



January 7, 2019

Mr. Russel Brito
Current Planning Manager
Urban Design & Development Division
City of Albuquerque Planning Department
505-924-3814 direct

**RE: PROJECT-1-25 N.W.C. OF 1-25 FRONTAGE RD AND VENICE AVENUE
ALBUQUERQUE, NEW MEXICO – SITE DEVELOPMENT PLAN FOR BUILDING
PERMIT ADMINISTRATIVE AMENDMENT**

Dear Mr. Brito:

Modulus Architects represents Venice Capital, LLC as the “Agent” and Architect of Record for this submittal of Site Development Plan for Building Permit. Project-I-25 is located on the Northwest corner of I-25 Frontage Road and Venice Avenue, currently undeveloped. This undeveloped parcel is approximately 1.755 acres in size. The proposed building area is approximately +/- 11,156 SQ FT of restaurant/brewery space.

This project was previously zoned SU-2-IP/C but is now zoned as NR-LM. The subsequent Development Review Board (DRB) approval (Project #1011348) and Site Development Plan for Building Permit was approved on August 1, 2018.

At this time, we are requesting an Administrative Amendment to the approved Site Development Plan for Building Permit to address tenant changes that occurred after the original approval was obtained as well as building elevation changes. These changes are primarily limited to building elevations and colors as well as minor adjustments to the Site Plan. Below is a summary of the changes that are identified in the AA drawings via bubbled areas.

Building Elevations

- Completely changed – The proposed new elevations are a great improvement in quality and aesthetics while meeting a cost-effective alternative for Venice Capital, LLC. All changes meet the design standards of the Integrated Development Ordinance (IDO).

Site Plan

- Widened the dumpster enclosure to allow for 2 dumpsters;



- Moved drive north due to larger dumpster enclosure;
- Adjusted parking spaces adjacent to west property line due to the drive moving north; and,
- Adjusted the parking on the east adjacent to the property line moved them north as well as parking spaces directly north of the building to allow for a ramp and landing/wider sidewalk directly outside of the main entry.

I look forward to reviewing our submittal with you. If you have any additional questions regarding this submittal please feel free to contact me directly at (505) 338-1499 or email at: awilliamson@modulusarchitects.com

Best Regards,

A handwritten signature in black ink that reads "Angela Williamson". The signature is written in a cursive, flowing style.

Angela Williamson, Principal
Modulus Architects, Inc.
100 Sun Ave. NE Suite 305
Albuquerque, NM 87109
Office: (505) 338-1499
Mobile: (505) 999-8016
awilliamson@modulusarchitects.com



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	Policy Decisions
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Site Plan – DRB (Form P2)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Subdivision of Land – Minor (Form S2)	<input type="checkbox"/> Annexation of Land (Form Z)
Decisions Requiring a Public Meeting or Hearing	<input type="checkbox"/> Subdivision of Land – Major (Form S1)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> Conditional Use Approval (Form ZHE)	<input type="checkbox"/> Vacation of Easement or Right-of-way (Form V)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Variance – DRB (Form V)	Appeals
<input type="checkbox"/> Expansion of Nonconforming Use or Structure (Form ZHE)	<input type="checkbox"/> Variance – ZHE (Form ZHE)	<input type="checkbox"/> Decision by EPC, LC, DRB, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Venice Capital LLC	Phone:
Address: 7701 Innovation Way, NE	Email:
City: Rio Rancho	State: NM
Professional/Agent (if any): Modulus Architects Inc.	Zip: 87144
Address: 100 Sun Ave. NE Suite 305	Phone: 505-338-1499
City: Albuquerque	State: NM
Proprietary Interest in Site: Owner	List all owners:
	Email: awilliamson@modulusarchitects.com
	Zip: 87109

BRIEF DESCRIPTION OF REQUEST

AA - Building Elevation & Slight Site Plan Changes

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: Tract A-1	Block: 3	Unit: B
Subdivision/Addition: North Albuquerque Acres	MRGCD Map No.:	UPC Code: 101806520428520113
Zone Atlas Page(s): B-18-2	Existing Zoning: SU-2:IP or C	Proposed Zoning:
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (acres): 1.755

LOCATION OF PROPERTY BY STREETS

Site Address/Street: Pasadena & Venice Between: I-25 Frontage and:

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Project # 1011348
 Signature: Angela Williamson
 Printed Name: Angela Williamson

Date: 1/7/19
 Applicant or Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees
-		
-		
-		
Meeting/Hearing Date:	Fee Total:	
Staff Signature:	Date:	Project #

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.


MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

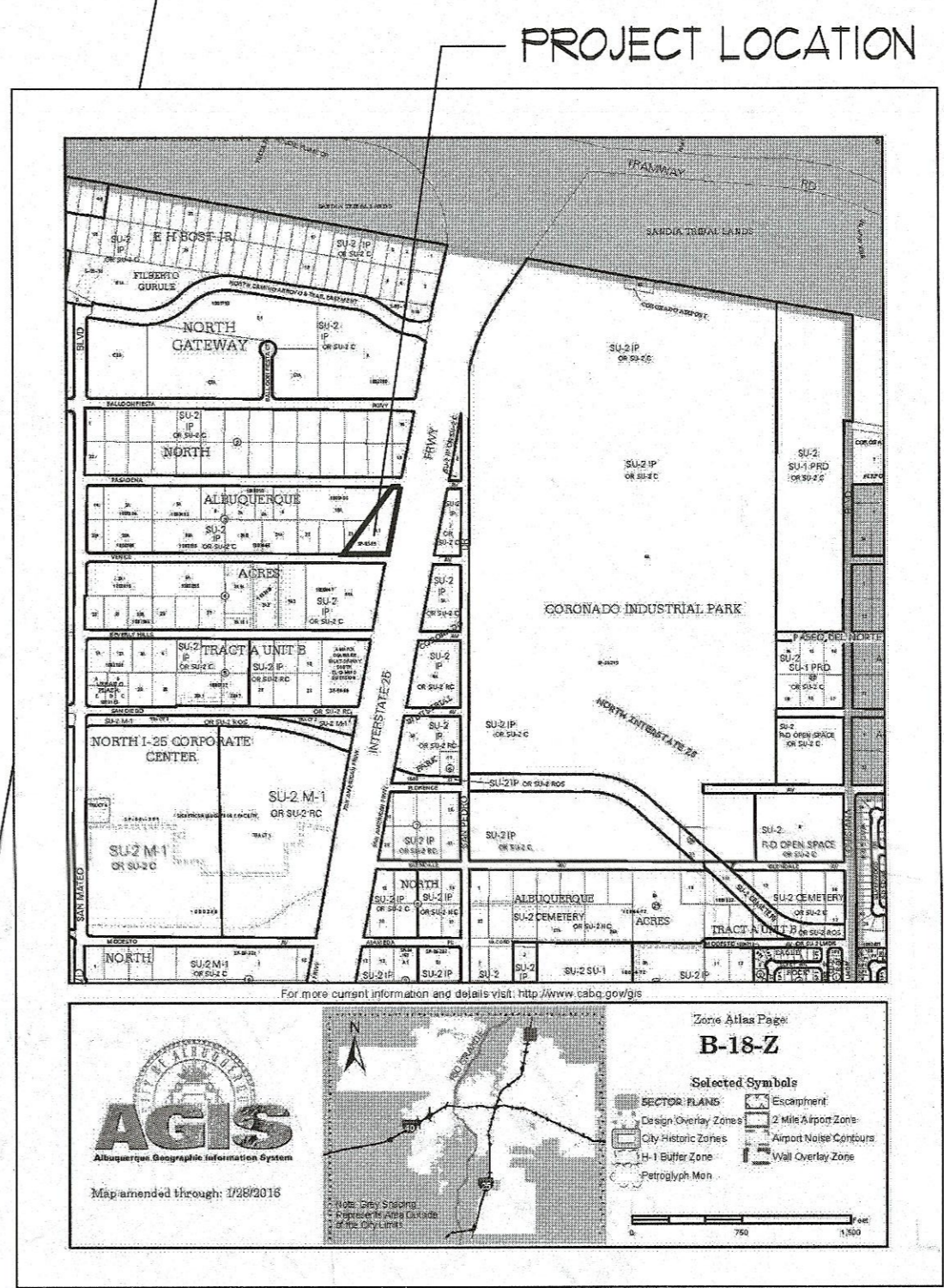
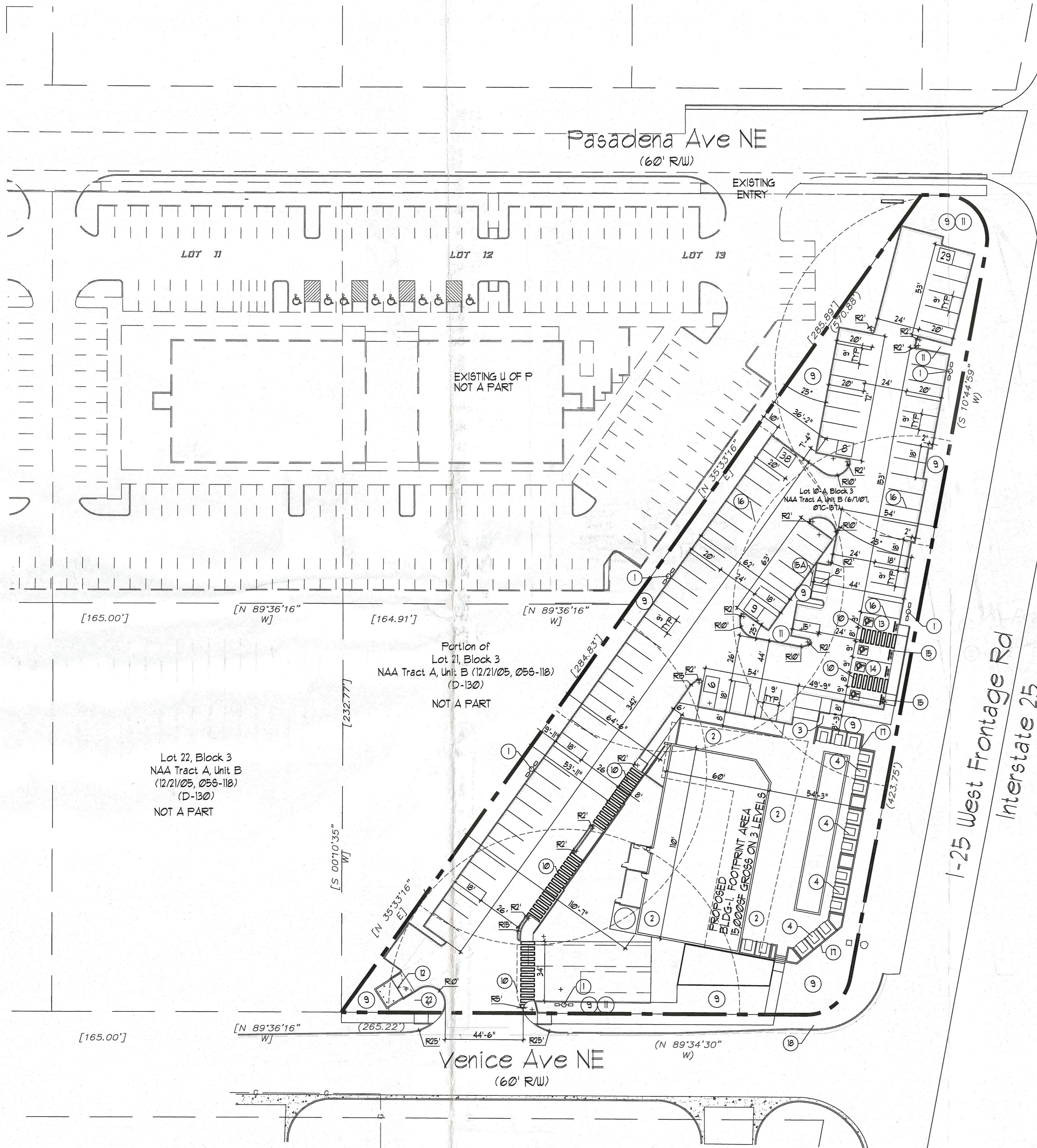
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
- Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Development Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ALTERNATIVE SIGNAGE PLAN

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- Required notices with content per IDO Section 14-16-6-4(K)(6)
- Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- Sign Posting Agreement

<i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i>	
Signature: <u>Angela M. Williamson (Agent)</u>	Date: <u>1/4/18</u>
Printed Name: <u>Angela Williamson</u>	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Project Number: _____	Case Numbers: _____
_____	_____
_____	_____
Staff Signature: _____	
Date: _____	



- KEYED NOTE:**
- ① LIGHT POLE LOCATION RE: DETAIL 3/A11
 - ② CONC. SIDEWALK ADJACENT BLDG RE: DET 8/A11
RE: SITE PLAN FOR JOINT LAYOUT
 - ③ INDICATES BIKE RACK LOCATION (5 BIKE CAPACITY)
RE: DETAIL 13/A12
 - ④ BENCH LOCATION RE: DETAIL 10/A12
 - ⑤ HANDICAP RAMP RE: 15/A11
 - ⑥ HANDICAP RAMP RE: 16/A11
 - ⑦ HANDICAP RAMP RE: 5/A11
 - ⑧ HANDICAP RAMP RE: 11/A11
 - ⑨ INDICATES LANDSCAPE PLANTING AREA
GC TO PROVIDE/COORDINATE REQ. SLEEVING FOR
EA. WELL LOCATION
 - ⑩ DRIVE AISLE PAINT DETAIL RE: DET 9/A12
 - ⑪ 6" HIGH CONC. ISLAND
RE: SITE GRADING PLAN FOR INFO
 - ⑫ REFUSE ENCLOSURE RE: DET.4/A13
 - ⑬ HC PARKING STALL RE: DET 2/A12
 - ⑭ HC PARKING STALL RE: DET 3/A12
 - ⑮ WHEELSTOP RE: DET 4/A12
 - ⑮A INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION
RE: SITE PLAN FOR LOCATIONS. RE: DET. 1/A12
 - ⑯ PAINTED STRIPING/SIGNING AS INDICATED ON SITE PLAN
ALL STANDARD PARKING STALL STRIPING SHALL BE WHITE
 - ⑰ INDICATES SPLIT FACED PATIO KNEE WALL RE: DETAIL 12/A13
 - ⑱ EXISTING SIDEWALK TO REMAIN
 - ⑲ CONCRETE FLUME DETAIL
RE: DETAIL 6/A12 FOR INFO
 - ⑳ INDICATES CLEAR SIGHT TRIANGLE:
NOTE: CLEAR SITE AREA SHALL BE FREE OF ALL SIGNS, WALLS,
TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET AS MEASURED
VERTICALLY FROM ADJACENT GUTTERPAN.
 - ㉑ BOLLARD PAINTED SAFETY YELLOW
RE: DET. 1/A13
- NOTE: ALL IMPROVEMENTS LOCATED IN THE ROW MUST
BE INCLUDED ON A PUBLIC WORK ORDER.

SITE DATA TABLE	RESTAURANT-BREWERY USES (BLDG-1)
LEGAL DESCRIPTION	
Lot 10-A, Block 3 NAA Tract A, Unit B (6/1/01, 07C-151)	
PROPOSED USES:	RESTAURANT-BREWERY USES (BLDG-1)
EXISTING ZONING:	SU-2 IF OR C
BUILDING SIZE:	5,000 SF
TOTAL PARKING REQ.:	1 SPACE PER 4 SEATS (340/4=85)
TOTAL PARKING PROVIDED:	89 SPACES PROVIDED
HC PROVIDED:	4 SPACES PROVIDED
HC REQUIRED:	4 SPACES PROVIDED
BIKE SPACES PROVIDED:	5 SPACES PROVIDED
BIKE SPACES REQUIRED:	5 SPACES PROVIDED
MOTORCYCLE SPACES PROVIDED:	4 SPACES PROVIDED
MOTORCYCLE SPACES REQUIRED:	4 SPACES PROVIDED

PROJECT NUMBER: 1611348
APPLICATION NUMBER: 17DRB-70211

Is an Infrastructure List required? () YES () NO If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DES SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Rogund M. Uvalde 11/16/17
Traffic Engineering, Transportation Division
Date

Mark Cad 11-16-17
DES ARCHITECT ENGINEER
Date

Stephenson 11/16/17
Parks and Recreation Department
Date

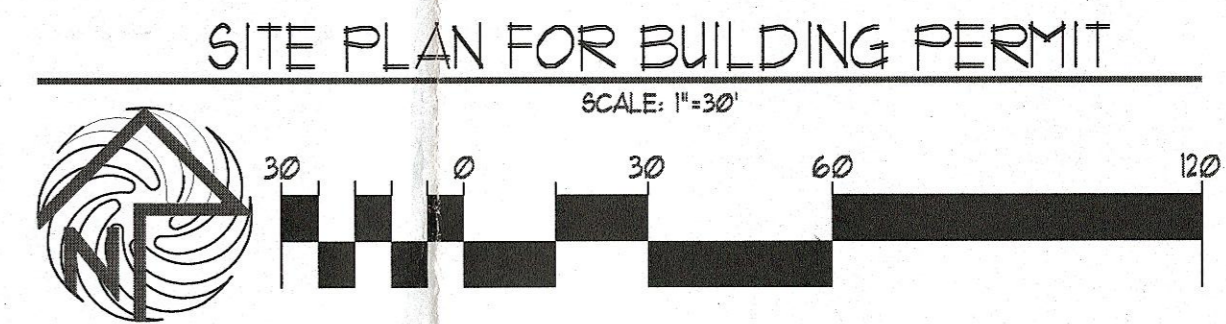
Stephenson 8/1/18
City Engineer
Date

N/A
Environmental Health Department
Date

N/A
Solid Waste Management
Date

Stephenson 8/1/18
DES City Planner, Planning Department
Date

* Environmental Health, if necessary



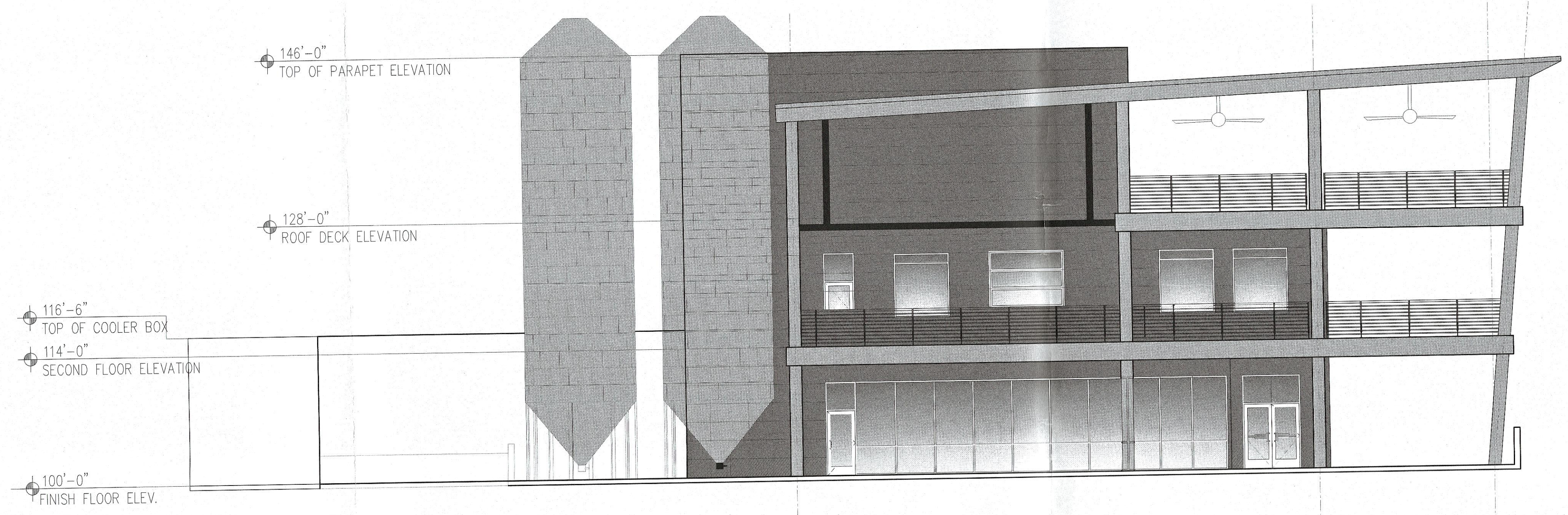
MODULUS ARCHITECTS
100 SUN AVE. N.W. SUITE 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

PROJECT TITLE: PROJECT 1-25
NUEVO DE LAS FRONTAGE ROAD AND VENICE AVENUE
ALBUQUERQUE, NEW MEXICO

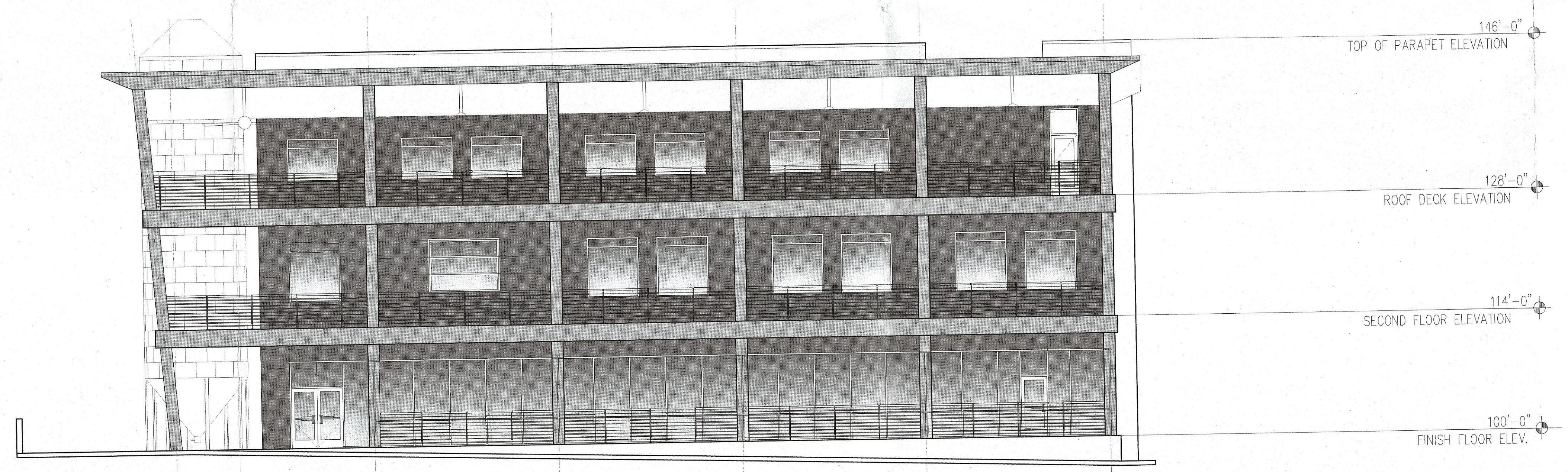
PROJECT NUMBER: 17DRB-70211
JOB NO.: PROJECT-125
DRAWN BY: S
SHEET TITLE: SITE PLAN FOR BUILDING PERMIT

DATE: 08/04/2011
SCALE: 1" = 30'
RE: SCALE

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			
16			
17			
18			
19			
20			
21			
22			



2 PRELIMINARY EASTERN ELEVATION
 1 xxx xxx



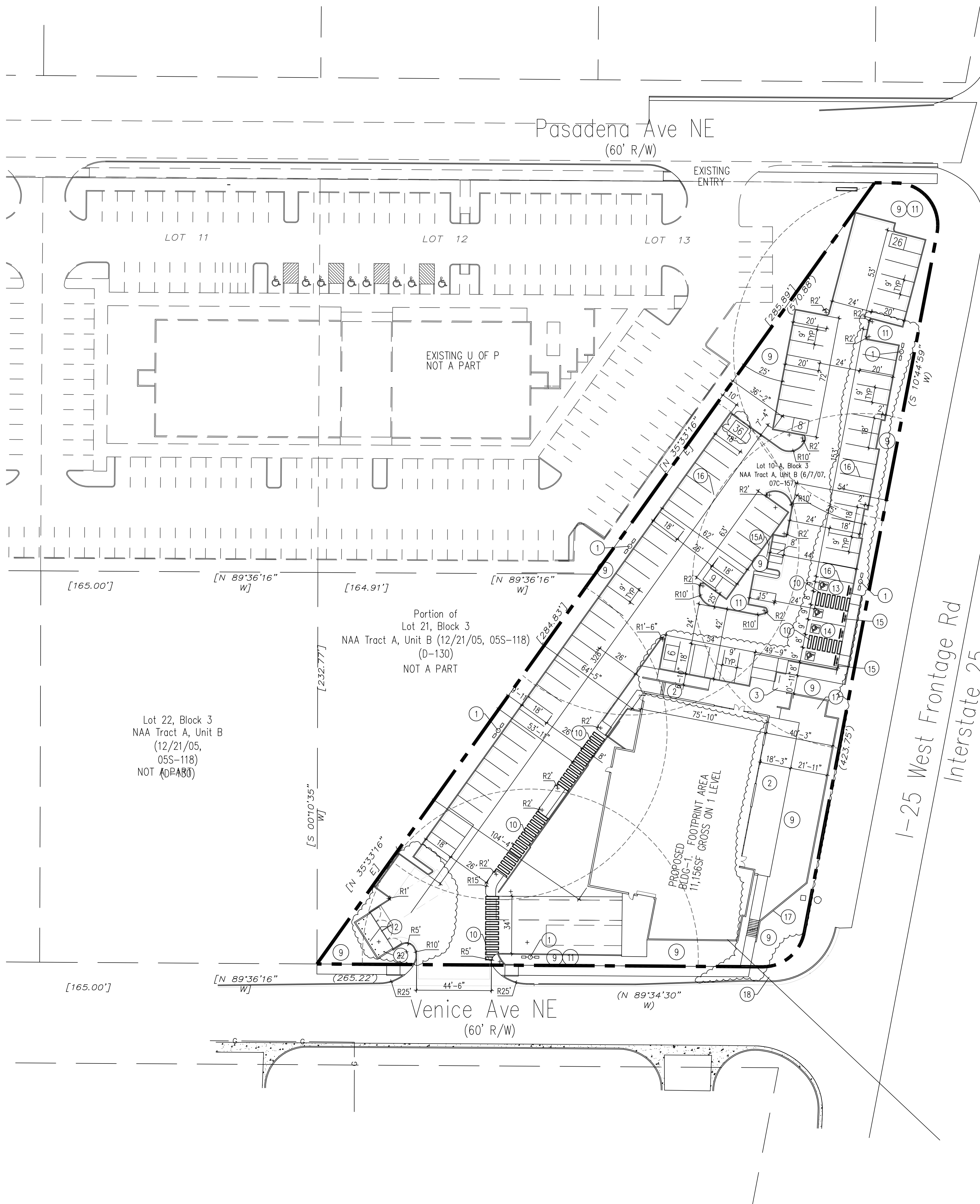
3 PRELIMINARY NORTHERN ELEVATION
 1 xxx xxx

REV	DATE	BY	REVISION
△			
△			
△			
△			
△			
△			

MODULUS ARCHITECTS
 100 SUN AVE. N.W. SUITE 305
 ALBUQUERQUE, NEW MEXICO 87109
 PHONE (505) 338-1499 FAX (505) 338-1498

PROJECT TITLE	BLDG - PROJECT
ALBUQUERQUE	
PROJECT MANAGER	STEPHEN DUNBAR, AIA
JOB NO.	
DRAWN BY	S-MAN
EXTERIOR ELEVATIONS	

DATE	4/14/2017
SCALE	1/8" = 1'-0"
SHEET	A4.0



F:\BOSQUE I-25\Page_B-18-Z.jpg

VICINITY MAP

KEYED NOTE:

- ① LIGHT POLE LOCATION RE: DETAIL 3/A1.1
- ② CONC. SIDEWALK ADJACENT BLDG RE: DET 8/A1.1 RE: SITE PLAN FOR JOINT LAYOUT
- ③ INDICATES BIKE RACK LOCATION. (5 BIKE CAPACITY) RE: DETAIL 13/A1.2
- ④ BENCH LOCATION RE: DETAIL 10/A1.2
- ⑤ HANDICAP RAMP RE: 15/A1.1
- ⑥ HANDICAP RAMP RE: 16/A1.1
- ⑦ HANDICAP RAMP RE: 5/A1.1
- ⑧ HANDICAP RAMP RE: 17/A1.1
- ⑨ INDICATES LANDSCAPE PLANTING AREA G.C TO PROVIDE/COORDINATE REQ. SLEEVING FOR EA. WELL LOCATION
- ⑩ DRIVE AISLE PAINT DETAIL RE: DET 9/A1.2
- ⑪ 6" HIGH CONC. ISLAND RE: SITE GRADING PLAN FOR INFO
- ⑫ REFUSE ENCLOSURE RE: DET.4/A1.3
- ⑬ H.C PARKING STALL RE: DET 2/A1.2
- ⑭ H.C PARKING STALL RE: DET 3/A1.2
- ⑮ WHEELSTOP RE: DET 4/A1.2
- ⑮A INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION RE: SITE PLAN FOR LOCATIONS. RE: DET. 7/A1.2
- ⑯ PAINTED STRIPPING/SIGNING AS INDICATED ON SITE PLAN ALL STANDARD PARKING STALL STRIPPING SHALL BE WHITE
- ⑰ INDICATES SPLIT FACED PATIO KNEE WALL RE: DETAIL 12/A1.3
- ⑱ EXISTING SIDEWALK TO REMAIN
- ⑲ CONCRETE FLUME DETAIL RE: DETAIL 6/A1.2 FOR INFO
- ⑳ INDICATES CLEAR SIGHT TRIANGLE: NOTE: CLEAR SITE AREA SHALL BE FREE OF ALL SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET AS MEASURED VERTICALLY FROM ADJACENT GUTTERPAN.
- ㉑ BOLLARD PAINTED SAFETY YELLOW RE: DET. 1/A1.3

SITE DATA TABLE	RESTAURANT-BREWERY USES (BLDG-1)
LEGAL DESCRIPTION	
Lot 10-A, Block 3 NAA Tract A, Unit B (6/7/07, 07C-157)	
PROPOSED USES:	RESTAURANT-BREWERY USES (BLDG-1)
EXISTING ZONING:	SU-2 IP OR C
BUILDING SIZE:	11,156 SF
TOTAL PARKING REQ:	1 SPACE PER 4 SEATS (154/4=38)
TOTAL PARKING PROVIDED:	85 SPACES PROVIDED
HC PROVIDED:	4 SPACES PROVIDED
HC REQUIRED:	4 SPACES PROVIDED
BIKE SPACES PROVIDED:	5 SPACES PROVIDED
BIKE SPACES REQUIRED:	5 SPACES PROVIDED
MOTORCYCLE SPACES PROVIDED:	4 SPACES PROVIDED
MOTORCYCLE SPACES REQUIRED:	4 SPACES PROVIDED

PROJECT NUMBER: _____

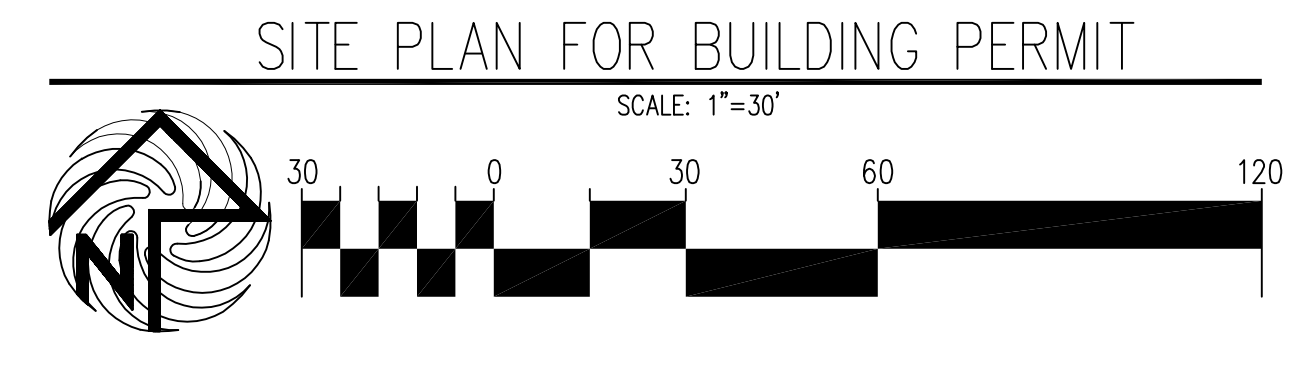
APPLICATION NUMBER: _____

Is an Infrastructure List required? () YES () NO if yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	_____	Date
DRB ABC/WIA ENGINEER	_____	Date
Parks and Recreation Department	_____	Date
City Engineer	_____	Date
Environmental Health Department	_____	Date
Solid Waste Management	_____	Date
DRB Chairperson, Planning Department	_____	Date

* Environmental Health, if necessary



ADMINISTRATIVE AMENDMENT

MODULUS ARCHITECTS
 100 SUN AVE. N.W. SUITE 305
 ALBUQUERQUE, NEW MEXICO 87109
 PHONE (505) 338-1499 FAX (505) 338-1498

STATE OF NEW MEXICO
 REGISTERED ARCHITECT
 No. 4218
 STEPHEN A. DUNBAR

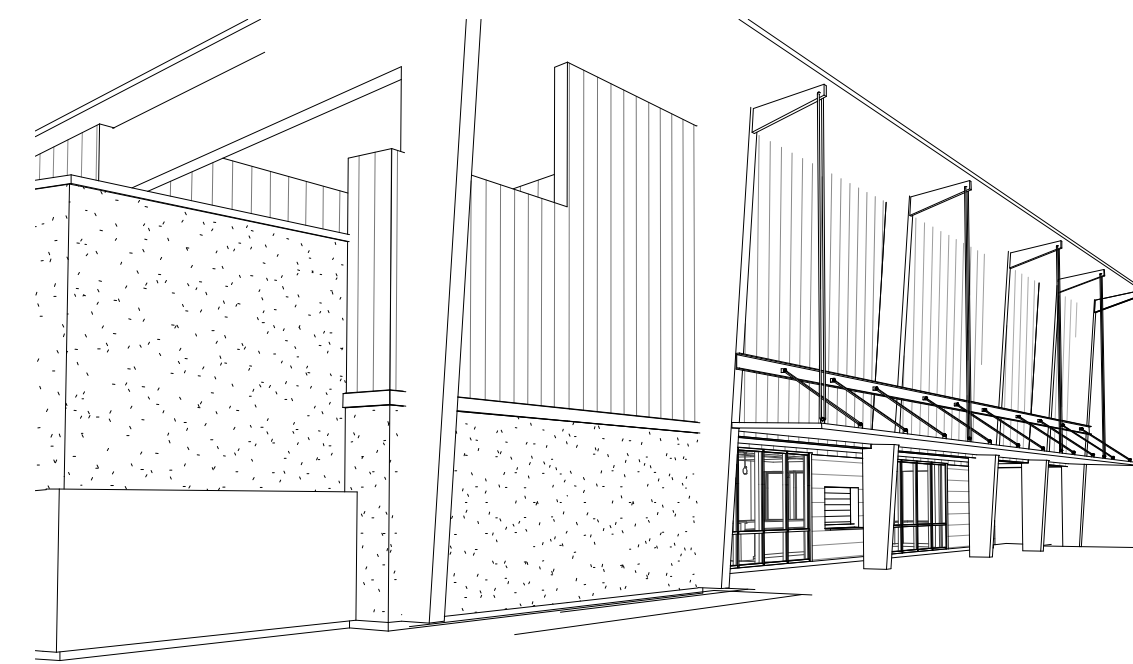
PROJECT TITLE: PROJECT-1-25
 N.W.C. OF I-25 FRONTAGE RD. AND VENICE AVENUE
 ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER: CARLOS TORRES
 JOB NO.: PROJECT-125
 DRAWN BY: S

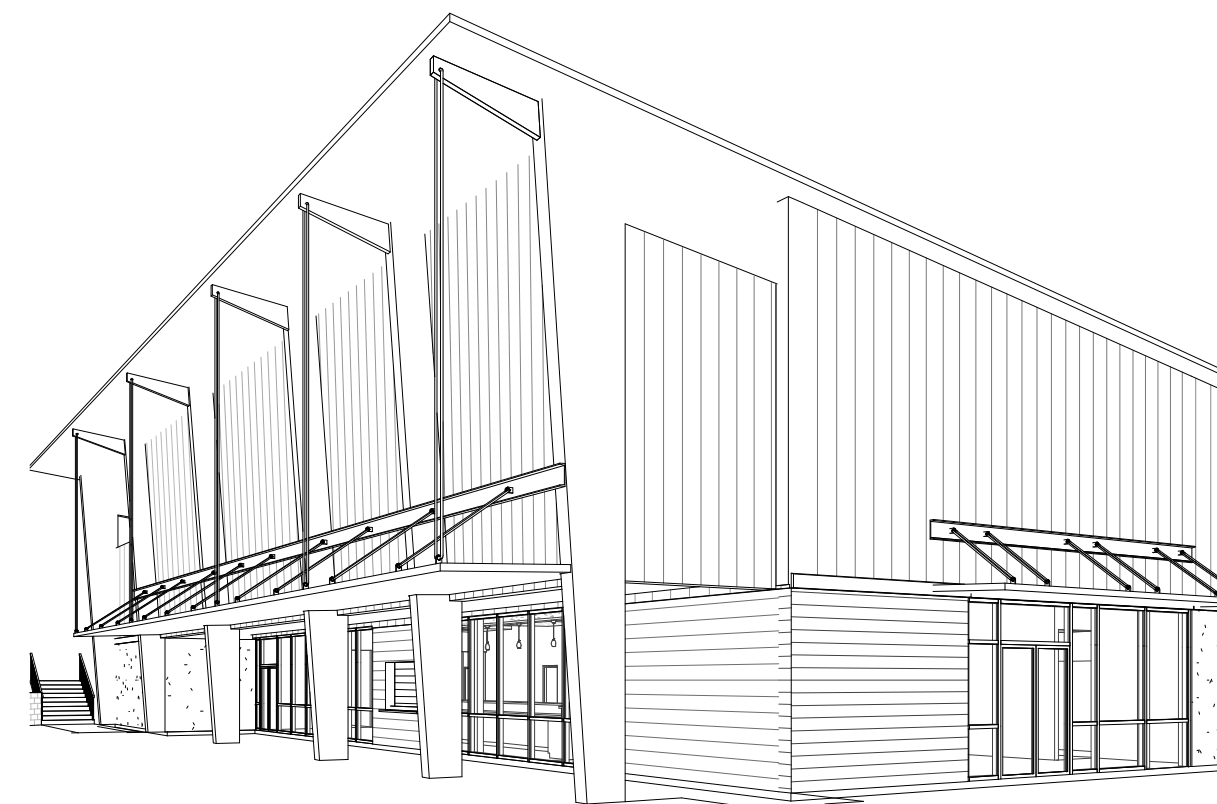
SHEET TITLE: SITE PLAN FOR BUILDING PERMIT

DATE: 08/04/2017
 SCALE: RE: SCALE
 SHEET: BP-1

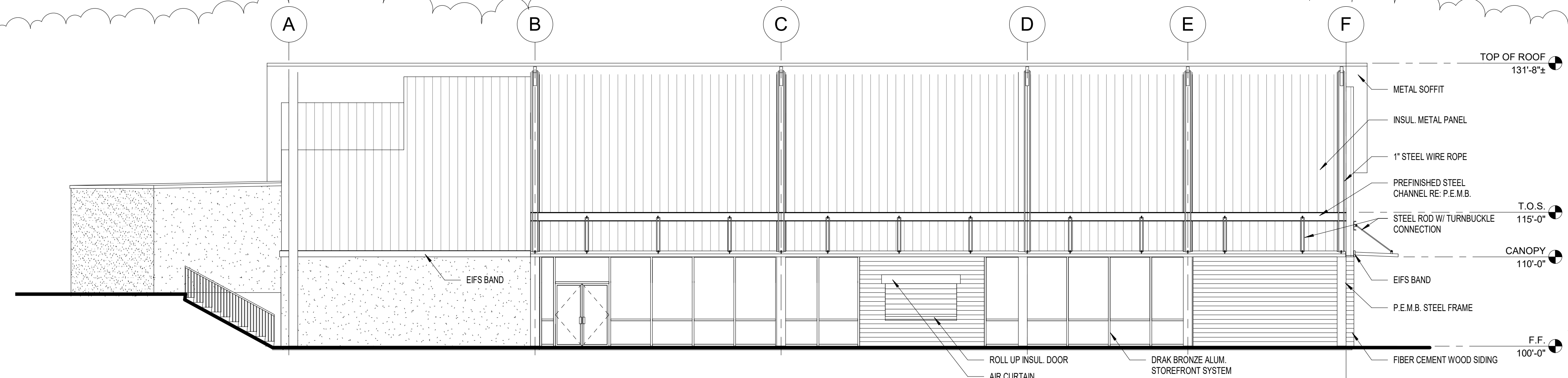
REV	DATE	BY	REVISION



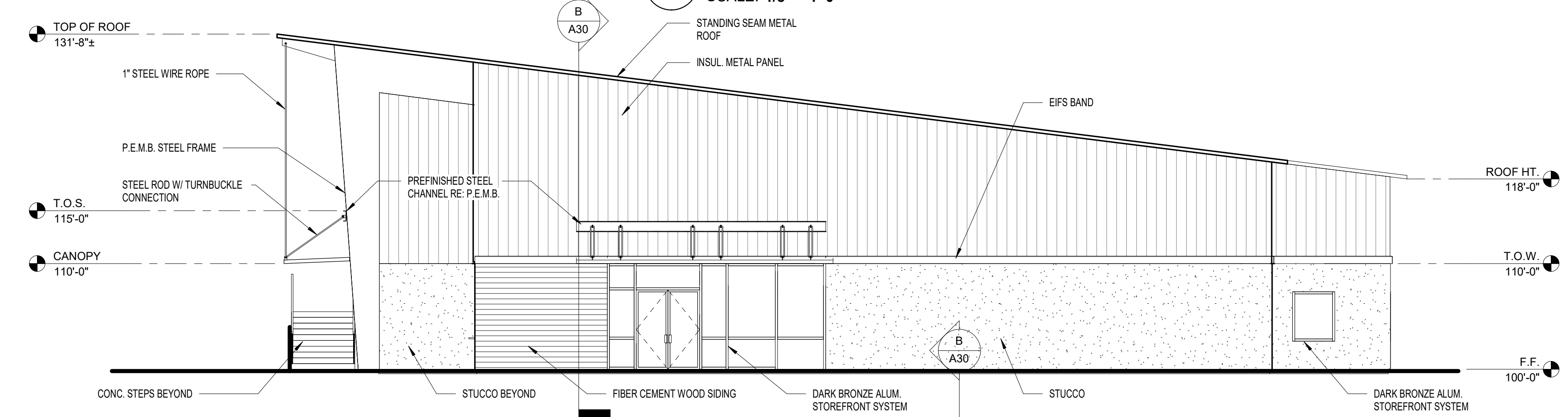
5 PERSPECTIVE
SCALE:



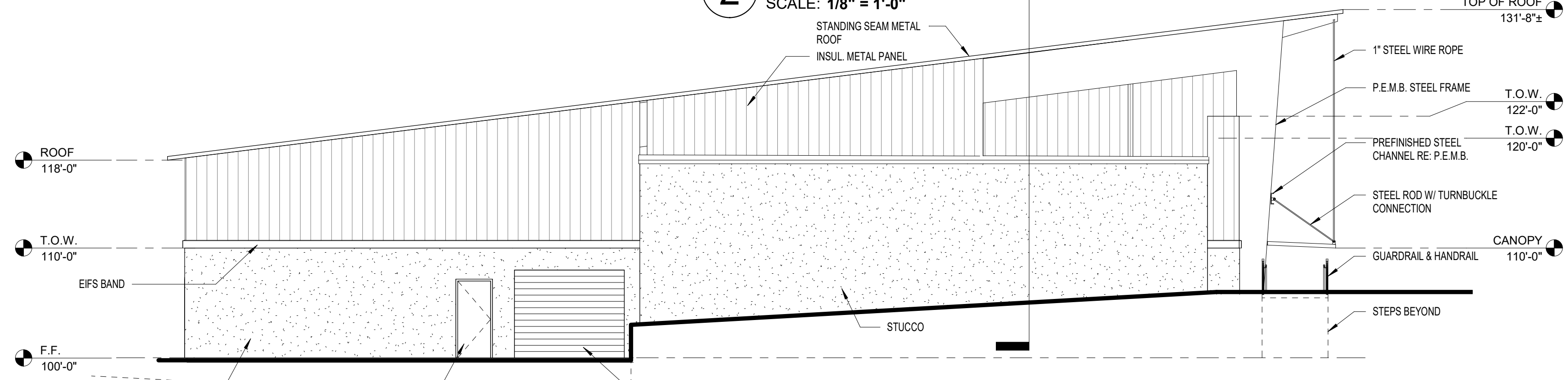
6 PERSPECTIVE
SCALE:



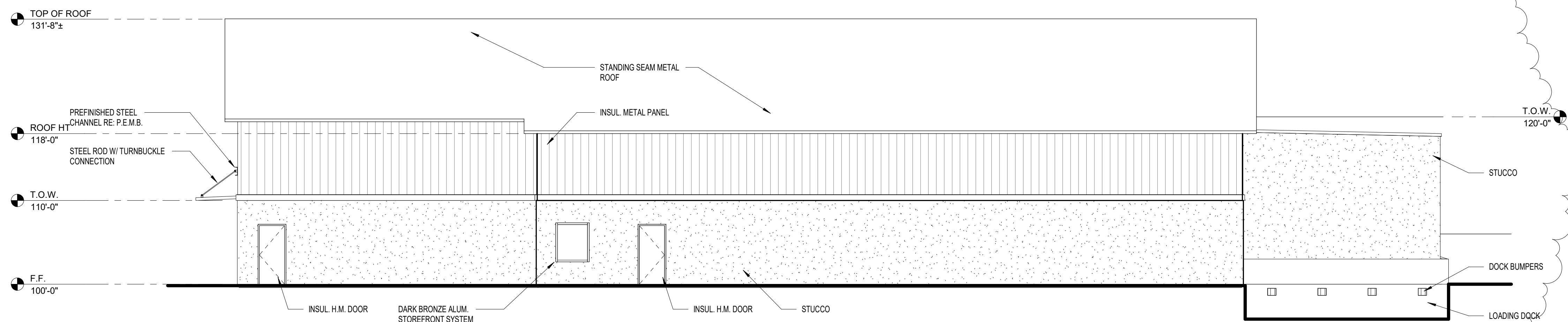
1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



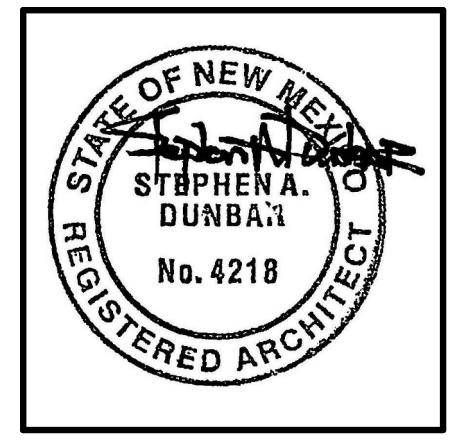
3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

REV	DATE	BY	REVISION
1	12/27/18		ADMINISTRATIVE AMENDMENT

MODULUS ARCHITECTS
 100 SUN AVENUE NE SUITE 305
 ALBUQUERQUE, NEW MEXICO 87109
 PHONE (505) 338-1499 FAX (505) 338-1498
 TOLL FREE 1-866-224-2161



ADMINISTRATIVE AMENDMENT

PROJECT TITLE	BOSQUE BREWING II
PROJECT MANAGER	Enter address here
JOB NO.	
PROJECT NUMBER	
DRAWN BY:	
SHEET TITLE	BUILDING ELEVATIONS
DATE	12-13-18
SHEET	A20
SCALE:	