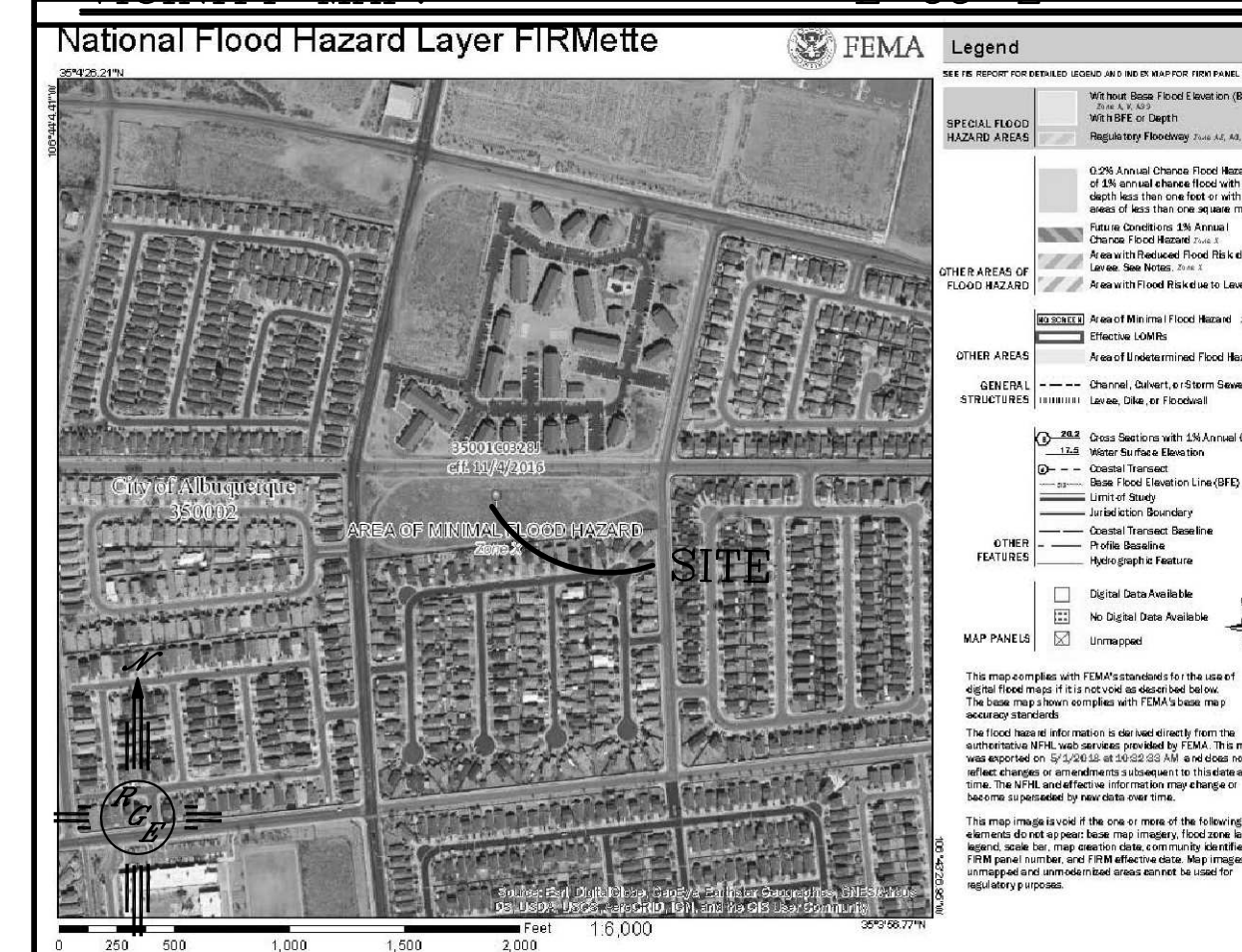
	86TH AND SUNSET GARDENS GRADING AND DRAINAGE PLAN	DRAWN BY WCWJ DATE 7-17-18 21894-LAYOUT-5-01-18
		SHEET # 1 JOB # 21894



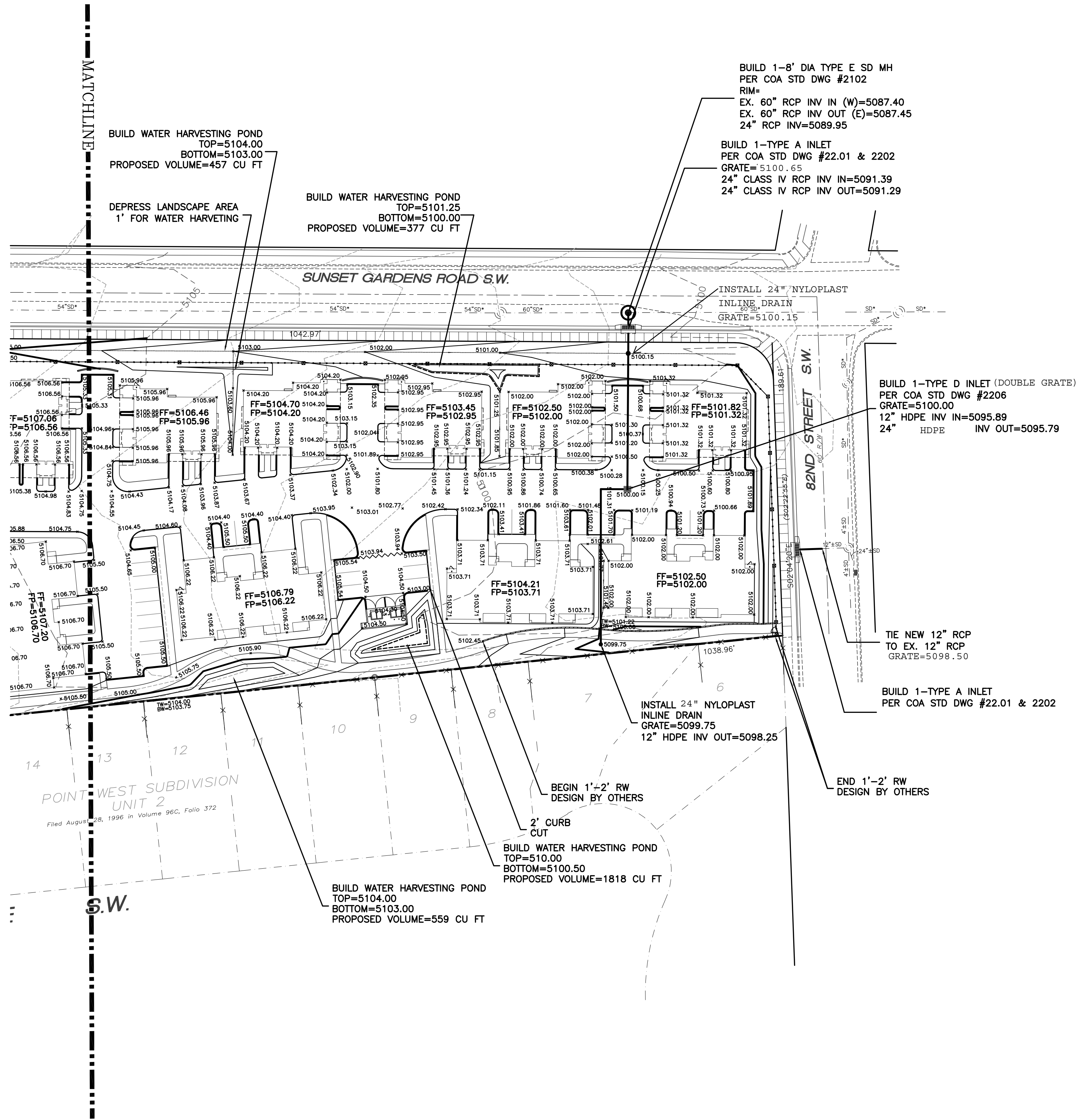
CAUTION:
 EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



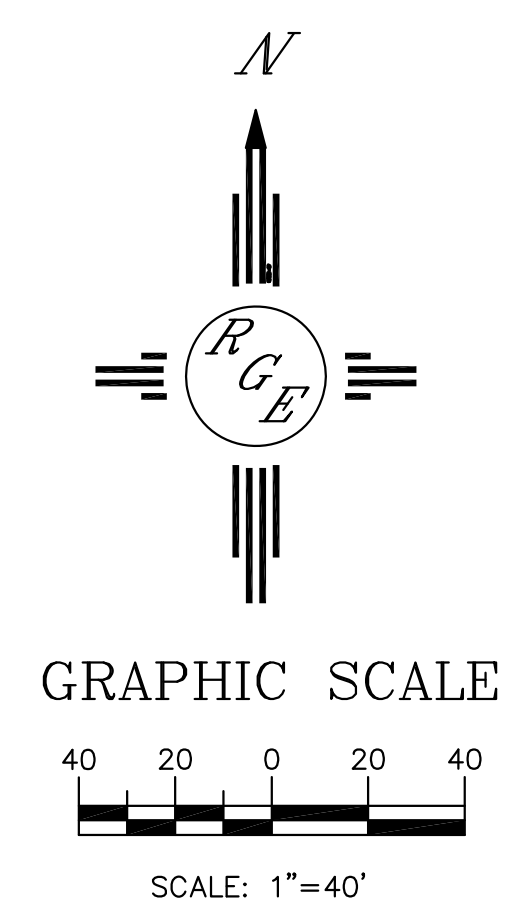
FIRM MAP:
LEGAL DESCRIPTION:
 TRACT 52, UNIT 2, TOWN OF ATRISCO GRANT



- NOTES:**
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
 2. ALL CURB AND GUTTER TO 6" HEADER UNLESS OTHERWISE NOTED.
 3. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
 4. ALL NEW PAVING SHALL BE 6" PCC OVER 8" SUBGRADE PREPARATION IN CONFORMANCE TO ACI 330R-08. UNLESS OTHERWISE NOTED.
 5. ANY CURBS OR PAVEMENT NEGATIVELY IMPACTED BY CONSTRUCTION ACTIVITY SHALL BE REPLACED TO MATCH EXISTING CONDITIONS.
 6. ALL SITE WORK SHALL CONFORM TO CITY OF ALBUQUERQUE STANDARDS FOR PUBLIC WORKS CONSTRUCTION EDITION 9

LEGEND

-----5414-----	EXISTING CONTOUR
-----5415-----	EXISTING INDEX CONTOUR
-----5414-----	PROPOSED CONTOUR
-----5415-----	PROPOSED INDEX CONTOUR
▲	SLOPE TIE
× 4048.25	EXISTING SPOT ELEVATION
•	PROPOSED SPOT ELEVATION
-----	BOUNDARY
-----	CENTERLINE
-----	RIGHT-OF-WAY
-----	PROPOSED CURB
-----	EXISTING CURB AND GUTTER
-----	PROPOSED SIDEWALK
-----	EXISTING SIDEWALK
-----	PROPOSED SCREEN WALL
-----	FLOWLINE

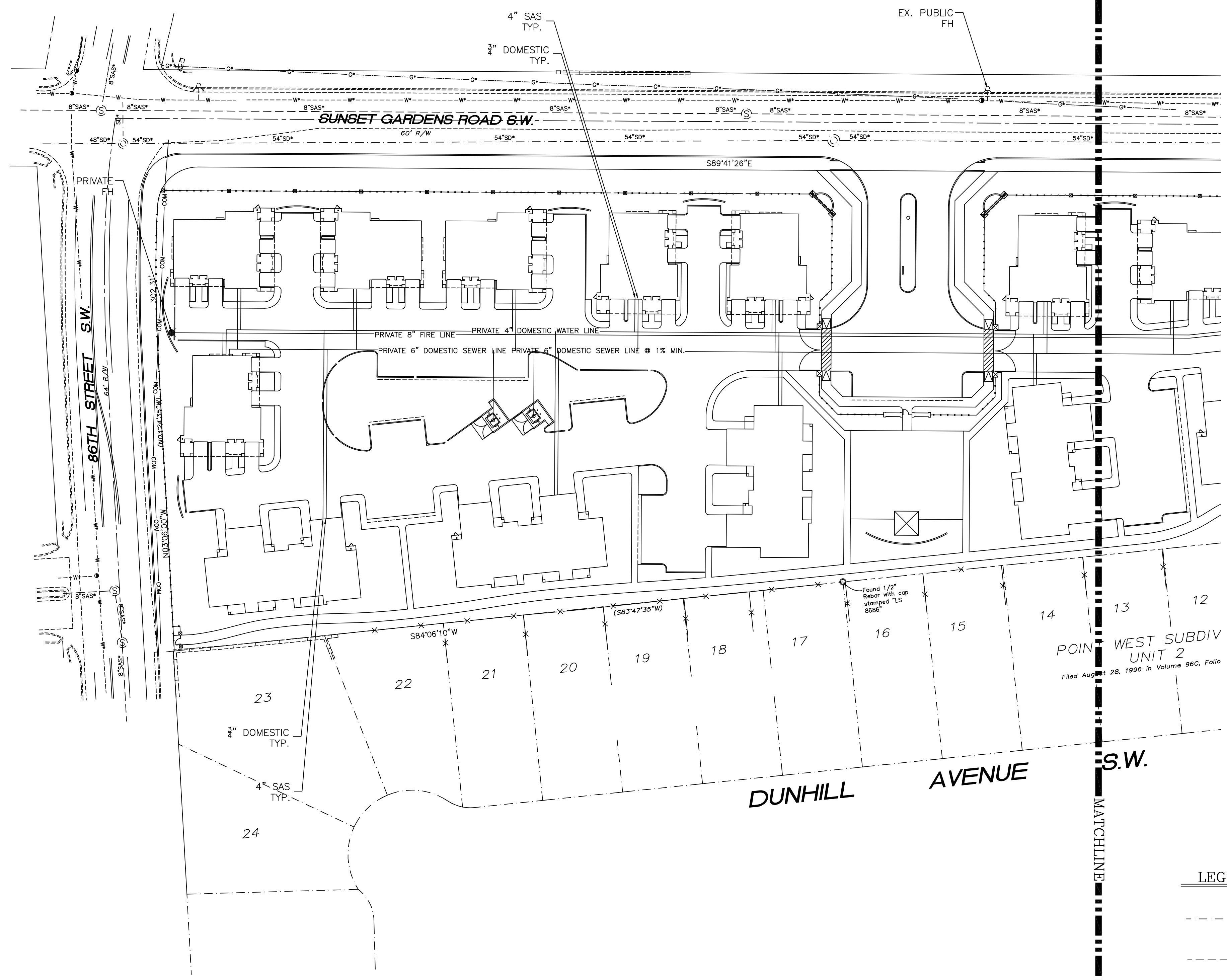


CAUTION:
 EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

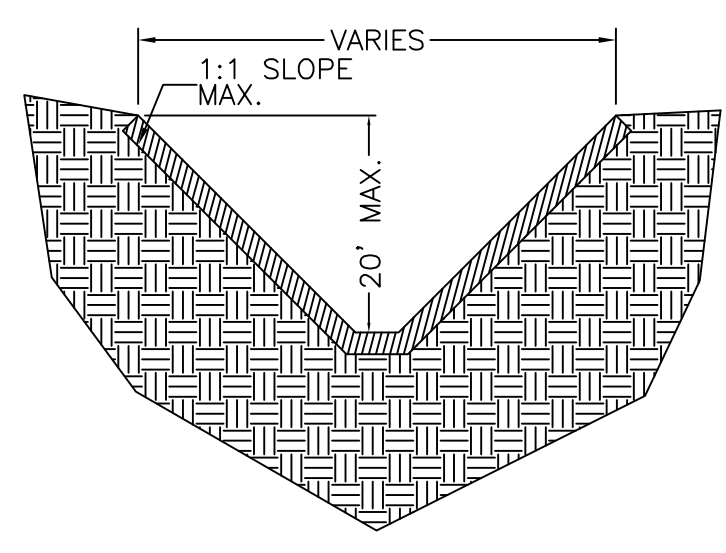
	86TH AND SUNSET GARDENS GRADING AND DRAINAGE PLAN	DRAWN BY WCWJ
		DATE 7-17-18
10/3/18		21894-LAYOUT-5-01-18
DAVID SOULE P.E. #14522		SHEET # 2 JOB # 21894

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN BERNALILLO COUNTY ROW. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF CITY OF ALBUQUERQUE APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH BERNALILLO COUNTY INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, INCLUDING UPDATE #8.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL PERTINENT EXISTING UTILITIES, AND/OR OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE FOR ALL WORK.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
9. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
10. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER. IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK, CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
11. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES THAT HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
12. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
13. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK-FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
14. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
15. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.
16. ELECTRONIC MARKER SPHERES (EMS) SHALL BE INSTALLED ON WATER LINE AND SANITARY SEWER LINE FACILITIES PER SECTION 170 OF THE BERNALILLO COUNTY STANDARD SPECIFICATIONS 1986 EDITION AS REVISED THROUGH UPDATE #8, AMENDMENT 1.
17. THE CONTRACTOR SHALL COORDINATE WITH THE WATER UTILITY AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT http://abcwua.org/water_shut_off_and_turn_on_procedures
18. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.6150 SUBPART P.
19. ALL IMPACTED STRIPING SHALL BE REPLACED BY CONTRACTOR.
20. MANHOLE STEPS SHALL NOT BE INSTALLED IN SANITARY SEWER MANHOLES.
21. ALL WATER METERS SHALL INCLUDE DUAL CHECK VALVE SETTERS.
22. ALL WATER METER COVERS AND LIDS SHALL BE PER COA STD DWG #2369.
23. ALL C-900 DR18 UTILITY PIPE JOINTS SHALL BE FULLY RESTRAINED DUE TO POSSIBLE DEFLECTION FROM WASTE DEGENERATION.
24. ALL MANHOLES AND VALVES SHALL HAVE GPS INFORMATION RECORDED AS PART OF AS BUILT PLAN SET.
25. CONTRACTOR IS RESPONSIBLE AT ITS OWN COST FOR ANY DAMAGE TO EXISTING UTILITIES.
26. CONTRACTOR SHALL MAINTAIN 1' SEPARATION BETWEEN ELECTRICAL AND SAS CROSSINGS.

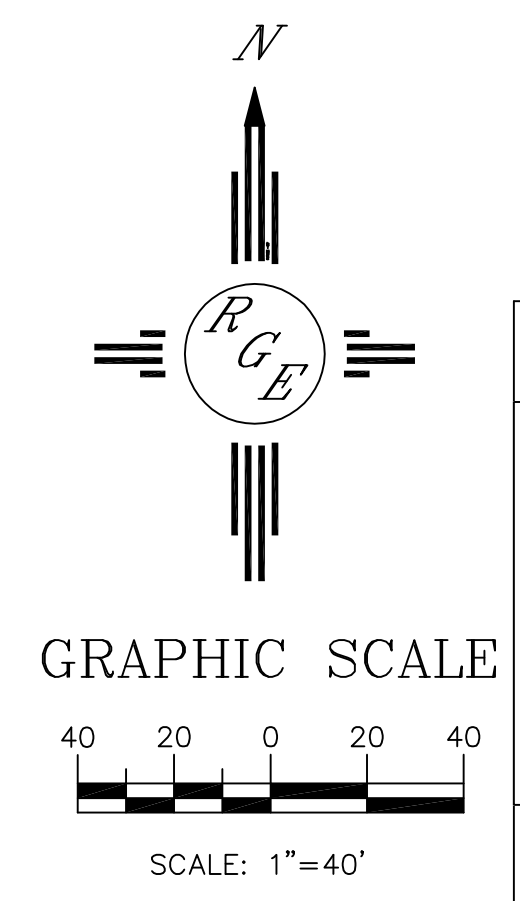


LEGEND	
---	EX. 12" SD --- EXISTING STORM SEWER LINE
○	EXISTING SAS MANHOLE
---	EX. 8" SAS --- EXISTING SANITARY SEWER LINE
⊗	EXISTING VALVE W/BOX
---	EX. 6" WL --- EXISTING WATER LINE
□	PROPOSED METER
●	PROPOSED FIRE HYDRANT
---	EXISTING EDGE OF PAVEMENT
====	PROPOSED CURB & GUTTER
---	BOUNDARY LINE
---	CENTERLINE
---	RIGHT-OF-WAY
---	LOT LINES
☼	STREET LIGHTS
////	CONTRACTOR SHALL REMOVE AND REPLACE PAVING PER COA STD DWG #2465 (COLLECTOR).



SUPPLEMENTAL TRENCH DETAIL

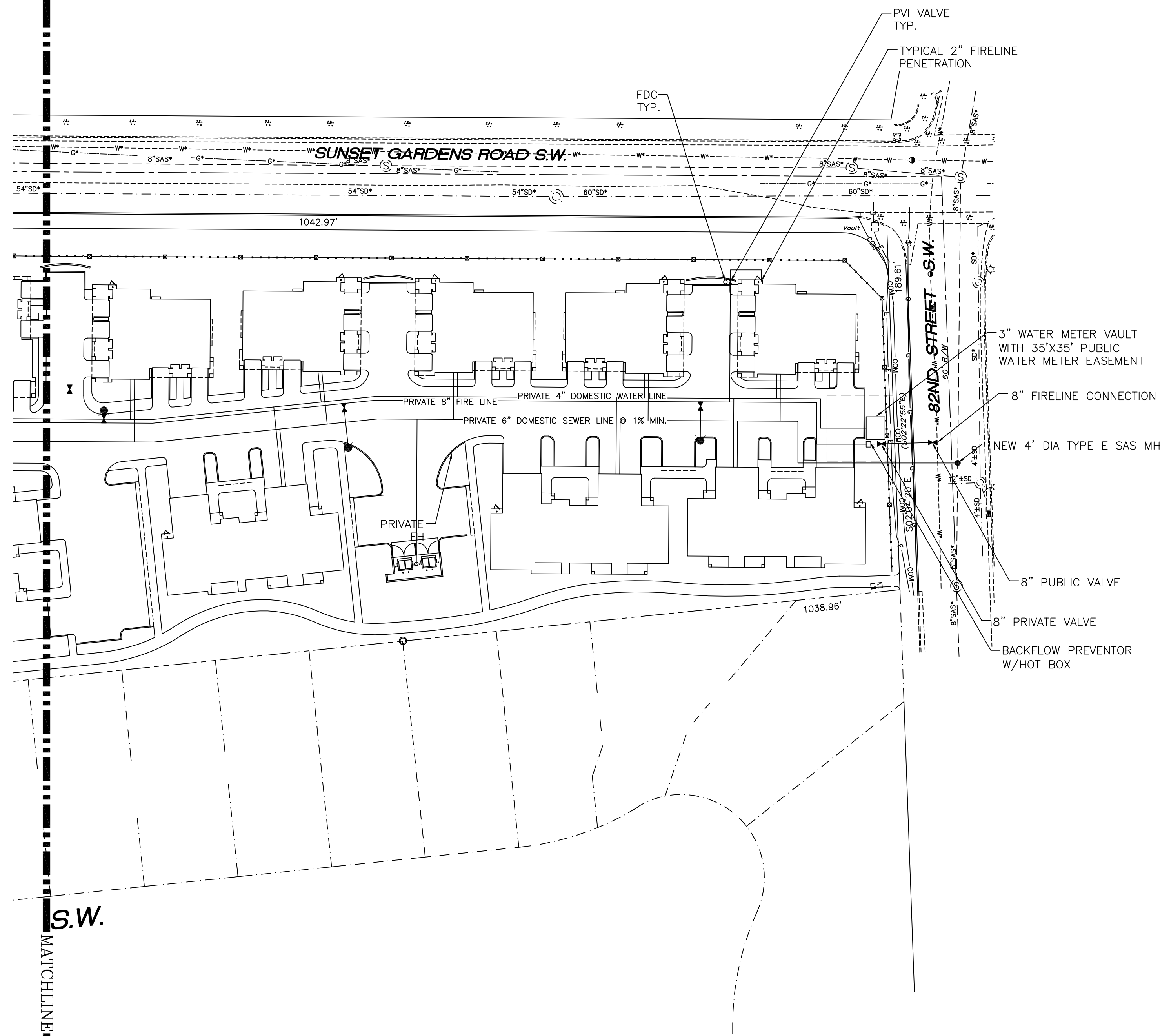
NTS-PER FIGURE V:2-13 OSHA STANDARD SPECIFICATIONS
 NOTE: ENTIRE TRENCH PRISM SHALL BE COMPACTED AT 95% ASTM D1557 INCLUDING ALL UTILITY MAIN LINES, WATER METER BOXES AND SERVICES, SAS SERVICES.



ENGINEER'S SEAL DAVID SOULE P.E. #14522	86TH AND SUNSET GARDENS MASTER UTILITY PLAN	DRAWN BY WCWJ DATE 5-30-18 21894-LAYOUT-5-01-18
	Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	SHEET # 4A JOB # 21894

NOTICE TO CONTRACTORS

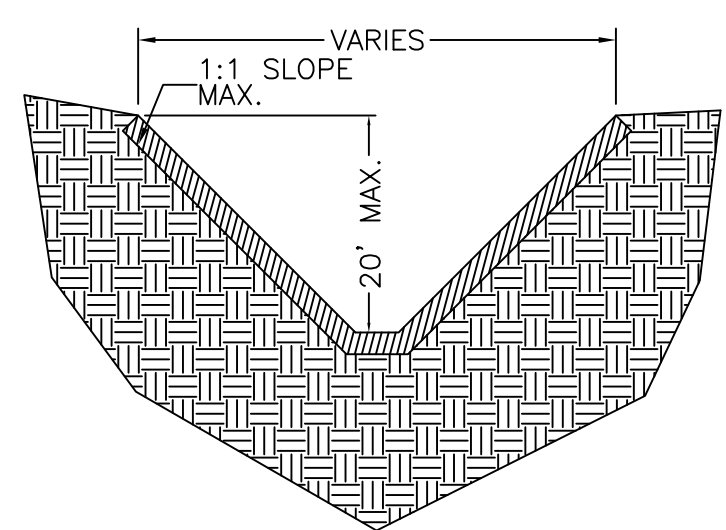
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN BERNALILLO COUNTY ROW. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF CITY OF ALBUQUERQUE APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH BERNALILLO COUNTY INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, INCLUDING UPDATE #8.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL PERTINENT EXISTING UTILITIES, AND/OR OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE FOR ALL WORK.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR SHALL DETERMINE LOCATION OF ANY UNDERGROUND FACILITY IN OR NEAR WORK AREAS, INCLUDING REQUESTS TO OWNERS/OPERATORS OF SAID FACILITIES PER SECTION 62-14-5 NMSA 1978.
9. CONTRACTOR SHALL PLAN ALL EXCAVATION TO MINIMIZE INTERFERENCE OR DAMAGE OF UNDERGROUND FACILITIES.
10. CONTRACTOR SHALL PROVIDE ADVANCE TELEPHONE NOTICE OF COMMENCEMENT, EXTENT AND DURATION OF ALL EXCAVATION WORK TO THE ONE-CALL NOTIFICATION SYSTEM, OR TO OWNERS/OPERATORS OF ANY EXISTING UNDERGROUND FACILITY IN OR NEAR THE EXCAVATION AREA THAT ARE NOT MEMBERS OF THE ONE-CALL NOTIFICATION CENTER. IN ORDER THAT OWNERS/OPERATORS MAY LOCATE AND MARK UNDERGROUND FACILITY PER SECTION 62-14-5 NMSA 1978 PRIOR TO ANY COMMENCEMENT OF WORK, CONTRACTOR SHALL REQUEST REAFFIRMATION OF LOCATION EVERY TEN (10) WORKING DAYS AFTER INITIAL REQUEST.
11. CONTRACTOR SHALL MAINTAIN EIGHTEEN (18) INCHES BETWEEN EXISTING UNDERGROUND FACILITIES THAT HAVE BEEN PREVIOUSLY IDENTIFIED AND MARKED BY THE OWNERS/OPERATORS OF SAID FACILITIES. CUTTING EDGE OR POINT OF ANY MECHANICAL EXCAVATING EQUIPMENT UTILIZED IN EXCAVATION AREA WILL BE USED IN A MANNER NECESSARY TO PREVENT DAMAGE TO EXISTING UNDERGROUND FACILITIES.
12. CONTRACTOR SHALL PROVIDE SUPPORT FOR EXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA AS NECESSARY TO PREVENT DAMAGE TO SAID FACILITIES.
13. CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS IN A MANNER AND WITH MATERIALS AS MAY BE NECESSARY TO PREVENT DAMAGE TO AND PROVIDE RELIABLE SUPPORT DURING AND FOLLOWING BACK-FILLING ACTIVITIES FOR PREEXISTING UNDERGROUND FACILITIES IN OR NEAR EXCAVATION AREA.
14. CONTRACTOR SHALL IMMEDIATELY NOTIFY BY TELEPHONE THE OWNER/OPERATOR OF ANY UNDERGROUND FACILITY WHICH MAY HAVE BEEN DAMAGED OR DISLODGED DURING EXCAVATION WORK.
15. CONTRACTOR SHALL NOT MOVE OR OBLITERATE MARKINGS MADE PURSUANT TO CHAPTER 62, ARTICLE 14 NMSA 1978, OR FABRICATE MARKINGS IN A UNMARKED LOCATION FOR THE PURPOSE OF CONCEALING OR AVOIDING LIABILITY FOR VIOLATION OF OR NONCOMPLIANCE WITH THE PROVISIONS OF CHAPTER 62, ARTICLE 11 NMSA 1978.
16. ELECTRONIC MARKER SPHERES (EMS) SHALL BE INSTALLED ON WATER LINE AND SANITARY SEWER LINE FACILITIES PER SECTION 170 OF THE BERNALILLO COUNTY STANDARD SPECIFICATIONS 1986 EDITION AS REVISED THROUGH UPDATE #8, AMENDMENT 1.
17. THE CONTRACTOR SHALL COORDINATE WITH THE WATER UTILITY AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT http://abcwua.org/water_shut_off_and_turn_on_procedures
18. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.6150 SUBPART P.
19. ALL IMPACTED STRIPING SHALL BE REPLACED BY CONTRACTOR.
20. MANHOLE STEPS SHALL NOT BE INSTALLED IN SANITARY SEWER MANHOLES.
21. ALL WATER METERS SHALL INCLUDE DUAL CHECK VALVE SETTERS.
22. ALL WATER METER COVERS AND LIDS SHALL BE PER COA STD DWG #2369.
23. ALL C-900 DR18 UTILITY PIPE JOINTS SHALL BE FULLY RESTRAINED DUE TO POSSIBLE DEFLECTION FROM WASTE DEGENERATION.
24. ALL MANHOLES AND VALVES SHALL HAVE GPS INFORMATION RECORDED AS PART OF AS BUILT PLAN SET.
25. CONTRACTOR IS RESPONSIBLE AT ITS OWN COST FOR ANY DAMAGE TO EXISTING UTILITIES.
26. CONTRACTOR SHALL MAINTAIN 1' SEPARATION BETWEEN ELECTRICAL AND SAS CROSSINGS.



S.W.
MATCHLINE

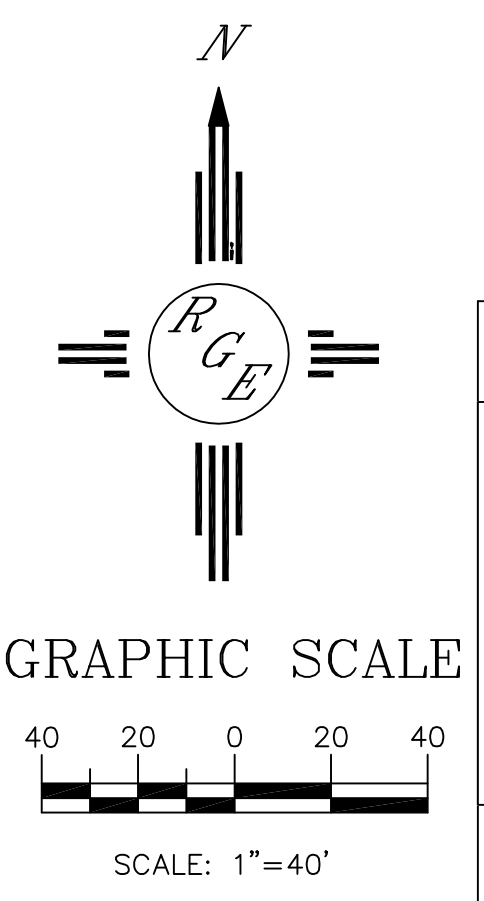
LEGEND


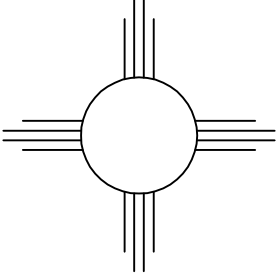
- EX. 12" SD---
-
- EX. 8" SAS---
- ⊠
- EX. 6" WL-----
-
-
-
- =====
-
-
-
-
-
- ☼
- ////// CONTRACTOR SHALL REMOVE AND REPLACE PAVING PER COA STD DWG #2465 (COLLECTOR).



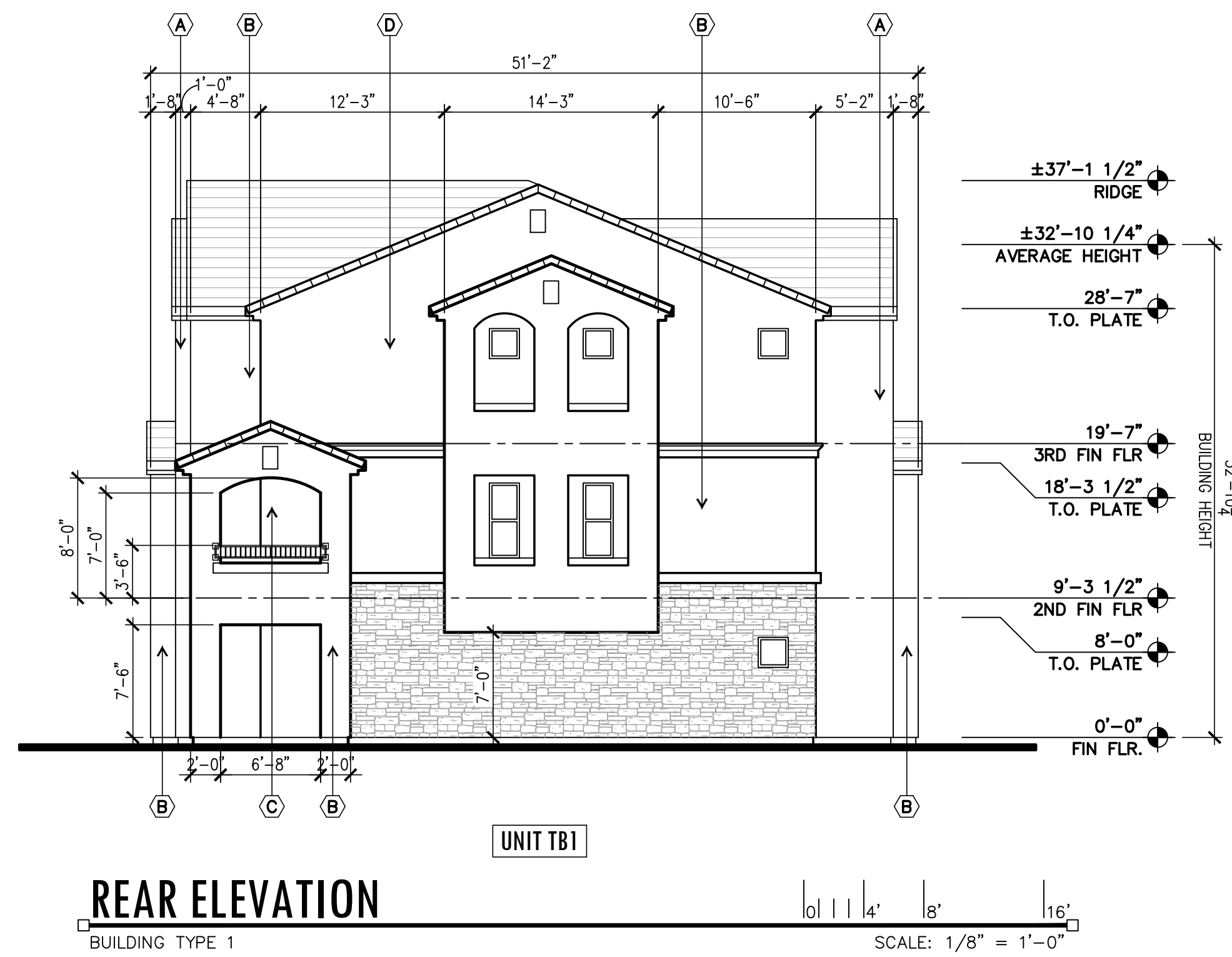
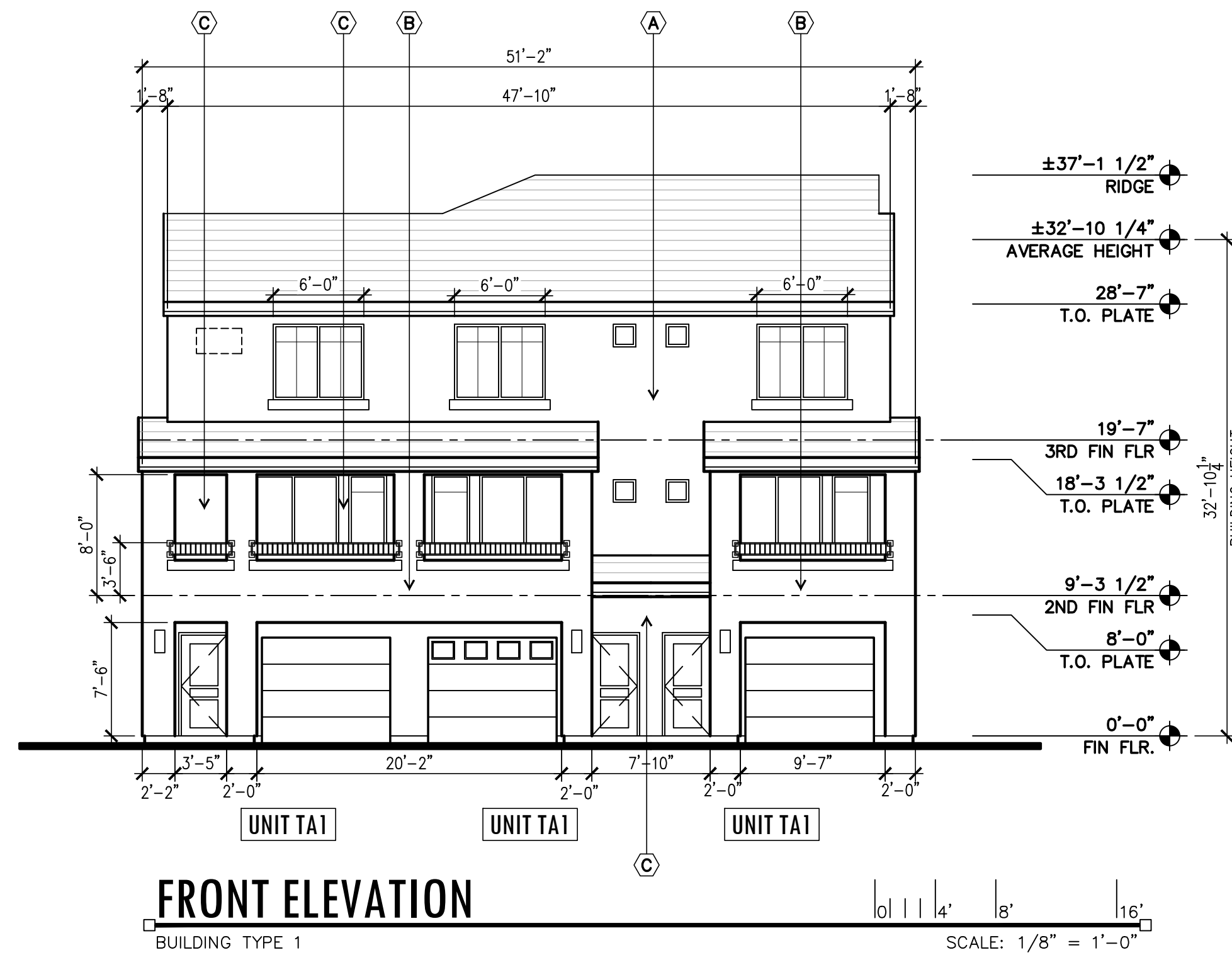
SUPPLEMENTAL TRENCH DETAIL

NTS--PER FIGURE V:2-13 OSHA STANDARD SPECIFICATIONS
NOTE: ENTIRE TRENCH PRISM SHALL BE COMPACTED AT 95% ASTM D1557 INCLUDING ALL UTILITY MAIN LINES, WATER METER BOXES AND SERVICES, SAS SERVICES.



ENGINEER'S SEAL  DAVID SOULE P.E. #14522	86TH AND SUNSET GARDENS MASTER UTILITY PLAN	DRAWN BY WCWJ
		DATE 5-30-18
 Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	SHEET # 4B	21894-LAYOUT-5-01-18
		JOB # 21894

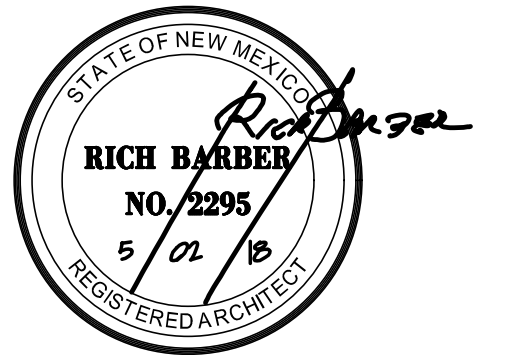
FILE: F:\04\ORB Job Files\Sunset Gardens\18-203_Sunset Gardens\CAD Files\Preliminary\18023_A312 Bldg1 Elevations.dwg USER: jca DATE: May, 02 2018 TIME: 03:21 pm



MATERIAL KEY NOTES:

- A LIGHT BEIGE
- B DARK BEIGE
- C DARK BROWN
- D LIGHT BROWN
- E DARK GRAY
- F STONE VENEER
- G ROOF TILE

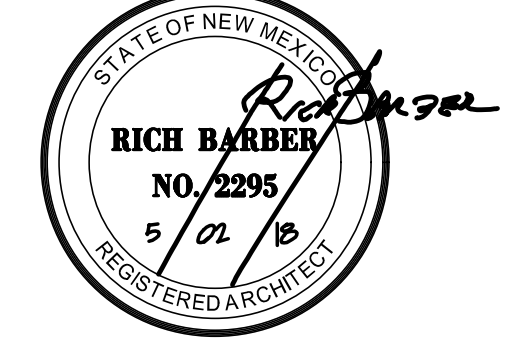
SUNSET GARDENS APARTMENTS
SEC SUNSET GARDENS ROAD AND 86TH STREET
Albuquerque, New Mexico



DATE: MAY 2, 2018 ORB # 18-203

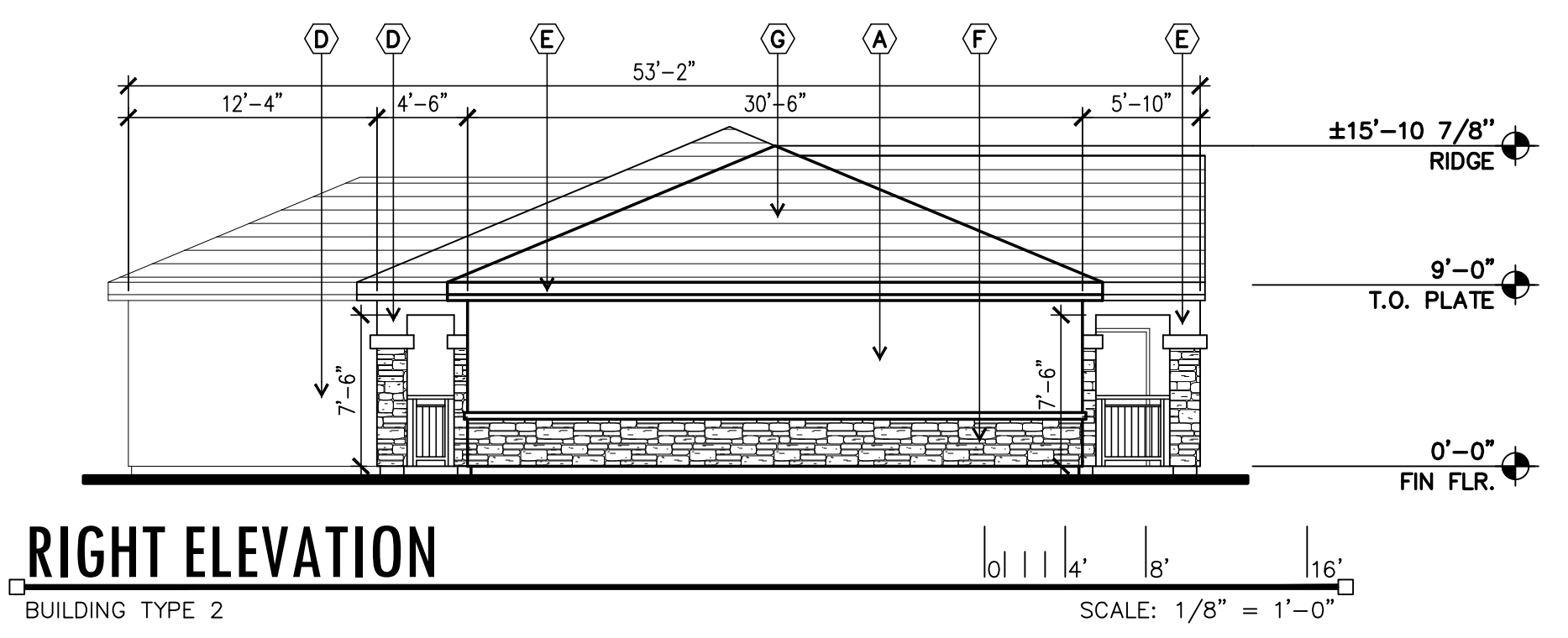
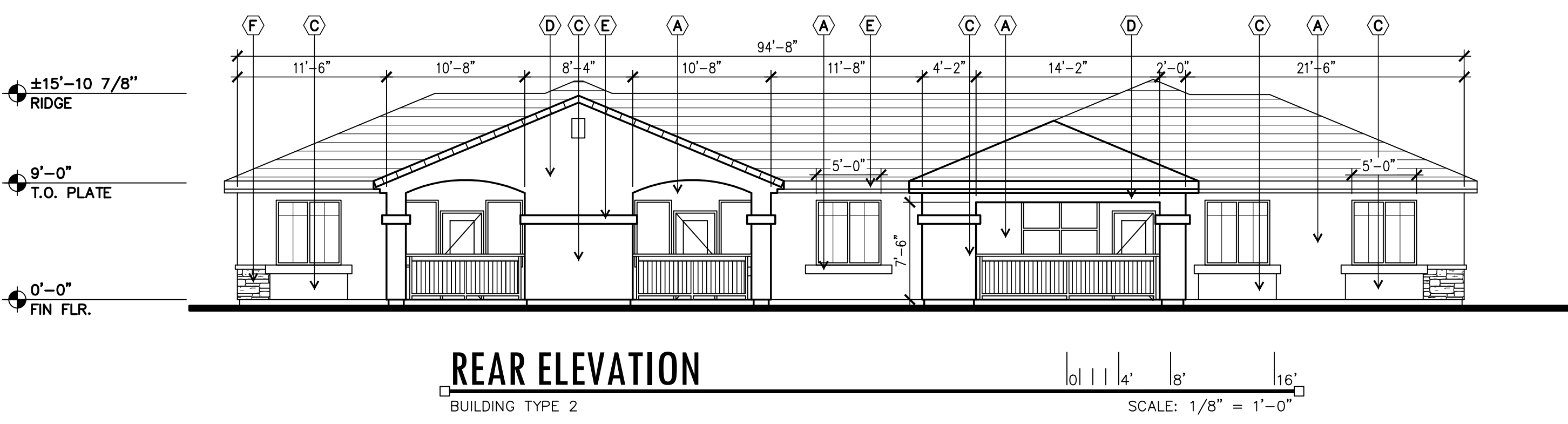
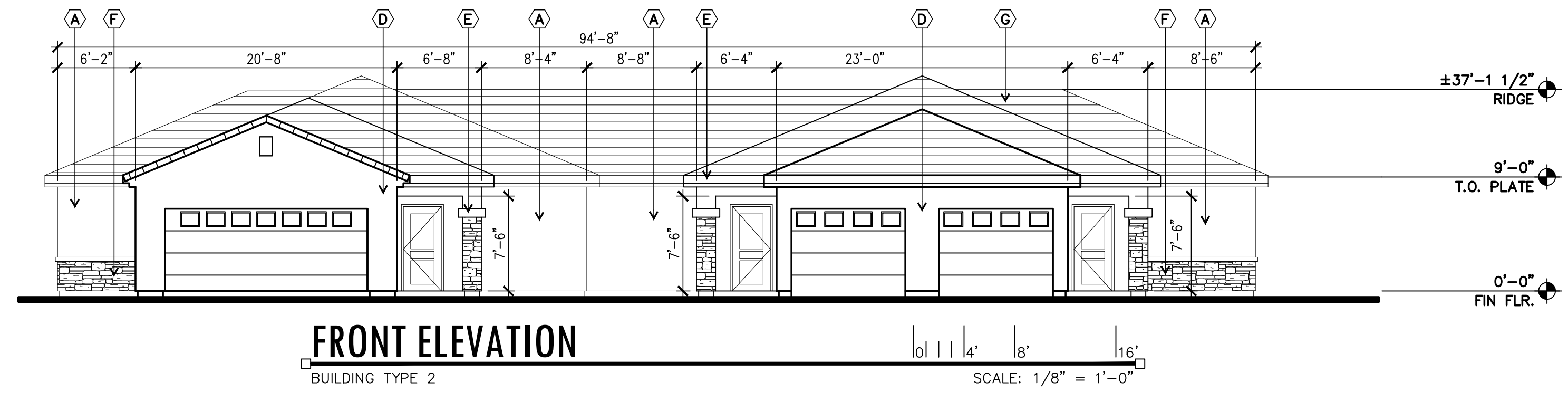
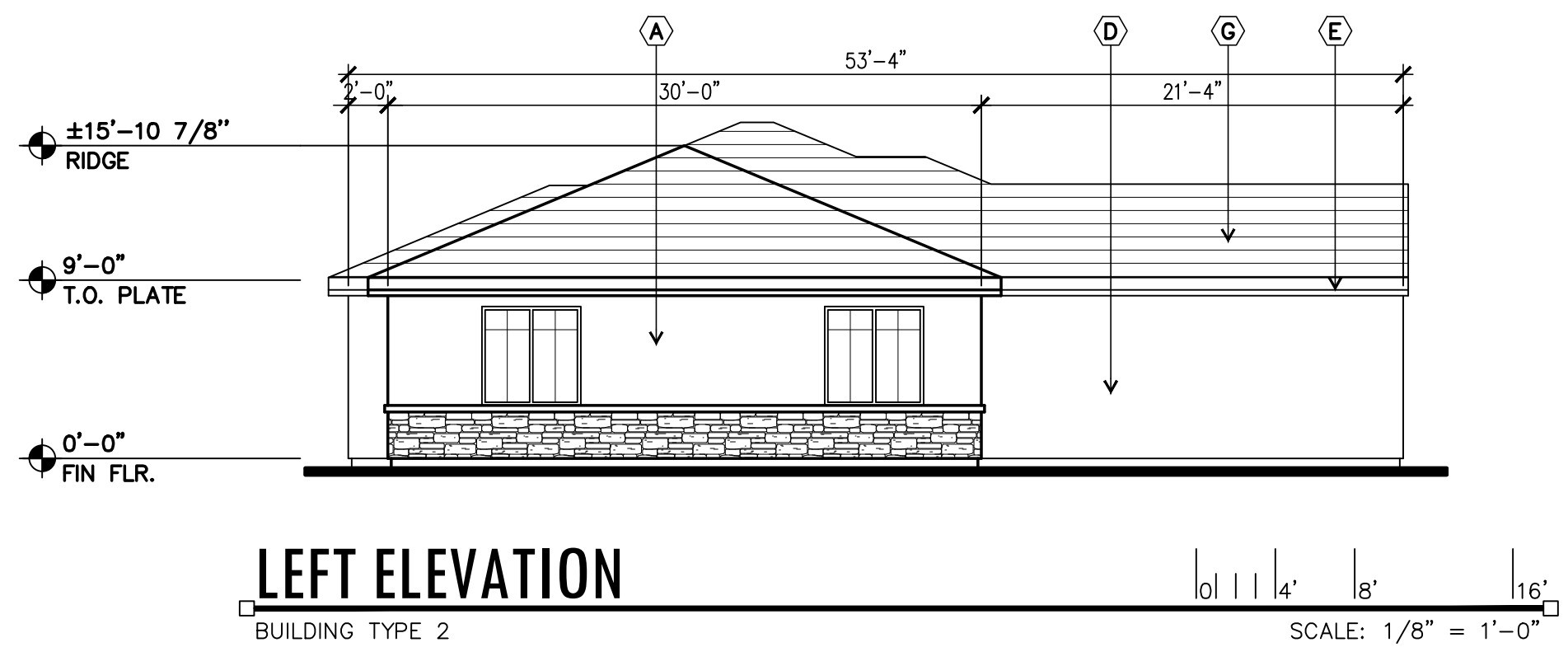
A3.12

BUILDING TYPE 1
ELEVATIONS

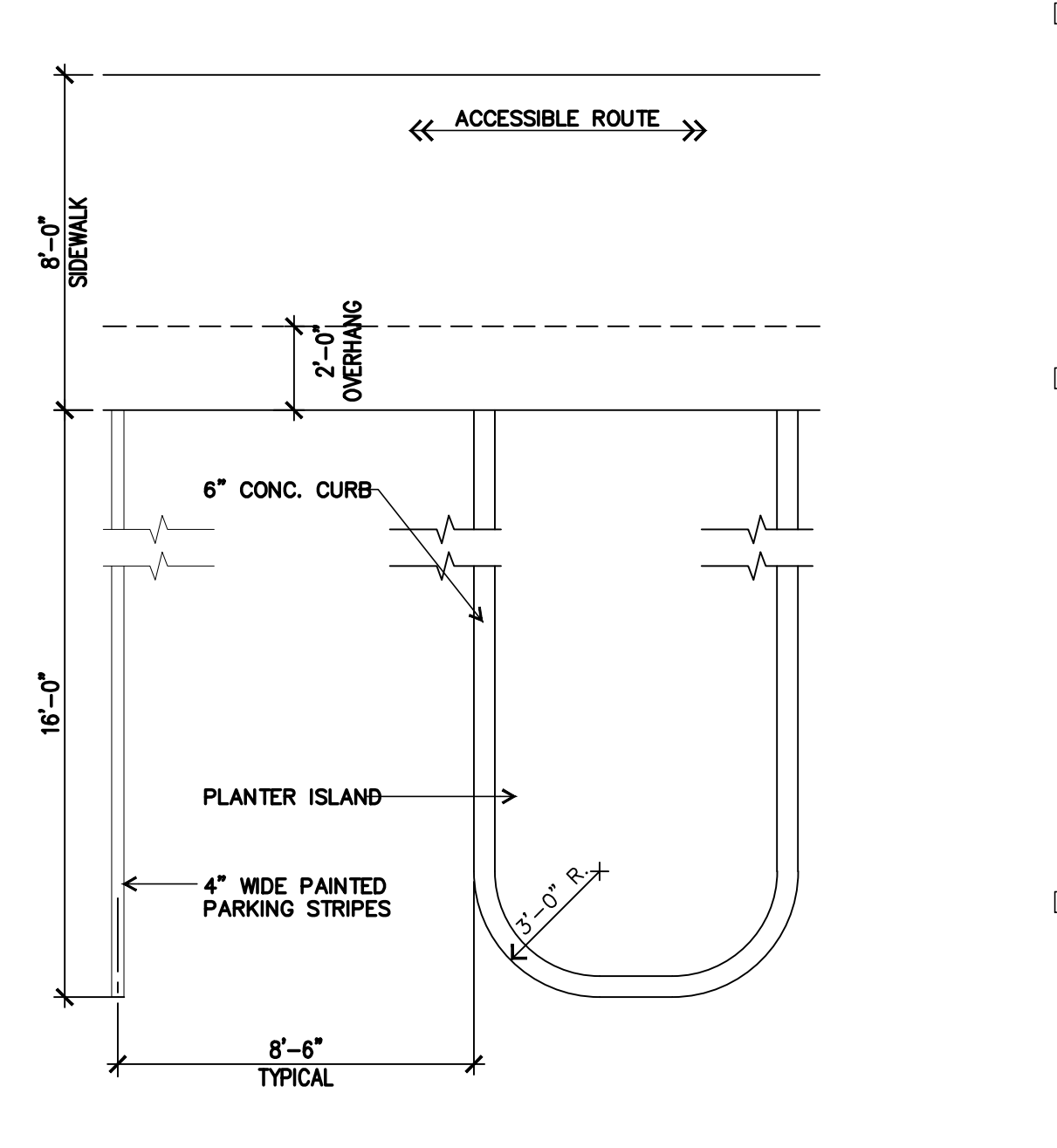
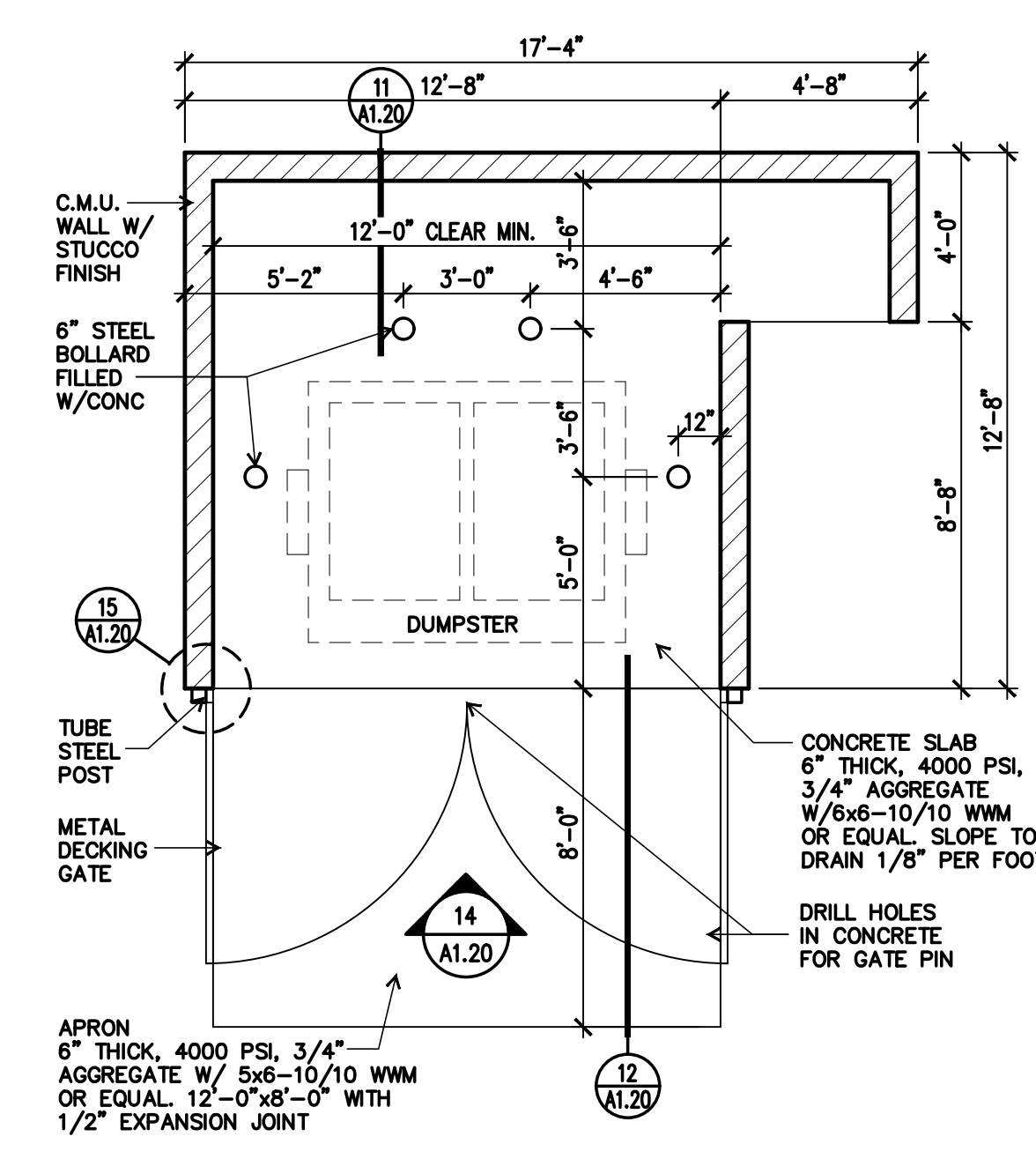
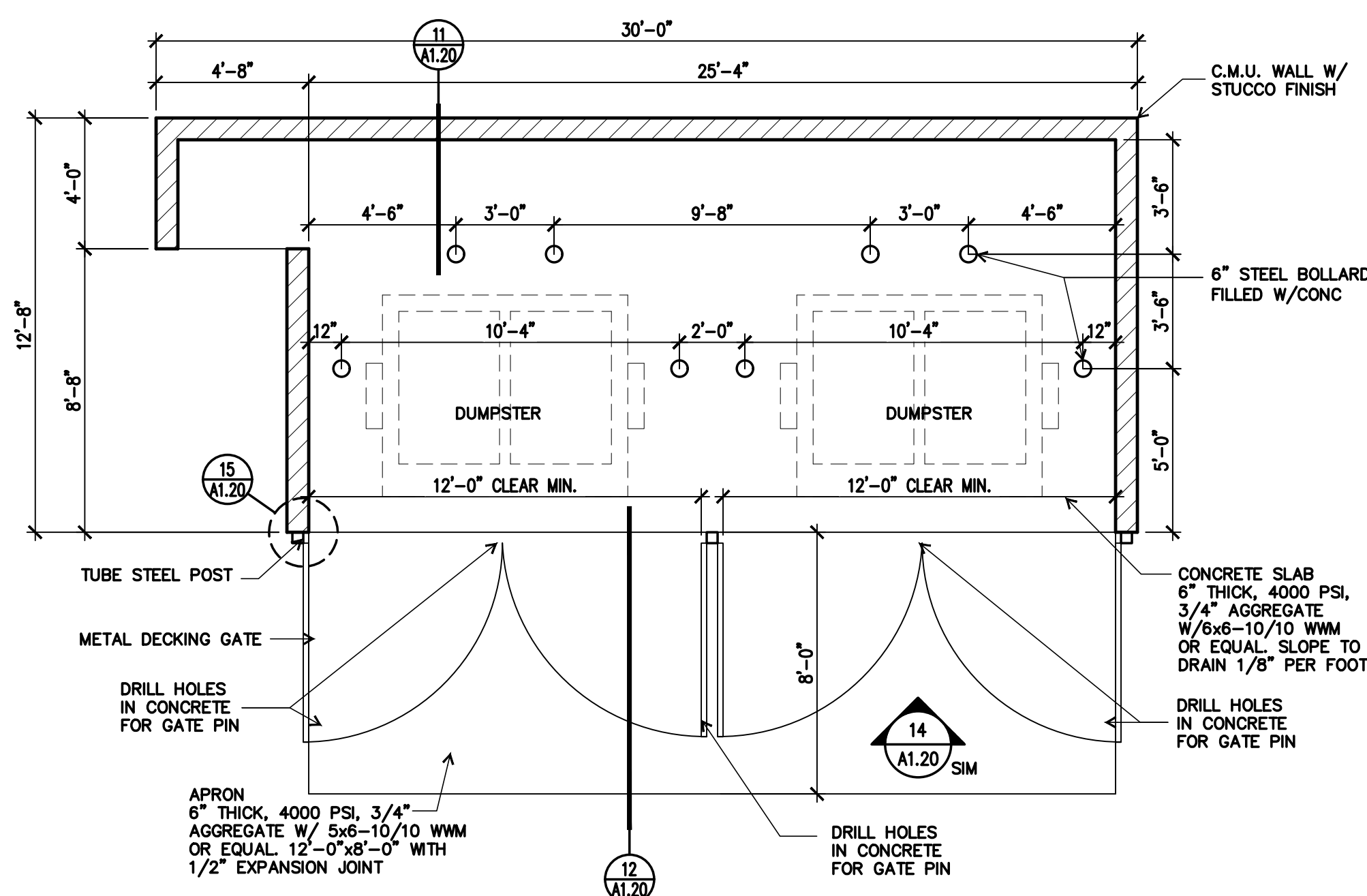


MATERIAL KEY NOTES:

- (A) LIGHT BEIGE
- (B) DARK BEIGE
- (C) DARK BROWN
- (D) LIGHT BROWN
- (E) DARK GRAY
- (F) STONE VENEER
- (G) ROOF TILE



FILE: F:\Ch\ORB Job Files\18-203_Sunset Gardens\CAD Files\Preliminary\18203_A322_Bldg2 Elevations.dwg USER: jca DATE: May, 02, 2018 TIME: 03:22 pm

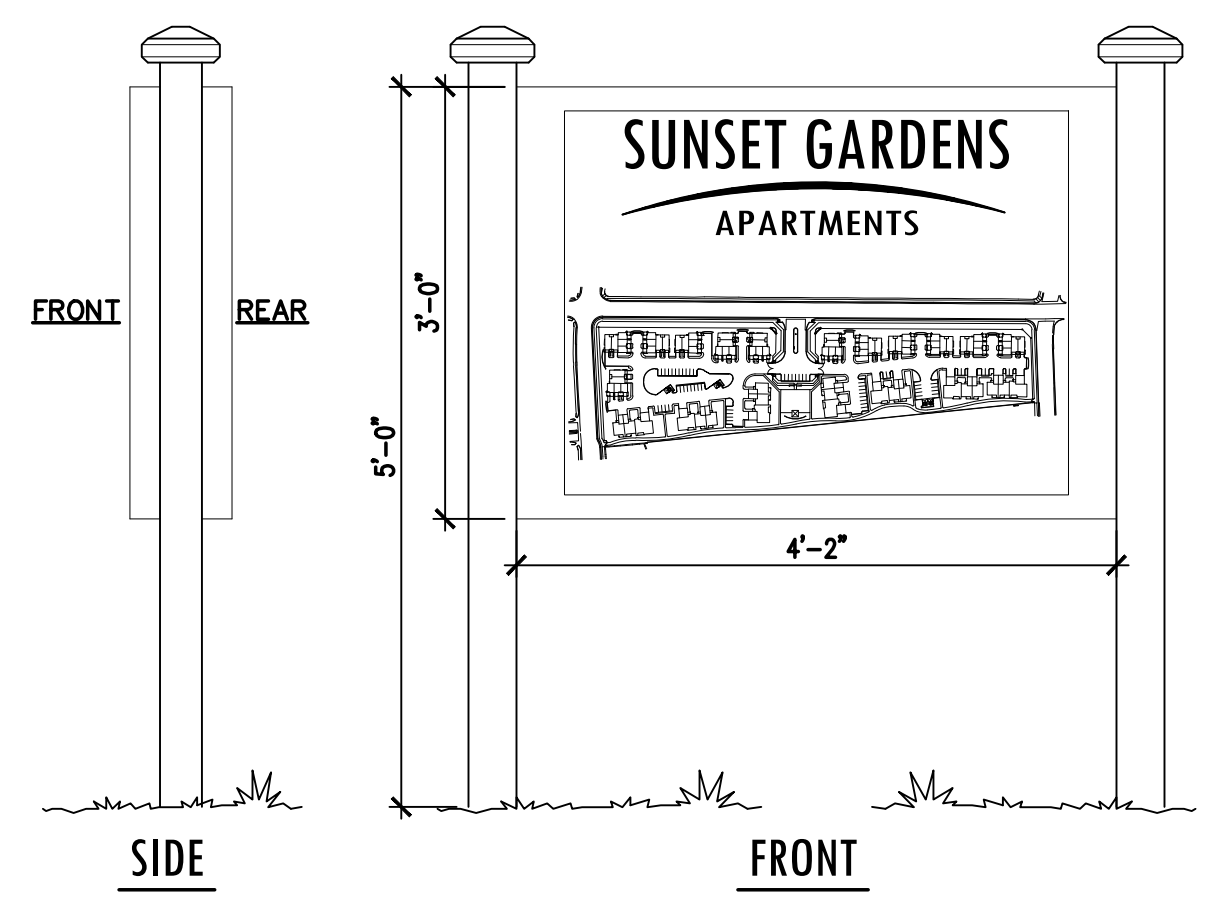


10 DOUBLE TRASH ENCLOSURE PLAN
 SCALE: 1/4" = 1'-0"

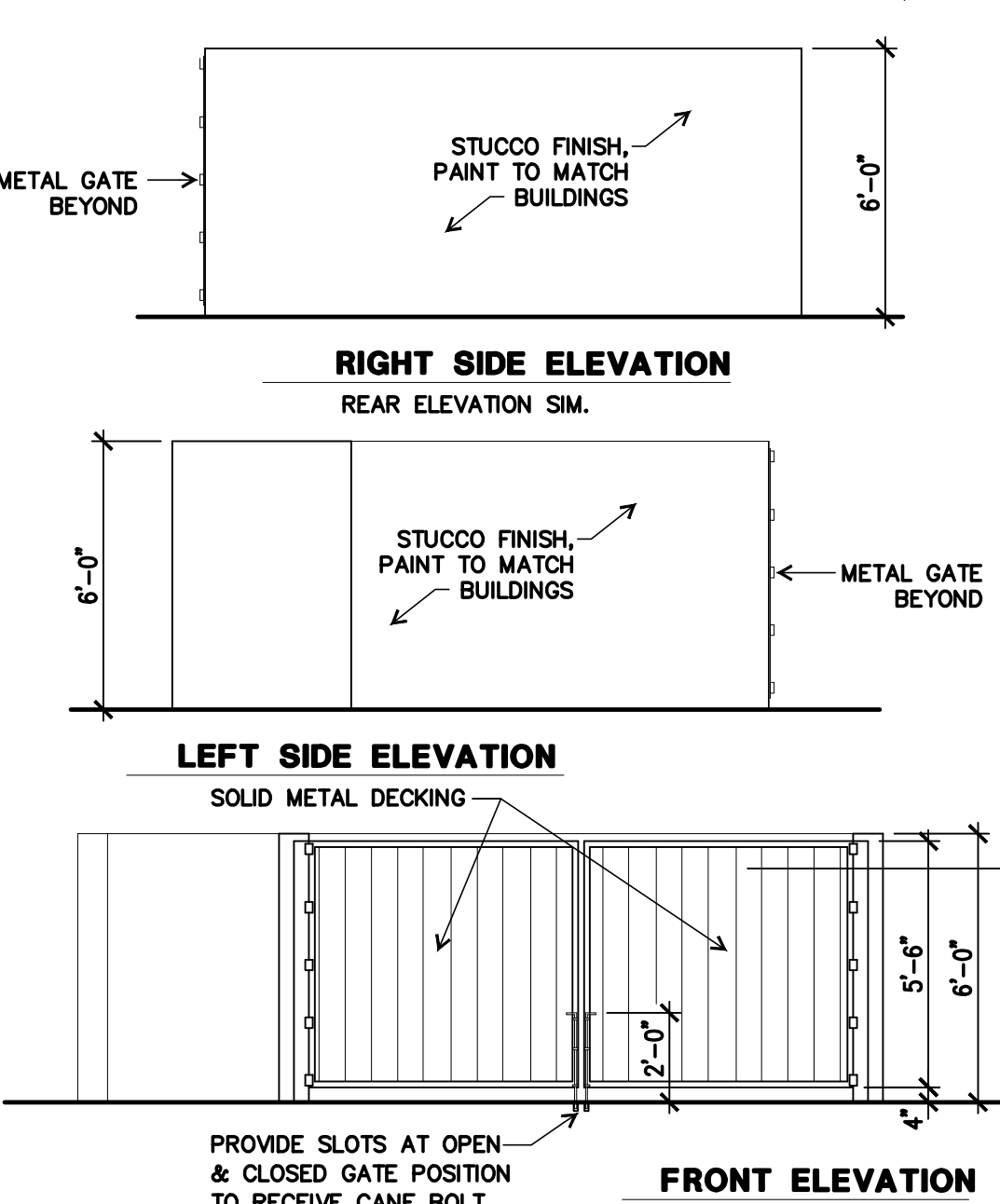
04 SINGLE TRASH ENCLOSURE PLAN
 SCALE: 1/4" = 1'-0"

01 TYPICAL PARKING STALL WITH ISLAND
 SCALE: 1/4" = 1'-0"

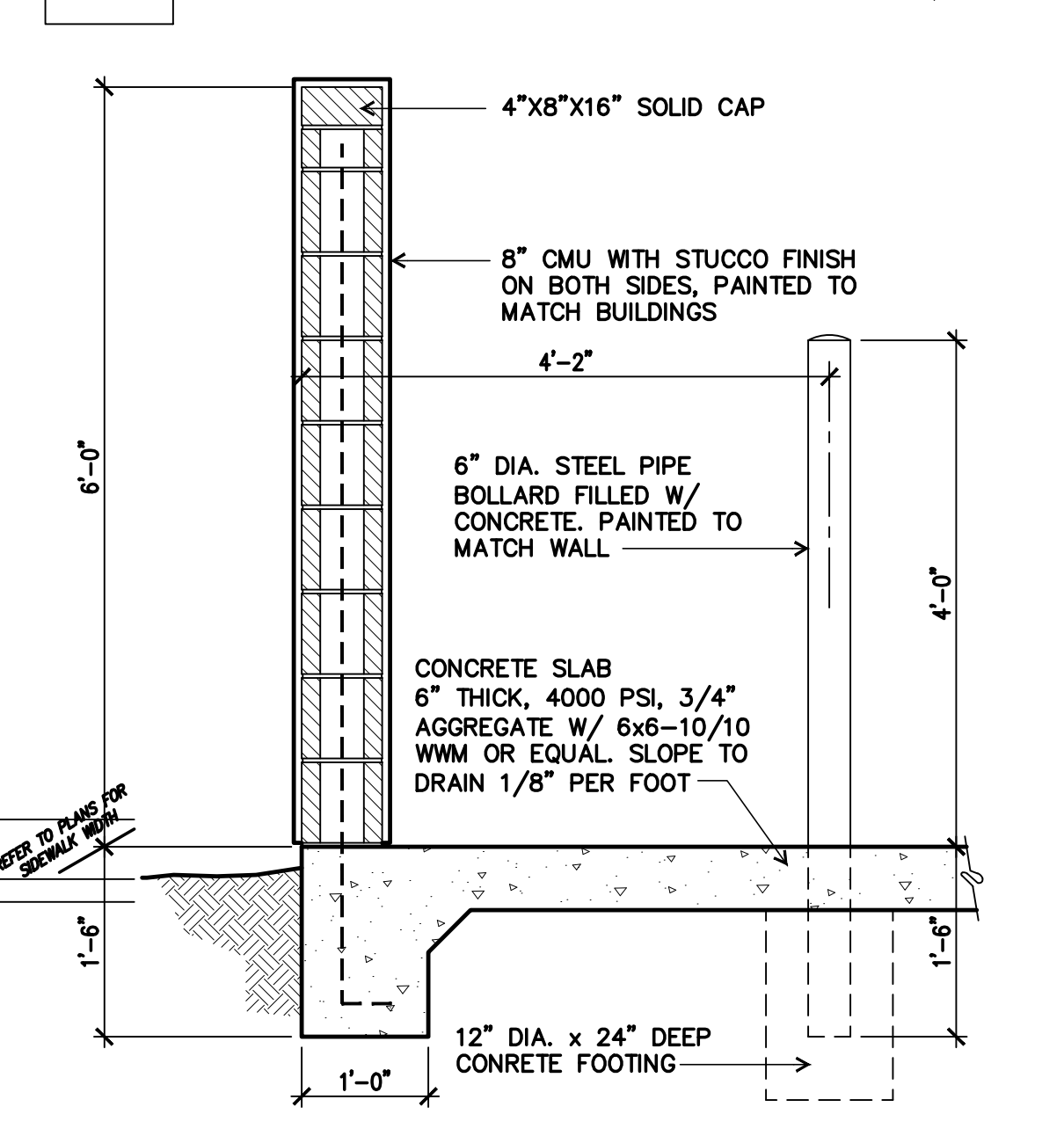
NOTES:
 - INTERNALLY ILLUMINATED SITE MAP DIRECTORY
 - FACE IS CONTRASTING (3) COLOR SCOTCHPRINT LAMINATED TO WHITE OR CLEAR ACRYLIC BACKER WITH OUTER PROTECTIVE FACE. SHOWING BUILDING AND UNIT LOCATIONS.
 - PAINTED CABINET IS CONSTRUCTED OF EXTRUDED ALUMINUM WITH (3) 48" HORIZONTAL LAMPS AND (1) HO BALLAST MOUNTED BETWEEN TWO 4" SQUARE WOOD POSTS WITH TOP FINISH CAPS.
 - PRIMARY ELECTRIC (120V) SUPPLIED BY OTHERS.



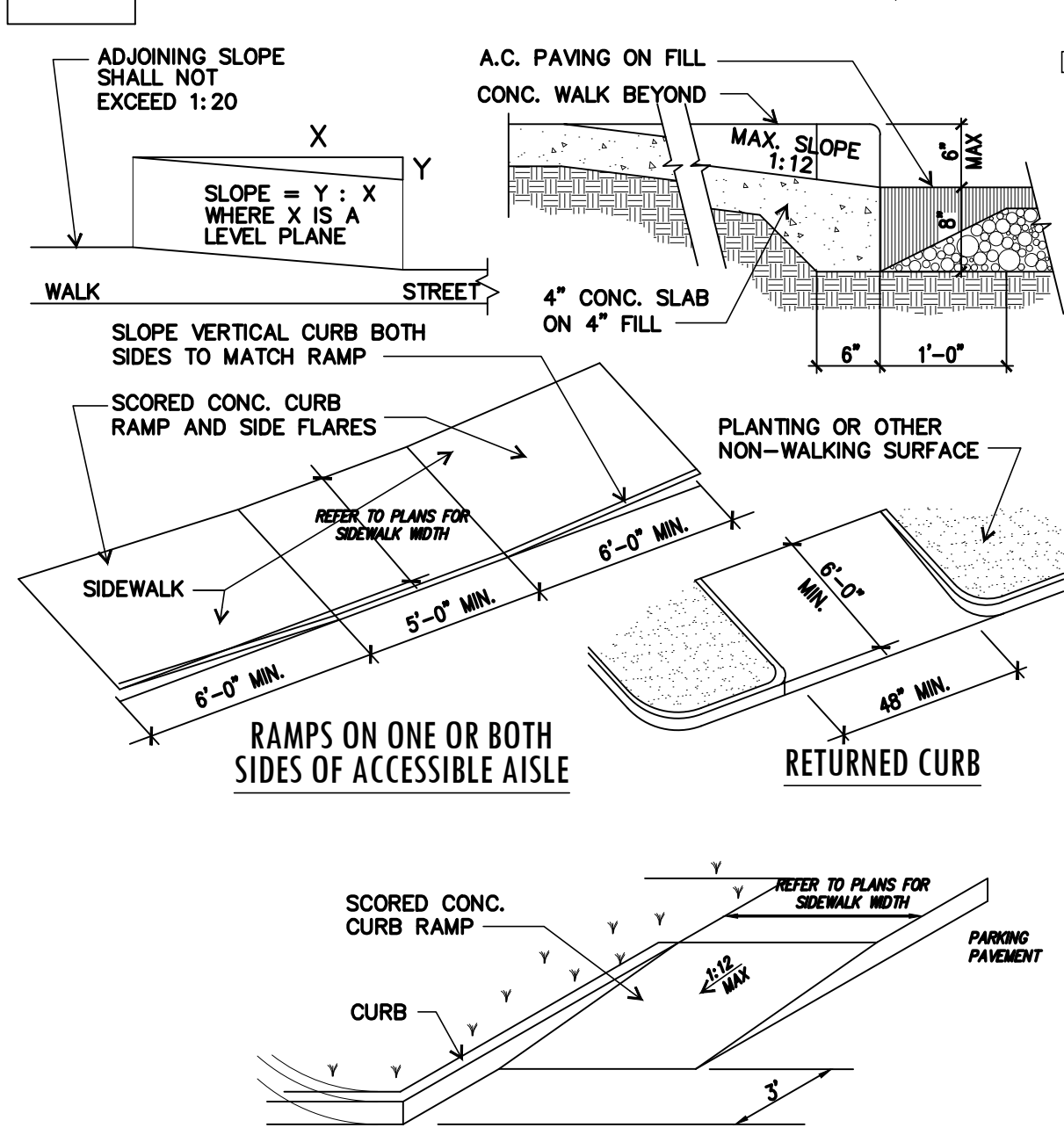
11 SITE DIRECTORY MAP
 NOT TO SCALE



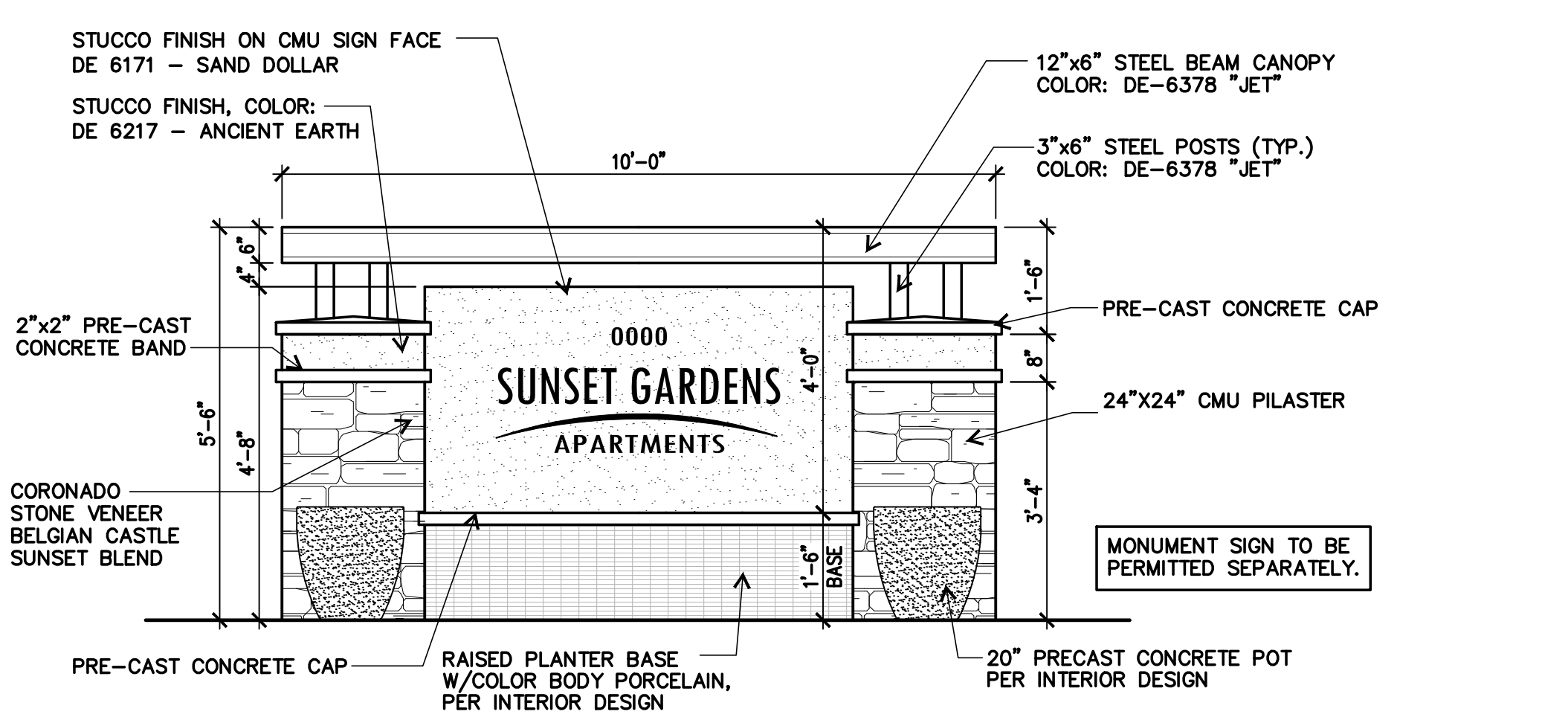
08 REFUSE ENCLOSURE ELEVATIONS
 SCALE: 1/4" = 1'-0"



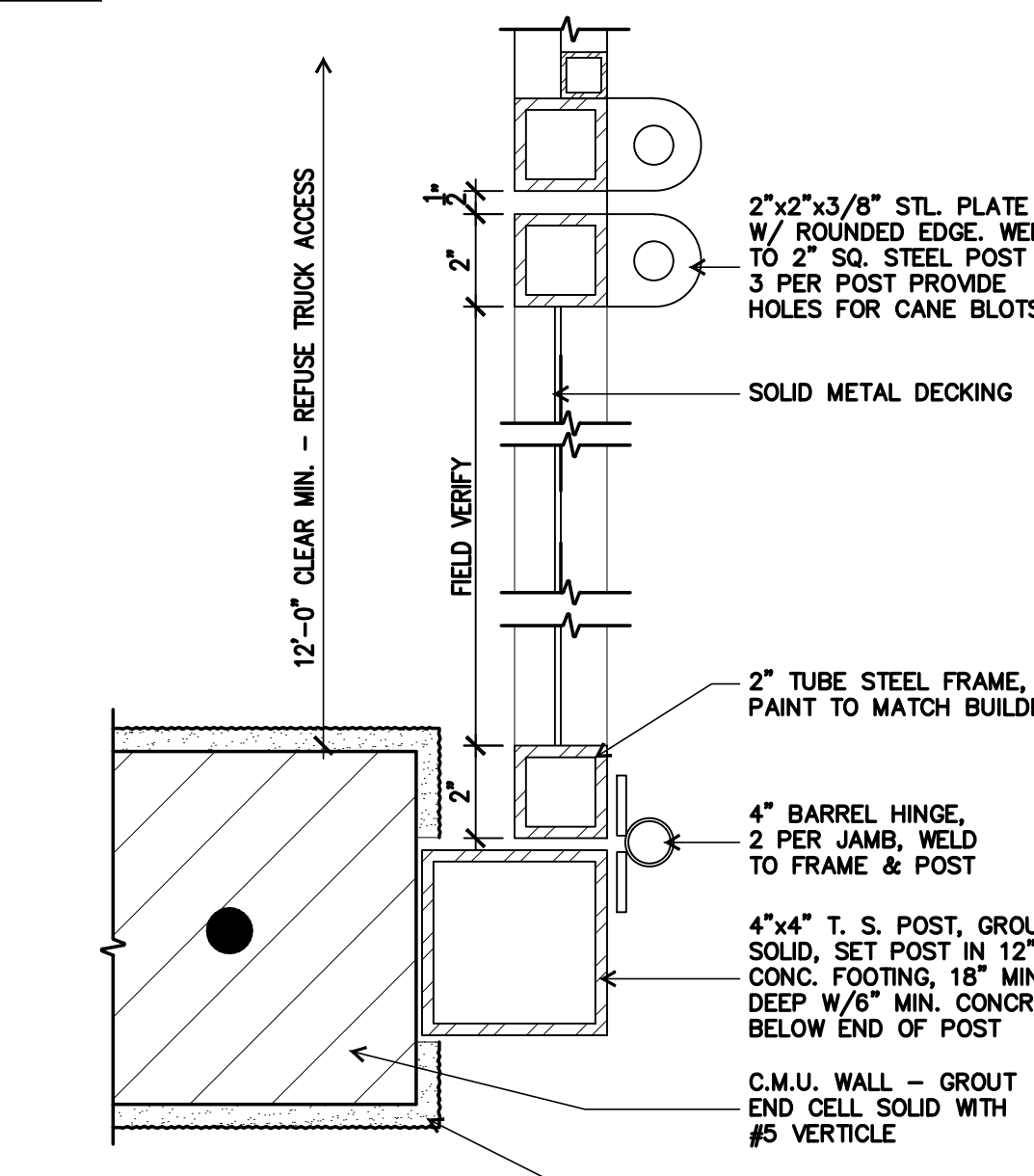
05 TRASH ENCLOSURE WALL
 SCALE: 3/4" = 1'-0"



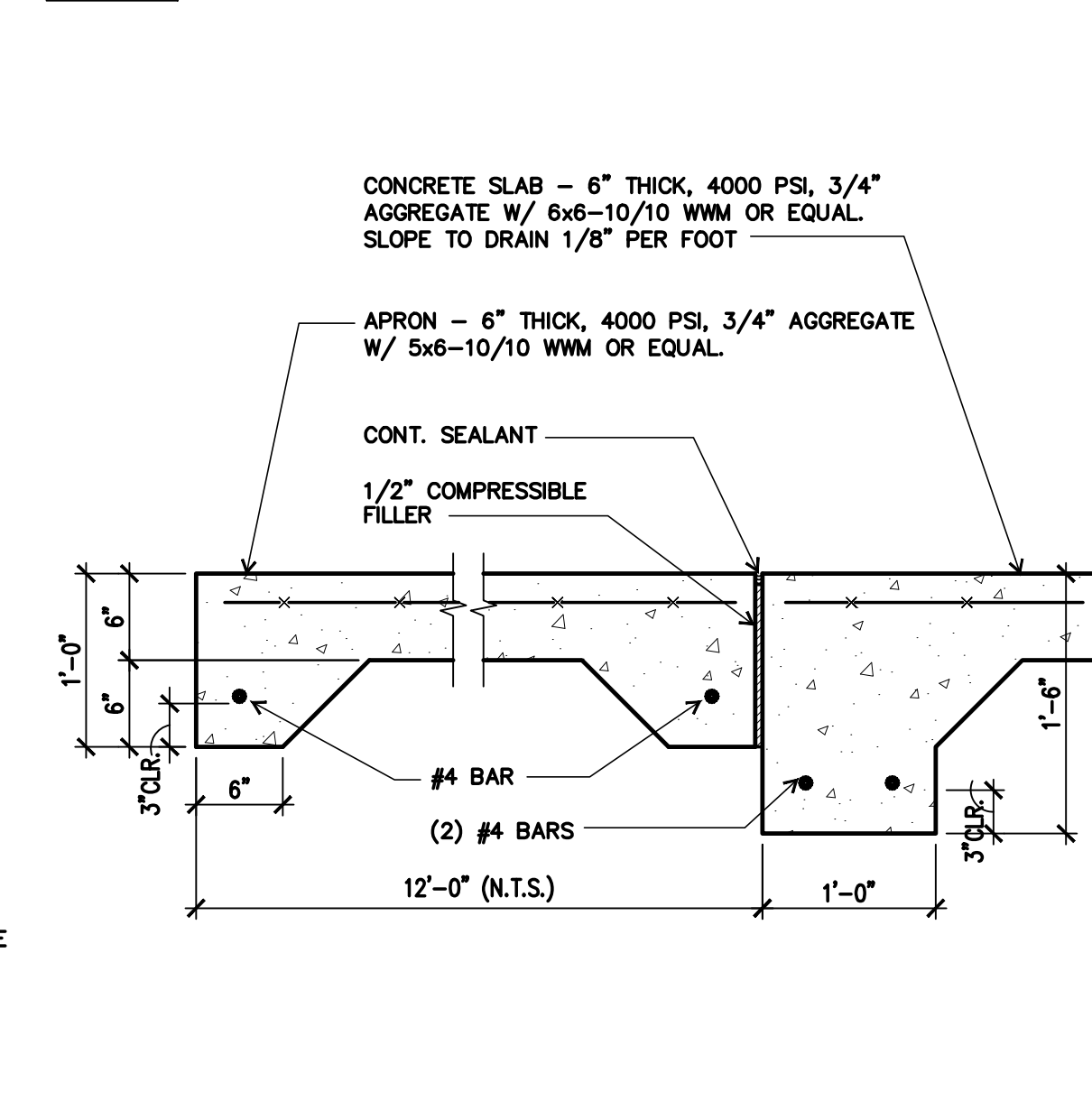
02 TYPICAL ACCESSIBLE RAMP
 NOT TO SCALE



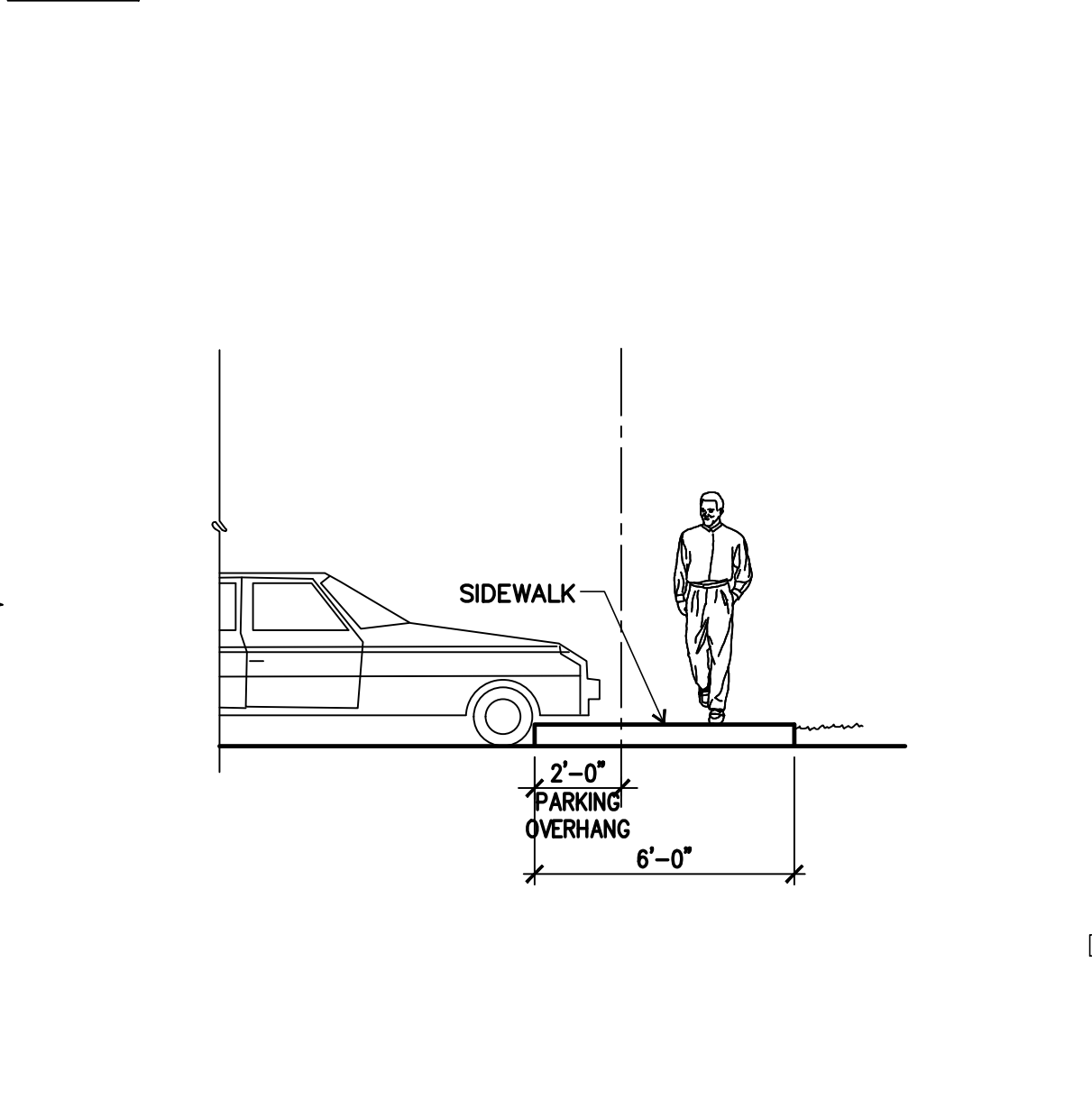
15 MONUMENT SIGN AT ALAMEDA DRIVE - ELEVATION
 SCALE: 1/2" = 1'-0"



09 TRASH ENCLOSURE GATE
 SCALE: 3" = 1'-0"

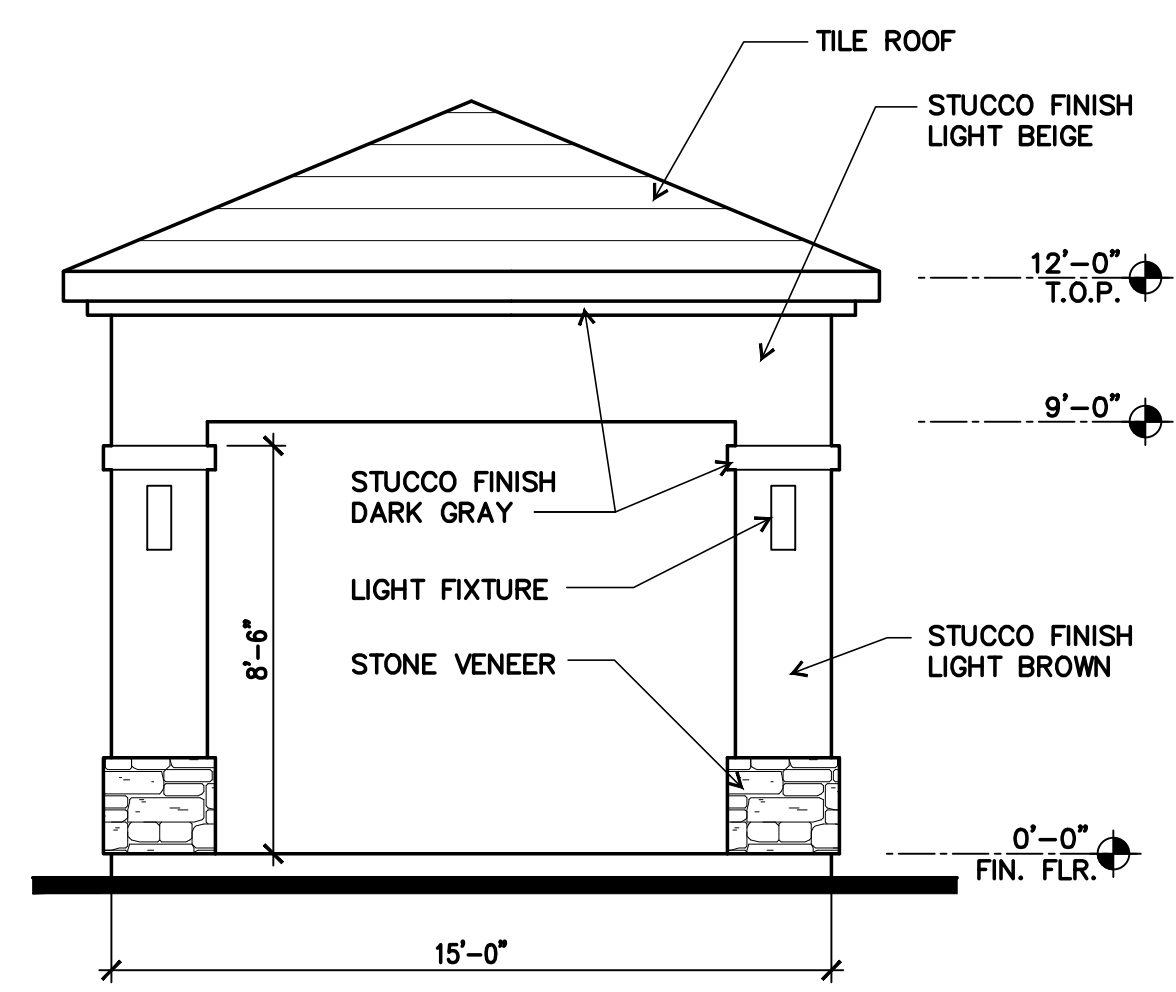


06 REFUSE ENCLOSURE SLAB JOINT
 SCALE: 1" = 1'-0"

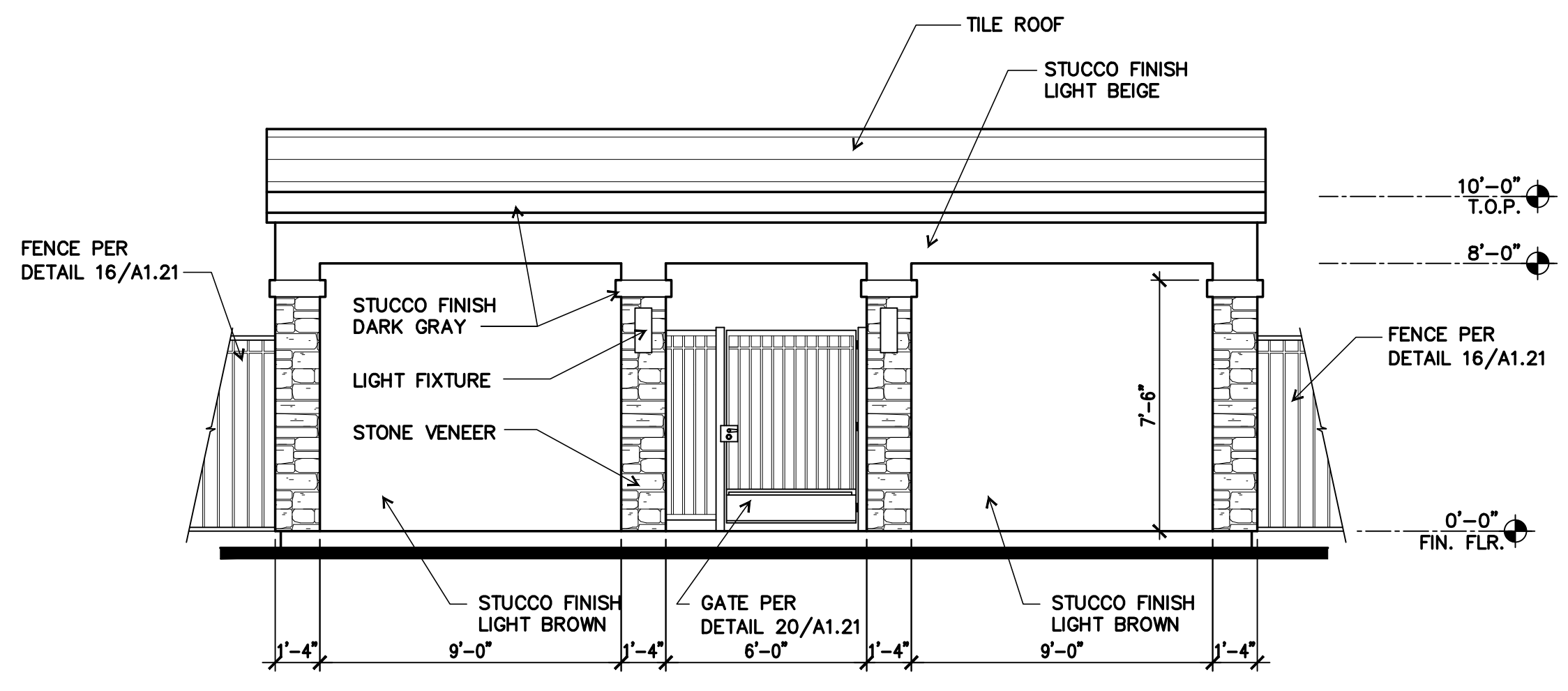


03 SIDEWALK AT PARKING
 SCALE: 1/4" = 1'-0"

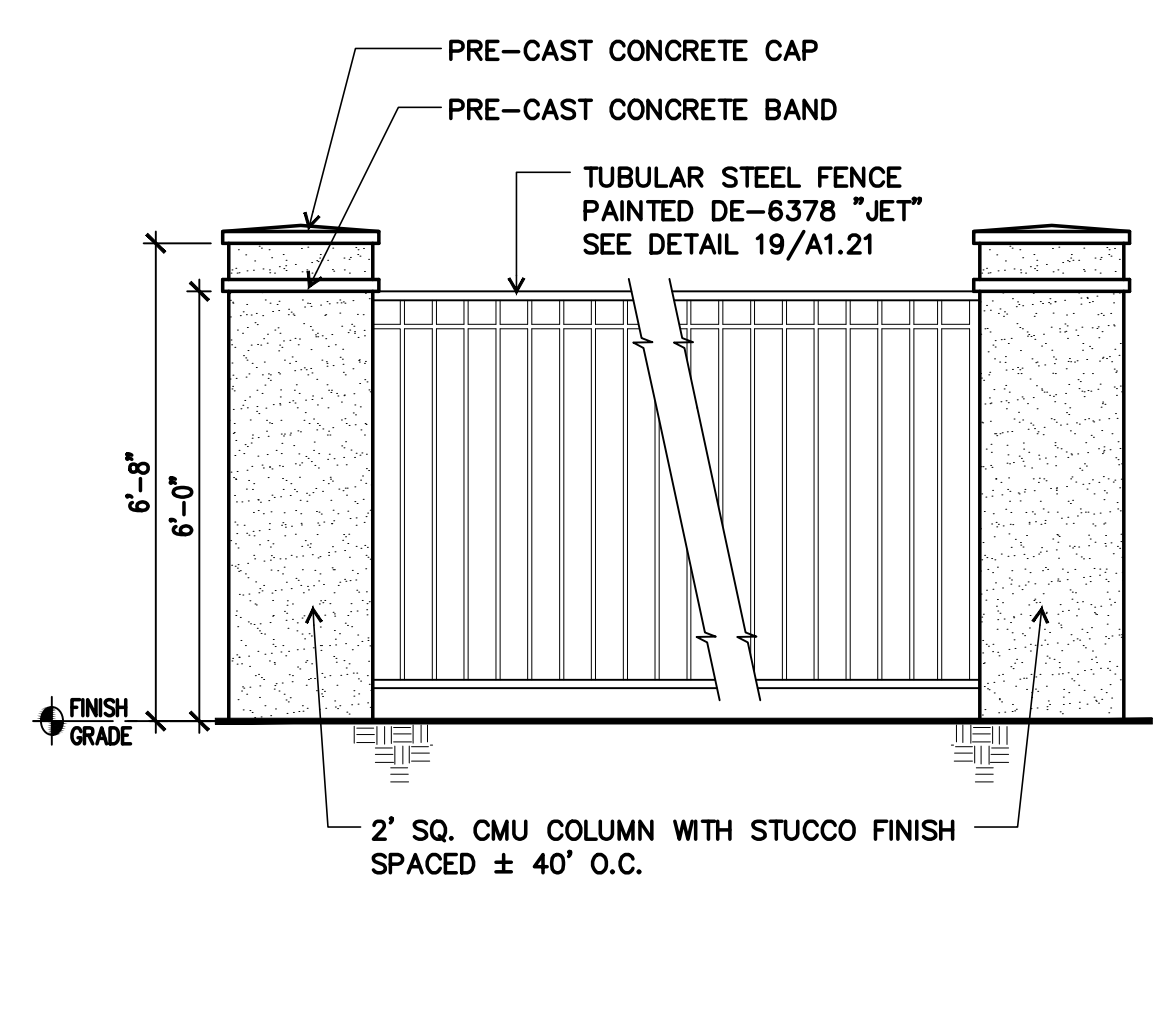
FILE: F:\04\ORB Job Files\Sunset Gardens\CAD Files\Preliminary\18203 A1.20 Site Details.dwg USER: jco DATE: May, 02, 2018 TIME: 03:19 pm



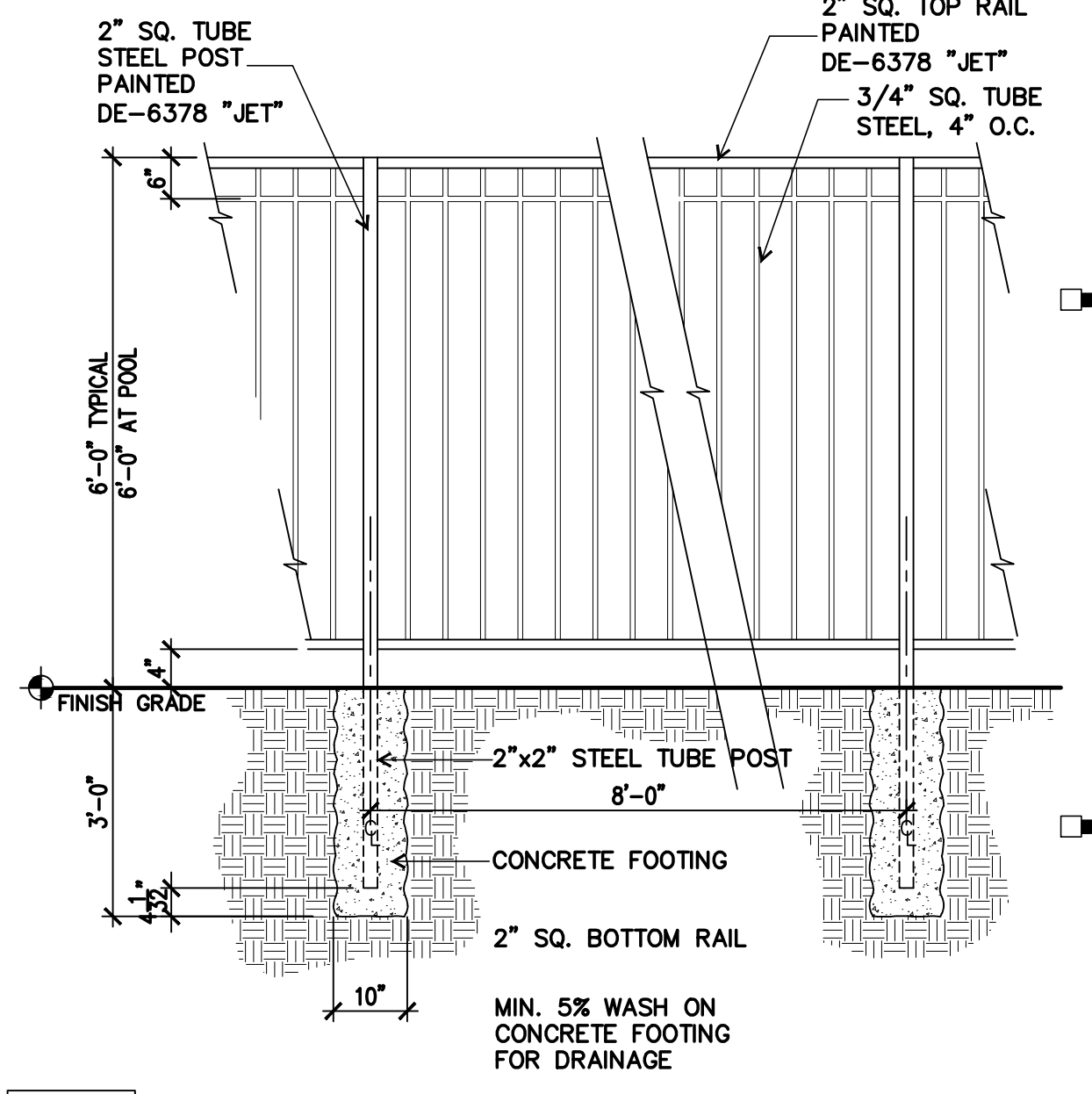
28 RAMADA ELEVATION
SCALE: 1/4" = 1'-0"



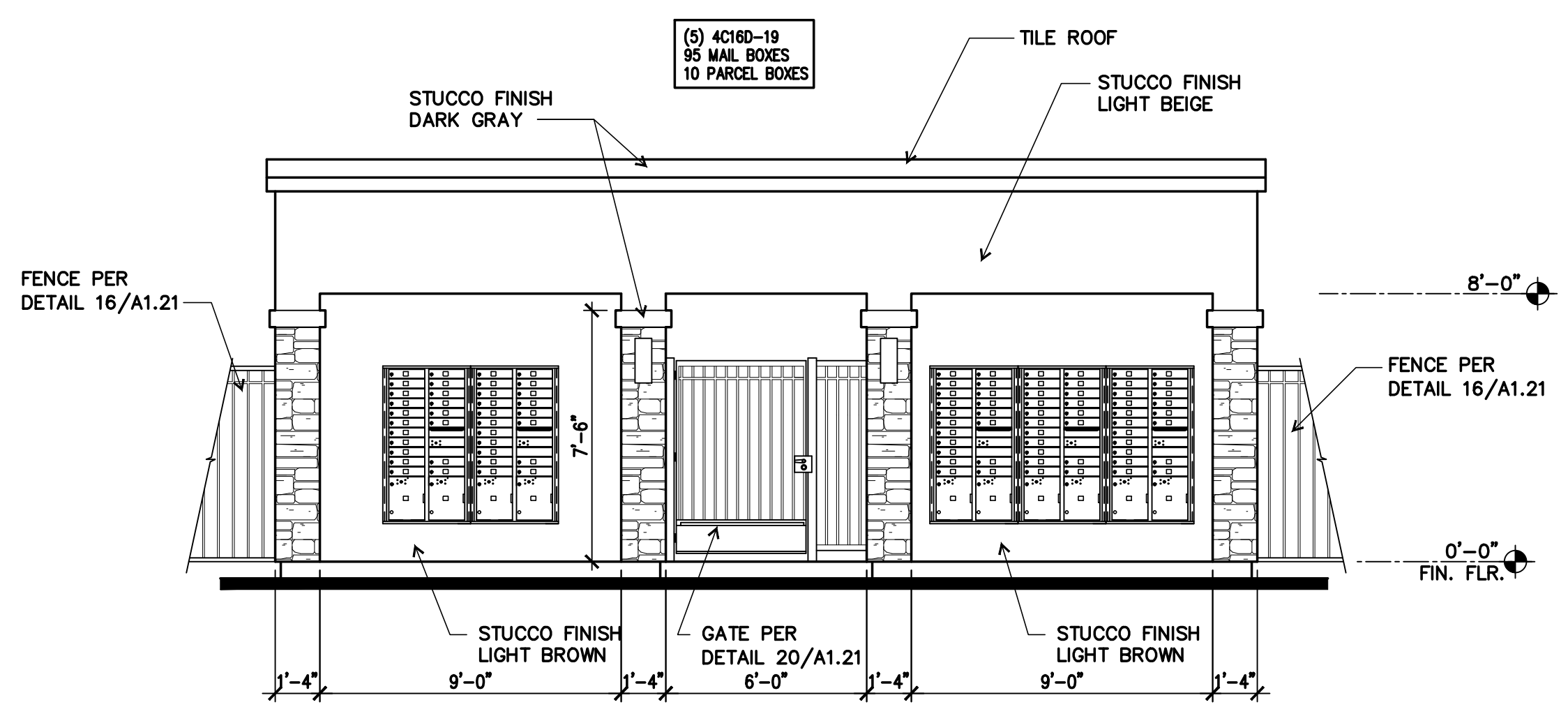
25 MAIL KIOSK ELEVATION - OUTSIDE VIEW
SCALE: 1/4" = 1'-0"



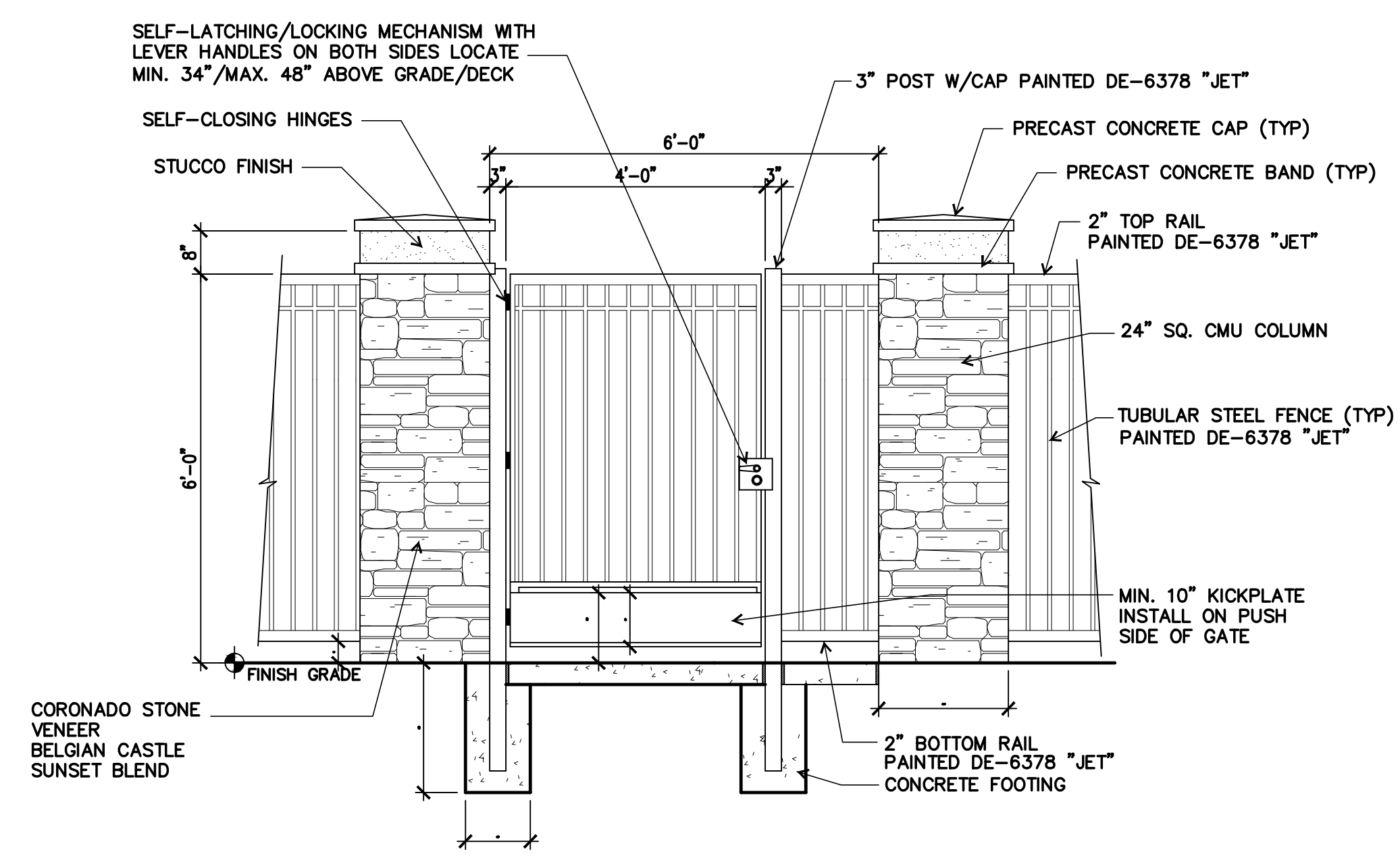
19 PILASTER AT PERIMETER TUBULAR STEEL FENCE
SCALE: 3/8" = 1'-0"



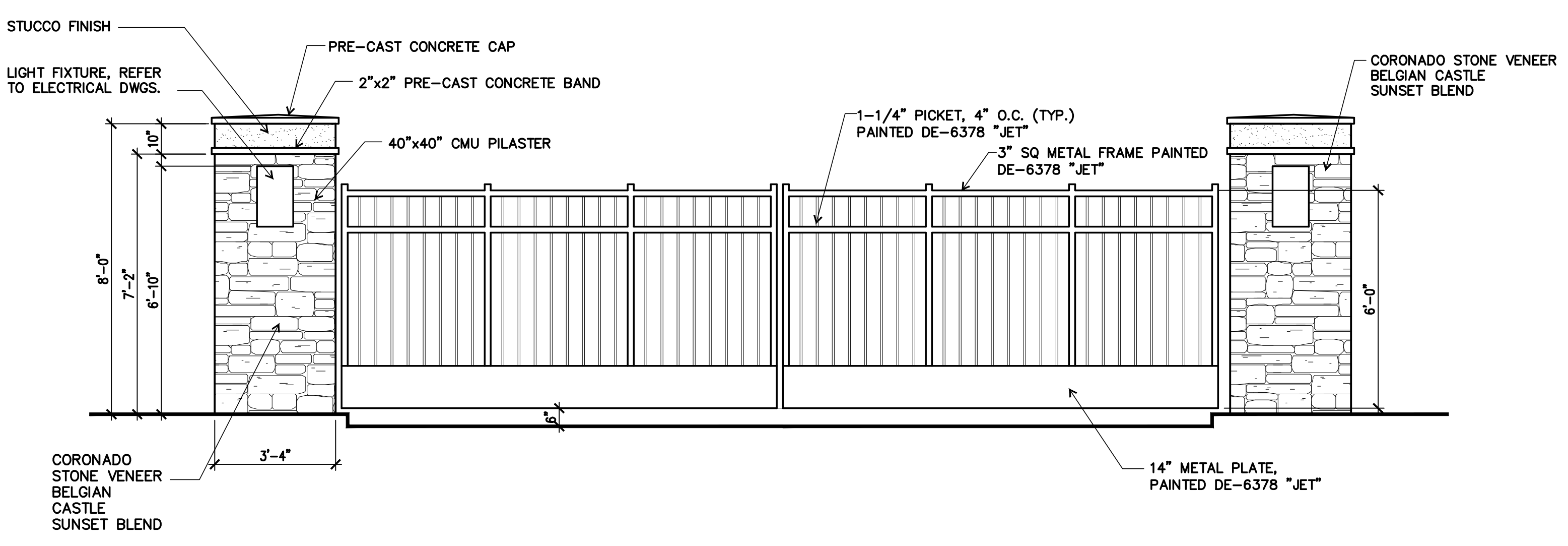
16 TUBULAR STEEL FENCE
SCALE: 1/2" = 1'-0"



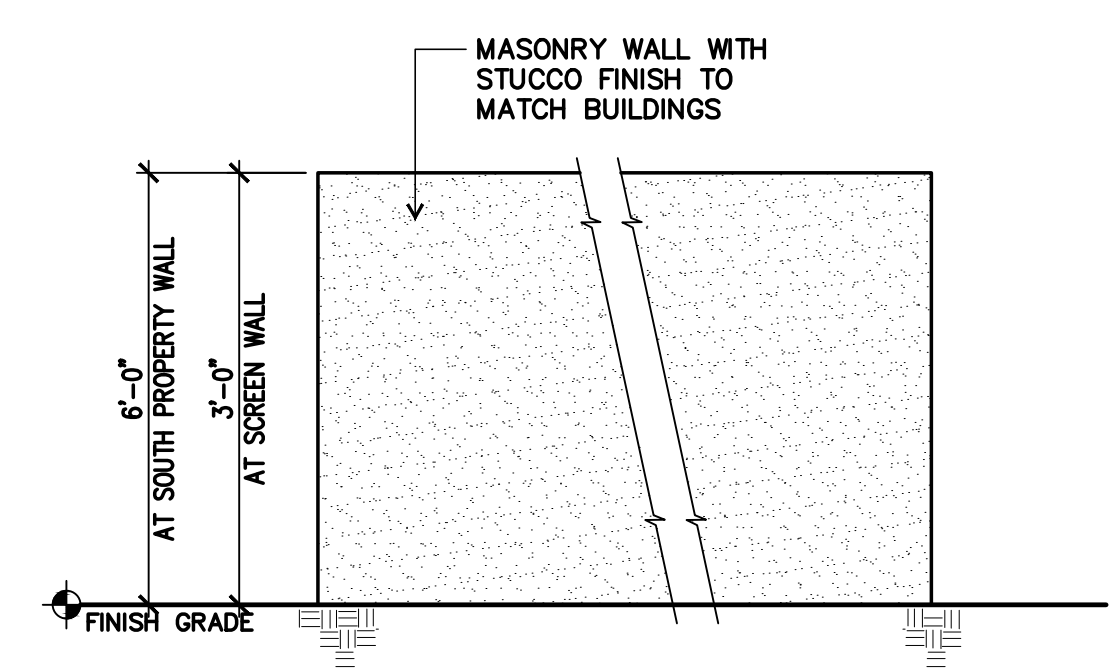
26 MAIL KIOSK ELEVATION - INSIDE VIEW
SCALE: 1/4" = 1'-0"



20 PEDESTRIAN ENTRY GATE
SCALE: 1/2" = 1'-0"



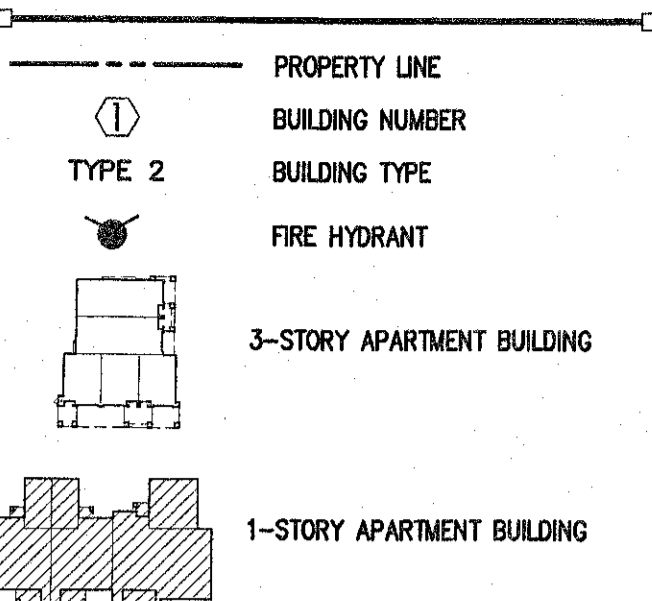
27 VEHICULAR ENTRY GATE
SCALE: 3/8" = 1'-0"



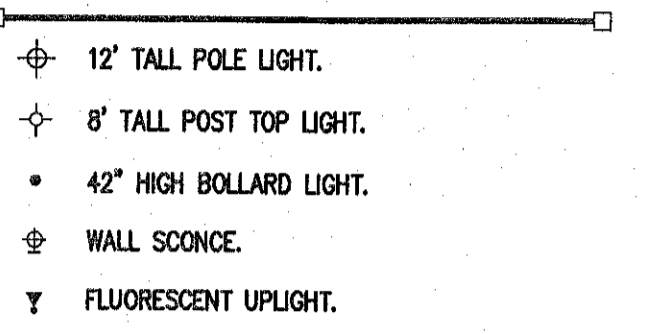
18 PERIMETER MASONRY WALL
SCALE: 3/8" = 1'-0"

FILE: F:\Och\ORB Job Files\18-203_Sunset Gardens\CAD Files\Preliminary\18203 A1.21 Site Details.dwg USER: jco DATE: May, 02, 2018 TIME: 03:20 pm

LEGEND



LIGHTING LEGEND



KEYNOTES

- 8.5'x18' PARKING SPACE WITH 2' OVERHANG, TYPICAL. SEE DETAIL 04/A1.20.
- ACCESSIBLE CURB RAMP. SEE DETAIL 02/A1.20.
- ACCESSIBLE DRIVEWAY CROSSING WITH SCORED CONCRETE.
- DOUBLE TRASH ENCLOSURE SURROUNDED BY 6" CMU WALL PAINTED TO MATCH BUILDINGS. SEE DETAIL 10/A1.20.
- SINGLE TRASH ENCLOSURE SURROUNDED BY 6" CMU WALL PAINTED TO MATCH BUILDINGS. SEE DETAIL 04/A1.20.
- ELECTRONIC ENTRY GATE TO BE EQUIPPED FOR FIRE DEPARTMENT ACCESS. SEE DETAIL 27/A1.21.
- GATE CONTROL BOX AND SITE DIRECTORY MAP. SEE DETAIL 11/A1.20. PROVIDE KNOX BOX FOR FIRE DEPARTMENT ACCESS.
- PEDESTRIAN ENTRY GATE. SEE DETAIL 20/A1.21.
- WROUGHT IRON PERIMETER VIEW FENCE, SEE DETAIL 18 & 19/A1.21.
- 3' H. CMU SCREEN WALL. SEE DETAIL 18/A1.21.
- EXISTING WALL.
- NEW PERIMETER CMU WALL WITH STUCCO FINISH. SEE DETAIL 18/A1.21.
- 6' SIDEWALK DETACHED 4' FROM CURB, TYPICAL AT ALL STREET FRONTAGE.
- 6' SIDEWALK CONNECTING TO PUBLIC WAYS.
- 4' SIDEWALK, TYPICAL ON SITE.
- 6' SIDEWALK, TYPICAL AT PARKING. SEE DETAIL 03/A1.20.
- 6' SIDEWALK MEANDERING NEXT TO SOUTH PROPERTY EDGE.
- MONUMENT SIGN. SEE DETAIL 15/A1.20.
- SIGHT VISIBILITY, LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- FLAG POLE.
- MAIL KIOSK. SEE DETAIL 25&26/A1.21.
- EXISTING STREET CURB AND GUTTER.
- NEW STREET CURB AND GUTTER.
- CONNECT NEW STREET CURB TO EXISTING.
- RAMADA. SEE DETAIL 28/A1.21.
- EXISTING FIRE HYDRANT.
- NEW PRIVATE FIRE HYDRANT PAINTED ORANGE.

DEVELOPMENT DATA

NET SITE AREA:
5.8689 ACRES (255,649 S.F.)

ZONING:
CURRENT: RD 9 DU/AC
PROPOSED: SU-1 for PRD (PLANNED RESIDENTIAL DEVELOPMENT)

BUILDING HEIGHT:
PROPOSED: 37 FEET

DENSITY:
PROPOSED: 13.80 DU/ACRE

SETBACKS PROVIDED:

	FRONT (N)	REAR (S)	SIDE (E)	SIDE (W)
BUILDINGS	25'-4"	15'	16'-8"	15'-0"
PARKING	124'-9"	15'	15'-2"	15'-10"

UNIT MIX

	UNIT TYPE				UNITS/BLDG	NO. BLDGS	TOTAL UNITS
	A1	C1	TA1	TB1			
LIVABLE	751	1,289	868	1,231			
STOR/GAR	269	466	286	475			
PAT/RAM.	62	83	56	56			
BLDG TYPE 1	2	1	3	2	5	12	60
BLDG TYPE 2	2	1	3	2	3	7	21
TOTAL	14	7	36	24		19	81

- NOTES:**
- UNIT IN BLDG TYPE 1 ARE MULTISTORY UNITS AND ARE EXEMPT FROM ANSI REQUIREMENTS.
 - BLDG TYPE 2 HAS LESS THAN 4 UNITS AND ARE EXEMPT FROM ANSI REQUIREMENTS.

PARKING SPACE REQUIREMENTS

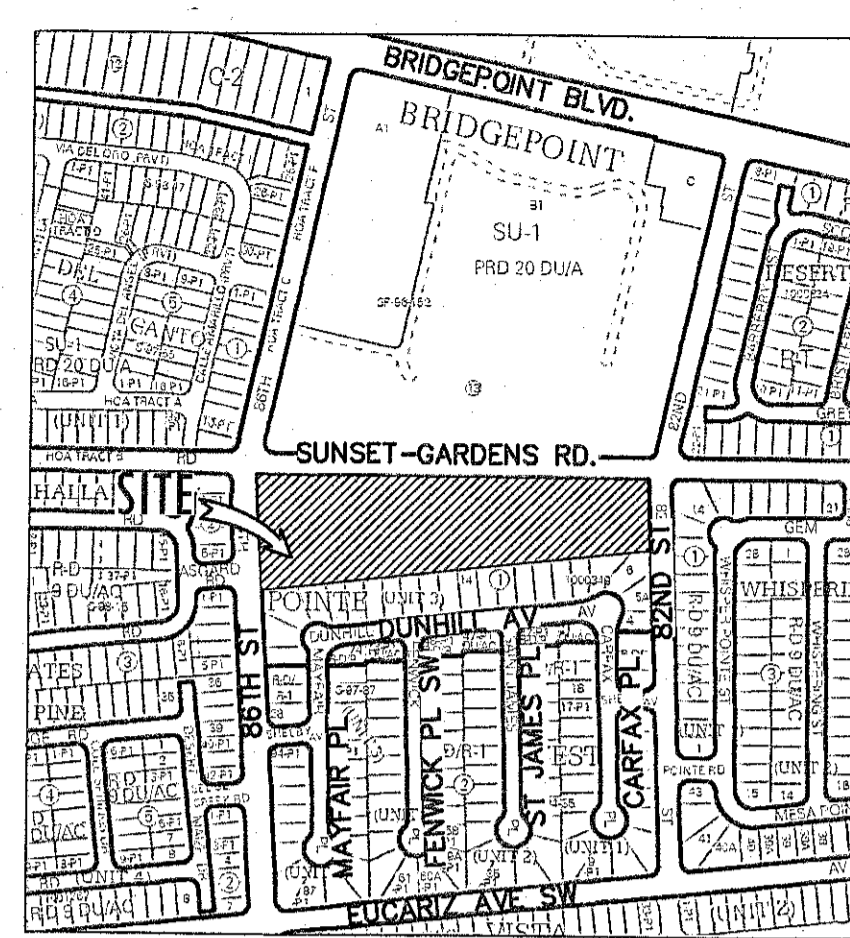
	PARKING RATIO REQUIRED	PARKING SPACES
UNIT A1, TA1 < 1,000 SF	50 - 1 BR / 1 BATH	1.5 / 1
UNIT TB1 > 1,000 SF	24 - 2 BR / 2 BATH	2 / 2
UNIT C1 > 1,000 SF	7 - 3 BR / 2 BATH	2 / 2
Total Parking Spaces Required		137
OPEN PARKING PROVIDED		60
GARAGE PARKING PROVIDED		112
Total Parking Provided		172
Bicycle Parking Required (1 SPACE FOR EVERY 2 DWELLING UNITS)		40
GARAGE		81
Total Bicycle Parking Provided		81

MINIMUM ON-LOT USABLE OPEN SPACE REQUIRED AND PROVIDED

	SF REQ. PER DU	# OF DU'S	TOTAL SF REQUIRED	TOTAL SF PROVIDED
1 BEDROOM	400	50	20,000	
2 BEDROOM	500	24	12,000	
3 BEDROOM	600	7	4,200	
PROVIDED SITE OPEN SPACE				118,484
PROVIDED BALCONY PRIVATE OPEN SPACE				4,809
TOTAL (EXCESS OF 87,293 SF)	81		36,000	123,293

BUILDING AREAS:

BLDG	OCCUPANCY	AREA			TOTAL PER BLDG	GRAND TOTAL
		1ST FLR	2ND FLR	3RD FLR		
TYPE 1	U/R-2	2,416	2,786	2,477	7,679	92,148
TYPE 2	U/R-2	4,093			4,093	28,651
RAMADA	U	225			225	225
TOTAL						121,024



VICINITY MAP
NOT TO SCALE

PROJECT NUMBER: 1003449
Application Number: 18EPC-40032

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated June 14, 2018, and the Findings and Conditions in the Official Notification of Decision are satisfied.

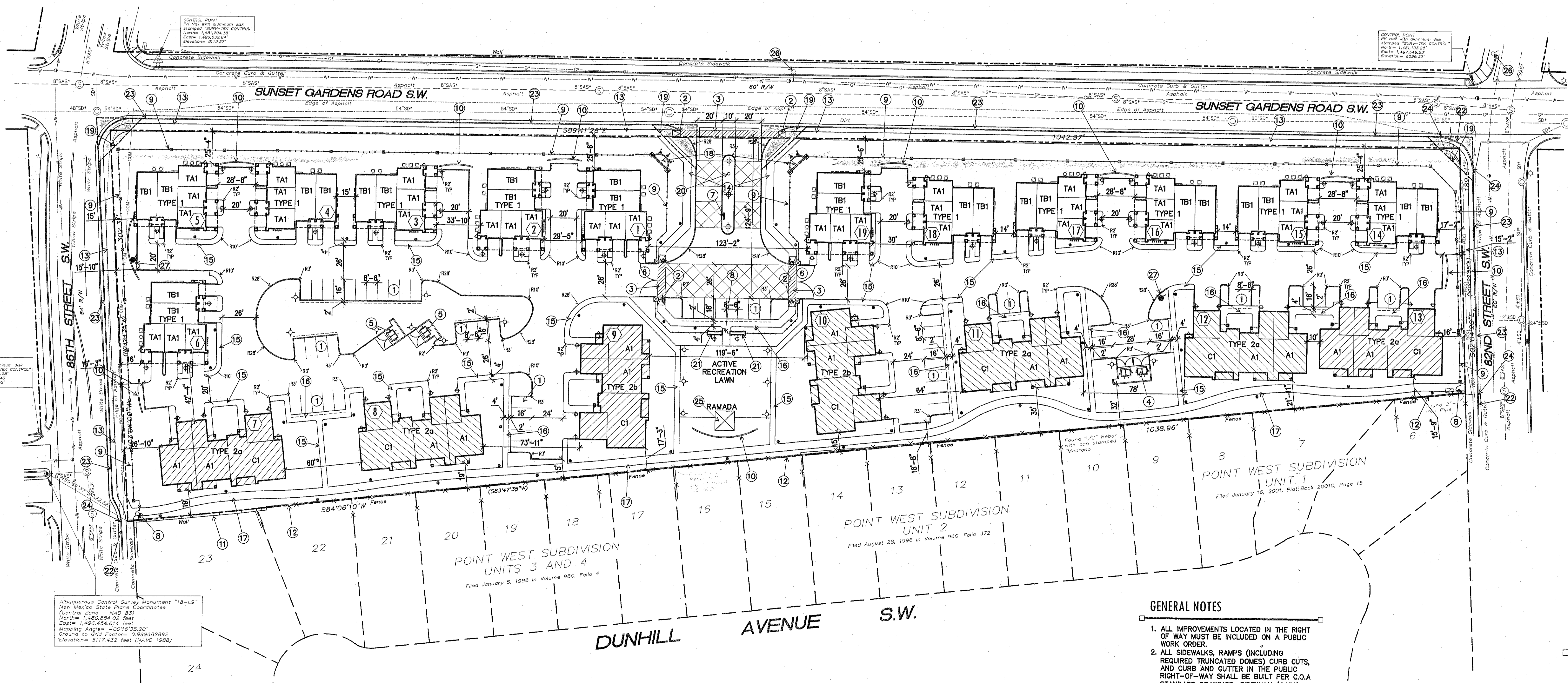
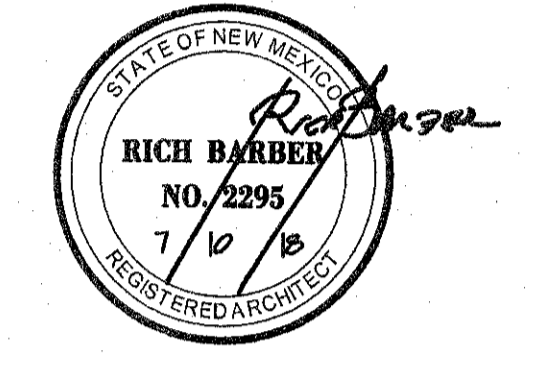
Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer <i>Paul J. Williams</i>	Date 7-11-18
Solid Waste Management	Date
Code Enforcement	Date
DRB Chairperson, Planning Department	Date

SUNSET GARDENS APARTMENTS
SEC SUNSET GARDENS ROAD AND 86TH STREET
Albuquerque, New Mexico

Office of Rich Barber
ORB
Architecture, LLC
WorldHQ@ORBArch.com

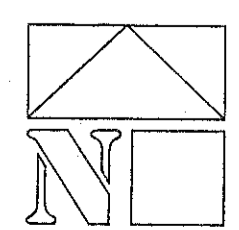


GENERAL NOTES

- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.
- ALL SIDEWALKS, RAMPS (INCLUDING REQUIRED TRUNCATED DOMES) CURB CUTS, AND CURB AND GUTTER IN THE PUBLIC RIGHT-OF-WAY SHALL BE BUILT PER C.O.A STANDARD DRAWINGS; SIDEWALK (24-30), RAMPS (2440), CURB CUTS (2426), CURB AND GUTTER (2417A).
- GROUND MOUNTED MECHANICAL AND ELECTRICAL EQUIPMENT, INCLUDING TRANSFORMERS, ADJACENT TO A MAJOR FACADE SHALL BE SCREENED THROUGH THE USE OF WALLS, EARTH BERMS, DENSE EVERGREEN FOLIAGE OR OTHER ACCEPTABLE SCREENING DEVICE.

SITE PLAN - PRELIMINARY

SCALE: 1" = 40'-0"



DATE: JULY 10, 2018 ORB # 18-203

A1.10

SITE PLAN
PRELIMINARY

BUILDING AREAS

BUILDING TYPE	CONST. TYPE	OCCUP.	SPRINKLERS	ALLOWABLE AREA	1ST FLOOR AREA	2ND FLOOR AREA	3RD FLOOR AREA	TOTAL AREA	BUILDING HEIGHT	OCCUPANT LOAD	BUILDING NUMBER
BLDG TYPE 1	V-B	R-2/U (3)	13R (4,5)	21,000 S.F.(2)	2,478 S.F.(6)	2,795 S.F.	2,477 S.F.	7,750 S.F.	± 32'-11"	24	1-6, 14-19
BLDG TYPE 2	V-B	R-2/U (3)	13R (4,5)	7,000 S.F.(1)	4,110 S.F.(6)			4,110 S.F.	± 13'-1"	15	7-13
RAMADA 1	V-B	U		5,500 S.F.	225 S.F.			225 S.F.	± 10'-6"	15	

- (1) R-2 TYPE V-B ALLOWABLE AREA 2015 IBC TABLE 503 - ALLOWABLE AREA PER FLOOR = 7,000 SF. 7,000 SF X 1 FLOORS = 7,000 SF TOTAL ALLOWABLE AREA
- (2) R-2 TYPE V-B ALLOWABLE AREA 2015 IBC TABLE 503 - ALLOWABLE AREA PER FLOOR = 7,000 SF. 7,000 SF X 3 FLOORS = 21,000 SF TOTAL ALLOWABLE AREA
- (3) OCCUPANCY U - PRIVATE GARAGE OCCUPANCY R-2 - APARTMENTS
- (4) BUILDING TO BE EQUIPPED WITH FIRE ALARM SYSTEM PER IFC SECT. 907
- (5) SPRINKLER NFPA 13 SHALL BE DESIGNED AND INSTALLED PER IBC 2009 SECTION 903.3.1.1. AND SPRINKLER NFPA 13R SHALL BE DESIGNED AND INSTALLED PER IBC 2009 SECTION 903.3.1.2.
- (6) PER IBC SECTION 406.1.2 ALLOWABLE AREA FOR PRIVATE GARAGES IS 3,000 S.F.

	UNIT MIX				UNITS/BLDG	NO. BLDGS	TOTAL UNITS
	A1	C1	TA1	TB1			
LIVABLE STOR/GAR PAT/BAL	751	1,289	868	1,231			
BLDG TYPE 1	2	1	3	2	5	12	60
BLDG TYPE 2	2	1	3	2	3	7	21
TOTAL	14	7	36	24		19	81

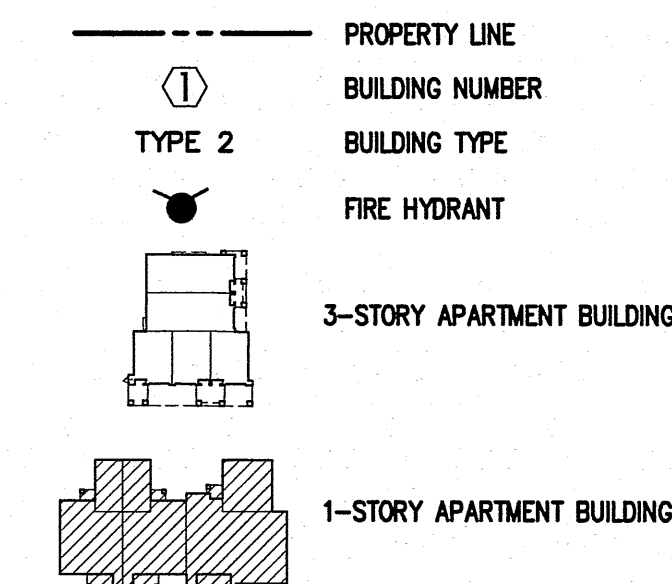
FIRE NOTES:

- ALL REQUIRED FIRE HYDRANTS SHALL BE INSTALLED AND OPERATE BEFORE ANY BUILDING (OR PORTION OF THE BUILDING) IS OCCUPIED.
- AN APPROVED AND ADEQUATE WATER SUPPLY SHALL BE PROVIDED BEFORE ANY COMBUSTIBLE MATERIALS ARE DELIVERED TO THE BUILDING SITE.
- IT SHALL BE UNLAWFUL TO OCCUPY ANY PORTION OF THE BUILDING OR STRUCTURE UNTIL THE REQUIRED FIRE DETECTION, ALARM, AND SUPPRESSION SYSTEMS HAVE BEEN TESTED AND APPROVED.
- SHOP DRAWINGS WILL BE SUBMITTED TO THE FIRE MARSHAL'S OFFICE FOR REVIEW AND APPROVAL OF ANY INSTALLATION OR MODIFICATION TO THE FIRE SPRINKLER SYSTEM, FIRE ALARM SYSTEM, KITCHEN SUPPRESSION SYSTEM, OR ANY OTHER FIRE RELATED SYSTEM. THE FIRE SPRINKLER SYSTEM WILL BE SUPERVISED WHEN REQUIRED BY THE 2009 INTERNATIONAL FIRE CODE.

GENERAL FIRE NOTES:

- SPRINKLER SYSTEM WILL BE MONITORED BY THIRD PARTY SPECIALIST.
- EACH BUILDING WILL BE EQUIPPED WITH AN AUTOMATIC FIRE ALARM SYSTEM.
- EACH DWELLING UNIT WILL BE EQUIPPED WITH A 5 LB. FIRE EXTINGUISHER 2A:10B,C UNDER THE KITCHEN SINK.
- FIRE PROTECTION DRAWINGS AND ALARM SYSTEM WILL BE A DEFERRED SUBMITTAL BY CONTRACTOR AND MUST BE APPROVED PRIOR TO INSTALLATION.
- PROVIDE FIRE LANES AT FIRE HYDRANT AND F.D.C. LOCATIONS.
- PROVIDE BUILDING ID/ADDRESS ON ELEVATION FACING FIRE ACCESS ROAD.
- ALL FIRE APPARATUS ACCESS ROADS SHALL BE ASPHALT OR CONCRETE AND CAPABLE OF SUPPORTING 75,000 POUNDS. ALL FIRE APPARATUS ROADS SHALL NOT EXCEED 10%.

LEGEND

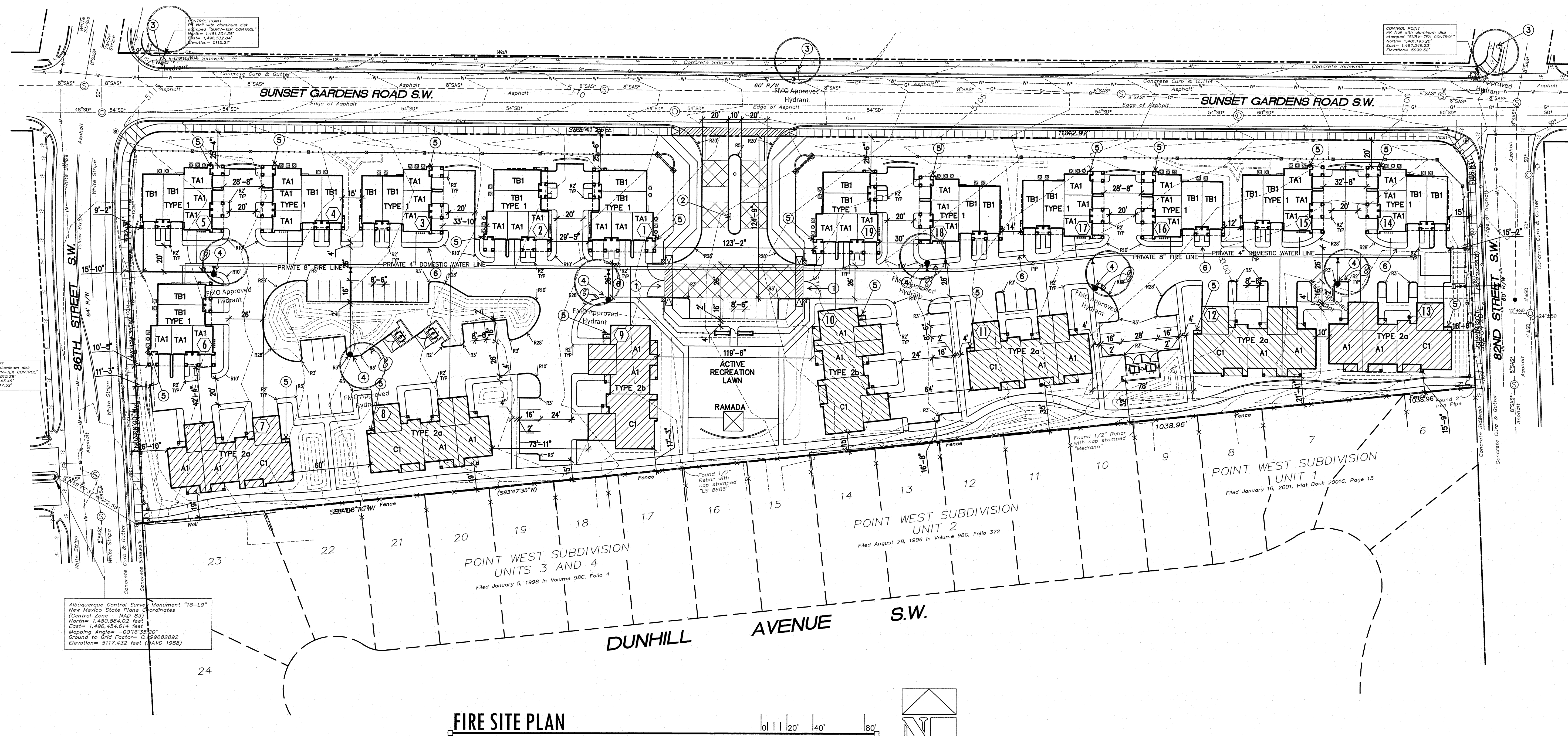
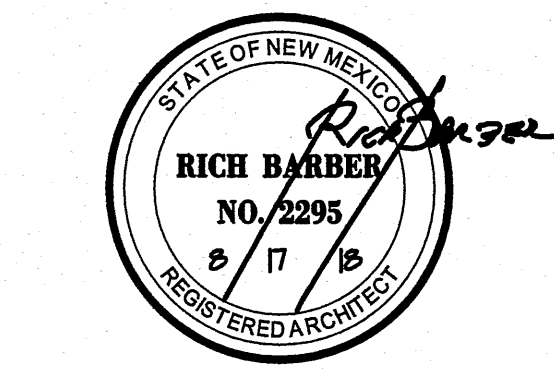


KEYNOTES

- ELECTRONIC ENTRY GATE TO BE EQUIPPED FOR FIRE DEPARTMENT ACCESS.
- GATE CONTROL BOX AND SITE DIRECTORY MAP, PROVIDE KNOX BOX FOR FIRE DEPARTMENT ACCESS.
- EXISTING FIRE HYDRANT.
- NEW PRIVATE FIRE HYDRANT PAINTED ORANGE.
- INDICATES LOCATION OF FIRE RISER ACCESS AND FDC, PROVIDE KNOX BOX, PROVIDE SIGN CLEARLY INDICATING "FIRE RISER INSIDE".
- IDENTIFY ONE SIDE OF 26' DRIVE ISLE AS FIRE LANE WITH CURBS PAINTED RED.
- Signage identifying FDC locations shall be provided.
- Paint curbs red on all roads 20-24 on both sides of fire lane.
- Premise ID shall be located at entry signals.

SUNSET GARDENS APARTMENTS
SEC SUNSET GARDENS ROAD AND 86TH STREET
Albuquerque, New Mexico

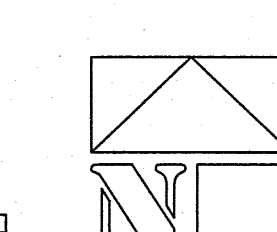
Office of Rich Barber
ORB Architecture, LLC
WorldHQ@ORBArch.com



3447-18
HYDRANT AND FIRE ACCESS
ALBUQUERQUE FIRE MARSHAL'S OFFICE
PLANS CHECKING DIVISION
SOFT 1522 CONSTRUCTION TYPE V13
DATE 1/17/18 NUMBER OF HYDRANTS 1
APPROVED / DISAPPROVED
Signature: [Signature]
DATE: [Date]

FIRE SITE PLAN

SCALE: 1" = 40'-0"



DATE: AUGUST 17, 2018 ORB # 18-203

F1.10
FIRE SITE PLAN

FILE: T:\OHA\ORB Job Files\18-203_Sunset Gardens\CAD Files\Prelim\18203 F1.10 Fire Site.dwg USER: fco DATE: Aug. 17 2018 TIME: 02:57 pm