



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	Policy Decisions
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> WTF Approval (Form W1)	<input checked="" type="checkbox"/> Site Plan – DRB (Form P2)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Subdivision of Land – Minor (Form S2)	<input type="checkbox"/> Annexation of Land (Form Z)
Decisions Requiring a Public Meeting or Hearing	<input type="checkbox"/> Subdivision of Land – Major (Form S1)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> Conditional Use Approval (Form ZHE)	<input type="checkbox"/> Vacation of Easement or Right-of-way (Form V)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Variance – DRB (Form V)	Appeals
<input type="checkbox"/> Expansion of Nonconforming Use or Structure (Form ZHE)	<input type="checkbox"/> Variance – ZHE (Form ZHE)	<input type="checkbox"/> Decision by EPC, LC, DRB, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Montgomery Blv Church of Christ		Phone:
Address: 7201 Montgomery Blvd NE		Email:
City: Albuquerque	State: NM	Zip: 87109
Professional/Agent (if any): Tierra West, LLC		Phone: 505-858-3100
Address: 5571 Midway Park Place NE		Email: rrb@tierrawestllc.com
City: Albuquerque	State: NM	Zip: 87109
Proprietary Interest in Site: Owner	List all owners:	

BRIEF DESCRIPTION OF REQUEST

Final Sign Off For Site Development Plan for Building Permit and Site Development for Subdivision

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: TR A-1 Plat of TR A-1	Block:	Unit:
Subdivision/Addition: Knapp Heights AddN	MRGCD Map No.:	UPC Code: 101906110404330220
Zone Atlas Page(s): F-19-Z	Existing Zoning: R-MH	Proposed Zoning: R-MH
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (acres): 10.28 acres

LOCATION OF PROPERTY BY STREETS

Site Address/Street: Montgomery Blvd NE	Between: Chama St NE	and:
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

V-88-73, DRB-88-373, Z-87-95, Z-75-66, Z-71-199, Z-96-20, Z-75-66, ZA-1919/ 1011556

Signature: <i>Richard Stevenson</i>	Date: 12-11-18
Printed Name: Richard Stevenson	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees
-		
-		
-		
Meeting/Hearing Date:		Fee Total:
Staff Signature:	Date:	Project #

FORM P2: SITE PLAN – DRB

Please refer to the DRB public meeting schedules for hearing dates and deadlines. Your attendance is required.

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

☒ INFORMATION REQUIRED FOR ALL SITE PLAN – DRB APPLICATIONS

N/A Interpreter Needed for Hearing? _____ if yes, indicate language: _____

- ☒ Site Plan and related drawings (10 copies, 24" x 36" folded to fit into an 8.5" x 14" pocket)
- ☒ Letter of authorization from the property owner if application is submitted by an agent
- ☒ Zone Atlas map with the entire site clearly outlined and labeled

☐ SITE PLAN – DRB**☐ MAJOR AMENDMENT TO SITE PLAN – DRB****☐ EXTENSION OF SITE PLAN – DRB Does not require Public Hearing**

- ___ Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)
- ___ Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)
- ___ Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) (*not required for Extension*)
- ___ Site Plan and related drawings reduced to 8.5" x 11" format (1 copy)
- ___ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(G)(3)
- ___ Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(O)
Note: If requesting more than allowed by deviation, a Variance – ZHE or Variance – DRB will be required, as applicable.
- ___ Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information (*not required for Extension*)
- ___ Required notices with content per IDO Section 14-16-6-4(K)(6)
 - ___ Office of Neighborhood Coordination inquiry response, notifying letter, and proof of first class mailing
 - ___ Proof of emailed notice to applicable Neighborhood Association representatives
 - ___ Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing
- ___ Sign Posting Agreement
- ___ Signed Traffic Impact Study (TIS) Form
- ___ Completed Site Plan Checklist

☒ FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC

- ☒ Solid Waste Department signature on Site Plan
- ☒ Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- ☒ Approved Grading and Drainage Plan
- ☒ Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (*not required for Master Development Plans*)
- ☒ Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- N/A Infrastructure List, if required

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: Richard Stevenson

Date: 12/10/20108

Printed Name: Richard Stevenson

☐ Applicant or ☒ Agent

FOR OFFICIAL USE ONLY

Project Number:	Case Numbers
	-
	-
	-
Staff Signature:	
Date:	





TIERRA WEST, LLC

December 11, 2018

Ms. Kym Dicome
Development Review Board
P.O. Box 1293
Albuquerque, NM 87103

**RE: MONTGOMERY BLVD. CHURCH OF CHRIST
SITE DEVELOPMENT PLAN FOR SUBDIVISION AND
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
TRACT A-1, PLAT OF TRACT A-1 KNAPP HEIGHT ADDN
ZONE ATLAS PAGE F-19-Z**

Dear Ms. Dicome:

Please find the following responses addressing staff comments from correspondence dated April 12, 2018 listed below:

**Conditions of Approval, Site Development Plan for Subdivision
Project # 1011556, Case # 18EPC-40012**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
To the best of knowledge we have the conditions of EPC have been met with this submission for final sign-off.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
We have provided the update plans to the planner and shown on the submittal. .
3. The Site Development Plan shall comply with General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.
To the best of knowledge the site development plan complies with the Zoning Code and applicable regulations.

**Conditions of Approval, Site Development Plan for Building Permit
Project # 1011556, Case # 18EPC-40013**

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has

5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

December 11, 2018

Ms. Kym Dicome

2

been modified to meet each of the EPC Conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

Conditions of EPC have been met with this submission for final sign-off.

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.

The plans were reviewed with the Planner.

3. Light poles shall be limited 16 feet in height within 100 feet of residential uses.

This note was added to the Site Plan for Subdivision and Site Plan for Building Permit as shown

4. Garden wall material shall match or compliment the proposed building material.

The garden wall was removed from the plans.

5. Prior to DRB sign off the Blue Mist Spiera will need to be replaced with an evergreen species.

This species was removed and replaced with Indian Hawthorn, as detailed on the landscaping plan.

6. The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.

The site development plan complies with the Zoning Code and applicable regulations.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

For: 

Ronald R. Bohannon, P.E.

JN: 2016037

RRB/rs/jg



7201 Montgomery Blvd NE
Albuquerque, NM 87109

505-884-7926

Info@montgomerychurch.org

www.montgomerychurch.org

February 19, 2018

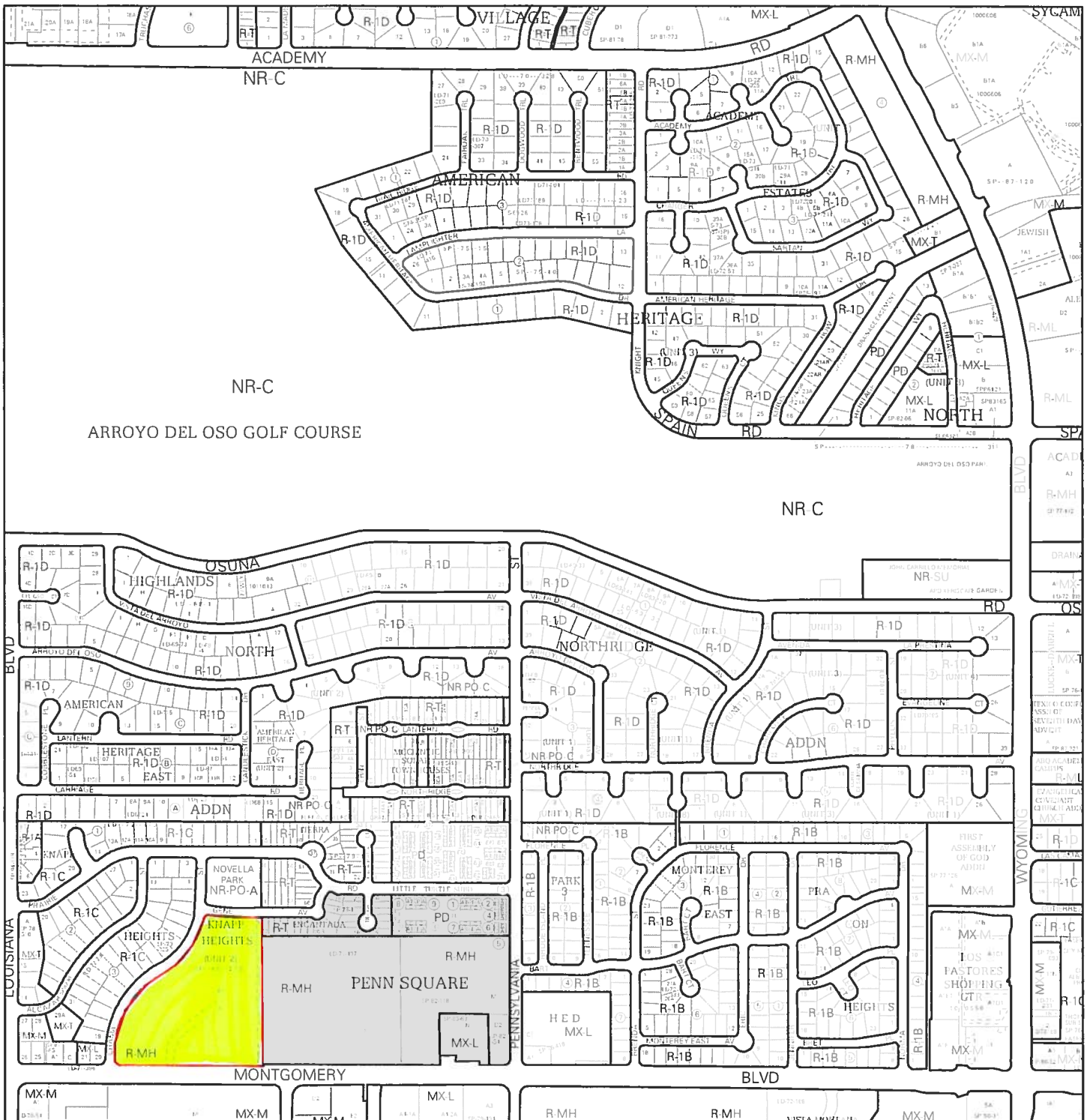
Mr. Bill McCoy, Vice Chair
Environmental Planning Commission
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
SITE DEVELOPMENT PLAN FOR SUBDIVISION
7201 MONTGOMERY BLVD. NE ALBUQUERQUE NM 87109
ZONE ATLAS PAGE: F-19-Z**

Dear Mr. McCoy:

The purpose of this letter is to authorize Tierra West LLC to act as agent on behalf of Montgomery Church of Christ, pertaining to any and all submittals made to the City of Albuquerque for the above-referenced site.

J. Michael Jones
Print Name
Signature
Agent
Title
2-23-18
Date



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:

F-19-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

FORM DRWS: DRAINAGE REPORT/GRADING AND DRAINAGE PLAN / WATER & SANITARY SEWER AVAILABILITY
THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR SUBDIVISIONS AND SITE PLANS.

PROJECT NAME: Montgomery Church

AGIS MAP # F-19-Z

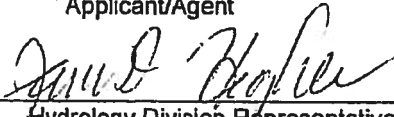
LEGAL DESCRIPTIONS: TR A-1 Plat of TR A-1 KNAPP Heights ADDN

☒ **DRAINAGE REPORT/GRADING AND DRAINAGE PLAN**

A drainage report/grading and drainage plan, as per the Drainage Ordinance, was submitted to the City of Albuquerque Planning Department, Hydrology Division (2nd /Ground Floor, Plaza del Sol) on 12/07/2018 (date).


Applicant/Agent

12/11/2018
Date


Hydrology Division Representative

12/11/2018
Date

NOTE: A GRADING AND DRAINAGE PLAN MUST BE APPROVED PRIOR TO DRB APPROVAL

☒ **WATER AND SEWER AVAILABILITY STATEMENT**

A Water and Sewer Availability Statement for this project was requested to the ABCWUA (2nd/Ground floor, Plaza del Sol) on 06-7-2018 (date).


Applicant/Agent

12/11/2018
Date


ABCWUA Representative

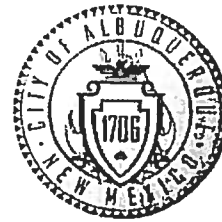
12/11/18
Date

PROJECT # _____

CITY OF ALBUQUERQUE

2016037

PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339



OFFICIAL NOTIFICATION OF DECISION

April 12, 2018

Montgomery Blvd Church of
Christ
7201 Montgomery Blvd NE
ABQ, NM 87109

Project# 1011556
18EPC-40012 Site Development Plan for Subdivision
18EPC-40013 Site Development Plan for Building Permit

LEGAL DESCRIPTION:

The above actions for all or a portion of Tract A-1 Plat of Tract A-1, Knapp Heights Addition, zoned SU-1 Church and Related Facilities and Private School for Daycare and Pre-School Thru Secondary, located on Montgomery Blvd., NE, between Louisiana Blvd., NE., and Pennsylvania NE, containing approximately 10.28 acres. (F-19) (Staff Planner: Maggie Gould)

PO Box 1293

Albuquerque, NM On March 12, 2018 the Environmental Planning Commission (EPC) voted to XXX Project 1011556/18EPC-40012, a Site Development Plan for Subdivision and 18EPC-40013, a Site Development Plan for Building Permit, based on the following Findings and Conditions:

NM 87103

FINDINGS:

1. This is a request for a Site Development Plan for Subdivision for Tract A-1, Plat of Tract A-1 Knapp Height Addition located on Montgomery Blvd between Louisiana Blvd and Pennsylvania Blvd containing 10.3 acres
2. The request divides the existing tract in to two new tract, tract A-2 containing 3.75 acres and tract A-1 containing 6.51 acres.
3. A request for a Site Development Plan for Building Permit 18-EPC-40013 accompanies this request.
4. The site is zoned SU -1 for Church and related facilities & private school for preschool & daycare thru secondary not to exceed 450 pupils.
5. The Albuquerque/Bernalillo County Comprehensive Plan, and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. The subject site within an area designated Area of Change by the Comprehensive Plan. The following policies are applicable to the request:

www.cabq.gov

OFFICIAL NOTICE OF DECISION

Project #1011556

April 12, 2018

Page 2 of 6

Policy 4.1.2 Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

The proposed height is only 4 feet taller than the height allowed in the surrounding residential zones; the proposed use will not create excess traffic. No TIS was required for the development. The request further Policy 4.1.2 Identity and Design.

Policy 5.3.1 Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The proposed subdivision will allow development in an area with full access to existing urban infrastructure and services including water, electric and public safety. The requests further Policy 5.3.1 Infill Development.

Goal 5.6 City Development Areas

Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The request creates an additional lot in an area of change along a transit corridor. The building use and height are compatible with the areas of consistency to the west. The requests further Goal 5.6 City Development Areas.

Policy 5.6.4 Appropriate Transitions: Provide transitions in Areas of Change for development abutting Areas of Consistency through adequate setbacks, buffering, and limits on building height and massing.

The Site Plan for Subdivision uses the existing site access points and will not disturb the neighborhood traffic patterns. The proposed height is similar to the height of the surrounding residential development. The requests further Policy 5.6.4 Appropriate Transitions.

7. The Stardust Skies Park and Knapp Height Neighborhood Associations and the District 4 and District 7 Coalitions of Neighborhoods were notified. A facilitated meeting occurred on March 14, 2018. Meeting participants were generally supportive of the project. Some concerns were expressed about potential increased traffic and regarding the location of dumpster. The applicant has moved the dumpster 30 feet farther east and behind additional landscaping..

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

OFFICIAL NOTICE OF DECISION

Project #1011556

April 12, 2018

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2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.

FINDINGS:

1. This is a request for a Site Development Plan for Building Permit for Tract A-1, Plat of Tract A-1 Knapp Height Addition located on Montgomery Blvd between Louisiana Blvd and Pennsylvania Blvd containing 10.3 acres
2. The Site Development Plan for Building Permit will allow the development of a new 23,580 square church. The proposed is allowed under the existing zoning, SU -1 for Church and related facilities & private school for preschool & daycare thru secondary not to exceed 450 pupils. This site plan fulfills the requirement of the SU-1 zone that all development take place in accordance with a site plan.
3. The new Site Plan for Building Permit supersedes the previous approvals for future tract A-2.
4. An existing house on the lot will be demolished to allow for the new church.
5. A request for a Site Development Plan for Subdivision 18-EPC-40012 accompanies this request.
6. The Albuquerque/Bernalillo County Comprehensive Plan, and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
7. The subject site within an area designated Area of Change by the Comprehensive Plan. The following policies are applicable to the request:

Policy 4.1.2 Identity and Design: Protect the identity and cohesiveness of neighborhoods by ensuring the appropriate scale and location of development, mix of uses, and character of building design.

The proposed building is set back 80 feet from the western property line, away from the single family residential uses to the west. The proposed height is only 4 feet taller than the height allowed in the surrounding residential zones; the proposed use will not create excess traffic. No TIS was required for the development. Also, it could act as a transition from the neighborhood to Montgomery Blvd The request furthers Policy 4.1.2 Identity and Design.

Policy 5.3.1 Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

OFFICIAL NOTICE OF DECISION

Project #1011556

April 12, 2018

Page 4 of 6

The proposed building is in an area with full access to existing urban infrastructure and services including water, electric and public safety. The requests further Policy 5.3.1 Infill Development.

Goal 5.6 City Development Areas

Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The requests add an additional lot and building in an area of change along a transit corridor. The building use and height are compatible with the areas of consistency to the west. The requests further Goal 5.6 City Development Areas.

Policy 5.6.4 Appropriate Transitions: Provide transitions in Areas of Change for development abutting Areas of Consistency through adequate setbacks, buffering, and limits on building height and massing.

The Site Plan uses the existing site access points and will not disturb the neighborhood traffic patterns; the proposed building is setback 80 feet from the property line with trees and shrubs along Chama St. to screen the site. The proposed height is similar to the height of the surrounding residential development. The requests further Policy 5.6.4 Appropriate Transitions.

8. The Stardust Skies Park and Knapp Height Neighborhood Associations and the District 4 and District 7 Coalitions of Neighborhoods were notified. A facilitated meeting occurred on March 14, 2018. Meeting participants were generally supportive of the project. Some concerns were expressed about potential increased traffic and regarding the location of dumpster. The applicant has moved the dumpster 30 feet farther east and behind additional landscaping.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. Light poles shall be limited 16 feet in height within 100 feet of residential uses
4. Garden wall material shall match or compliment the proposed building material.

OFFICIAL NOTICE OF DECISION

Project #1011556

April 12, 2018

Page 5 of 6

5. Prior to DRB sign off the Blue Mist Spirea will need to be replaced with an evergreen species.
6. The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.

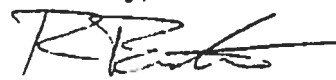
APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **APRIL 27, 2018**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-4-4 of the Zoning Code. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's recommendation.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(16), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

Sincerely,


For David Campbell
Planning Director

DC/MG

cc: Montgomery Blvd. Church of Christ, 7201 Montgomery Blvd NE, ABQ, NM 87109
Tierra West, LLC, 5571 Midway Park Pl. NE, ABQ, NM 87109
Stardust Skies Park NA, Kim Lovely-Peake, 7100 Bellrose NE, ABQ, NM 87110

OFFICIAL NOTICE OF DECISION

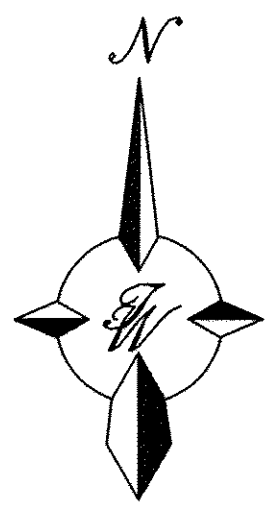
Project #1011556

April 12, 2018

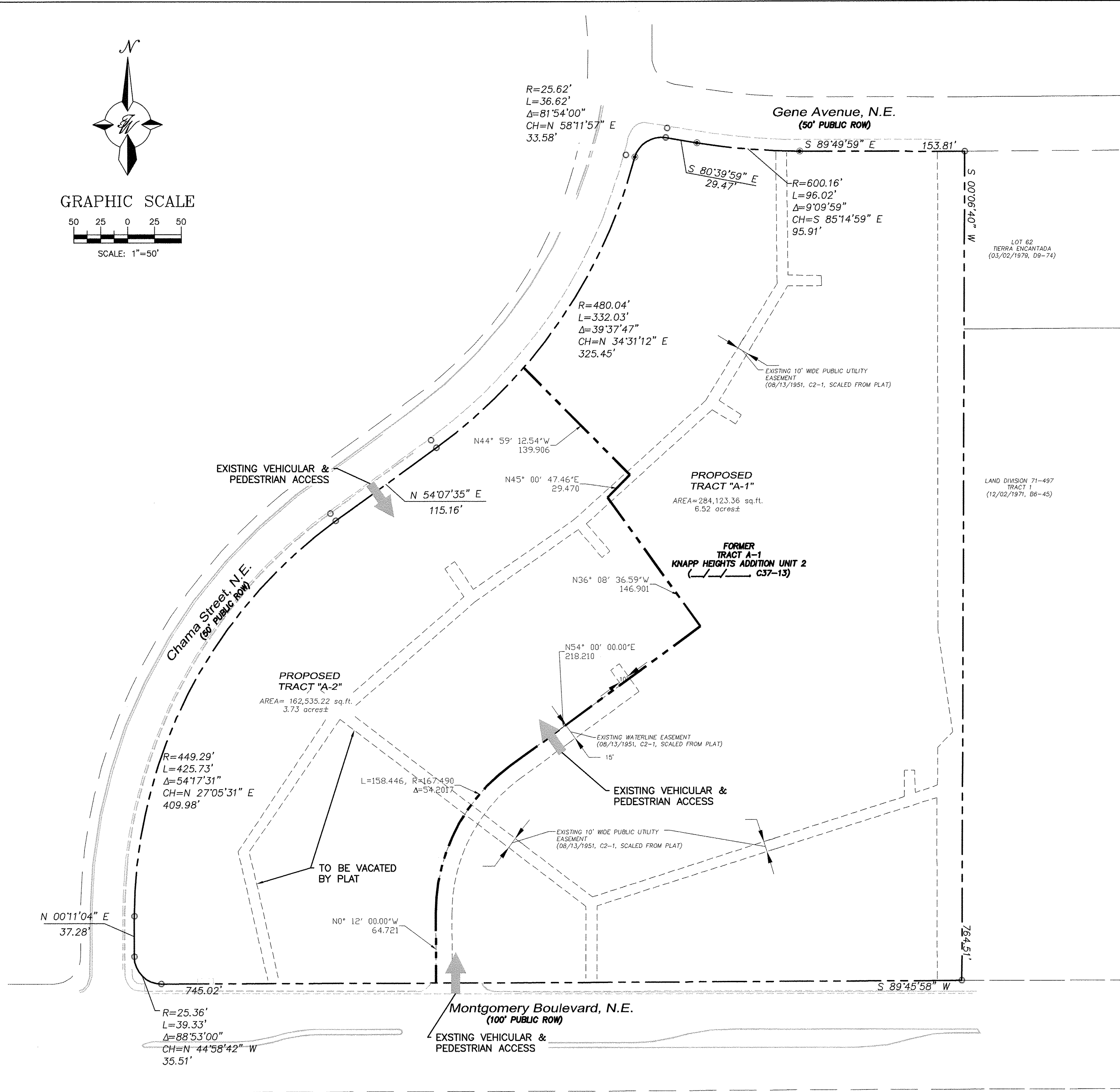
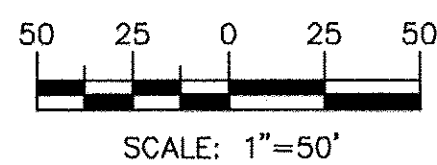
Page 6 of 6

Stardust Skies Park NA, Matthew Bowles, 7125 Lisa Ct NE, ABQ, NM 87110
Knapp Heights NA, Courtney McKelvey, 7209 Prairie Rd NE, ABQ, NM 87110
Knapp Heights NA, Daniel Regan, 4109 Chama St. NE, ABQ, NM 87109
Dist. 4 Coalition of Neigh. Assoc. Michael Pridham, 3901 Georgia St. NE, Bldg F, ABQ, NM 87110
Dist. 4 Coalition of Neigh. Assoc. Breanna Bloomquist, 1844 Man O War St. SE, ABQ, NM 87123
Dist. 7 Coalition of Neigh. Assoc. Lynne Martin, 1531 Espejo NE, ABQ, NM 87112
Dist. 7 Coalition of Neigh. Assoc. David Haughawout, 2824 Chama St., NE, ABQ, NM 87110
Daniel Regan, 4109 Chama St. NE, ABQ, NM 87109

Z:\2016\20160337 Montgomery Church of Christ\Drawings\081217_SPSB.dwg Date: 11/11/2018 - 9:33am



GRAPHIC SCALE



SITE DATA (TRACT A-2)

ZONING: SU-1
LOT AREA: 162,535.22 sq.ft. (3.73 acres)
SETBACKS: FRONT = 5' MIN OR 11' FROM JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK.
SIDE (CORNER) = 5' MIN OR 11' MIN FROM JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK.
MAXIMUM BLDG HEIGHT: SHALL NOT EXCEED 26 FEET IN HEIGHT WITHIN 85' OF A LOT ZONED FOR HOUSES.
MINIMUM BLDG SETBACK: MINIMUM BUILDING SETBACK PER THE R-2 ZONE
MAXIMUM F.A.R.: NO MAXIMUM
PROPOSED F.A.R.: 0.16 (INCLUDING RESIDENTIAL HOUSE)
PARKING REQUIRED: PER ZONING CODE SECTION 14-16-3-1
LANDSCAPE AREA REQUIRED: PER CURRENT ZONING CODE REQUIREMENTS 14-16-3-10

GENERAL DESIGN STANDARDS

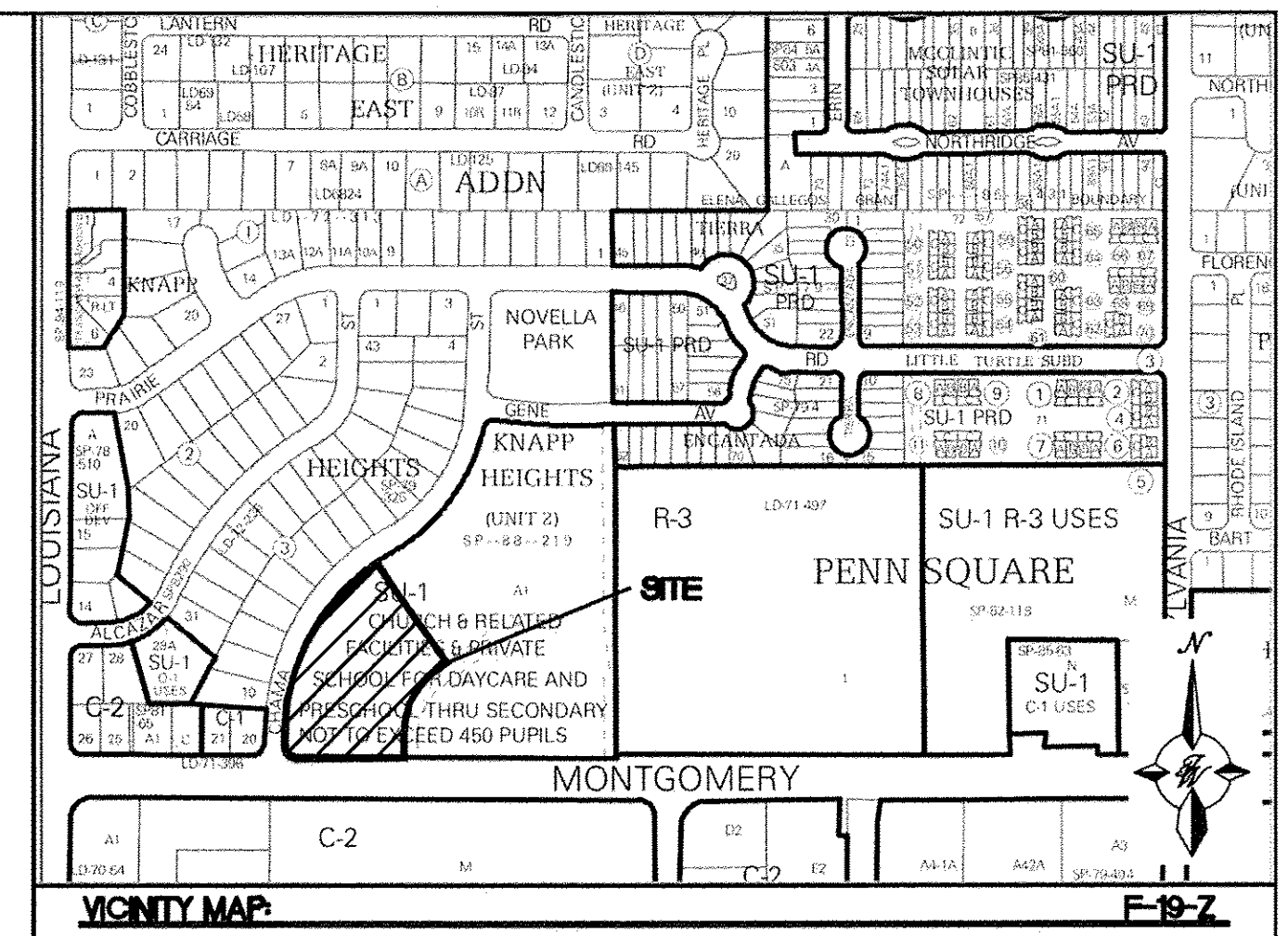
- SITE DATA, LIGHTING AND SIGNS:
- DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
 - NEW LIGHTING SHALL BE FULL CUT OFF FIXTURES (i.e. SHOE BOX) TO MINIMIZE FUGITIVE LIGHT.
 - 15' HIGH LIGHTING POLES SHALL BE PLACED ALONG MAIN PEDESTRIAN WALKWAY AREAS AND 20' HIGH LIGHTING ELSEWHERE WITHIN THE PARKING AREA. MAX. 16' POLE HEIGHT IF WITHIN 100' OF RESIDENTIAL ZONE. FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
 - THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON BUILDING SIGNAGE.
 - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINE OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 - ALL SIGNS SHALL ADHERE TO THE SIGNAGE REGULATIONS.
 - PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING ALL OUTDOOR PUBLIC SPACES.
 - THIS DEVELOPMENT SHALL FOLLOW SUSTAINABILITY PRINCIPLES WHERE APPROPRIATE TO INCLUDE BUT NOT BE LIMITED TO THE USE OF BIOSWALES, PERMIABLE PAVEMENT, LED LIGHTING AND SOLAR PANELS, SHOULD AN AGREEMENT BE WORKED OUT WITH PNM.
 - DEVELOPMENT SHALL COMPLY WITH THE GENERAL REGULATIONS OF THE CITY OF ALBUQUERQUE ZONING CODE.

NOTES

- CROSS PARKING AND INGRESS AND EGRESS AGREEMENT IS PROPOSED BETWEEN BOTH OWNERS OF THE SUBDIVIDED TRACKS.

LANDSCAPING

- ALL LANDSCAPING SHALL BE IN CONFORMANCE WITH THE LANDSCAPING REQUIREMENTS IN THE CITY OF ALBUQUERQUE ZONING CODE, STREET TREE ORDINANCE, POLLEN ORDINANCE, AND WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.



LEGAL DESCRIPTION

TRACTS A-1-A AND A-1-B KNAPP HEIGHTS UNIT 2

LEGEND

- BOUNDARY LINE
--- EASEMENT
← PROPOSED VEHICULAR & PEDESTRIAN ACCESS POINTS

PROJECT NUMBER:

APPLICATION NUMBER:

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
ABCWUA	Date
Parks & Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary

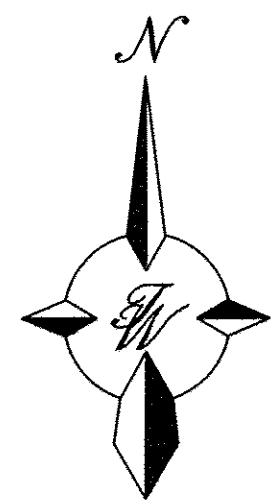
INDEX TO DRAWINGS

- C1. SITE PLAN FOR SUBDIVISION
C2. SITE PLAN FOR BUILDING PERMIT
C3. GRADING PLAN
C4. DEVELOPED DRAINAGE PLAN
C5. UTILITY PLAN
C6. DETAIL SHEET
C7. DETAIL SHEET
B1. BUILDING ELEVATIONS
LS-01. LANDSCAPING PLAN

	MONTGOMERY CHURCH OF CHRIST 7201 MONTGOMERY BLVD. NE	DRAWN BY BF
	SITE PLAN FOR SUBDIVISION	DATE 12/11/18
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2016037_SPSB
RONALD R. BOHANNON P.E. #7868		SHEET # C1
		JOB # 2016037



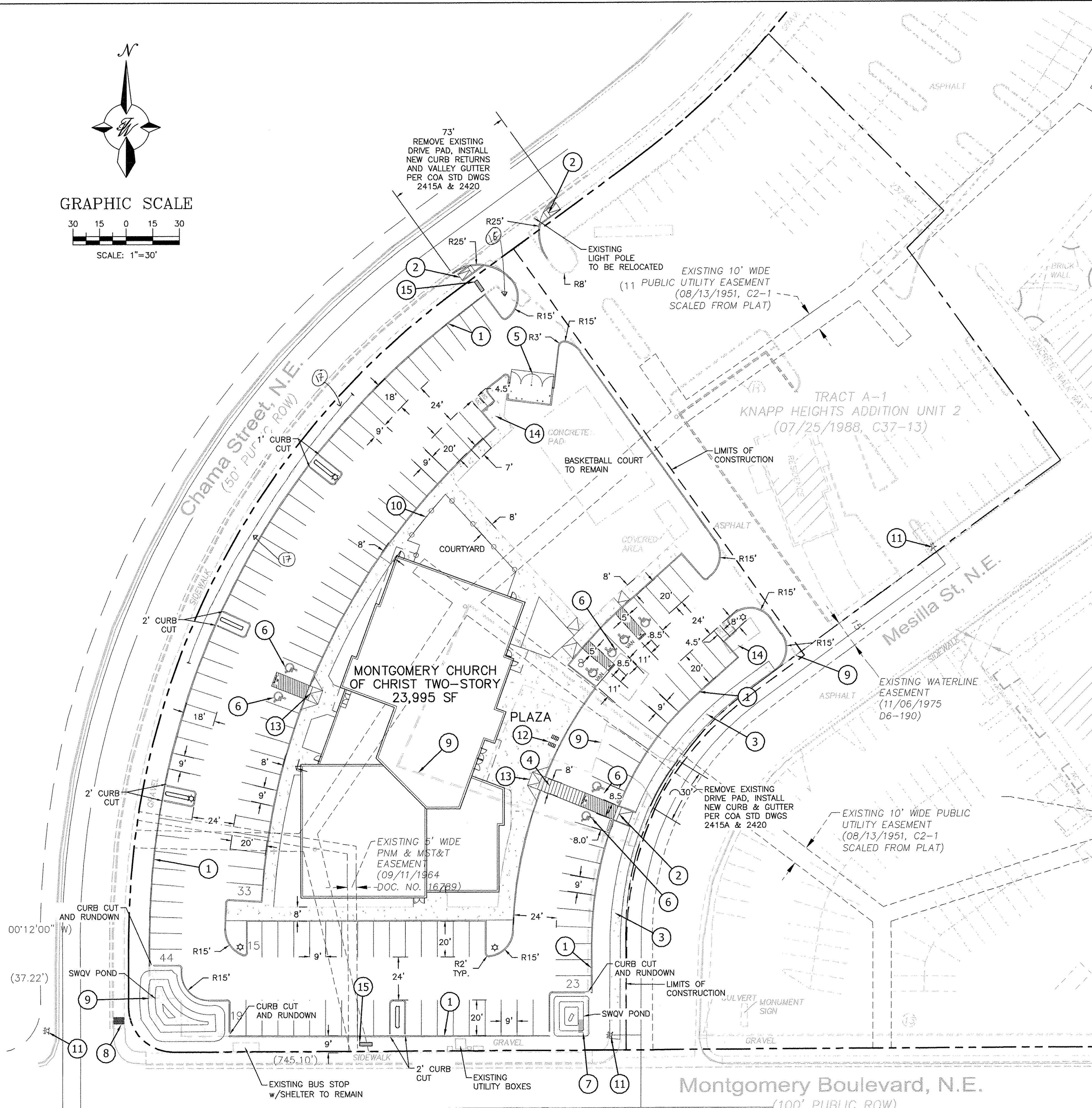
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GRAPHIC SCALE



SCALE: 1"=30'



LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	LIMITS OF CONSTRUCTION
	BUILDING
	SIDEWALK
	RETAINING WALL
	STREET LIGHTS
	LANE
	STRIPING
	FENCE
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING SIDEWALK
	EXISTING LANE
	EXISTING STRIPING

SITE DATA

PROPOSED USAGE:	CHURCH RELATED USES
EXISTING LOT AREA:	446,653.68 SF (10.25 Ac)
SITE PLAN LOT AREA:	162,535.22 sq.ft. (3.73 acres)

BUILDING AREA:	23,955 sq.ft., MAX HEIGHT 30'
SEATING CAPACITY:	350 SEATS.

PARKING REQUIRED:	88 (350 SEATS/4)
PARKING PROVIDED:	142 SPACES

HC PARKING REQUIRED:	8 SPACES
HC PARKING PROVIDED:	8 SPACES
	2 SPACE VAN ACCESSIBLE

BICYCLE PARKING REQUIRED:	8 SPACES
BICYCLE PARKING PROVIDED:	8 SPACES

MOTORCYCLE PARKING REQUIRED:	4 SPACES
MOTORCYCLE PARKING PROVIDED:	4 SPACES

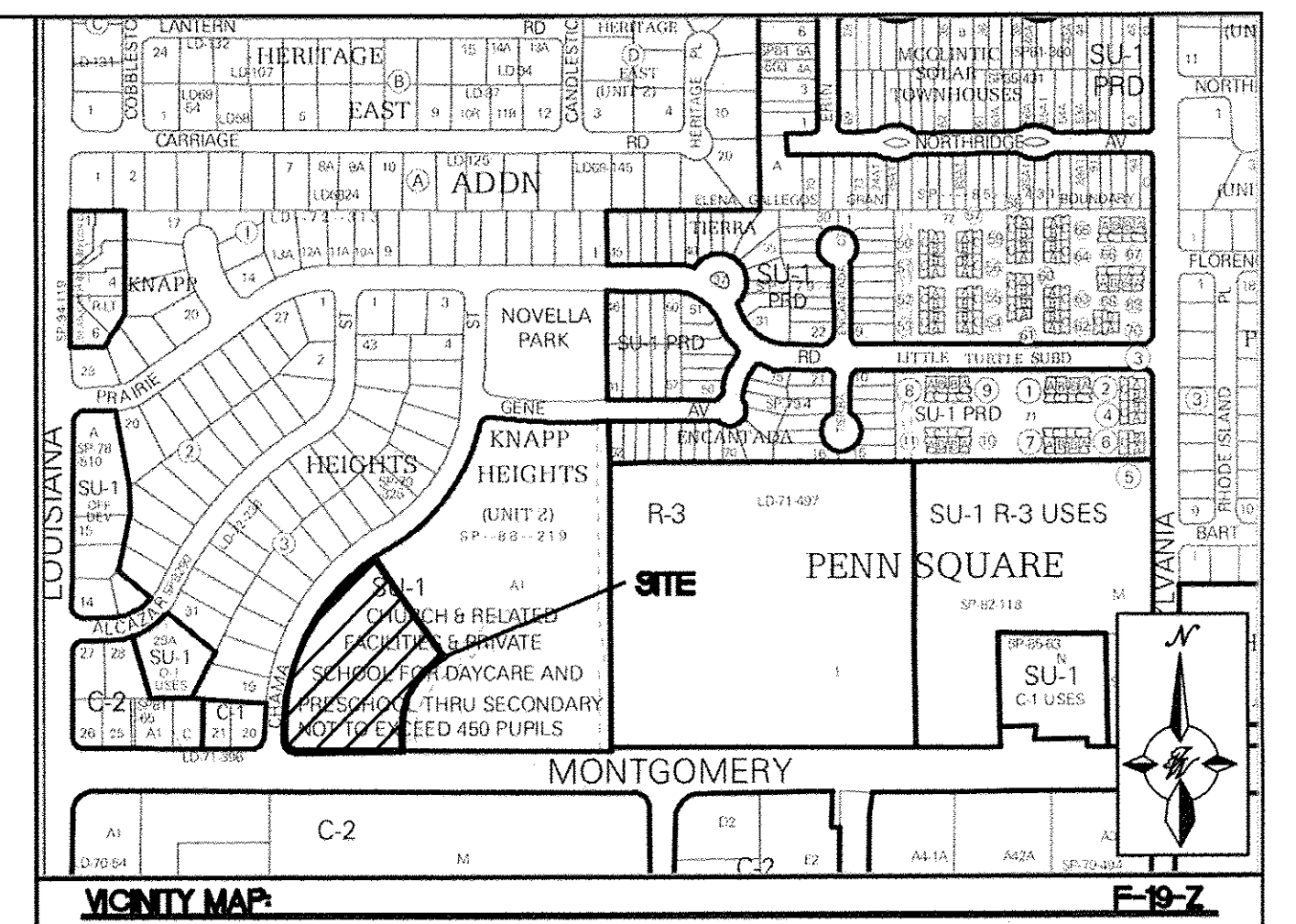
LANDSCAPE AREA REQUIRED:	4,426 SF
LANDSCAPE AREA PROVIDED:	12,083 SF

KEYED NOTES:

- 1 CURB & GUTTER (SEE DETAIL SHEET C6)
- 2 STRAIGHT HC RAMP (SEE DETAIL SHEET C6)
- 3 6 FT. SIDEWALK
- 4 6 FT. PEDESTRIAN CROSSING (SEE DETAIL SHEET C6)
- 5 DOUBLE DUMPSTER ENCLOSURE (SEE DETAIL SHEET C7)
- 6 ACCESSIBLE PARKING SPACE TYPICAL. SEE DETAIL SHEET C7 FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN"-INDICATES VAN ACCESSIBLE SPACE).
- 7 EXISTING 7'X4' READER SIGN TO REMAIN
- 8 2x SIDEWALK CULVERTS (SO19) PER COA STD. DWG 2236
- 9 EXISTING CURB, CONCRETE PAD, SHADE CANOPY, WALL & BUILDING TO BE REMOVED.
- 10 COURTYARD FENCE (SEE ARCH. PLANS)
- 11 EXISTING FIRE HYDRANT
- 12 BICYCLE RACK (SEE DETAIL SHEET C7)
- 13 FLAIED CURB HC RAMP (SEE DETAIL SHEET C7)
- 14 MOTORCYCLE PARKING WITH SIGN (SEE DETAIL SHEET C7)
- 15 PROPOSED MONUMENT SIGN (SEE SHEET B1)



MONTGOMERY
CHURCH OF CHRIST



LEGAL DESCRIPTION:

NOTES:

1. CROSS PARKING AND INGRESS AND EGRESS AGREEMENT IS PROPOSED BETWEEN BOTH OWNERS OF THE SUBDIVIDED TRACTS.
2. SITE LIGHTING SHALL BE RESTRICTED TO 16 FEET IN HEIGHT WITHIN 100 FEET OF RESIDENTIAL ZONES.

PROJECT NUMBER:

APPLICATION NUMBER:

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an infrastructure List required? () Yes () No. If Yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
ABCWUA	Date
Parks & Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

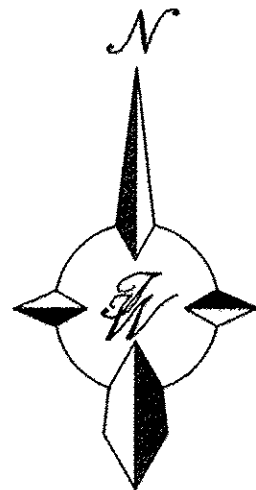
* Environmental Health, if necessary

- 16 Northwest curb at driveway entrance will be modified for refuse vehicle access.
- 17 2' Garden wall. Material to match proposed building material.

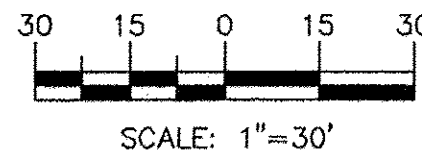
	MONTGOMERY CHURCH OF CHRIST 7201 MONTGOMERY BLVD. NE	DRAWN BY BF
	SITE PLAN FOR BUILDING PERMIT	DATE 12/11/18
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2016037_SPB
		SHEET # C2

JOB #
2016037

A.G.R.S. MONUMENT "DECKER"
STANDARD A.G.R.S. BRASS DISC
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,503,376.247
E=1,544,026.289
PUBLISHED EL=5293.812 (NAVD 1988)
GROUND TO GRID FACTOR=0.999661298
DELTA ALPHA ANGLE=-0°11'07.87"



GRAPHIC SCALE



Chama Street, N.E.
(50' PUBLIC ROW)

TRACT A-1
KNAPP HEIGHTS ADDITION UNIT 2
(07/25/1988, C37-13)

Mesilla St. N.E.

MONTGOMERY CHURCH
OF CHRIST TWO-STORY
23,995 SF

PLAZA

Montgomery Boulevard, N.E.
(100' PUBLIC ROW)

LEGEND

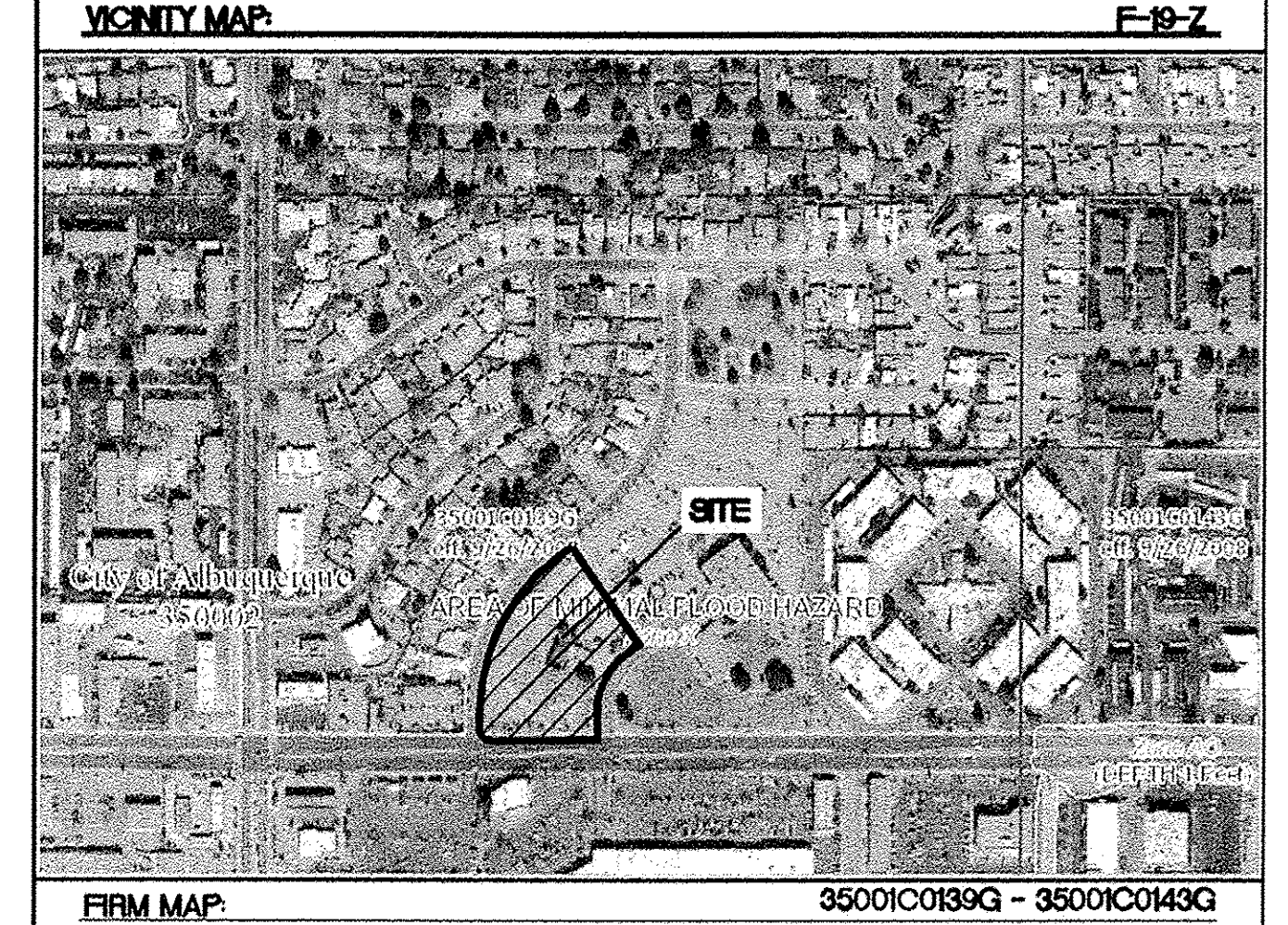
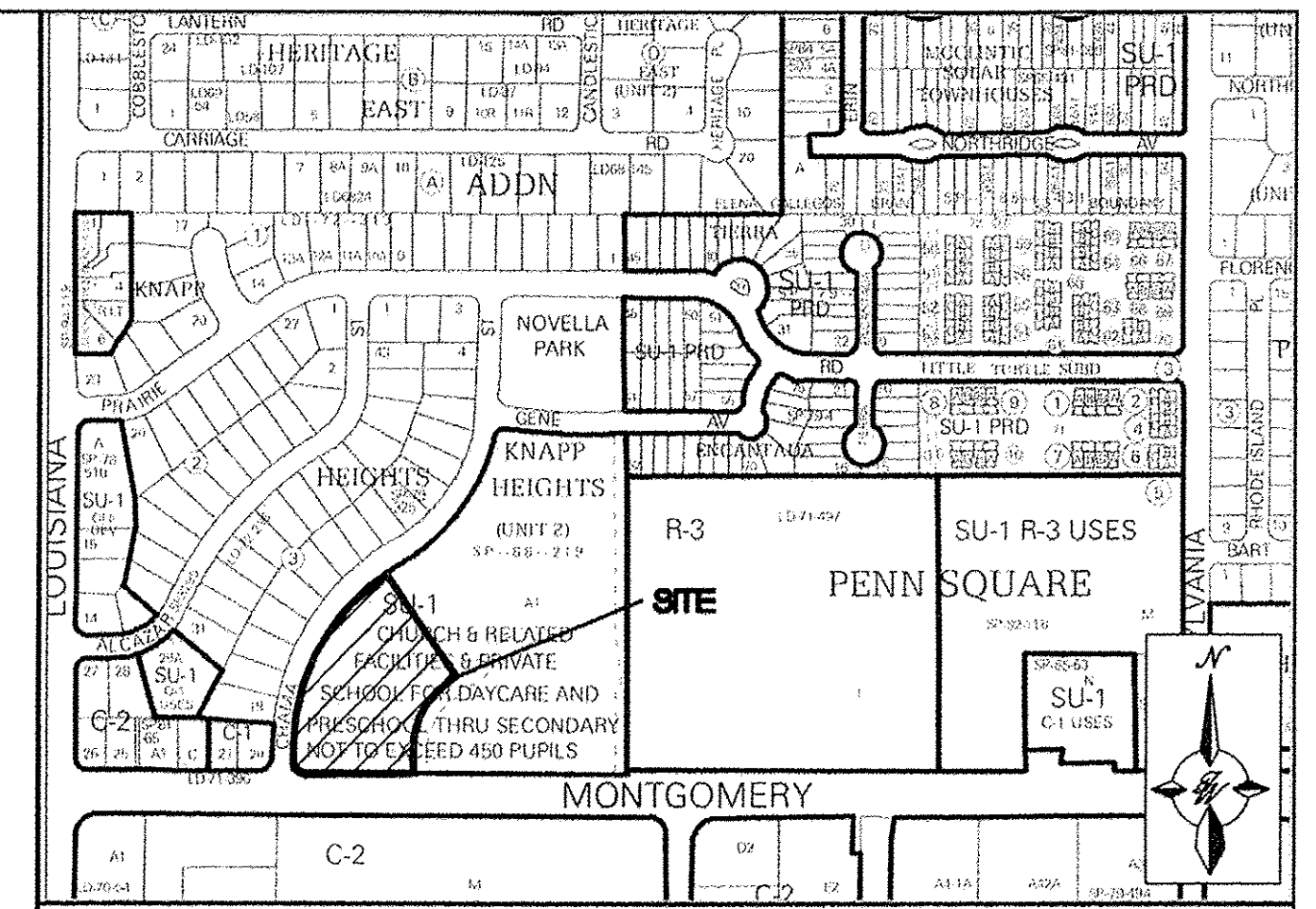
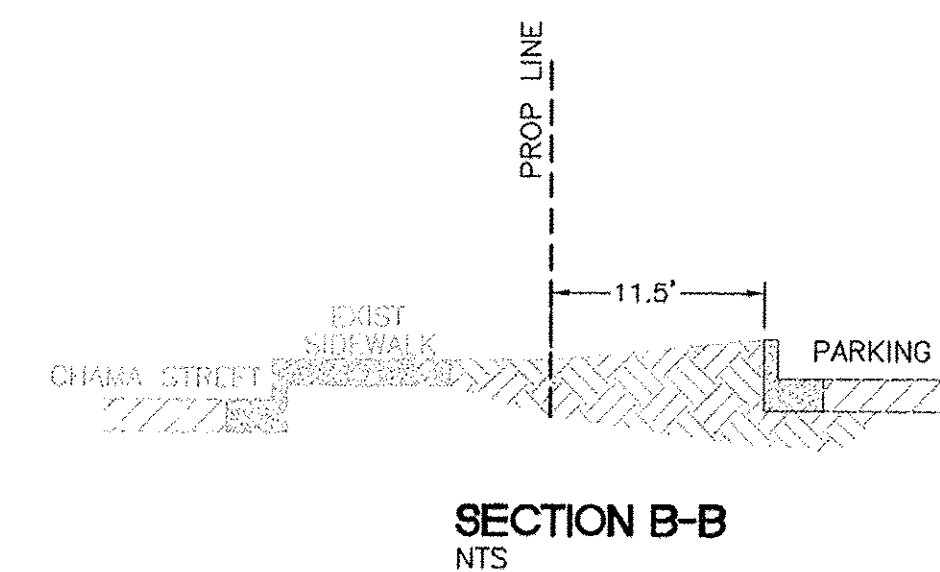
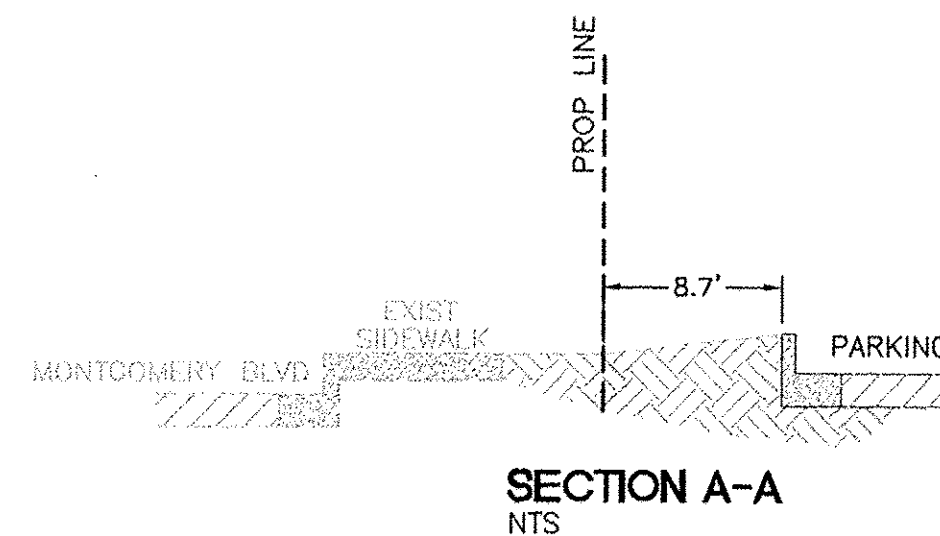
	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	LIMITS OF CONSTRUCTION
	BUILDING
	SIDEWALK
	RETAINING WALL
	CONTOUR MAJOR
	CONTOUR MINOR
	SPOT ELEVATION
	FLOW ARROW
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING CONTOUR MAJOR
	EXISTING CONTOUR MINOR
	EXISTING SPOT ELEVATION

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" [OR (505) 280-1990] FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL
5. NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
6. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
7. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
8. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
9. CONTRACTOR MUST CONTACT JASON RODRIGUEZ AT 235-8016 AND CONSTRUCTION COORDINATION AT 924-3416 TO SCHEDULE AN INSPECTION.

EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



LEGAL DESCRIPTION

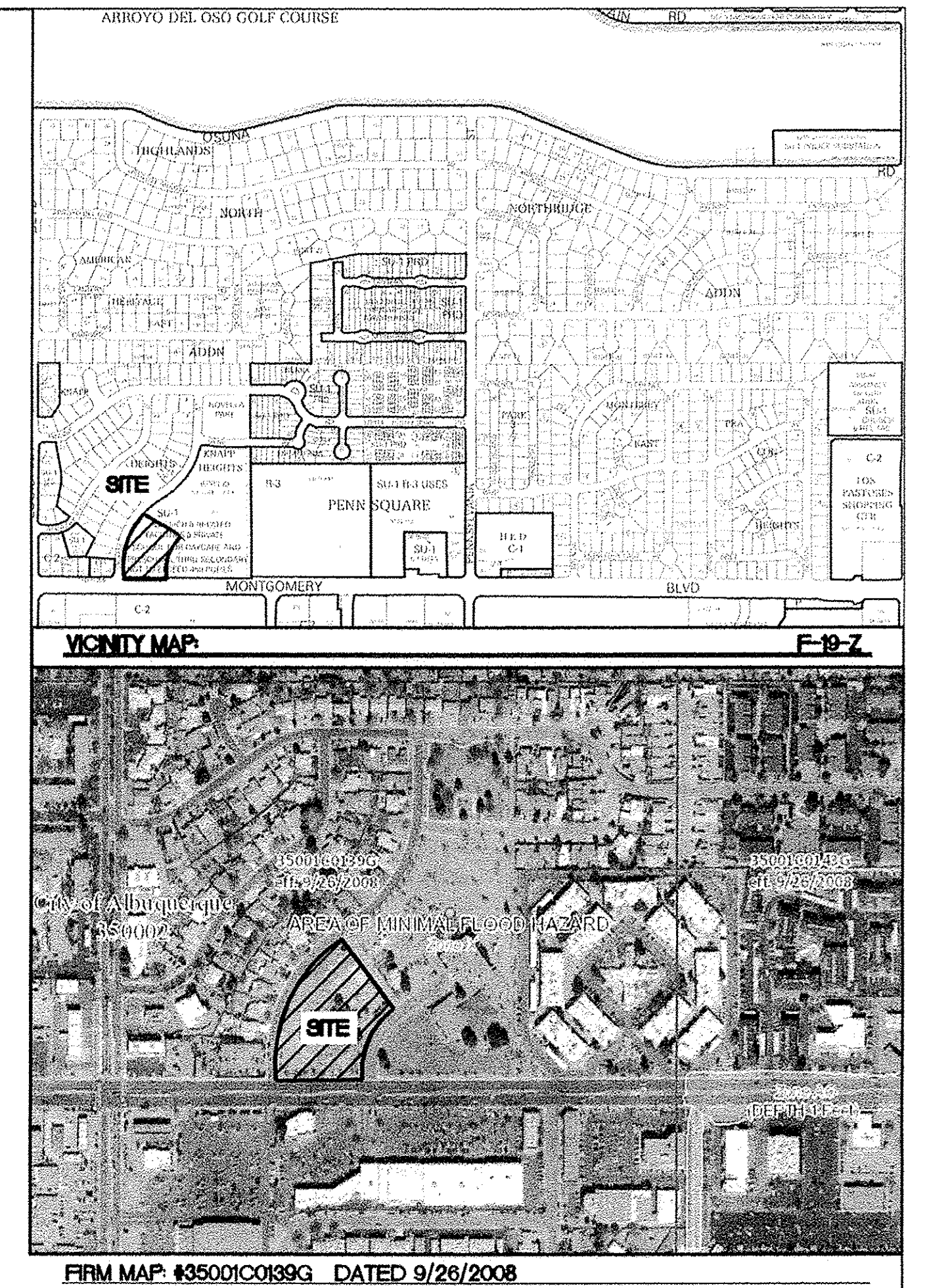
A-1-B KNAPP HEIGHTS UNIT 2

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

	ENGINEER'S SEAL	MONTGOMERY CHURCH OF CHRIST	DRAWN BY
		7201 MONTGOMERY BLVD. NE	BF
		GRADING PLAN	DATE
			12/7/18
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2016037_GRB	SHEET #
			C3
			JOB #
			2016037





LEGAL DESCRIPTION:

A-1-B KNAPP HEIGHTS UNIT 2

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- RETAINING WALL
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- DRAINAGE BASIN BOUNDARY
- FLOW DIRECTION

Basin Descriptions											100-Year, 6-Hr			10-Year, 6-Hr			Water Quality Volume		
Basin ID	Area (sf)	Area (acres)	Area (sq miles)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs	FF Pond Required CF	FF Pond Provided CF
				%	(acres)	%	(acres)	%	(acres)	%	(acres)								
1	31,711	0.728	0.00114	0%	0.000	0%	0.000	12%	0.087	88%	0.641	2.232	0.135	3.52	1.394	0.085	2.35	790	
2	43,626	1.002	0.00156	0%	0.000	0%	0.000	27%	0.270	73%	0.731	2.071	0.173	4.60	1.262	0.105	3.02	901	
3	33,021	0.758	0.00118	0%	0.000	0%	0.000	22%	0.167	78%	0.591	2.125	0.134	3.54	1.306	0.083	2.34	729	2,595
Total	108,358	2.488	0.00389	0.000		0.000	0.000	0.525		1.963		0.442	11.66		0.277	7.70		2,420	2,595

Equations:

Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d / (\text{Total Area})$

Volume = Weighted E * Total Area

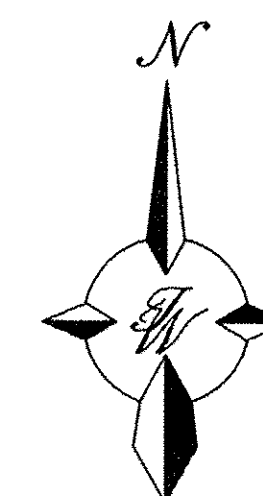
Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Excess Precipitation, E (in.)			
Zone 3	100-Year	10-Year	
Ea	0.66	0.19	
Eb	0.92	0.36	
Ec	1.29	0.62	
Ed	2.36	1.50	

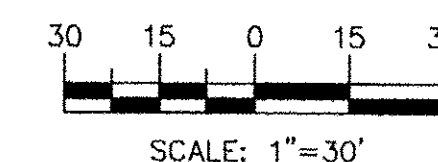
Peak Discharge (cfs/acre)			
Zone 3	100-Year	10-Year	
Qa	1.87	0.58	
Qb	2.6	1.19	
Qc	3.45	2.00	
Qd	5.02	3.39	



Water Quality Volume

Total Impervious Area = 85,509 SF
Retention depth = $0.44" - 0.1" = 0.34" = 0.0283 \text{ FT}$
Retention Volume = $(\text{Area} \times 0.0283) = 2,420 \text{ CF}$



GRAPHIC SCALE



ENGINEER'S SEAL	MONTGOMERY CHURCH OF CHRIST	DRAWN BY BF
	7201 MONTGOMERY BLVD. NE	DATE 12/7/18
	DEVELOPED DRAINAGE PLAN	2018037—DRAINAGE DEVELOPED
	 <i>TERRA WEST, LLC</i>	SHEET # C4
	5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2018037
RONALD R. BOHANNAN P.E. #7868		



-

NOTE9:

DOMESTIC SECTION

DOME SPACING

PAVEMENT NOTES

- NOTE:

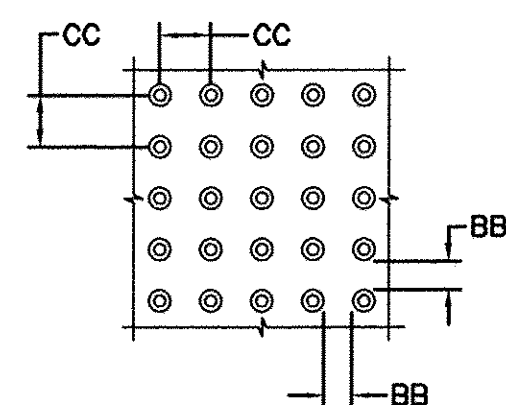
TRENCHING

TRENCHING
ALL TRENCHING SHALL BE DONE IN STRICT ACCORDANCE WITH OSHA-2226.



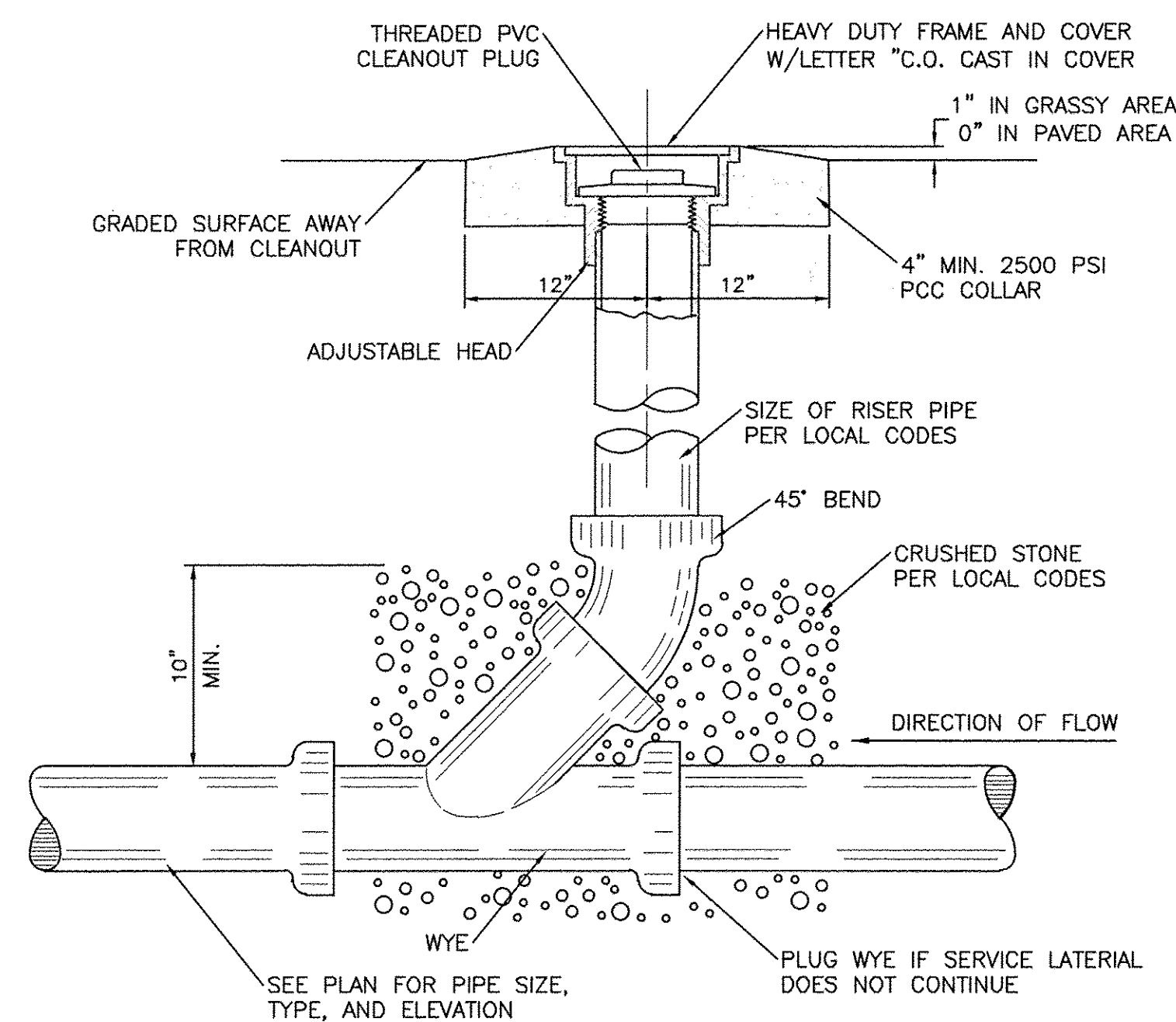
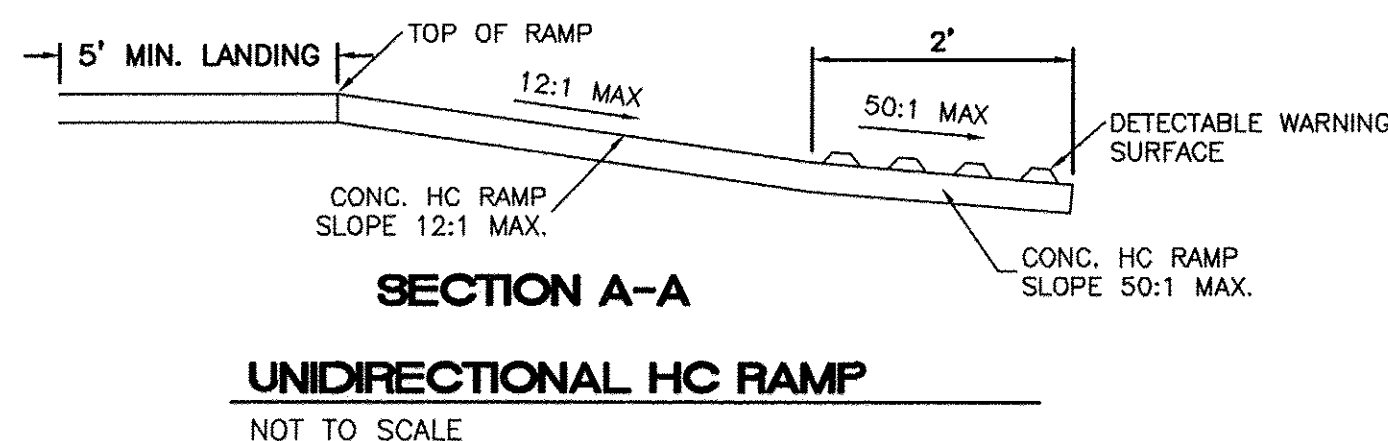
DOME SECTION

BD - BASE DIAMETER 0.9" MIN
TD - TOP DIAMETER 50% OF BD MIN TO
65% OF BD MAX



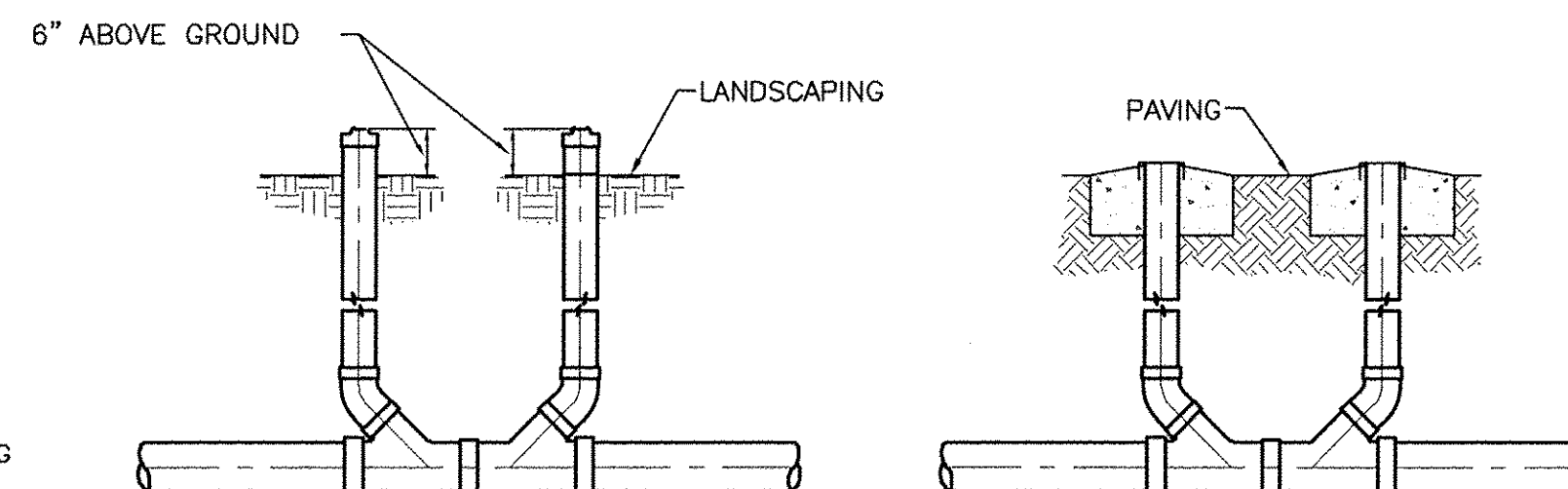
DOME SPACING

CC - CENTER TO CENTER SPACING 2.35"
BB - BASE TO BASE SPACING 1.48" MIN



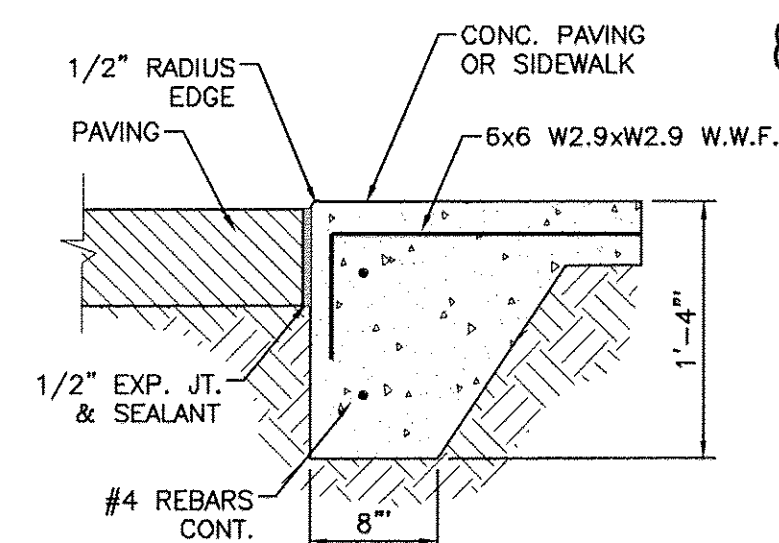
SANITARY SEWER CLEAN-OUT

NTS



SANITARY SEWER DOUBLE CLEAN-OUTS

NTS



ZERO CURB

NTS

END SECTION

PLAN VIEW

NOTES:



1. NO EXPANSION JOINT WILL BE REQUIRED EXCEPT AT THE END OF CURB RETURNS. (POINT OF TANGENCY WITH STRAIGHT LINE).
2. CONTRACTION JOINTS (1/2" INCH MIN.) MUST BE SCORD EVERY 10 FEET IN CURB AND GUTTER.
3. ALL EXPANSION JOINTS WILL BE OF PREFORMED BITUMINOUS FIBER 1/2" INCH THICK.
4. CONCRETE: CLASS "A" 3000 PSI.
5. EXPANSION JOINTS REQUIRED AT 5' O.C. WHEN FORMING FOR CURBS.
6. THIS DETAIL APPLIES TO PRIVATE CURB WORK ONLY.

STANDARD 6" CURB & GUTTER

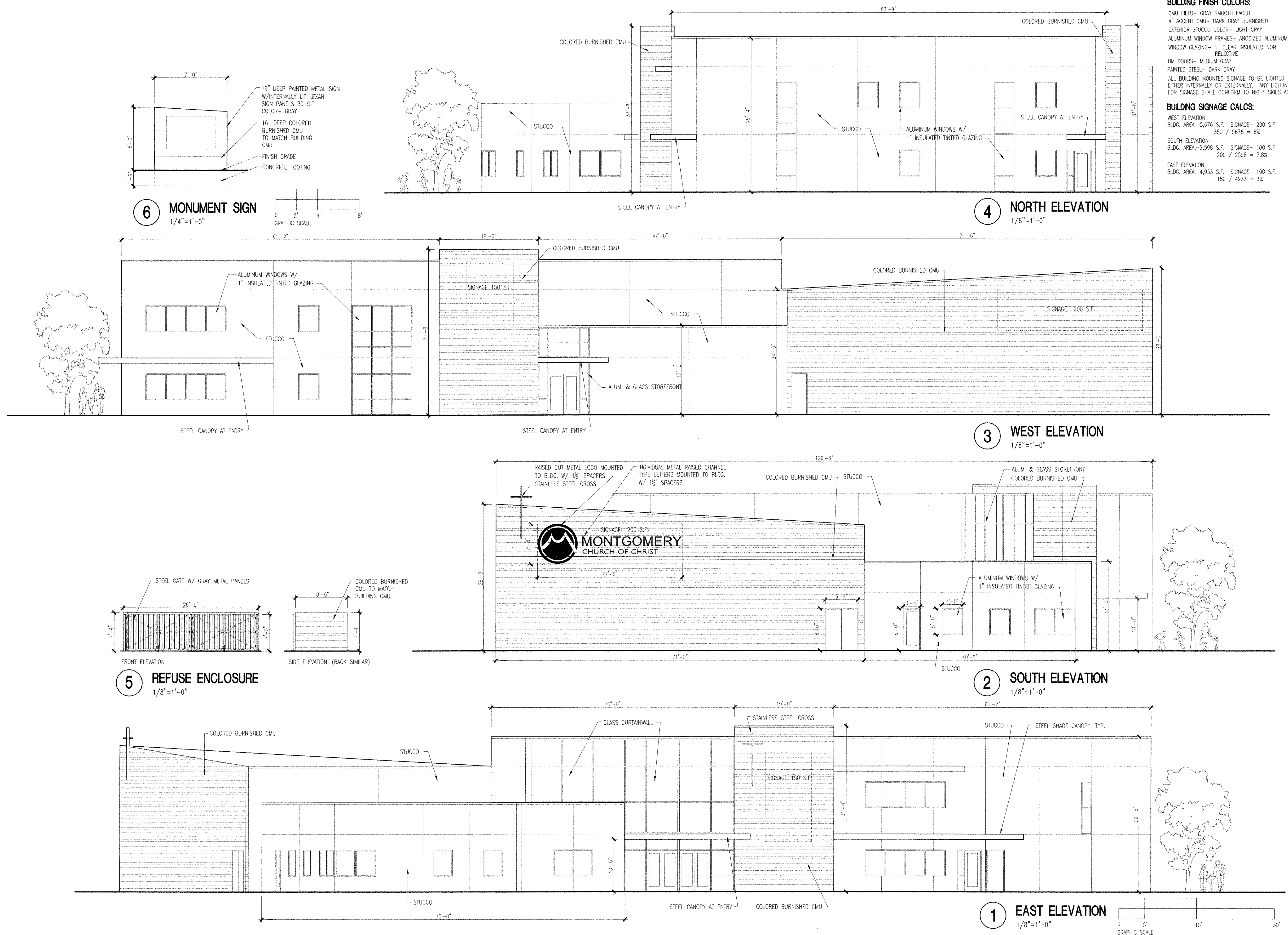
DETAIL



MONTGOMERY
CHURCH OF CHRIST

 <p>ENGINEER'S SEAL</p> <p>RONALD R. BOHANNAN P.E., #7868</p>	<p>MONTGOMERY CHURCH OF CHRIST</p> <p>7201 MONTGOMERY BLVD. NE</p>		<p>DRAWN BY BF</p>
	<p>CONSTRUCTION DETAILS</p> <p> TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com</p>		<p>DATE 12/11/18</p>
			<p>2016037_DTB</p>
			<p>SHEET # C6</p> <p>JOB # 2016037</p>

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T A T E F I S H B U R N
A R C H I T E C T

ARCHITECT SEAL

ENGINEER SEAL

PROJECT

NEW WORSHIP FACILITY
MONTGOMERY CHURCH OF CHRIST
7201 MONTGOMERY, NE
ALBUQUERQUE, NEW MEXICO

REVISIONS

DATE MARCH 1, 2018

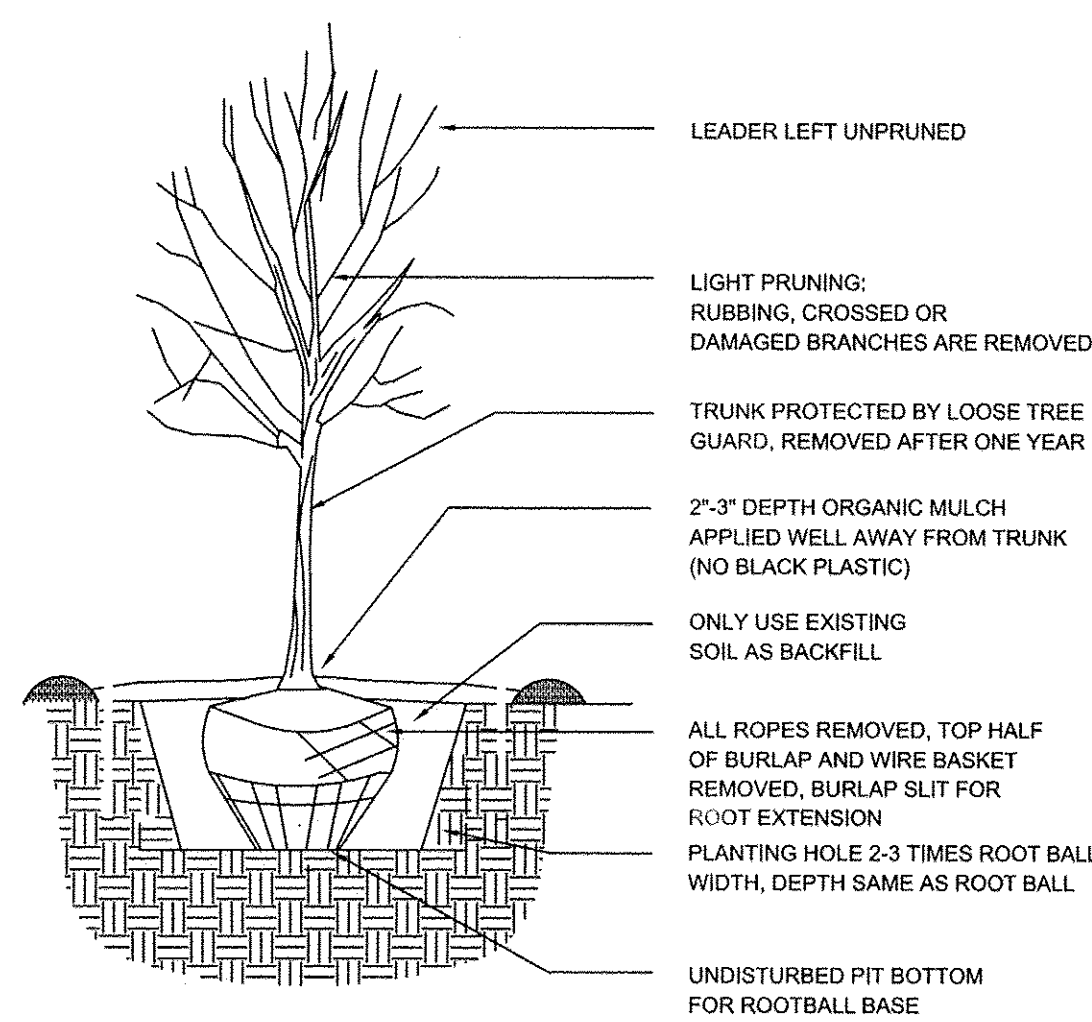
SCALE
1/8"=1'-0"
OR AS NOTED

DRAWING NAME

CONCEPTUAL
BLDG. ELEVATIONS

SHEET NUMBER

B1



TREE PLANTING DETAIL

SITE DATA

GROSS LOT AREA	110,110 SF
LESS BUILDING(S)	17,102 SF
NET LOT AREA	93,008 SF

REQUIRED LANDSCAPE	13,951 SF
15% OF NET LOT AREA	23,450 SF
PROPOSED LANDSCAPE	25 %
PERCENT OF NET LOT AREA	

HIGH WATER USE TURF	SF
MAX. 20% OF LANDSCAPE AREA	SF
PROPOSED HIGH WATER USE TURF	%
PERCENT OF LANDSCAPE AREA	

REQUIRED STREET TREES	26
1 PER 30 L.F. OF STREET FRONTAGE	
EXISTING STREET TREES	19
PROVIDED STREET TREES	26

REQUIRED PARKING LOT TREES	
1 PER 10 SPACES	14
134 SPACES/10	
PROVIDED PARKING LOT TREES (Phase 1)	14

TOTAL TREE REQUIRED/PROVIDED	40/40
(2" cal or 6" ht.)	

REQUIRED LANDSCAPE COVERAGE	
75% LIVE VEGETATIVE MATERIAL	
(23,450 SF PROPOSED LANDSCAPE X 75%)	17,587 SF MIN.
PROVIDED GROUND COVER COVERAGE	15,056 SF
PROVIDED NATIVE SEED COVERAGE	5,150 SF
PROVIDED GROUND COVER COVERAGE	20,206 SF
PERCENT GROUND COVER COVERAGE	
OF REQUIRED LANDSCAPE AREAS	86%

NOTE

MAINTENANCE OF LANDSCAPE (ONSITE AND WITHIN ROW) TO BE MAINTAINED BY PROPERTY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1. PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10 (SEE CALCULATIONS PROVIDED ABOVE)

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 2"-3" DEPTH

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.

NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.

STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-6-2.

LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-3-10.

LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA.

IRRIGATION SYSTEM: AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WILL BE UTILIZED TO PROVIDE EVEN AND ADEQUATE WATER LEVELS TO ALL PLANT MATERIAL. WATER USE SHALL BE DONE IN SUCH A MANNER AS TO CONSERVE ITS USE AND PREVENT ANY AND ALL RUNOFF FROM LANDSCAPE MATERIALS. IRRIGATION SHALL BE RESTRICTED TO EARLY MORNING HOURS TO CONSERVE THIS LIMITED RESOURCE.

STREETSCAPE LANDSCAPING SHALL CONSIST PRIMARILY OF SHRUBS AND DECIDUOUS TREES IN A SETBACK AREA BETWEEN THE RIGHT-OF-WAY OF THE STREET AND THE FACE OF THE CURB OF AN ADJACENT PARKING AREA. CLEAR-SIGHT TRIANGLE REQUIREMENTS MUST BE MET.

TREES IN PROXIMITY OF DUMPSTER TO BE MAINTAINED TO ALLOW FOR TRUCK ACCESS WITHOUT DAMAGE TO TRUCK OR TREES

IRRIGATION NOTE

DRIP SYSTEM RUN CYCLES:
ESTABLISHMENT AND SUMMER:
1 HOUR/4 DAYS A WEEK
SPRING:
1 HOUR/2-3 DAYS A WEEK
FALL:
1 HOUR/2-3 DAYS A WEEK
WINTER:
1 HOUR/2 DAYS PER MONTH

EXISTING PLANT LEGEND

Qty.	Symbol	Scientific Name	Common Name	Installed Size	Mature Height/Spread	Landscape Coverage	Water Use	Drip Emitters
20		Modesto Ash		50 sf=1000 sf				

PLANT LEGEND

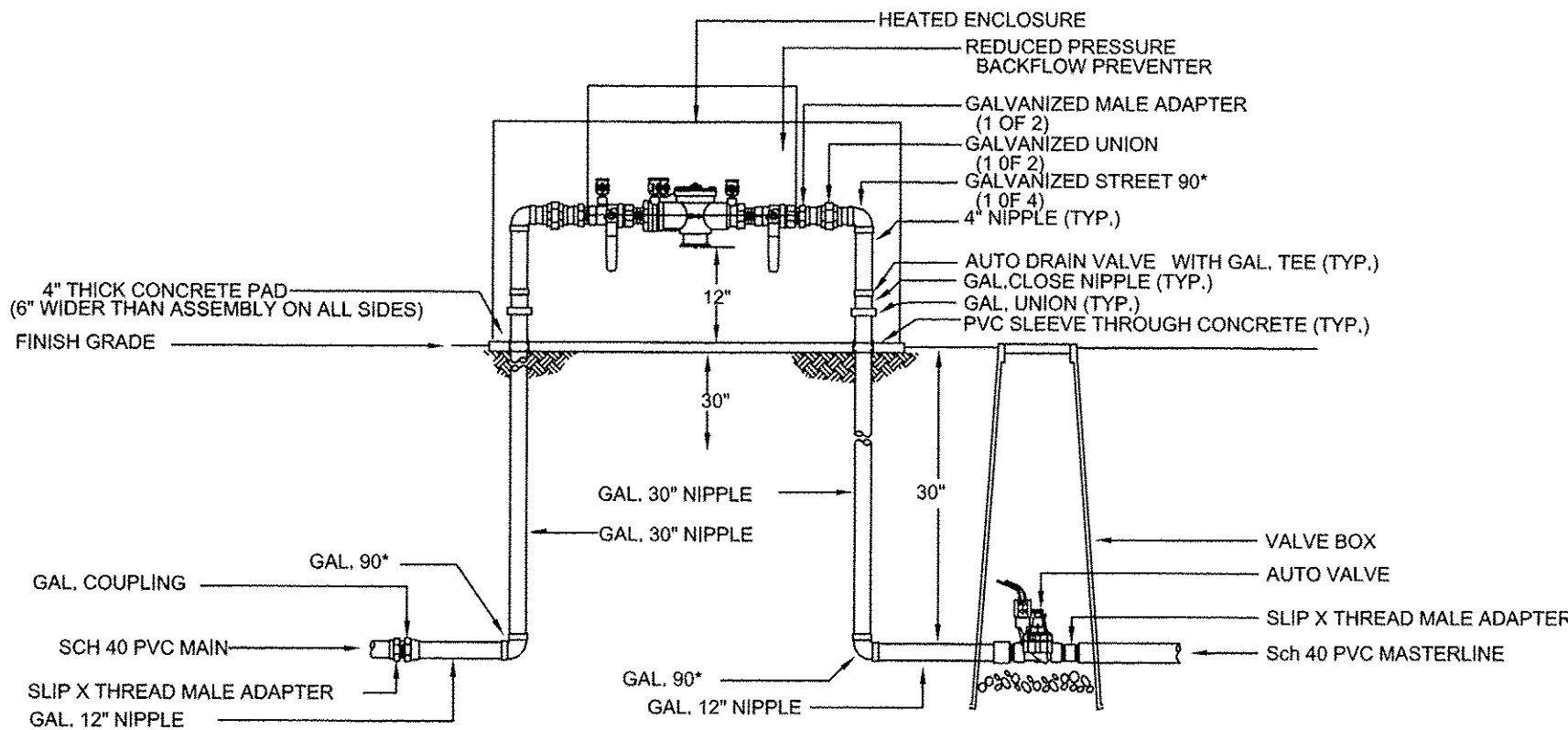
Qty.	Symbol	Scientific Name	Common Name	Installed Size	Mature Height/Spread	Landscape Coverage	Water Use	Drip Emitters
7		Fraxinus	Autumn Purple Ash	2" B&B	40'/40'	50 sf=350 sf	Medium	+6-2 gph
3		Ulmus	Lacebark Elm	2" B&B	50'/20'	50 sf=150 sf	Medium	6-2 gph
8		Pistacia chinensis	Chinese Pistache	2" B&B	60'/60'	50 sf=400 sf	Medium	+6-2 gph

Qty.	Symbol	Scientific Name	Common Name	Installed Size	Mature Height/Spread	Landscape Coverage	Water Use	Drip Emitters
15		Buddleia davidii	Butterfly Bush	1-Gal	6'/6'	36 sf=540 sf	Medium	2-2 gph
21		Raphiolepis	Indian Hawthorn	1-Gal	4'/4'	15 sf=315 sf	Low+	2-2 gph
31		Vauquelinia	Rosewood	5-Gal	10'/10'	100 sf=3100 sf	Medium	2-2 gph
8		Rhus aromatica	Gro Low Sumac	5-Gal	2'/6'	36 sf=288 sf	Low +	2-2 gph
45		Ericameria laricifolia 'Aguilre'	Turpentine Bush	5-Gal	3'/4'	25 sf=1125 sf	Low	2-1 gph
6		Hesperaloe parviflora	Red Yucca	5-Gal	3'/4'	20 sf=120 sf	Low	2-1 gph
31		Juniperus sabinia 'Buffalo'	Buffalo Juniper (female)	5-Gal	2'/6'	35 sf=1085 sf	Low +	2-2 gph
0		Perovskia atriplicifolia	Russian Sage	1-Gal	5'/5'	30 sf=0 sf	Medium	2-2 gph
9		Lagerstroemia	Crape Myrtle	5-Gal	15'/10'	100 sf=900 sf	Medium+	2-2 gph
27		Nepeta	Catmint	1-Gal	1'/3'	6 sf=162 sf	Medium	2-2 gph
10		Pinus mugo	Mugho Pine	5-Gal	4'/4'	30 sf=300 sf	Medium	2-2 gph
7		Caesalpinia	Bird of Paradise	5-Gal	10'/10'	100 sf=700 sf	Medium	2-2 gph
0		Rhus trilobata	3 Leaf Sumac	5-Gal	2'/6'	30 sf=0 sf	Low +	2-2 gph
19		Dasyliion	Sotol	5-Gal	4'/4'	64 sf=1216 sf	Low	2-1 gph
51		Yucca pendula	Softblade Yucca	5-Gal	4'/4'	64 sf=3264 sf	Low +	2-1 gph
3		Potentilla fruticosa	Shrubby Cinquefoil	5-Gal	3'/3'	10 sf=30 sf	Medium+	2-2 gph
1		Viburnum	Burkwood Viburnum	5-Gal	6'/6'	20 sf=20 sf	Medium+	2-2 gph
0		Ilex	Burford Holly	5-Gal	4'/4'	16 sf=0 sf	Medium+	2-1 gph
3		Nandina	Heavenly Bamboo	5-Gal	3'/3'	20 sf=60 sf	Medium+	2-2 gph

Qty.	Symbol	Scientific Name	Common Name	Installed Size	Mature Height/Spread	Landscape Coverage	Water Use	Drip Emitters
0		Muhlenbergia	Deer Grass	1-Gal	4'/4'	20 sf=0 sf	Low+	2-2 gph
23		Muhlenbergia	Regal Mist Grass	1-Gal	3'/3'	15 sf=345 sf	Medium	2-2 gph
6		Panicum	Switch Grass	1-Gal	8'/6'	36 sf=216 sf	Medium	2-2 gph
37		Calamagrostis	Karl Foerster Grass	5-Gal	3'/2'	10 sf=370 sf	Medium	2-2 gph
Total Landscape Coverage=15,056 SF								

MATERIALS LEGEND

	7/8" BROWN GRAVEL MULCH
	2" 4" COBBLESTONE
	NATIVE SEED

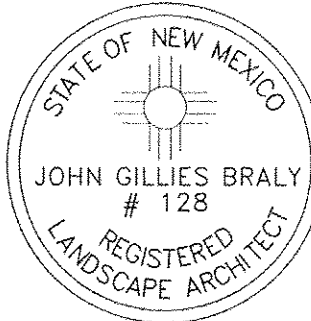


NOTE:
1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.

RP BACKFLOW/MASTER VALVE DETAIL

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LANDSCAPE CONTRACTORS
www.headsuplandscape.com

P O Box 10597
Albuquerque, NM 87184
505.898.9615
505.898.2105 (fax)
design@hulc.com



Date: 2/28/18

Revisions:

▲ 3/29/18

▲ 4/5/18

▲ 12/6/18

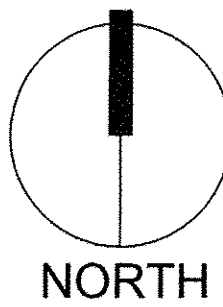
▲

Drawn by: jc

Reviewed by: jb

Montgomery Church
of Christ

Albuquerque, New Mexico



Scale: 1" = 30'

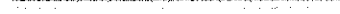










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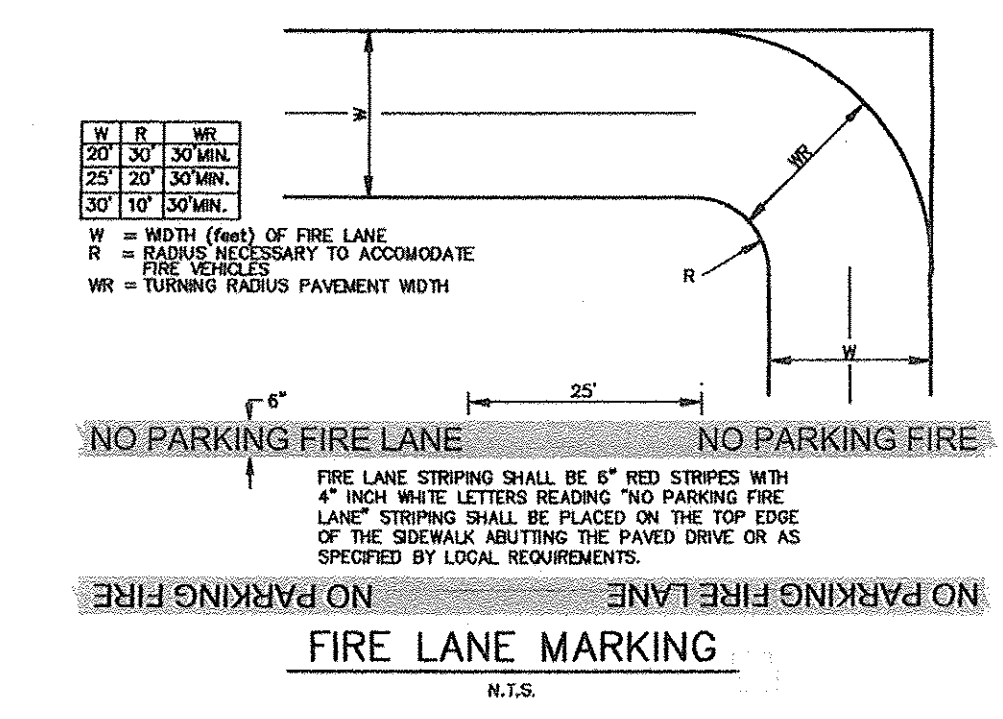
Landscape
Plan

Sheet Number:

LS-01

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	EXISTING CURB & GUTTER
	FIRE ACCESS LANE (ASPHALT)
	FIRE LANE STRIPING (SEE DETAIL THIS SHEET)
	EXISTING FIRE HYDRANT
	SPRINKLER FDC
	POST INDICATOR VALVE

1. NO SLOPE GREATER THAN 10% ALONG APPARATUS ROUTE IS PROPOSED.
2. THE DRIVING SURFACE OF THE FIRE APPARATUS ACCESS ROUTE IS CAPABLE OF SUPPORTING A LOAD OF AT LEAST 75,000 POUNDS.
3. PER 2015 INTERNATIONAL FIRE CODE.



MONTGOMERY CHURCH OF CHRIST
7201 MONTGOMERY BLVD. NE,
ALBUQUERQUE, NM 87109
BUILDING AREA 23,955 SF
CONSTRUCTION TYPE IIB
FIRE SPRINKLER SYSTEM IN BUILDING
2 STORIES (BUILDING HEIGHT 30'-0")

EXISTING 6" WL
NO SECURITY GATE AT ENTRANCE
R25'
R25'
R15'
R15'
PIV
PROPOSED 6" FIRELINE
FIRE LANE STRIPING SEE DETAIL THIS SHEET
24' FIRE ACCESS
6" FIRE LINE RISER ROOM
EXIT
KNOX BOX
PREMISE ID
PROPOSED 6" FDC FIRELINE
R15'
R15'
R15'
R15'
NO SECURITY GATE AT ENTRANCE
EXISTING FIRE HYDRANT FMCA Approved Hydrant
EXISTING 6" WL
FDC (TO BE ACCESSED FROM MESILLA ST.)
FIRE ACCESS STRIPING SEE DETAIL THIS SHEET
FIRE LANE STRIPING SEE DETAIL THIS SHEET
EXIT
24' FIRE ACCESS
EXISTING 6" WL
80'
EXISTING FIRE HYDRANT FMCA Approved Hydrant
EXISTING 36" WL
W

1718-18

HYDRANT AND FIRE ACCESS

ALBUQUERQUE FIRE MARSHAL'S OFFICE

PLANS CHECKING DIVISION

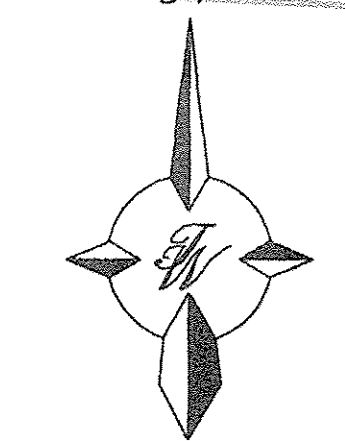
SOFT 23955 CONSTRUCTION TYPE II-B

SPRM 2125 NUMBER OF HYDRANTS 2

APPROVED DISAPPROVED

Rg 1071 4/8/16


RECEIVED APR 11 2016



GRAPHIC SCALE

30 15 0 15 30

SCALE: 1"=30'

ENGINEER'S SEAL	MONTGOMERY CHURCH OF CHRIST	DRAWN BY BF
	MONTGOMERY BLVD. AND CHAMA ST.	DATE 3/13/18
	FIRE ONE PLAN	2016037 FIRE ONE PLAN
4/2/2018	 TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	SHEET # F1
RONALD R. BOHANNAN P.E. #7868		JOB # 2016037