



Effective 3/01/2022

Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Forms P2)	<input type="checkbox"/> Extension of IIA: Temp. Def. of SW (Form V2)
<input type="checkbox"/> Major – Preliminary Plat (Forms S & S1)	<input type="checkbox"/> Amendment to Site Plan (Forms P & P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Major – Bulk Land Plat (Forms S & S1)	MISCELLANEOUS APPLICATIONS	<input checked="" type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Minor Amendment - Preliminary Plat (Forms S & S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS
<input type="checkbox"/> Minor - Final Plat (Forms S & S2)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Forms S & S2)	<input type="checkbox"/> Sidewalk Waiver (Form V2)	<input type="checkbox"/> Sketch Plan Review and Comment (Form P2)
SITE PLANS	<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input type="checkbox"/> DRB Site Plan (Forms P & P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)
BRIEF DESCRIPTION OF REQUEST		
Vacation of Public Easements		

APPLICATION INFORMATION		
Applicant/Owner: Albuquerque Investors LLC Attn: Woodsonia Real Estate Inc		Phone:
Address: 20010 Manderson St Suite 101		Email:
City: Elkhorn	State: NE	Zip: 68022
Professional/Agent (if any): Tierra West, LLC		Phone: 505-858-3100
Address: 5571 Midway Park Place NE		Email: jniski@tierrawestllc.com
City: Albuquerque	State: NM	Zip: 87109
Proprietary Interest in Site: Owner	List all owners:	
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.: Parcel B-1-A Correction Plat of Parcels C-1-A, C-1-B and B-1-A	Block:	Unit:
Subdivision/Addition: Renaissance Center III	MRCGD Map No.:	UPC Code: 101606122811730119
Zone Atlas Page(s): F-16-Z	Existing Zoning: NR-C	Proposed Zoning NR-C
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (Acres): 9.2281 acres
LOCATION OF PROPERTY BY STREETS		
Site Address/Street: 1500 Desert Surf Circle NE	Between: Alexander Blvd NE	and: Desert Surf Circle NE
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)		

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	Date: 9/6/2022
Printed Name: Ronald R. Bohannon	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FORM V: Vacations of Easements or Right-of-way– DRB

Please refer to the DRB meeting schedules for dates and deadlines. Your attendance is required.

VACATION OF RIGHT-OF-WAY – DRB

VACATION OF RIGHT-OF-WAY – COUNCIL


- Interpreter Needed for Meeting? _____ if yes, indicate language: _____
- A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF *shall be organized* with the Development Review Application and this Form V at the front followed by the remaining documents *in the order provided on this form*.
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(M)
- Copy of the complete document which created the easement(s) (7 copies, folded)
Not required for City owned public right-of-way.
- Drawing showing the easement or right-of-way to be vacated (7 copies, not to exceed 8.5" by 11")
- If easements, list number to be vacated _____
- Square footage to be vacated (see IDO Section 14-16-6-6(M) _____)
- Proof of Neighborhood Meeting per IDO Section 14-16-6-4(K) and DPM 2-9-(E)(3)
 - Office of Neighborhood Coordination neighborhood meeting inquiry response
 - Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
 - If a meeting was requested/held, copy of sign-in sheet and meeting notes
- Required notices with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination notice inquiry response, notifying letter, and proof of first class mailing
 - Proof of emailed notice to affected Neighborhood Association representatives
 - Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing
- Sign Posting Agreement - IDO Section 14-16-6-6(K)(4) is satisfied

VACATION OF PRIVATE EASEMENT

VACATION OF PUBLIC EASEMENT

- Interpreter Needed for Meeting? _____ if yes, indicate language: _____
- A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF *shall be organized* with the Development Review Application and this Form V at the front followed by the remaining documents *in the order provided on this form*.
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(M)
- Copy of the complete document which created the easement(s) (7 copies, folded)
- Drawing showing the easement to be vacated (7 copies, not to exceed 8.5" by 11")
- List number to be vacated 2
- Proof of Pre-Application meeting

The vacation must be shown on a DRB approved plat recorded by the County Clerk within one year, or it will expire.

<i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting, if required, or otherwise processed until it is complete.</i>	
Signature:	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Case Numbers:	Project Number:
Staff Signature:	
Date:	

Woodsonia

Real Estate Inc

June 3, 2022

Ms. Jolene Wolfley, Chair

Development Review Board

City of Albuquerque

P.O. Box 1293

Albuquerque, NM 87103

**RE: ANDRETTI RACING – ENTERTAINMENT FACILITY
DESERT SURF CIR NE
UPC: 101606122811730119
PARCEL B-1-A CORRECTION PLAT OF PARCELS C-1-A
C-1-B AND B-1-A RENAISSANCE CENTER III
ZONE ATLAS PAGE: F-16-Z**

Dear Ms. Wolfley:

The purpose of this letter is to authorize Tierra West LLC to act as agent on behalf of Woodsonia Real Estate, Inc. C/O Drew Snyder pertaining to any and all submittals made to the City of Albuquerque for the above-referenced site.

Drew Snyder

Print Name

Drew Snyder

Signature

Property Owner

Title

6/3/2022

Date

TGW

TIERRA WEST, LLC

September 7, 2022

Ms. Jolene Wolfley
City of Albuquerque – DRB Chair
Plaza del Sol, 600 2nd St NW
Albuquerque, NM 87102

**RE: DRB VACATION OF PUBLIC EASEMENT
ANDRETTI RACING – ENTERTAINMENT FACILITY
1500 DESERT SURF CIR NE ALBUQUERQUE, NM 87107
PARCEL B-1-A CORRECTION PLAT OF PARCELS C-1-A, C-1-B,
AND B-1-A RENAISSANCE CENTER III
UPC: 101606122811730119**

Dear Ms. Wolfley:

Tierra West LLC is requesting to vacate drainage easements on the proposed Andretti Racing facility recently approved by EPC for the new entertainment facility located next to Top Golf. The easements to be vacated will be replaced with new drainage easements that allow for the development of this parcel. The parcel is zoned NR-C which permits this type of use. Attached please find the proposed vacation exhibit showing the easements to be vacated and the ones replacing them. Also included is the approved conceptual grading and drainage for this site that shows the need to vacate the easements.

The plan is to bring in approximately 90,000 cubic yards of dirt to help balance the site. This step is to vacate the drainage easements and modify the pond covenant which will allow the site plan to be approved in a separate action. We have included a copy of the plat that created the easements for your records. The reduction of the drainage easement to a smaller area protects the public and minimizes the amount of area needed for the drainage to function. Please review this application and if you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



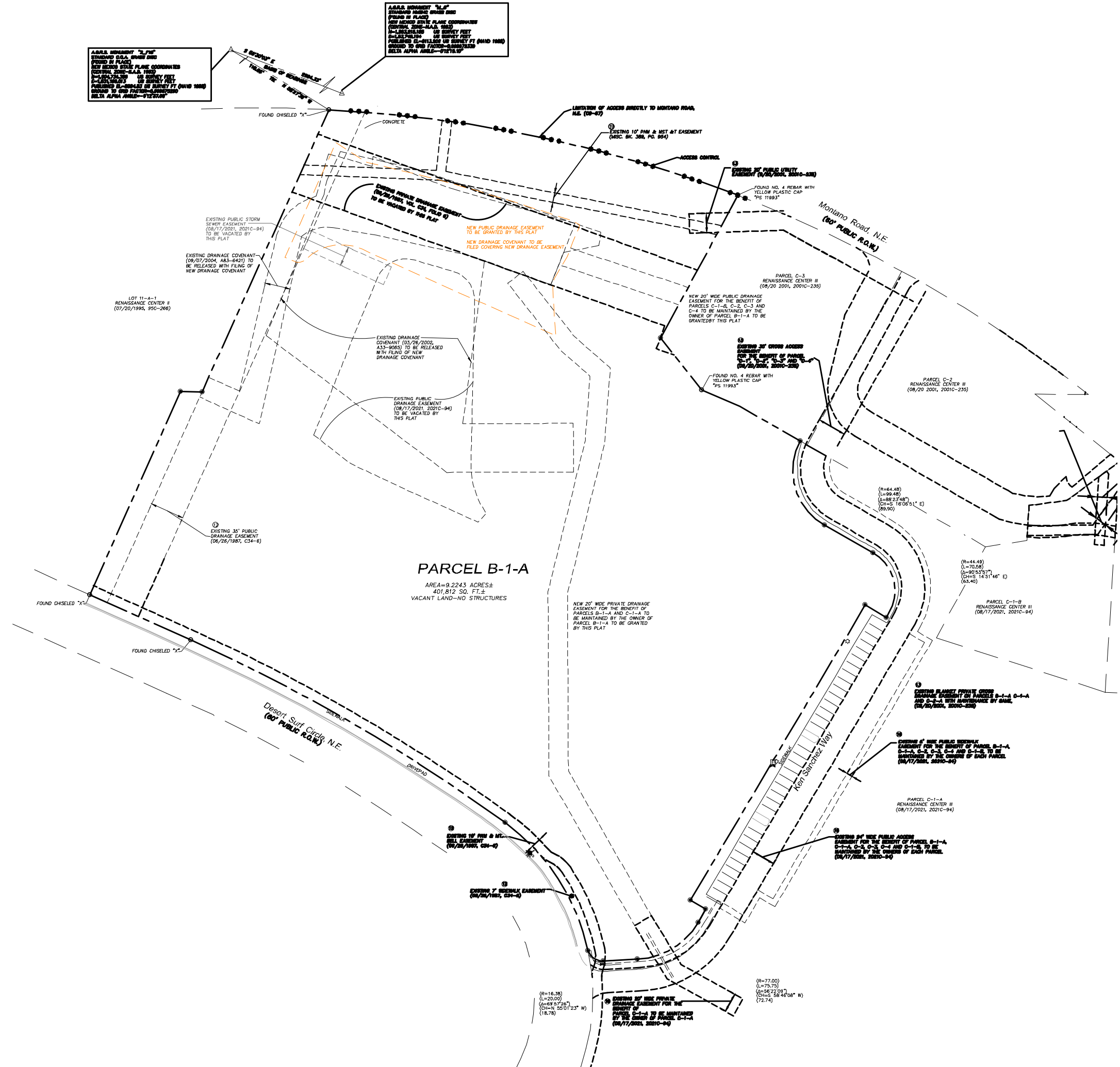
Ronald R. Bohannon, P.E

JN: 2022011
RRB/jn/ye

5571 Midway Park Place NE Albuquerque, NM 87109
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

ASBLS MONUMENT "L" WAS FOUND IN PLACE BY SURVEYOR. PLANE COORDINATES (CENTRAL 2011-NAD, 1983) N=1234567.89 E=987654.321
 FOUNDING BENCHMARK BY SURVEY FT (HAND 1988) BEING TO THE POINT OF MONUMENT BETA ALPHA ANGLE—912345.67

ASBLS MONUMENT "L" WAS FOUND IN PLACE BY SURVEYOR. PLANE COORDINATES (CENTRAL 2011-NAD, 1983) N=1234567.89 E=987654.321
 FOUNDING BENCHMARK BY SURVEY FT (HAND 1988) BEING TO THE POINT OF MONUMENT BETA ALPHA ANGLE—912345.67



PARCEL B-1-A
 AREA=9.2243 ACRES±
 401,812 SQ. FT.±
 VACANT LAND—NO STRUCTURES

Montano Road N.E.
 (60' PUBLIC R.O.W.)

Desert Surf Circle N.E.
 (60' PUBLIC R.O.W.)

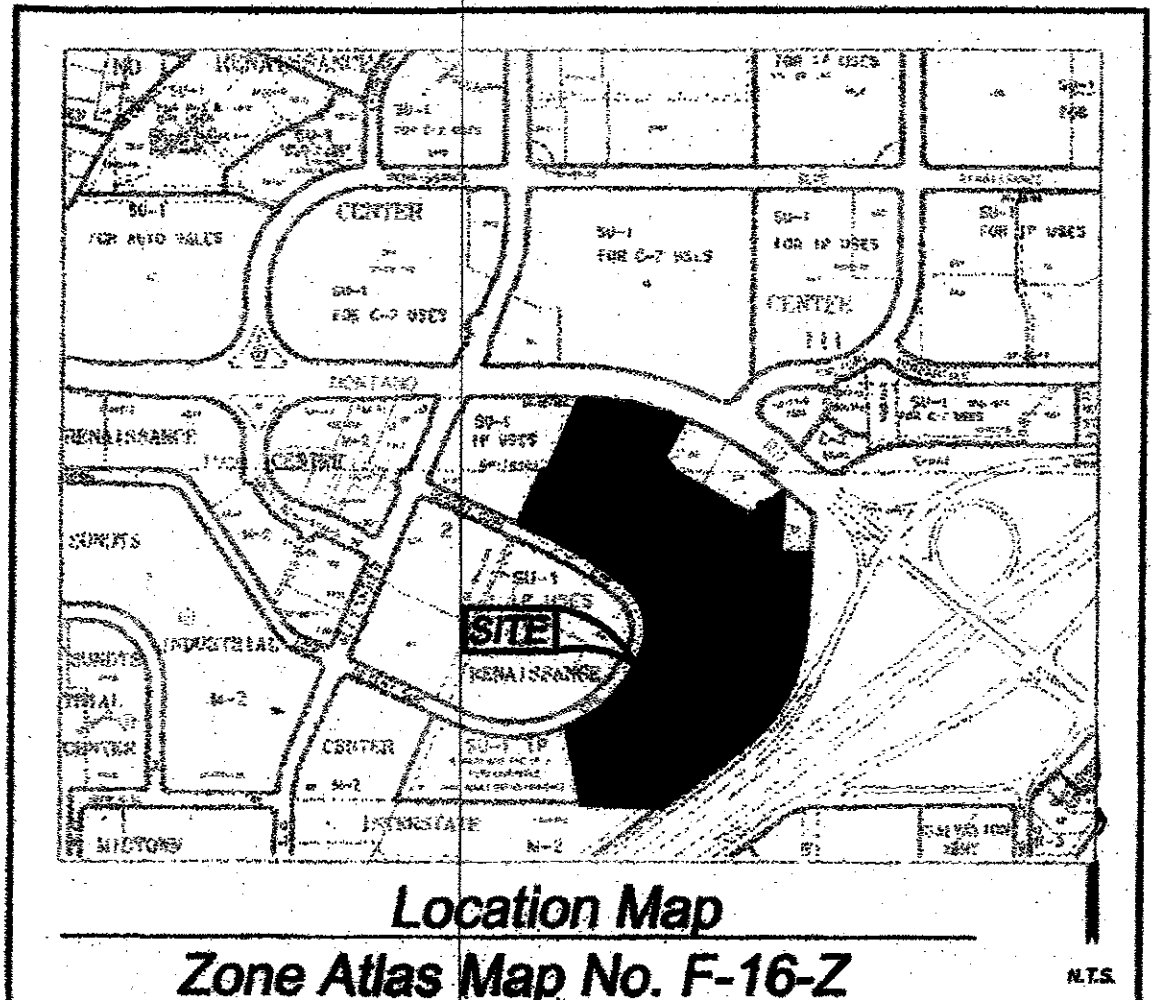
Ken Sanchez Way

(R=16.38)
 (L=20.00)
 (A=69°27'28")
 (CH=155'01'23" W)
 (18.78)

(R=77.00)
 (L=75.75)
 (A=62°02'07")
 (CH=58'48'08" W)
 (72.74)

(R=64.48)
 (L=99.48)
 (A=90°53'07")
 (CH=5'16'08" E)
 (89.90)

(R=44.48)
 (L=70.88)
 (A=90°53'07")
 (CH=5'14'31" E)
 (63.40)



Subdivision Data:

GROSS SUBDIVISION ACREAGE: 23.8656 ACRES ±
 ZONE ATLAS INDEX NO: F-16-Z
 NO. OF TRACTS CREATED: 3
 NO. OF LOTS CREATED: 0
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: OCTOBER 20, 2018, FIELD VERIFIED OCTOBER 17, 2017

Purpose of Plat

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING TWO PARCELS INTO THREE NEW PARCELS, TO VACATE PRIVATE AND PUBLIC EASEMENTS AND TO GRANT NEW EASEMENTS

Notes:

1. BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1983).
2. ALL DISTANCES ARE GROUND DISTANCES—US SURVEY FOOT.
3. THIS PROPERTY LIES WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 34, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

Public Utility Easements

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON JOINT USE OF:
 A. PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.

B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

C. QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.

D. CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT CHANGE, REMOVE, REPLACE, MODIFY, REPAIR, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

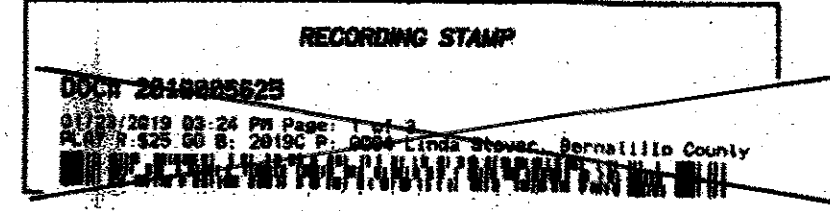
Disclaimer

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), QWEST CORPORATION D/B/A CENTURYLINK QC AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, QWEST CORPORATION D/B/A CENTURYLINK QC AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN SPECIFICALLY DESCRIBED AND ON THIS PLAT.

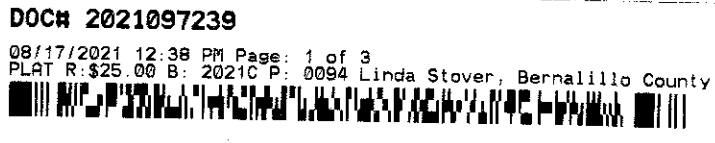
COORDINATE AND DIMENSION INFORMATION		TYPE	
STATE PLANE ZONE	GRID	GRID	STANDARD
NM-C	GRID	GRID	STANDARD
HORIZONTAL DATUM	VERTICAL DATUM	ROTATION ANGLE	MATCHES DRAWING UNITS
NAD83	NAVD88	0° 00' 00.00"	YES
CONTROL USED: NATIONAL GEODETIC SURVEY OR ALBUQUERQUE GEODETIC REFERENCE SYSTEM		BASE POINT FOR SCALING AND/OR ROTATION:	
COMBINED SCALE FACTOR:		N = 0	
GRID TO GROUND: 1.0003292289		E = 0	
GROUND TO GRID: 0.9996708795		ELEVATION TRANSLATION	
DISTANCE ANNOTATION: GROUND		ELEVATIONS VALID:	
BEARING ANNOTATION: GRID		±0.00'	
		NO	

Legal Description

SEE SHEET TWO OF THREE FOR LEGAL DESCRIPTION



THE PURPOSE OF THIS CORRECTION IS TO ADD STREET NAME OF "KEN SANABEZ WAY"



THIS IS TO CERTIFY THAT I HAVE REVIEWED AND
 TREASURER'S CERTIFICATE
 PAID ON UPC # 101606124107430118
 PROPERTY OWNER OF RECORD
 MONTANO 1-25 PROPERTY LLC
 BERNALILLO COUNTY TREASURER'S OFFICE
 LARRY M. MEDRANO

INDEXING INFORMATION FOR COUNTY CLERK
 OWNER MONTANO 1-25 PROPERTY LLC/
 MONTANO 1-25 BEACH ACQUISITION LLC.
 SECTION 34, TOWNSHIP 10 N, RANGE 3 E,
 SUBDIVISION RENAISSANCE CENTER III
 UPC "C-1" 101606124107430118
 UPC "C-4" 101606128711130106
 UPC "B-1" 101606121412730119

1016 061 282110 30116
 1016 061 260052 30118
 1016 061 228117 30119
 Montano 1-25 Property LLC
 Attn: Steve 8/17/21

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Free Consent

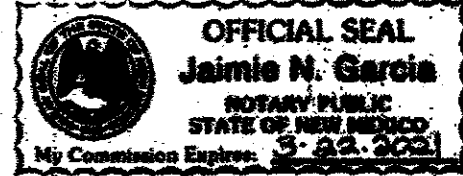
THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

Steve Abraham
 4-4-18
 STEVE ABRAHAM
 MANAGER
 MONTANO 1-25 PROPERTY LLC/MONTANO 1-25 BEACH ACQUISITION LLC.

Acknowledgment

STATE OF NEW MEXICO) SS
 COUNTY OF BERNALILLO)
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 4th DAY OF April, 2018 BY
 STEVE ABRAHAM, MANAGER, MONTANO 1-25 PROPERTY LLC/MONTANO 1-25 BEACH ACQUISITION
 BY *Jaimie N. Garcia* MY COMMISSION EXPIRES: 3-28-2021
 NOTARY PUBLIC



Correction Plat of
 Parcels C-1-A, C-1-B and B-1-A
Renaissance Center III
 Elena Gallegos Grant
 Projected Section 34, Township 11, Range 3, N.M.P.M.
 Albuquerque, Bernalillo County, New Mexico
 March 2018

Project No. 1000874

Application No. 18DRB-70136

Utility Approvals

PNM	5-1-18
NEW MEXICO GAS COMPANY	12/11/18
QWEST CORPORATION D/B/A CENTURYLINK QC	12-10-18
COMCAST	5/8/18

City Approvals

Sarah M. Risenhoover P.S.	4/18/18
CITY SURVEYOR	DATE
Roger M. Wood	12/5/18
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
Theresa L. ...	12-05-18
A.B.C.W.U.A.	DATE
N/A	
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	12/13/18
CITY ENGINEER	DATE
Renee ...	12-05-18
CITY ENGINEER	DATE
V...	1-29-2019
DRB/CHAIRPERSON, PLANNING DEPARTMENT	DATE
...	12/5/18
CODE ENFORCEMENT	DATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED NEW MEXICO PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF THE MINIMUM STANDARDS FOR LAND SURVEYS AS ADOPTED BY THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano
 3/22/18
 LARRY W. MEDRANO
 N.M.P.S. No. 11993



OFFICE LOCATION:
 9200 San Mateo Boulevard, NE
 Albuquerque, NM 87113
 505.856.5700 PHONE
 505.856.7900 FAX

RECORDING STAMP

DOCH 201908625
 08/17/2021 12:38 PM Page: 2 of 3
 PLAT: 0: \$25.00 B: 2021C P: 0094 Linda Stover, Bernalillo County

Correction Plat of
 Parcels C-1-A, C-1-B and B-1-A
Renaissance Center III
 Elena Gallegos Grant
 Projected Section 34, Township 11, Range 3, N.M.P.M.
 Albuquerque, Bernalillo County, New Mexico
 May 2018

DOCH 2021097239
 08/17/2021 12:38 PM Page: 2 of 3
 PLAT: 0: \$25.00 B: 2021C P: 0094 Linda Stover, Bernalillo County

Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 34, TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M. CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO, COMPRISING OF PARCELS B-1 AND C-1 RENAISSANCE CENTER III AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY ON AUGUST 20, 2001, IN PLAT BOOK 2001C, PAGE 235, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM GRID BEARINGS (NAD 83-CENTRAL ZONE) AND GROUND DISTANCES (US SURVEY FEET) AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF DESCRIBED TRACT, LYING ON THE WEST RIGHT OF WAY LINE OF INTERSTATE 25, MARKED BY A FOUND NO. 4 REBAR WITH ALUMINUM CAP "4701", FROM WHENCE A TIE TO A.R.G.S. MONUMENT "M_6" BEARS S 61°19'44" E, A DISTANCE OF 1774.90 FEET;

THENCE FROM SAID POINT OF BEGINNING, ALONG SAID WEST RIGHT OF WAY LINE, S 03°36'17" W, A DISTANCE OF 286.92 FEET TO A POINT OF CURVATURE, MARKED BY A FOUND NMSHD ROW T-RAIL "PLS 6540";

THENCE CONTINUING ALONG SAID WEST RIGHT OF WAY LINE, ALONG A CURVE TO THE RIGHT, HAVING AN ARC LENGTH OF 481.08 FEET, A RADIUS OF 673.57 FEET, A DELTA ANGLE OF 40°55'24", A CHORD BEARING OF S 24°10'24" W, AND A CHORD LENGTH OF 470.93 FEET, TO A POINT OF TANGENCY, MARKED BY A FOUND NO. 4 REBAR (ILLEGIBLE);

THENCE CONTINUING ALONG SAID WEST RIGHT OF WAY LINE, S 53°35'25" W, A DISTANCE OF 457.68 FEET TO THE SOUTHEAST CORNER OF DESCRIBED TRACT, MARKED BY A FOUND NO. 4 REBAR WITH ALUMINUM CAP (ILLEGIBLE);

THENCE LEAVING SAID WEST RIGHT OF WAY LINE, N 89°15'47" W, A DISTANCE OF 325.00 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 11°07'15" W, A DISTANCE OF 308.62 FEET TO A POINT OF NON-TANGENT CURVATURE, LYING ON THE EAST RIGHT OF WAY LINE OF DESERT SURF CIRCLE, N.E., MARKED BY A FOUND CHISELED "X";

THENCE ALONG SAID EAST RIGHT OF WAY LINE, ALONG A NON-TANGENT CURVE TO THE LEFT, HAVING AN ARC LENGTH OF 419.84 FEET, A RADIUS OF 560.00 FEET, A DELTA ANGLE OF 42°57'20", A CHORD BEARING OF N 45°39'27" E, AND A CHORD LENGTH OF 410.08 FEET, TO A POINT OF COMPOUND CURVATURE, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE CONTINUING ALONG SAID EAST RIGHT OF WAY LINE, ALONG A COMPOUND CURVE TO THE LEFT, HAVING AN ARC LENGTH OF 299.50 FEET, A RADIUS OF 220.00 FEET, A DELTA ANGLE OF 78°06'08", A CHORD BEARING OF N 14°49'10" W, AND A CHORD LENGTH OF 276.90 FEET, TO A POINT OF COMPOUND CURVATURE, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE CONTINUING ALONG SAID EAST RIGHT OF WAY LINE, ALONG A COMPOUND CURVE TO THE LEFT, HAVING AN ARC LENGTH OF 374.60 FEET, A RADIUS OF 1789.57 FEET, A DELTA ANGLE OF 12°00'00", A CHORD BEARING OF N 59°49'13" W, AND A CHORD LENGTH OF 373.92 FEET, TO A POINT OF TANGENCY, MARKED BY A FOUND CHISELED "X";

THENCE N 65°48'40" W, A DISTANCE OF 113.76 FEET TO AN ANGLE POINT, MARKED BY A FOUND CHISELED "X";

THENCE LEAVING SAID EAST RIGHT OF WAY LINE, N 24°11'20" E, A DISTANCE OF 228.82 FEET TO AN ANGLE POINT, MARKED BY A FOUND NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 89°49'13" E, A DISTANCE OF 21.90 FEET TO AN ANGLE POINT, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 24°11'20" E, A DISTANCE OF 317.94 FEET TO THE NORTHWEST CORNER OF DESCRIBED TRACT, LYING ON THE SOUTH RIGHT OF WAY LINE OF MONTANO ROAD, N.E. MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE ALONG SAID SOUTH RIGHT OF WAY LINE, ALONG A NON-TANGENT CURVE TO THE RIGHT, HAVING AN ARC LENGTH OF 431.44 FEET, A RADIUS OF 1369.08 FEET, A DELTA ANGLE OF 18°03'20", A CHORD BEARING OF S 78°08'58" E, AND A CHORD LENGTH OF 429.65 FEET, TO AN ANGLE POINT;

THENCE LEAVING SAID SOUTH RIGHT OF WAY LINE, S 28°33'18" W, A DISTANCE OF 167.00 FEET TO AN ANGLE POINT, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 38°41'46" E, A DISTANCE OF 67.81 FEET TO AN ANGLE POINT, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 65°55'01" E, A DISTANCE OF 42.56 FEET TO AN ANGLE POINT, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 60°18'45" E, A DISTANCE OF 290.88 FEET TO AN ANGLE POINT, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 81°18'21" E, A DISTANCE OF 42.98 FEET TO AN ANGLE POINT, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 03°37'03" E, A DISTANCE OF 35.96 FEET TO AN ANGLE POINT, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 82°19'30" E, A DISTANCE OF 39.13 FEET TO AN ANGLE POINT, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE N 53°38'37" E, A DISTANCE OF 67.29 FEET TO AN ANGLE POINT, LYING ON THE SOUTH RIGHT OF WAY LINE OF MONTANO ROAD, N.E., MARKED BY A FOUND PK NAIL WITH WASHER (BENT);

THENCE LEAVING SAID SOUTH RIGHT OF WAY LINE S 03°32'07" W, A DISTANCE OF 237.53 FEET TO AN ANGLE POINT, MARKED BY A SET NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993";

THENCE S 88°24'58" E, A DISTANCE OF 125.00 FEET TO THE POINT OF BEGINNING, CONTAINING 23.8712 ACRES± (1,039,831 SQ. FT.±) MORE OR LESS, NOW COMPRISING OF PARCELS C-1-A, B-1-A AND C-4-A, RENAISSANCE CENTER III.

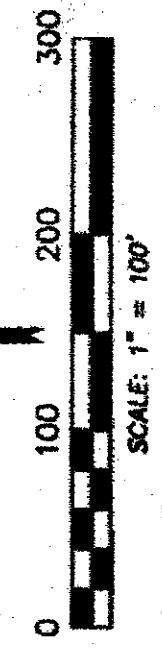
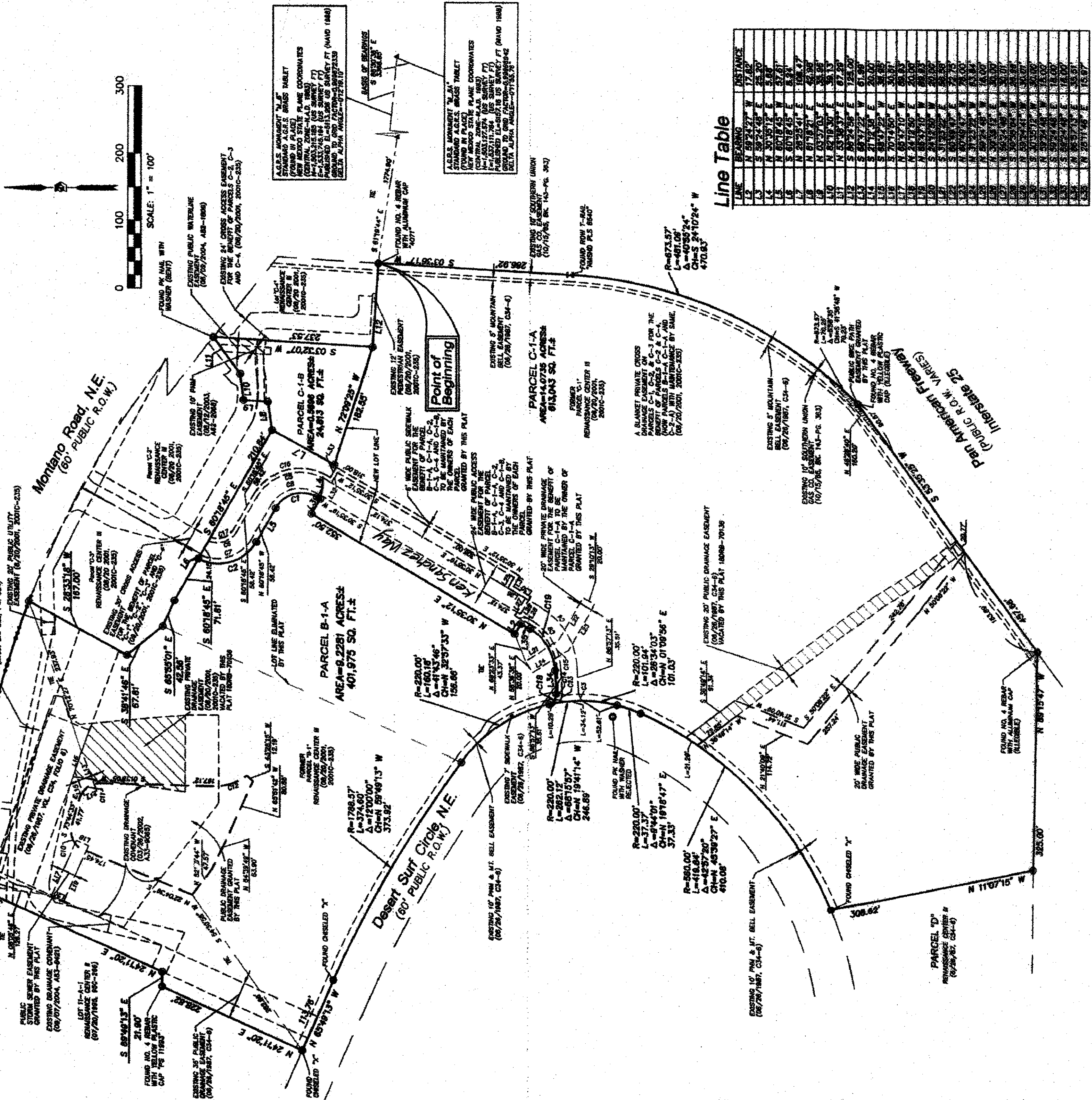


OFFICE LOCATION:
 9200 San Mateo Boulevard, NE
 Albuquerque, NM 87113
 505.856.5700 PHONE
 505.856.7900 FAX

Correction Plat of
Parcels C-1-A, C-1-B and B-1-A
Renaissance Center III
 Elena Gallegos Grant
 Projected Section 34, Township 11, Range 3, N.M.P.M.
 Albuquerque, Bernalillo County, New Mexico
 May 2018

DOCH 2021097239
 01/17/2021 12:38 PM Page 3 of 3
 LINDA SLOVER, BERNALILLO COUNTY
 PLAT # 2018-008 B, 2018-009 B
 25150 P. 0054 LINN SLOVER, BERNALILLO COUNTY

RECORDING STAMP
 DOCH 2018090625
 01/29/2018 03:24 PM Page 3 of 3
 LINDA SLOVER, BERNALILLO COUNTY
 PLAT # 2018-008 B, 2018-009 B
 25150 P. 0054 LINN SLOVER, BERNALILLO COUNTY



Line Table

LINE	BEARING	DISTANCE
L1	N 59°24'27" W	17.82
L2	S 59°24'27" E	23.20
L3	N 11°18'45" E	5.84
L4	S 80°18'45" W	17.41
L5	N 20°25'41" E	108.47
L6	N 81°18'41" E	42.38
L7	N 81°18'41" E	38.88
L8	N 81°18'41" E	38.88
L9	N 81°18'41" E	38.88
L10	N 81°18'41" E	38.88
L11	N 81°18'41" E	38.88
L12	S 89°17'22" W	175.07
L13	S 89°17'22" W	61.89
L14	S 21°17'35" E	20.40
L15	S 89°17'22" W	38.88
L16	S 20°14'50" E	33.81
L17	N 89°14'50" W	30.81
L18	N 89°14'50" W	30.81
L19	N 89°14'50" W	30.81
L20	S 89°14'50" W	30.81
L21	S 89°14'50" W	30.81
L22	S 89°14'50" W	30.81
L23	S 89°14'50" W	30.81
L24	S 89°14'50" W	30.81
L25	S 89°14'50" W	30.81
L26	S 89°14'50" W	30.81
L27	S 89°14'50" W	30.81
L28	S 89°14'50" W	30.81
L29	S 89°14'50" W	30.81
L30	S 89°14'50" W	30.81
L31	S 89°14'50" W	30.81
L32	S 89°14'50" W	30.81
L33	S 89°14'50" W	30.81
L34	S 89°14'50" W	30.81
L35	S 89°14'50" W	30.81
L36	S 89°14'50" W	30.81
L37	S 89°14'50" W	30.81
L38	S 89°14'50" W	30.81
L39	S 89°14'50" W	30.81
L40	S 89°14'50" W	30.81
L41	S 89°14'50" W	30.81
L42	S 89°14'50" W	30.81
L43	S 89°14'50" W	30.81
L44	S 89°14'50" W	30.81
L45	S 89°14'50" W	30.81
L46	S 89°14'50" W	30.81
L47	S 89°14'50" W	30.81
L48	S 89°14'50" W	30.81
L49	S 89°14'50" W	30.81
L50	S 89°14'50" W	30.81
L51	S 89°14'50" W	30.81
L52	S 89°14'50" W	30.81
L53	S 89°14'50" W	30.81
L54	S 89°14'50" W	30.81
L55	S 89°14'50" W	30.81
L56	S 89°14'50" W	30.81
L57	S 89°14'50" W	30.81
L58	S 89°14'50" W	30.81
L59	S 89°14'50" W	30.81
L60	S 89°14'50" W	30.81
L61	S 89°14'50" W	30.81
L62	S 89°14'50" W	30.81
L63	S 89°14'50" W	30.81
L64	S 89°14'50" W	30.81
L65	S 89°14'50" W	30.81
L66	S 89°14'50" W	30.81
L67	S 89°14'50" W	30.81
L68	S 89°14'50" W	30.81
L69	S 89°14'50" W	30.81
L70	S 89°14'50" W	30.81
L71	S 89°14'50" W	30.81
L72	S 89°14'50" W	30.81
L73	S 89°14'50" W	30.81
L74	S 89°14'50" W	30.81
L75	S 89°14'50" W	30.81
L76	S 89°14'50" W	30.81
L77	S 89°14'50" W	30.81
L78	S 89°14'50" W	30.81
L79	S 89°14'50" W	30.81
L80	S 89°14'50" W	30.81
L81	S 89°14'50" W	30.81
L82	S 89°14'50" W	30.81
L83	S 89°14'50" W	30.81
L84	S 89°14'50" W	30.81
L85	S 89°14'50" W	30.81
L86	S 89°14'50" W	30.81
L87	S 89°14'50" W	30.81
L88	S 89°14'50" W	30.81
L89	S 89°14'50" W	30.81
L90	S 89°14'50" W	30.81
L91	S 89°14'50" W	30.81
L92	S 89°14'50" W	30.81
L93	S 89°14'50" W	30.81
L94	S 89°14'50" W	30.81
L95	S 89°14'50" W	30.81
L96	S 89°14'50" W	30.81
L97	S 89°14'50" W	30.81
L98	S 89°14'50" W	30.81
L99	S 89°14'50" W	30.81
L100	S 89°14'50" W	30.81

Legend

N 90°00'00" E	RESERVED BEARING AND DISTANCE WITH RECORD REVISIONS AND DISTANCES AS SHOWN
○	FOUND AND USED MONUMENT
●	SENDER NO. 4 REBAR WITH YELLOW PLASTIC CAP PER FIDELITY SET THIS SURVEY
△	FOUND ALUMINUM ACRES MONUMENT AS SHOWN

Curve Table

CHORD BEARING	CHORD LENGTH	CHORD BEARING	CHORD LENGTH
C1	17.82	C1	17.82
C2	23.20	C2	23.20
C3	5.84	C3	5.84
C4	17.41	C4	17.41
C5	108.47	C5	108.47
C6	42.38	C6	42.38
C7	38.88	C7	38.88
C8	38.88	C8	38.88
C9	38.88	C9	38.88
C10	38.88	C10	38.88
C11	38.88	C11	38.88
C12	175.07	C12	175.07
C13	61.89	C13	61.89
C14	20.40	C14	20.40
C15	38.88	C15	38.88
C16	33.81	C16	33.81
C17	30.81	C17	30.81
C18	30.81	C18	30.81
C19	30.81	C19	30.81
C20	30.81	C20	30.81
C21	30.81	C21	30.81
C22	30.81	C22	30.81
C23	30.81	C23	30.81
C24	30.81	C24	30.81
C25	30.81	C25	30.81
C26	30.81	C26	30.81
C27	30.81	C27	30.81
C28	30.81	C28	30.81
C29	30.81	C29	30.81
C30	30.81	C30	30.81
C31	30.81	C31	30.81
C32	30.81	C32	30.81
C33	30.81	C33	30.81
C34	30.81	C34	30.81
C35	30.81	C35	30.81
C36	30.81	C36	30.81
C37	30.81	C37	30.81
C38	30.81	C38	30.81
C39	30.81	C39	30.81
C40	30.81	C40	30.81
C41	30.81	C41	30.81
C42	30.81	C42	30.81
C43	30.81	C43	30.81
C44	30.81	C44	30.81
C45	30.81	C45	30.81
C46	30.81	C46	30.81
C47	30.81	C47	30.81
C48	30.81	C48	30.81
C49	30.81	C49	30.81
C50	30.81	C49	30.81

INDEXING INFORMATION FOR COUNTY CLERK
 OWNER MONTANO I-25 PROPERTY LLC.
 MONTANO I-25 BEACH ACQUISITION LLC.
 SECTION 34 TOWNSHIP 10 N RANGE 3 E
 SUBDIVISION RENAISSANCE CENTER III
 UPCC "C-1" 1G1606124102430118
 UPCC "C-4" 1G1606124102430108
 UPCC "B-1" 1G1606124102430119



OFFICE LOCATION:
 5030 San Marcos Boulevard, NE
 Albuquerque, NM 87113
 505.266.5700 PHONE
 505.266.7500 FAX



DEVELOPMENT REVIEW BOARD

Planning - Case Comments

HEARING DATE: 5/25/22 -- **AGENDA ITEM:** #5

Project Number: PR-2018-001774

Application Number: PS-2022-00102

Project Name: Andretti's Racing

Request:

Sketch Plan to construct a 95,000 square foot entertainment facility and parking lot w/ drainage ponds

**These are preliminary Planning comments. Additional reviews and/or revised comments may be needed for any modifications and/or supplemental submittals.*

COMMENTS:

- Due to past EPC Site Plan approvals on the site, a Major Amendment to Site Plan – EPC will be required for the proposed development as the proposed development exceeds thresholds for an allowable Minor/Administrative Amendment, including the 10% building GFA maximum threshold for an allowable Minor/Administrative Amendment per Table 6-4-4 of the IDO.
- Where development plan is silent, project must meet all applicable standards and provisions of the IDO and the DPM. Including but not limited to:
NR-C standards, Parking standards (1 space / 1,000 sq. ft. GFA or 1 space / 4 seats in main assembly area whichever is greater). Include any shared parking agreements, Landscaping standards, Building/Façade design, Walls/Fences, and Signage standards.
- Clarify if there will be multiple uses proposed.
- Clarify existing easements and changes with proposed development.
- The project and application numbers must be added to Plan sheets, prior to final sign-off from Planning. Utility signatures, AMAFCA signatures and DXF File approval from AGIS will be required for the Preliminary and/or Final Plat actions. Those signatures must be obtained and included with all submittals prior to the acceptance of that application and the placement on a DRB agenda.

**(See additional comments on next page)*

- All Plan sheets must be sealed and signed by a design professional licensed in the State of New Mexico. Future Landscape Plans must be sealed and signed by a Landscape Architect licensed in the State of New Mexico.
- All standards within IDO section 5-4-C (Subdivision of Land Compliance) apply to all re-platting actions.
- Re-plating action cannot increase any existing nonconformity or create a new nonconformity.
- The applicant will need to work with Transportation, Hydrology, and Water Authority members on submitting the required items on Form S or P as a part of the application process and obtain the required signatures.



Disclaimer: The comments provided are based upon the information received from the applicant/agent. If new or revised information is submitted, additional comments may be provided by Planning.

FROM: Jay Rodenbeck/Jolene Wolfley/Robert Webb
Planning Department

DATE: 05/24/22
