



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	Policy Decisions
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Site Plan – DRB (Form P2)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input checked="" type="checkbox"/> Subdivision of Land – Minor (Form S2)	<input type="checkbox"/> Annexation of Land (Form Z)
Decisions Requiring a Public Meeting or Hearing	<input type="checkbox"/> Subdivision of Land – Major (Form S1)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> Conditional Use Approval (Form ZHE)	<input type="checkbox"/> Vacation of Easement or Right-of-way (Form V)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Variance – DRB (Form V)	Appeals
<input type="checkbox"/> Expansion of Nonconforming Use or Structure (Form ZHE)	<input type="checkbox"/> Variance – ZHE (Form ZHE)	<input type="checkbox"/> Decision by EPC, LC, DRB, ZHE, or City Staff (Form A)

APPLICATION INFORMATION			
Applicant: Clearbrook Investments, Inc.		Phone:	
Address: 8801 Jefferson St. N.E., #A		Email: scotth@stillbrooke.com	
City: Albuquerque	State: NM	Zip: 87113	
Professional/Agent (if any): Ron Hensley / THE Group		Phone: 505-410-1622	
Address: 300 Branding Iron Rd. S.E.		Email: ron@thegroup.cc	
City: Rio Rancho, NM	State: NM	Zip: 87124	
Proprietary Interest in Site:		List <u>all</u> owners:	

BRIEF DESCRIPTION OF REQUEST
1. Tract split to complete Zone Change.
2. Plat of residential tract after zone change.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.: Tract 4	Block:	Unit:
Subdivision/Addition: IHS Acquisition No 120 Incorporated	MRGCD Map No.:	UPC Code: 101706403945020230
Zone Atlas Page(s): C-17-Z	Existing Zoning: NR-LM	Proposed Zoning: MX-M / R-ML
# of Existing Lots: 1	# of Proposed Lots: 31	Total Area of Site (acres): 5.91

LOCATION OF PROPERTY BY STREETS		
Site Address/Street: Horizon Blvd. N.E.	Between: Alameda Blvd.	and: Balloon Museum Drive

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)	
RZ-2018-00055	
Signature:	Date: 3/11/19
Printed Name: Ron E. Hensley / THE Group	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY		
Case Numbers	Action	Fees
-		
-		
-		
Meeting/Hearing Date:		Fee Total:
Staff Signature:	Date:	Project #

FORM S2: SUBDIVISION OF LAND – MINOR ACTIONS

Please refer to the DRB minor case schedule for meeting dates and deadlines. Bring original Mylar of plat with property owner’s and City Surveyor’s signatures on it to the meeting. Your attendance is required.

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

A Variance – DRB for the Bulk Transfer of Land requires application on Form V in addition to this FORM S2.

INFORMATION REQUIRED FOR ALL MINOR SUBDIVISION APPLICATIONS

- Interpreter Needed for Hearing? if yes, indicate language: _____
- Zone Atlas map with the entire site clearly outlined and labeled

SKETCH PLAT REVIEW AND COMMENT

- Scale drawing of the proposed subdivision plat (7 copies, folded)
- Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (7 copies, folded)
- Letter describing, explaining, and justifying the request

MAJOR SUBDIVISION FINAL PLAT APPROVAL

- Proposed Final Plat (7 copies, 24” x 36” folded)
- Design elevations & cross sections of perimeter walls (3 copies)
- Copy of recorded IIA
- DXF file and hard copy of final plat data for AGIS submitted and approved
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer

MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL

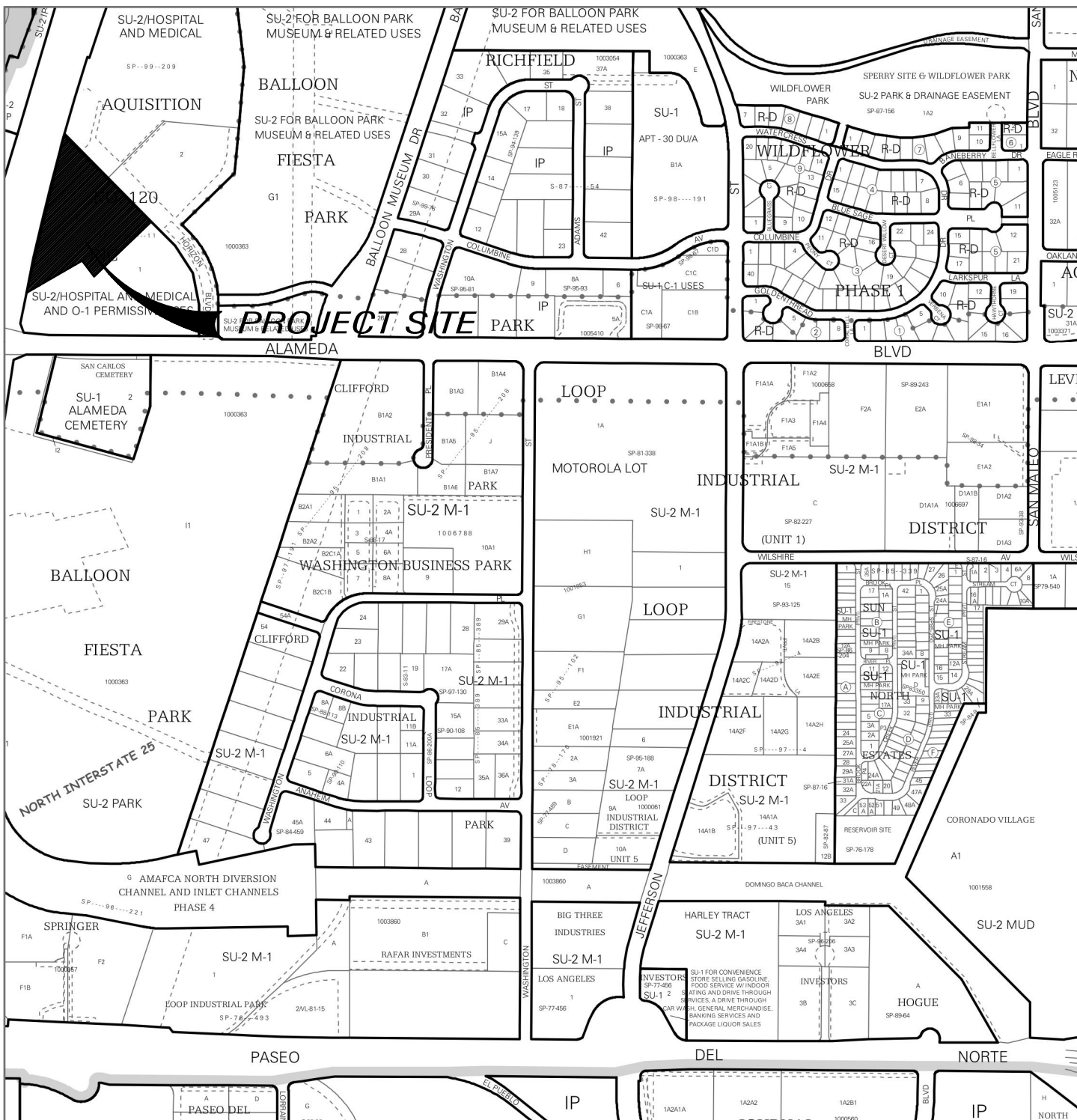
- Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A)
- Proposed Preliminary / Final Plat with property owner’s and City Surveyor’s signatures on the plat prior to submittal. (7 copies, folded)
- Cross sections of proposed streets (3 copies, 11” by 17” maximum)
- Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use (7 copies, folded)
- Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(I)
- Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement submittal information
- Proposed Infrastructure List, if applicable
- Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
- DXF file and hard copy of final plat data for AGIS submitted and approved

MINOR AMENDMENT TO PRELIMINARY PLAT

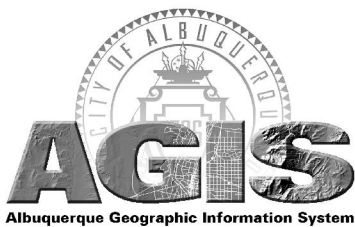
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (7 copies, folded)
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (7 copies, folded)
- Infrastructure List, if applicable
- Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)

Note: Any application that does not qualify as a Minor Amendment in IDO Section 14-16-6-4(X) must be processed as a Major Amendment. See Form S1.

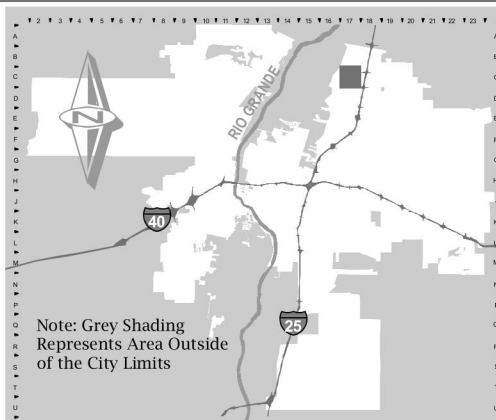
<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></p>	
<p>Signature: </p>	<p>Date: 3/11/19</p>
<p>Printed Name: Ron E. Hensley THE Group</p>	<p><input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent</p>
<p>FOR OFFICIAL USE ONLY</p>	
<p>Project Number:</p>	<p>Case Numbers</p>
<p> </p>	<p>-</p>
<p> </p>	<p>-</p>
<p> </p>	<p>-</p>
<p>Staff Signature:</p>	
<p>Date:</p>	



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 6/5/2009



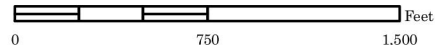
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:

C-17-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone





The **H**ENSLEY **E**NGINEERING **G**ROUP

March 11, 2019

DRB Chair

City of Albuquerque

PO Box 1293

Albuquerque, NM 87103

Re: Horizon Village Subdivision – Sketch Plat

Attached Sketch Plat submittal for a subdivision located within zone atlas page C-17.

The subdivision is a replat of “Tract 4 Land of HIS Acquisition No 120” and is located on Horizon Boulevard near Alamead Blvd. The plat would create 30 lots and 2 tracts from the existing Tract.

The site is within the boundaries of North I-25 Sector Development Plan,

Overview and Summary of Request

- Create 2 tracts from the existing to complete Zone Change.
- Plat of 30 lots and HOA Tract from one of the created tracts.
- Front yards of each lot will be landscaped by the developer, and there will be a homeowners association to enforce landscaping and other site regulations through neighborhood covenants..

As agent for the owners, we are requesting comment on the City requirements to approve the proposed subdivision. Please contact me at 410-1622 or via email if you have any questions or comments.

Sincerely,

A handwritten signature in black ink that reads "Ron E. Hensley".

Ron E. Hensley P.E.

ron@thegroup.cc

Electrical

*

Civil

*

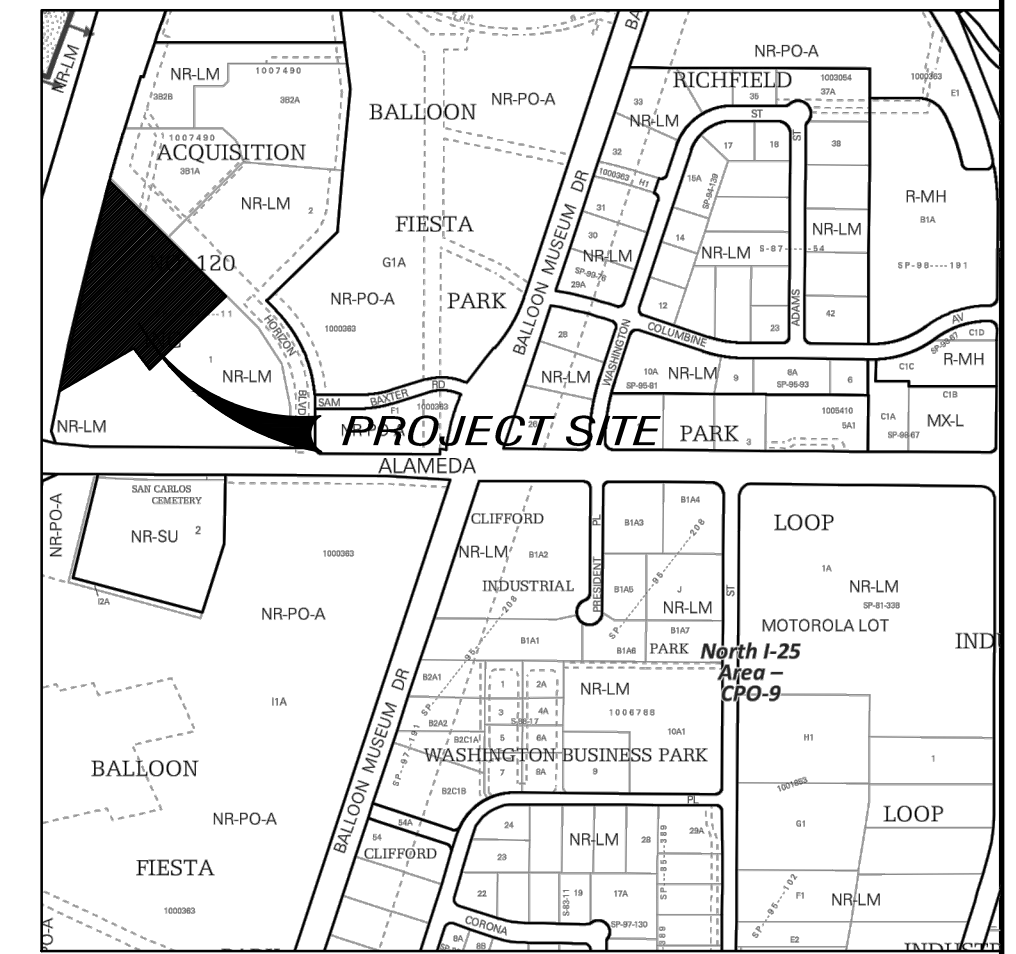
Mechanical

*

Development

300 Branding Iron Rd. S.E. , Rio Rancho, NM 87124

Office: 505-410-1622

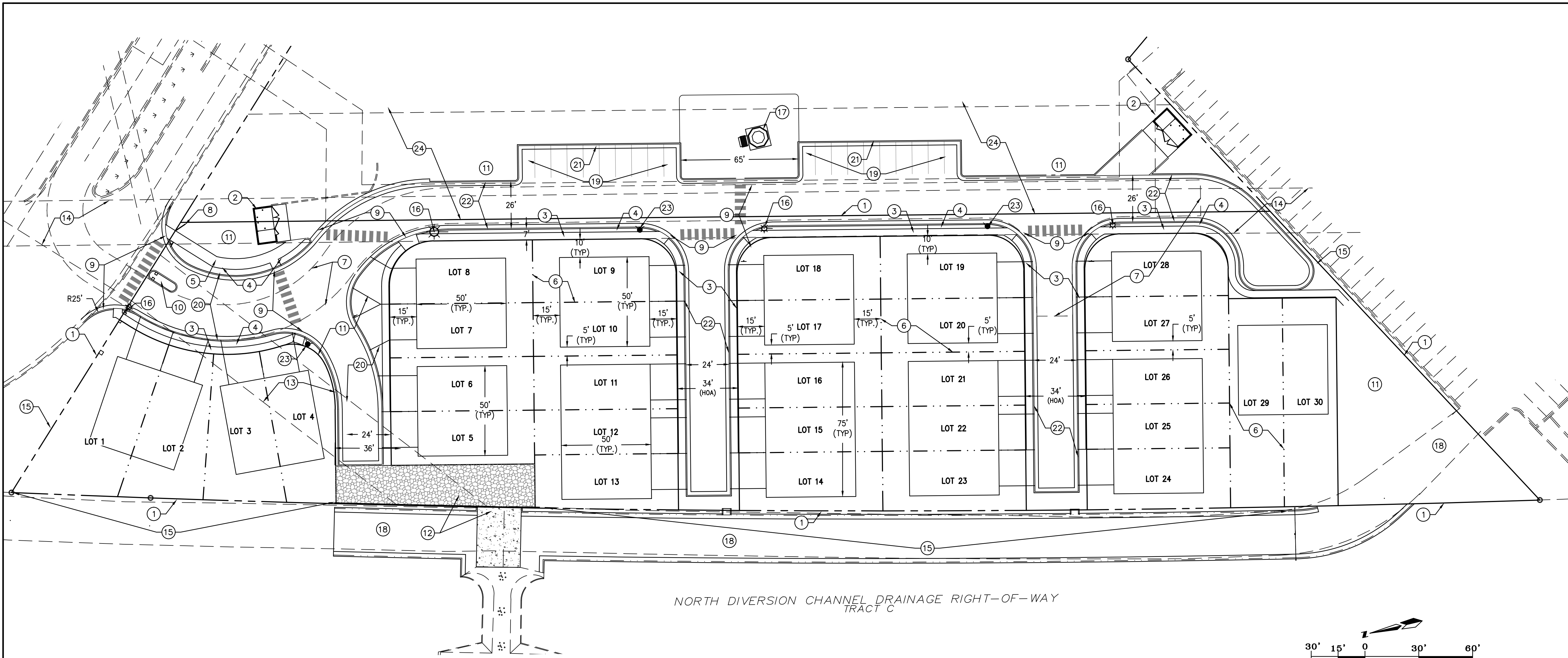


LEGEND

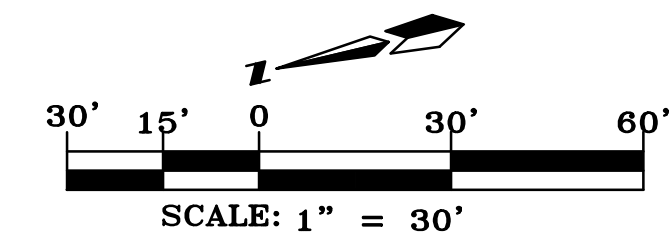
- — — — — PROPERTY LINE
- ===== NEW CURB AND GUTTER & SIDEWALK
- EX CURB AND GUTTER & SIDEWALK
- FIRE ACCESS LANE 20' WIDTH STANDARD. MIN. INSIDE CURVE RADIUS=28', MIN. OUTSIDE CURVE RADIUS=48' TURN AROUND DEPTH=60'

KEYED NOTES

1. PHASE 1 PROPERTY LINE
2. TRASH ENCLOSURE WITH 6' TALL INTEGRAL COLOR TAN CMU YARD WALL WITH GATE PER 1/SP 1.2
3. 4' SIDEWALK
4. LANDSCAPE BUFFER
5. 6' SIDEWALK
6. PROPERTY LINE (TYP.)
7. FIRE ACCESS LANE
8. MONUMENT SIGN PER 2/SP 1.2
9. ACCESSIBLE PEDESTRIAN CROSSWALK PER 3/SP 1.2
10. ENTRANCE WITH 6' LANDSCAPED MEDIAN PER 6/SP 1.2
11. LANDSCAPED AREA PER LANDSCAPE PLAN
12. WATER QUALITY FEATURE AND DRAINAGE DISCHARGE PER GRADING PLAN SP 3.1
13. EXISTING 30' DRAINAGE EASEMENT (TO BE VACATED)
14. EXISTING 25' SANITARY SEWER EASEMENT
15. INTEGRAL COLOR TAN CMU / IRON PERIMETER FENCING PER 5/SP 1.2
16. POLE MOUNTED LIGHT FIXTURE FORWARD THROW PER 4/SP 1.2
17. GAZEBO AND PICNIC TABLE
18. IMPROVED BALLOON FIESTA / AMAFCA ACCESS ROAD
19. 9' X 20' TYPICAL PARKING SPACE / SHARED PARKING AREA
20. STANDARD 8" CURB AND GUTTER
21. 6" CURB
22. STANDARD MOUNTABLE CURB
23. FIRE HYDRANT
24. 55' JOINT USE AND ACCESS EASEMENT



NORTH DIVERSION CHANNEL DRAINAGE RIGHT-OF-WAY TRACT C



PROJECT SUMMARY AND SITE DESIGN

INTRODUCTION

THE PROPOSED DEVELOPMENT SHALL COMPLY WITH THE REQUIREMENTS OF THE MX-L ZONE AND THE GENERAL REGULATIONS OF THE INTEGRATED DEVELOPMENT ORDINANCE.

SITE DESIGN

OVERALL LAYOUT OF SITE

THE SITE WILL CREATE THIRTY (30) TOWNHOUSE LOTS. THE RESIDENTIAL BUILDINGS SHALL BE ARRAYED ALONG PRIVATE DRIVES WITH A VEHICULAR ACCESS TO HORIZON BLVD. THE RESIDENTIAL BUILDINGS SHALL BE SITUATED WITH FRONT ENTRANCES FACING THE PRIVATE DRIVE. 4' PEDESTRIAN WALKWAYS TRAVERSE BOTH SIDES OF THE PRIVATE DRIVE TO PROVIDE PEDESTRIAN ACCESS TO THE RESIDENCES. THE PEDESTRIAN WALKWAYS ALSO CONNECT TO THE HORIZON BLVD. PRIVATE DRIVE. THE RESIDENCES SHALL BE TWO STORY WITH GARAGES FACING THE PRIVATE WAY.

BUILDING PLACEMENT, ORIENTATION, SETBACKS

THE RESIDENTIAL GARAGE DOORS SHALL FACE THE SUBDIVISION PRIVATE DRIVE. A CONCRETE DRIVEWAY (20' LENGTH TO CURB) SHALL PROVIDE ACCESS TO THE TWO CAR GARAGES. FRONT YARD SETBACK SHALL FIFTEEN FEET (15'). SIDE YARD SETBACK SHALL BE FIVE FEET (5'). REAR YARD SETBACK SHALL BE FIFTEEN FEET (15'). BUILDING HEIGHTS SHALL RISE TO 28' AT TWO STORY PEAK.

PEDESTRIAN AND VEHICULAR CONNECTIVITY (INTERNAL & EXTERNAL)

THE SITE IS CONNECTED TO THE SURROUNDINGS VIA HORIZON BLVD. PUBLIC TRANSIT ACCESS IS TO THE SOUTH IN ALAMEDA BLVD. PEDESTRIAN AND BIKEWAY ACCESS IS LOCATED ALONG ALAMEDA BLVD. INTERNAL TO THE SITE, 4' SIDEWALKS ALONG THE PRIVATE DRIVES CONNECT EACH RESIDENCE WITH ITS NEIGHBOR, AND THE CENTRALLY LOCATED PARK. ADA RAMPS AT CORNERS PROVIDE HANDICAP ACCESSIBILITY TO THE DEVELOPMENT. THE KEY VEHICULAR ENTRY POINT SHALL BE ACCENTUATED BY LANDSCAPE ELEMENTS AND SIGNAGE. HORIZON BLVD. PROVIDES ACCESS TO THE BUS TRANSIT SYSTEM ON ALAMEDA BLVD.

PARKING LOCATION AND DESIGN

OFF STREET RESIDENT PARKING IS PROVIDED AT EACH GARAGE AND ITS ACCOMPANYING DRIVEWAY. FOUR PARKING SPACES ARE ACCOMMODATED IN THIS WAY AT THE TWO CAR GARAGES. ADDITIONAL PARKING IS PROVIDED ADJACENT TO THE CENTRAL PARK IN THE SHARED USE AND ACCESS AREA OF PHASE 2 (TRACT 4B).

PUBLIC OUTDOOR SPACES

THE CENTRALLY LOCATED LANDSCAPED PARK FEATURES A GAZEBO AND PICNIC AREA IN THE SHARED USE AREA.

REFUSE & RECYCLE PICKUP

RECYCLE AND REFUSE PICKUP SHALL BE BY TWO DUMPSTER LOCATIONS WITH SCHEDULED PICKUP TIMES. THE LOCATIONS ARE READILY ACCESSIBLE TO ALL RESIDENTS.

LOCATION, HEIGHT, DESIGN AND PURPOSE OF ALL WALLS AND WALL OPENINGS

THE CMU / WROUGHT IRON FENCING PROVIDE PRIVACY AND SECURITY FOR THE RESIDENTS. ALL WALLS AND FENCES ARE SUBJECT TO SECTION 14-16-3-19 OF THE ZONING ORDINANCE. ALL WALLS SHALL BE 6-0" IN HEIGHT ABOVE HIGH GROUND ELEVATION OF INTEGRAL TAN COLOR; THEY SHALL BE EXPOSED BLOCK WITH REPEATING PATTERNS AND VARIEGATED TEXTURES OR COMBINED WITH WROUGHT IRON FEATURES.

LOCATION, HEIGHT, DESIGN AND PURPOSE OF LIGHTING

STREET LIGHTING WILL BE PROVIDED AT APPROPRIATE LOCATIONS FOR SAFETY AND SECURITY. LIGHTING SHALL COMPLY WITH ALL REQUIREMENTS IN SECTION 14-16-3-9 OF THE ZONING ORDINANCE. RESIDENCE-MOUNTED LIGHTING ELEMENTS SHALL BE INCANDESCENT, METAL HALIDE OR HALOGEN ONLY. RESIDENCE MOUNTED FLOODLIGHTS (MAXIMUM 75 WATT BULBS) SHALL BE SHIELDED OR AIMED IN SUCH A WAY THAT THEY DO NOT SHINE INTO OTHER LOTS OR THE STREET.

SCREENING / BUFFERING TECHNIQUES

MULTIPLE STREET SHADE TREES SCREEN RESIDENCES FROM ADJACENT ROADWAY WHILE CREATING PEDESTRIAN AMENITIES WITHIN THE URBAN FABRIC OF THE DEVELOPMENT. AT MATURITY, THESE TREES SHALL CREATE A COOLING MICRO CLIMATE.

STREET REALM

TRANSIT, BICYCLE, PEDESTRIAN AMENITIES

THE SITE IS ACCESSIBLE TO TRANSIT ROUTES ON ALAMEDA BLVD., WHICH IS A PRINCIPAL ARTERIAL. CITY OF ALBUQUERQUE "ABQ RIDE" BUS STOP IS LOCATED NEAR THE DEVELOPMENT. THE SITE IS IN THE VICINITY OF SEVERAL CITY PARKS AND TRAIL FACILITIES.

LANDSCAPING

LANDSCAPING IS A KEY ELEMENT OF THE DESIGN. IT IS INTEGRAL TO THE GOAL OF PROVIDING PLACES THAT PROMOTE COMMUNITY AND ENRICH THE LIVES OF THE AREA RESIDENTS. A CENTRAL COMMUNITY PARK IS A PROMINENT ELEMENT TO ACHIEVE THIS GOAL.

THE LANDSCAPE NETWORK CONSISTS OF:

STREET SHADE TREES ALONG PRIMARY DRIVE SHALL BE SITUATED IN LANDSCAPE STRIPS W/ ROCK OR BARK GROUNDCOVER. STREET TREE SPACING SHALL BE DETERMINED BY TREE CANOPY AT FULL MATURITY.

INTERIOR STREET SHAPE STREET SHADE TREES, AND LANDSCAPING IN AND AROUND UNIT DRIVEWAYS SHALL BE PROVIDED AND MAINTAINED BY AN OWNERS ASSOCIATION. AT MINIMUM, ONE 8'-0" TO 12M" TALL SHADE TREE AT THE STREET FRONTAGE OF EACH STRUCTURE. IN ADDITION > 5 GALLON SHRUBS SHALL BE LOCATED IN A ROCK/COBBLE ACCENT LANDSCAPING SCHEME.

DECIDUOUS STREET SHADE TREES PROVIDE PASSIVE SOLAR MITIGATION OF PAVED SURFACES. THE LANDSCAPING SHALL BALANCE

THE DENSITY OF THE HOUSING UNITS AND CREATE HUMAN SCALE. THE TREE SPECIES SHALL BE VARIED TO AVOID MONOCULTURE. SUGGESTED PLANT SPECIES AS SHOWN ARE NOT MANDATORY, HOWEVER ANY SUBSTITUTIONS WILL BE LIMITED TO MEDIUM OR LOW WATER USE SPECIES. PLANT SPECIES SHOULD REFLECT THE CHARACTER AND SCALE OF THE SURROUNDING NEIGHBORHOOD.

BUILDING DESIGN

CONTEXT

THE PROPOSED DEVELOPMENT IS SITUATE WITHIN A MIXED USE AREA. THE DEVELOPMENT FURTHERS THE GOAL OF THE MIXED USE BY PROVIDING PROXIMITY IN THE LIVE / WORK ENVIRONMENT.

ARCHITECTURAL THEME OR STYLE

FOR THE PROPOSED TOWNHOUSE DEVELOPMENT, TWO BUILDING CONFIGURATIONS WILL BE USED. THE SOUTHWEST CRAFTSMEN ARCHITECTURAL STYLE WILL HAVE A FLAT ROOF/FRAME WITH A BRICK AND STUCCO FACADE. PARAPETS FOR FLAT ROOF DESIGNS SHALL NOT EXCEED 15% OF THE HEIGHT OF THE SUPPORTING WALL AND SHALL SHIELD THE VIEW OF THE ROOF MATERIAL FROM ANY PUBLIC OR PRIVATE RIGHT-OF-WAY.

BUILDING HEIGHT, SCALE, MASSING, MATERIALS, COLORS AND ARTICULATION

THE DEVELOPMENT IS ORGANIZED TO EMPHASIZE A RESIDENTIAL NEIGHBORHOOD RESPONSE TO THE SITE. THE BUILDINGS ARE PLACED WITH THEIR FRONT FACADES FACING THE PRIVATE WAY. THE BUILDING DESIGNS SHALL INCORPORATE PRUDENT USE OF BOTH VERTICAL AND HORIZONTAL ARTICULATION AS APPROPRIATE TO RESIDENTIAL DESIGN. AN EARTH TONED PALETTE SHALL BE IN EVIDENCE AT ALL OF THE EXTERIOR BUILDING WALLS AND SURROUNDING PROPERTY LINE WALLS.

SHEET LIST

SHEET NUMBER	SHEET NAME
SP1	SITE DEVELOPMENT PLAN
SP2	PLAT
SP3	GRADING AND DRAINAGE PLAN
SP4	UTILITY PLAN

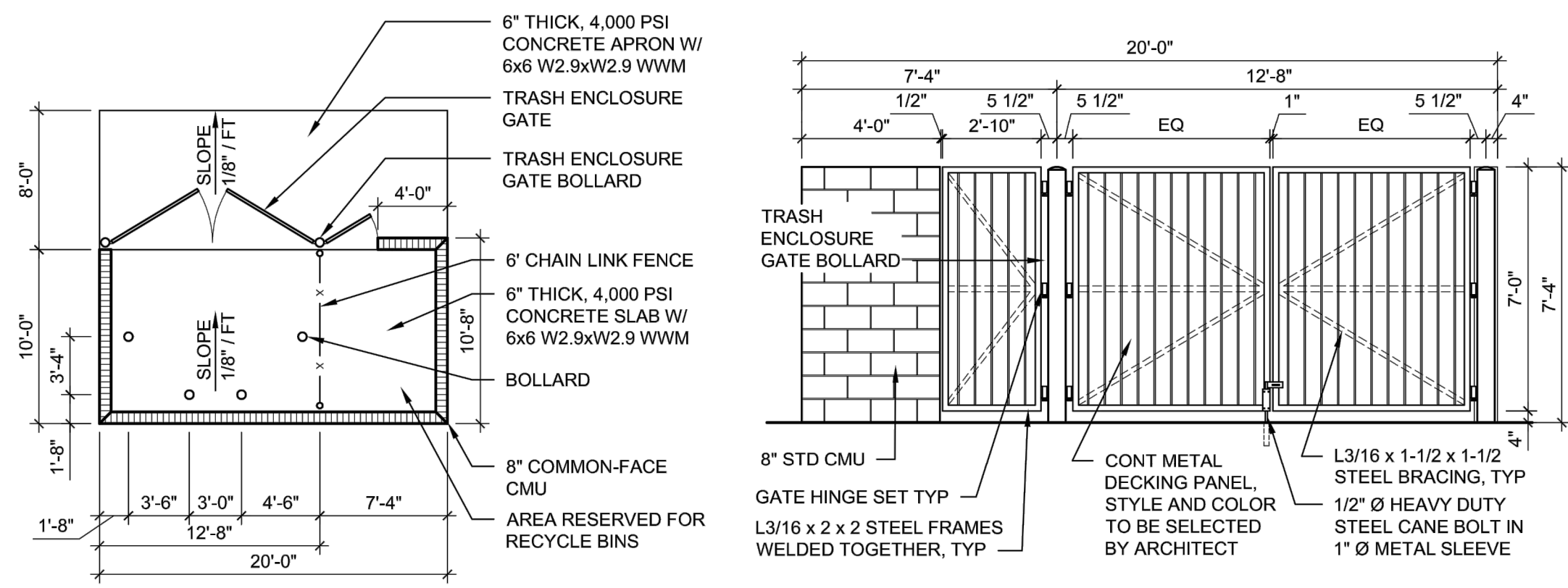
No.	Revision/Issue	Date

**HORIZON VILLAGE
PHASE I – ALDEA HORIZON
SITE PLAN**
Albuquerque, New Mexico

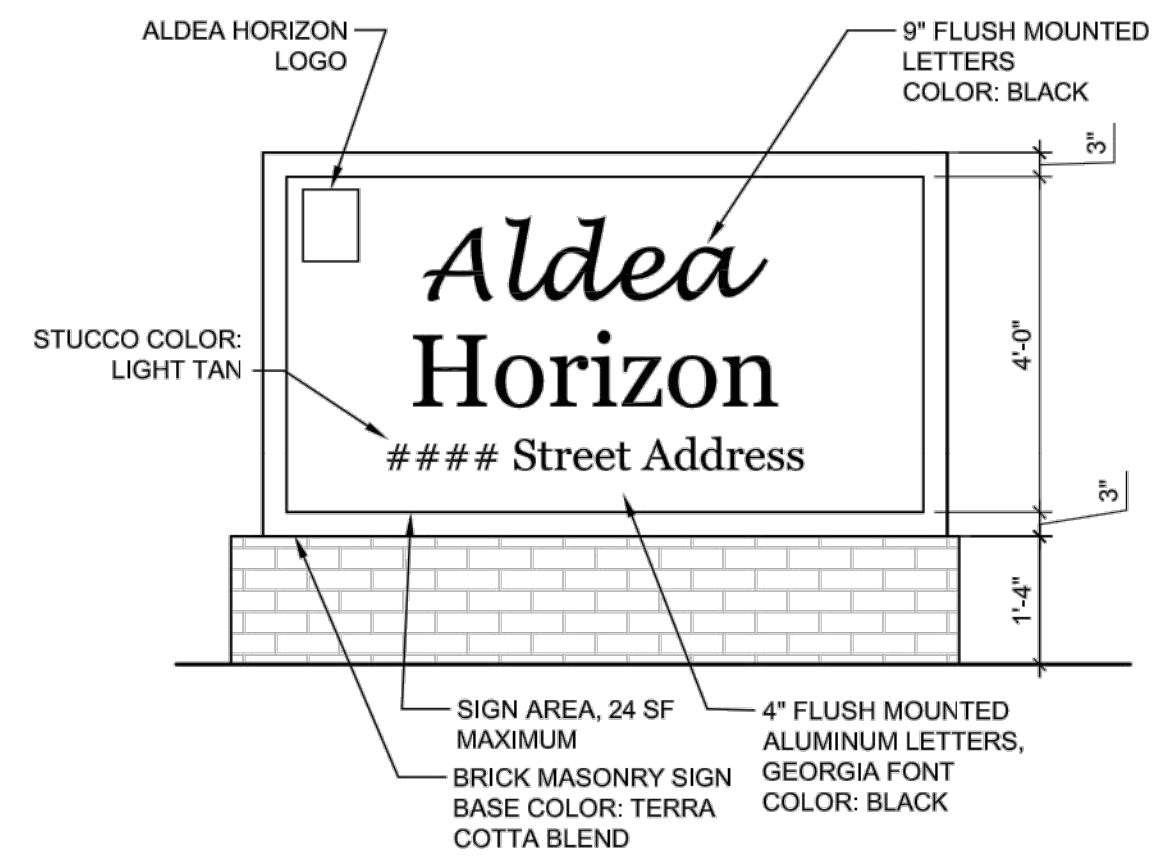


THE HENSLEY ENGINEERING GROUP
300 BRANDING IRON RD. SE
RIO RANCHO, NEW MEXICO 87124
Phone: (505) 410-1622

Sheet Title	SITE DEVELOPMENT PLAN	Sheet Number	SP1.1
Date	MARCH 1, 2019		
Project No.			

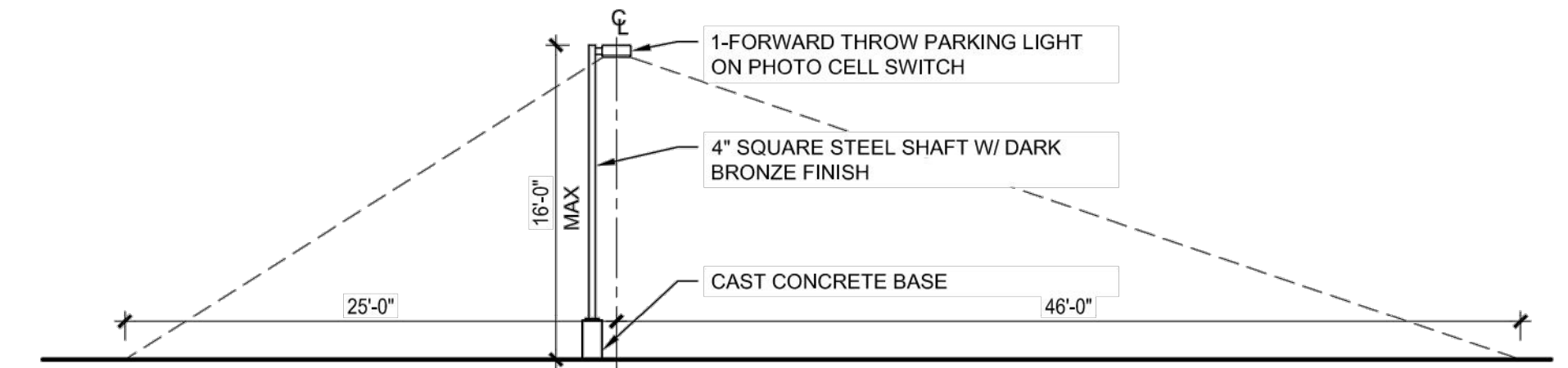


1 REFUSE ENCLOSURE
Scale: Plan: 1/8"=1' Elevation: 1/4"=1'

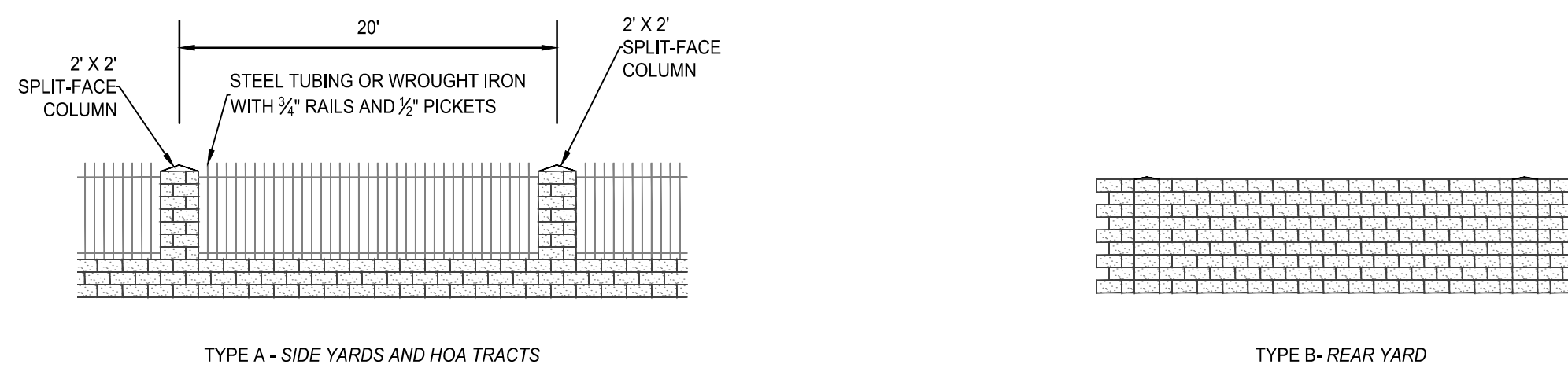


2 MONUMENT SIGN
NTS

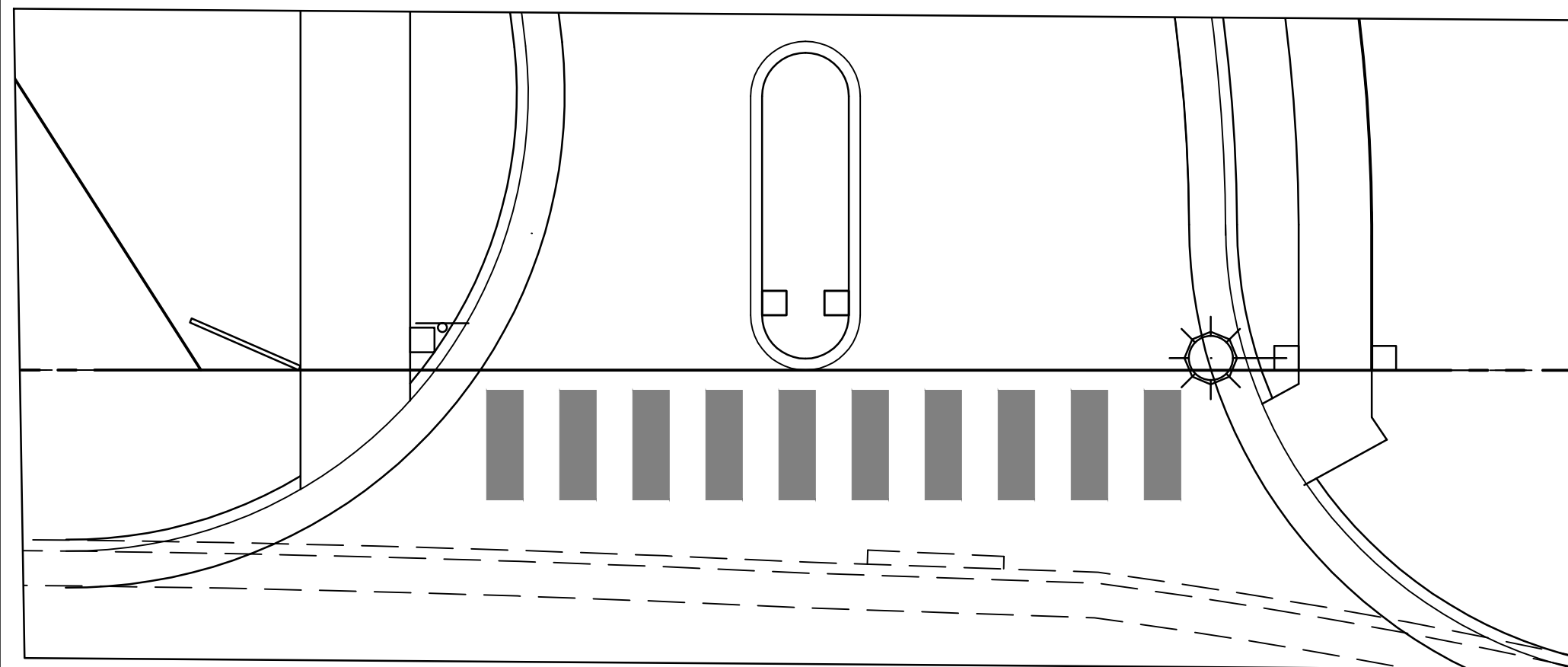
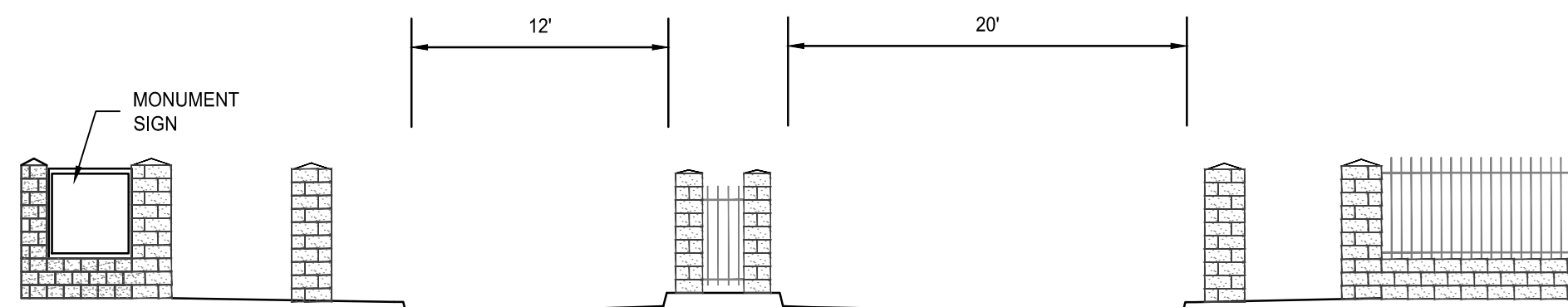
3 PEDESTRIAN CROSSING
Scale: 1/8"=1'




4 16 ft. LIGHT POLE
Scale: 1/8"=1'



5 PERIMETER FENCING
Scale: 1/8"=1'



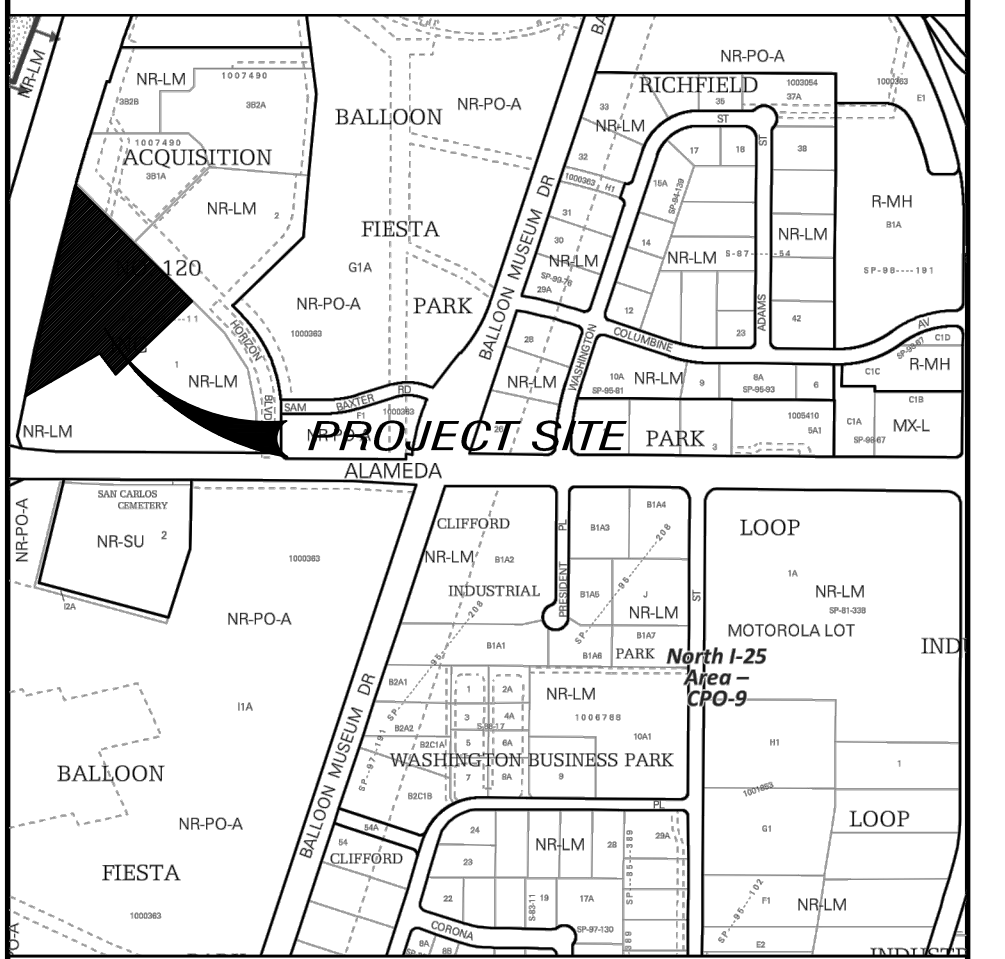
4 SITE ENTRANCE
1"=8'

No.	Revision/Issue	Date
HORIZON VILLAGE PHASE I - ALDEA HORIZON SITE PLAN Albuquerque, New Mexico		
 THE HENSLEY ENGINEERING GROUP 300 BRANDING IRON RD. SE RIO RANCHO, NEW MEXICO 87124 Phone: (505) 410-1622		
Sheet Title	SITE DETAILS	Sheet Number
Date	MARCH 1, 2019	SP 1.2
Project No.		

SUBDIVISION INFORMATION

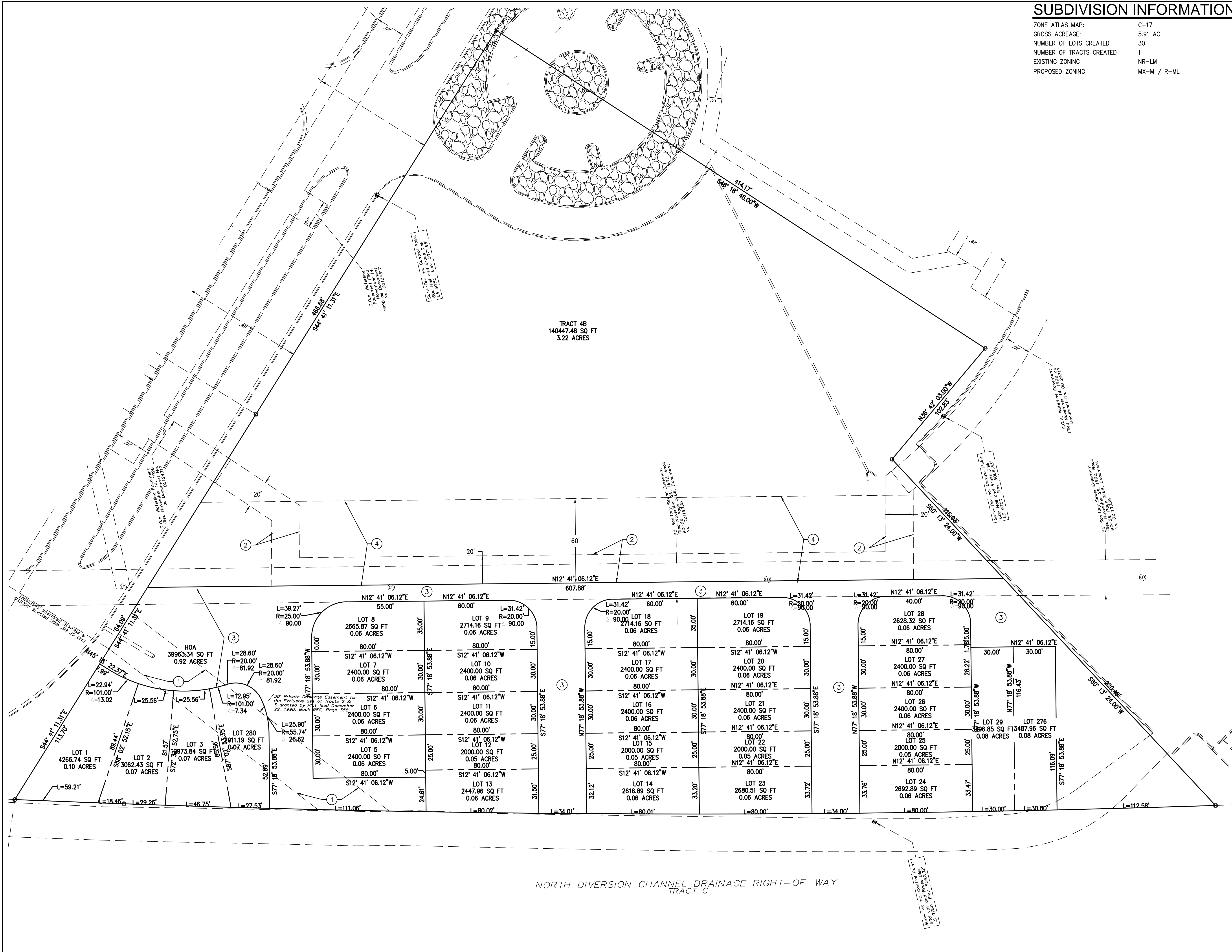
ZONE ATLAS MAP: C-17
 GROSS ACREAGE: 5.91 AC
 NUMBER OF LOTS CREATED: 30
 NUMBER OF TRACTS CREATED: 1
 EXISTING ZONING: NR-LM
 PROPOSED ZONING: MX-M / R-ML

VICINITY MAP C-17-Z



SHEET KEYED NOTES

- ① 30' DRAINAGE EASEMENT TO BE VACATED
- ② 20' ABCWJA WATER EASEMENT TO BE DEDICATED
- ③ BLANKET ACCESS, DRAINAGE AND ABCWJA UTILITY EASEMENT TO BE DEDICATED
- ④ 60' JOINT USE AND ACCESS EASEMENT TO BE DEDICATED



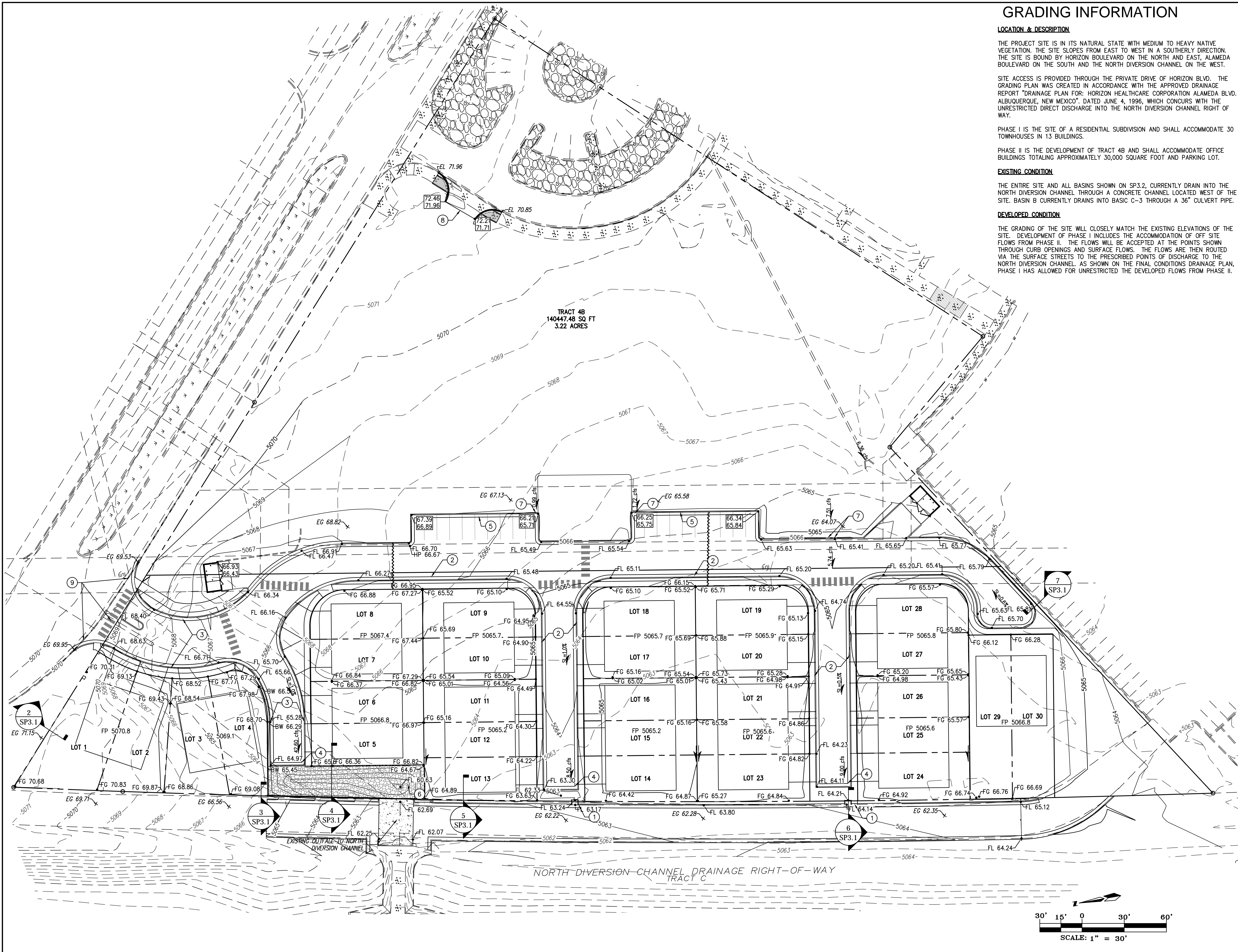
No.	Revision/Issue	Date

**HORIZON VILLAGE
 PHASE I – ALDEA HORIZON
 SITE PLAN**
 Albuquerque, New Mexico



THE HENSLEY ENGINEERING GROUP
 300 BRANDING IRON RD. SE
 RIO RANCHO, NEW MEXICO 87124
 Phone: (505) 410-1622

Sheet Title	SKETCH PLAT	Sheet Number	SP2
Date	MARCH 1, 2019		
Project No.			



GRADING INFORMATION

LOCATION & DESCRIPTION

THE PROJECT SITE IS IN ITS NATURAL STATE WITH MEDIUM TO HEAVY NATIVE VEGETATION. THE SITE SLOPES FROM EAST TO WEST IN A SOUTHERLY DIRECTION. THE SITE IS BOUND BY HORIZON BOULEVARD ON THE NORTH AND EAST, ALAMEDA BOULEVARD ON THE SOUTH AND THE NORTH DIVERSION CHANNEL ON THE WEST.

SITE ACCESS IS PROVIDED THROUGH THE PRIVATE DRIVE OF HORIZON BLVD. THE GRADING PLAN WAS CREATED IN ACCORDANCE WITH THE APPROVED DRAINAGE REPORT "DRAINAGE PLAN FOR: HORIZON HEALTHCARE CORPORATION ALAMEDA BLVD. ALBUQUERQUE, NEW MEXICO", DATED JUNE 4, 1996, WHICH CONCURS WITH THE UNRESTRICTED DIRECT DISCHARGE INTO THE NORTH DIVERSION CHANNEL RIGHT OF WAY.

PHASE I IS THE SITE OF A RESIDENTIAL SUBDIVISION AND SHALL ACCOMMODATE 30 TOWNHOUSES IN 13 BUILDINGS.

PHASE II IS THE DEVELOPMENT OF TRACT 4B AND SHALL ACCOMMODATE OFFICE BUILDINGS TOTALING APPROXIMATELY 30,000 SQUARE FOOT AND PARKING LOT.

EXISTING CONDITION

THE ENTIRE SITE AND ALL BASINS SHOWN ON SP3.2, CURRENTLY DRAIN INTO THE NORTH DIVERSION CHANNEL THROUGH A CONCRETE CHANNEL LOCATED WEST OF THE SITE. BASIN B CURRENTLY DRAINS INTO BASIC C-3 THROUGH A 36" CULVERT PIPE.

DEVELOPED CONDITION

THE GRADING OF THE SITE WILL CLOSELY MATCH THE EXISTING ELEVATIONS OF THE SITE. DEVELOPMENT OF PHASE I INCLUDES THE ACCOMMODATION OF OFF SITE FLOWS FROM PHASE II. THE FLOWS WILL BE ACCEPTED AT THE POINTS SHOWN THROUGH CURB OPENINGS AND SURFACE FLOWS. THE FLOWS ARE THEN ROUTED VIA THE SURFACE STREETS TO THE PRESCRIBED POINTS OF DISCHARGE TO THE NORTH DIVERSION CHANNEL. AS SHOWN ON THE FINAL CONDITIONS DRAINAGE PLAN, PHASE I HAS ALLOWED FOR UNRESTRICTED THE DEVELOPED FLOWS FROM PHASE II.

GENERAL SHEET NOTES

1. THE CONCEPT DETAILED ON THESE PLANS SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, UPDATE NO. 8.
2. THE EROSION PROTECTION SPECIFIED ON THIS PLAN IS THE MINIMUM RECOMMENDED. THE OWNER IS ENCOURAGED TO INCORPORATE EROSION RESISTANT LANDSCAPING ON AREAS WHERE EROSION MAY OCCUR SUCH AS SLOPES AND SWALES. THE OWNER IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL FEATURES NECESSARY TO PRESERVE THE DESIGN INTENT OF THE GRADING PLAN.
3. THE DRAINAGE INFRASTRUCTURE SHOWN ON THIS PLAN IS THE RESPONSIBILITY OF THE PROPERTY OWNER.

SHEET KEYED NOTES

- | | |
|---|--|
| ① | 4' DISCHARGE CULVERT - OPEN TOP BOX SHAPE |
| ② | ROLL-TYPE CURB & GUTTER, PER COA STD. DTL. 2415A |
| ③ | STANDARD CURB & GUTTER, PER COA STD. DTL. 2415A |
| ④ | ESTATE CURB RUNDOWN, PER COA STD. DTL. 2415A |
| ⑤ | 6" SPILL TYPE CURB |
| ⑥ | CONCRETE SWALE TO AMAFCA CHANNEL |
| ⑦ | 3' CURB OPENING |
| ⑧ | 24' TRACT 4B ENTRANCE |
| ⑨ | EXISTING CURB, INLET AND PIPE TO BE REMOVED |

LEGEND

- GRADE BREAK
- 5000 EXISTING CONTOUR
- 5000 EXISTING CONTOUR
- EASEMENT
- RETAINING WALL
- RIP RAP
- EL=11.28 PROPOSED ELEVATION
- 66.33 EXISTING ELEVATION
- 12.17 TOP OF CURB
- 11.61 BOTTOM OF CURB
- TW 11.28 PROPOSED GROUND ELEVATION AT WALL

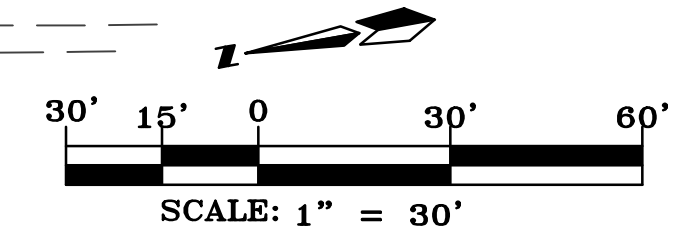
No.	Revision/Issue	Date

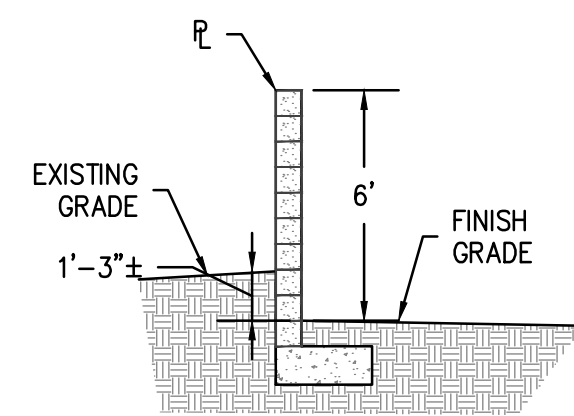
HORIZON VILLAGE
PHASE I - ALDEA HORIZON
SITE PLAN
Albuquerque, New Mexico



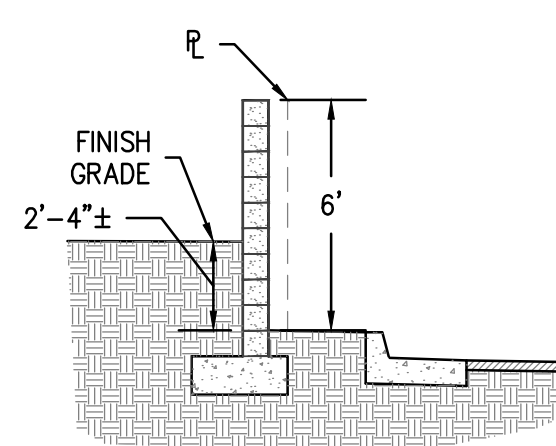
THE HENSLEY ENGINEERING GROUP
300 BRANDING IRON RD. SE
RIO RANCHO, NEW MEXICO 87124
Phone: (505) 410-1622

Sheet Title	GRADING PLAN	Sheet Number	SP3.1
Date	MARCH 1, 2019	Project No.	

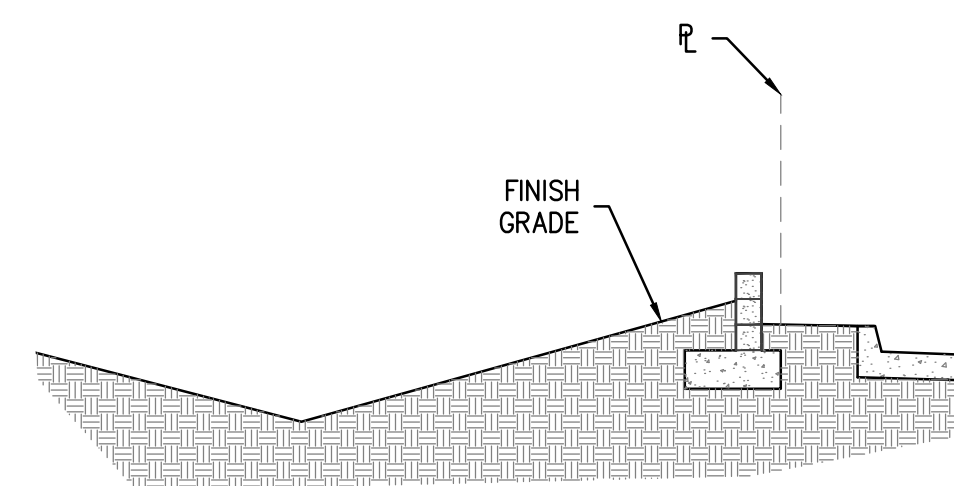




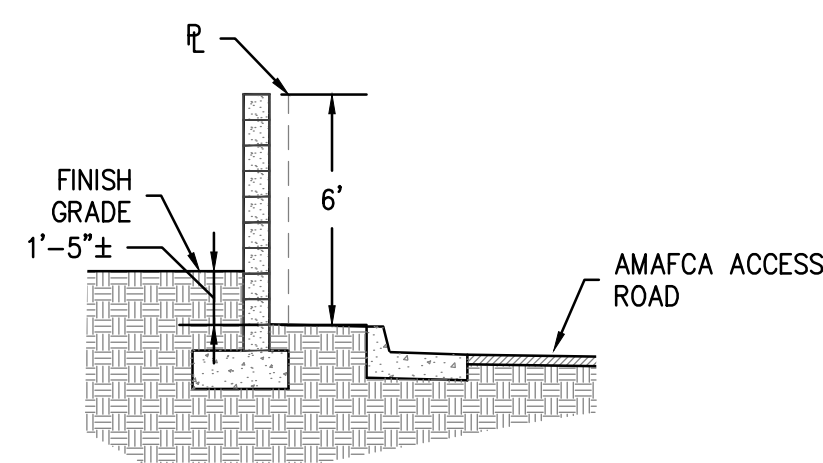
2 SECTION AT PROPERTY LINE
Scale: 1"=5'



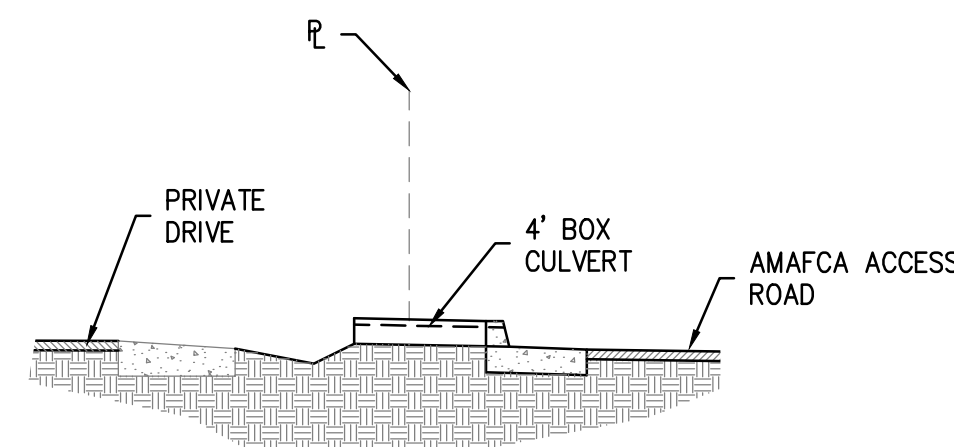
3 SECTION AT PROPERTY LINE
Scale: 1"=5'



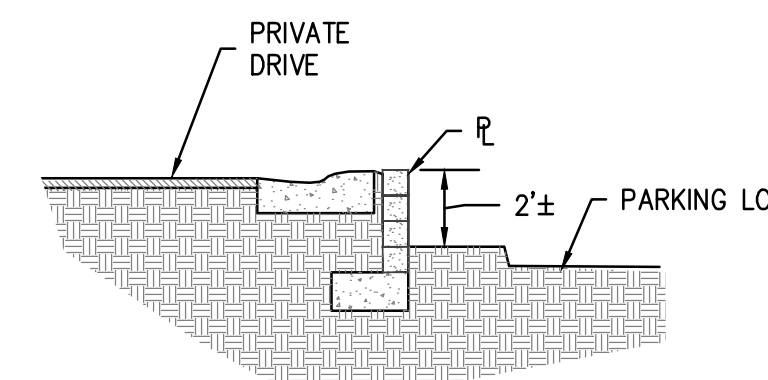
4 SECTION AT WATER QUALITY
Scale: 1"=5'



5 SECTION AT PROPERTY LINE
Scale: 1"=5'



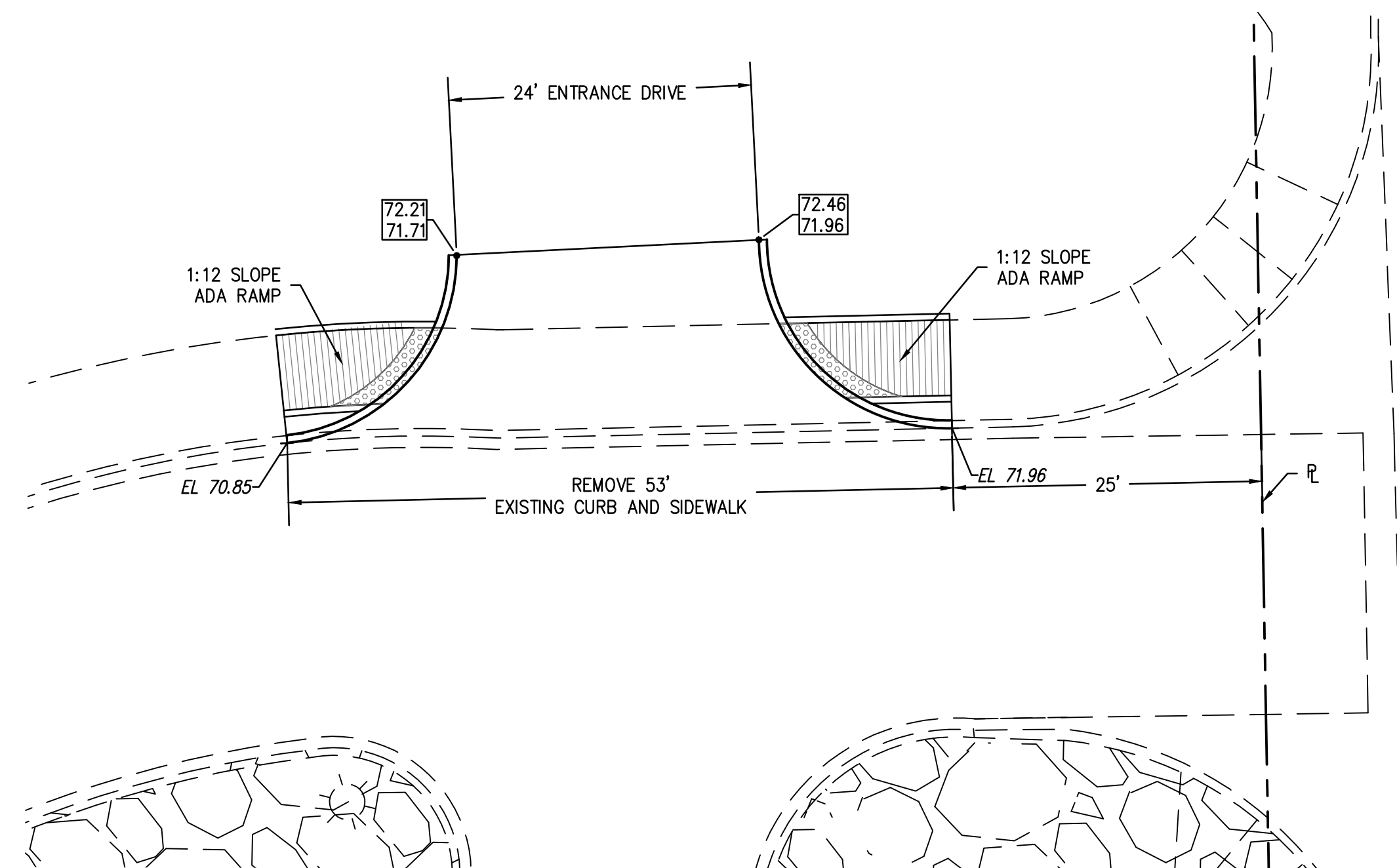
6 SECTION AT PROPERTY LINE
Scale: 1"=5'



7 SECTION AT PROPERTY LINE
Scale: 1"=5'



1 DRAINAGE DISCHARGE WIER
Scale: 1"=10'



8 TRACT 4B ENTRANCE
Scale: 1"=10'

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SHEET KEYED NOTES

LEGEND

- GRADE BREAK
- 5000 EXISTING CONTOUR
- 5000 EXISTING CONTOUR
- EASEMENT
- RETAINING WALL
- RIP RAP
- PROPOSED ELEVATION
- EXISTING ELEVATION
- TOP OF CURB
- BOTTOM OF CURB
- PROPOSED GROUND ELEVATION AT WALL

No.	Revision/Issue	Date

HORIZON VILLAGE
PHASE I – ALDEA HORIZON
SITE PLAN
Albuquerque, New Mexico



THE HENSLEY ENGINEERING GROUP
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RIO RANCHO, NEW MEXICO 87124
Phone:(505) 410-1622

Sheet Title	GRADING DETAILS	Sheet Number	SP3.2
Date	MARCH 1, 2019		
Project No.			

HYDROLOGIC DATA – EXISTING

BASINS	AREA (acres)	LAND TREATMENT PERCENTAGES BY TYPE				YIELD (cfs/ac)	Q ¹⁰⁰ (cfs)	V ¹⁰⁰⁻²⁴ (acft)
		A	B	C	D			
A1*	1.18	0	30	0	70	3.82	4.50	0.18
A2*	16.83	0	12	51	36	3.16	53.22	2.00
B*	11.15	0	27	17	74	3.36	37.49	1.47
C	5.94	0	100	0	0	1.94	11.54	0.39

* LAND USE PERCENTAGES AND FLOWS PER DRAINAGE PLAN FOR: HORIZON HEALTHCARE CORPORATION ALAMEDA BLVD. ALBUQUERQUE, NEW MEXICO. DATED JUNE 4, 1996

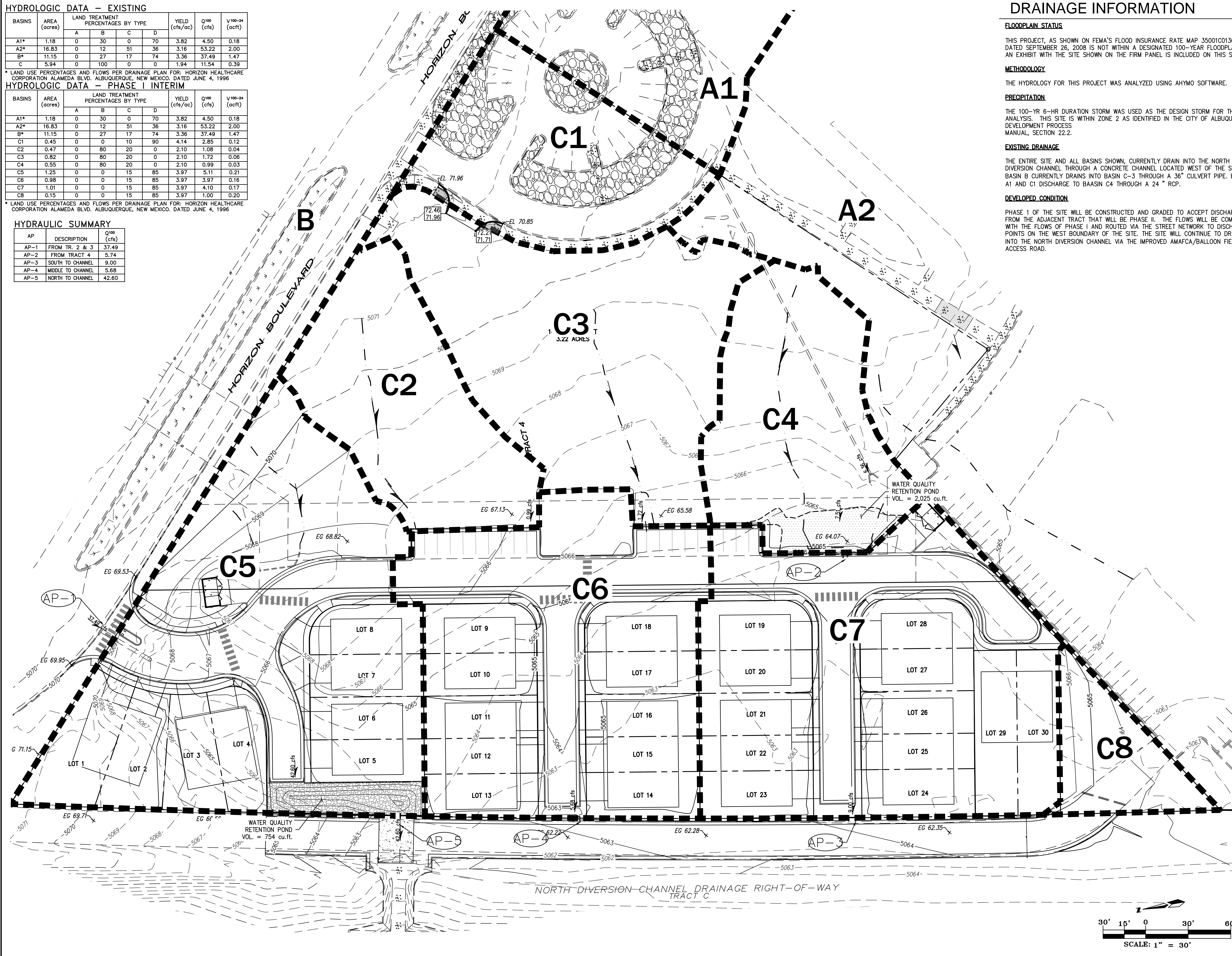
HYDROLOGIC DATA – PHASE I INTERIM

BASINS	AREA (acres)	LAND TREATMENT PERCENTAGES BY TYPE				YIELD (cfs/ac)	Q ¹⁰⁰ (cfs)	V ¹⁰⁰⁻²⁴ (acft)
		A	B	C	D			
A1*	1.18	0	30	0	70	3.82	4.50	0.18
A2*	16.83	0	12	51	36	3.16	53.22	2.00
B*	11.15	0	27	17	74	3.36	37.49	1.47
C1	0.45	0	0	10	90	4.14	2.85	0.12
C2	0.47	0	80	20	0	2.10	1.08	0.04
C3	0.82	0	80	20	0	2.10	1.72	0.06
C4	0.55	0	80	20	0	2.10	0.99	0.03
C5	1.25	0	0	15	85	3.97	5.11	0.21
C6	0.98	0	0	15	85	3.97	3.97	0.16
C7	1.01	0	0	15	85	3.97	4.10	0.17
C8	0.15	0	0	15	85	3.97	1.00	0.20

* LAND USE PERCENTAGES AND FLOWS PER DRAINAGE PLAN FOR: HORIZON HEALTHCARE CORPORATION ALAMEDA BLVD. ALBUQUERQUE, NEW MEXICO. DATED JUNE 4, 1996

HYDRAULIC SUMMARY

AP	DESCRIPTION	Q ¹⁰⁰ (cfs)
AP-1	FROM TR. 2 & 3	37.49
AP-2	FROM TRACT 4	5.74
AP-3	SOUTH TO CHANNEL	9.00
AP-4	MIDDLE TO CHANNEL	5.68
AP-5	NORTH TO CHANNEL	42.60



DRAINAGE INFORMATION

FLOODPLAIN STATUS

THIS PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0136 G, DATED SEPTEMBER 26, 2008 IS NOT WITHIN A DESIGNATED 100-YEAR FLOODPLAIN. AN EXHIBIT WITH THE SITE SHOWN ON THE FIRM PANEL IS INCLUDED ON THIS SHEET.

METHODOLOGY

THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING AHYMO SOFTWARE.

PRECIPITATION

THE 100-YR 6-HR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 2 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2.

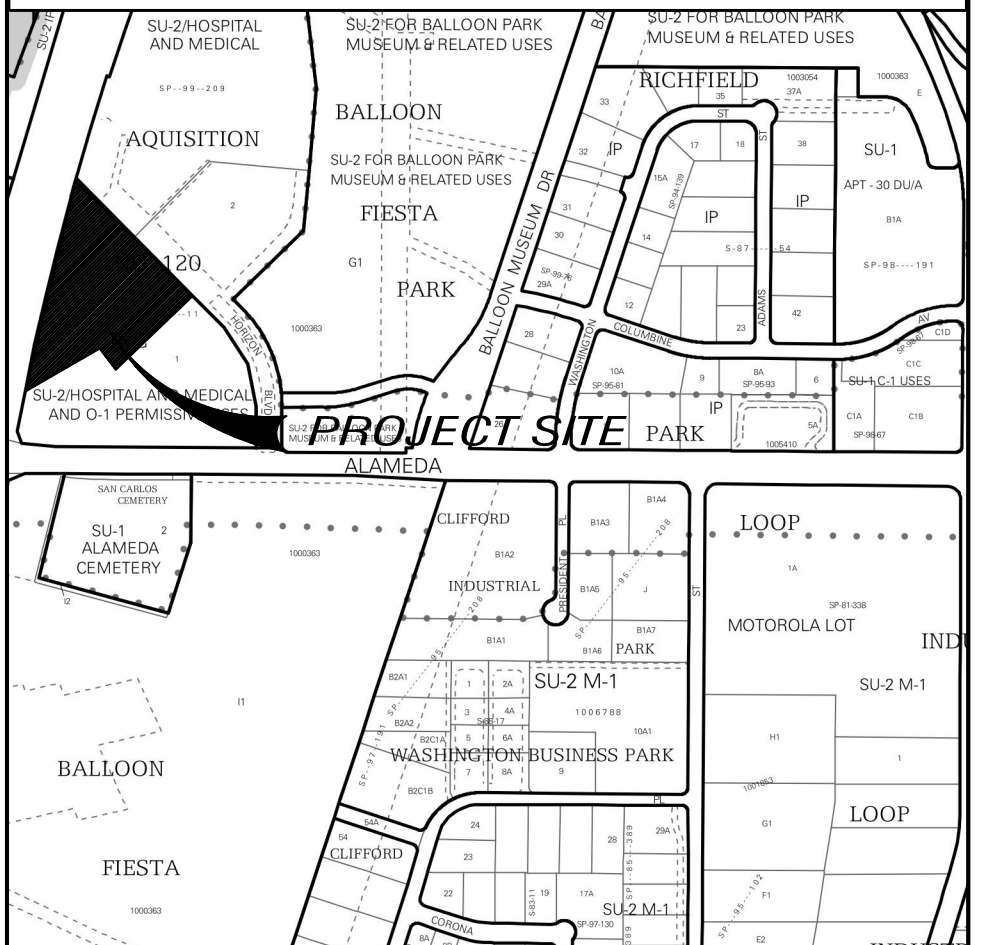
EXISTING DRAINAGE

THE ENTIRE SITE AND ALL BASINS SHOWN, CURRENTLY DRAIN INTO THE NORTH DIVERSION CHANNEL THROUGH A CONCRETE CHANNEL LOCATED WEST OF THE SITE. BASIN B CURRENTLY DRAINS INTO BASIN C-3 THROUGH A 36" CULVERT PIPE. BASIN A1 AND C1 DISCHARGE TO BASIN C4 THROUGH A 24" RCP.

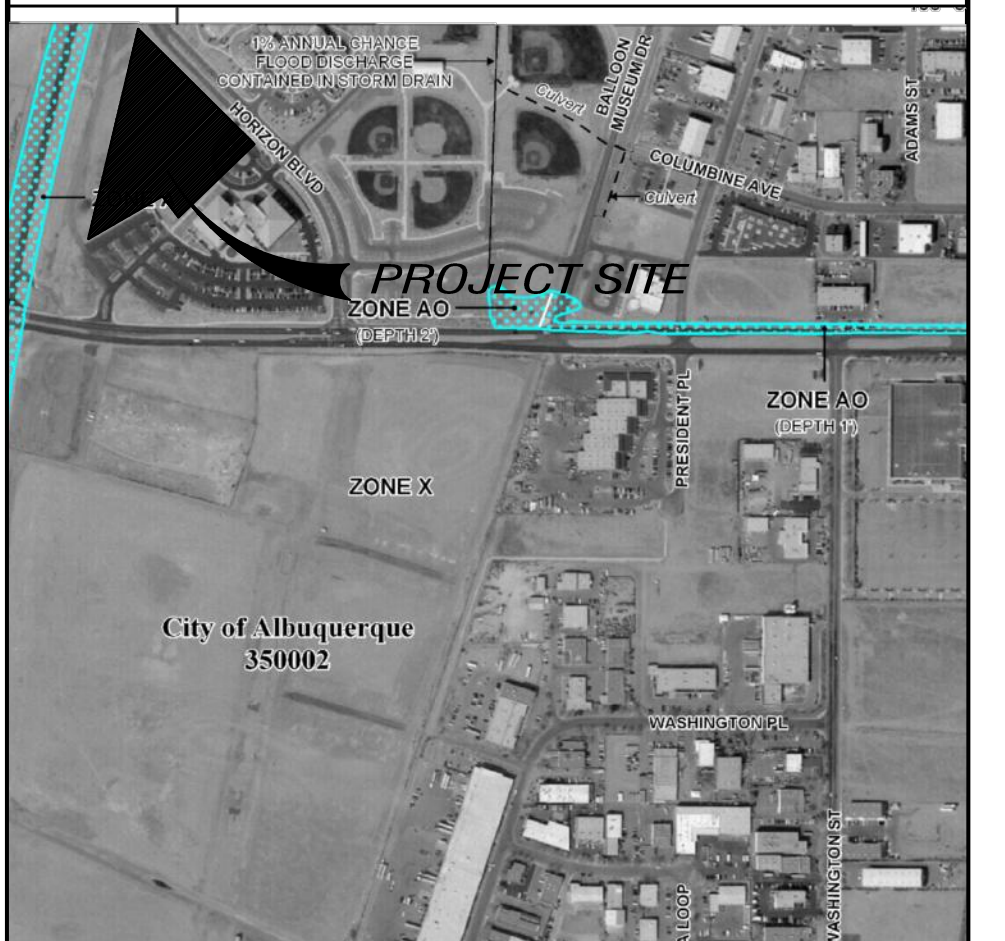
DEVELOPED CONDITION

PHASE I OF THE SITE WILL BE CONSTRUCTED AND GRADED TO ACCEPT DISCHARGE FROM THE ADJACENT TRACT THAT WILL BE PHASE II. THE FLOWS WILL BE COMBINED WITH THE FLOWS OF PHASE I AND ROUTED VIA THE STREET NETWORK TO DISCHARGE POINTS ON THE WEST BOUNDARY OF THE SITE. THE SITE WILL CONTINUE TO DRAIN INTO THE NORTH DIVERSION CHANNEL VIA THE IMPROVED AMAFCA/BALLOON FIESTA ACCESS ROAD.

VICINITY MAP C-17-Z



FIRM MAP NO. 35001C0136G



LEGEND

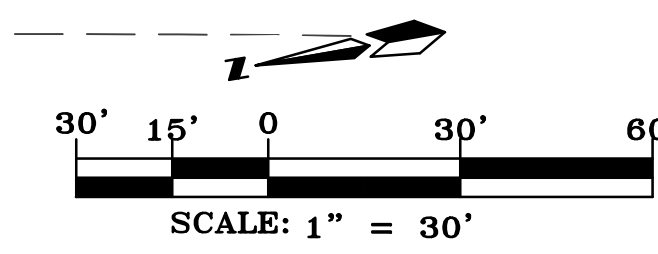
- FLOW ARROW
- A1** BASIN LINE AND DESIGNATION
- AP-1** HYDRAULIC ANALYSIS POINT

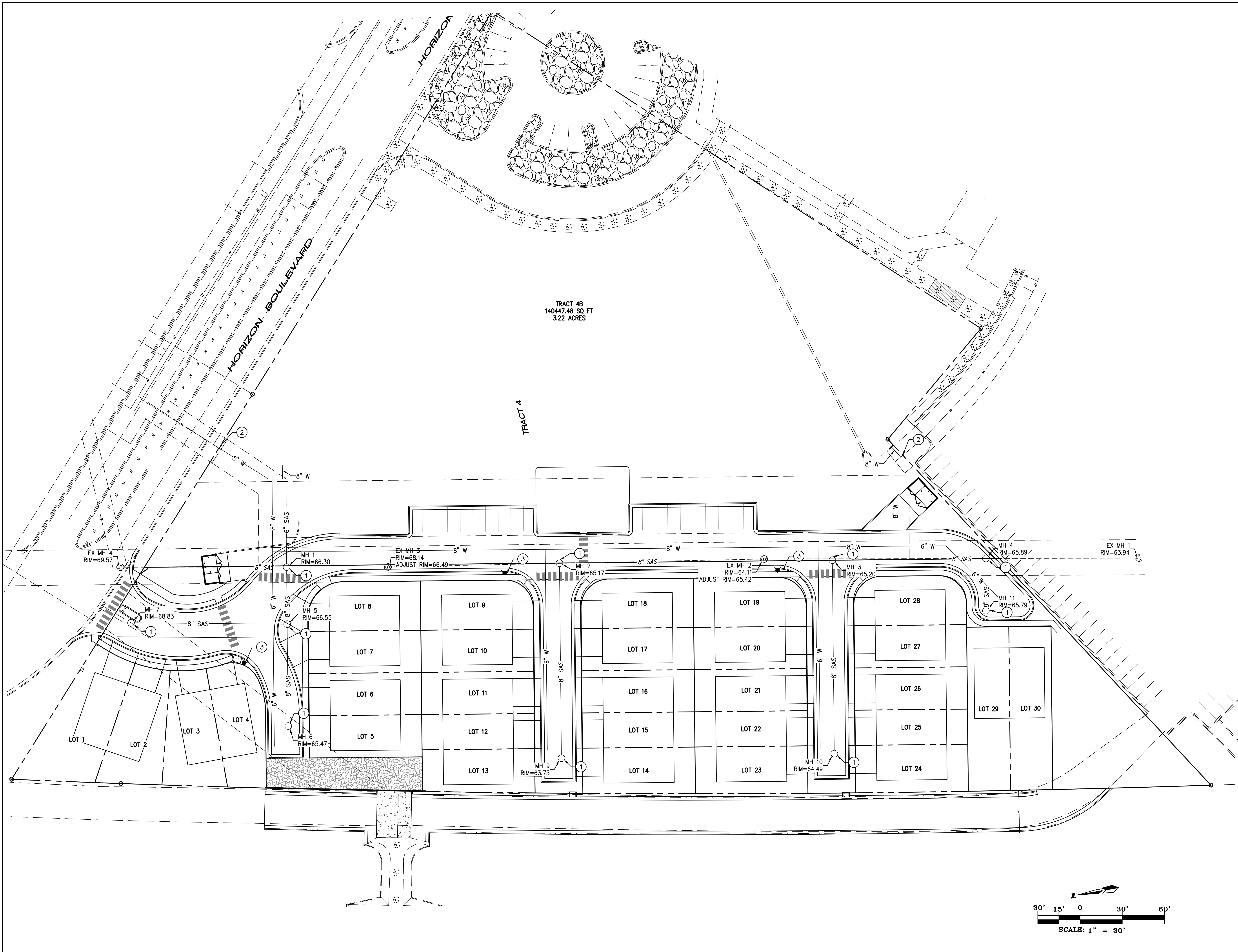
No.	Revision/Issue	Date

**HORIZON VILLAGE
PHASE I – ALDEA HORIZON
SITE PLAN**
Albuquerque, New Mexico

THE group
THE HENSLEY ENGINEERING GROUP
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Sheet Title	DRAINAGE PLAN	Sheet Number	SP3.2
Date	MARCH 1, 2019	Project No.	
Project No.			





TRACT 4B
140447.48 SQ FT
3.22 ACRES

TRACT 4

HORIZON BOULEVARD

HORIZON

GENERAL SHEET NOTES

1. ALL WORK WITHIN CITY ROW WILL REQUIRE WORK ORDER ISSUED BY THE CITY OF ALBUQUERQUE.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING CLEANING AND STERILIZATION.
3. MINIMUM DEPTHS OF COVER SHALL BE 42" FOR WATER, 48" FOR SEWER.
4. ALL WORK SHOWN ON THESE PLANS SHALL, EXCEPT AS OTHERWISE SPECIFIED, BE CONSTRUCTED WITH APPLICABLE CODES AND REGULATIONS.
5. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING.
6. FIRE LINES SHALL USE PIPE MATERIALS WHICH ARE UL LISTED AND APPROVED FOR FIRE SERVICE.
7. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER / SAS PRIOR TO BEGINNING WORK. INFORMATION OBTAINED WHICH DEVIATES FROM INFORMATION IN PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO BEGINNING WORK.
8. THE REPAIR OF ANY DAMAGE CAUSED BY THE CONTRACTOR TO EXISTING UTILITY LINES SHALL BE DONE AT THE CONTRACTORS EXPENSE. ANY COST ASSOCIATED WITH SUCH DAMAGE SHALL BE PAID BY THE CONTRACTOR.
9. ANY ELECTRIC AND GAS SERVICES AS SHOWN ARE FOR INFORMATION ONLY. FINAL LOCATION TO BE DETERMINED BY OTHERS.
10. FOR CONNECTIONS TO BUILDING SEE MECHANICAL AND PLUMBING PLANS.
11. ALL PUBLIC LINE PERMITTING, INSPECTION AND COORDINATION WITH THE APPROVING AGENCIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

SHEET KEYED NOTES

- ① NEW 4' DIA. MANHOLE
- ② CONNECTION TO EXISTING / WATER
- ③ NEW HYDRANT

LEGEND

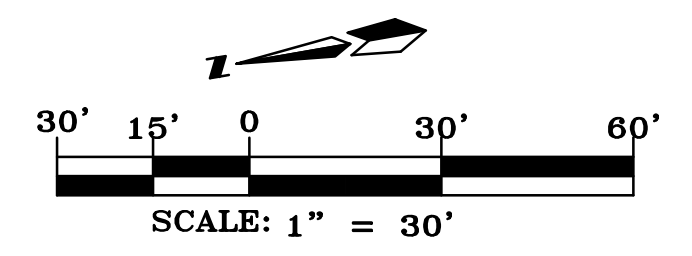
- SAS — NEW SANITARY SEWER
- - - SAS - - - EXISTING SANITARY SEWER
- - - EASEMENT
- W — NEW WATER
- - - W - - - EXISTING WATER

No.	Revision/Issue	Date

HORIZON VILLAGE
PHASE I – ALDEA HORIZON
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Albuquerque, New Mexico



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Sheet Title	UTILITY PLAN	Sheet Number	SP4
Date	MARCH 1, 2019		
Project No.			