

LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	LIMITS OF CONSTRUCTION
	BUILDING
	SIDEWALK
	RETAINING WALL
	STREET LIGHTS
	LANE
	STRIPING
	FENCE
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING SIDEWALK
	EXISTING LANE
	EXISTING STRIPING

SITE DATA

PROPOSED USAGE: CHURCH RELATED USES
 EXISTING LOT AREA: ±446,653.68 sq.ft. (10.25 Ac)
 NEW TRACT A-1-B LOT AREA: ±182,640 sq.ft. (3.73 Ac)
 CONSTRUCTION AREA: ±110,110 sq.ft. (2.52 Ac)

BUILDING SF: 23,955 sq.ft., MAX HEIGHT 30'
 SEATING CAPACITY: 350 SEATS.

PARKING REQUIRED: 88 (350 SEATS/4)
 PARKING PROVIDED: 142 SPACES

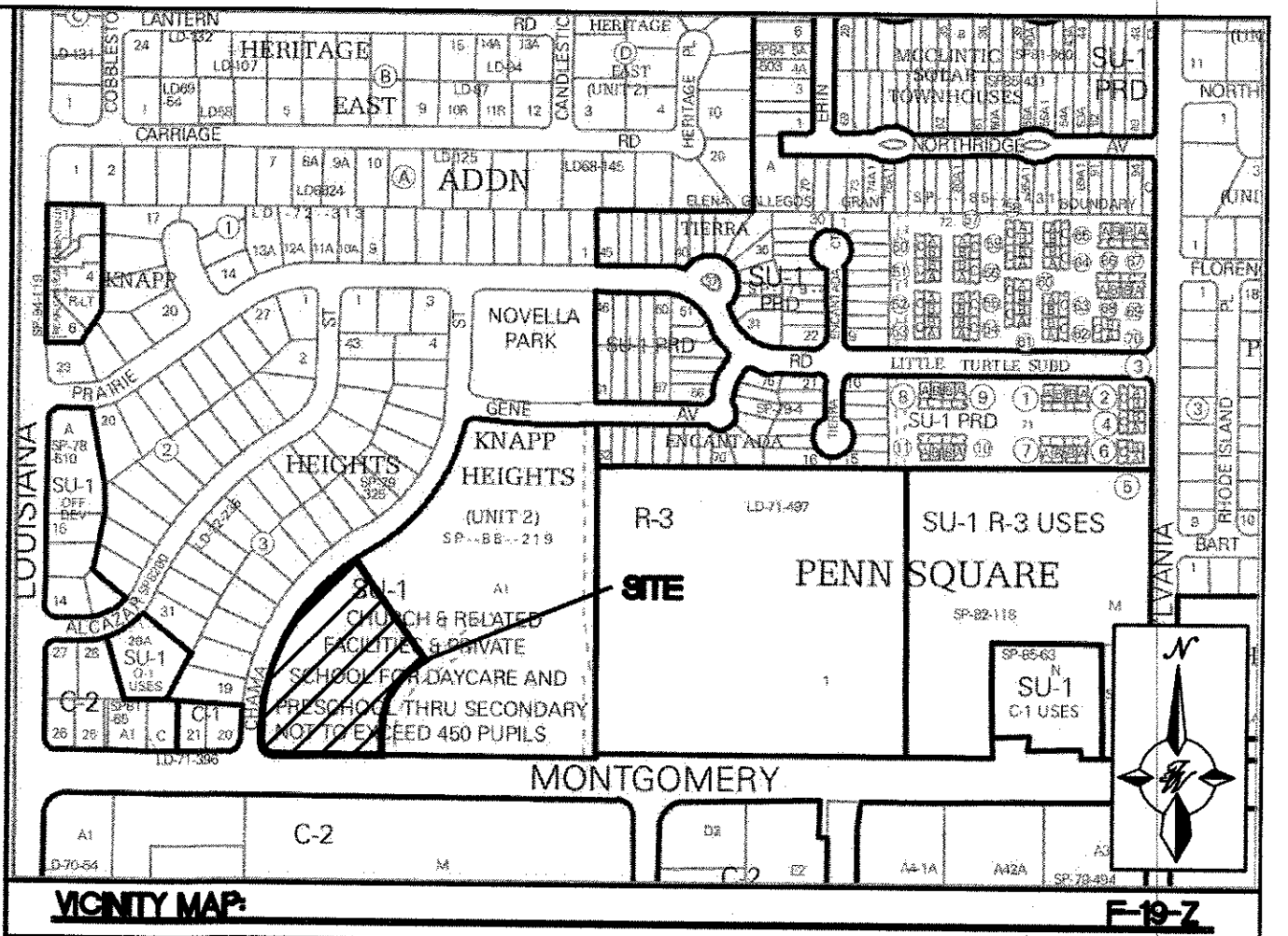
HC PARKING REQUIRED: 8 SPACES
 HC PARKING PROVIDED: 8 SPACES (2 SPACES VAN ACCESSIBLE)

BICYCLE PARKING REQUIRED: 8 SPACES
 BICYCLE PARKING PROVIDED: 8 SPACES

MOTORCYCLE PARKING REQUIRED: 4 SPACES
 MOTORCYCLE PARKING PROVIDED: 4 SPACES

LANDSCAPE AREA REQUIRED: 13,951 SF
 LANDSCAPE AREA PROVIDED: 23,450 SF

- KEYED NOTES:**
- 1 CURB & GUTTER (SEE DETAIL SHEET C6)
 - 2 STRAIGHT HC RAMP (SEE DETAIL SHEET C6)
 - 3 NEW 6 FT. SIDEWALK
 - 4 8 FT. PEDESTRIAN CROSSING (SEE DETAIL SHEET C6)
 - 5 DOUBLE DUMPSTER ENCLOSURE (SEE DETAIL SHEET C7)
 - 6 ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET C7 FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN"-INDICATES VAN ACCESSIBLE SPACE).
 - 7 EXISTING 7'X4' READER SIGN TO REMAIN
 - 8 2x SIDEWALK CULVERTS (S019) PER COA STD. DWG 2236
 - 9 EXISTING CURB, CONCRETE PAD, SHADE CANOPY, WALL & BUILDING TO BE REMOVED.
 - 10 COURTYARD FENCE (SEE ARCH. PLANS)
 - 11 EXISTING FIRE HYDRANT
 - 12 BICYCLE RACK (SEE DETAIL SHEET C7)
 - 13 FLAIED CURB HC RAMP (SEE DETAIL SHEET C7)
 - 14 MOTORCYCLE PARKING WITH SIGN (SEE DETAIL SHEET C7)



LEGAL DESCRIPTION
 TRACT A-1-B KNAPP HEIGHTS UNIT 2

NOTES:

1. CROSS PARKING AND INGRESS AND EGRESS AGREEMENT IS PROPOSED BETWEEN BOTH OWNERS OF THE SUBDIVIDED TRACTS.
2. SITE LIGHTING SHALL BE RESTRICTED TO 16 FEET IN HEIGHT WITHIN 100 FEET OF RESIDENTIAL ZONES.
3. LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS AT THE INTERSECTIONS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

PROJECT NUMBER: 1011556 SI-2018-0027

APPLICATION NUMBER: 18EPC-40013 - (1011556)

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes (X) No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

	2/13/19
Traffic Engineer, Transportation Division	Date
	02-13-19
ABCWUA	Date
N/A	
Parks & Recreation Department	Date
	2-13-19
City Engineer/Hydrology	Date
N/A	2/13/19
Code Enforcement	Date
N/A	
*Environmental Health Department (conditional)	Date
N/A	
Solid Waste Management	Date
	2-13-19
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

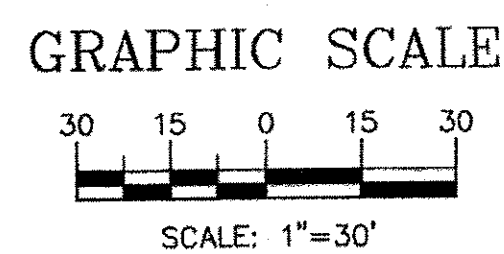
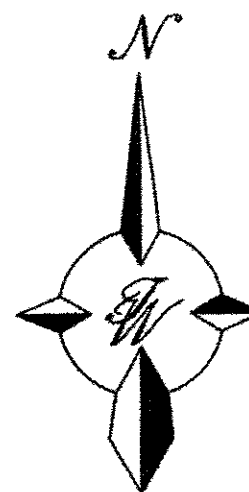
- KEYED NOTES (CONT.):**
- 15 PROPOSED MONUMENT SIGN (SEE SHEET B1)
 - 16 SIGHT TRIANGLE (SEE NOTE 3 THIS SHEET)
 - 17 2' GARDEN WALL
 - 18 NEW FIRE HYDRANT W/6" VALVE
 - 19 EXISTING FIRE HYDRANT TO BE REMOVED

	MONTGOMERY CHURCH OF CHRIST 7201 MONTGOMERY BLVD. NE	DRAWN BY BF
	SITE PLAN FOR BUILDING PERMIT	DATE 1/22/19
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com		2016037_SPB
RONALD R. BOHANNAN P.E. #7868		SHEET # C2
		JOB # 2016037



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A.G.R.S. MONUMENT "DECKER"
STANDARD A.G.R.S. BRASS DISC
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,503,376.247
E=1,544,026.289
PUBLISHED EL=5293.812 (NAVD 1988)
GROUND TO GRID FACTOR=0.999661298
DELTA ALPHA ANGLE=-0°11'07.87"



Chama Street, N.E.
(50' PUBLIC ROW)

TRACT A-1
KNAPP HEIGHTS ADDITION UNIT 2
(07/25/1988, C37-13)

MONTGOMERY CHURCH
OF CHRIST TWO-STORY
23,995 SF

PLAZA

Montgomery Boulevard, N.E.
(100' PUBLIC ROW)

LEGEND

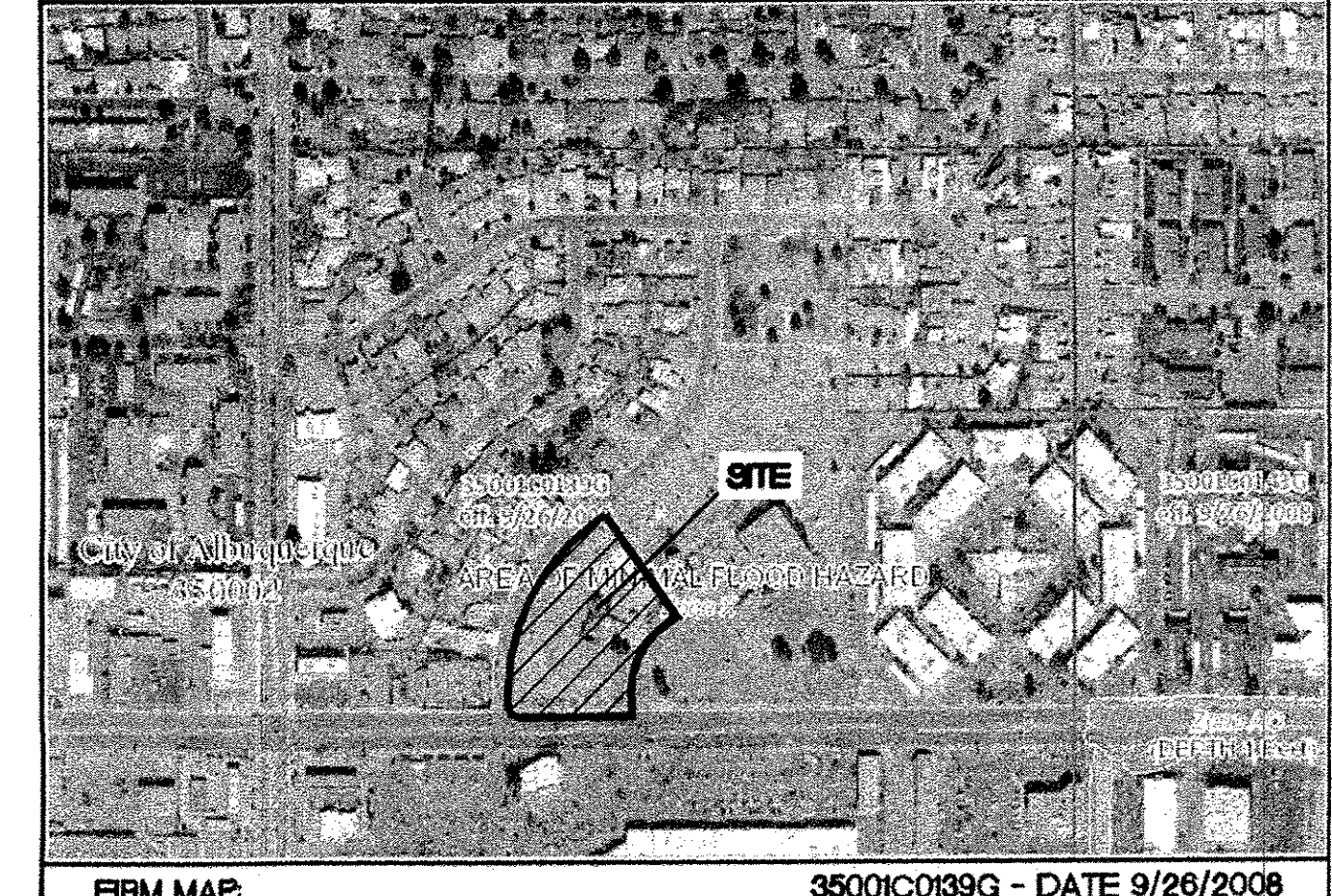
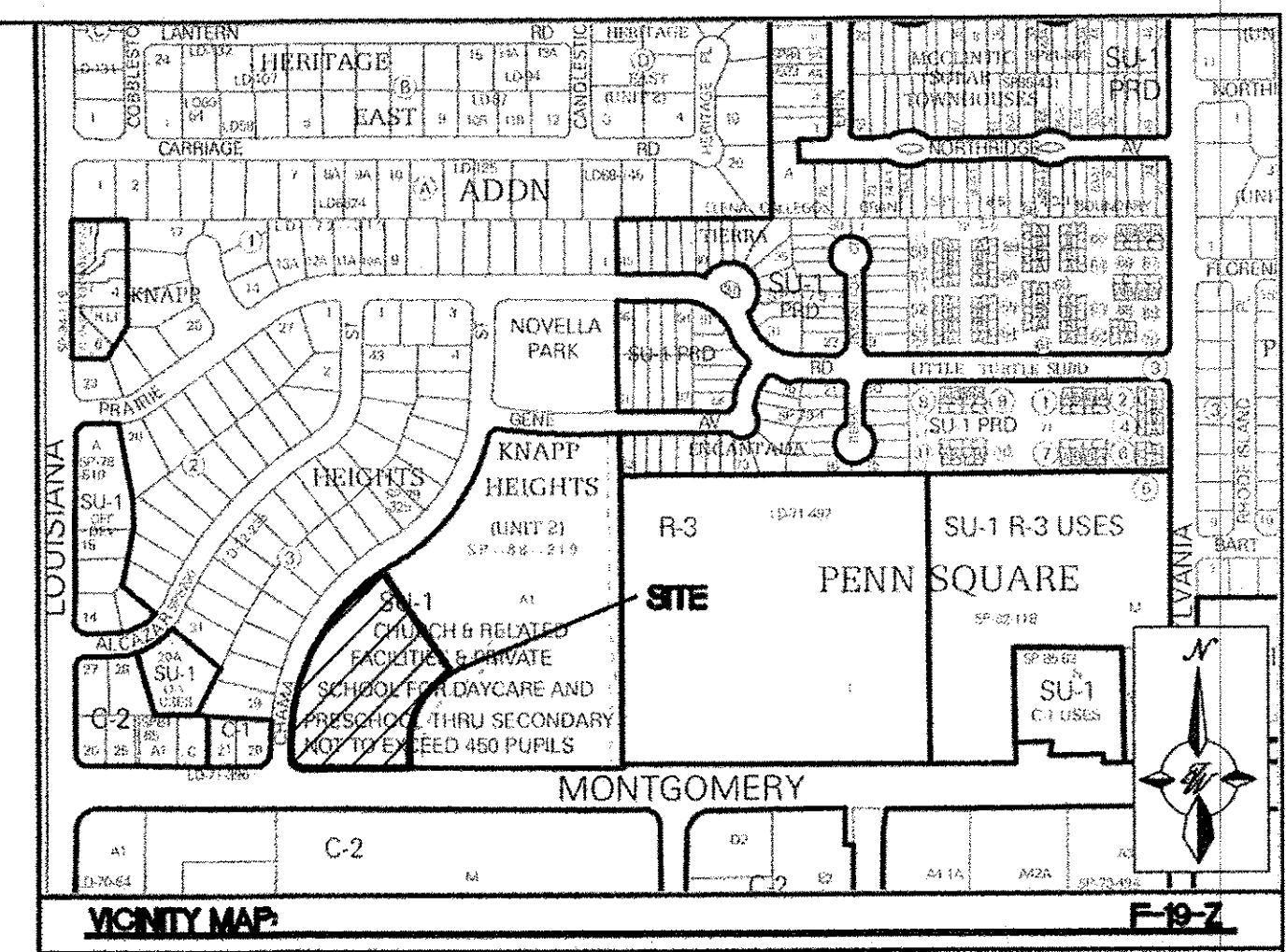
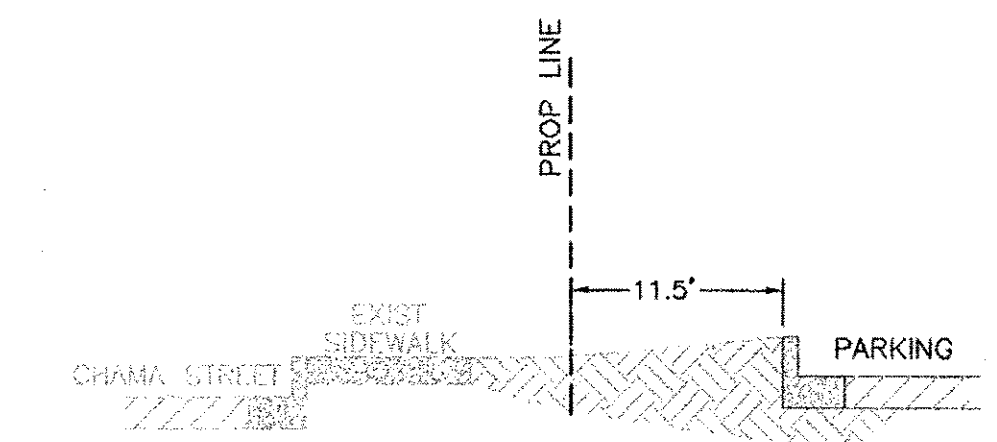
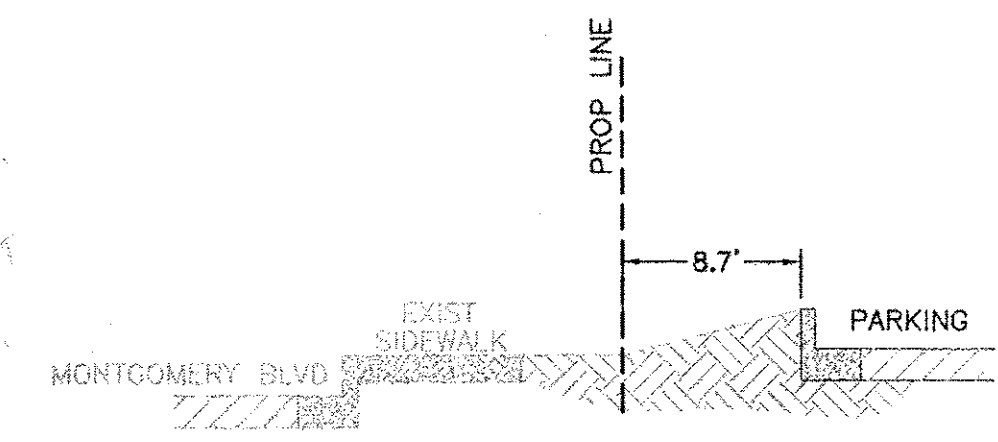
- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- LIMITS OF CONSTRUCTION
- BUILDING
- SIDEWALK
- RETAINING WALL
- 5010 CONTOUR MAJOR
- 5011 CONTOUR MINOR
- x 5048.25 SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- 5010 EXISTING CONTOUR MAJOR
- 5011 EXISTING CONTOUR MINOR
- x 5048.25 EXISTING SPOT ELEVATION

**PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY
NOTICE TO CONTRACTOR
(SPECIAL ORDER 10 190-17)**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" [OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR MUST CONTACT JASON RODRIGUEZ AT 235-8016 AND CONSTRUCTION COORDINATION AT 924-3416 TO SCHEDULE AN INSPECTION.

EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



LEGAL DESCRIPTION

A-1-B KNAPP HEIGHTS UNIT 2

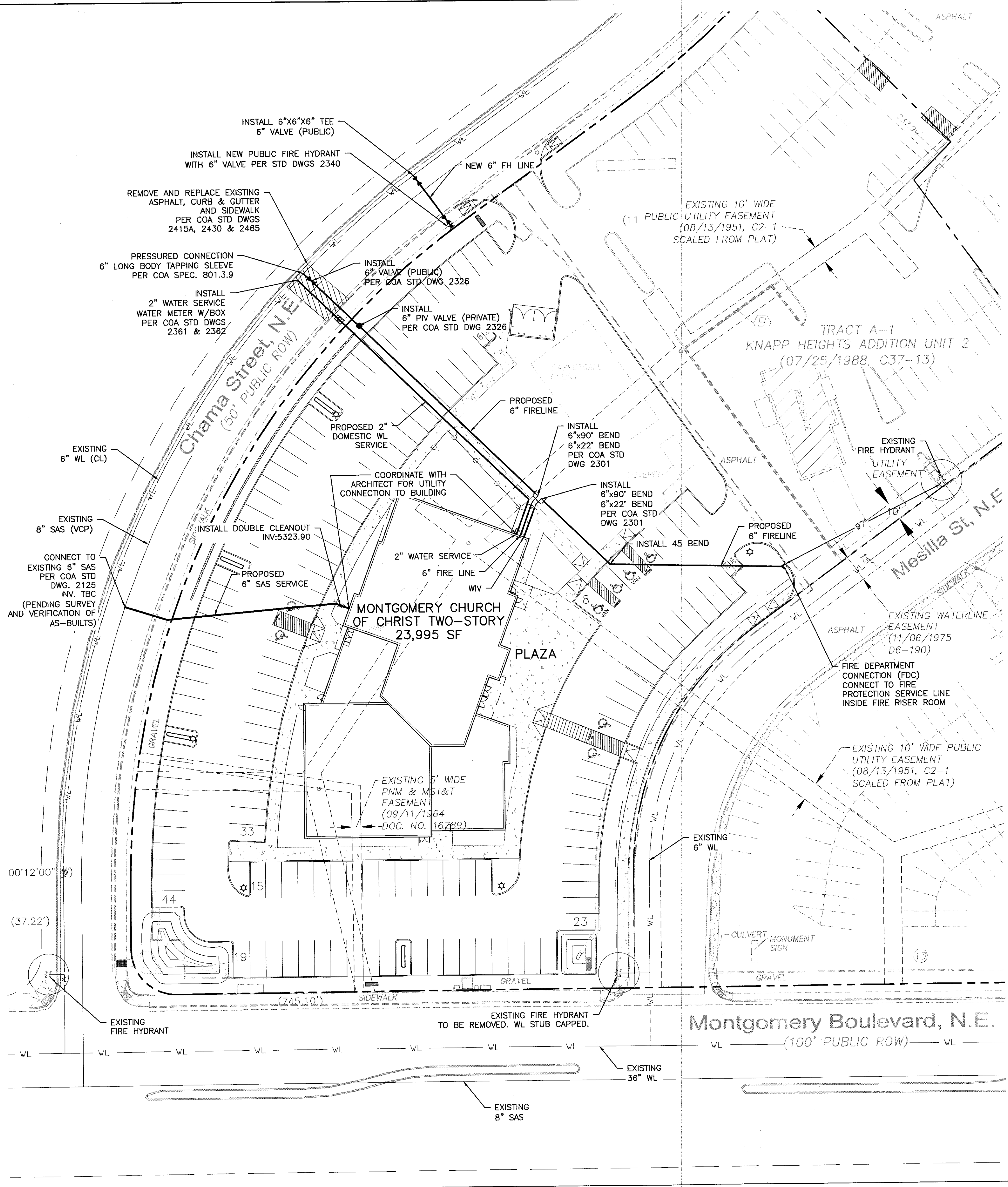
CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

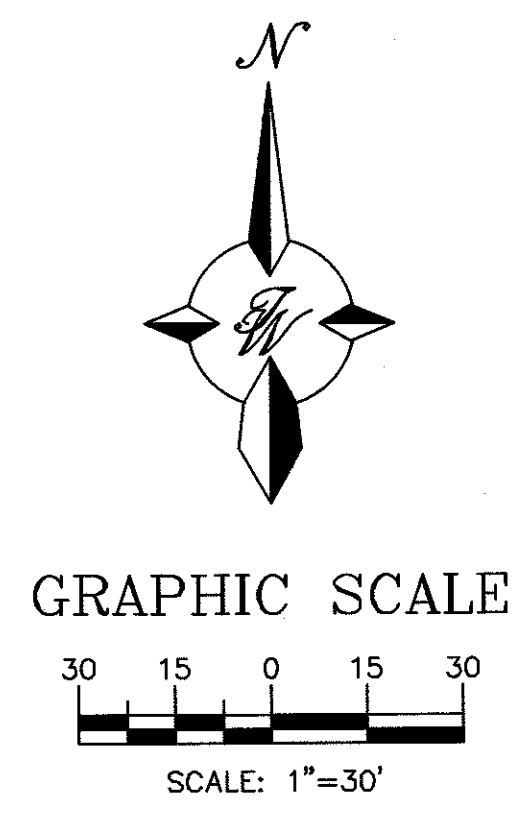
ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	MONTGOMERY CHURCH OF CHRIST 7201 MONTGOMERY BLVD. NE GRADING PLAN	DRAWN BY BF DATE 12/11/18 2016037_GRB
 TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com		SHEET # C3 JOB # 2016037



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LEGEND	
	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	LIMITS OF CONSTRUCTION
	BUILDING
	SIDEWALK
	RETAINING WALL
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	8" SAS
	8" WL
	SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	EXISTING SD MANHOLE
	EXISTING INLET
	EXISTING SAS MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING WATER METER
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING OVERHEAD UTILITIES
	EXISTING UNDERGROUND UTILITIES
	EXISTING GAS
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE



ABCWUA NOTES:

THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/463/729/](http://abcwua.org/content/view/full/463/729/).

GENERAL UTILITY NOTES:

- CONTRACTOR MUST COORDINATE WATER SYSTEM WITH SEWER SYSTEM TO PREVENT ANY CONFLICTS WHERE THESE LINES INTERSECT ONE ANOTHER.
- PROVIDE 4 FEET OF COVER MINIMUM FOR ALL PROPOSED WATER LINES.
- AREAS WHERE WATER PIPES CROSS OVER SEWER PIPES SHALL NOT HAVE ANY JOINTS.
- PROPOSED WATER LINE SHALL BE 8' FROM CENTERLINE (North and East), UNLESS OTHERWISE NOTED.
- WATER PIPE TO BE DR14, C900, CLASS 305 IN ACCORDANCE WITH EPWU-PSB STANDARDS.
- NO FENCES, SIGNS, TREES OR ROCKWALLS TO BE PLACED WITHIN UTILITY EASEMENTS.
- CONTACT UTILITY COMPANIES FOR EXACT LOCATION OF UNDERGROUND UTILITIES IN THIS AREA BEFORE EXCAVATION.
- INSTALL A TRENCH SAFETY SYSTEM TO PROVIDE FOR THE SAFE EXCAVATION OF ALL TRENCHES EXCEEDING A DEPTH OF (5') FEET AS PER O.S.H.A. STANDARDS.
- PROVIDE ADEQUATE CONCRETE THRUST BLOCKING AT THE FOLLOWING: TAPPING SLEEVES, TEES, BENDS, PLUGS AND ALL FITTINGS.
- P.V.C. PIPE SHALL BE PLACED WITH SELECT BEDDING MATERIAL ALL AROUND.
- CAUTION: VERIFY LOCATION & DEPTH OF EXISTING GAS MAIN IN THE AREA OF CONSTRUCTION, BEFORE INSTALLING WATER LINE.

WATER NOTES:

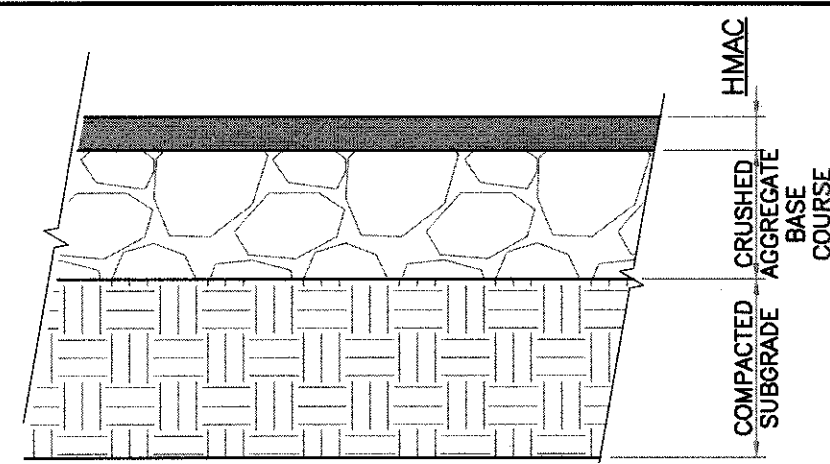
- CONTACT UTILITY COMPANIES FOR EXACT LOCATION FOR UNDERGROUND UTILITIES IN THE AREA.
- PROVIDE ADEQUATE CONCRETE THRUST BLOCKING AT THE FOLLOWING: TAPPING, SLEEVES, TEES, BENDS, PLUGS - ALL FITTINGS. REFER TO ABCWUA STANDARD DETAIL DRAWING 2320
- INSTALL A TRENCH SAFETY SYSTEM TO PROVIDE FOR THE SAFE EXCAVATION OF ALL TRENCHES EXCEEDING A DEPTH OF (5') FIVE FEET AS PER O.S.H.A. STANDARDS.
- ALL P.V.C. PIPE ON THIS PLAN SHALL BE ENCASED WITH SELECT BEDDING WHEN PLACED IN CITY ROW. IN SITU (ACCEPTABLE) MATERIAL CAN BE USED IN PRIVATE LINES.
- ALL VALVES ON P.V.C. WATER MAINS SHALL BE ANCHORED IN CONCRETE.
- CITY PAVING CUT PERMIT REQUIRED BEFORE EXCAVATION.
- RECONNECTION OF EXISTING WATER LINE SYSTEM SHOWN ON THESE PLANS MUST BE MADE, SUCH THAT MINIMAL INTERRUPTION OF SERVICE TO CUSTOMER IS MADE.
- ALL EXISTING LINES CURRENTLY IN SERVICE MUST REMAIN IN SERVICE THROUGHOUT CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PROTECTING 8" SEWER LINES (INCLUDING SERVICES) FROM DAMAGE AS A RESULT OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY LOCATION OF SERVICES BEFORE CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE WITH CITY & COUNTY CONSTRUCTION SEQUENCE AND TRAFFIC CONTROL PLANS.
- CONTRACTOR SHALL PROVIDE TEMPORARY SERVICE TO CUSTOMERS IF SERVICE WILL BE INTERRUPTED FOR MORE THAN (4) HOURS IN A 24-HOUR PERIOD.
- CONTRACTOR TO ADJUST WATER VALVES TO FINAL GRADE WHERE NECESSARY.

CAUTION:

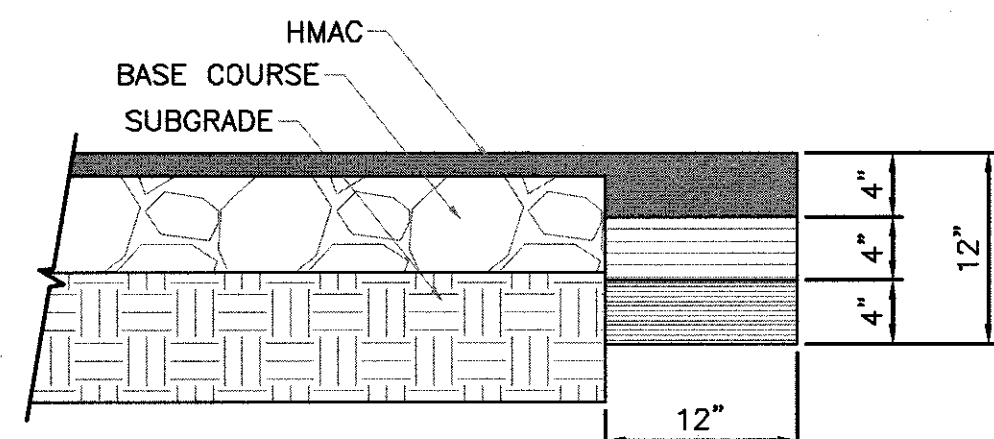
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



	MONTGOMERY CHURCH OF CHRIST 7201 MONTGOMERY BLVD. NE UTILITY PLAN	DRAWN BY BF DATE 1/22/19 2016037_MUB
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C5 JOB # 2016037



PAVEMENT SECTION DETAIL
SCALE: 1"=1'



PAVEMENT TERMINUS
SCALE: 1"=1'

PAVEMENT NOTES

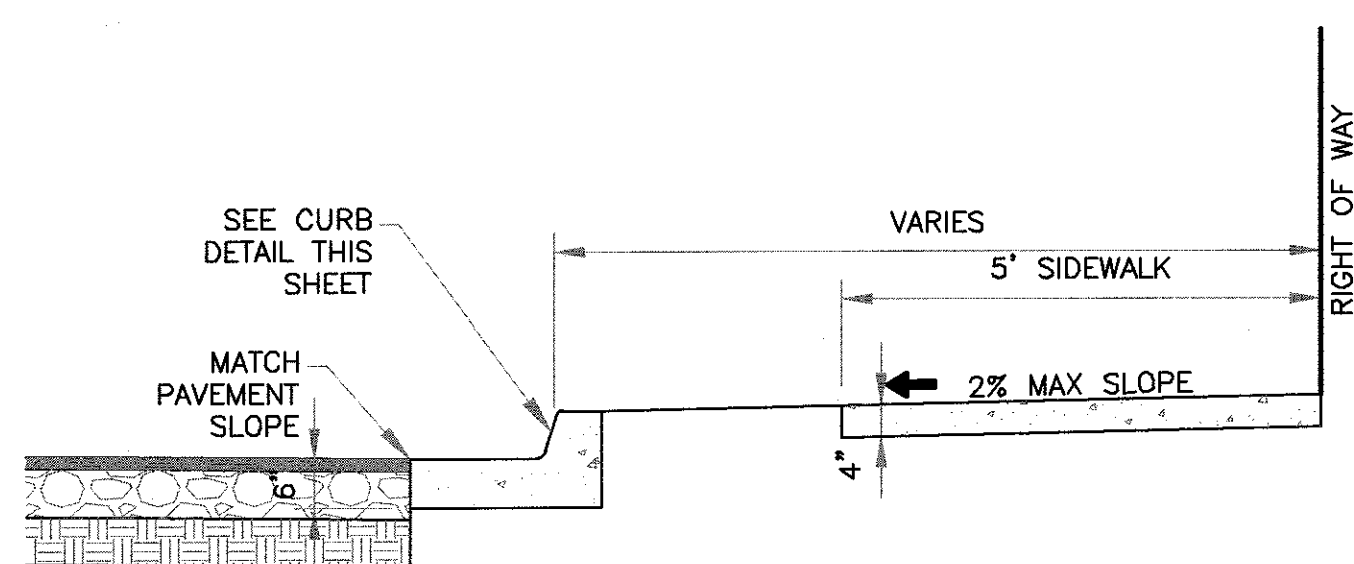
- SUBGRADE TO BE COMPACTED TO 95% OF MAXIMUM DENSITY AS PER ASTM D1557.
- BASE TO BE COMPACTED TO NOT LESS THAN 100% DENSITY IN ACCORDANCE WITH ASTM D1557, TYPE A, GRADE 1 OR 2.
- BITUMINOUS MATERIAL SHALL CONFORM TO AC-10 OR AC-20, TYPE "C" IN ACCORDANCE WITH ASTM D3318.
- PRIME COAT TO BE 0.25 GAL. PER SQUARE YARD (MINIMUM COVERAGE) MC-70.
- COMPACTION TESTS WHERE REQUIRED BY THE CITY ENGINEER MUST BE PAID FOR BY THE DEVELOPER.
- C.B.R. TESTS WILL BE REQUIRED AT 500 FOOT INTERVALS AFTER SUBGRADE IS PLACED AND/OR A MINIMUM OF TWO TESTS IF STREET IS LESS THAN 500 FEET.
- STRICT VERTICAL CONTROL OF ALL CURB AND GUTTER ELEVATIONS WILL BE MAINTAINED. BLUE TOPPING WILL BE REQUIRED THROUGHOUT.

NOTE:

THICKENED EDGE SHALL BE CONSTRUCTED IN COURSE NOT OVER 4" IN THICKNESS, EACH COURSE THOROUGHLY COMPACTED BEFORE PLACING NEXT COURSE, FINAL COURSE TO BE PLACED MONOLITHIC WITH PAVEMENT.

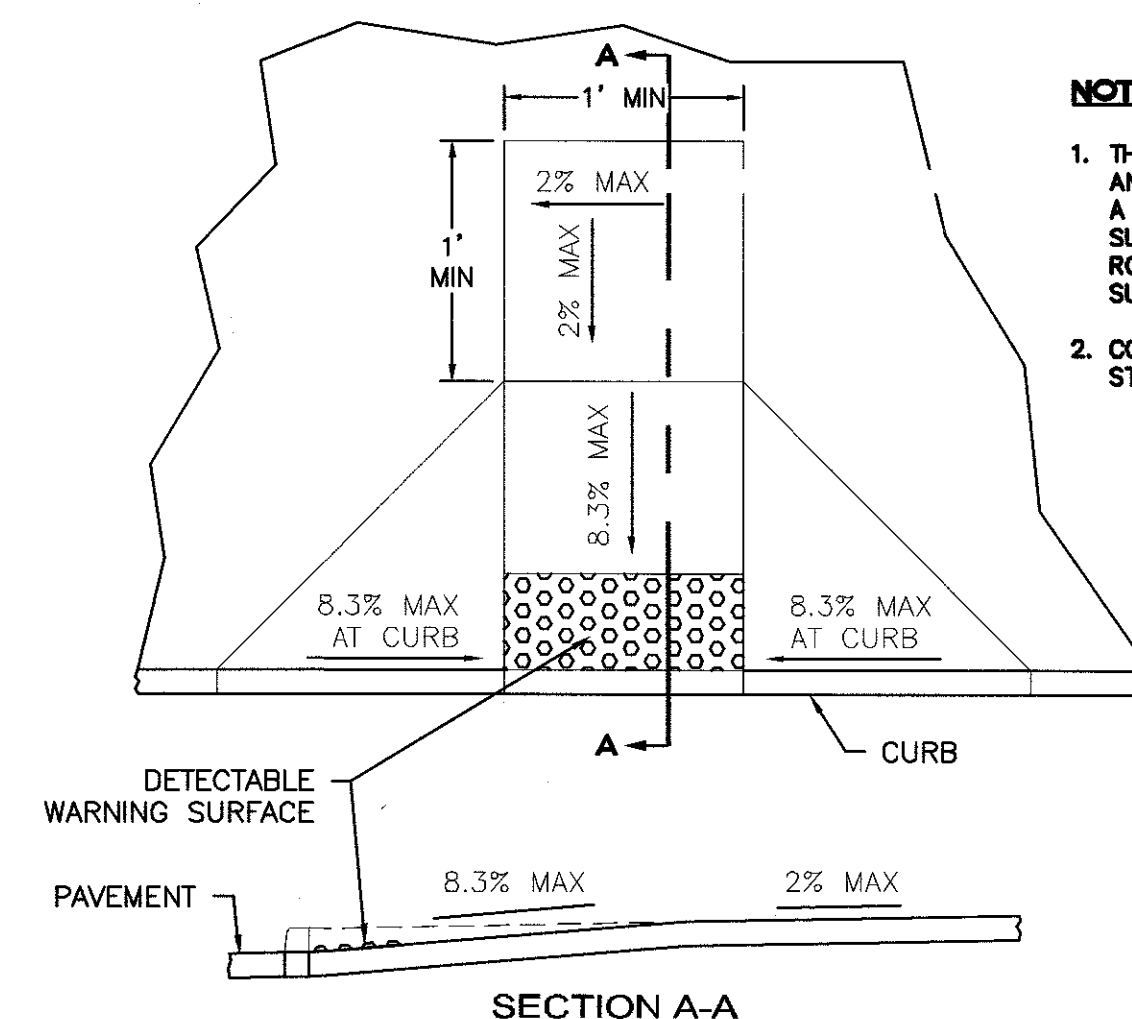
TRENCHING

ALL TRENCHING SHALL BE DONE IN STRICT ACCORDANCE WITH OSHA-2226.



NOTES:

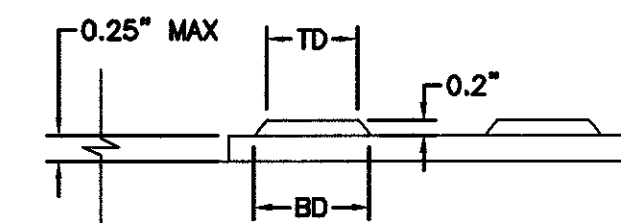
- CONCRETE SHALL BE 3000 P.S.I. MINIMUM.
- DUMMY JOINTS REQUIRED AT 10' O.C. FOR CURB/GUTTER AND 5' O.C. FOR SIDEWALK.
- EXPANSION MATERIAL REQUIRED AT CURB RETURNS WITH 1/2" PREMOLED ASPHALT IMPREGNATED EXPANSION MATERIAL OR EQUAL.
- EXPANSION JOINTS REQUIRED AT 50' O.C. WHEN FORMING FOR CURBS.
- WHENEVER SIDEWALK ABUTS ROCK OR MASONRY STRUCTURES SUCH AS CURBS OR BUILDINGS, EXPANSION JOINT FILLER SHALL BE USED IN ACCORDANCE WITH STANDARD SPECIFICATIONS.



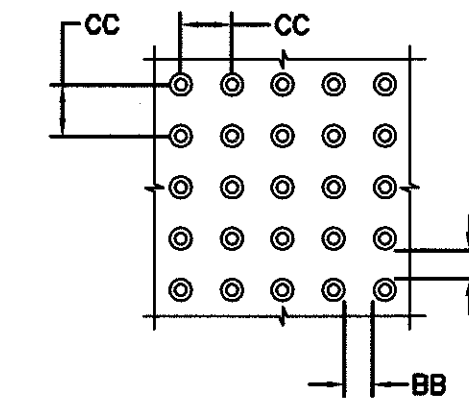
FLAIED CURB HC RAMP
NOT TO SCALE

NOTES:

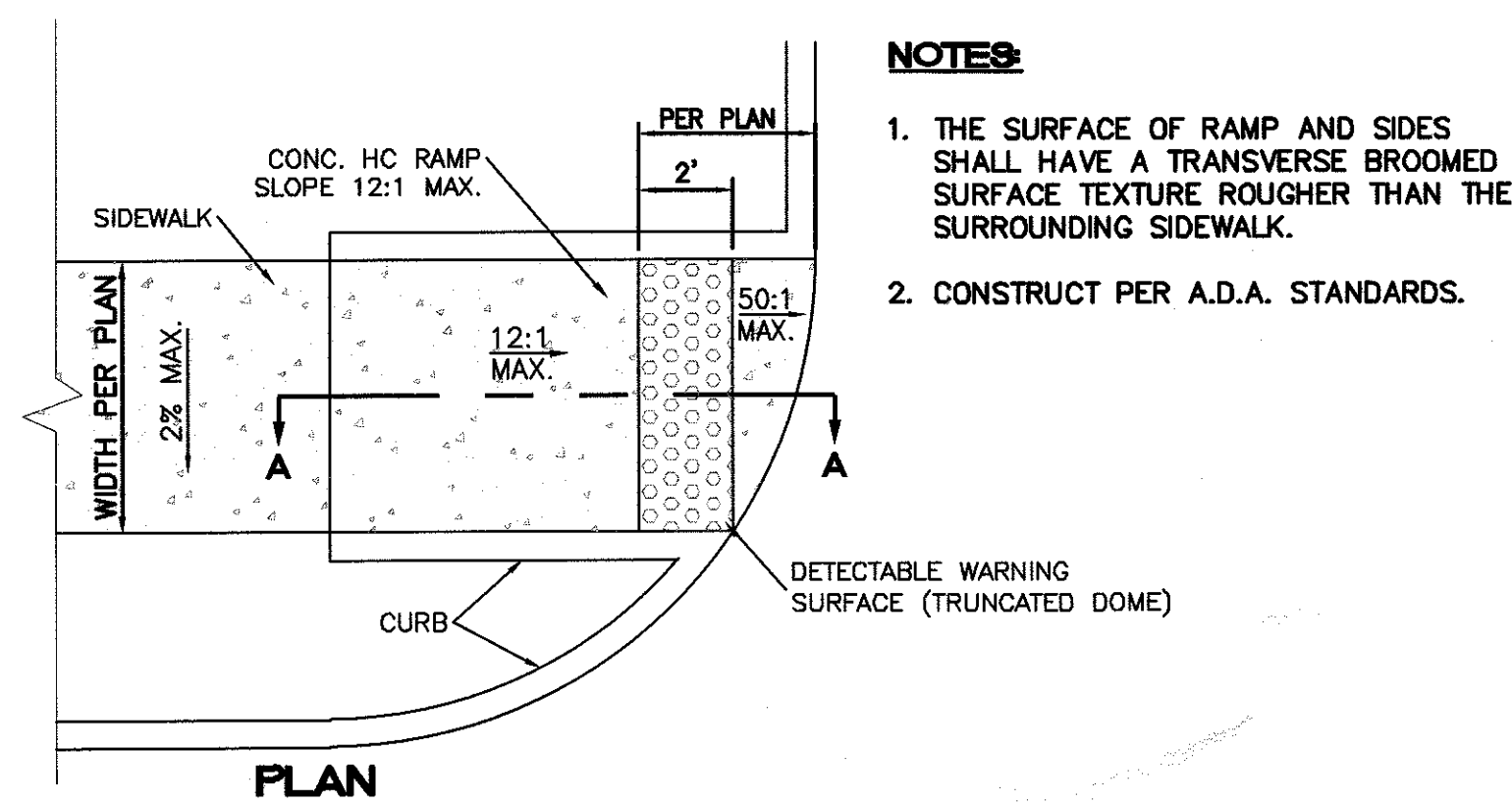
- THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
- CONSTRUCT PER A.D.A. STANDARDS.



DOME SECTION
BD - BASE DIAMETER 0.9" MIN
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX

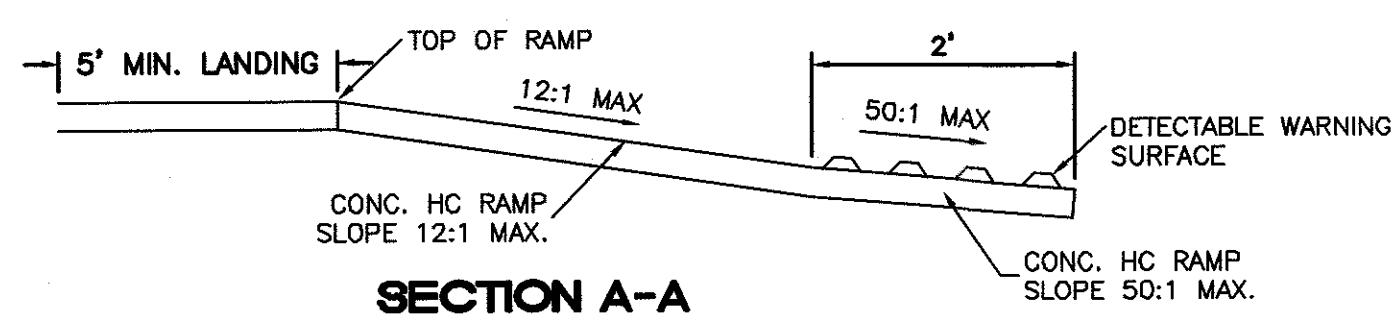


DOME SPACING
CC - CENTER TO CENTER SPACING 2.35"
BB - BASE TO BASE SPACING 1.48" MIN

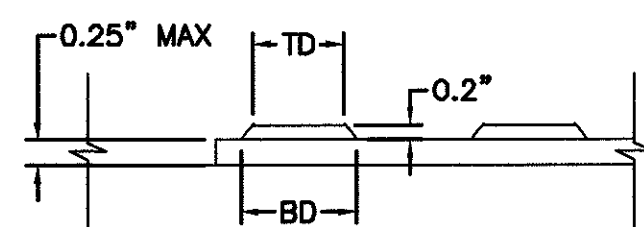


NOTES:

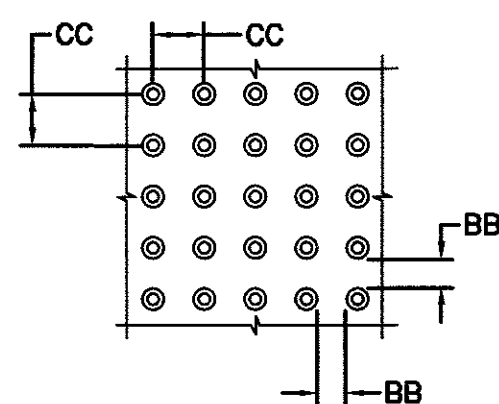
- THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
- CONSTRUCT PER A.D.A. STANDARDS.



UNIDIRECTIONAL HC RAMP
NOT TO SCALE



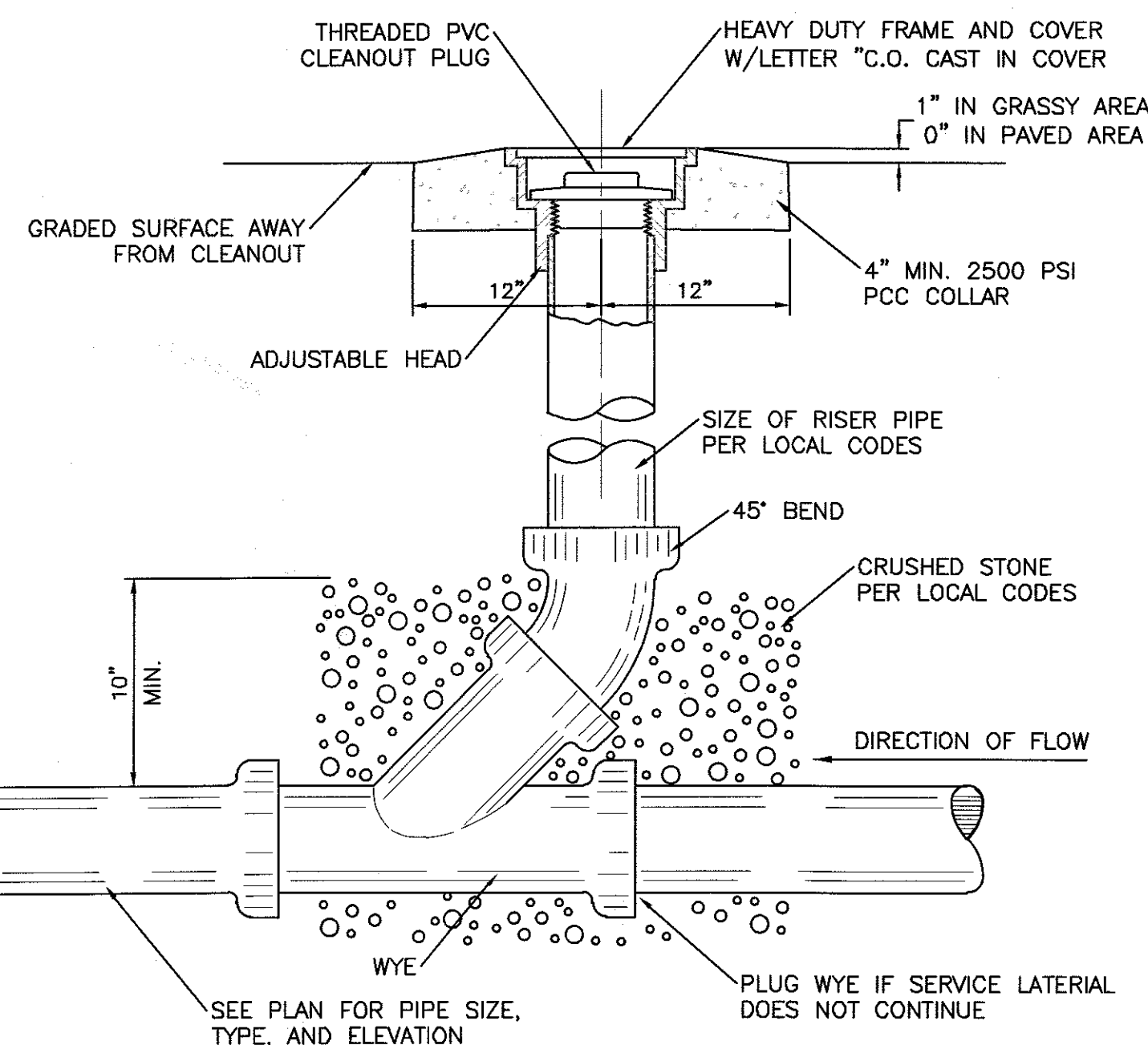
DOME SECTION
BD - BASE DIAMETER 0.9" MIN
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



DOME SPACING
CC - CENTER TO CENTER SPACING 2.35"
BB - BASE TO BASE SPACING 1.48" MIN

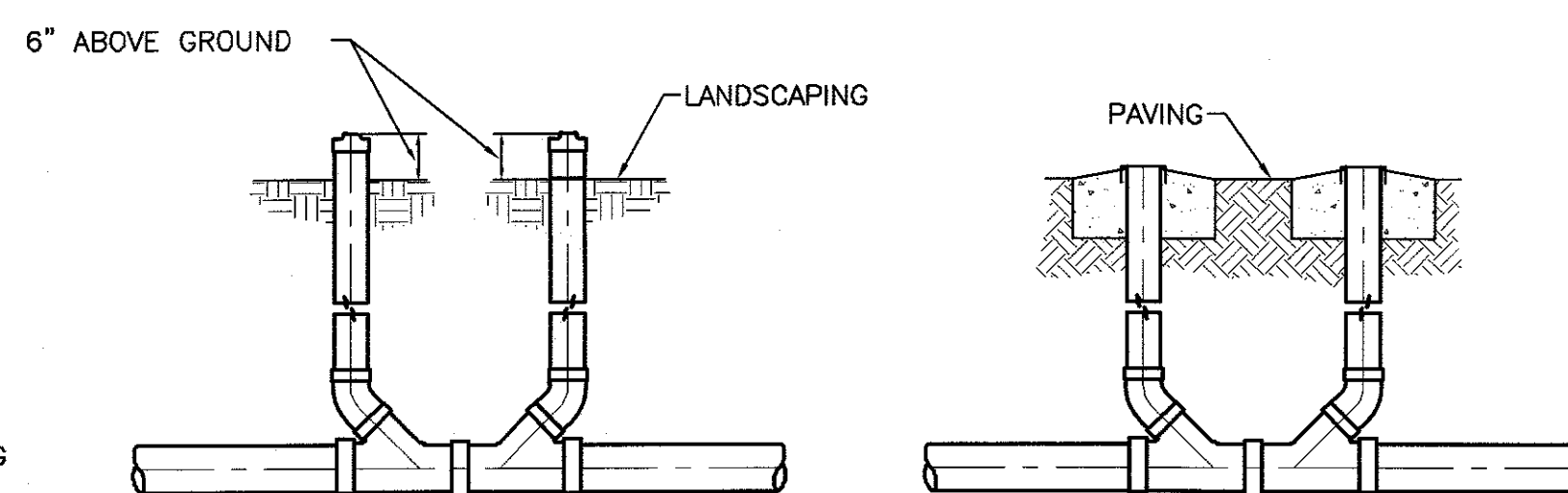
CURB & GUTTER AND SIDEWALK DETAIL

SCALE: 1"=2'



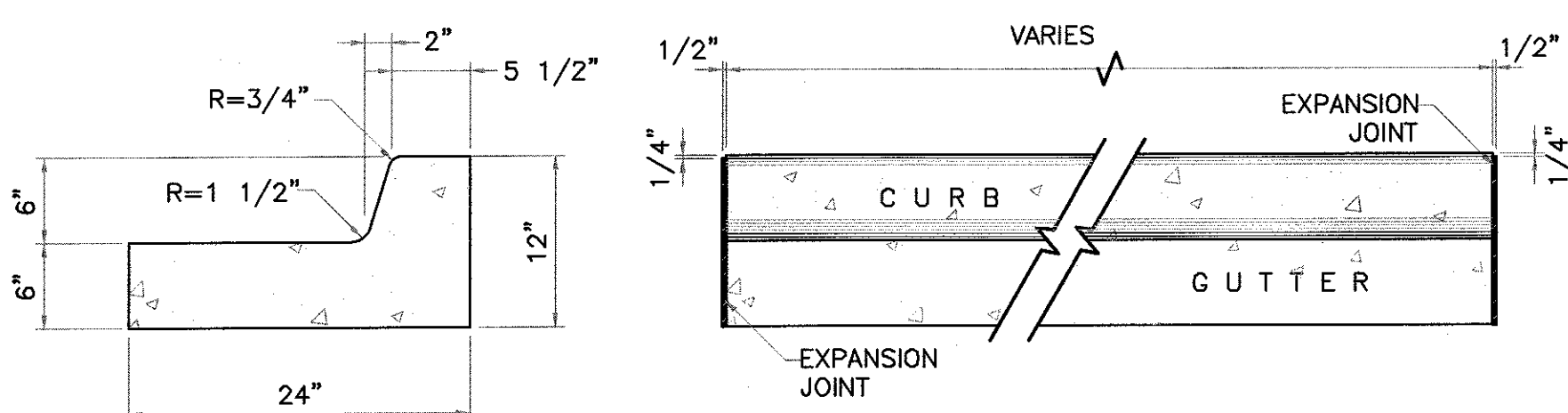
SANITARY SEWER CLEAN-OUT

NTS



SANITARY SEWER DOUBLE CLEAN-OUTS

NTS



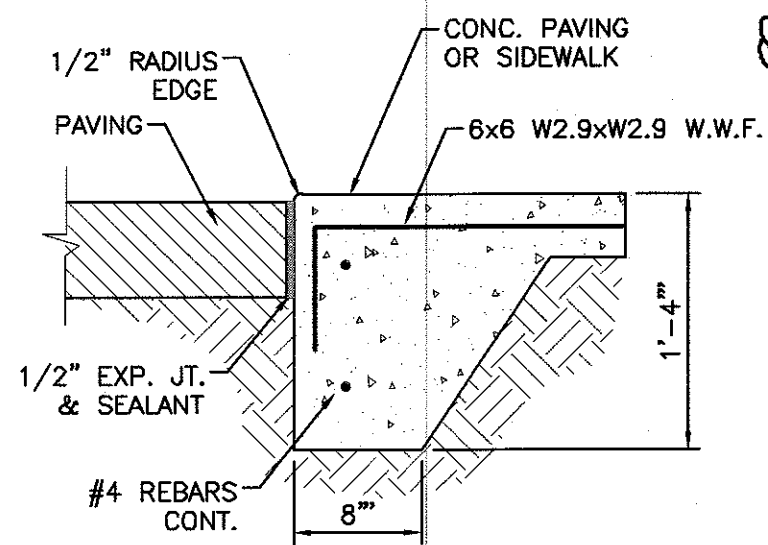
END SECTION

PLAN VIEW

NOTES:

- NO EXPANSION JOINT WILL BE REQUIRED EXCEPT AT THE END OF CURB RETURNS. (POINT OF TANGENCY WITH STRAIGHT LINE).
- CONTRACTION JOINTS (1/2" INCH MIN.) MUST BE SCORD EVERY 10 FEET IN CURB AND GUTTER.
- ALL EXPANSION JOINTS WILL BE OF PREFORMED BITUMINOUS FIBER 1/2" INCH THICK.
- CONCRETE: CLASS "A" 3000 PSI.
- EXPANSION JOINTS REQUIRED AT 5' O.C. WHEN FORMING FOR CURBS.
- THIS DETAIL APPLIES TO PRIVATE CURB WORK ONLY.

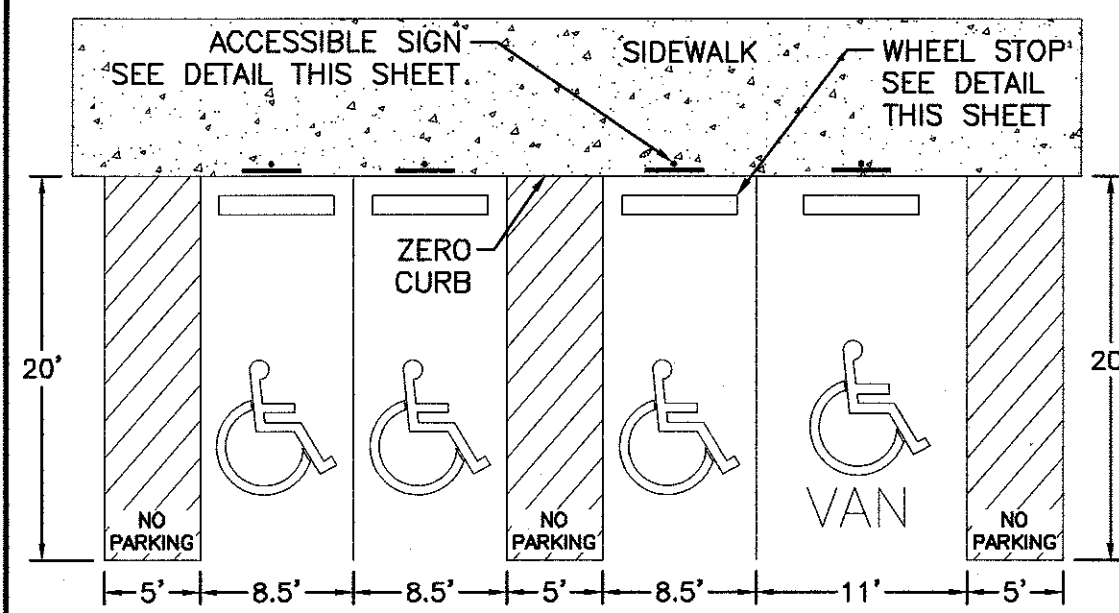
STANDARD 6" CURB & GUTTER DETAIL
SCALE: 1"=1'



ZERO CURB
NTS

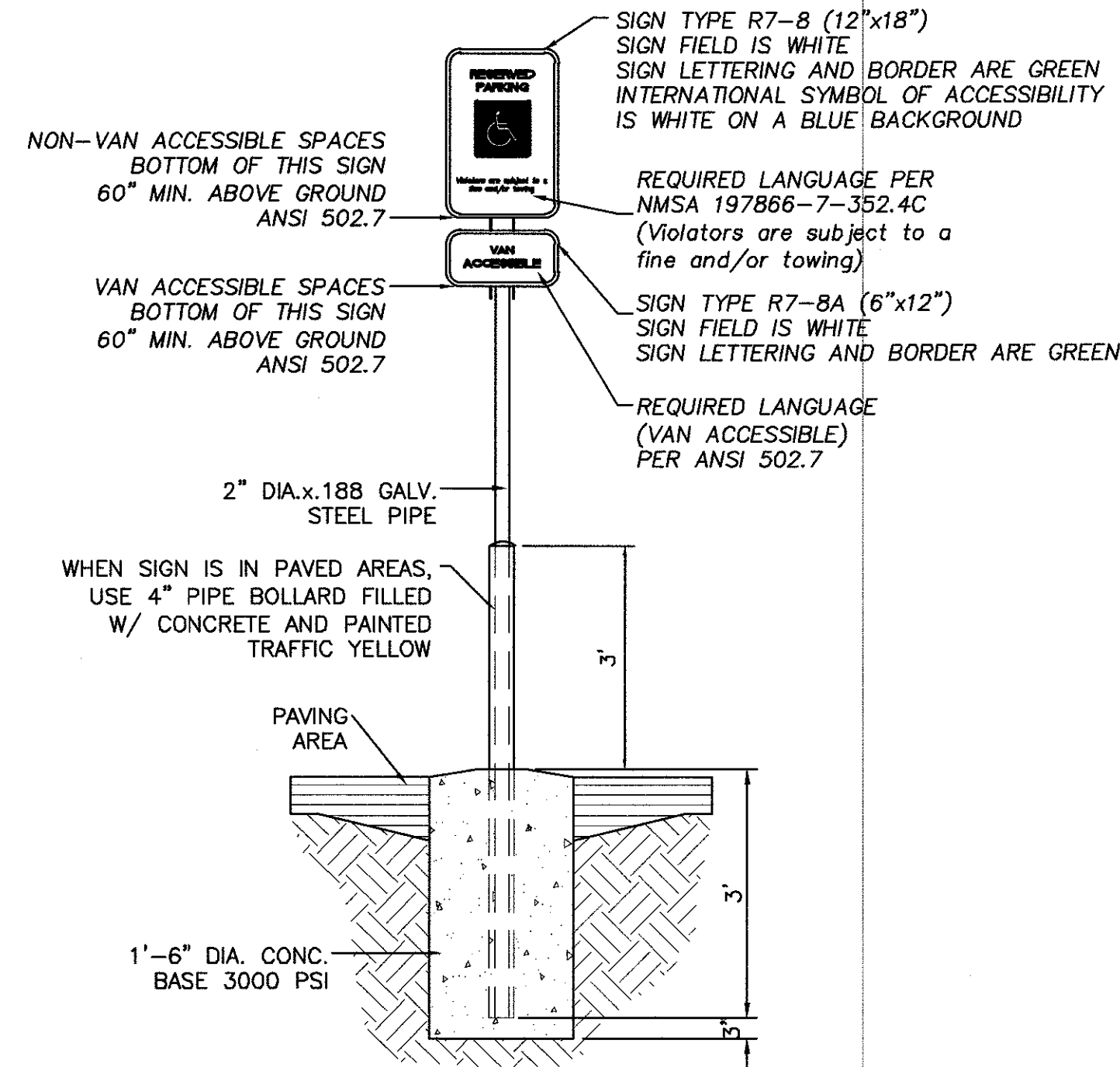


	MONTGOMERY CHURCH OF CHRIST 7201 MONTGOMERY BLVD. NE CONSTRUCTION DETAILS	DRAWN BY BF DATE 1/4/19 2016037.DTB
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.terrawestllc.com	SHEET # C6 JOB # 2016037

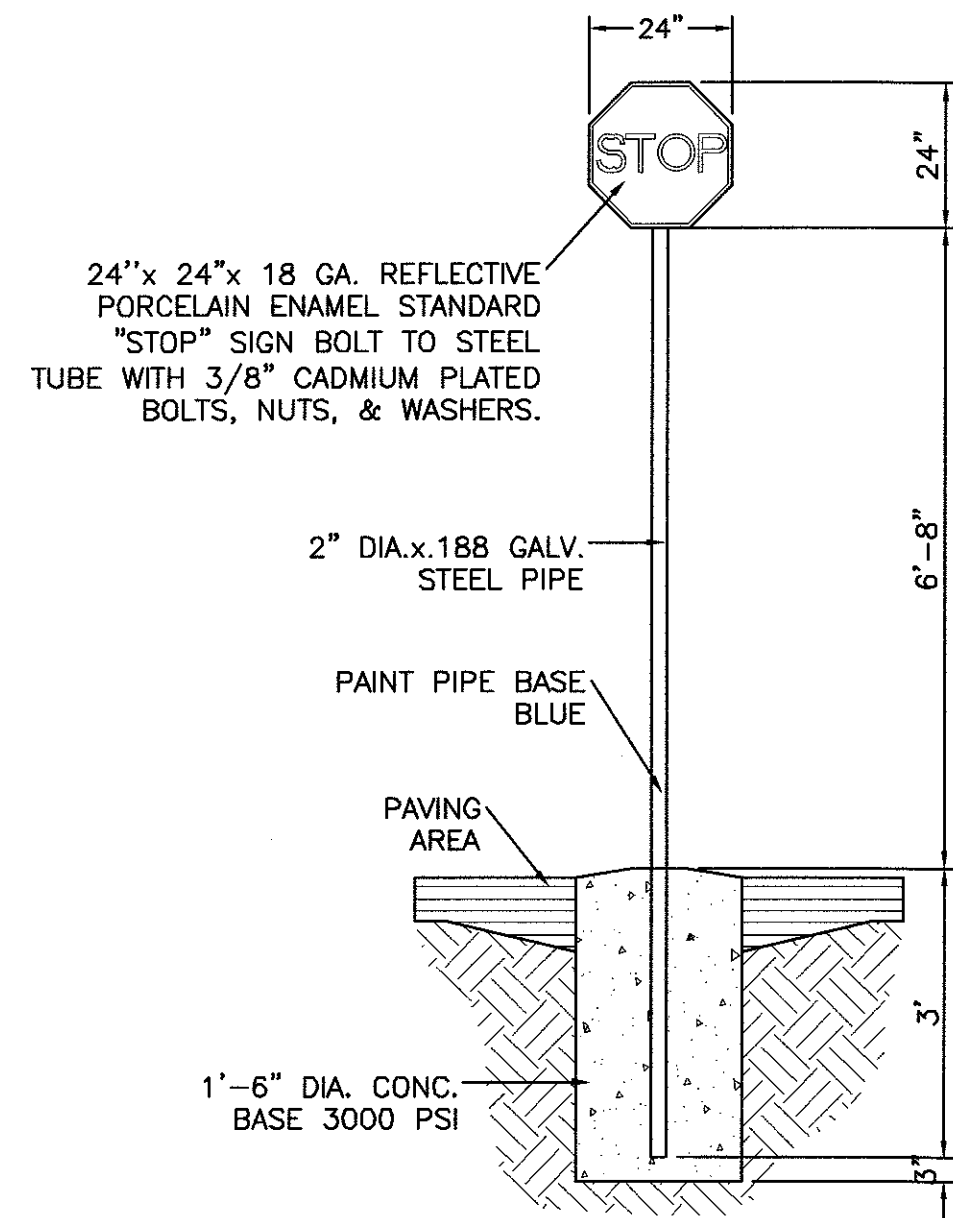


NOTES:
 1) International Symbol of Accessibility shall be painted on the pavement at rear of space, white symbol on blue background.
 2) Parking space lines and diagonal striping to be painted blue.
 3) Access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed.

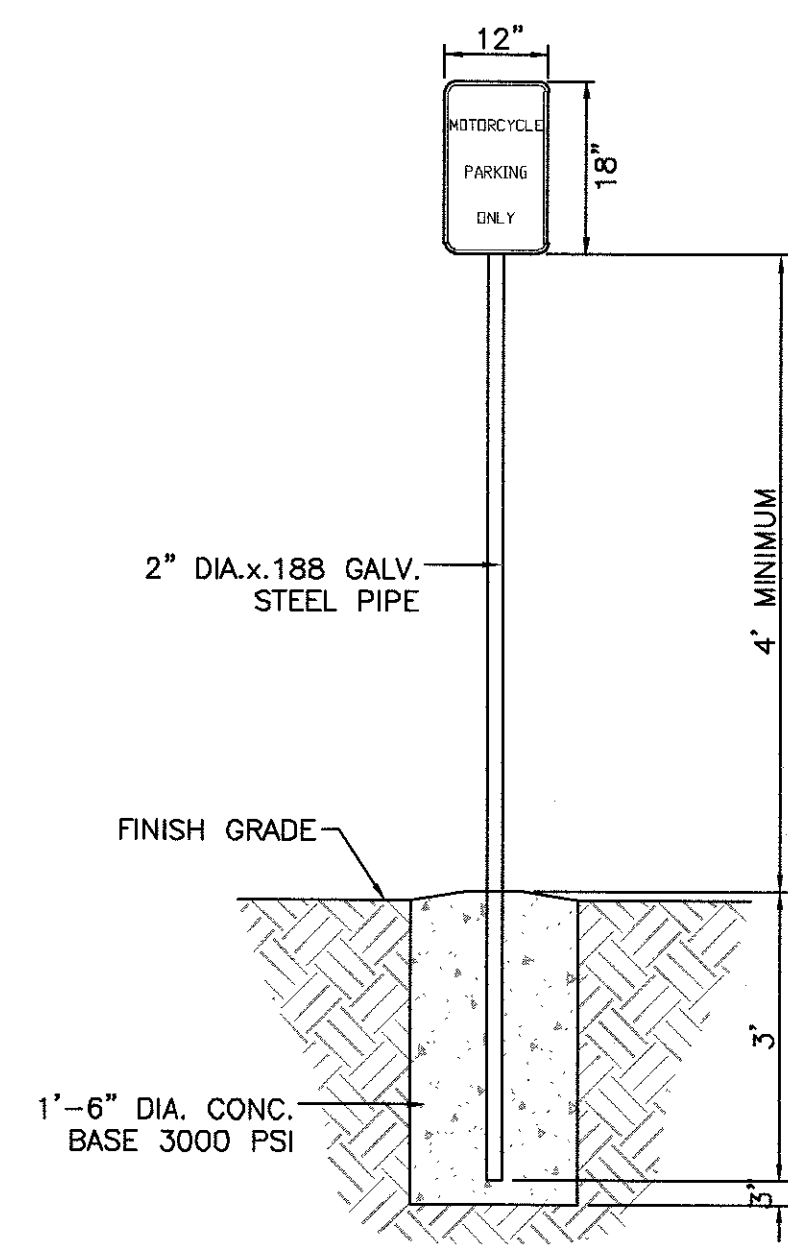
HC PARKING DETAIL
NTS



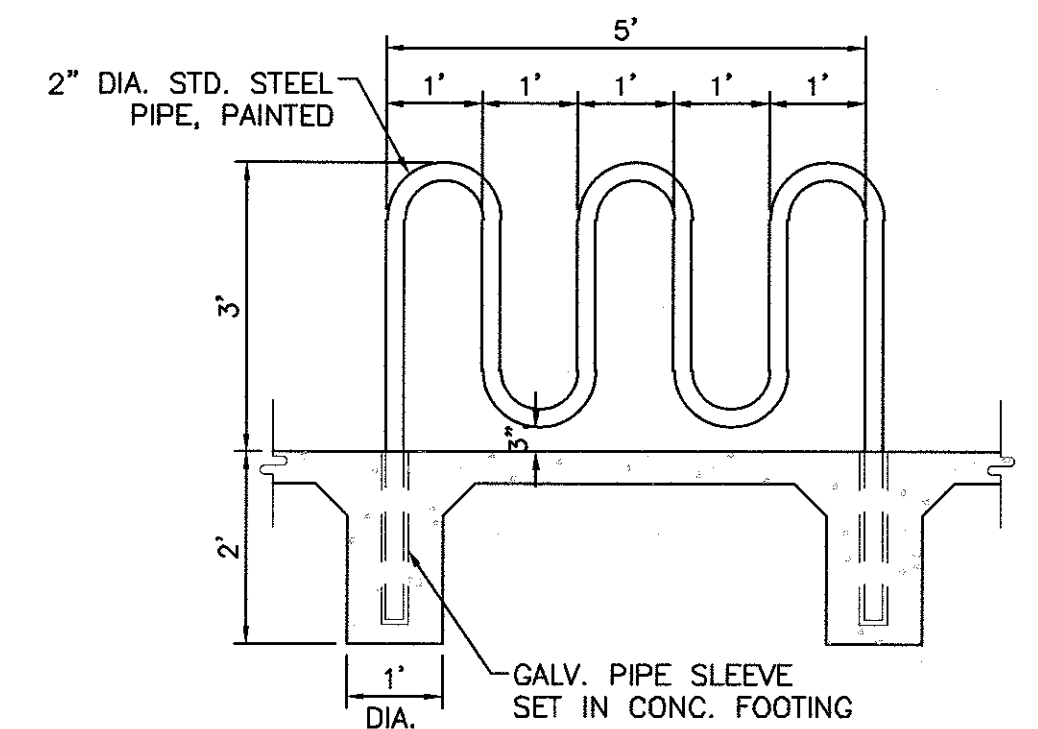
ACCESSIBLE PARKING SIGN
NTS



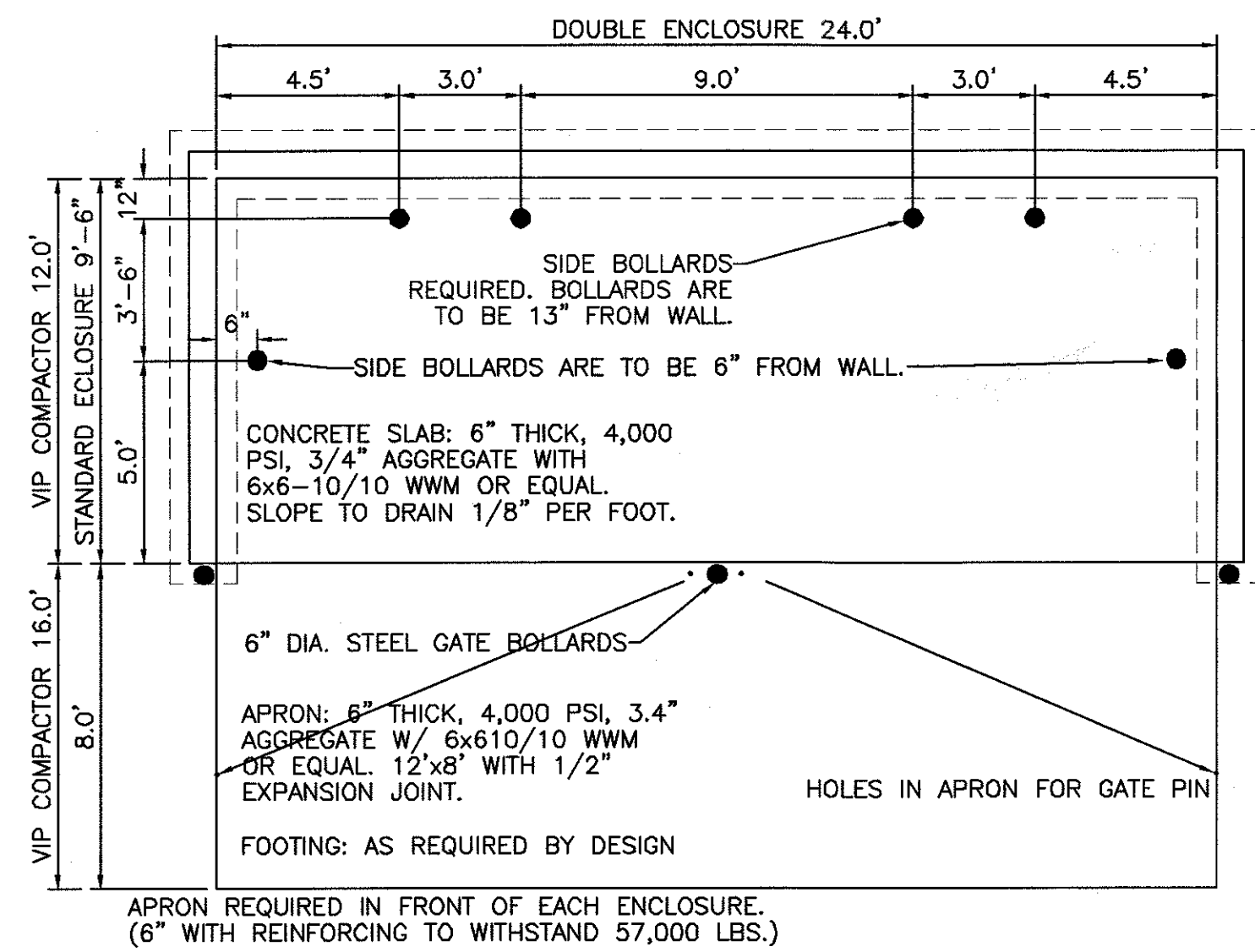
STOP SIGN
R24-1



MOTORCYCLE PARKING SIGN
NTS

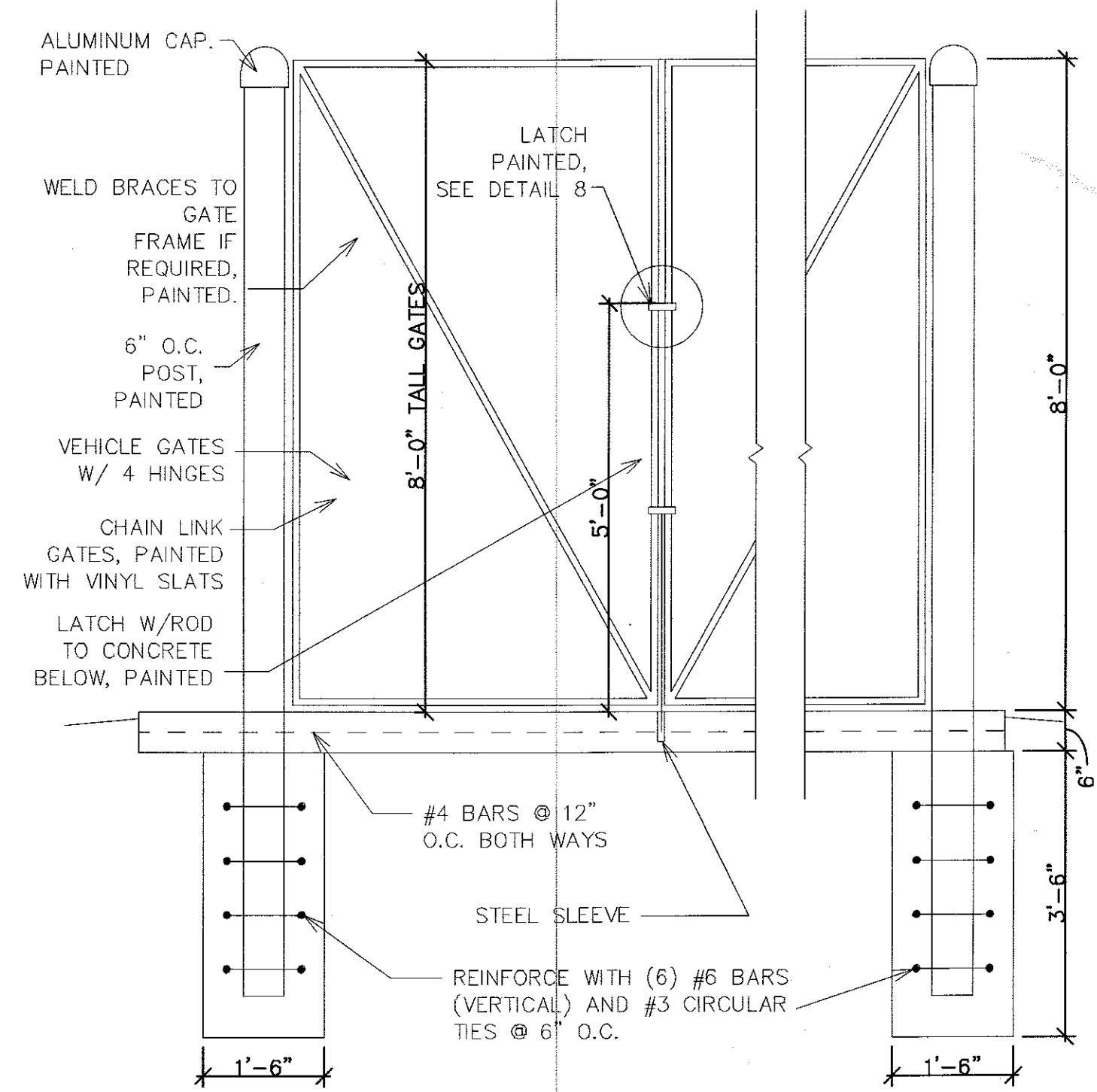


BIKE RACK DETAIL
SCALE: 1/2"=1'

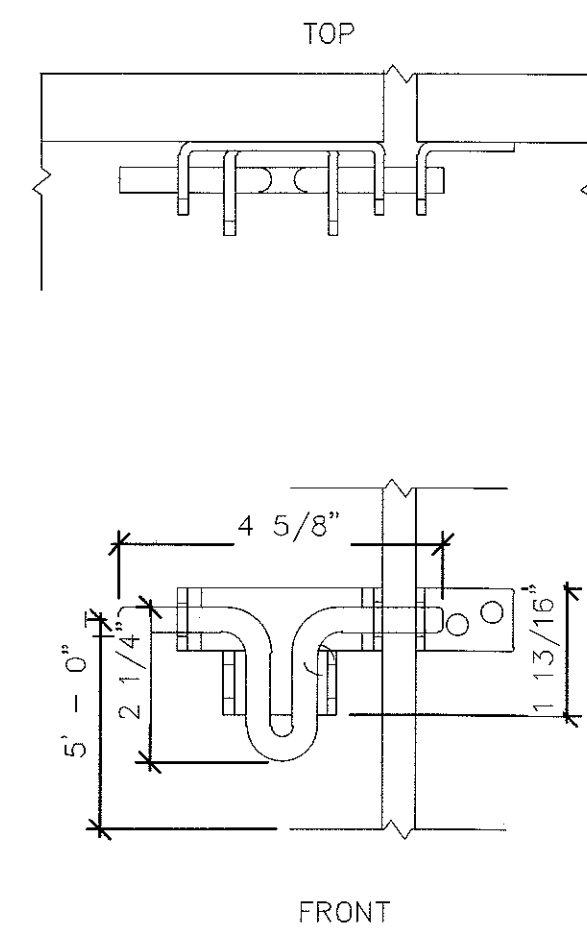


NOTE: THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.

DOUBLE DUMPSTER ENCLOSURE DETAIL
NTS



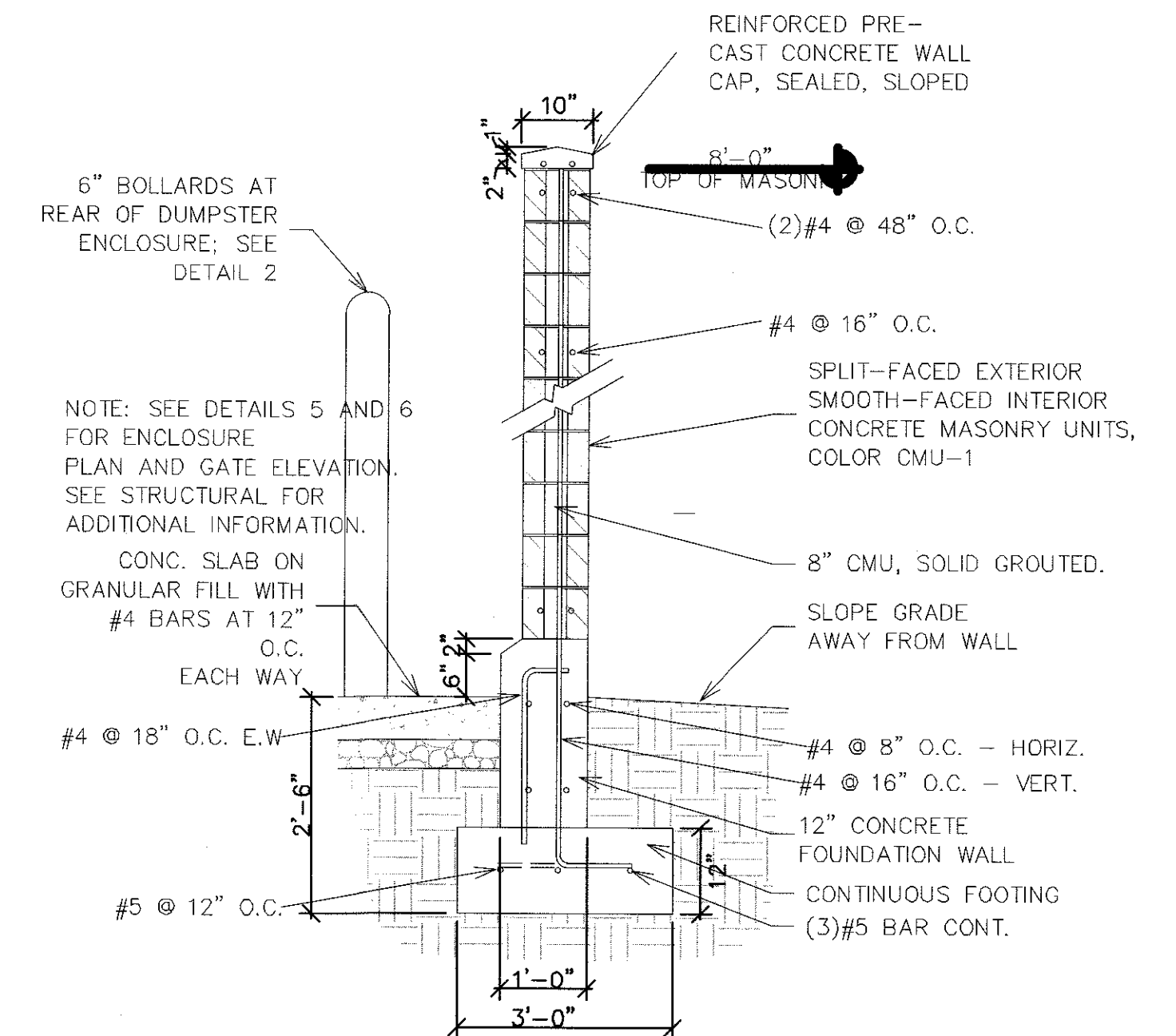
Dumpster Enclosure Gate Detail
SCALE: NONE



Dumpster Enclosure Gate Latch Detail
SCALE: NONE

NOTE: PROVIDE PADLOCKABLE GATE LATCH

SIMILAR OR EQUIVALENT TO REID SUPPLY #SUG-542 OR 543



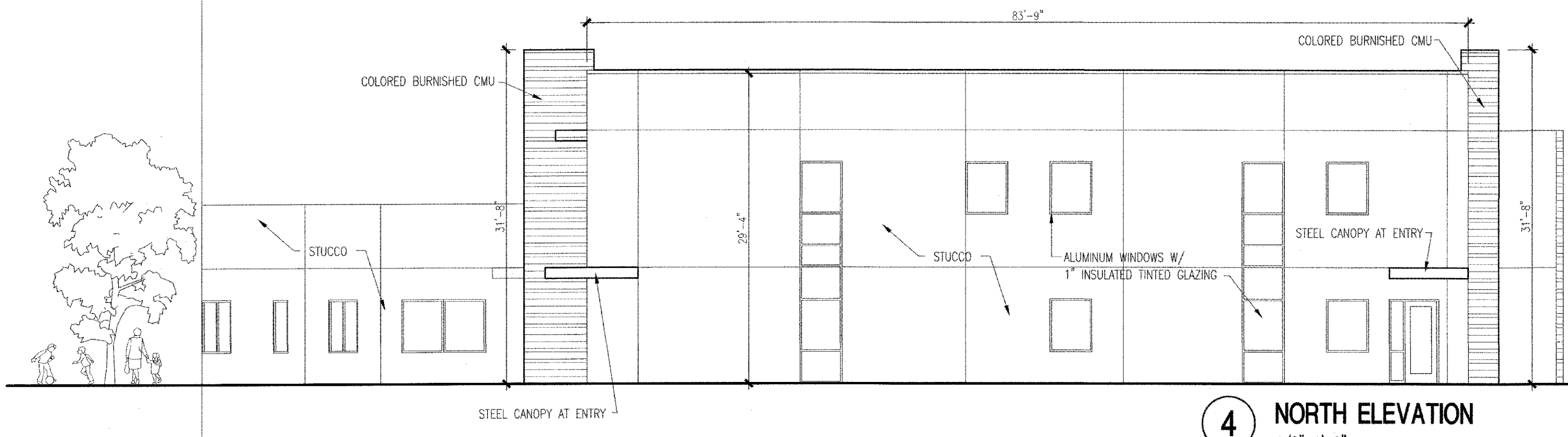
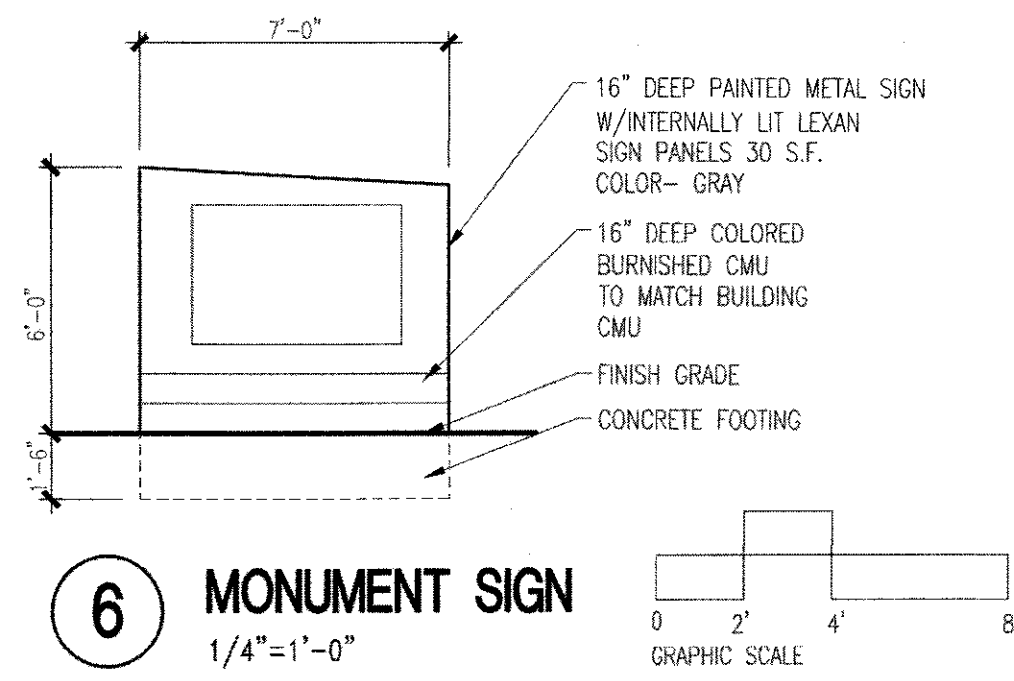
Dumpster Enclosure Wall Section
SCALE: NONE

2: 1/20/16 12:01:03:37 Montgomery Church of Christ.dwg, DRE, 2016037, DTB, awg, Jun-03, 2019 - 5:55pm



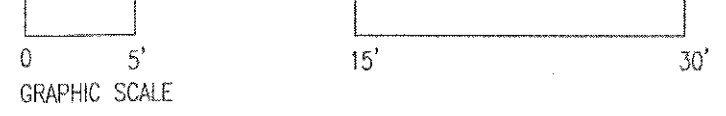
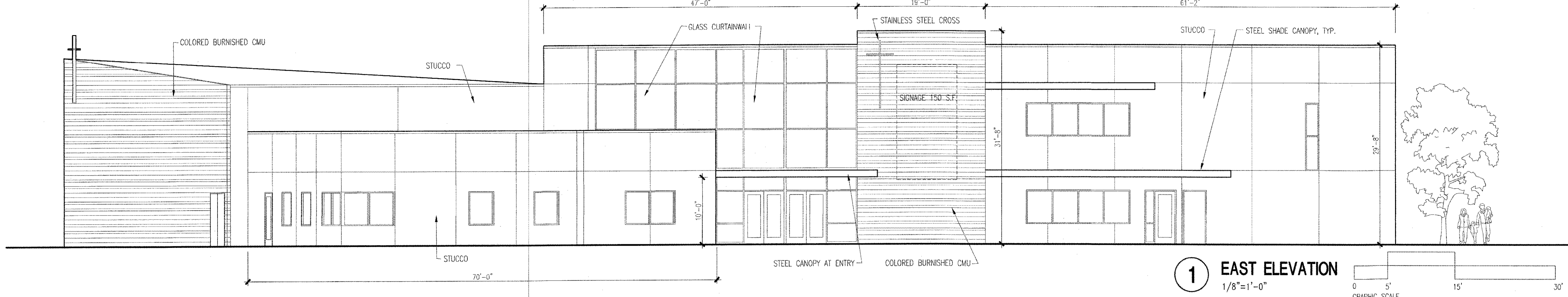
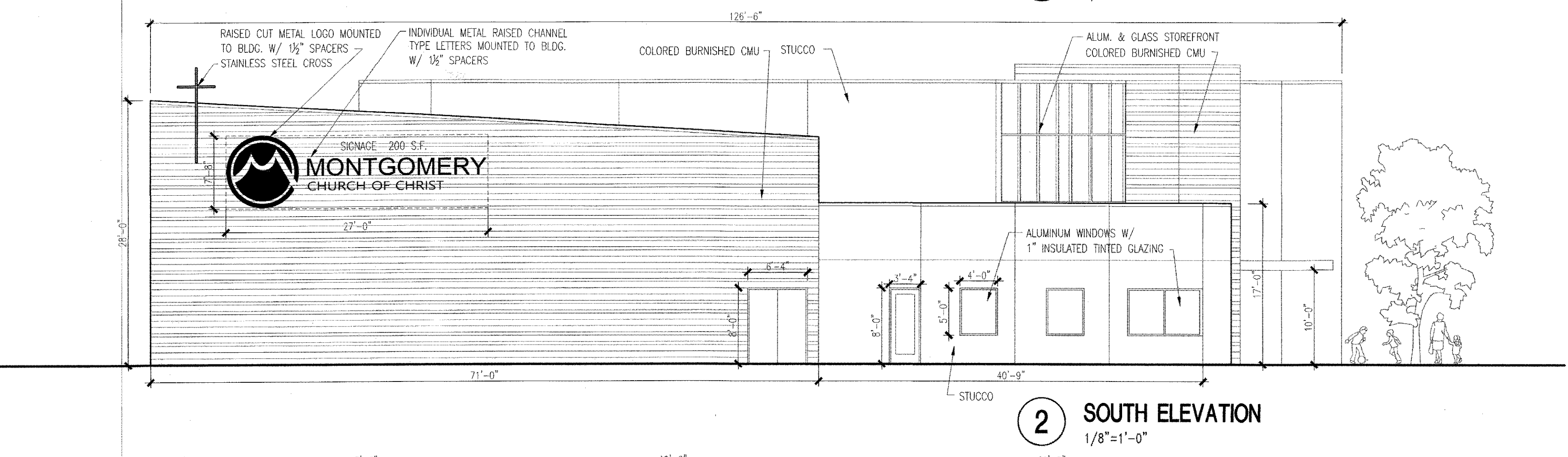
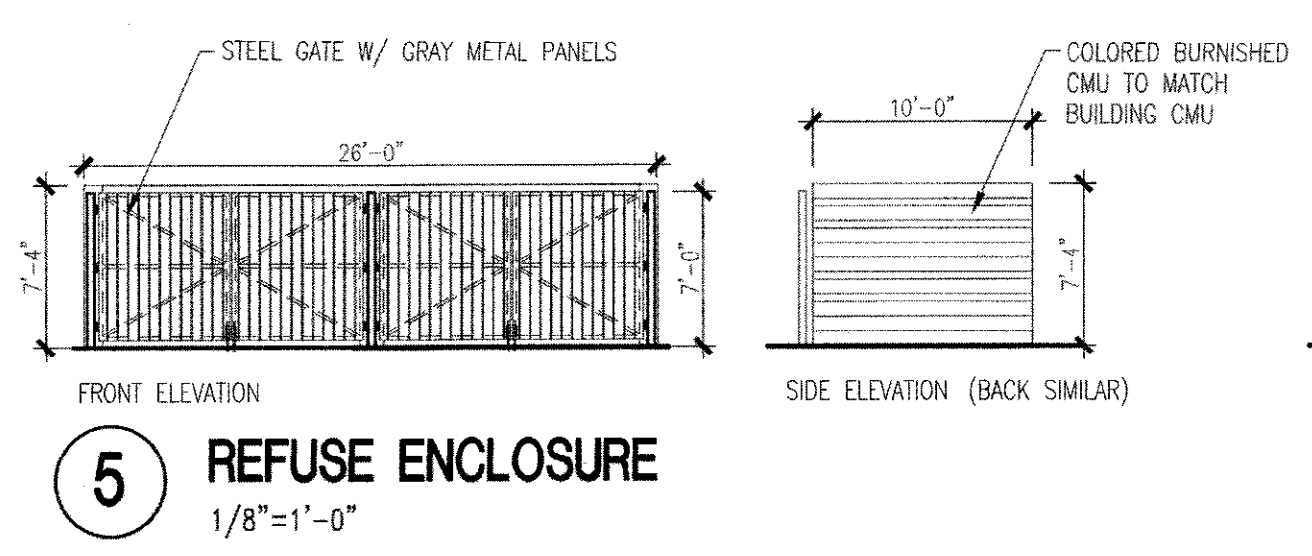
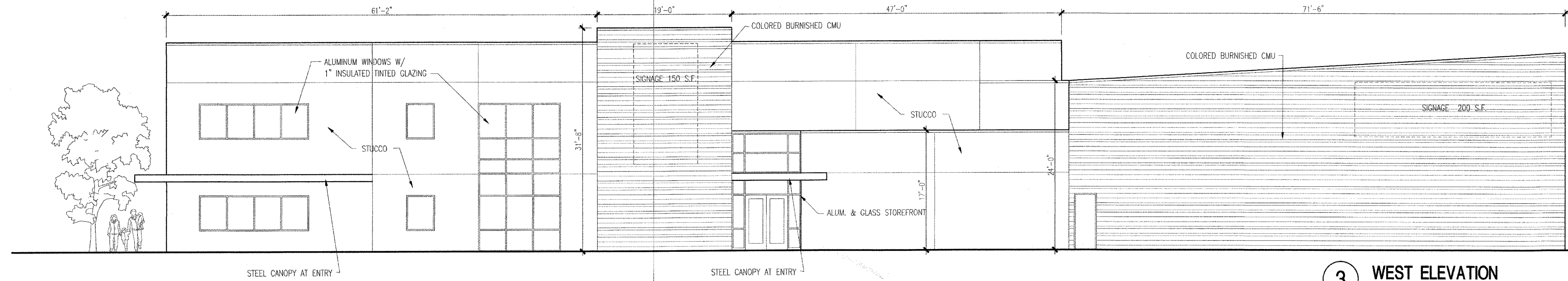
ENGINEER'S SEAL	MONTGOMERY CHURCH OF CHRIST 7201 MONTGOMERY BLVD. NE	DRAWN BY BF
	CONSTRUCTION DETAILS	DATE 1/4/19
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2016037_DTB
RONALD R. BOHANNAN P.E. #7868		SHEET # C7
		JOB # 2016037

Z:\2016\2016037_Montgomery Church of Christ\Views\EPC\20160337_Building Elevations.dwg Apr 02, 2018 - 2:49pm



BUILDING FINISH COLORS:
CMU FIELD- GRAY SMOOTH FACED
4" ACCENT CMU- DARK GRAY BURNISHED
EXTERIOR STUCCO COLOR- LIGHT GRAY
ALUMINUM WINDOW FRAMES- ANODIZED ALUMINUM
WINDOW GLAZING- 1" CLEAR INSULATED NON REFLECTIVE
HM DOORS- MEDIUM GRAY
PAINTED STEEL- DARK GRAY
ALL BUILDING MOUNTED SIGNAGE TO BE LIGHTED EITHER INTERNALLY OR EXTERNALLY. ANY LIGHTING FOR SIGNAGE SHALL CONFORM TO NIGHT SKIES ACT.

BUILDING SIGNAGE CALCS:
WEST ELEVATION- BLDG. AREA-5,676 S.F. SIGNAGE- 200 S.F. 350 / 5676 = 6%
SOUTH ELEVATION- BLDG. AREA-2,598 S.F. SIGNAGE- 100 S.F. 200 / 2598 = 7.8%
EAST ELEVATION- BLDG. AREA-4,933 S.F. SIGNAGE- 100 S.F. 150 / 4933 = 3%

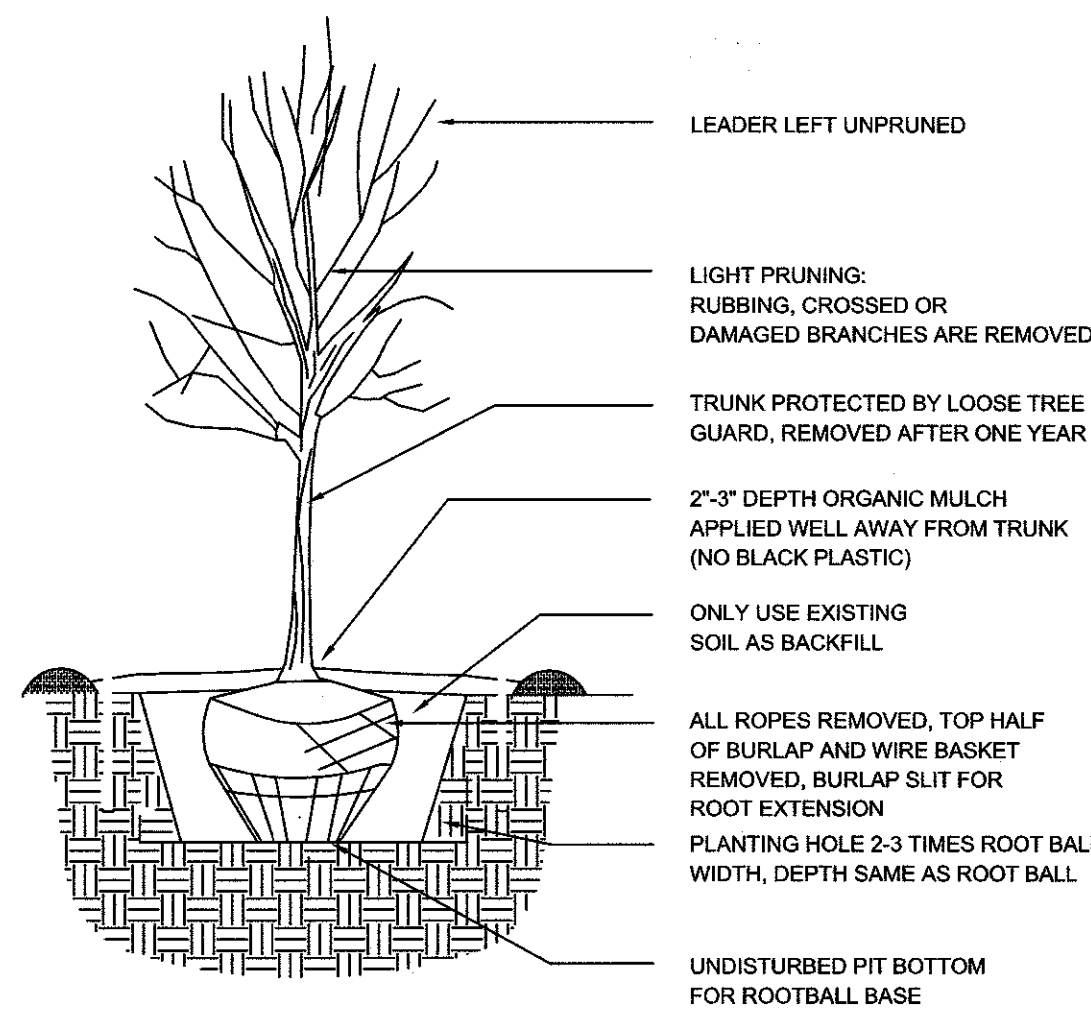


T A T E F I S H B U R N
A R C H I T E C T

ARCHITECT SEAL
ENGINEER SEAL

PROJECT
NEW WORSHIP FACILITY
MONTGOMERY CHURCH OF CHRIST
7201 MONTGOMERY, NE
ALBUQUERQUE, NEW MEXICO

REVISIONS
DATE MARCH 1, 2018
SCALE 1/8"=1'-0" OR AS NOTED
DRAWING NAME CONCEPTUAL BLDG. ELEVATIONS
SHEET NUMBER



TREE PLANTING DETAIL

SITE DATA

GROSS LOT AREA	110,110 SF
LESS BUILDING(S)	17,102 SF
NET LOT AREA	93,008 SF

REQUIRED LANDSCAPE 15% OF NET LOT AREA	13,951 SF
PROPOSED LANDSCAPE	23,450 SF
PERCENT OF NET LOT AREA	25 %

HIGH WATER USE TURF MAX 20% OF LANDSCAPE AREA	SF
PROPOSED HIGH WATER USE TURF	SF
PERCENT OF LANDSCAPE AREA	%

REQUIRED STREET TREES 1 PER 30 L.F. OF STREET FRONTAGE	26
EXISTING STREET TREES	19
PROVIDED STREET TREES	26

REQUIRED PARKING LOT TREES 1 PER 10 SPACES	14
134 SPACES/10	
PROVIDED PARKING LOT TREES (Phase 1)	14

TOTAL TREE REQUIRED/PROVIDED (2" cal or 6" ht.) 40/40

REQUIRED LANDSCAPE COVERAGE 75% LIVE VEGETATIVE MATERIAL (23,450 SF PROPOSED LANDSCAPE X 75%)	17,587 SF MIN.
PROVIDED GROUNDCOVER COVERAGE	15,056 SF
PROVIDED NATIVE SEED COVERAGE	5,150 SF
PROVIDED GROUNDCOVER COVERAGE	20,206 SF
PERCENT GROUNDCOVER COVERAGE OF REQUIRED LANDSCAPE AREAS	86%

NOTE

MAINTENANCE OF LANDSCAPE (ONSITE AND WITHIN ROW) TO BE MAINTAINED BY PROPERTY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1. PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10 (SEE CALCULATIONS PROVIDED ABOVE)

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 2"-3" DEPTH

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.

NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.

STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-6-2.

LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-3-10.

LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA.

IRRIGATION SYSTEM: AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WILL BE UTILIZED TO PROVIDE EVEN AND ADEQUATE WATER LEVELS TO ALL PLANT MATERIAL. WATER USE SHALL BE DONE IN SUCH A MANNER AS TO CONSERVE ITS USE AND PREVENT ANY AND ALL RUNOFF FROM LANDSCAPE MATERIALS. IRRIGATION SHALL BE RESTRICTED TO EARLY MORNING HOURS TO CONSERVE THIS LIMITED RESOURCE.

STREETSCAPE LANDSCAPING SHALL CONSIST PRIMARILY OF SHRUBS AND DECIDUOUS TREES IN A SETBACK AREA BETWEEN THE RIGHT-OF-WAY OF THE STREET AND THE FACE OF THE CURB OF AN ADJACENT PARKING AREA. CLEAR-SIGHT TRIANGLE REQUIREMENTS MUST BE MET.

TREES IN PROXIMITY OF DUMPSTER TO BE MAINTAINED TO ALLOW FOR TRUCK ACCESS WITHOUT DAMAGE TO TRUCK OR TREES

IRRIGATION NOTE

DRIP SYSTEM RUN CYCLES:
 ESTABLISHMENT AND SUMMER:
 1 HOUR/4 DAYS A WEEK
 SPRING:
 1 HOUR/2-3 DAYS A WEEK
 FALL:
 1 HOUR/2-3 DAYS A WEEK
 WINTER:
 1 HOUR/2 DAYS PER MONTH

EXISTING PLANT LEGEND

Qty	Symbol	Scientific Name	Common Name	Installed Size	Mature Height/Spread	Landscape Coverage	Water Use	Drip Emitters
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20	○	Modesto Ash				50 sf=1000 sf		
7	○	Fraxinus Autumn Purple Ash		2" B&B	40'/40'	50 sf=350 sf	Medium	+6-2 gph
3	○	Ulmus Lacebark Elm		2" B&B	50'/20'	50 sf=150 sf	Medium	6-2 gph
8	○	Pistacia chinensis Chinese Pistache		2" B&B	60'/60'	50 sf=400 sf	Medium	+6-2 gph

Shrubs/Groundcovers

15	○	Buddleia davidii Butterfly Bush		1-Gal	6'/6"	36 sf=540 sf	Medium	2-2 gph
21	○	Rhaphiolepis Indian Hawthorn		1-Gal	4'/4"	15 sf=315 sf	Low+	2-2 gph
31	○	Vauquelinia Rosewood		5-Gal	10'/10"	100 sf=3100 sf	Medium	2-2 gph
8	○	Rhus aromatica Gro Low Sumac		5-Gal	2'/6"	36 sf=288 sf	Low +	2-2 gph
45	○	Ericameria laricifolia 'Aguirre' Turpentine Bush		5-Gal	3'/4"	25 sf=1125 sf	Low	2-1 gph
6	○	Hesperaloe parviflora Red Yucca		5-Gal	3'/4"	20 sf=120 sf	Low	2-1 gph
31	○	Juniperus sabina 'Buffalo' Buffalo Juniper (female)		5-Gal	2'/6"	35 sf=1085 sf	Low +	2-2 gph
0	○	Perovskia atriplicifolia Russian Sage		1-Gal	5'/5"	30 sf=0 sf	Medium	2-2 gph
9	○	Lagerstroemia Crape Myrtle		5-Gal	15'/10"	100 sf=900 sf	Medium+	2-2 gph
27	○	Nepeta Catmint		1-Gal	1'/3"	6 sf=162 sf	Medium	2-2 gph
10	○	Pinus mugo Mugho Pine		5-Gal	4'/4"	30 sf=300 sf	Medium	2-2 gph
7	○	Caesalpinia Bird of Paradise		5-Gal	10'/10"	100 sf=700 sf	Medium	2-2 gph
0	○	Rhus trilobata 3 Leaf Sumac		5-Gal	2'/6"	30 sf=0 sf	Low +	2-2 gph
19	○	Dasyliroton Sotol		5-Gal	4'/4"	64 sf=1216 sf	Low	2-1 gph
51	○	Yucca pendula Softblade Yucca		5-Gal	4'/4"	64 sf=3264 sf	Low +	2-1 gph
3	○	Potentilla fruticosa Shrubby Cinquefoil		5-Gal	3'/3"	10 sf=30 sf	Medium+	2-2 gph
1	○	Viburnum Burkwood Viburnum		5-Gal	6'/6"	20 sf=20 sf	Medium+	2-2 gph
0	○	Ilex Burford Holly		5-Gal	4'/4"	16 sf=0 sf	Medium+	2-1 gph
3	○	Nandina Heavenly Bamboo		5-Gal	3'/3"	20 sf=60 sf	Medium+	2-2 gph

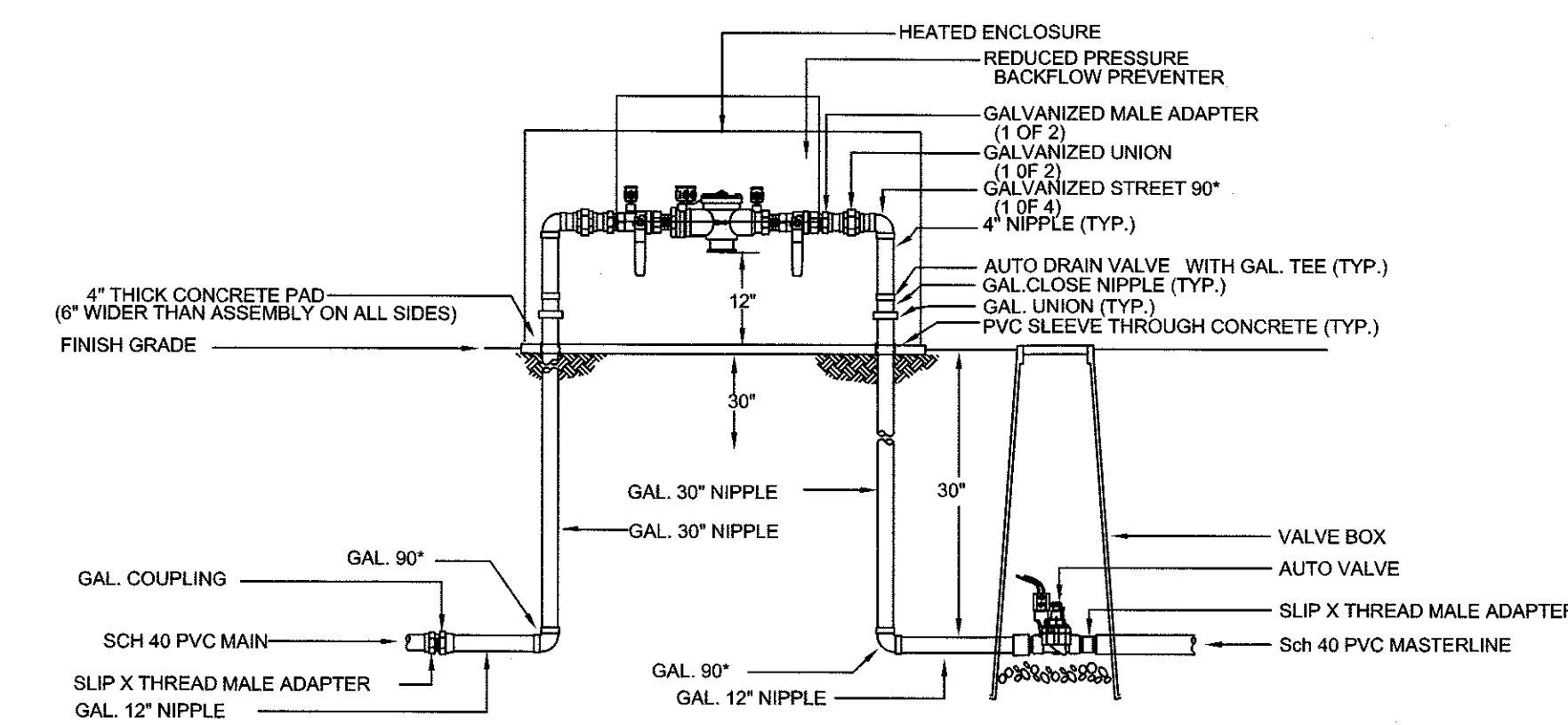
Grasses

0	○	Muhlenbergia Deer Grass		1-Gal	4'/4"	20 sf=0 sf	Low+	2-2 gph
23	○	Muhlenbergia Regal Mist Grass		1-Gal	3'/3"	15 sf=345 sf	Medium	2-2 gph
6	○	Panicum Switch Grass		1-Gal	8'/6"	36 sf=216 sf	Medium	2-2 gph
37	○	Calamagrostis Karl Foerster Grass		5-Gal	3'/2"	10 sf=370 sf	Medium	2-2 gph

Total Landscape Coverage=15,056 SF

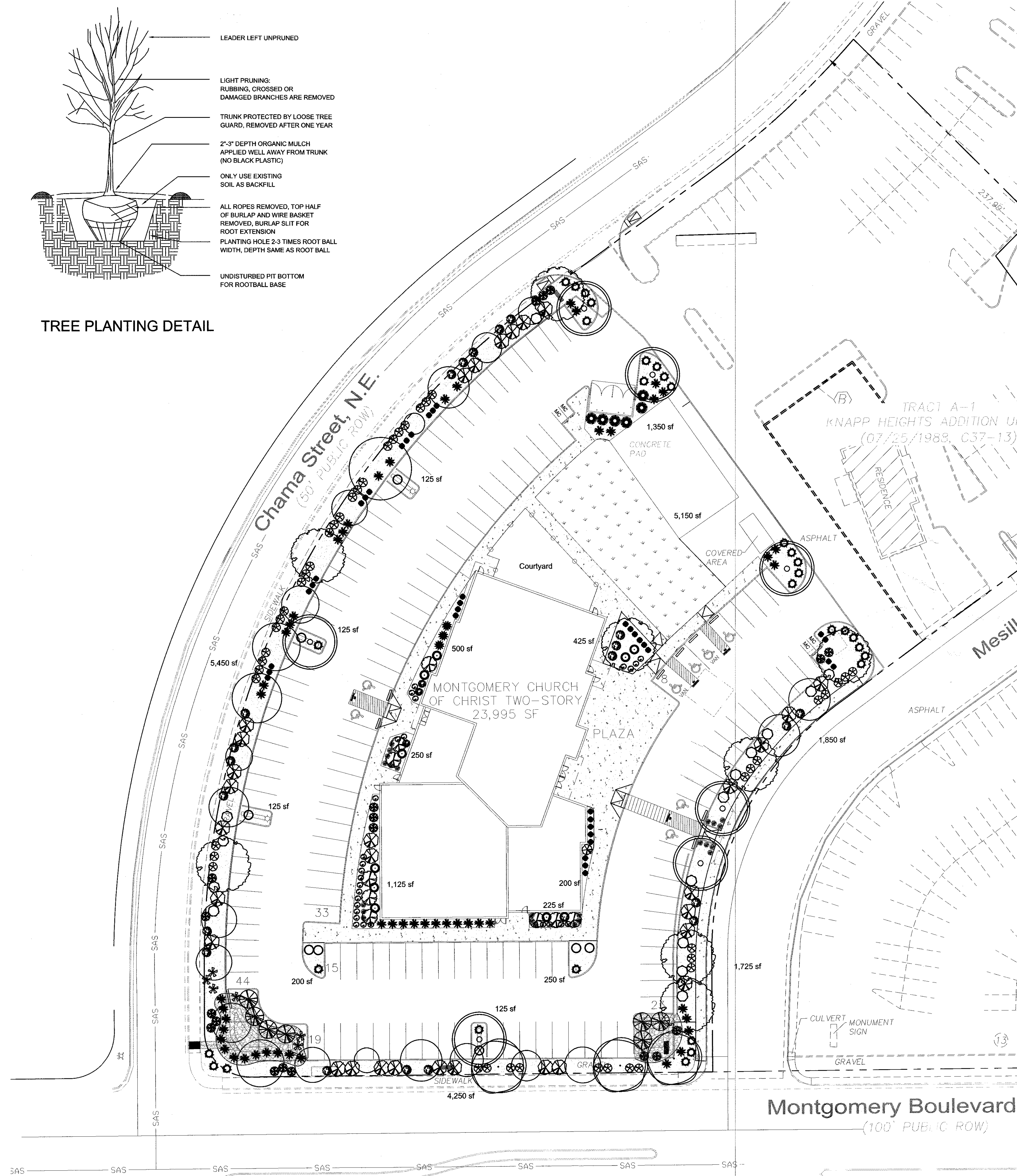
MATERIALS LEGEND

○	7/8" BROWN GRAVEL MULCH
○	2"-4" COBBLESTONE
○	NATIVE SEED



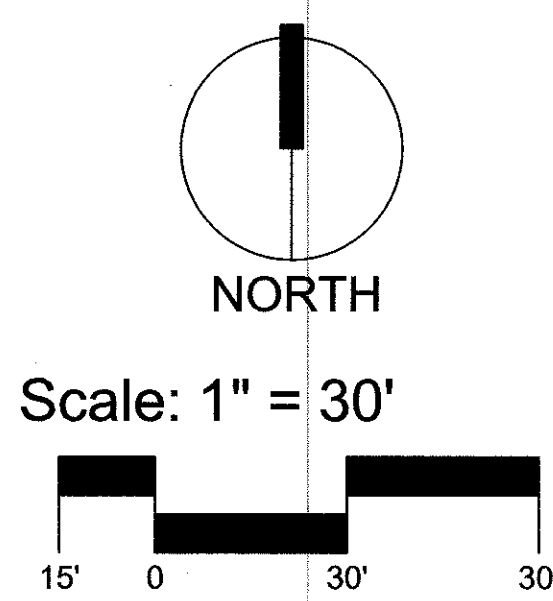
NOTE:
 1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.

RP BACKFLOW/MASTER VALVE DETAIL



Date: 2/28/18
 Revisions:
 ▲ 3/29/18
 ▲ 4/5/18
 ▲ 12/6/18
 Drawn by: jc
 Reviewed by: jb

Montgomery Church of Christ
 Albuquerque, New Mexico



Sheet Title:
Landscape Plan

Sheet Number:
LS-01