

December 14, 2018

Kym Dicome, Chair
Development Review Board
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87102

Re: Ascension Subdivision - Preliminary Plat, Vacation of Public/Private Easement and Sidewalk Waiver/Deferral (DRB 1010693)

Dear Ms. Dicome:

Enclosed for Development Review Board (DRB) preliminary plat review and comment are copies of the following information:

- Application for Development Review
- Ten (10) copies of each of the Preliminary Plat and Grading Plan
- Ten (10) copies of the Infrastructure List
- Ten (10) copies of the site plan with roadway cross sections (Exhibit A)
- Seven (7) copies of Sidewalk Deferral and Waiver (Exhibit B)
- Seven (7) copies of Vacation Action Exhibit (Exhibit C)
- Three (3) copies of the perimeter wall plan (Exhibit E)
- Certificate of No Effect
- Letter from the Office of Neighborhood Coordination
- Previous Facilitated Meeting dated May 15th, 2018
- DR/WS and TIS forms
- Zone Atlas Map
- Submittal Fees

This preliminary plat is being presented to the Development Review Board for the purpose of obtaining City review and approval. Proposed is a subdivision of Tract 3B-3 of Tracts 3B-1 through 3B-3 a Subdivision of Tract 3B Lands of IHS Acquisition #120 Inc. consisting of 34 single family residential lots to be developed in a single phase. The site is located north of Alameda Boulevard at the end of Horizon Boulevard via a private access easement and south of Balloon Fiesta Park. The land is currently zoned R-T per the latest IDO zoning.

Engineering ▲

Spatial Data ▲

Advanced Technologies ▲

Kym Dicone
Planning Department
December 14, 2018
Page 2

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

In addition to the preliminary plat we are requesting temporary deferral of sidewalk construction, waiver of sidewalk, and a vacation of 1 public and 1 private easement.

Sidewalk Waiver

The location of the sidewalk waivers is shown on Exhibit B "Sidewalk Deferral and Waiver". The waiver being requested is to waive sidewalk on the side of stub streets that have no houses fronting. This request is justified because there are no houses fronting the stub streets and the street dead ends so that a sidewalk in these locations would dead end as well. Waiving sidewalk in these locations will not negatively impact pedestrian circulation in the subdivision.

Easement Vacation

The location of the easement vacations is shown on Exhibit C "Vacation Exhibit". There are two vacations being requested: 1) an existing 20' private drainage easement and 2) and an existing 10' MST&T easement. The private drainage easement is for a future storm drain to serve the property to the south. The storm drain will be routed in the private streets (Tract A), which will have a public storm drain easement. Therefore, the existing private drainage easement is no longer required. The MST&T easement is for an overhead line that is serving an existing building on site. The building will be demolished with this project and the line removed from the site. Therefore, the MST&T easement is no longer required.

Please place these items on the DRB Agenda to be heard on January 9, 2018. Please feel free to contact me at 823-1000 with questions or comments.

Sincerely,



Mike Balakovits, P.E.
Vice President
Community Development & Planning

Enclosures

cc: CK Scott, Gamma Development, LLC
Brian McCarthy, Gamma Development, LLC

Engineering ▲
Spatial Data ▲
Advanced Technologies ▲

FORM S1: SUBDIVISION OF LAND – MAJOR

Please refer to the DRB public hearing schedule for hearing dates and deadlines. Your attendance is required.

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

INFORMATION REQUIRED FOR ALL MAJOR SUBDIVISION REQUESTS

- Interpreter Needed for Hearing? if yes, indicate language: _____
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled
- Sign Posting Agreement

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL

MAJOR AMENDMENT TO PRELIMINARY PLAT

- Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)
- Sites 5 acres or greater: Archeological Certificate in accordance with IDO Section 14-16-6-5(A)
- Preliminary Plat including the Grading Plan with property owner's and City Surveyor's signatures on the plat (10 copies, 24" x 36" folded)
- Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement submittal information
- Proposed Infrastructure List
- Cross sections of proposed streets (3 copies, 11" x 17" maximum)
- Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use (7 copies, folded)
- Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(J)
- Required notices with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination inquiry response, notifying letter, and proof of first class mailing
 - Proof of emailed notice to applicable Neighborhood Association representatives
 - Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing
- Signed** Pre-Annexation Agreement if Annexation required
- Landfill disclosure statement on the plat per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone
- TIS Traffic Impact Study Form

EXTENSION OF PRELIMINARY PLAT

MAJOR INFRASTRUCTURE IMPROVEMENTS AGREEMENT (IIA) EXTENSION

For temporary sidewalk deferral extension, use Form V.

- Proof of Pre-Application Meeting with City staff (*not required for extension of an IIA*)
- Preliminary Plat or site plan reduced to 8.5" x 11"
- Letter describing, explaining, and justifying the request per IDO Sections 14-16-6-4(W) and 14-16-6-6(J)
- Copy of DRB approved infrastructure list
- Copy of the Official DRB Notice of Decision for the original approval
- Required notices with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination inquiry response, notifying letter, and proof of first class mailing
 - Proof of emailed notice to applicable Neighborhood Association representatives
 - Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing

Note: Only one extension for a time not to exceed the original period of validity is allowed before re-application for a new preliminary plat.

<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></p>	
<p>Signature: </p>	<p>Date: 12/14/18</p>
<p>Printed Name: MICHAEL BARASKEVITS</p>	<p><input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent</p>
<p>FOR OFFICIAL USE ONLY</p>	
<p>Project Number: _____</p>	<p>Case Numbers</p>
<p>_____</p>	<p>-</p>
<p>_____</p>	<p>-</p>
<p>_____</p>	<p>-</p>
<p>Staff Signature: _____</p>	
<p>Date: _____</p>	

FORM V: Vacations of Easements or Right-of-way and Variances – DRB

Please refer to the DRB case schedules for meeting / hearing dates and deadlines. Your attendance is required.

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

VARIANCE – DRB Requires Public Hearing

- Proof of Neighborhood Meeting per IDO Section 14-16-6-4(B)
- Scale drawing showing the location of the proposed variance or waiver, as applicable (7 copies, not to exceed 8.5" by 14")
- Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(L)(3), compliance with the DPM, and all improvements to be waived, as applicable
- If the request is based on a bulk land transfer, an application for Subdivision of Land – Minor shall be filed concurrently with the variance request and notice shall be provided on that plat regarding the applicant's agreement that building permits shall not be issued before further action by the DRB.
- Zone Atlas map with the entire site clearly outlined and labeled
- Required notices with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives

VACATION OF PRIVATE EASEMENT Requires Public Hearing

VACATION OF PUBLIC EASEMENT OR RIGHT-OF-WAY – DRB Requires Public Hearing

VACATION OF PUBLIC EASEMENT OR RIGHT-OF-WAY – COUNCIL Requires Public Hearing


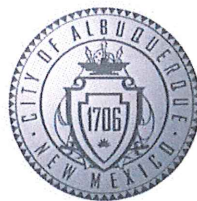
- Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)
- Copy of the complete document which created the easement(s) (7 copies, folded)
Not required for City owned public right-of-way.
- Drawing showing the easement or right-of-way to be vacated (7 copies, not to exceed 8.5" by 11")
- If easements, list number to be vacated 1 PRIVATE 1 PUBLIC
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(K)(3)
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled
- Required notices with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination notice inquiry response, notifying letter, and proof of first class mailing
 - Proof of emailed notice to affected Neighborhood Association representatives
 - Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing
- Sign Posting Agreement (not required for easements if IDO Section 14-16-6-6(K)(2)(a) is satisfied)

The vacation must be shown on a DRB approved plat recorded by the County Clerk within one year, or it will expire.

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

EXTENSION OF THE IIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

- Drawing showing the sidewalks subject to the proposed deferral or extension (7 copies, not to exceed 8.5" by 14")
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter describing, explaining, and justifying the deferral or extension

<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></p>	
Signature: 	Date: <u>12/14/18</u>
Printed Name: <u>MICHAEL BALASKOVITS</u>	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Project Number: _____	Case Numbers: _____
_____	_____
_____	_____
Staff Signature: _____	
Date: _____	



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	Policy Decisions
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Site Plan – DRB (Form P2)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Subdivision of Land – Minor (Form S2)	<input type="checkbox"/> Annexation of Land (Form Z)
Decisions Requiring a Public Meeting or Hearing	<input checked="" type="checkbox"/> Subdivision of Land – Major (Form S1)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> Conditional Use Approval (Form ZHE)	<input checked="" type="checkbox"/> Vacation of Easement or Right-of-way (Form V)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input checked="" type="checkbox"/> Variance – DRB (Form V)	Appeals
<input type="checkbox"/> Expansion of Nonconforming Use or Structure (Form ZHE)	<input type="checkbox"/> Variance – ZHE (Form ZHE)	<input type="checkbox"/> Decision by EPC, LC, DRB, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Gamma Development, LLC (CK Scott)		Phone: 505-350-7534
Address: 9798 Coors Blvd Bldg C Suite 400		Email: ck@abrazohomes.com
City: Albuquerque	State: NM	Zip: 87114
Professional/Agent (if any): Bohannan Huston, Inc. (Mike Balaskovits)		Phone: 505-823-1000
Address: 7500 Jefferson St. NE		Email: mbalaskovits@bhinc.com
City: Albuquerque	State: NM	Zip: 87109
Proprietary Interest in Site: Under Contract To Purchase		List all owners: C&S Equities, LLC

BRIEF DESCRIPTION OF REQUEST

Preliminary Plat, Sidewalk Deferral/Waiver, Public/Private Easement Vacation, Site Development Plan for Building Permit for Tract 3B-3 of Tract 3B-1, 3B-2, 3B-3 a Subdivision of Tract 3B Lands of IHS Acquisition #120 Inc. (to be known as Ascension Subdivision)

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: Tract 3B-3	Block:	Unit:
Subdivision/Addition: Tract 3B-1, 3B-2 & 3B-3 a Subdivision of Tract 3B Lands of IHS Acquisition #120 Inc.	MRGCD Map No.:	UPC Code: 101706506403930707
Zone Atlas Page(s): B-17	Existing Zoning: R-T	Proposed Zoning: R-T
# of Existing Lots: 1	# of Proposed Lots: 34	Total Area of Site (acres): 7.76

LOCATION OF PROPERTY BY STREETS

Site Address/Street: Horizon Blvd	Between: Balloon Museum Dr	and: Alameda Blvd
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CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

1010693, 15EPC-40070, 17DRB-70297

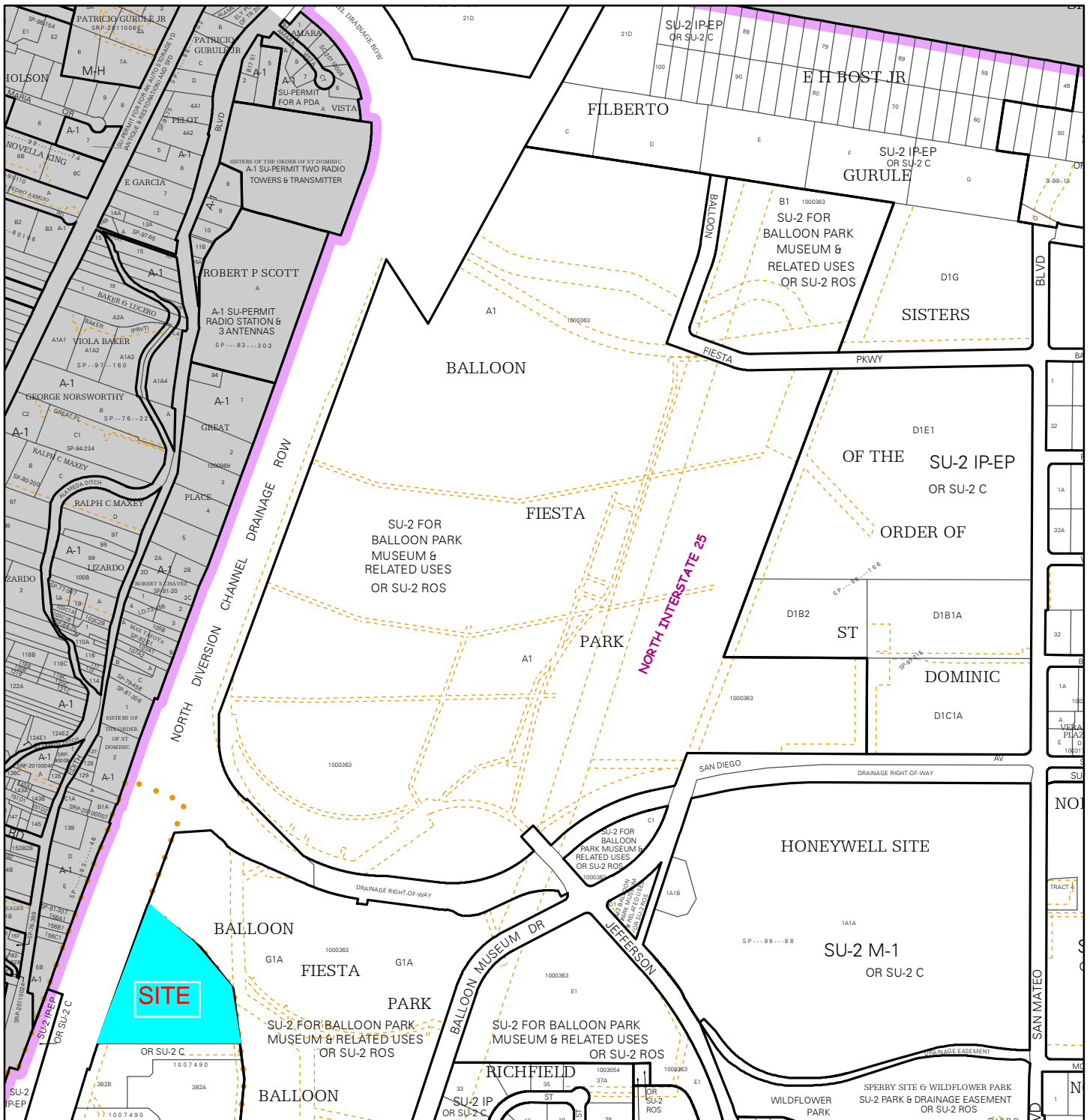
Signature:	Date: 12/14/2018
Printed Name: Mike Balaskovits	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees
-		
-		
-		

Meeting/Hearing Date:	Fee Total:
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Staff Signature:	Date:	Project #
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For more current information and details visit: <http://www.cabq.gov/gis>

Map amended through: 1/28/2016

Note: Grey Shading Represents Area Outside of the City Limits

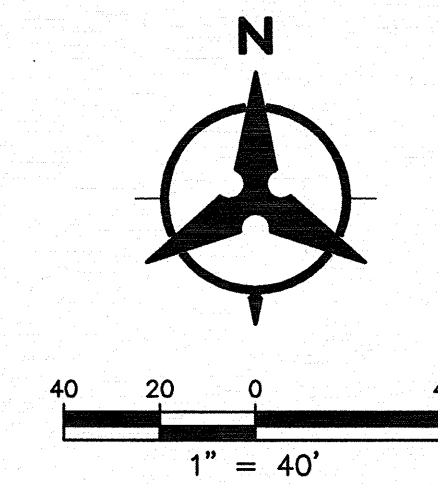
Zone Atlas Page:
B-17-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

0 750 1,500 Feet

PRELIMINARY PLAT FOR
ASCENSION SUBDIVISION
LOTS 1-34 AND TRACTS A-G
WITHIN ELENA GALLEGOS LAND GRANT
IN PROJECTED SECTIONS 11 & 14,
TOWNSHIP 11 NORTH, RANGE 3 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
NOVEMBER 2018



LEGAL DESCRIPTION

Tract Three-B-One (3B-1) of Lands of IHS Acquisition No. 120 Inc. as the same is shown and designated on the plat of Tracts 3B-1, 3B-2 and 3B-3, a subdivision of Tract 3B, Land of IHS Acquisition No. 120, Inc. within Projected Sections 11 and 14, T11N, R3E, NMPM, City of Albuquerque, Elena Gallegos Land Grant, Bernalillo County, New Mexico, March 2010, filed in the office of the County Clerk of Bernalillo County, New Mexico on April 15, 2010, in Plat Book 2010, Page 0046, Document No. 2010031804.

GENERAL NOTES

- EXISTING ZONING: SU-2, LOW-MEDIUM DENSITY RESIDENTIAL (LMDR)
PROPOSED ZONING: SU-2, LOW-MEDIUM DENSITY RESIDENTIAL (LMDR)
- GROSS ACREAGE: 7.7583 AC
NET ACREAGE: 7.7583 AC
NUMBER OF LOTS: 34
NUMBER OF TRACTS: 7
PROPOSED DENSITY: 4.38 DU/AC
- MIN. LOT DIMENSIONS: 50' X 105'
MINIMUM LOT AREA: 5,250 SQFT
- STORM DRAIN IMPROVEMENTS WITHIN TRACT A ARE PRIVATE TO BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION. STORM DRAIN IMPROVEMENTS IN THE NORTH DIVERSION CHANNEL RIGHT-OF-WAY ARE PUBLIC TO BE OWNED AND MAINTAINED BY THE CITY OF ALBUQUERQUE. SEWER AND WATER ARE PUBLIC TO BE OWNED AND MAINTAINED BY THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY, STREETS ARE PRIVATE TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATIONS.
- LOT SETBACKS SHALL CONFORM TO THE SITE DEVELOPMENT PLAN.
- TRACT A SHALL HAVE A BLANKET PRIVATE DRAINAGE EASEMENT, A BLANKET SUBSURFACE PUBLIC SANITARY SEWER AND WATER EASEMENT GRANTED TO THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY, AND A PRIVATE PEDESTRIAN AND VEHICULAR ACCESS EASEMENT. TRACT A WILL BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- TRACTS B-G SHALL HAVE A BLANKET LANDSCAPE AND PRIVATE PEDESTRIAN ACCESS EASEMENT TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

SITE DATA

ZONE ATLAS NO.	B-17-Z
ZONING	SU-2, LMDR
MILES OF FULL WIDTH STREETS CREATED	0.298 MILES
NO. OF EXISTING TRACTS	1
NO. OF LOTS CREATED	34
NO. OF HOA TRACTS CREATED	7

SURVEY NOTES:

- ALL BOUNDARY CORNERS SHOWN (●) ARE FOUND REBAR W/CAP.
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS (▲) AND WILL BE MARKED BY (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB PLS 12651".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, TANGENCY STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.
- PLAT SHOWS ALL EASEMENTS OF RECORD.

APPROVED

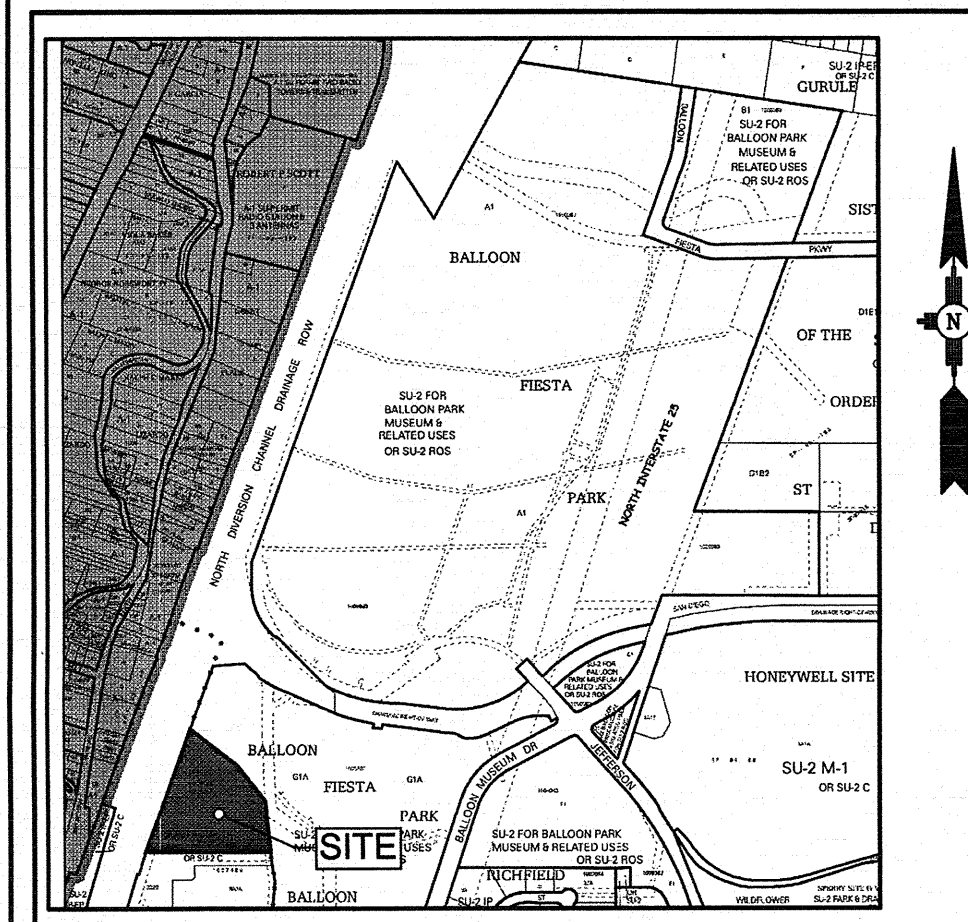
Tom M. Risenhaver P.S. 12/17/18
CITY SURVEYOR DATE

Paul S. Cauwels 11/26/18
PAUL S. CAUWELS DATE
MANAGER, C&S EQUITIES II, LLC

Bohannon & Huston
www.bhinc.com 800.877.5332

DRAINAGE EASEMENT NOTE:
AREAS DESIGNATED ON THE ACCOMPANYING PLAT AS "DRAINAGE EASEMENTS" ARE HEREBY DEDICATED BY THE OWNER AS A PERPETUAL EASEMENT FOR THE COMMON USE AND BENEFIT OF THE VARIOUS LOTS WITHIN THE SUBDIVISION FOR THE PURPOSE OF PERMITTING THE CONVEYANCE OF STORM WATER RUNOFF AND THE CONSTRUCTING AND MAINTAINING OF DRAINAGE FACILITIES IN ACCORDANCE WITH STANDARDS PRESCRIBED BY THE CITY OF ALBUQUERQUE. NO FENCE, WALL, PLANTING, BUILDING OR OTHER OBSTRUCTION MAY BE PLACED OR MAINTAINED IN THE EASEMENT AREA WITHOUT APPROVAL OF THE CITY ENGINEER OF THE CITY OF ALBUQUERQUE. THERE SHALL BE NO ALTERATION OF THE GRADES OR CONTOURS IN SAID EASEMENT AREA WITHOUT THE APPROVAL OF THE CITY ENGINEER. IT SHALL BE THE DUTY OF THE LOT OWNERS OF THIS SUBDIVISION TO MAINTAIN SAID DRAINAGE EASEMENT AND FACILITIES AT THEIR COST IN ACCORDANCE WITH STANDARDS PRESCRIBED BY THE CITY OF ALBUQUERQUE. THE CITY SHALL HAVE THE RIGHT TO ENTER PERIODICALLY TO INSPECT THE FACILITIES. IN THE EVENT SAID LOT OWNERS FAIL TO ADEQUATELY AND PROPERLY MAINTAIN THE DRAINAGE EASEMENT AND FACILITIES, AT ANY TIME FOLLOWING FIFTEEN (15) DAYS WRITTEN NOTICE TO SAID LOT OWNERS, THE CITY MAY ENTER UPON SAID AREA, PERFORM SAID MAINTENANCE, AND THE COST OF PERFORMING SAID MAINTENANCE SHALL BE PAID BY THE APPLICABLE LOT OWNERS PROPORTIONATELY ON THE BASIS OF LOT OWNERSHIP. IN THE EVENT LOT OWNERS FAIL TO PAY THE COST OF MAINTENANCE WITHIN THIRTY (30) DAYS AFTER DEMAND FOR PAYMENT MADE BY THE CITY, THE CITY MAY FILE A LIEN AGAINST ALL LOTS IN THE SUBDIVISION FOR WHICH PROPORTIONATE PAYMENT HAS NOT BEEN MADE. THE OBLIGATIONS IMPOSED HEREIN SHALL BE BINDING UPON THE OWNER, HEIRS, AND ASSIGNS AND SHALL RUN WITH ALL LOTS WITHIN THIS SUBDIVISION.

THE GRANTOR AGREES TO DEFEND, INDEMNIFY, AND HOLD HARMLESS, THE CITY, ITS OFFICIALS, AGENTS AND EMPLOYEES FROM AND AGAINST ANY AND ALL CLAIMS, ACTIONS, SUITS, OR PROCEEDINGS OF ANY KIND BROUGHT AGAINST SAID PARTIES FOR OR ON ACCOUNT OF ANY MATTER ARISING FROM THE DRAINAGE FACILITY PROVIDED FOR HEREIN OR THE GRANTOR'S FAILURE TO CONSTRUCT, MAINTAIN OR MODIFY SAID DRAINAGE FACILITY.



VICINITY MAP
NOT TO SCALE ZONE ATLAS B-17-Z

KEYED NOTES

- (A) EXISTING 10' PNM EASEMENT (4/15/2010, 10C-046)
- (B) EXISTING 25' ABCWUA WATER & WATER REUSE EASEMENT (4/15/2010, 10C-046)
- (C) EXISTING CITY OF ALBUQUERQUE WATERLINE EASEMENT (WIDTH VARIES) (BK 92-98, PG 3168-3170, DOC #92119336)
- (D) EXISTING 20' PRIVATE DRAINAGE EASEMENT (4/15/2010, 10C-046) TO BE VACATED BY PLAT.
- (E) EXISTING 50' PRIVATE ACCESS, DRAINAGE EASEMENT & PUBLIC UTILITY EASEMENT (4/15/2010, 10C-046)
- (F) EXISTING 25' ABCWUA SAS ESMT (4/15/2010, 10C-046)
- (G) EXISTING 10' MST&T ESMT (6/20/1983, BK MISC 24-A, PG 237-239, #83-40062) TO BE VACATED BY PLAT
- (H) 10' PUBLIC UTILITY EASEMENT, GRANTED BY PLAT.
- (I) 20' PUBLIC WATERLINE EASEMENT GRANTED TO THE ABCWUA BY PLAT.

LEGEND

	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	ADJOINING PROPERTY LINE
	CENTERLINE MONUMENT TO BE INSTALLED
	CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT

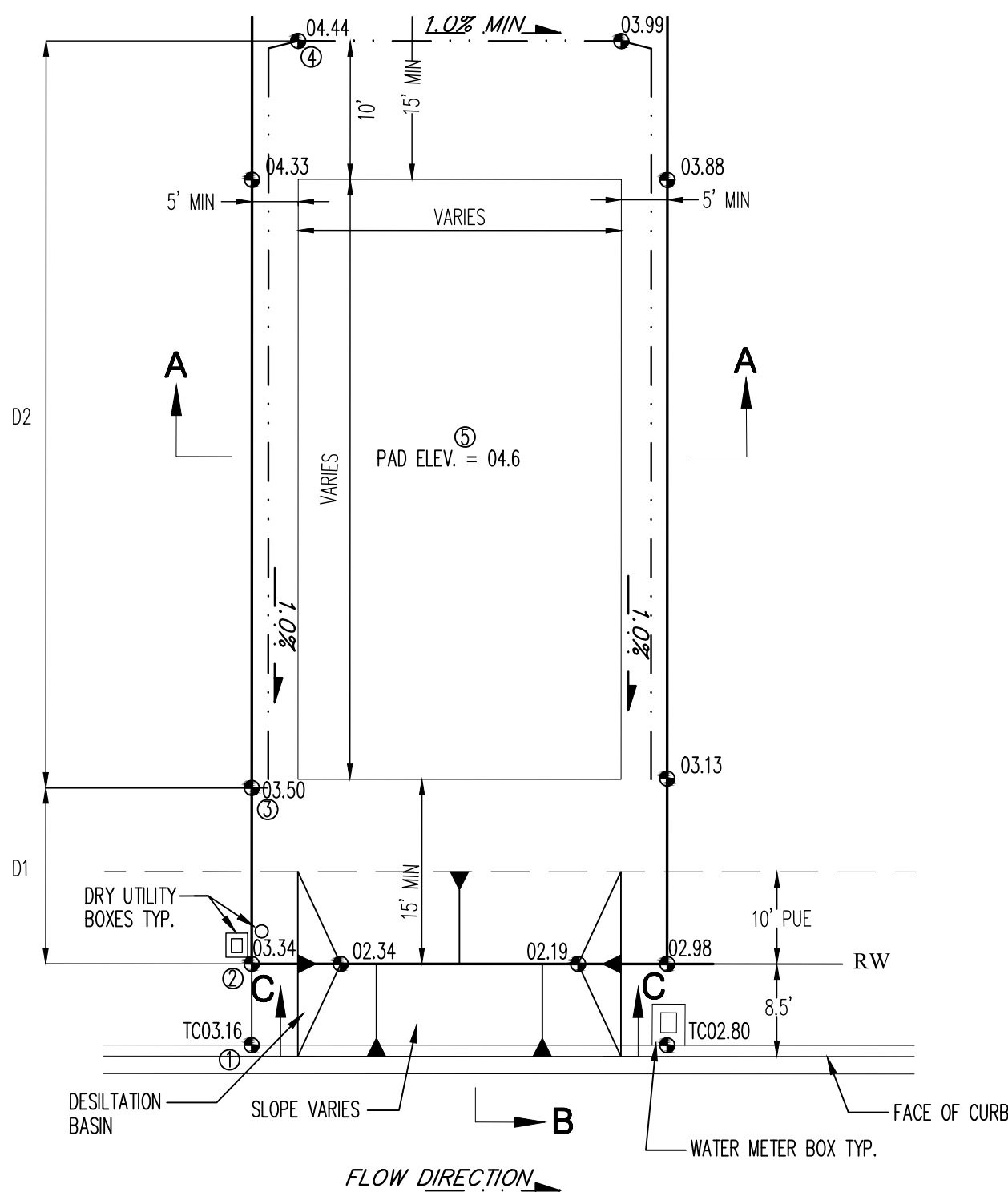
Tangent Table

ID	BEARING	LENGTH
T1	S51°27'54"E	351.99'
T2	S38°24'17"E	275.85'
T3	S06°50'32"E	290.85'
T4	N89°58'28"W	742.27'
T5	N20°11'36"E	443.76'
T6	S06°50'32"E	117.15'

Curve Table

ID	RADIUS	ARC	TANGENT	CHORD LENGTH
C1	11294.16'	325.77'	162.89'	325.75'

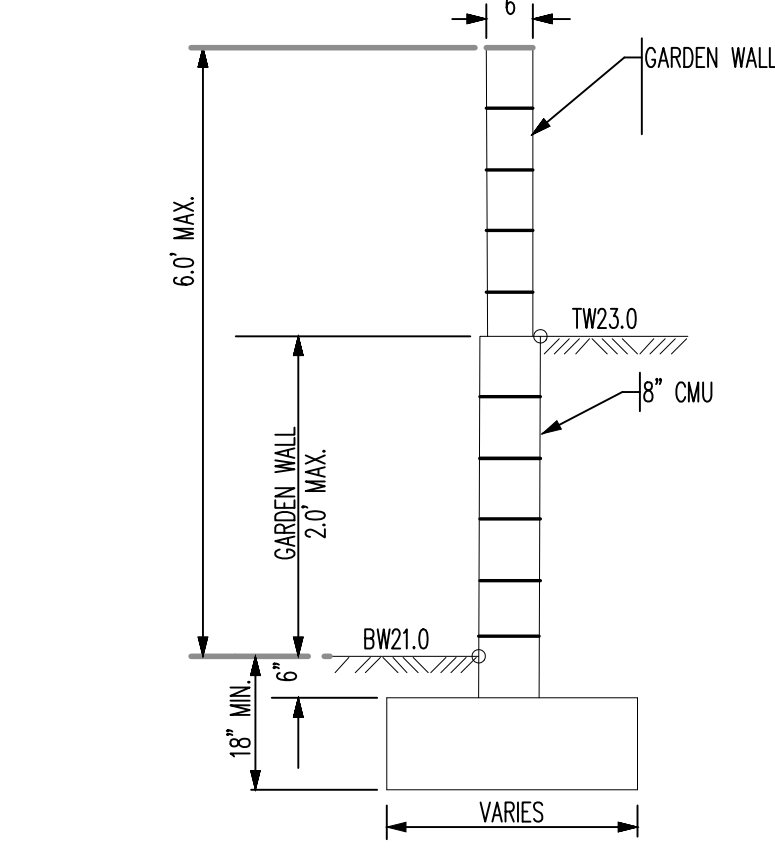
ACS Monument "NDC-7"
New Mexico State Plane Coordinates,
Central Zone (NAD 83) as published:
N=1,522,698.249 U.S. Survey Feet
E=1,534,340.591 U.S. Survey Feet
Ground to grid factor= 0.999674466
Mapping Angle: -00°12'16.43"



**TYPICAL LOT GRADE DETAIL
WITH DESILTATION BASIN FOR SEDIMENTATION CONTROL**
NOT TO SCALE

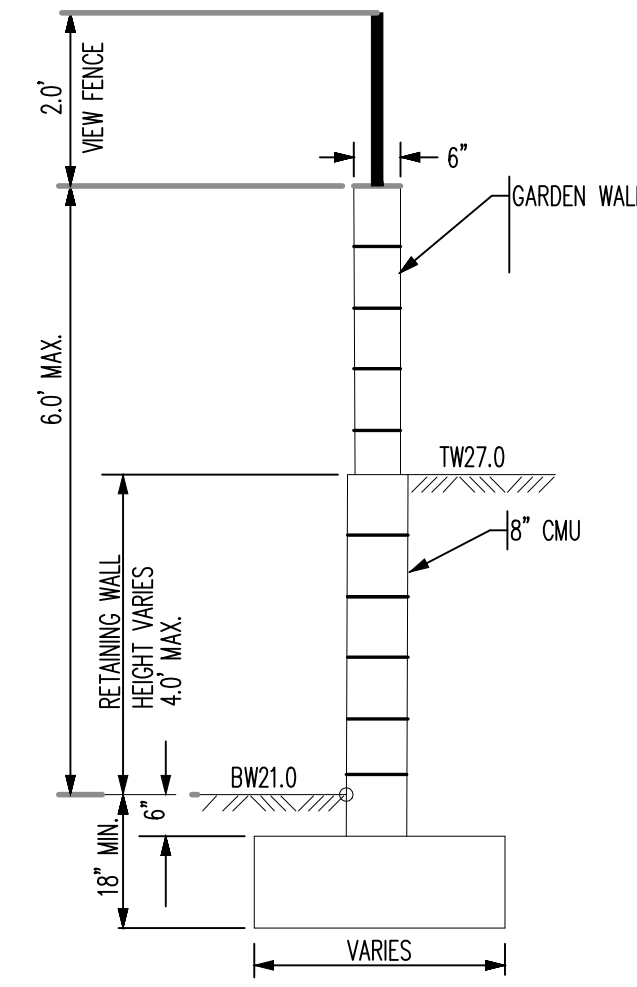
TO SET SPOT (1) - ADD 0.17' TO SPOT (1)
TO SET SPOT (2) - MULTIPLY D1 BY 1.0% AND ADD TO SPOT (2)
TO SET SPOT (3) - MULTIPLY D2 BY 1.0% AND ADD TO SPOT (3)
TO SET SPOT (4) - ADD 0.2' TO SPOT (4)

BOTTOM OF BASIN IS 1' BELOW PROPERTY LINE ELEVATION.
SEE GRADING PLANS FOR EXACT ELEVATIONS.
CONTRACTOR SHALL CONSTRUCT TEMPORARY DESILTATION BASIN AT EACH LOT.



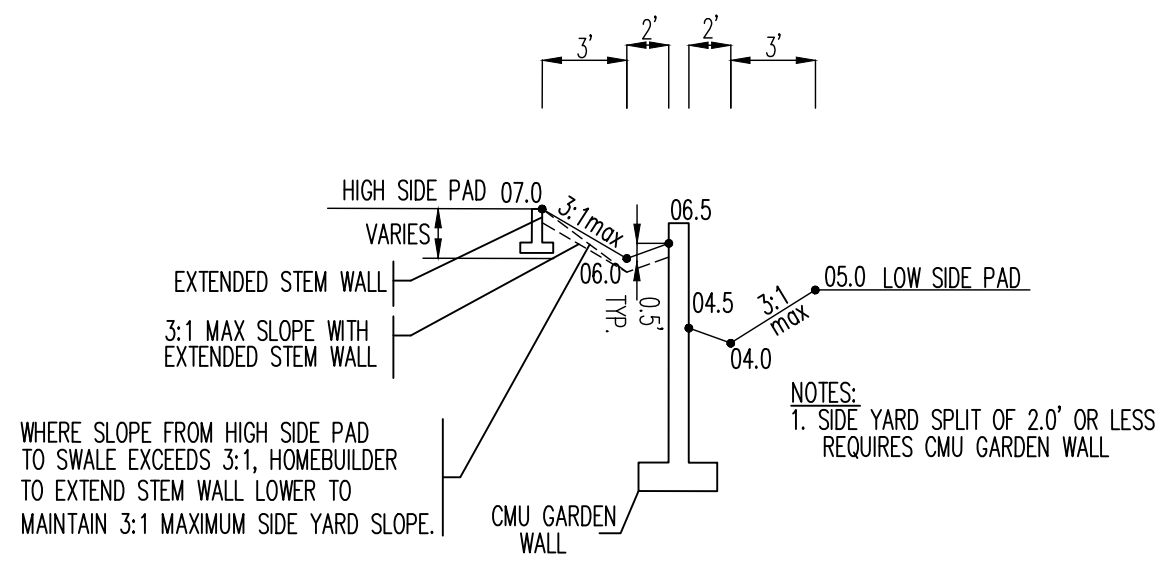
TYPICAL GARDEN WALL NOMENCLATURE
NOT TO SCALE

(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)

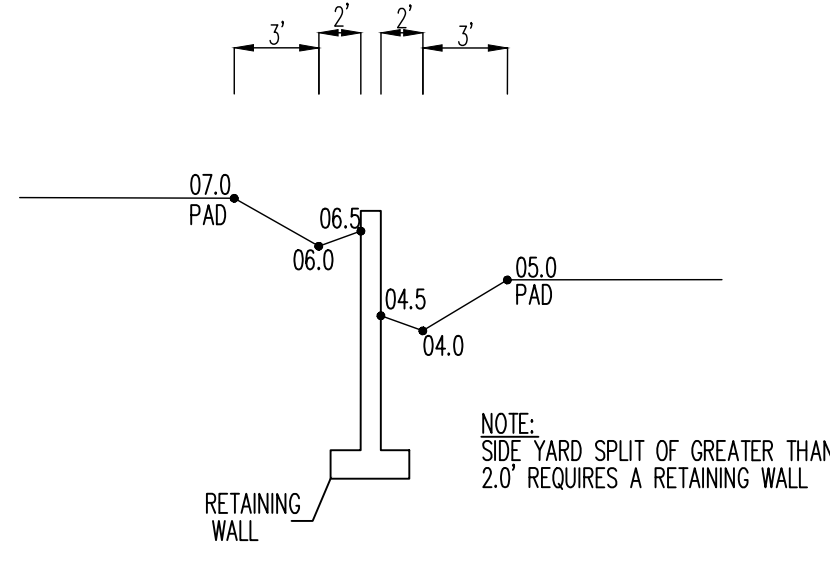


TYPICAL RETAINING WALL NOMENCLATURE
NOT TO SCALE

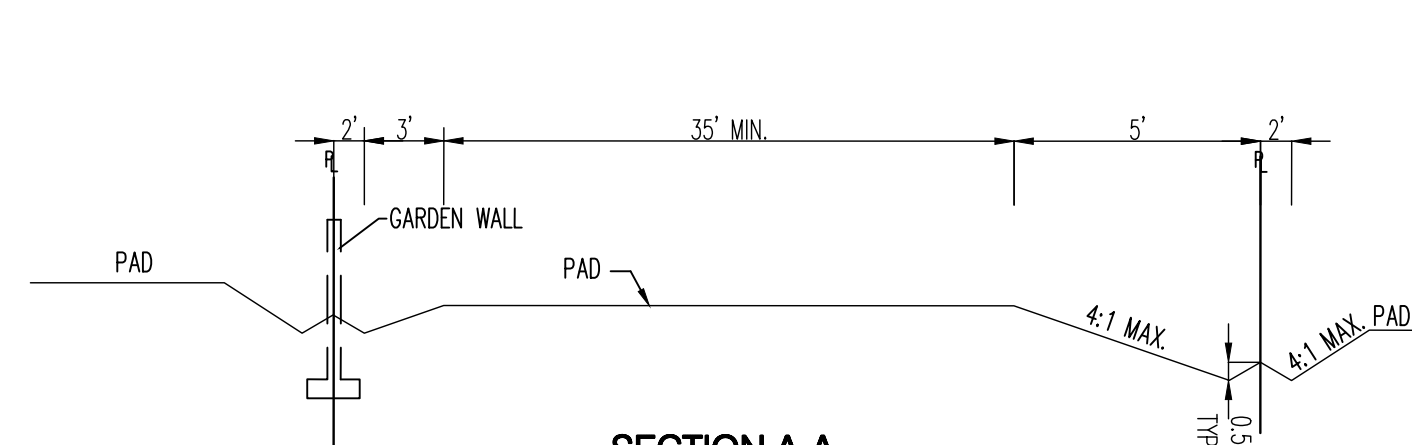
(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)



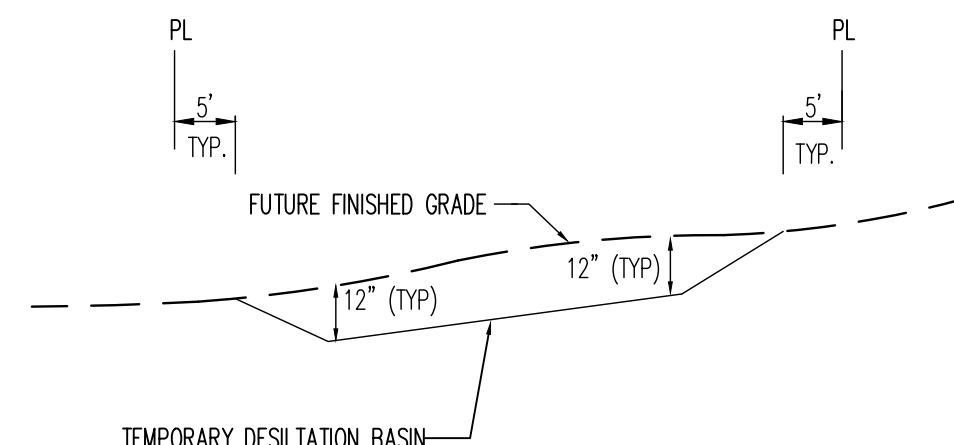
SIDE YARD GARDEN WALL DETAIL
NOT TO SCALE



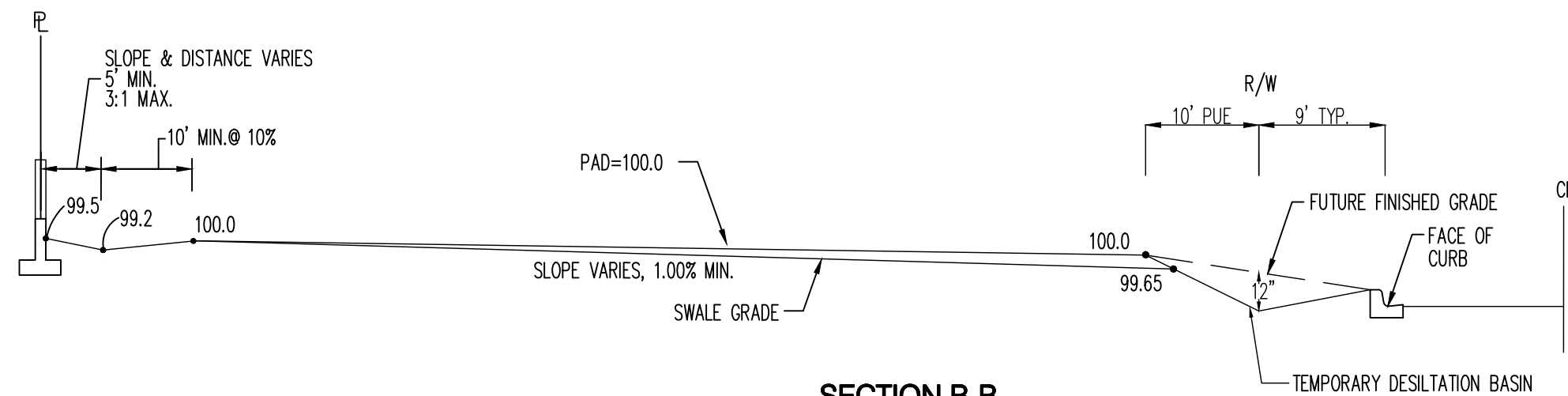
SIDE YARD RETAINING WALL DETAIL
NOT TO SCALE



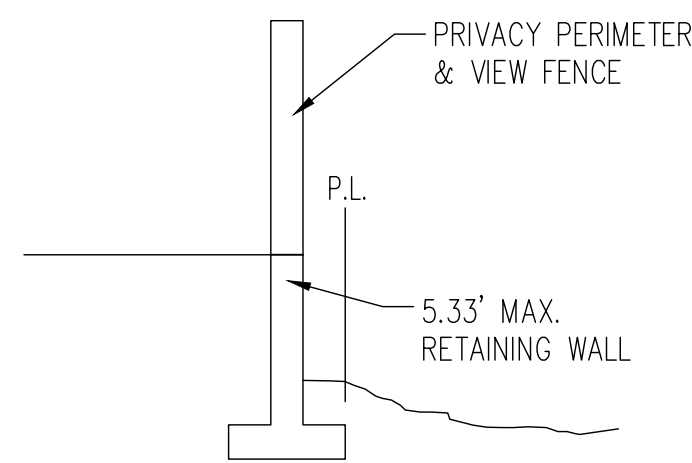
**SECTION A-A
TYPICAL SIDE YARD SWALE**
NOT TO SCALE



SECTION C-C
NOT TO SCALE



SECTION B-B
NOT TO SCALE



TYPICAL CROSS SECTION A-A
NOT TO SCALE

GENERAL NOTES

- CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT.
- THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL, SHEET 3B, AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
- ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
- BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
- ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.

LEGEND

- 91.62 PROPOSED SPOT ELEVATION
- x 92.46 EXISTING SPOT ELEVATION (GRND & TC)
- EXISTING CURB & GUTTER
- PROPOSED MOUNTABLE CURB & GUTTER
- PROPOSED STANDARD CURB & GUTTER
- 5470 EXISTING CONTOUR W/ INDEX ELEVATION
- FLOW ARROW
- PROPOSED RETAINING WALL
- PROPOSED SLOPE
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- HIGH POINT

- NOTE:
- CONTRACTOR IS TO MASS GRADE ROADS TO 2' BEYOND FUTURE CURB. EXCESS FROM DRY UTILITY TRENCH IS TO BE USED TO BACK FILL BEHIND CURB.
 - FRONT YARDS ARE TO BE GRADED AS SHOWN ON THIS DETAIL FOR FINAL GRADING AND CERTIFICATION THIS DETAIL TO BE COORDINATED WITH.
 - HOME BUILDER TO BRING FRONT YARD TO ULTIMATE FRONT YARD GRADES AFTER HOME CONSTRUCTION IS COMPLETED. SEE ULTIMATE FRONT YARD GRADING DETAIL ON THIS SHEET.

AS-BUILT INFORMATION		CONTRACTOR		DATE	
WORK BY	DATE	INSPECTORS	DATE	ACCEPTANCE BY	DATE
DRAWINGS	DATE	VERIFICATION BY	DATE	REVISIONS	DATE
MICROFILM INFORMATION			RECORDED BY		
NO.			NO.		
ENGINEER'S SEAL		SURVEY INFORMATION		FIELD NOTES	
		NO.		DATE	
		BY		DATE	
REVISIONS		REMARKS		By	
DESIGN		DESIGN		DATE: 07/2016	
DRAWN BY: B/G		CHECKED BY: S/S		DATE: 07/2016	
DESIGNED BY: SJS		CHECKED BY: S/S		DATE: 07/2016	



**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

**ASCENSION SUBDIVISION
GRADING PLAN DETAILS**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. XXXXXX Zone Map No. C-18-Z Sheet 2 of 2

Current DRC Project No. _____

Date Submitted: December 14, 2018

Date Site Plan for Bld'g: _____

Date Site Plan for Sub. Approved: _____

Date Preliminary Plat Approved: _____

Date Preliminary Plat Expires: _____

DRB Project No. _____

Figure 12

INFRASTRUCTURE LIST

EXHIBIT 'A'
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

ASCENSION SUBDIVISION
(REPLAT OF TRACT 3B-1, LANDS OF IHS ACQUISITION NO. 120, INC.)


Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
PRIVATE ROADWAY IMPROVEMENTS									
		53' F-F TO 30' F-F (VARIES)	RESIDENTIAL PAVING W/PCC CURB & GUTTER, PCC 4' WIDE SIDEWALK ON BOTH SIDES	GONDOLA WAY	HORIZON BLVD	BALLOON GLOW LANE	/	/	/
		28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER, PCC 4' WIDE SIDEWALK ON BOTH SIDES*	GONDOLA WAY	BALLOON GLOW LANE	DAWN PATROL TRAIL	/	/	/
		24' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER, PCC 4' WIDE SIDEWALK ON SOUTH SIDE*	GONDOLA WAY	DAWN PATROL LANE	EAST STUB TERMINUS LOT 10	/	/	/
		28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER, PCC 4' WIDE SIDEWALK ON BOTH SIDES*	BALLOON GLOW LANE	GONDOLA WAY	DAWN PATROL TRAIL	/	/	/
		28' F-F	RESIDENTIAL PAVING W/ PCC CURB & GUTTER, PCC 4' WIDE	DAWN PATROL TRAIL	WEST STUB TERMINUS LOT 20	GONDOLA WAY	/	/	/

* SIDEWALKS TO BE BUILT/DEFERRED IN ACCORDANCE W/APPROVED SIDEWALK EXHIBIT

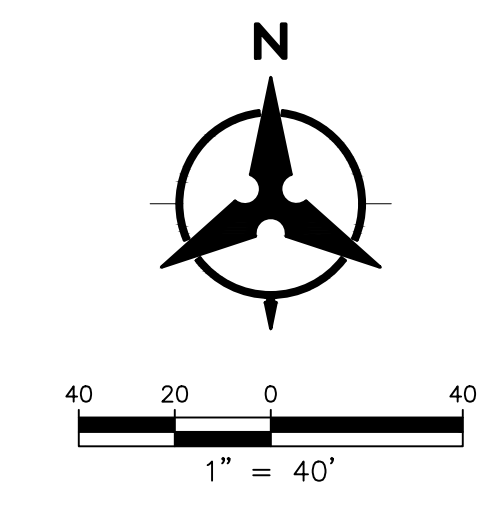
SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
PUBLIC STORM DRAIN IMPROVEMENTS									
		24" DIA	RCP W/ MH & INLETS	50' PRIVATE ACCESS EASEMENT	55' SOUTH OF SOUTH BOUNDARY	GONDOLA WAY	/	/	/
		24" DIA	RCP W/ MH & INLETS	GONDOLA WAY	SOUTH BOUNDARY	BALLOON GLOW LANE	/	/	/
		24" DIA	RCP W/ MH & INLETS	BALLOON GLOW LANE	GONDOLA WAY	DAWN PATROL TRAIL	/	/	/
		24" DIA	RCP W/ MH & INLETS	DAWN PATROL TRAIL	WEST STUB TERMINUS LOT 20	BALLOON GLOW LANE	/	/	/
		36" DIA	RCP W/ MH & INLETS	PUBLIC STORM DRAIN EASEMENT	DAWN PATROL TRAIL	AMAFCA NORTH DIVERSION CHANNEL	/	/	/
		36" DIA	ENERGY DISSIPATOR	OUTFALL NEAR AMAFCA CHANNEL			/	/	/
		NOTE:	CERTIFICATION OF THE GRADING AND DRAINAGE PLAN IS REQUIRED FOR RELEASE OF FINANCIAL GUARANTEES						

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
PUBLIC WATERLINE IMPROVEMENTS									
		8" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	GONDOLA WAY	BALLOON GLOW LANE	EAST BOUNDARY EX WATERLINE EASEMENT	/	/	/
		6" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	GONDOLA WAY	BALLOON GLOW LANE	HORIZON BLVD	/	/	/
		8" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	BALLOON GLOW LANE	GONDOLA WAY	DAWN PATROL TRAIL	/	/	/
		8" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	DAWN PATROL TRAIL	BALLOON GLOW LANE	GONDOLA WAY	/	/	/
		4" DIA	WATERLINE W/ NEC. VALVES FH'S, MJ'S & RJ'S	DAWN PATROL TRAIL	WEST STUB TERMINUS LOT 20	BALLOON GLOW LANE	/	/	/
PUBLIC SANITARY SEWER IMPROVEMENTS									
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	GONDOLA WAY	HORIZON BLVD	WEST STUB TERMINUS LOT 10	/	/	/
		LIFT STATION	TO SERVE LOTS 11-31	DAWN PATROL					
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	BALLOON GLOW LANE	GONDOLA WAY	DAWN PATROL TRAIL	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	DAWN PATROL TRAIL	WEST STUB TERMINUS LOT 20	GONDOLA WAY	/	/	/
		3" DIA	SANITARY SEWER FORCE MAIN WNEC CLEANOUTS	DAWN PATROL TRAIL	WEST STUB TERMINUS LOT 20	BALLOON GLOW LANE	/	/	/
		3" DIA	SANITARY SEWER FORCE MAIN WNEC CLEANOUTS	BALLOON GLOW LANE	GONDOLA WAY	DAWN PATROL TRAIL	/	/	/

AGENT/OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS				
MICHAEL BALASKOVITS PREPARED BY: PRINT NAME	12/14/2018 DATE	DRB CHAIR	DATE	PARKS & RECREATION	DATE
BOHANNAN HUSTON, INC. FIRM:		TRANSPORTATION DEVELOPMENT	DATE	AMAFCA	DATE
 SIGNATURE		ABCWJA	DATE	CODE ENFORCEMENT	DATE
MAXIMUM TIME ALLOWED TO CONSTRUCT IMPROVEMENTS WITHOUT A DRB EXTENSION		CITY ENGINEER	DATE		DATE

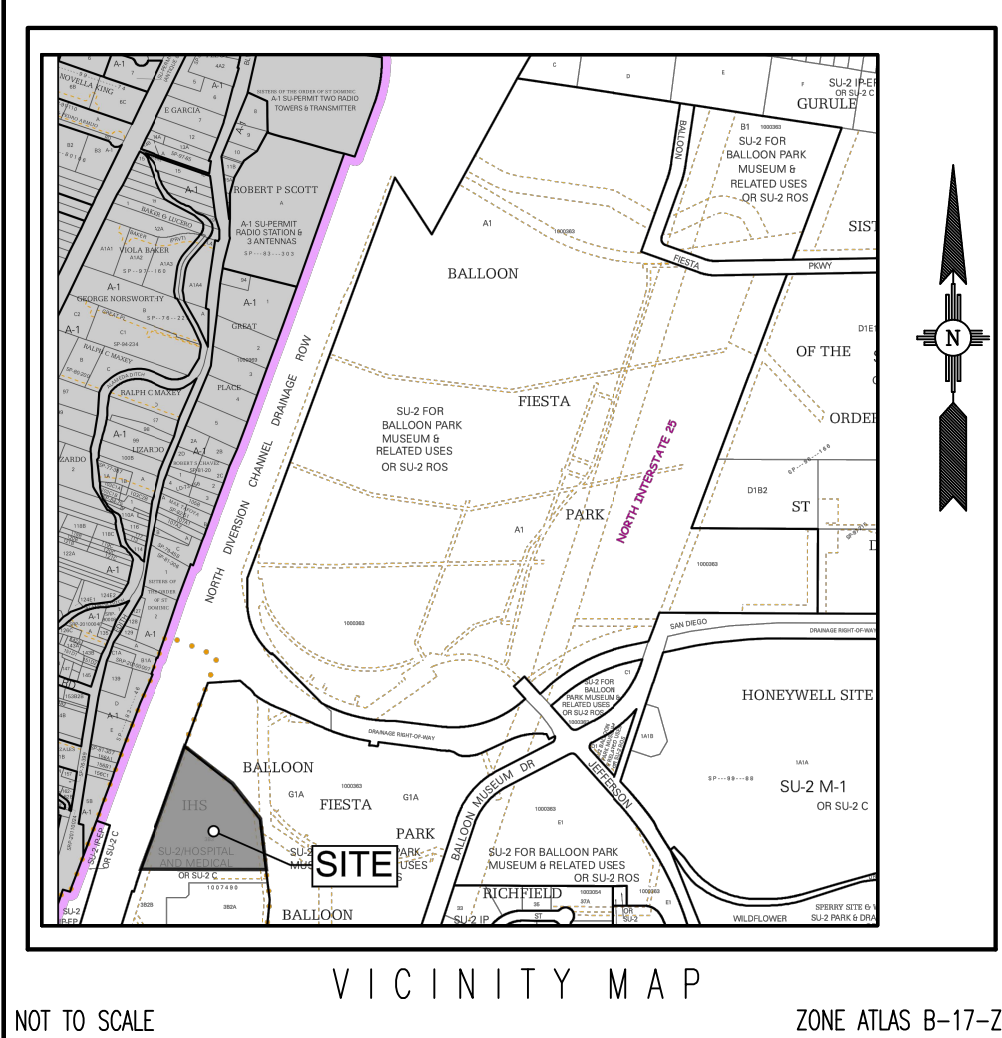
DESIGN REVIEW COMMITTEE REVISIONS				
REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER

EXHIBIT A
ASCENSION SUBDIVISION
 LOTS 1-34 AND TRACTS A-G
 WITHIN ELENA GALLEGOS LAND GRANT
 IN PROJECTED SECTIONS 11 & 14,
 TOWNSHIP 11 NORTH, RANGE 3 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MAY 2018



SITE DATA

ZONE ATLAS NO.	B-17-Z
ZONING	R-T
MILES OF FULL WIDTH STREETS CREATED	0.298 MILES
NO. OF EXISTING TRACTS	1
NO. OF LOTS CREATED	34
NO. OF HOA TRACTS CREATED	7
GROSS ACREAGE	7.7593 AC
NET ACREAGE	7.7593 AC
PROPOSED DENSITY	4.38 DU/AC
TRACT A: LE, PED	LE: PROPOSED BLANKET LANDSCAPE EASEMENT, TO BE OWNED & MAINTAINED BY THE HOMEOWNER'S ASSOCIATION
TRACT B: LE	PED: PROPOSED BLANKET PUBLIC PEDESTRIAN ACCESS EASEMENT, TO BE OWNED & MAINTAINED BY THE HOMEOWNER'S ASSOCIATION
TRACT C: LE	



KEYED NOTES

- (A) EXISTING 10' PNM EASEMENT (4/15/2010, 10C-046)
- (B) EXISTING 25' ABCWJA WATER & WATER REUSE EASEMENT (4/15/2010, 10C-046)
- (C) EXISTING CITY OF ALBUQUERQUE WATERLINE EASEMENT (WIDTH VARIES) (BK 92-98, PG 3168-3170, DOC #92119336)
- (D) EXISTING 20' PRIVATE DRAINAGE EASEMENT (4/15/2010, 10C-046) TO BE VACATED WITH THIS PLAT.
- (E) EXISTING 50' PRIVATE ACCESS, DRAINAGE EASEMENT & PUBLIC UTILITY EASEMENT (4/15/2010, 10C-046)
- (F) EXISTING 25' ABCWJA SAS ESMT (4/15/2010, 10C-046)
- (G) EXISTING 10' MST&T ESMT (6/20/1983, BK MISC 24-A, PG 237-239, #83-40062) TO BE VACATED WITH THIS PLAT
- (H) 10' PUBLIC UTILITY EASEMENT, GRANTED BY THIS PLAT.
- (I) 20' PUBLIC STORM DRAIN EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.
- (J) 20' WATERLINE EASEMENT GRANTED TO THE ABCWJA BY THIS PLAT.
- (K) 4' NEW SIDEWALK
- (L) 4' DEFERRED SIDEWALK
- (M) ENTRY SIGN LOCATION
- (N) ENTRY GATE LOCATION

LEGEND

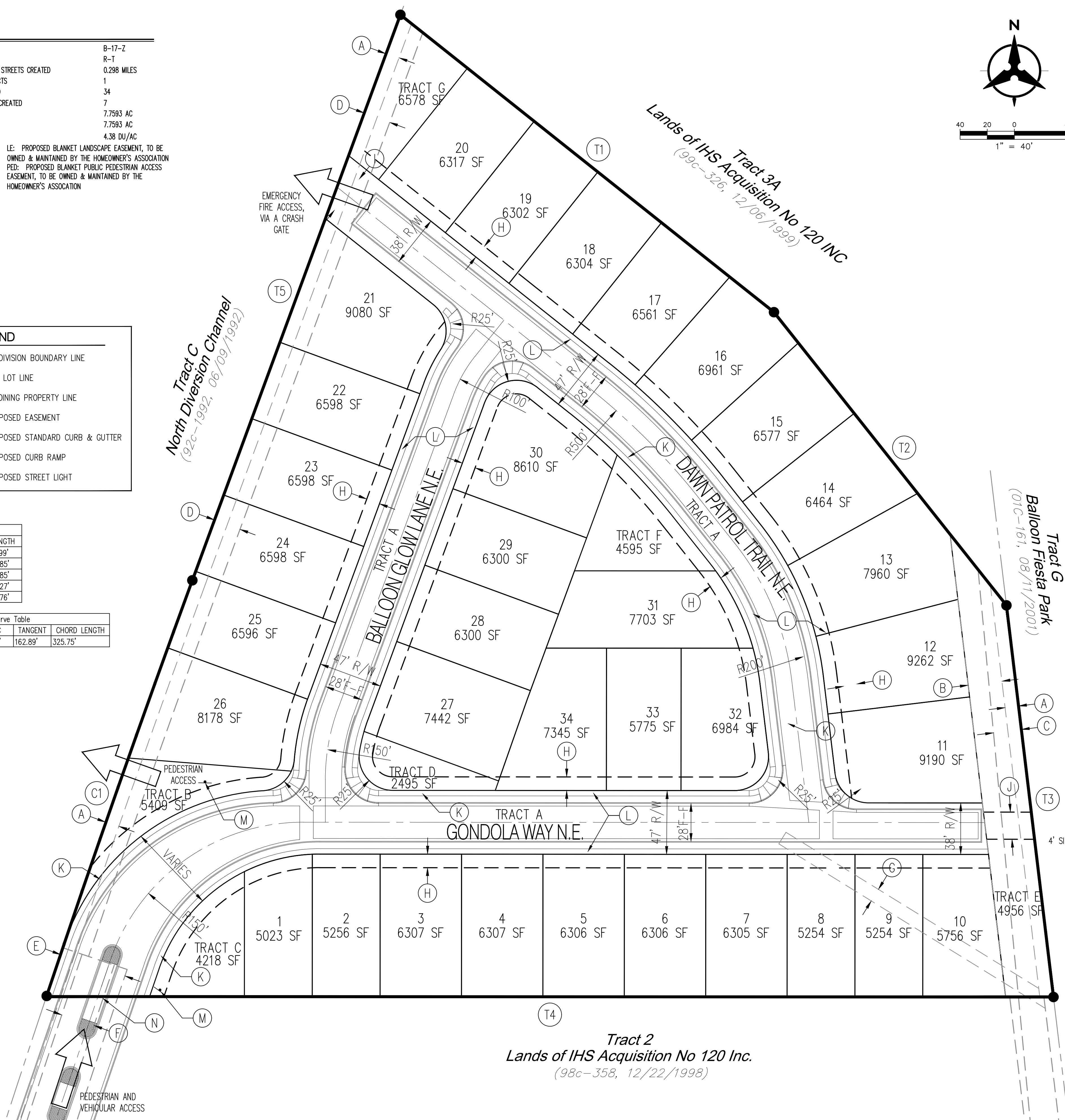
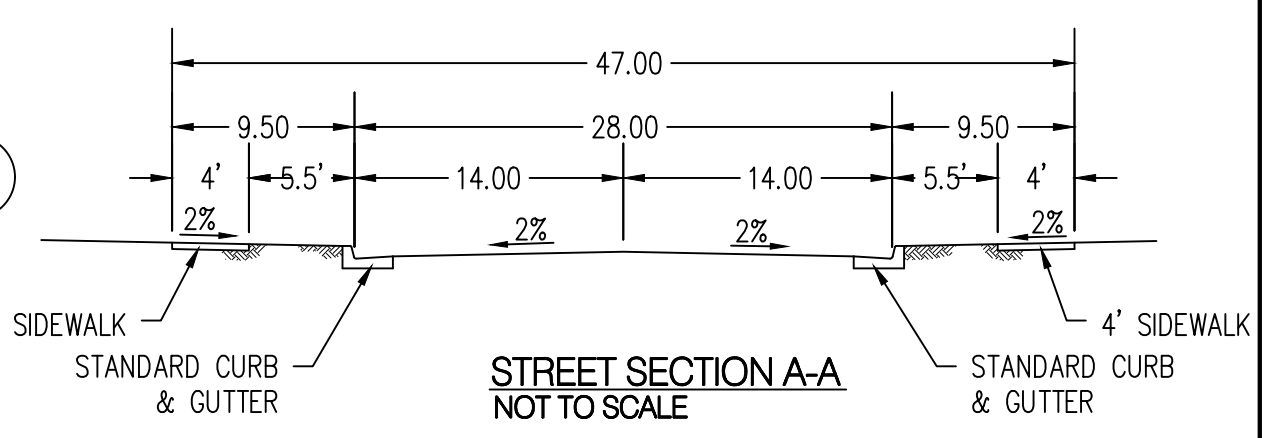
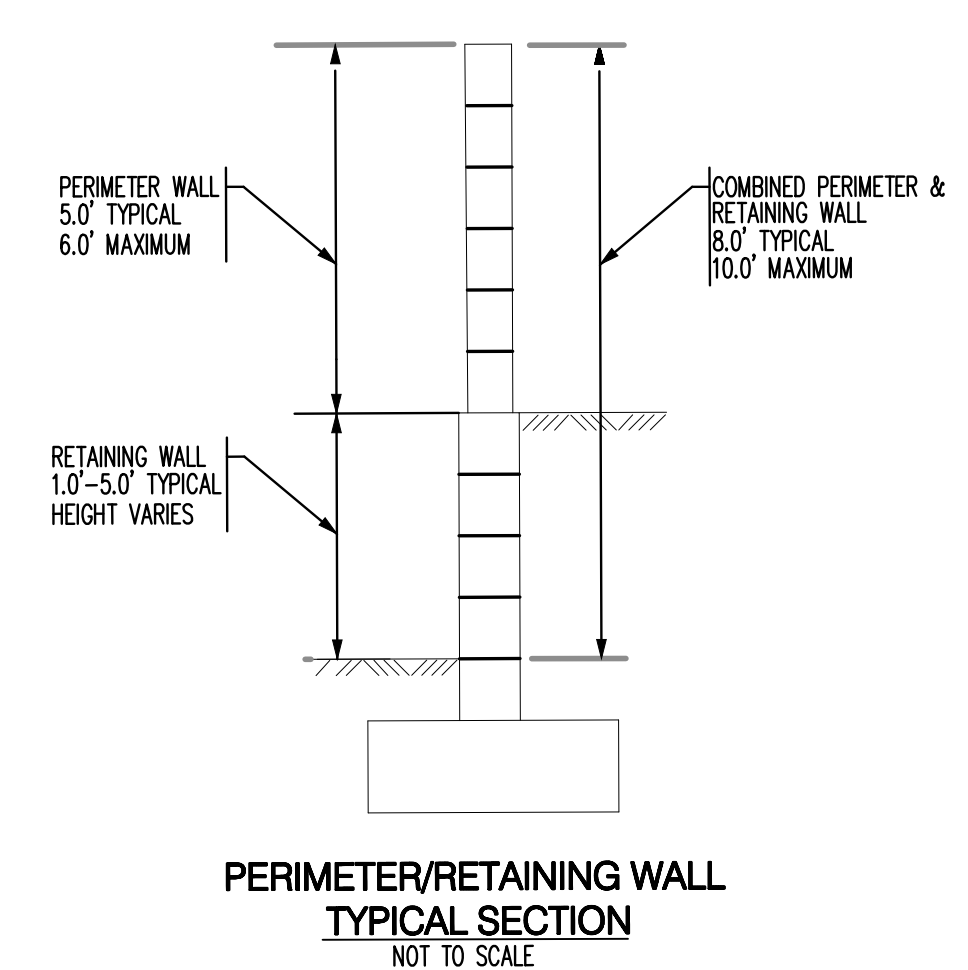
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	ADJOINING PROPERTY LINE
	PROPOSED EASEMENT
	PROPOSED STANDARD CURB & GUTTER
	PROPOSED CURB RAMP
	PROPOSED STREET LIGHT

Tangent Table

ID	BEARING	LENGTH
T1	S51°27'54"E	351.99'
T2	S38°24'17"E	275.85'
T3	S06°50'32"E	290.85'
T4	N89°58'28"W	742.27'
T5	N20°11'36"E	443.76'

Curve Table

ID	RADIUS	ARC	TANGENT	CHORD LENGTH
C1	11294.16'	325.77'	162.89'	325.75'



LEGAL DESCRIPTION

Tract Three-B-Three (3B-3) of Lands of IHS Acquisition No. 120 Inc. as the same is shown and designated on the plat of Tracts 3B-1, 3B-2 and 3B-3, a subdivision of Tract 3B, Land of IHS Acquisition No. 120, Inc. within Projected Sections 11 and 14, T11N, R3E, NMPM, City of Albuquerque, Elena Gallegos Land Grant, Bernalillo County, New Mexico, March 2010, filed in the office of the County Clerk of Bernalillo County, New Mexico on April 15, 2010, in Plat Book 2010, Page 0046, Document No. 2010031804.

SITE

The site is currently vacant, zoned R-T. In accordance with the IDO it is proposed to develop the 7.7593 acre site into 34 Single Family Detached Homes.

The City of Albuquerque shall not be held responsible for Ascension Homeowner Association complaints regarding loud noise during events at Balloon Fiesta Park.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS

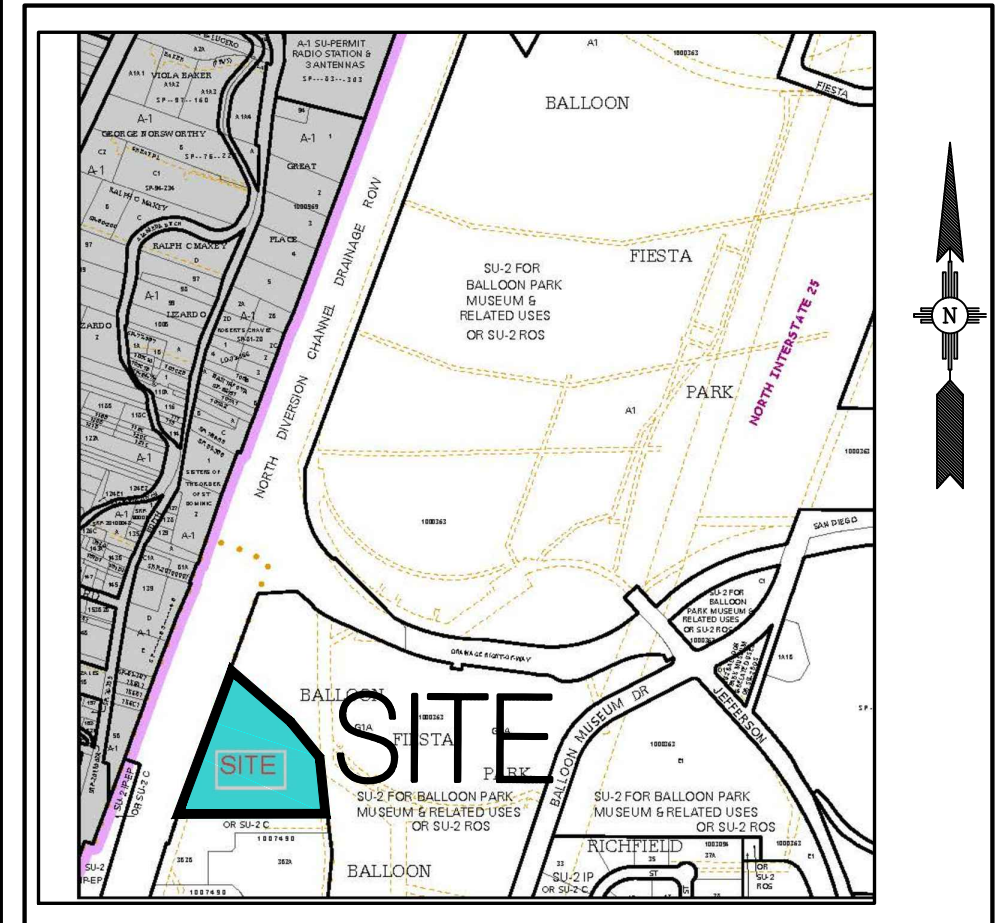
VEHICULAR ACCESS: Access to the site will be from Horizon Boulevard. No lots shall have direct access to Horizon Boulevard, Short Hoop Road or Balloon Fiesta Park.

PEDESTRIAN ACCESS: There is a gated pedestrian access to Horizon Boulevard, and to the AMAFCA North Diversion Channel right-of-way through an easement on Tract B.

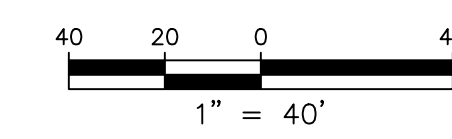
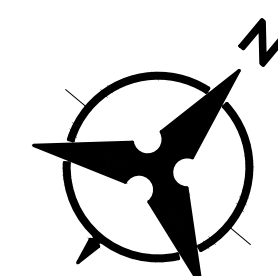
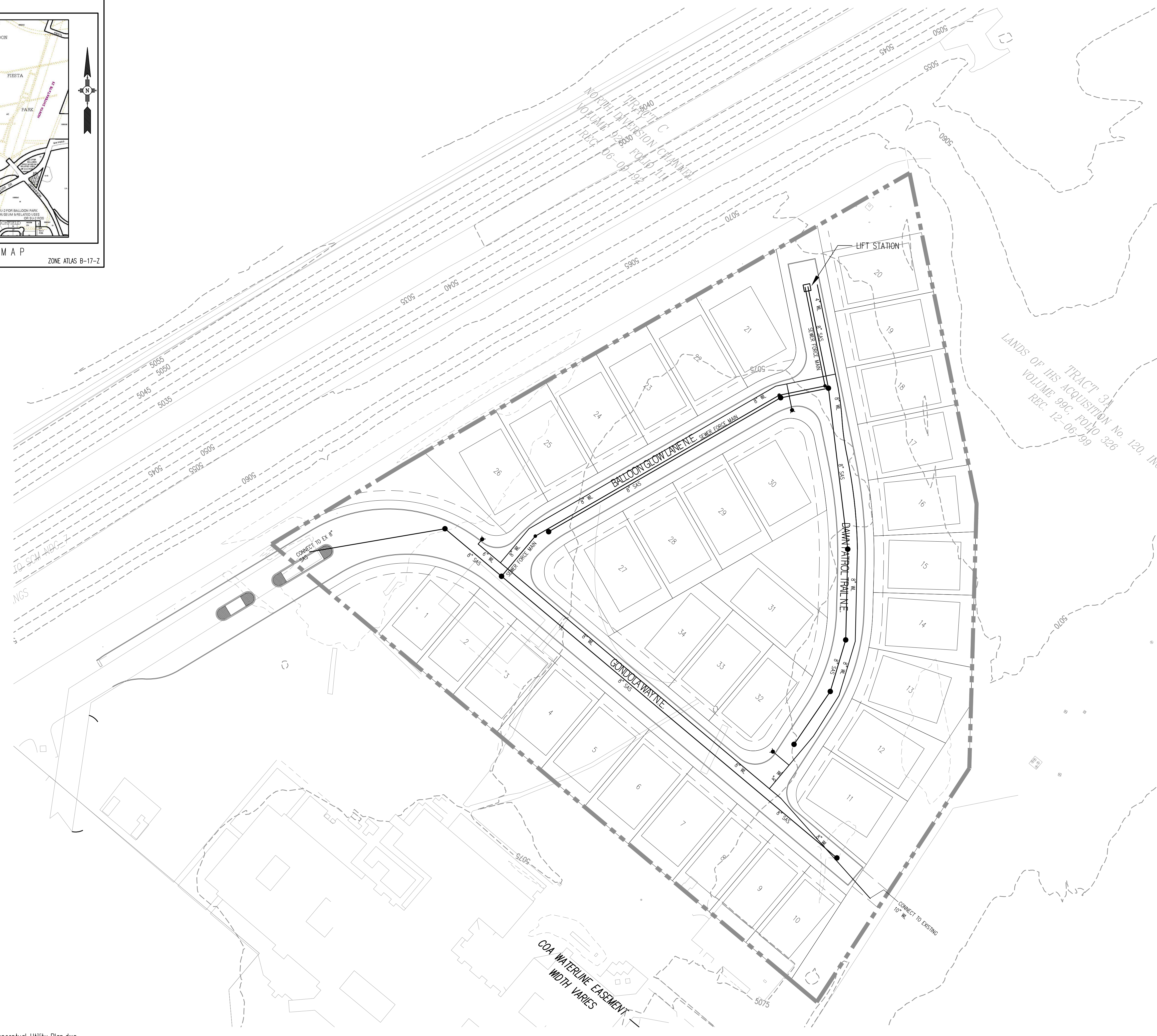
PERIMETER WALL

A perimeter wall will be constructed around the entire site. See detail this sheet.

CONCEPTUAL UTILITY PLAN
ASCENSION SUBDIVISION



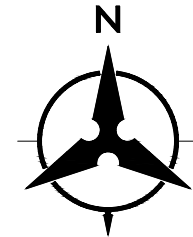
NOT TO SCALE VICINITY MAP ZONE ATLAS B-17-Z



LEGEND

- EXISTING EASEMENT
- EXISTING SANITARY SEWER
- EXISTING WATER LINE
- EXISTING STORM DRAIN
- EXISTING WATER METER
- EXISTING CAP
- EXISTING VALVE
- EXISTING FIRE HYDRANT
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM DRAIN
- PROPOSED SANITARY SEWER
- PROPOSED WATER LINE
- PROPOSED STORM DRAIN LINE
- PROPOSED VALVE
- PROPOSED HYDRANT
- PROPOSED CAP
- PROPOSED WATER METER
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED STORM DRAIN

EXHIBIT "B" ASCENSION SIDEWALK DEFERRAL DECEMBER 2018



NOT TO SCALE

- BUILT sidewalks on sidelots.
- - - DEFERRED sidewalks to be built on a lot-by-lot basis as home construction is completed. The deferral is requested to reduce damage to sidewalks due to building construction activities.
- ● ● ● WAIVED sidewalks are requested on the stub street side where there are no houses fronting the street and across the front of Lot 20 (deferred sidewalk built to Lot 20 driveway).

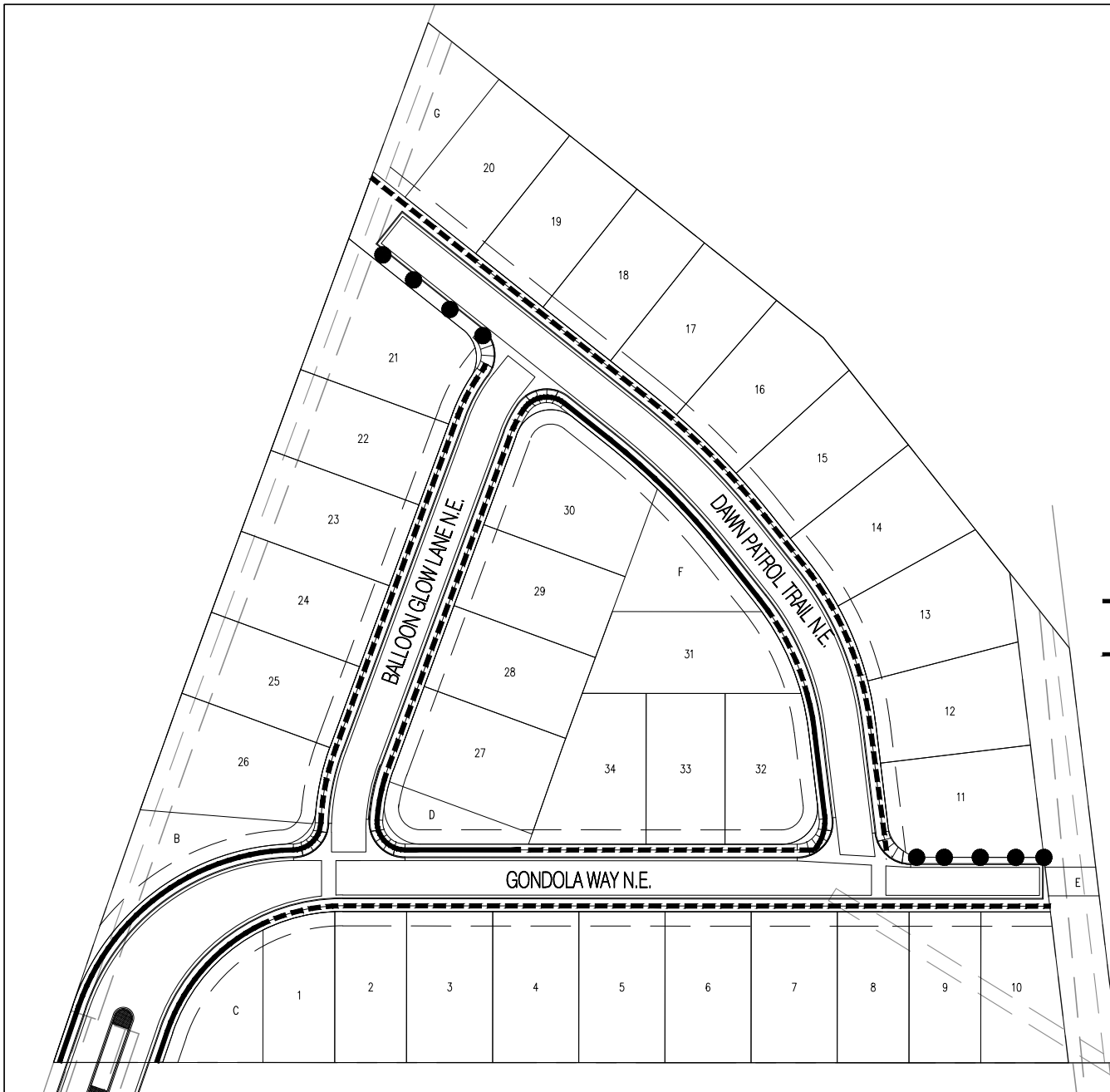
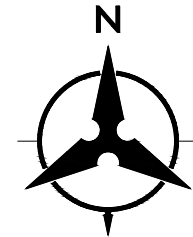
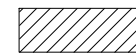


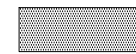
EXHIBIT "C" ASCENSION VACATION EXHIBIT MAY 2018



NOT TO SCALE



EXISTING 10' MST&T EASEMENT
(6/20/1993, BK, MISC. 24-A, PG
237-239, #83-40062) TO BE VACATED
WITH THIS PLAT. THE EASEMENT IS FOR AN
OVERHEAD LINE THAT SERVES AN EXISTING
BUILDING ON THE SITE. THE BUILDING WILL
BE DEMOLISHED WITH THIS PROJECT AND
THE LINE WILL BE REMOVED FROM THE
SITE. THEREFORE, THE EASEMENT IS NO
LONGER REQUIRED. SEE EXHIBIT A



EXISTING 20' PRIVATE DRAINAGE EASEMENT
(4/15/2010, 2010C-046) TO BE VACATED
WITH THIS PLAT. THE EASEMENT IS FOR A
STORM DRAIN LINE TO SERVE A PORTION
OF THE PROPERTY TO THE SOUTH AS
SHOWN ON THE SITE PLAN FOR BUILDING
PERMIT TRACT 3-B-2-A DRAINAGE PLAN.
THE STORM DRAIN WILL BE ROUTED IN THE
PRIVATE STREETS. THEREFORE, THE
EASEMENT IS NO LONGER REQUIRED. SEE
EXHIBIT B.



Mountain States Telephone And Telegraph Company Representative

Dennis G. Quintana

N. M. Form 7321A 1-73

Exchange ABQ - ACADEMY

R/W 28958

Job No. N2-0949

RIGHT-OF-WAY EASEMENT

The Undersigned Grantor (and each and all of them if more than one) for and in consideration of certain valuable considerations dollars (\$ / / / / /) in hand paid by the Grantee, the receipt whereof is hereby acknowledged, hereby grants, bargains and conveys unto The Mountain States Telephone And Telegraph Company, a Colorado corporation, 931 14th Street, Denver, Colorado, 80202, Grantee, its successors, assigns, lessees, licensees and agents a Right-of-Way easement and the right to construct, operate, maintain and remove such communication and other facilities, from time to time, as said Grantee may require upon, over, under and across the following described land which the Grantor owns or in which the Grantor has any interest, to wit:

An easement seven (7) feet in width:

Said easement is described as follows; beginning at the most southerly property corner point 'A', thence northeasterly adjoining the southeasterly property line (record S 45° 45' 05" W, 484.00 feet) to point 'B', thence north adjoining the easterly property line (record S 04° 51' 57" W, 560.97 feet) to point 'C'; thence forth adjoining the easterly property line (record S 07° 06' 52" E 472.51 feet) a distance of 171.00 feet to point 'D' thence an easement ten (10) feet in width as follows: N 56° 56' 12" W a distance of 223.00 feet to point 'E' the terminus, which lies three (3) feet N 33° 03' 49" E from an existing power pole, as shown and designated on an unrecorded PLAT OF SURVEY OF LANDS OF SISTERS OF ST. DOMINIC OF NAZARETH OF NEW MEXICO AND VISTA HILL FOUNDATION SECTIONS 11 and T11N, R3E, N.M.P.M. BERNALILLO COUNTY, NEW MEXICO, Marked Exhibit "A" and by reference becoming a part hereof,

situate in County of Bernalillo, State of New Mexico, TOGETHER with the right of ingress and egress over and across the lands of the Grantor to and from the above-described property, the right to clear and keep cleared all trees and other obstructions as may be necessary and the right to permit other utility companies to use the right of way jointly with Grantee for their utility purposes.

The Grantor reserves the right to occupy, use, and cultivate said property for all purposes not inconsistent with the rights herein granted.

SIGNED AND DELIVERED this _____ day of _____, A. D., 19 _____

at _____ VISTA HILL FOUNDATION, A California Nonprofit Corporation BY Ronald E. Fickle Ronald E. Fickle, Its Chairman and Chief Executive Officer

STATE OF CALIFORNIA) COUNTY OF SAN DIEGO) ss.

This instrument was acknowledged before me this 10 day of June 19 83, by Ronald E. Fickle, Chairman of the Board of Directors and Chief Executive Officer of Vista Hill Foundation, a California non-profit corporation, on behalf of the corporation.

[Signature] Notary Public

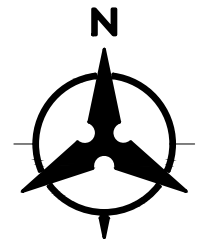
My Commission Expires: _____



Section 11 & 14 Township 11 North Range 3 East

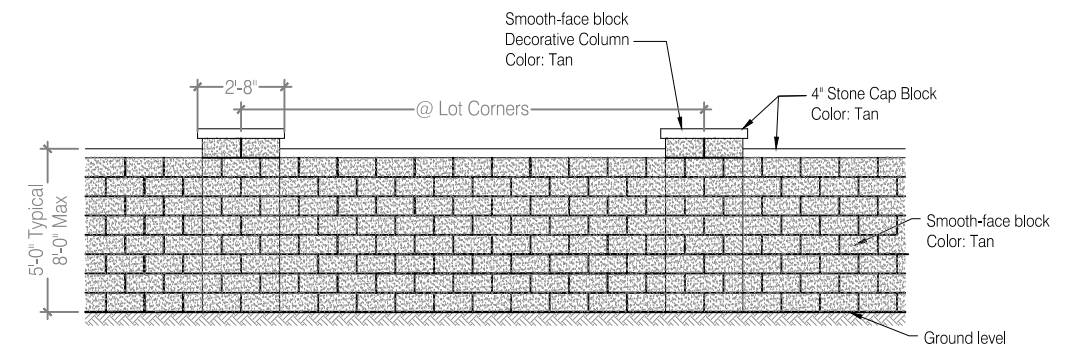
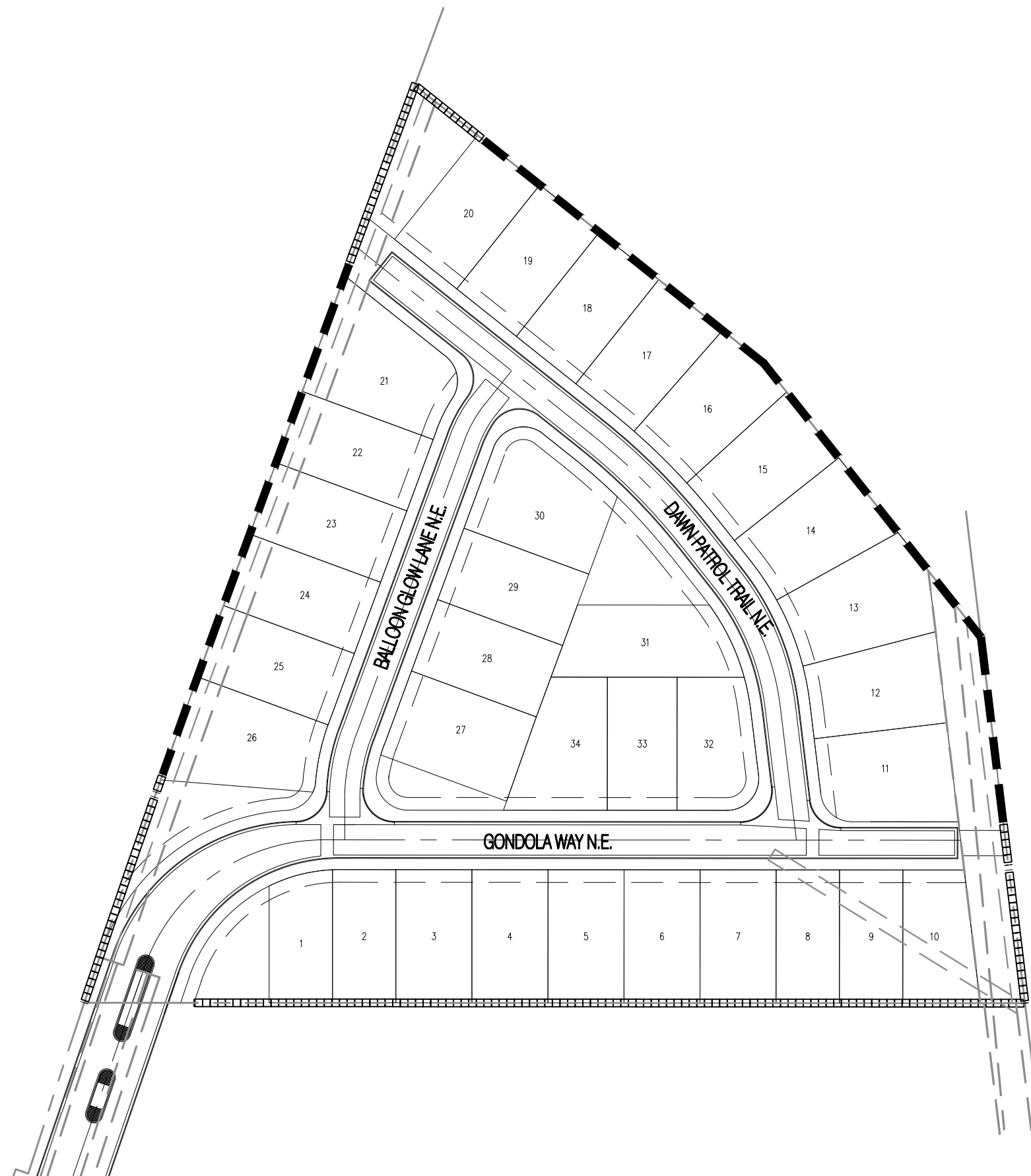
238

EXHIBIT "E" ASCENSION PERIMETER WALL EXHIBIT NOVEMBER 2018

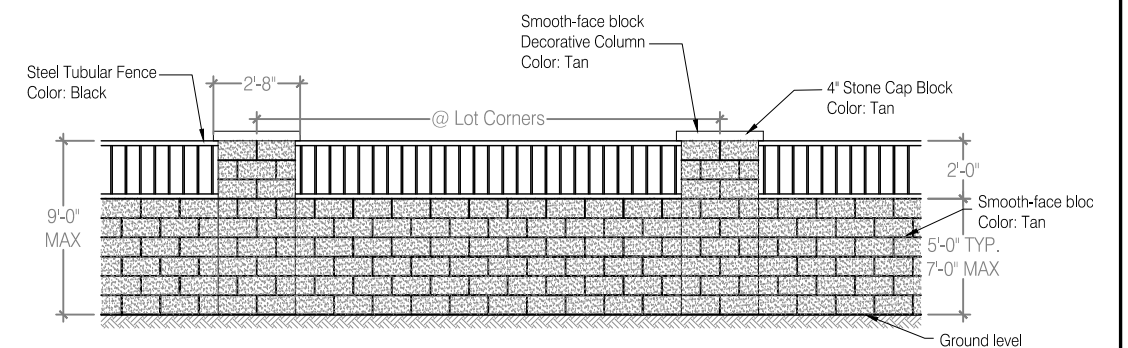


NOT TO SCALE

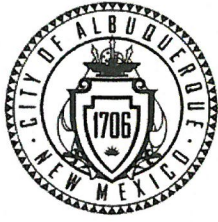
- PERIMETER WALL 'A' LOCATION
- PERIMETER WALL 'B' LOCATION



PERIMETER WALL TYPE 'A'



PERIMETER WALL TYPE 'B'



City of Albuquerque
P.O. Box 1293 Albuquerque, NM 87103
Planning Department
David S. Campbell, Director

Tim Keller, Mayor
Sarita Nair, CAO

DATE: April 12, 2018

SUBJECT: Albuquerque Archaeological Ordinance - Compliance Documentation

Case Number(s): 1010693
Agent: Bohannon Huston, Inc.
Applicant: Gama Development, LLC
Legal Description: Track 3B-3 of a subdivision of Track 3-B Lands of IHS Acquisition No. 120 Inc.
Zoning: IHS SU-2/Hospital and Medical
Acreage: 7.7593 acres
Zone Atlas Page(s): B-17

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

SUPPORTING DOCUMENTATION:

SITE VISIT: Site inspection conducted April 19, 2018

RECOMMENDATIONS:

CERTIFICATE OF NO EFFECT ISSUED - ref O-07-72 Section 4B(2): property has been disturbed through previous land use/development

SUBMITTED BY:

Ethan Kalosky, MA
Cultural Resource Specialist
Acting City Archaeologist
Parametrix

4/12/18
Date

SUBMITTED TO:

Russell Brito, Planning Manager
City of Albuquerque Planning Department

Michael Balaskovits

From: Quevedo, Vicente M. <vquevedo@cabq.gov>
Sent: Tuesday, September 18, 2018 3:46 PM
To: Michael Balaskovits
Subject: Neighborhood Meeting Inquiry_8820 Horizon Blvd NE_EPC
Attachments: IDOZoneAtlasPage_B-17-ZSITE.PDF; Neighborhood Meeting Inquiry_8820 Horizon Blvd NE_EPC.xlsx; Neighborhood Mtg Inq Instruction Sheet_5_21_18.pdf

Michael,

See list of affected associations below and attached related to your coordination of a neighborhood meeting. Please also review the attached instruction sheet. Thank you.

Association Name	First Name	Last Name	Email	Address Line 1
Alameda North Valley Association	Steve	Wentworth	anvanews@aol.com	8919 Boe Lane NE
Alameda North Valley Association	Mark	Rupert	mwr505@hotmail.com	909 Tijeras Avenue NW, #116
North Edith Commercial Corridor Association	Robert	Warrick	rlwarric@centurylink.net	444 Niagara NE
North Edith Commercial Corridor Association	Christine	Benavidez	christinebnvdz@aol.com	10417 Edith NE
Vista Del Norte Alliance	Fred	Harsany	fharsany@comcast.net	PO Box 6270
Vista Del Norte Alliance	Janelle	Johnson		PO Box 6270
Wildflower Area NA	Larry	Caudill	ltcaudill@comcast.net	4915 Watercress Drive NE
Wildflower Area NA	Charles	Bates	cefisher.67@gmail.com	5000 Watercress Drive NE
North Valley Coalition	Peggy	Norton	peggynorton@yahoo.com	P.O. Box 70232
North Valley Coalition	Doyle	Kimbrough	newmexmba@aol.com	2327 Campbell Road NW
District 4 Coalition of Neighborhood Associations	Michael	Pridham	michael@drpridham.com	6413 Northland Avenue N
District 4 Coalition of Neighborhood Associations	Daniel	Regan	dlreganabq@gmail.com	4109 Chama Street NE

Respectfully,

Vicente M. Quevedo, MCRP

Neighborhood Liaison
Office of Neighborhood Coordination
City of Albuquerque – City Council
(505) 768-3332

Website: www.cabq.gov/neighborhoods



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** ISD WebMaster
Sent: Monday, September 17, 2018 5:15 PM

To: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Neighborhood Meeting Inquiry Sheet Submission

Neighborhood Meeting Inquiry For:

Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Michael Balaskovits

Telephone Number

505-823-1000

Email Address

mbalaskovits@bhinc.com

Company Name

Bohannon Huston, Inc.

Company Address

7500 Jefferson St. NE

City

Albuquerque

State

NM

ZIP

87109

Legal description of the subject site for this project:

TR 3B-3 PLAT OF TRS 3B-1, 3B-2 & 3B-3 A SUBD OF TR 3B LANDOF IHS ACQUISTION NO.
120 INC CONT 7.7606 AC

Physical address of subject site:

8820 HORIZON BLVD NE

Subject site cross streets:

Horizon Blvd NE and Alameda Blvd, NE

Other subject site identifiers:

This site is located on the following zone atlas page:

B-17

=====

This message has been analyzed by Deep Discovery Email Inspector.

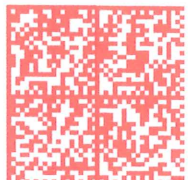


geometry	UPC	Owner	Owner Address	Owner Address 2	SITUS Address	SITUS Address 2	Legal Description	Property Class	Acres
Geocorte x.Gis.Geo metries.P olygon	10170650 64039307 07	C & S EQUITIES LLC	8814 HORIZON BLVD NE SUITE 400	ALBUQUERQUE NM 87113-1588	HORIZON BLVD NE	ALBUQUERQUE NM 87113	TR 3B-3 PLAT OF TRS 3B-1, 3B-2 & 3B-3 A SUBD OF TR 3B LANDOF IHS ACQUISITION NO. 120 INC CONT 7.7606 AC	R	7.7606
Geocorte x.Gis.Geo metries.P olygon	10170640 75515202 22	FIESTA PARK VI LP	3899 MAPLE AVE SUITE 250	DALLAS TX 75219-3913	8820 HORIZON BLVD NE	ALBUQUERQUE NM 87113	TR 3B-2-A AMENDED PLAT OF TRS 3B-1-A, 3B-2- A & 3B-2-B LANDOF IHS ACQUISITION NO. 120 INC (AMENDED PLAT OF TRS 3B-1 & 3B-2) CONT 4.6876 AC	C	4.6876
Geocorte x.Gis.Geo metries.P olygon	10170640 45526202 24	C & S EQUITIES LLC	8814 HORIZON BLVD NE SUITE 400	ALBUQUERQUE NM 87113-1588	HORIZON BLVD NE	ALBUQUERQUE NM 87113	TR 3B-2-B AMENDED PLAT OF TRS 3B-1-A, 3B-2- A & 3B-2-B LANDOF IHS ACQUISITION NO. 120 INC (AMENDED PLAT OF TRS 3B-1 & 3B-2) CONT 3.0237 AC	V	3.0237
Geocorte x.Gis.Geo metries.P olygon	10170651 37055307 06	CITY OF ALBUQUE RQUE	PO BOX 1293	ALBUQUERQUE NM 87103-2248	9201 BALLOON MUSEUM DR NE	ALBUQUERQUE NM 87113	TR G-1-A PLAT OF TRS A-1, B-1, C-1, D-1, E-1, F- 1, G-1-A, H-1, I-1-A & I-2-A BALLOON FIESTA PARK CONT 55.0744 AC	C	55.0744

Bohannan ▲ **Huston**

Courtyard 1
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

Larry Caudill
4915 Watercross Drive NE
Albuquerque, NM 87113



FP **US POSTAGE**
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Bohannan ▲ **Huston**

Courtyard 1
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

Regan Daniel
4109 Chama Street NE
Albuquerque, NM 87109

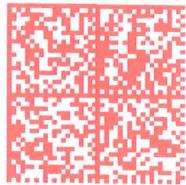


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Bohannan ▲ **Huston**

Courtyard 1
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

Mr. Fred Harsany
PO Box 6270
Albuquerque, NM 87197



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Bohannan ▲ **Huston**

Courtyard 1
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

Ms. Janelle Johnson
P.O. Box 6270
Albuquerque, NM 87197




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Bohannan  **Huston**

Courtyard 1
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

Doyle Kimbrough
2327 Campbell Road NW
Albuquerque, NM 87104




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Bohannan  **Huston**

Courtyard 1
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

Peggy Norton
P.O. Box 70232
Albuquerque, NM 87197



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Bohannan  **Huston**

Courtyard 1
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

Michael Pridham
6413 Northland Avenue NE
Albuquerque, NM 87109




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Bohannan  **Huston**

Courtyard 1
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

Mr. Mark Rupert
909 Tijeras Avenue NW, #116
Albuquerque, NM 87102



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Bohannan ▲ **Huston**

Courtyard 1
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

Mr. Robert Warrick
444 Niagara NE
Albuquerque, NM 87113



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Bohannan ▲ **Huston**

Courtyard 1
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

Mr. Steve Wentworth
8919 Boe Lane NE
Albuquerque, NM 87113



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Bohannan  **Huston**

Courtyard 1
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

To Whom It May Concern
PO BOX 1293
Albuquerque, NM 87113



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Mailed From 87109
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Bohannan  **Huston**

Courtyard 1
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

To Whom It May Concern
8814 Horizon Blvd NE Suite 400
Albuquerque, NM 87113




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Mailed From 87109
032A 0061805678

Bohannan  **Huston**

Courtyard 1
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

To Whom It May Concern
8814 Horizon Blvd NE Suite 400
Albuquerque, NM 87113




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Mailed From 87109
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Bohannan  **Huston**

Courtyard 1
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

To Whom It May Concern
3899 Maple Ave Suite 250
Dallas, TX 75219-3913



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First-Class
Mailed From 87109
032A 0061805678

FIRST CLASS MAIL

December 14, 2018

PO BOX 1293
ALBUQUERQUE NM 87113

Re: Preliminary Plat and Vacation of Public Easement, Ascension Subdivision

To whom it may concern:

The City of Albuquerque's GIS system map has identified you as being within 100' of the above mention project.

This letter is to advise you that Bohannon Huston, Inc., agent for Gamma Development, LLC, is seeking approval for a Preliminary Plat for the Ascension Subdivision and the vacation of a public utility easement. See the attached Zone Atlas Page for the project location.

Ascension is a proposed 7.8-acre, 34-lot residential subdivision at the north end of Horizon Boulevard, north of Alameda Boulevard and south of Balloon Fiesta Park. Access to the site will be from Horizon Boulevard. The public utility easement vacation is to remove an easement for an overhead powerline within the site. The powerline no longer exists and therefore the easement is no longer required. In addition, new public utility easements will be granted by the Ascension plat.

The Development Review Board Public Hearing will be heard on January 9th, starting at 9:00 am at the Plaza del Sol Building Basement Hearing Room, located at 600 2nd Street NW.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Mike Balaskovits, P.E.
Vice President
Community Development and Planning Group

Enclosure

FIRST CLASS MAIL

December 14, 2018

8814 HORIZON BLVD NE SUITE 400
ALBUQUERQUE NM 87113

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Sincerely,



Mike Balaskovits, P.E.
Vice President
Community Development and Planning Group

Enclosure

FIRST CLASS MAIL

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

December 14, 2018

3899 MAPLE AVE SUITE 250
DALLAS TX 75219-3913

Re: Preliminary Plat and Vacation of Public Easement, Ascension Subdivision

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Sincerely,



Mike Balaskovits, P.E.
Vice President
Community Development and Planning Group

Enclosure

FIRST CLASS MAIL

December 14, 2018

8814 Horizon Blvd NE, Suite 400
Albuquerque, NM 87113-1588

Albuquerque, NM 87113-1588

Re: Preliminary Plat and Vacation of Public Easement, Ascension Subdivision

To whom it may concern:

The City of Albuquerque's GIS system map has identified you as being within 100' of the above mention project.

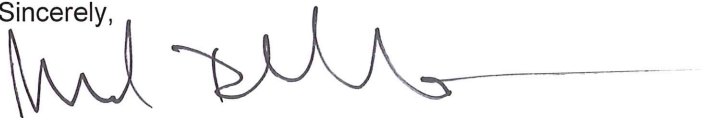
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Sincerely,



Mike Balaskovits, P.E.
Vice President
Community Development and Planning Group

Enclosure

Engineering ▲

Spatial Data ▲

Advanced Technologies ▲

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

December 14, 2018

Steve Wentworth
8919 Boe Lane NE
Albuquerque, NM 87113

Re: Preliminary Plat and Vacation of Public Easement, Ascension Subdivision

Dear Mr. Wentworth:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the ALAMEDA NORTH VALLEY ASSOCIATION.

This letter is to advise you that Bohannon Huston, Inc., agent for Gamma Development, LLC, is seeking approval for a Preliminary Plat for the Ascension Subdivision and the vacation of a public utility easement. See the attached Zone Atlas Page for the project location.

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Affected Neighborhood Associations and Homeowner Associations may request a Facilitated Meeting regarding this project by contacting the Alternative Dispute Resolution (ADR) Program by email at stripzett@cabq.gov or by phone at (505) 768-4712 or (505) 768-4660. A facilitated meeting request must be received by ADR by Monday, December 24, 2018.

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Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Mike Balaskovits, P.E.
Vice President
Community Development and Planning Group

Enclosure

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

December 14, 2018

Mark Rupert
909 Tijeras Ave NW, #116
Albuquerque, NM 87102

Re: Preliminary Plat and Vacation of Public Easement, Ascension Subdivision

Dear Mr. Rupert:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the ALAMEDA NORTH VALLEY ASSOCIATION.

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Sincerely,



Mike Balaskovits, P.E.
Vice President
Community Development and Planning Group

Enclosure

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

December 14, 2018

Robert Warrick
444 Niagara NE
Albuquerque, NM 87113

Re: Preliminary Plat and Vacation of Public Easement, Ascension Subdivision

Dear Mr. Warrick:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the NORTH EDITH COMMERCIAL CORRIDOR ASSOCIATION.

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Sincerely,


Mike Balaskovits, P.E.
Vice President
Community Development and Planning Group

Enclosure

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

December 14, 2018

Christine Benavidez
10417 Edith NE
Albuquerque, NM 87113

Re: Preliminary Plat and Vacation of Public Easement, Ascension Subdivision

Dear Ms. Benavidez:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the NORTH EDITH COMMERCIAL CORRIDOR ASSOCIATION.

This letter is to advise you that Bohannon Huston, Inc., agent for Gamma Development, LLC, is seeking approval for a Preliminary Plat for the Ascension Subdivision and the vacation of a public utility easement. See the attached Zone Atlas Page for the project location.

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Sincerely,



Mike Balaskovits, P.E.
Vice President
Community Development and Planning Group

Enclosure

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

December 14, 2018

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

Fred Harsany
PO Box 6270
Albuquerque, NM 87197

Re: Preliminary Plat and Vacation of Public Easement, Ascension Subdivision

Dear Mr. Harsany:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the VISTA DEL NORTE ALLIANCE.

This letter is to advise you that Bohannon Huston, Inc., agent for Gamma Development, LLC, is seeking approval for a Preliminary Plat for the Ascension Subdivision and the vacation of a public utility easement. See the attached Zone Atlas Page for the project location.

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Sincerely,



Mike Balaskovits, P.E.
Vice President
Community Development and Planning Group

Enclosure

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

December 14, 2018

Janelle Johnson
P.O. Box 6270
Albuquerque, NM 87197

Re: Preliminary Plat and Vacation of Public Easement, Ascension Subdivision

Dear Ms. Johnson:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the VISTA DEL NORTE ALLIANCE.

This letter is to advise you that Bohannon Huston, Inc., agent for Gamma Development, LLC, is seeking approval for a Preliminary Plat for the Ascension Subdivision and the vacation of a public utility easement. See the attached Zone Atlas Page for the project location.

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Sincerely,



Mike Balaskovits, P.E.
Vice President
Community Development and Planning Group

Enclosure

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

December 14, 2018

Larry Caudill
4915 Watercress Drive NE
Albuquerque, NM 87113

Re: Preliminary Plat and Vacation of Public Easement, Ascension Subdivision

Dear Mr. Caudill:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the WILDFLOWER AREA NA.

This letter is to advise you that Bohannon Huston, Inc., agent for Gamma Development, LLC, is seeking approval for a Preliminary Plat for the Ascension Subdivision and the vacation of a public utility easement. See the attached Zone Atlas Page for the project location.

Ascension is a proposed 7.8-acre, 34-lot residential subdivision at the north end of Horizon Boulevard, north of Alameda Boulevard and south of Balloon Fiesta Park. Access to the site will be from Horizon Boulevard. The public utility easement vacation is to remove an easement for an overhead powerline within the site. The powerline no longer exists and therefore the easement is no longer required. In addition, new public utility easements will be granted by the Ascension plat.

Affected Neighborhood Associations and Homeowner Associations may request a Facilitated Meeting regarding this project by contacting the Alternative Dispute Resolution (ADR) Program by email at stripnett@cabq.gov or by phone at (505) 768-4712 or (505) 768-4660. A facilitated meeting request must be received by ADR by Monday, December 24, 2018.

The Development Review Board Public Hearing will be heard on January 9th, starting at 9:00 am at the Plaza del Sol Building Basement Hearing Room, located at 600 2nd Street NW.

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Mike Balaskovits, P.E.
Vice President
Community Development and Planning Group

Enclosure

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

December 14, 2018

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

Charles Bates
5000 Watercress Drive NE
Albuquerque, NM 87113

Re: Preliminary Plat and Vacation of Public Easement, Ascension Subdivision

Dear Mr. Bates:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the WILDFLOWER AREA NA.

This letter is to advise you that Bohannon Huston, Inc., agent for Gamma Development, LLC, is seeking approval for a Preliminary Plat for the Ascension Subdivision and the vacation of a public utility easement. See the attached Zone Atlas Page for the project location.

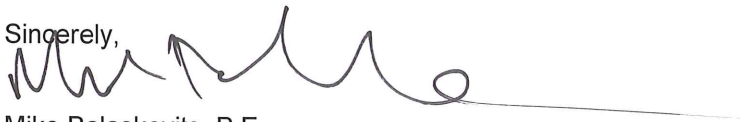
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toll free: 800.877.5332

Peggy Norton
PO Box 70232
Albuquerque, NM 87197

Re: Preliminary Plat and Vacation of Public Easement, Ascension Subdivision

Dear Ms. Norton:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the NORTH VALLEY COALITION.

This letter is to advise you that Bohannon Huston, Inc., agent for Gamma Development, LLC, is seeking approval for a Preliminary Plat for the Ascension Subdivision and the vacation of a public utility easement. See the attached Zone Atlas Page for the project location.

Ascension is a proposed 7.8-acre, 34-lot residential subdivision at the north end of Horizon Boulevard, north of Alameda Boulevard and south of Balloon Fiesta Park. Access to the site will be from Horizon Boulevard. The public utility easement vacation is to remove an easement for an overhead powerline within the site. The powerline no longer exists and therefore the easement is no longer required. In addition, new public utility easements will be granted by the Ascension plat.

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December 14, 2018

Doyle Kimbrough
2327 Campbell RD NW
Albuquerque, NM 87104

Re: Preliminary Plat and Vacation of Public Easement, Ascension Subdivision

Dear Mr. Kimbrough:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the NORTH VALLEY COALITION.

This letter is to advise you that Bohannon Huston, Inc., agent for Gamma Development, LLC, is seeking approval for a Preliminary Plat for the Ascension Subdivision and the vacation of a public utility easement. See the attached Zone Atlas Page for the project location.

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toll free: 800.877.5332

Michael Pridham
6413 Northland Ave NE
Albuquerque, NM 87109

Re: Preliminary Plat and Vacation of Public Easement, Ascension Subdivision

Dear Mr. Pridham:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the DISTRICT 4 COALITION OF NEIGHBORHOOD ASSOCIATIONS.

This letter is to advise you that Bohannon Huston, Inc., agent for Gamma Development, LLC, is seeking approval for a Preliminary Plat for the Ascension Subdivision and the vacation of a public utility easement. See the attached Zone Atlas Page for the project location.

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December 14, 2018

Daniel Regan
4109 Chama St NE
Albuquerque, NM 87109

Re: Preliminary Plat and Vacation of Public Easement, Ascension Subdivision

Dear Mr. Regan:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the DISTRICT 4 COALITION OF NEIGHBORHOOD ASSOCIATIONS.

This letter is to advise you that Bohannon Huston, Inc., agent for Gamma Development, LLC, is seeking approval for a Preliminary Plat for the Ascension Subdivision and the vacation of a public utility easement. See the attached Zone Atlas Page for the project location.

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Sincerely,



Mike Balaskovits, P.E.
Vice President
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CITY OF ALBUQUERQUE

LAND USE FACILITATION PROGRAM

PROJECT MEETING REPORT

Project #: 1010693
Property Description: All or a portion of Tracts 3B-1, 3B-2, and 3B-3, a Subdivision of Tract 3B Lands of IHS Acquisition #120 Inc., located on Horizon Blvd. between Alameda Blvd. and Balloon Fiesta Park, containing approximately 7.76 acres

Date Submitted: May 15, 2018
Submitted By: Jessie Lawrence

Meeting Date/Time: May 14, 2018; 6:00 PM
Meeting Location: North Domingo Baca Multigenerational Center

Facilitator: Jessie Lawrence
Co-facilitator: Leslie Kryder

Parties (individual names and affiliations of attendees are listed at the end of the report):

- **Applicant:**
 - o Gamma Development, LLC
- **Agent:**
 - o Bohannon Huston Inc.
- **Affected Neighborhood Associations (per CABQ notification requirements):**
 - o Alameda North Valley Association
 - o North Edith Commercial Corridor Association
 - o Vista del Norte Alliance
 - o Wildflower Area NA

Background/Meeting Summary:

Applicant requests a preliminary plat approval, sidewalk deferral/waiver, public easement vacation, and site development plan for building permit approval for all or a portion of Tracts 3B-1, 3B-2, and 3B-3, a Subdivision of Tract 3B Lands of IHS Acquisition #120 Inc., zoned SU-2 for LMDR, located on Horizon Blvd. between Alameda Blvd. and Balloon Fiesta Park. Applicant plans to develop a 34-lot residential single-family subdivision on the site, to be known as Ascension Subdivision.

Most concerns discussed were about how the proposed project might interact or conflict with the Balloon Fiesta and Balloon Fiesta Park events. In response to questions and concerns from other meeting participants, Applicant expressed a willingness to adapt to ensure that there are not major conflicts from construction during Balloon Fiesta, and also stated that they would include information in the purchase contract and the covenants,

CITY OF ALBUQUERQUE

LAND USE FACILITATION PROGRAM

PROJECT MEETING REPORT

conditions, and restrictions so buyers are aware of the location next to the Balloon Fiesta Park and the related activities. Outstanding concerns included a concern that purchase documents and CC&Rs are not enough and there should be a deed restriction regarding the Balloon Fiesta Park and balloon events, and a concern that the property would be better purchased by the City or used as public open space rather than developed.

Outcomes:

- *Areas of Agreement*
 - In response to a meeting participant concern, Applicant expressed a willingness to adapt to ensure that there are not major conflicts from this project's construction during Balloon Fiesta.
 - In response to a meeting participant concern, Applicant stated that they would include information in the purchase contract and the covenants, conditions, and restrictions so buyers are aware of the location next to the Balloon Fiesta Park.
- *Unresolved Issues & Concerns*
 - A meeting participant expressed a concern that purchase documents and CC&Rs are not enough, and there should be a deed restriction regarding the Balloon Fiesta Park and balloon events; Applicant stated that they would be unwilling to do a deed restriction.
 - A meeting participant expressed a concern that the property would be better purchased by the City or used as public open space rather than developed.

Meeting Specifics:

- 1) Overview of Proposed Project
 - a) Scott Steffen, representing Agent Bohannon Huston Inc., and Brian McCarthy and Chris Scott, representing Applicant Gamma Development and Abrazo Homes, presented an overview of the project.
 - b) The property is slightly less than eight acres at the north end of an existing commercial subdivision off Alameda, with access at the north end of Horizon Blvd.
 - i) The site is just south of the southern edge of the Balloon Fiesta parking lot.
 - c) The request is for preliminary plat approval, site development plan for subdivision approval, and vacation of public and private easements.
 - d) The proposed project is a 34-lot single-family residential subdivision.
 - i) The project will be gated, with private streets maintained by the HOA with easements for sewer, water, and storm drain.
 - ii) Gamma Development will complete the subdivision infrastructure, and Abrazo Homes will build homes on the lots.
 - e) The site was rezoned in March 2016 from C-2 to SU-2 for LMDR.
- 2) Questions and Concerns
 - a) A meeting participant asked for confirmation that access will be off Horizon Blvd. only.

CITY OF ALBUQUERQUE

LAND USE FACILITATION PROGRAM

PROJECT MEETING REPORT

- i) Agent confirmed.
- b) A meeting participant asked about the public and private easements that are being vacated.
 - i) Agent said that there is a 20-foot drainage easement along the west edge of the property, and the drainage will be rerouted.
 - ii) There is also an easement starting at the southeast corner of the property that is no longer needed.
 - iii) As part of the project, public utility easements will be dedicated adjacent to the roads.
- c) A meeting participant asked if there would be any impact fees associated with the utilities in the development, or if there would be a cost to taxpayers.
 - i) Applicant stated that the infrastructure would be funded by the developer and paid via the sale of the houses in the subdivision, and would not have a cost to taxpayers, but would grow the tax base by 34 homes.
- d) A meeting participant asked if the land has already been acquired.
 - i) Applicant said it is under contract, subject to approval of the preliminary plat.
- e) A meeting participant said that he sees this development as a major encroachment on facilities for balloonists and would prefer to see the City purchase the land and keep it as open space.
 - i) The meeting participant stated that this is a major opportunity for the City to make this into a park supporting balloon landings, rather than a development that would compromise balloons.
- f) A meeting participant asked what the anticipated home size would be.
 - i) Applicant said that the homes would not exceed 26 feet, and said that existing nearby buildings are taller and taller buildings could be permitted.
 - (1) Another meeting participant said that the North I-25 Sector Development Plan changed the maximum height to close to 26 feet, and the nearby taller building is grandfathered in.
 - ii) Applicant said that the size of homes would be 1800 to 3200 square feet.
- g) A meeting participant asked if electrical utilities would all be underground.
 - i) Applicant said the electric lines on the site would be underground.
 - ii) It would be too expensive to bury all of the large lines crossing the diversion channel because of the burial depth, though Applicant stated they would like to bury some if possible.
- h) A meeting participant asked about the project timeline.
 - i) Agent said that they hope to be moving dirt by late summer.
 - ii) Applicant said that subdivision construction would then be 4-5 months, then 5-6 months for home construction, so it would be at least 12 months from now before people might move in.
 - iii) The meeting participant asked what kind of construction might be taking place during Balloon Fiesta.

CITY OF ALBUQUERQUE

LAND USE FACILITATION PROGRAM

PROJECT MEETING REPORT

- (1) Applicant said that he had been warned by a member of the Fiesta Board about limited access during Balloon Fiesta, and stated that they are cognizant of the Fiesta and would not ask the Fiesta to work around them.
- i) A meeting participant asked if there would be an agreement given to homebuyers alerting them of the traffic, noise, and other issues during Balloon Fiesta.
- i) Applicant stated that they will prepare a purchase contract addendum to that effect.
- ii) A meeting participant asked about subsequent purchasers.
- (1) Applicant stated that they cannot impose on subsequent purchasers without a deed restriction, but plan to disclose and can provide copies of the disclosure to Fiesta organizers.
- iii) A meeting participant asked if the HOA could make sure residents know about Balloon Fiesta.
- (1) Applicant stated that the HOA could ensure that the CC&Rs get passed to subsequent buyers, but they cannot control that they sign off and acknowledge receipt.
- iv) A meeting participant noted that there are other events throughout the year in addition to Balloon Fiesta, and those should be disclosed as well.
- v) A meeting participant stated that he believes that whatever is put in place needs to be a deed restriction that runs with the land so the information doesn't get lost and residents understand the impact of the facility, and stated that there are major advantages to deed restrictions vs. HOA documents or covenants.
- (1) Applicant said that they would not agree to have deed restrictions on the property.
- vi) Applicant said that they are in agreement about disclosure, and they see the Balloon Fiesta and the park as an amenity.
- (1) A meeting participant said that he agreed, but some people find it's not always pleasant when it's in your back yard.
- j) A meeting participant said that there are many events, including soccer practice from February to September, and the current master plan shows a community center in the current parking area west of the Balloon Museum.
- i) Applicant asked if the meeting participant could provide the master plan.
- (1) The meeting participant said he had a copy somewhere, and it is also a City document.

Application Hearing Details:

- 1) Project hearing currently scheduled for Wednesday, May 16, 2018.
- 2) Hearing Details:
 - a. The Development Review Board (DRB) was established in March 1982, by Administrative Instruction 8-2. The DRB conducts public hearings on major subdivision actions (where no re-zoning or annexation is required), approves or denies proposed major and minor subdivision actions, vacations of public rights of way or public and private easements, subdivision variances. The

CITY OF ALBUQUERQUE LAND USE FACILITATION PROGRAM PROJECT MEETING REPORT

Development Review Board is charged with administering the City Subdivision Ordinance as well as other City ordinances and policies applicable to subdivision actions.

- b. The five members of the DRB are City staff representing the Planning Department, Parks and Recreation Department, City Engineer, Traffic Engineer and Water/Sewer Utilities Engineer.
- 3) Hearing Process:
- a. Comments from facilitated meetings will go into a report which goes to the DRB.
 - b. DRB meetings, a portion of which are public hearings, are held each Wednesday beginning at 9 a.m. in the Plaza del Sol Hearing Room at 600 2nd St NW. The public hearing portion of each week's agenda is announced in the Albuquerque Journal.

Any further questions or comments can be referred to:

Kym Dicome
kdicome@cabq.gov

Names and Affiliations of All Attendees:

Chuck Bates	WHOA
Chris Scott	Abrazo Homes
Barbara Fricke	Balloon Fiesta
Pat Hauser	HOA
Scott Steffen	Bohannan Huston
Petra Macher	
Paul Smith	Balloon Fiesta
Brian McCarthy	Abrazo Homes