

PROJECT: **Venice Volleyball Facility**
Application for Site Plan Administrative – DFT
Response to Staff Comments
PR-2019-001959
SI-2024-00040

Property Location: 5801 Venice Ave. NE
Albuquerque, New Mexico 87113

Legal Description: Tract A-1 Block 3 Unit B North Albuquerque Acres, 1.75± AC

Owner: Verde Management, LLC

Agent: Studio 151, LLC
714 Roma Ave. NW
Albuquerque, NM 87102
505-220-0595

Below are the comments in orange that our office received for the DFT Application No.: SI-2024-00040 for Project: PR-2019-001959. Our response and/or clarification to these comments are immediately below in black, and are indicated as necessary in the revised drawings attached to this response.

Transportation Development

1. Transportation has an approved Conceptual TCL dated 10/13/2023. No objection.
2. As a reminder, a full TCL will be required before Building Permit.

Hydrology

1. Hydrology has an approved Conceptual Grading & Drainage Plan (B18D022) with engineer's stamp 10/05/2023.
2. Hydrology has no objection to the Site Plan for Building Permit.
3. Comment – Prior to submitting for Building Permit, a licensed New Mexico civil engineer will need to submit a Grading & Drainage Plan to Hydrology for review & approval if one of these conditions is met. (500 cy of grading, 1,000 sf of proposed building, or 10,000 sf of proposed paving).

Planning

- Any Drainage Ponds must meet Standard Specification 1013 or better. See Drainage Ponds Slope Stabilization and Seeding Requirements.pdf (cabq.gov)

All Drainage Ponds will meet or exceed Standard Specification 1013, see note on the DFT Landscaping Plan. This note will also be included in Final Grading and Drainage Plans for Building Permit.

- Provide proof of sign posting on property.

Photographs of Sign Posting have been provided and are currently included in the DFT packet for this project.

- Improvements appear to be compliant with section 7 of the DPM Table 7.2.29 and the IL, regarding Sidewalk width requirements and its landscape buffer.

Understood.

- An IL-Infrastructure List was included in the submittal. After approval of the IL, an IIA-Infrastructure Improvements Agreement with financial guarantee will be required prior to final sign-off of the Site Plan.

An IIA-Infrastructure Improvement Agreement will be signed after approval of the IL.

- The project and application numbers must be added to the Site Plan first page and IL.

The Project and Application Numbers have been added to the Site Plan as well as IL.

- *For any revisions and supplemental submittals:* All final Plan sheets must be sealed and signed by a design professional licensed in the State of New Mexico. The final Landscape Plan must be sealed and signed by a Landscape Architect licensed in the State of New Mexico.

All final Plan sheets have been sealed and signed by associated design professional.

- Signage is per IDO section 5-12 and CPO-10. Some signage information was included within the submittal, was the intent to create signage standards or will that be addressed at building permit.

All Monumental and Building Mounted Signage will follow standards as set forth by the IDO and will be addressed at building permit.

- Clarify addressing and front of lot. City and County addresses do not match. Design and dimensional standard requirement could be affected if address/front is on Venice because of setback requirements. Defer to Code Enforcement.

The site address has been corrected to 5801 Venice Ave. by Jeff Palmer and Cassandra Murillo. Included in this packet is the Address Verification Letter from Ms. Murillo's office.

- Because the property is within CPO-10, facades do not appear to be meeting requirements for Building Design. Provide additional detail within the elevation pages and a comment response memo that demonstrates how façade design is meeting the requirements of 3-4-K-4-b and 5-11-E.

The Eastern Façade has been revised to have a continuous band of color, material and elevation wrap from the primary South elevation facing Venice to the East elevation facing Pan American. This Elevation has been reviewed and approved by Jeff Palmer with Code Enforcement. Please see revised SDP5.1.

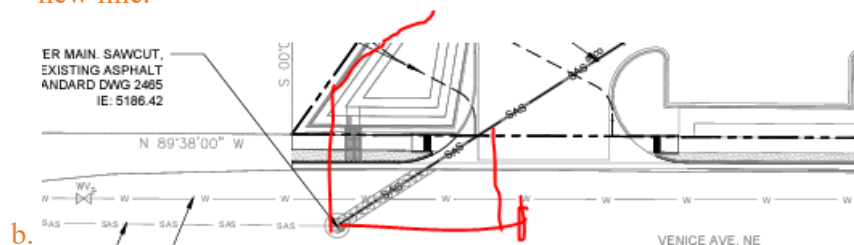
Parks and Recreation

No Comments

Albuquerque Bernalillo County Water Utility Authority

1. Availability Statement 231005 provides conditions for service. The Statement includes a requirement to extend a public sanitary sewer line. However, if the site can access the sanitary sewer service without the extension and show that is the case, this can be discussed further.

- a. Currently the site plan shows a connection that is not perpendicular to right-of-way or the existing sanitary sewer line. As noted, the provided requirements are to extend infrastructure which will provide a perpendicular connection and not what has been proposed on this site plan. Shown below are two potential options; 1 (left) is to come perpendicular into the manhole and make bends within the property but a pond appears to be in conflict, 2 (right) extend per the Availability Statement and take service from the new line.



Comment: (Provide written response explaining how comments were addressed)

The Site Utility Plan has been revised to follow Option 1, indicated above. A reduced ponding requirement has allowed for ponding in that area be revised and allow for this sanitary sewer location and path without any conflict with the ponding area. This is shown in the Revised Site Utility Plan included in this response.

Code Enforcement

1. Please clarify correct address, as it is shown as 5801 Venice Ave NE in County records and on Site Plan, but 5801 Pan American Frwy NE on City Parcel in AGIS records. Contact City Address Assignment for corrections as needed in our system:

Cassandra Murillo, Addressing, 505-924-3848, CMurillo@cabq.gov

Jeff Palmer and Cassandra Murillo have informed AGIS of this discrepancy and provided the included Address Verification Letter.

2. Property is zoned NR-LM and must meet Dimensional standards and setbacks of IDO5-1(E), Table 5-1-3. Based on the address of 5801 Venice Ave NW, the front of the lot would be along Venice Ave, as typical with the primary entrance from the street of address, as shown with your entry off of Venice. CE is reviewing with the Front designated along Venice Ave. Dimensional Standards and Setbacks have been met.

3. Property is located within the North I-25 CPO-10 Overlay zone, Building Height sub-area 3, and must meet all applicable requirements in CPO-10.

The project meets all applicable requirements in CPO-10.

4. Show how you are meeting the CPO-10 Building Design façade requirements as per IDO 3-4(K)(4)(b) and IDO 5-11(E), as referred and required in CPO-10 for a property in the NR-LM zone. See excerpt below.

3-4(K)(4)(b) Building Design

All multi-family, mixed-use, and non-residential development shall comply with the standards in Subsection 14-16-5-11(E) (Mixed-use and Non-residential Zone Districts), with the following exceptions.

1. Notwithstanding the exclusion of the NR-LM and NR-GM zone districts in Subsection 14-16-5-11(E)

The Eastern Façade has been revised to have a continuous band of color, material and elevation wrap from the primary South elevation facing Venice to the East elevation facing Pan American. This Elevation has been reviewed and approved by Jeff Palmer with Code Enforcement. Please see revised SDP5.1.

Sincerely,

A handwritten signature in black ink, appearing to read 'Tyson Parker', with a horizontal line above it.

Tyson Parker, CEO
Studio 151, LLC

CITY OF ALBUQUERQUE

CODE ENFORCEMENT

Plaza Del Sol Building, Suite 500
600 2nd Street NW
Albuquerque, NM 87102
Tel: (505) 924-3850 Fax: (505) 924-3847



January 23, 2024

RE: Address Verification/ UPC 101806520428520113

To Whom It May Concern:

This letter is to serve as a notice of an address verification for **Lot A1 Block 3** of the **N. ABQ ACRES TR A UNIT B Subdivision**, which has been issued situs address of: **5801 Venice Ave NE.**

Please update your records to reflect the above addresses; however, if problems arise contact the City Address Verification Office at addressing@cabq.gov.

Sincerely,



Cassandra Murillo
Planning Research Coordinator
o 505.924.3848
e cmurillo@cabq.gov
cabq.gov/planning

Copy: County Assessor's Office/Gustavo Hernandez, US Postal Service-/Theresa Gonzales/Sylvia Vigil/Jaclyn Velasquez, Mid Region Council of Governments/Steve Montiel, Bureau of Election Office/Larry Romero, AGIS-Planning/ Catherine Bradley, Hydrology/Rudy Rael, PW/Water Meters/ Workgroup, PNM/Victoria Rodriguez, Gas Company of New Mexico, Comcast/Robert Martinez, CenturyLink/Michele Ramirez, Alarm Dispatch/Paul Buck, Emergency Communication Center/Erika Wilson

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: _____
Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DFT Project No.: PR-2019-001959
DFT Application No.: SI-2024-00040

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT FACILITATION TEAM (DFT) REQUIRED INFRASTRUCTURE LIST**

Venice Volleyball Facility

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Tract A-1, Block 3, North Albuquerque Acres, Tract A Unit B

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed	Constructed Under	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>	Width Varies 11'-10'	Standard Curb & Gutter 5' Sidewalk	Venice Ave	West Property Line	45' West of East Property Line	/	/	/
<input type="text"/>	<input type="text"/>		New Beehive Inlet, 24" SD Connection & Rock Swale	Venice Ave	West Property Line	308' West of West Property Line	/	/	/
<input type="text"/>	<input type="text"/>		New Domestic Water Service	Venice Ave	17'+/- West of East Property Line		/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private		City Cnst Engineer	
							Inspector	P.E.		
<input type="text"/>	<input type="text"/>	_____	_____	_____	_____	_____	/	/	/	
<input type="text"/>	<input type="text"/>	_____	_____	_____	_____	_____	/	/	/	
							Approval of Creditable Items:	Approval of Creditable Items:		
							Impact Fee Administrator Signature Date	City User Dept. Signature Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

1 _____

2 _____

3 _____

AGENT / OWNER	DEVELOPMENT FACILITATION TEAM APPROVALS	
---------------	---	--

NAME (print)

FIRM

SIGNATURE - date

PLANNING - date

TRANSPORTATION DEVELOPMENT - date

UTILITY DEVELOPMENT - date

CITY ENGINEER - date

PARKS & RECREATION - date

AMAFCA - date

CODE ENFORCEMENT - date

HYDROLOGY - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER



PROJECT DATA

PROJECT DESCRIPTION New Indoor Volleyball Facility

PROJECT Venice Volleyball Facility
Development of new Indoor Volleyball Facility on undeveloped land located in Albuquerque, NM.

PROJECT ADDRESS 5801 Venice Ave NE
Albuquerque, New Mexico 87113

Owner Verde Management, LLC

LEGAL DESCRIPTION Tract A-1 Block 3 Unit B North Albuquerque Acres, 1.75± AC

ZONING NR-LM (Non-Residential, Light Manufacturing) + CPO-10 North I-25 overlay zone

ADJACENT ZONING NR-LM

INDEX TO DRAWINGS

- 1 SDP1.1 SITE PLAN ADMINISTRATIVE DFT - SITE PLAN
- 2 SDP2.1 SITE PLAN ADMINISTRATIVE DFT - LANDSCAPE PLAN
- 3 SDP3.1 SITE PLAN ADMINISTRATIVE DFT - GRADING PLAN
- 4 SDP3.2 SITE PLAN ADMINISTRATIVE DFT - DRAINAGE PLAN
- 5 SDP4.1 SITE PLAN ADMINISTRATIVE DFT - UTILITY PLAN
- 6 SDP5.1 SITE PLAN ADMINISTRATIVE DFT - BUILDING ELEVATIONS + SITE DETAILS
- 7 SDP5.2 SITE PLAN ADMINISTRATIVE DFT - SUN AND SHADE ANALYSIS
- 8 SDP5.3 SITE PLAN ADMINISTRATIVE DFT - SUN AND SHADE ANALYSIS
- 9 F1 SITE PLAN ADMINISTRATIVE DFT - FIRE DEPARTMENT FIRE 1 SITE PLAN
- 10 ES101 SITE PLAN ADMINISTRATIVE DFT - SITE LIGHTING PLAN

CODE ANALYSIS

APPLICABLE CODES
International Building Code (IBC) 2015 (NMCBC 2015)
Uniform Mechanical Code (UMC) 2105 (NMECC 2015)
National Electrical Code (NEC) 2017 (NMECC 2017)
International Energy Conservation Code (IECC) 2018 (NMECC 2018)
International Existing Building Code (IEBC) 2015 (NMEBC 2015)

CONSTRUCTION TYPE & ALLOWABLE FLOOR AREA + HEIGHT:
Construction Type (IBC Table 503): V B - Fully Sprinklered

Allowable Height Above Grade (IBC Table 504.3): 40'-0"
Provided: 29'-6"± (PEAK AT VOLLEYBALL COURT AREA)
15'-0"± (OFFICE / RESTROOM / STORAGE AREA)

Allowable Stories (IBC Table 504.4): 2 stories above grade
Actual: 1 story

Allowable Area: 24,000 SQ. FT.
Actual: 16,640 SQ. FT. ±

OCCUPANCY GROUP (IBC Table 3-A): A-3 (Gymnasium - Other Indoor Entertainment)

OCCUPANT LOAD:
Volleyball Courts: 32 players per court x 4 Courts = 128 occupant(s)
Seating Area: 73 Seats = 73 occupant(s)
Office: 1,350 sf/100 = 14 occupant(s)

TOTAL OCCUPANTS = 215

EGRESS:
Number of Exits: 2
Required Number (IBC Table 1018.1): 2
Provided Number of Exits: 3 (2 @ 36' + 1 @ 6'-0")

Required Exit Width:
Provided Number: 3
Required Width (IBC Table 1005.1): # Occupants x 0.2 (See Occupant Load Table) = 43 inches

Minimum Width Provided: 120 inches total between three exits (Refer to IBC 1005.5 for distribution of minimum width).

EXIT ACCESS TRAVEL DISTANCE
Allowed (IBC Table 1015.1): A Occupancy w/ sprinkler system 250 feet
Provided:

FIRE EXTINGUISHING SYSTEM
Fire Extinguishers: 2-A, 10B. Max travel distance 75 feet.
Provided:

FIRE-RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS:
All Elements: 0 Hours (IBC Table 601)

IECC 2018

Table C402.1.3
Building Envelope requirements - opaque assemblies
CZ 4B
Roof - Metal Building: R-19 + R-11 LS (Liner System) (Thermal Spacer Block is required when R-value method is used) (U value method: U=0.035)
Walls - Metal Building: R-13 + R-13ci (U value method: U=0.052)

Table C402.4
Building Envelope requirements - fenestration
U factor:
Fixed: 0.36
Operable: 0.45
Entrance Doors: 0.77
SHGC:
PF<0.2: N=0.48, SEW=0.36

CITY APPROVALS

PROJECT NUMBER: PR-2019-001959

Application Number: SI-2024-00040

Is an Infrastructure List required? (X) Yes () No. If yes, then a set of approved DFC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DEF SITE DEVELOPMENT PLAN APPROVAL:

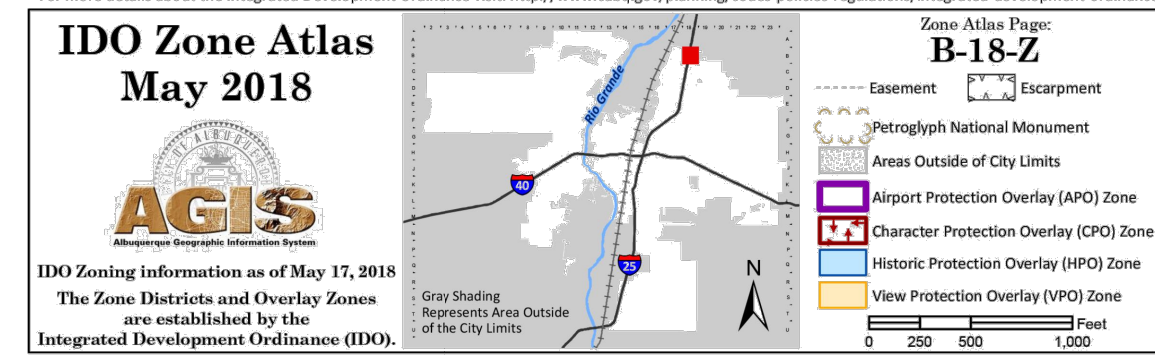
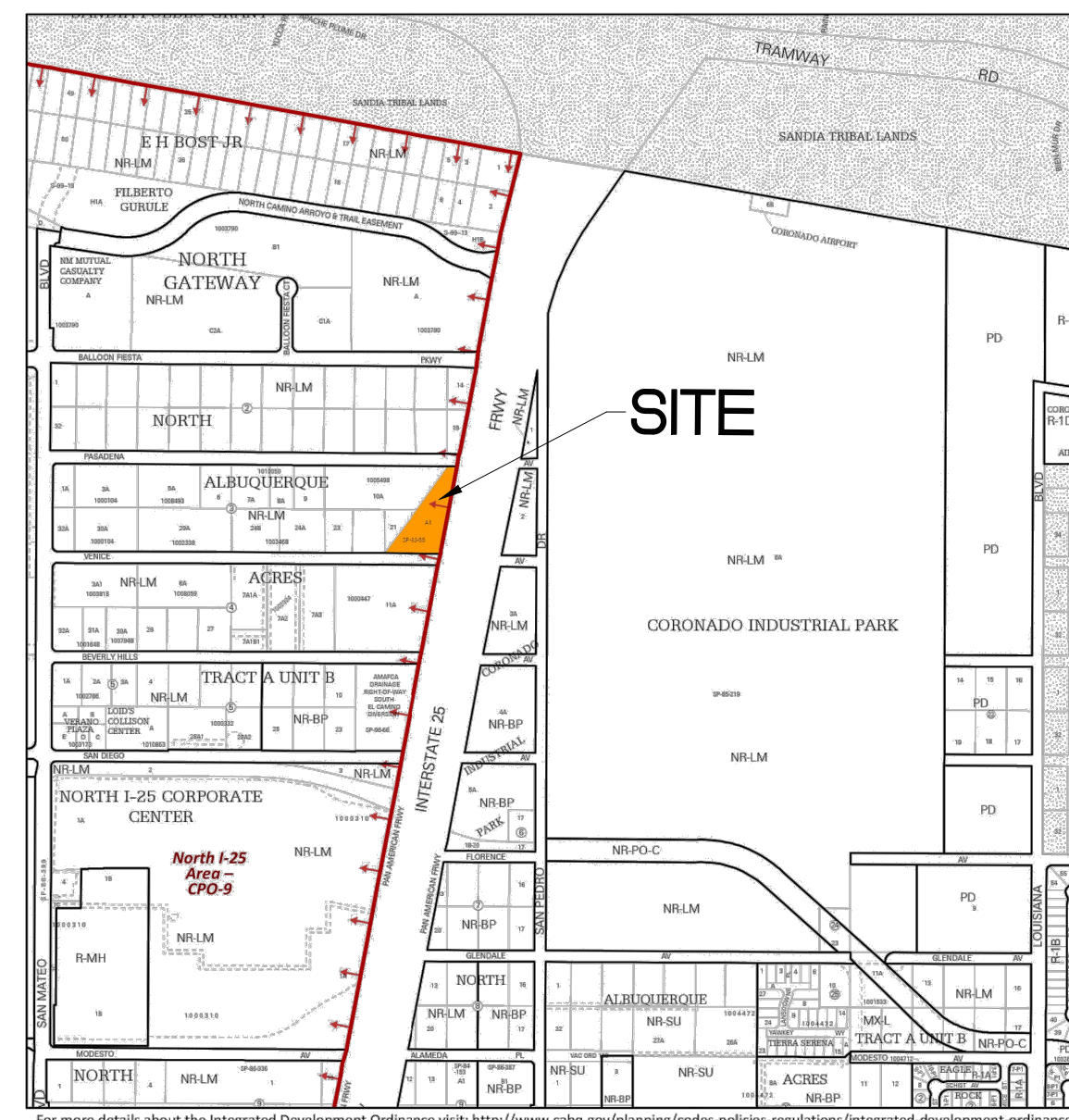
Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date

GENERAL NOTES

- A. SEE LANDSCAPE PLAN FOR COMPLIANCE WITH CITY OF ALBUQUERQUE LANDSCAPING GUIDELINES.
- B. SEE ELECTRICAL SITE PLAN FOR PARKING LOT LIGHT FIXTURE SPECIFICATIONS.
- C. FIRE LANE TO BE PAINTED RED CURBS WITH WHITE STENCIL "FIRE LANE NO PARKING" - TYPICAL.
- D. ALL REQUIRED PUBLIC INFRASTRUCTURE SHALL BE FINANCIALLY GUARANTEED.
- E. LANDSCAPING, SIGNAGE, WALLS, FENCES, TREED, AND SHRUBBERY BETWEEN THREE (3) AND EIGHT FEET (8') TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.

SYMBOLS LEGEND

- GRAVEL DRIVE, DRIVE ENGINEERED TO MEET OR EXCEED FIRE MARSHALL OFFICE REQUIREMENT OF SUPPORTING 75,000 POUNDS OR MORE.
- LANDSCAPE AREA, SEE LANDSCAPE PLAN
- CONCRETE PAVED ACCESSIBLE PARKING AREA
- TREE, SEE LANDSCAPE PLAN
- SHRUB, SEE LANDSCAPE PLAN
- PARKING LOT POLE, SEE SITE LIGHTING PLAN, ES101



Line Table

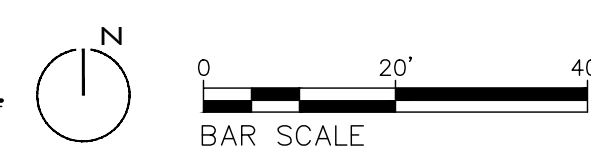
Line #	Direction	Length (ft)
L1	S 89°33'38" E (S 89°34'30" E)	12.80'(12.67')

Curve Table

Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	34.74'(34.75')	25.00'(25.00')	79°36'41"	32.01'	S 50°33'40" W
C2	43.77'(43.77')	25.00'(25.00')	100°18'58"	38.39'	S 39°24'10" E



A3 SITE PLAN
1"=20'-0"



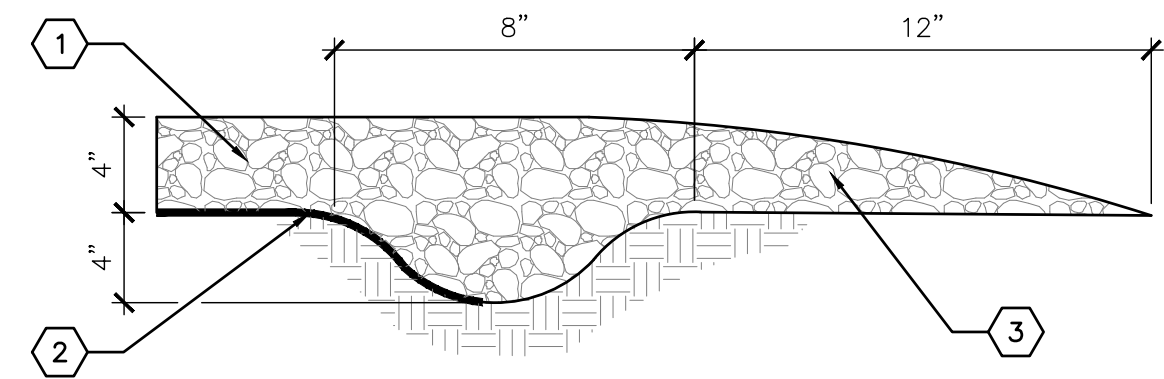
REVISIONS	DATE	DESCRIPTION
1	1/24/2024	DFT COMMENTS

PROJECT NO: 2023-VW
DATE: 1.23.2024
SET NO: XXXX
DRAWN BY: XX
CHECKED BY:

SITE PLAN ADMINISTRATIVE DFT - SITE PLAN

PLANTING SCHEDULE

CODE	DESCRIPTION	DETAIL
P-01	1" GRAVEL MULCH - 1" 'BULLDOGY BROWN,' AS AVAILABLE FROM BULLDOGY, INC. (505-344-6626), OR APPROVED EQUAL, INSTALLED AT A 4" DEPTH OVER FILTER FABRIC.	
P-02	COBBLE MULCH - 2"-4" 'DESERT BRONZE,' AS AVAILABLE FROM BULLDOGY, INC. (505-344-6626), OR APPROVED EQUAL, INSTALLED AT A 4" DEPTH OVER FILTER FABRIC.	
P-03	POND BOTTOM TREATMENT - 2"-4" 'DESERT BRONZE' COBBLE INSTALLED AT A 4" DEPTH OVER 3" DEPTH "NATIVE MULCH" WITH NO WEED BARRIER FABRIC.	
P-04	WHERE GRAVEL MULCH ABUTS BARE DIRT, TAPER MULCH TO GRADE.	E1/LP101



KEYED NOTES

- ROCK MULCH - SEE PLANTING PLAN.
- FILTER FABRIC. TURN DOWN FILTER FABRIC MIN. 4"
- TAPER ROCK DOWN TO FINISH GRADE FOR A MIN. LENGTH OF 12".

E1 UNBOUNDED ROCK MULCH EDGE

NOT TO SCALE

PLANT SCHEDULE

TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	REMARKS	HT.	SPD.	INSTALLED SIZE
	AN2	3	BOX ELDER	ACER NEGUNDO	24" BOX	40'	30'	2" CAL., 10'-12" HT.
	PC	9	CHINESE PISTACHE	PISTACIA CHINENSIS	30" BOX	35'	30'	2" CAL., 12'-14" HT.
	CO	12	COMMON HACKBERRY	CELTIS OCCIDENTALIS	B&B	30'	30'	2" CAL., 10'-12" HT.
	GI	8	SKYLINE THORNLESS HONEY LOCUST	GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE' TM	24" BOX	40'	30'	2" CAL., 12'-14" HT.
SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	REMARKS	HT.	SPD.	INSTALLED SIZE
	FP	24	APACHE PLUME	FALLUGIA PARADOXA	5 GAL.	6'	6'	MIN. 18" SPD.
	BM	10	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS	5 GAL.	5'	5'	MIN. 12" HT.
	BJ	22	BUFFALO JUNIPER	JUNIPERUS SABINA 'BUFFALO'	5 GAL.	1'	6'	MIN. 12" SPD.
	CAT	38	CATMINT	NEPETA FAASSENII	1 GAL.	1'	3'	MIN. 6" SPD.
	EN	12	CHAMISA	ERICAMERIA NAUSEOSA	5 GAL.	5'	6'	MIN. 8" HT.
	RT	11	CREeping THREE-LEAF SUMAC	RHUS TRILOBATA 'AUTUMN AMBER'	5 GAL.	1'	6'	MIN. 18" SPD.
	CM2	14	FERNBUSH	CHAMAEBATARIA MILLEFOLIUM	5 GAL.	6'	6'	MIN. 18" SPD.
	RI	29	INDIAN HAWTHORN	RHAPHIOLEPIS INDICA	5 GAL.	3'	4'	MIN 18" HT
	LB	30	LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM	5 GAL.	2'	2'	MIN. 12" HT.
	OG	26	OREGON GRAPE	MAHONIA AQUIFOLIUM	5 GAL.	3'	4'	MIN. 12" HT.
	HP	40	RED YUCCA	HESPERALOE PARVIFLORA	5 GAL.	3'	3'	MIN. 12" HT.
GRASSES	CODE	QTY	COMMON NAME	BOTANICAL NAME	REMARKS	HT.	SPD.	INSTALLED SIZE
	BG	20	BEAR GRASS	NOLINA TEXANA	5 GAL.	4'	5'	MIN. 12" HT.

CITY LANDSCAPE ORDINANCE COMPLIANCE

- LANDSCAPING RESPONSIBILITY FOR MAINTENANCE:**
THE OWNER WILL BE RESPONSIBLE FOR ALL LANDSCAPE MAINTENANCE AT THE INDOOR VOLLEYBALL FACILITY
- COMPLIANCE WITH WATER CONSERVATION ORDINANCE:**
- NO SPRAY IRRIGATION IS PROPOSED.
 - PLANT SPECIES WILL BE LOW OR MEDIUM USE SPECIES PER THE ABCWA'S XERIC PLANT LIST.
 - AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED FOR ALL PLANT MATERIAL. THE SYSTEM WILL BE CONTROLLED BY AN AUTOMATIC CONTROLLER. PLANTS WILL BE IRRIGATED BY LOW WATER USE DRIP EMITTERS OR BUBBLERS. A REDUCED PRESSURE BACKFLOW PREVENTER WILL BE INSTALLED IN A HEATED ENCLOSURE TO PROTECT THE DOMESTIC WATER SUPPLY FROM CROSS-CONTAMINATION.
- COMPLIANCE WITH GENERAL LANDSCAPING REGULATIONS:**
- THIS PLAN PROVIDES VISUALLY ATTRACTIVE LANDSCAPE, A VISUALLY ATTRACTIVE STREETSCAPE, AND INTERSPERSED TREES IN LANDSCAPE AREAS TO PROVIDE SHADE AND REDUCE LARGE EXPANSES OF PAVEMENT.
 - GROUND COVER MULCH SHALL COMPRISE OF A COMBINATION OF CRUSHED GRAVEL (NOT TO EXCEED 75% OF TOTAL AREA) AND ORGANIC MULCH SUCH AS SHREDDED BARK, PECAN SHELLS, ETC.
 - VISIBILITY, LANDSCAPING FENCING, AND SIGNS SHALL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBS BETWEEN 3 AND 8 FEET IN HEIGHT (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE LOCATED IN THE CLEAR SIGHT TRIANGLE.
 - GROUND-MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
 - POND STABILIZATION TO FOLLOW SECTION 101.3 - SLOPE STABILIZATION AND SEEDING AND SECTION 101.3. DIAGRAM A3 FOR NON-RESIDENTIAL PONDS WITH SLOPES FLATTER THAN 3:1.

LANDSCAPE CALCULATION TABLE:

TOTAL LOT AREA: 76,448 SF

LESS TOTAL BUILDING AREA: 16,641 SF

NET LOT AREA: 59,807 SF

REQUIRED LANDSCAPE AREA (15% OF NET LOT AREA): 8,972 SF

PROVIDED LANDSCAPE AREA: 17,003 SF (28.43% OF NET LOT AREA)

REQUIRED PLANTS:

REQUIRED STREET TREES:
0 (ALONG FRONTAGE ROAD AS DIRECTED BY NMDOT)
12 (286 LF ALONG VENICE AVE NE, TREES AVERAGE 25' O.C.)
2 (42 LF ALONG PASADENA AVE NE, TREES AVERAGE 25' O.C.)

STREET TREES PROVIDED:
0 ALONG FRONTAGE ROAD
12 ALONG VENICE AVE NE
2 ALONG PASADENA AVE NE

REQUIRED PARKING LOT TREES AT ONE TREE PER TEN SPACES:
NORTH PARKING LOT: 25 TOTAL SPACES
3 REQUIRED TREES
PARKING LOT TREES PROVIDED AT NORTH PARKING LOT: 3

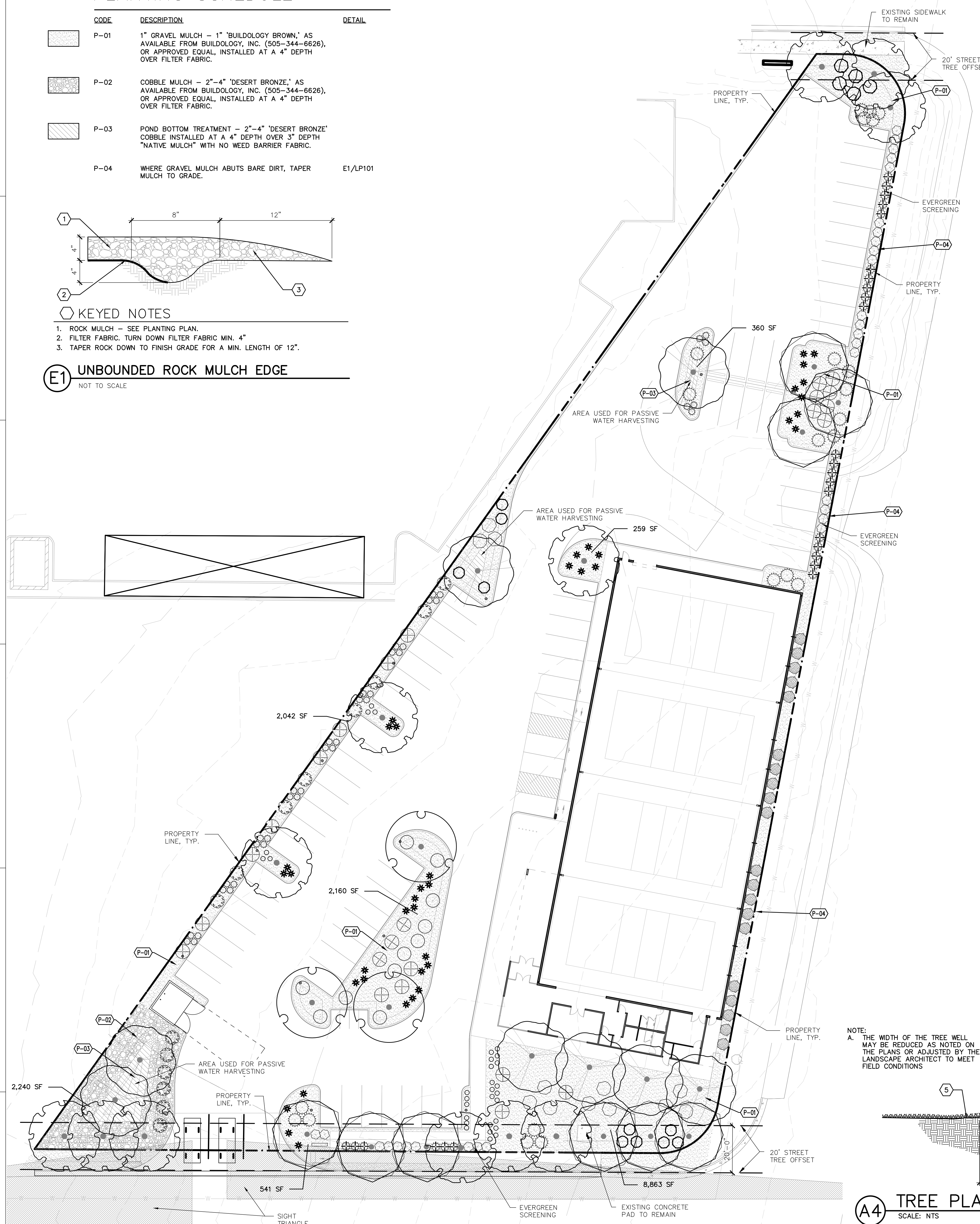
SOUTH PARKING LOT: 51 TOTAL SPACES
6 REQUIRED TREES
PARKING LOT TREES PROVIDED AT SOUTH PARKING LOT: 6

REQUIRED PARKING LOT INTERIOR LANDSCAPE (10% OF PARKING LOT AREA):
NORTH PARKING LOT: 16,144 SF
1,614 SF PROVIDED PARKING LOT INTERIOR LANDSCAPE:
2,818 SF (17.4% OF REQUIRED INTERIOR LANDSCAPE)

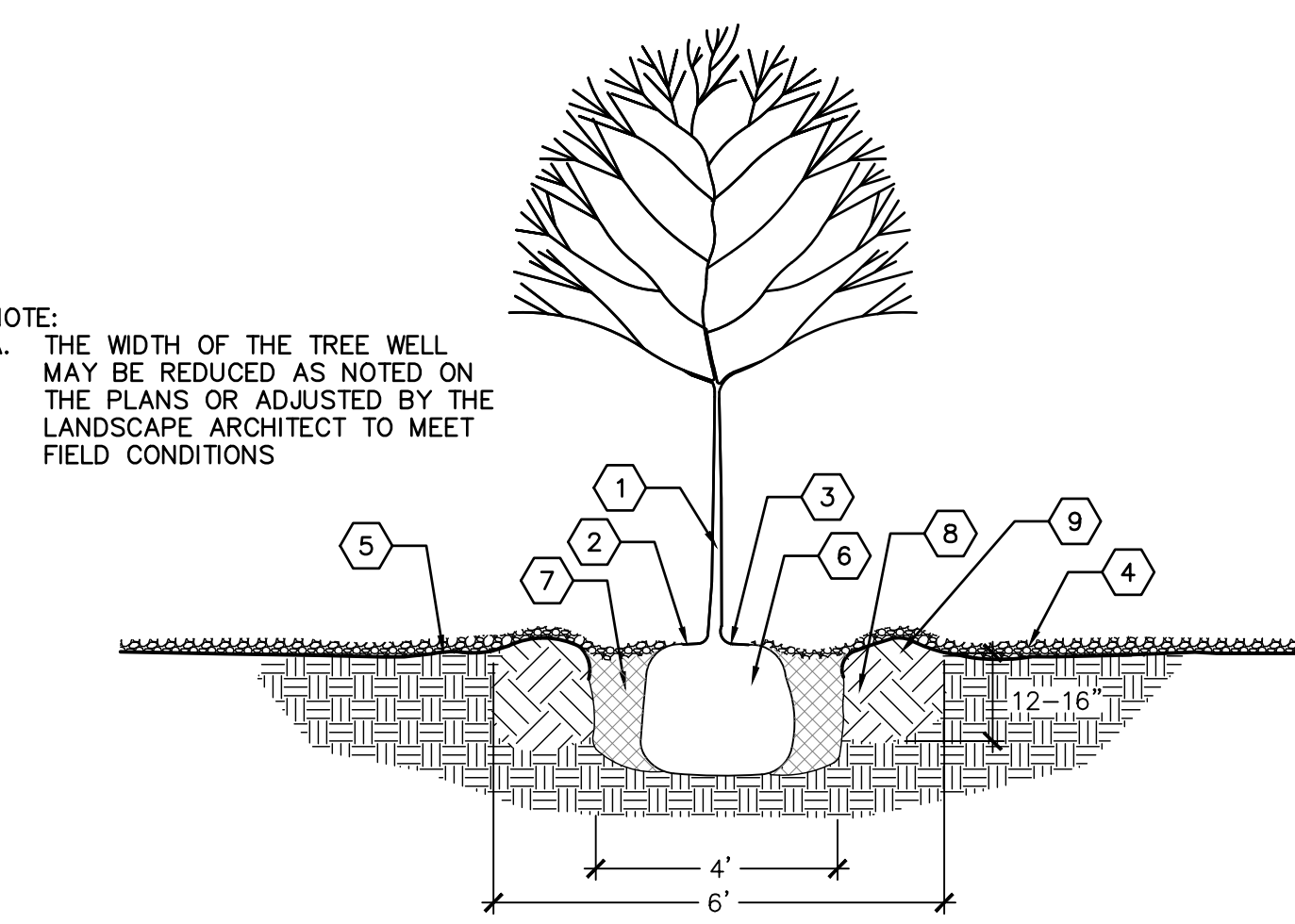
SOUTH PARKING LOT: 19,935 SF
1,994 SF PROVIDED PARKING LOT INTERIOR LANDSCAPE:
5,086 SF (25.5% OF REQUIRED INTERIOR LANDSCAPE)

REQUIRED COVERAGE (75% OF PROVIDED LANDSCAPE AREA):
12,752 SF PROVIDED COVERAGE:
12,782 SF (75.17% OF PROVIDED COVERAGE)

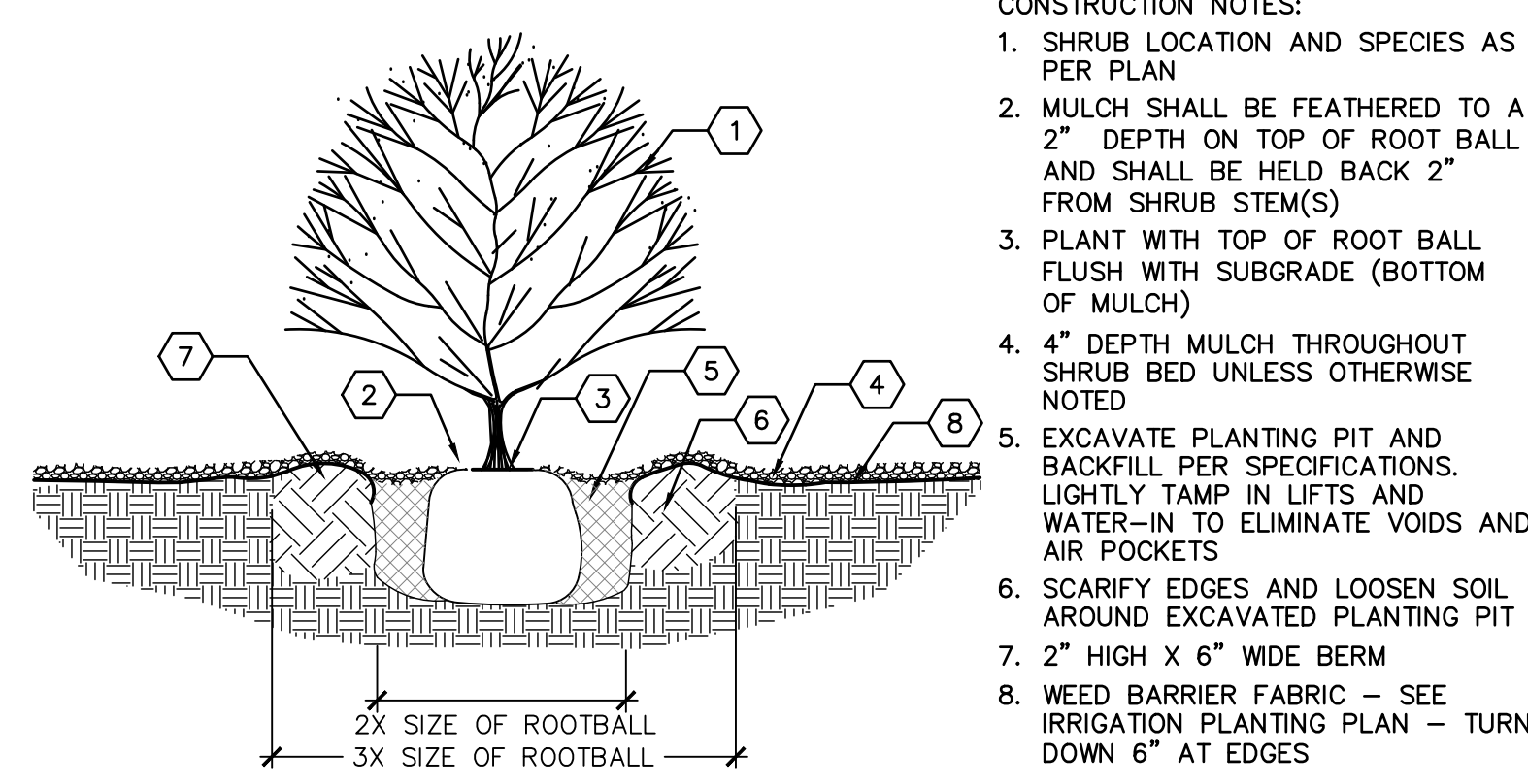
REQUIRED GROUND LEVEL VEGETATIVE COVERAGE (25% OF PROVIDED LANDSCAPE AREA)
4,251 SF PROVIDED GROUND LEVEL PLANT COVERAGE:
4,276 SF (25.14% OF PROVIDED GROUND LEVEL COVERAGE)



NOTE:
A. THE WIDTH OF THE TREE WELL MAY BE REDUCED AS NOTED ON THE PLANS OR ADJUSTED BY THE LANDSCAPE ARCHITECT TO MEET FIELD CONDITIONS



A4 TREE PLANTING DETAIL
SCALE: NTS



A6 SHRUB PLANTING DETAIL

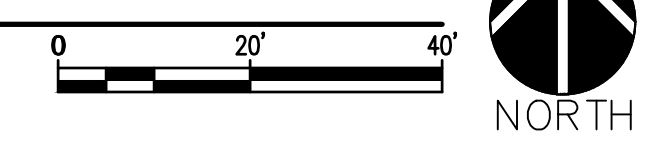
CONSTRUCTION NOTES:

- TREE LOCATION AND SPECIES AS PER PLAN
- MULCH SHALL BE HELD BACK 4" FROM TREE TRUNK
- REMOVE EXISTING SOIL (FROM NURSERY) AS NEEDED TO EXPOSE ROOT FLARE. INSTALL WITH ROOT FLARE FLUSH WITH SUBGRADE (BOTTOM OF MULCH)
- MULCH - SEE PLANTING PLAN
- WEED BARRIER FABRIC - SEE PLANTING PLAN - TURN DOWN 6" AT EDGES
- INSTALL TREE PLUMB. REMOVE WIRE BASKET, WOOD BOX, PLASTIC, TWINE, AND/OR ROPE PRIOR TO BACKFILL. REMOVE BURLAP EXCEPT FROM BOTTOM OF ROOT BALL
- EXCAVATE PLANTING PIT AND BACKFILL PER SPECIFICATIONS. LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS
- SCARIFY EDGES AND LOOSEN SOIL AROUND EXCAVATED PLANTING PIT
- 4" HIGH X 12" WIDE BERM, 6" MINIMUM DIAMETER OR AS SHOWN ON THE PLANS

CONSTRUCTION NOTES:

- SHRUB LOCATION AND SPECIES AS PER PLAN
- MULCH SHALL BE FEATHERED TO A 2" DEPTH ON TOP OF ROOT BALL AND SHALL BE HELD BACK 2" FROM SHRUB STEM(S)
- PLANT WITH TOP OF ROOT BALL FLUSH WITH SUBGRADE (BOTTOM OF MULCH)
- 4" DEPTH MULCH THROUGHOUT SHRUB BED UNLESS OTHERWISE NOTED
- EXCAVATE PLANTING PIT AND BACKFILL PER SPECIFICATIONS. LIGHTLY TAMP IN LIFTS AND WATER-IN TO ELIMINATE VOIDS AND AIR POCKETS
- SCARIFY EDGES AND LOOSEN SOIL AROUND EXCAVATED PLANTING PIT
- 2" HIGH X 6" WIDE BERM
- WEED BARRIER FABRIC - SEE IRRIGATION PLANTING PLAN - TURN DOWN 6" AT EDGES

A1 LANDSCAPE PLAN
SCALE: 1"=20'-0"



P.O. BOX 923
CORRALES, NEW MEXICO
8 7 0 4 8
505.220.0595
505.242.7627



VENICE VOLLEYBALL FACILITY
5801 VENICE AVE NE,
ALBUQUERQUE, NEW MEXICO 87113

REVISIONS	DATE	DESCRIPTION
	01/24/24	

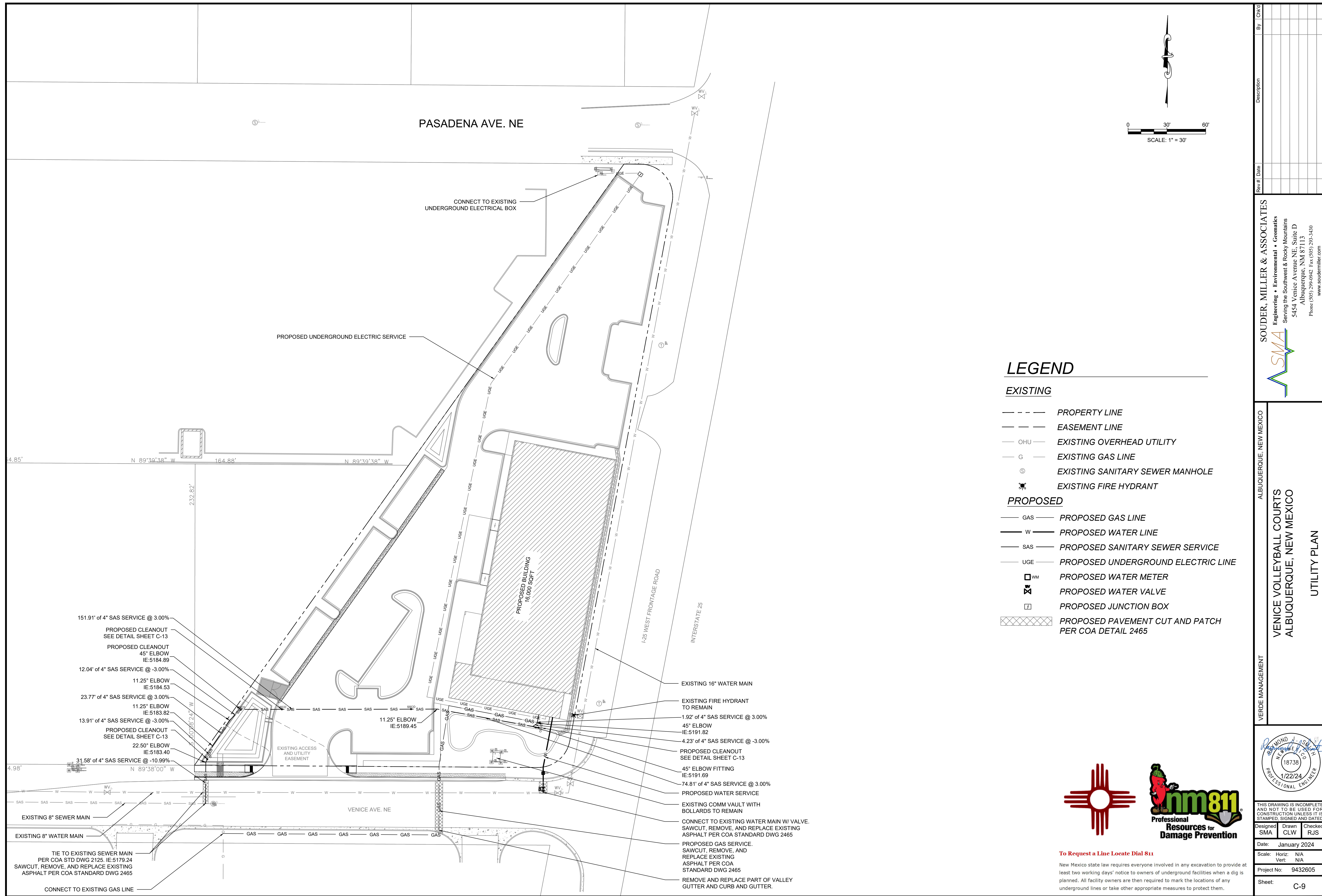
PROJECT NO: 2023-VW
DATE: 10.10.2023
SET NO: 23070
DRAWN BY: KA
CHECKED BY: BV



plandcollab.com 505 268 2266

VENICE VOLLEYBALL FACILITY

5801 VENICE AVE NE,
ALBUQUERQUE, NEW MEXICO 87113



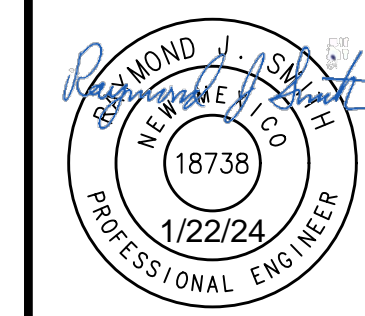
© Copyright 2024 Souder, Miller & Associates - All Rights Reserved

P:\9-Studio\151 Venice Volleyball Courts (9432605)\CAD\Civil\PlanSet\UTILITIES.dwg 1/22/2024 10:13 AM C207



To Request a Line Locate Dial 811

New Mexico state law requires everyone involved in any excavation to provide at least two working days' notice to owners of underground facilities when a dig is planned. All facility owners are then required to mark the locations of any underground lines or take other appropriate measures to protect them.



THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

Designed SMA Drawn CLW Checked RJS

Date: January 2024

Scale: Horiz: N/A Vert: N/A

Project No: 9432605
Sheet: C-9

REVISIONS	DATE	DESCRIPTION
Δ	1/24/2024	DFT COMMENTS

PROJECT NO: 2023-VW
DATE: 1.23.2024
SET NO: XXXX
DRAWN BY: XX
CHECKED BY:

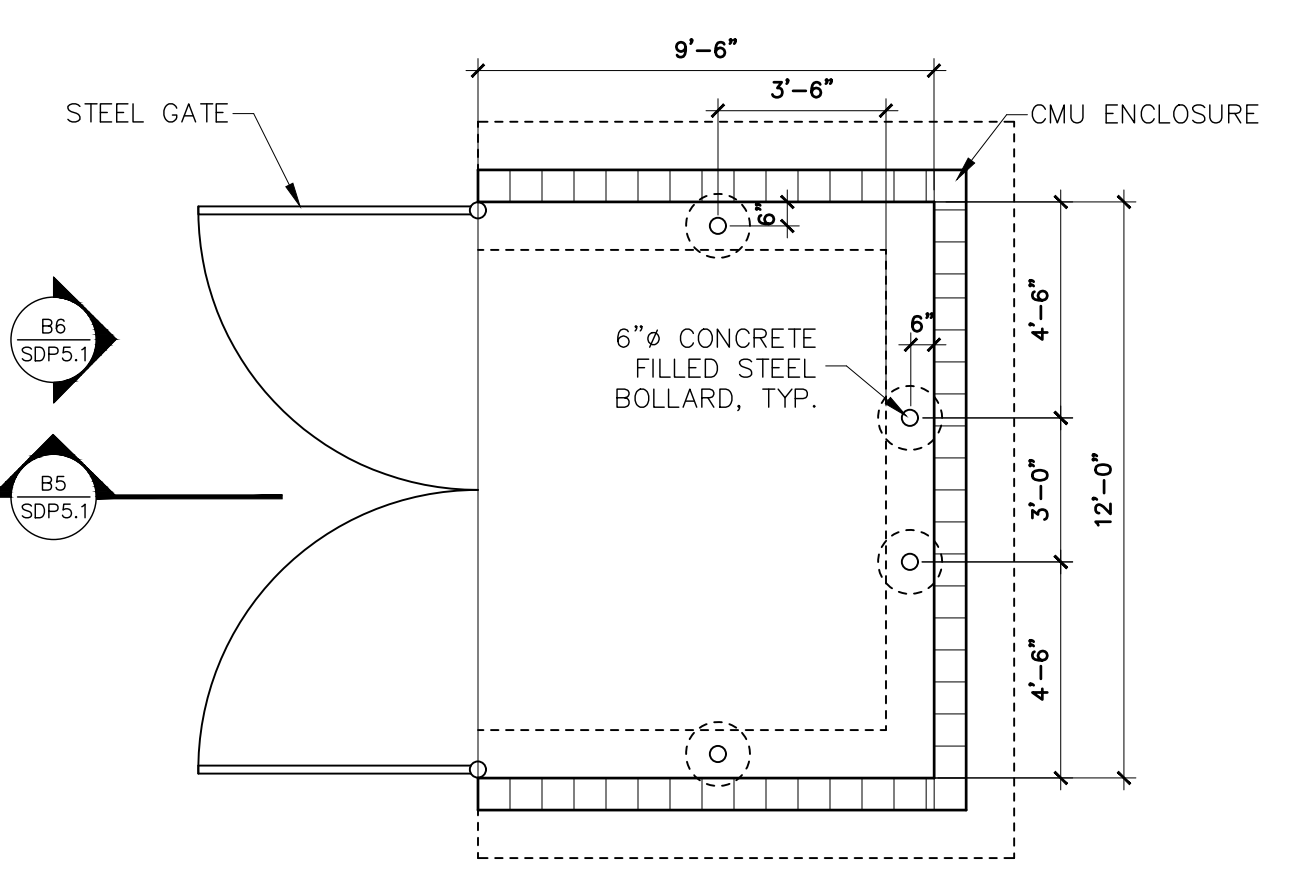
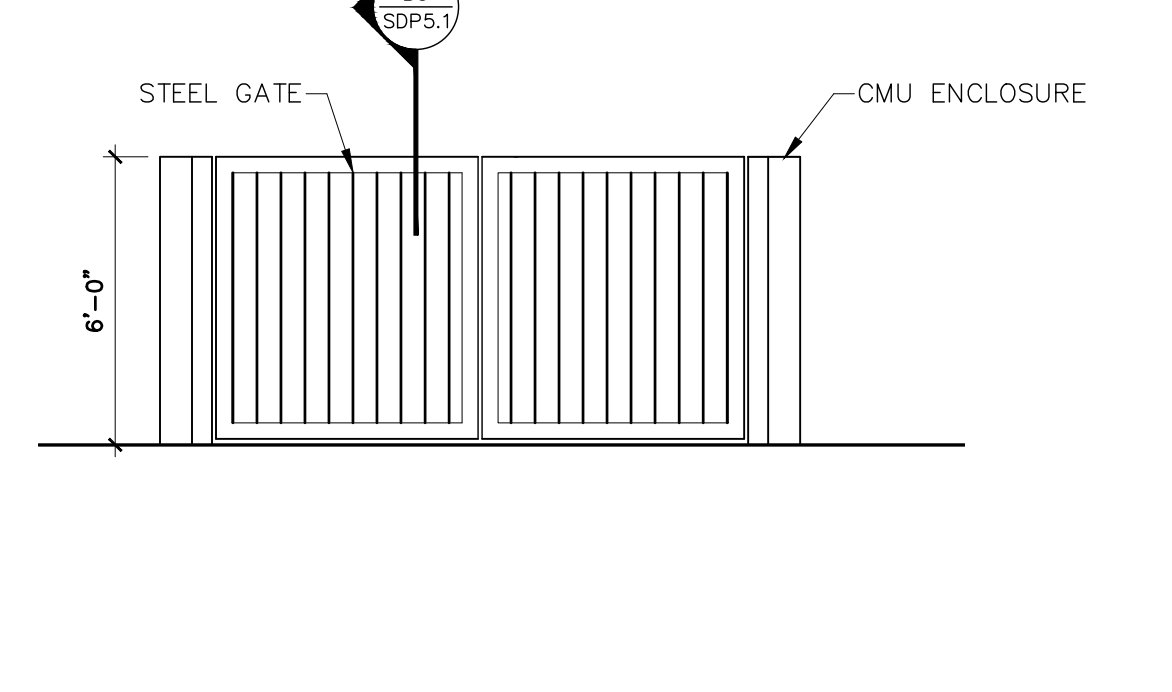
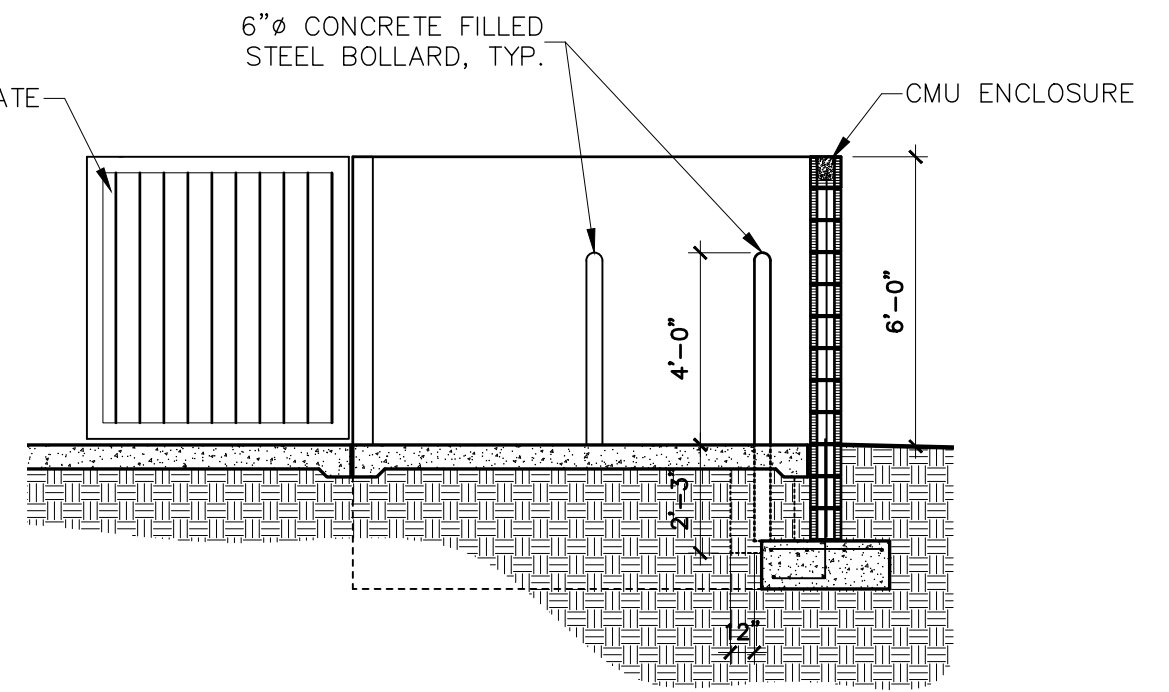
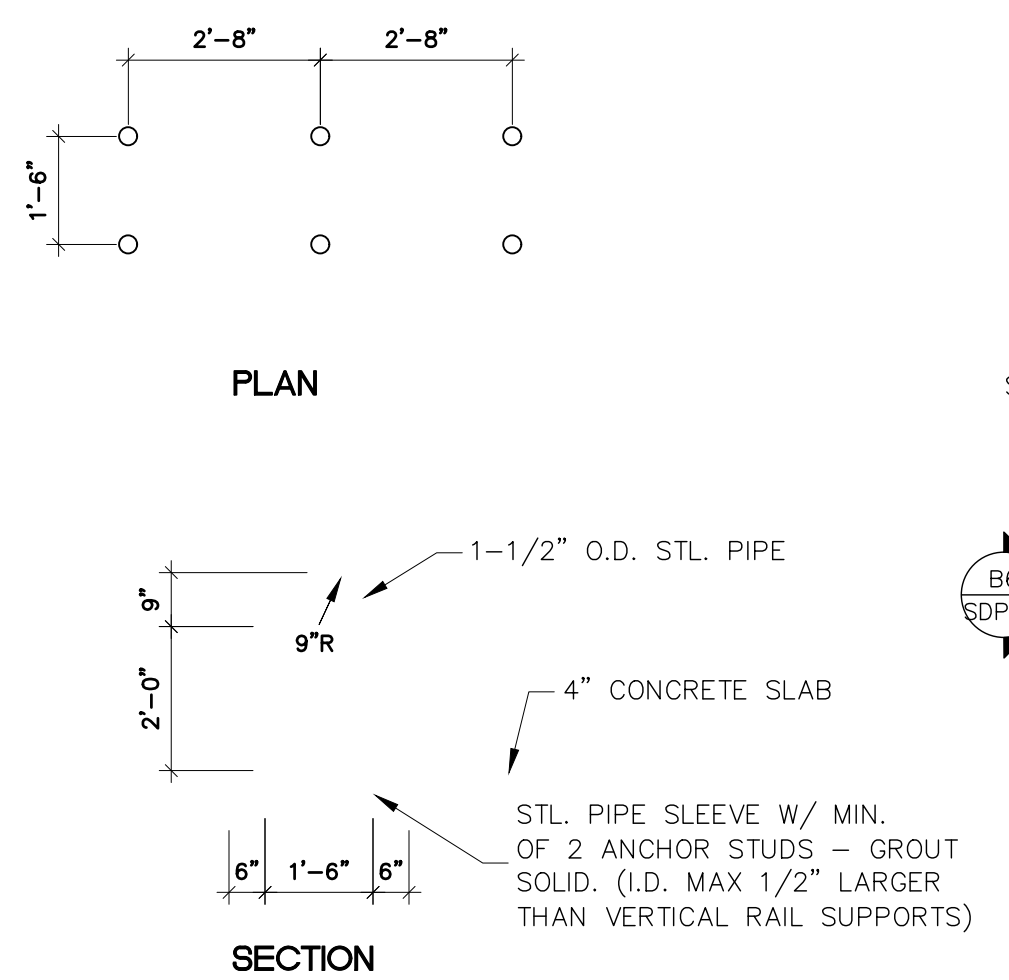
SITE PLAN ADMINISTRATIVE DFT - UTILITY PLAN



VENICE VOLLEYBALL FACILITY
5801 VENICE AVE NE,
ALBUQUERQUE, NEW MEXICO 87113



GENERAL SIGNAGE NOTE
FINAL SIGNAGE WILL MEET REQUIREMENTS OF CPO-10 FOR MONUMENT SIGNS AND IDO 5-12 REGARDING SIZE OF WALL MOUNTED SIGNAGE. FINAL SIGNAGE STANDARDS WILL BE ADDRESSED AT BUILDING PERMIT.
SIGNS GREATER THAN 24 SQUARE FEET WILL REQUIRE A SIGN PERMIT - 14-16-5-12(D)
MAX AREA OF SIGN: 25% OF FACADE
= 25' x 5.103 SF = 1,493 SF (EAST + WEST)
= 25' x 2.410 SF = 602 SF (SOUTH)
AREA PROVIDED
= 218 SF (EAST)
= 64 SF (SOUTH)
= 64 SF (WEST)

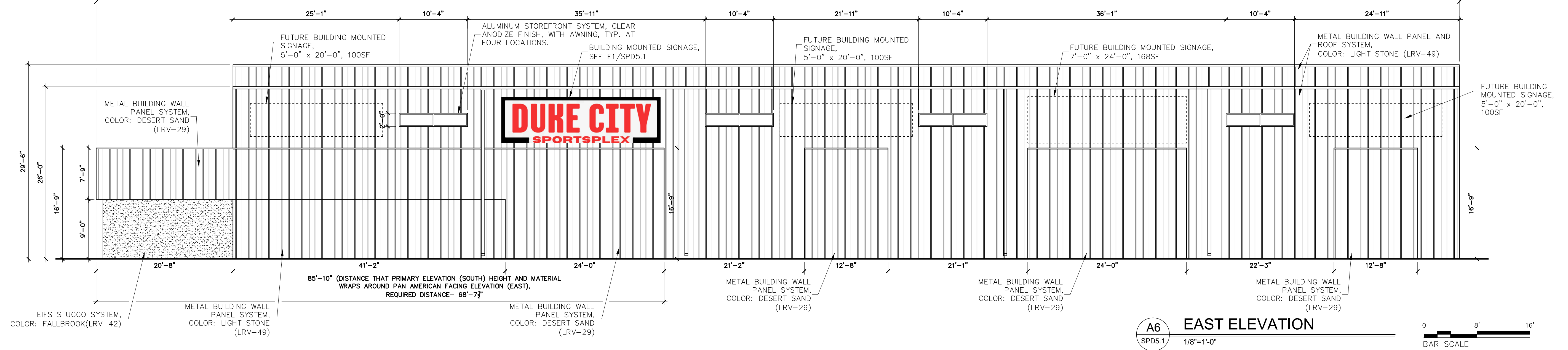
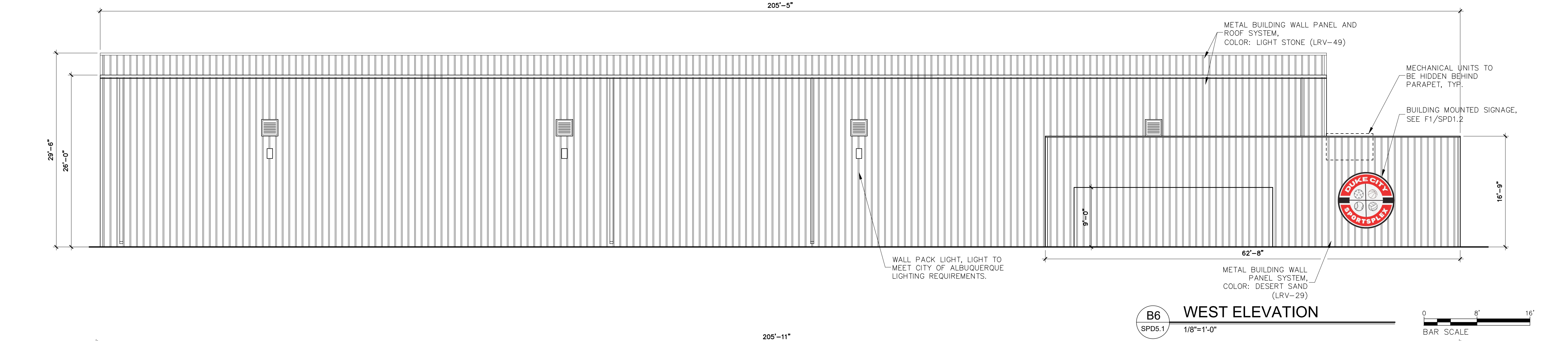
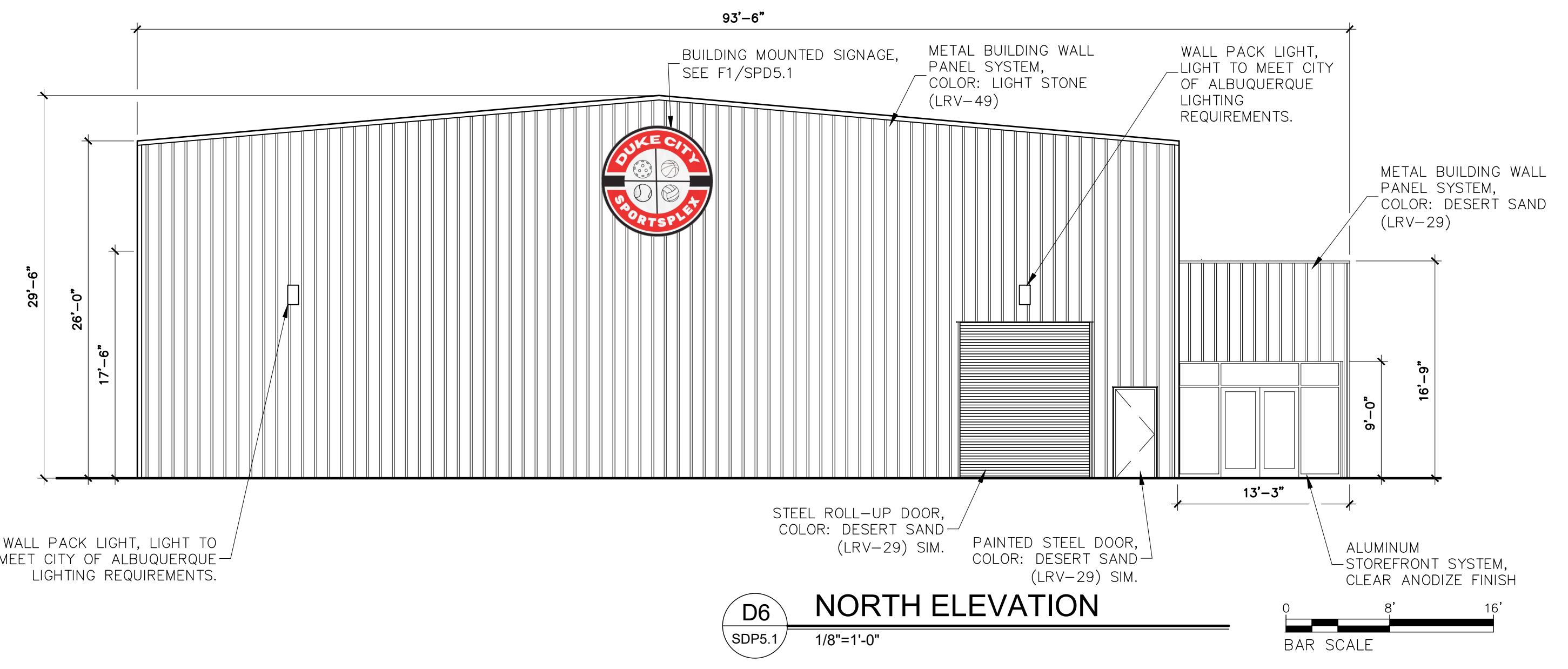
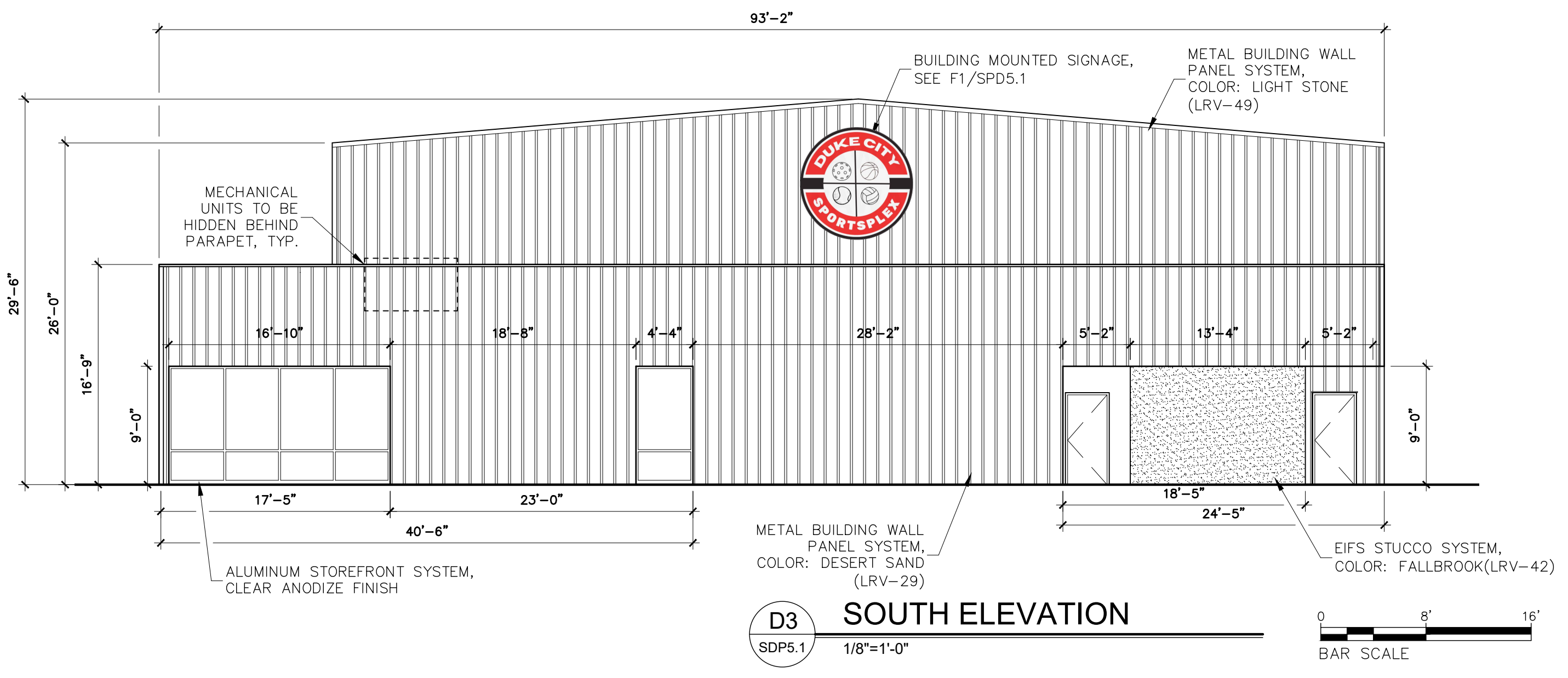


- GENERAL NOTES**
- A. SEE LANDSCAPE PLAN FOR COMPLIANCE WITH CITY OF ALBUQUERQUE LANDSCAPING GUIDELINES.
 - B. SEE ELECTRICAL SITE PLAN FOR PARKING LOT LIGHT FIXTURE SPECIFICATIONS.
 - C. FIRE LANE TO BE PAINTED RED CURBS WITH WHITE STENCIL "FIRE LANE NO PARKING" - TYPICAL.
 - D. ALL REQUIRED PUBLIC INFRASTRUCTURE SHALL BE FINANCIALLY GUARANTEED.
 - E. LANDSCAPING, SIGNAGE, WALLS, FENCES, TREED, AND SHRUBBERY BETWEEN THREE (3) AND EIGHT FEET (8) TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.

IDO DEVELOPMENT STANDARDS

- 14-16-3-4(K) NORTH 1-25 - CPO-10
3-4(K)(4)(b) Building Design
All multi-family, mixed-use, and non-residential development shall comply with the standards in Subsection 14-16-5-11(E) (Mixed-use and Non-residential Zone Districts), with the following exceptions:
1. Notwithstanding the exclusion of the NR-LM and NR-GM zone districts in Subsection 14-16-5-11(E) (Mixed-use and Non-residential Zone Districts), development in these zone districts shall meet the standards in that Subsection.
2. Primary building facades that face a public street shall wrap around the building at a distance of 1/3 the depth of the building or 20 feet, whichever is greater.
REQUIRED - 68-79'
PROVIDED - 85-10'
3. Building materials and colors shall have a light reflective value (LVR) ranging from 20 percent to 50 percent.
PROVIDED - Metal Panels (49% & 29%)
Stucco (42%)
4. Reflective or mirrored glass is prohibited.
3-4(K)(4)c: On-premises Signs
2. Freestanding Signs
a. pole mounted signs are prohibited
b. Monument signs shall be a maximum size of 50 square feet with a maximum height of 13 feet, including a base with a height of at least 2 feet and no more than 3 feet.
c. 1 additional monument sign is allowed on a premises of 5 or more acres.

- 14-16-5-11(E)(2) FACADE DESIGN
5-11(E)(2)(a) GENERAL
2. EACH STREET-FACING FACADE SHALL INCORPORATE AT LEAST 2 OF THE FOLLOWING FEATURES (ILLUSTRATED BELOW) ALONG AT LEAST 30 PERCENT OF THE LENGTH OF THE FACADE, DISTRIBUTED ALONG THE FACADE SO THAT AT LEAST 1 OF THE INCORPORATED FEATURES OCCURS EVERY 40 FEET:
a. GROUND-FLOOR TRANSPARENT WINDOWS, WITH THE LOWER EDGE OF THE WINDOW SILLS NO HIGHER THAN 30" ABOVE THE FINISH FLOOR.
b. WINDOWS ON UPPER FLOORS.
c. PRIMARY PEDESTRIAN ENTRANCES
d. PORTALS, ARCADES, CANOPIES, TRELLISES, AWNINGS OVER WINDOWS, OR OTHER ELEMENTS THAT PROVIDE SHADE OR PROTECTION FROM THE WEATHER.
e. SUN SHELVES OR OTHER EXTERIOR BUILDING FEATURES DESIGNED TO REFLECT SUNLIGHT INTO THE BUILDING AND REDUCE THE NEED FOR INTERIOR LIGHTING.
f. RAISED PLANTERS BETWEEN 12 INCHES AND 28 INCHES ABOVE GRADE WITH THE SURFACE PLANTED TO ACHIEVE AT LEAST 75 PERCENT VEGETATIVE COVER AT MATURITY.
3. EACH STREET-FACING FACADE LONGER THAN 100 FEET SHALL INCORPORATE AT LEAST 1 OF THE FOLLOWING ADDITIONAL FEATURES (ILLUSTRATED BELOW):
a. WALL PLANE PROJECTIONS OR RECESSES OF AT LEAST 1 FOOT IN DEPTH AT LEAST EVERY 100 FEET OF FACADE LENGTH AND EXTEND FOR AT LEAST 25 PERCENT OF THE LENGTH OF THE FACADE.
b. A CHANGE IN COLOR, TEXTURE, OR MATERIAL AT LEAST EVERY 50 FEET OF FACADE LENGTH AND EXTENDING AT LEAST 20 PERCENT OF THE LENGTH OF THE FACADE.
c. AN OFFSET, REVEAL, PILASTER, OR PROJECTION ELEMENT NO LESS THAN 2 FEET IN WIDTH, PROJECTING FROM THE FACADE BY AT LEAST 6 INCHES, AND REPEATING AT A MINIMUM OF 30 FEET OF FACADE LENGTH.
d. THREE DIMENSIONAL CORNICE OR BASE TREATMENTS.
e. A PROJECTING GABLE, HIP FEATURE, OR CHANGE IN PARAPET HEIGHT AT LEAST EVERY 100 FEET OF FACADE LENGTH.
f. ART SUCH AS MURALS OR SCULPTURE THAT IS PRIVATELY OWNED OR COORDINATED THROUGH THE CITY PUBLIC ARTS PROGRAM.



SOUTH ELEVATION
South Facade Length: 93'-2"
Required Design Element Length: 93'-2" / 3 = 28'-0"
Provided Design Element Length: 31'-6"
windows: 21'-2"
element that provides shade or protection from the weather: 10'-4"

EAST ELEVATION
East Facade Length: 205'-4"
Required Design Element Length: 205'-4" / 3 = 68'-8"
Provided Design Element Length: 103'-4"
windows at upper floors: 41'-4"
element that provides shade or protection from the weather: 62'-0"
window awnings: 41'-4"
covered building entry: 20'-8"

Facade Length longer than 100'-0" requirement: a change of color every 50 feet of facade length and extending at least 20 percent of the length of the facade.
Required Color Change Length: 205'-7" / 2 = 41'-11"
Provided Color Change Length: 106'-6"

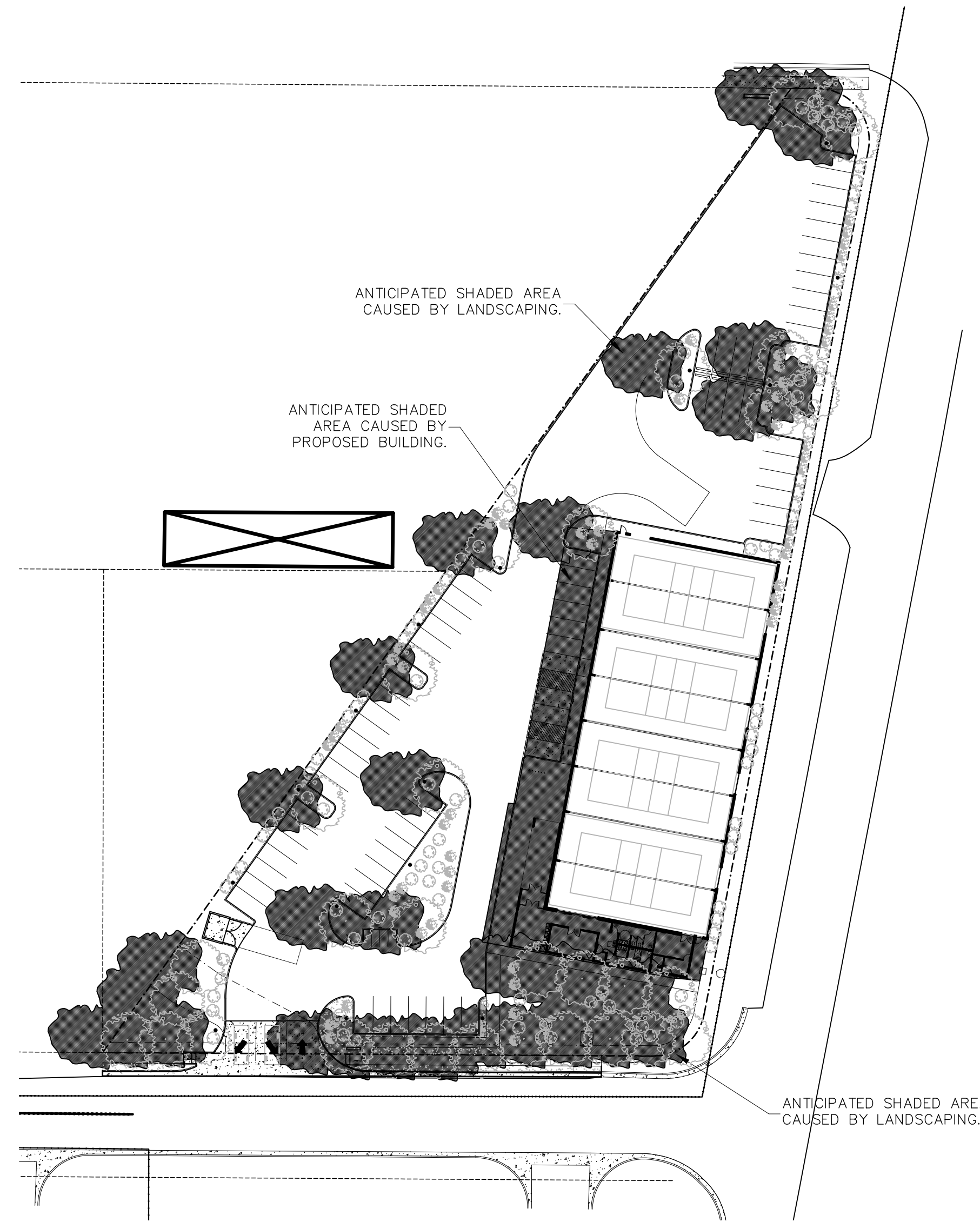
REVISIONS	DATE	COMMENTS	MARK	DATE	DESCRIPTION
1	1/24/2024	DFT COMMENTS			

PROJECT NO:	2023-VW
DATE:	1.23.2024
SET NO:	XXXX
DRAWN BY:	XX
CHECKED BY:	

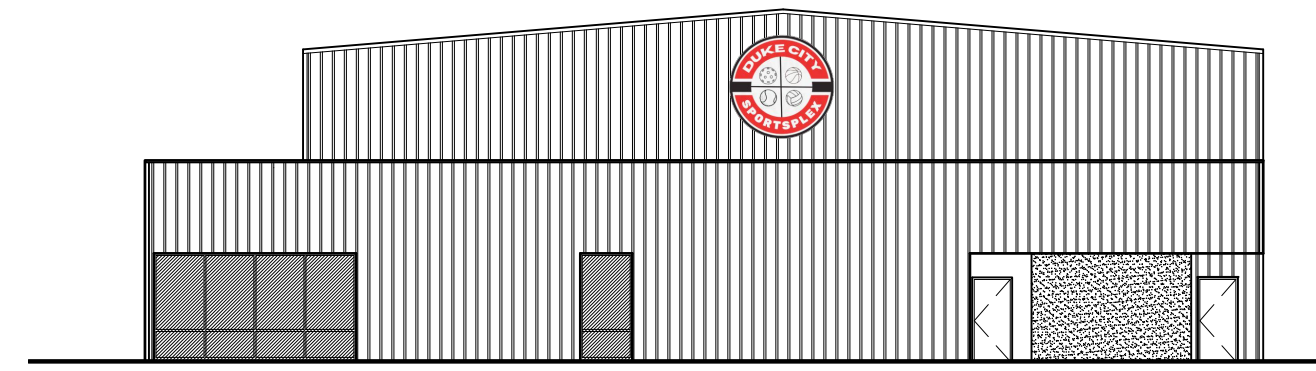
SITE PLAN
ADMINISTRATIVE DFT -
SITE DETAILS / BUILDING
ELEVATIONS



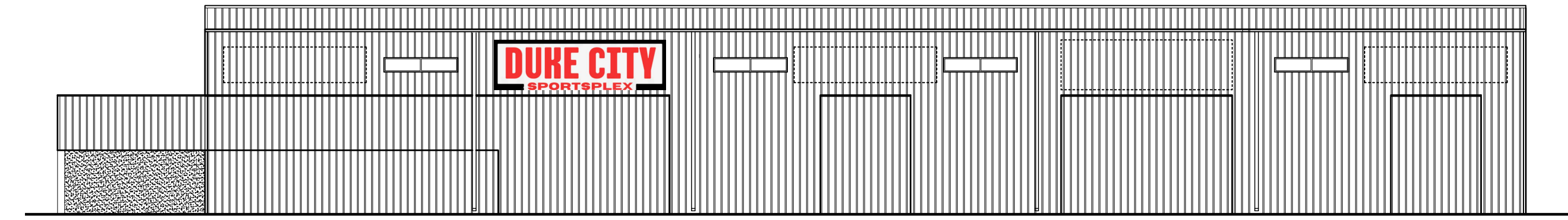
VENICE VOLLEYBALL FACILITY
5801 VENICE AVE NE,
ALBUQUERQUE, NEW MEXICO 87113



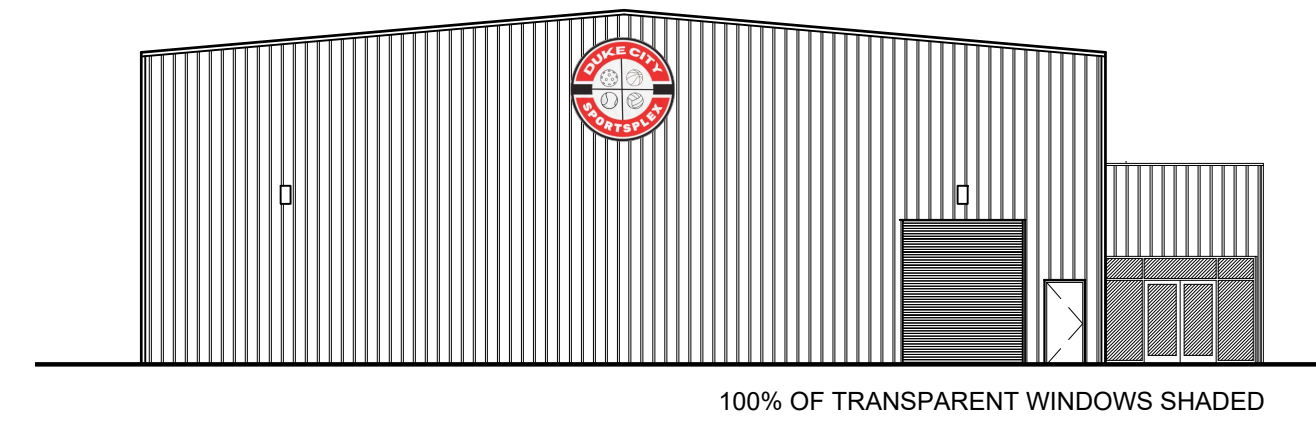
D2 SITE PLAN SUN / SHADE ANALYSIS 5/21 9:00AM
SPD5.2 1"=50'-0"



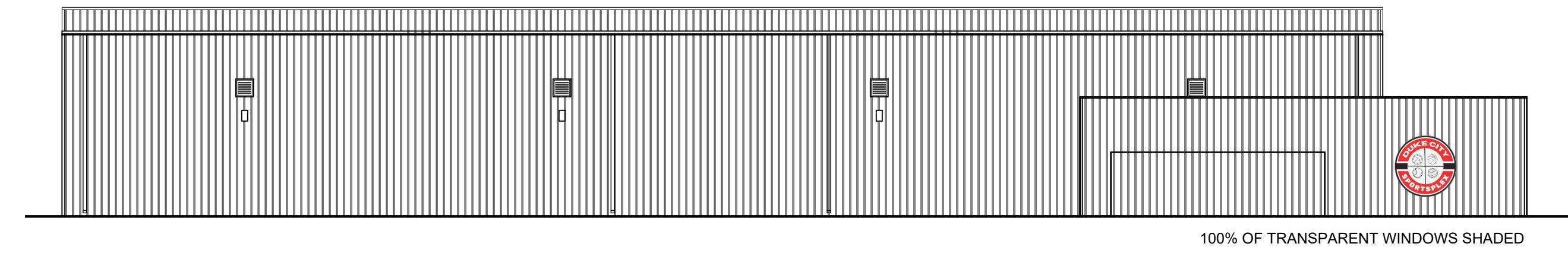
F3 SOUTH ELEVATION
SUN / SHADE ANALYSIS 5/21 9:00AM
SPD5.2 1/16"=1'-0"



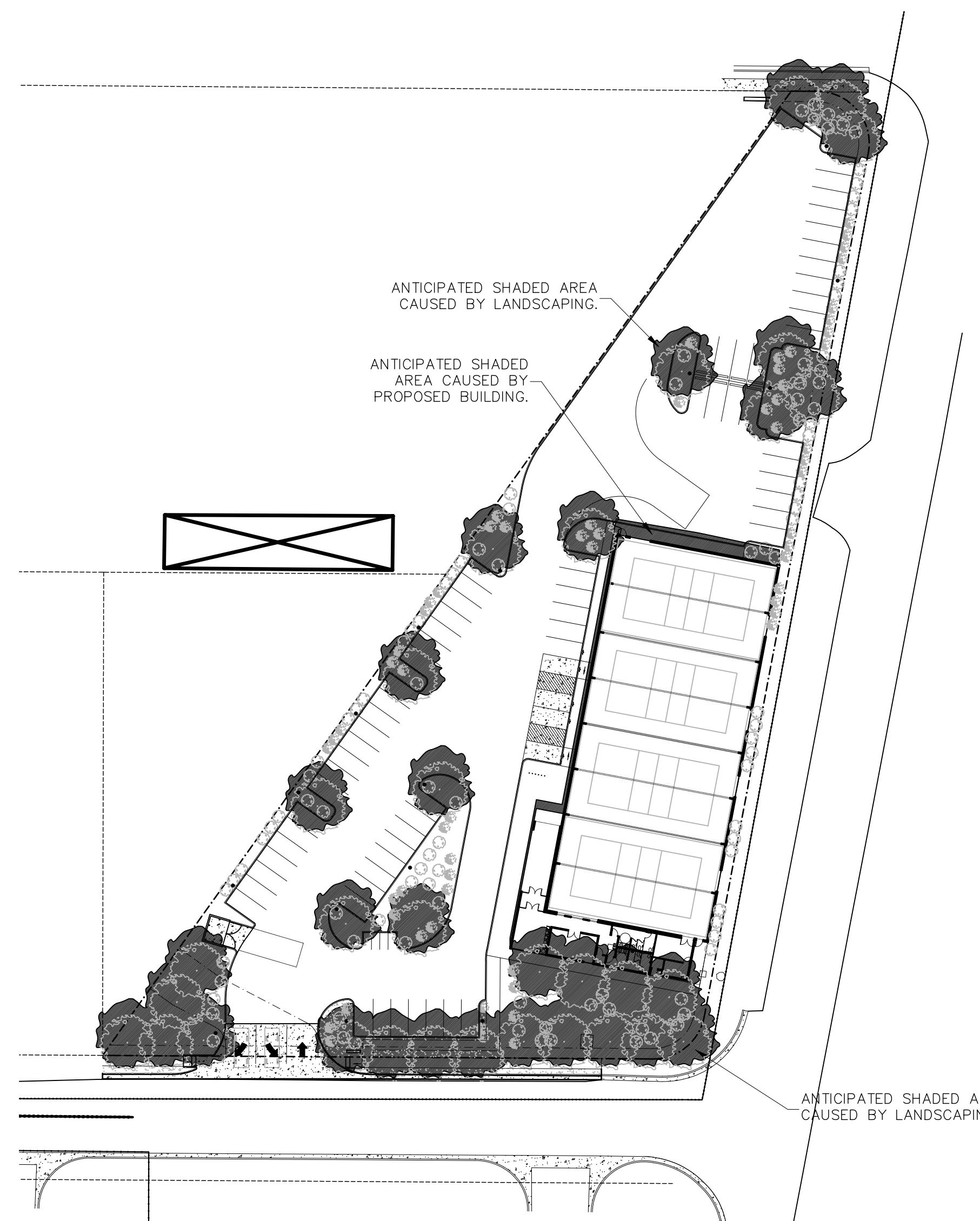
F6 EAST ELEVATION
SUN / SHADE ANALYSIS 5/21 9:00AM
SPD5.2 1/16"=1'-0"



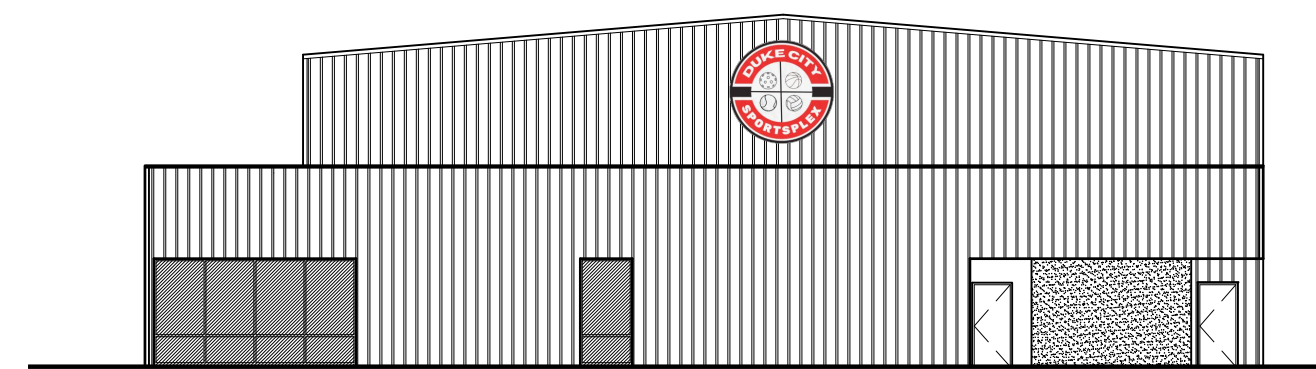
E3 NORTH ELEVATION
SUN / SHADE ANALYSIS 5/21 9:00AM
SPD5.2 1/16"=1'-0"



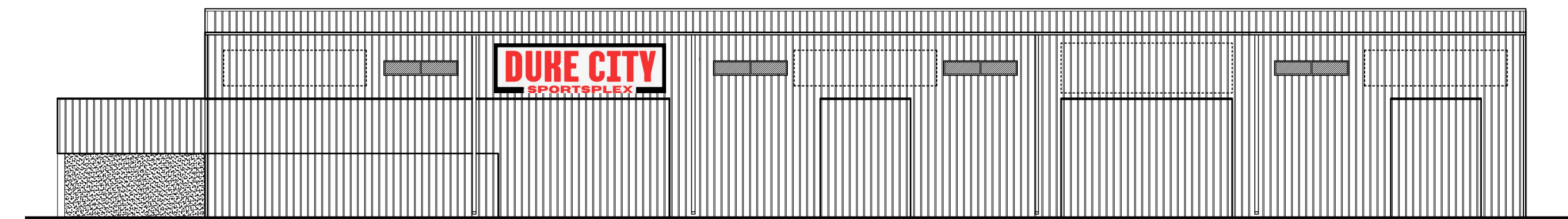
E6 WEST ELEVATION
SUN / SHADE ANALYSIS 5/21 9:00AM
SPD5.2 1/16"=1'-0"



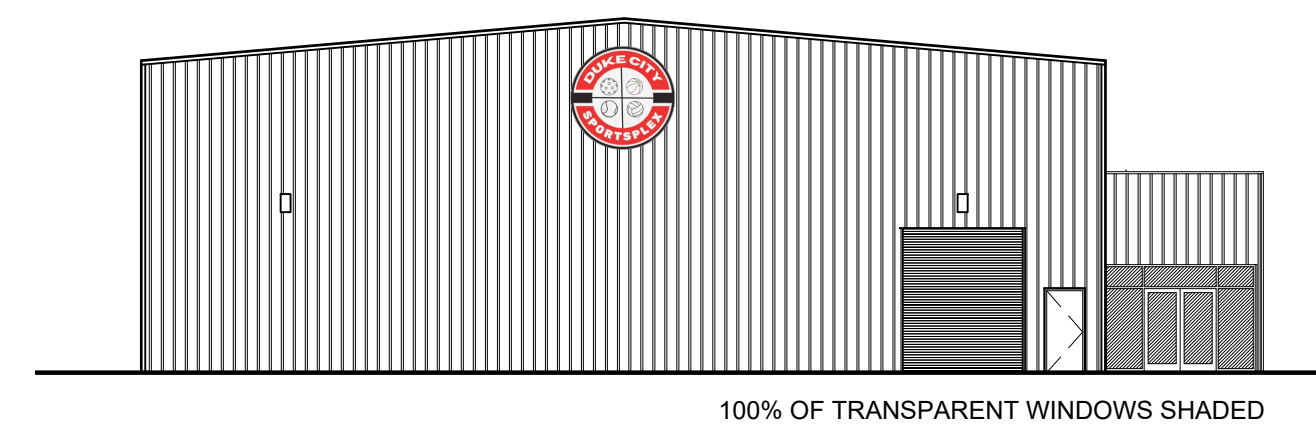
A2 SITE PLAN SUN / SHADE ANALYSIS 5/21 NOON
SPD5.2 1"=50'-0"



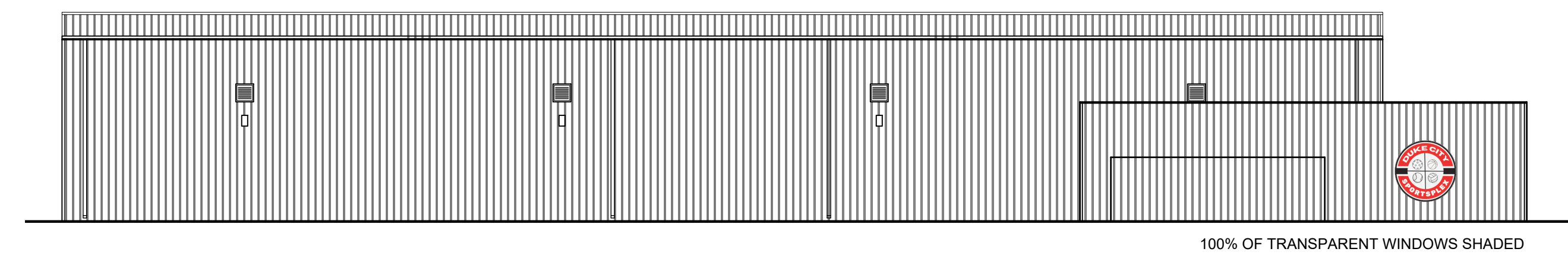
C2 SOUTH ELEVATION
SUN / SHADE ANALYSIS 5/21 NOON
SPD5.2 1/16"=1'-0"



C6 EAST ELEVATION
SUN / SHADE ANALYSIS 5/21 NOON
SPD5.2 1/16"=1'-0"



B2 NORTH ELEVATION
SUN / SHADE ANALYSIS 5/21 NOON
SPD5.2 1/16"=1'-0"

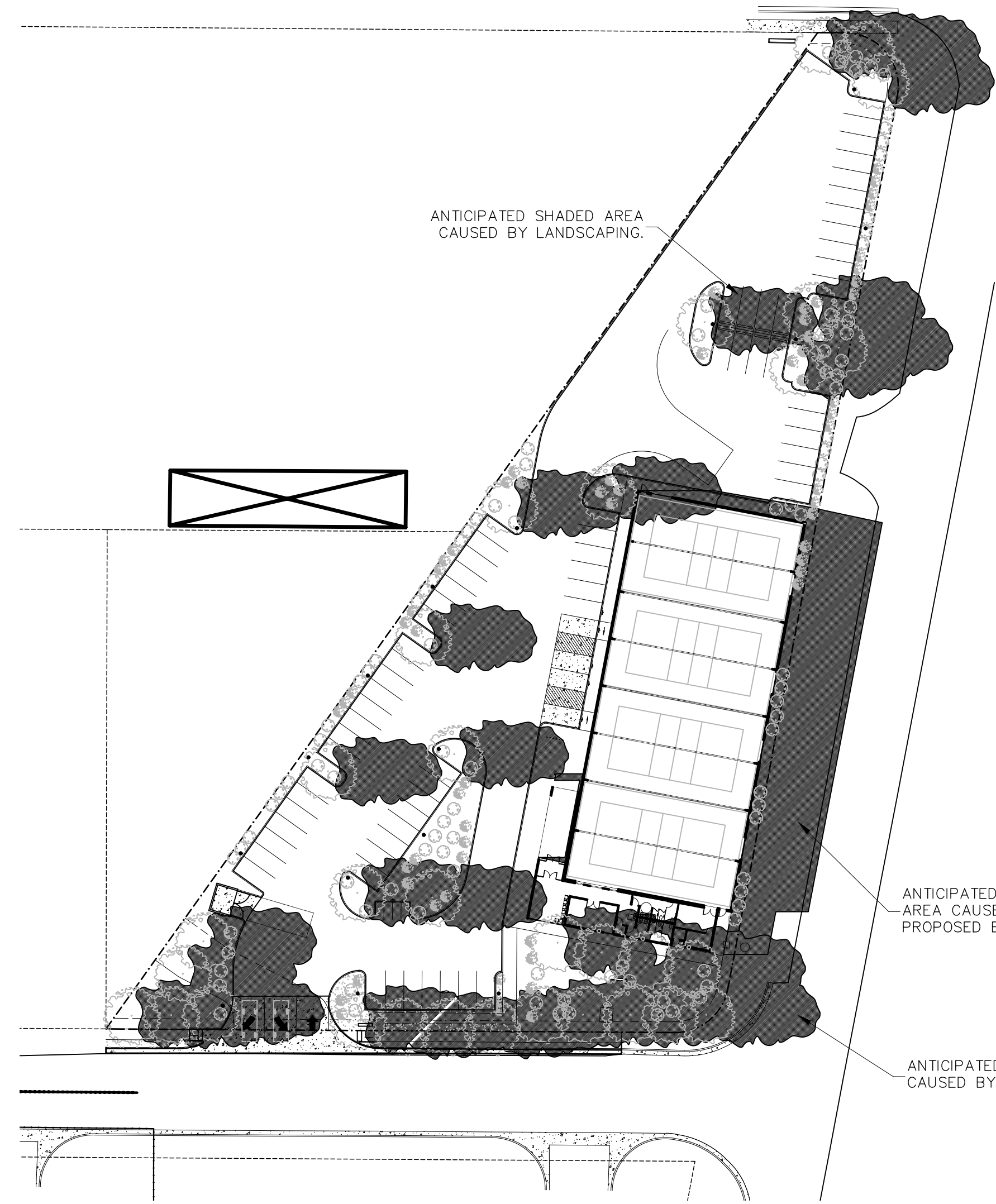


B6 WEST ELEVATION
SUN / SHADE ANALYSIS 5/21 NOON
SPD5.2 1/16"=1'-0"

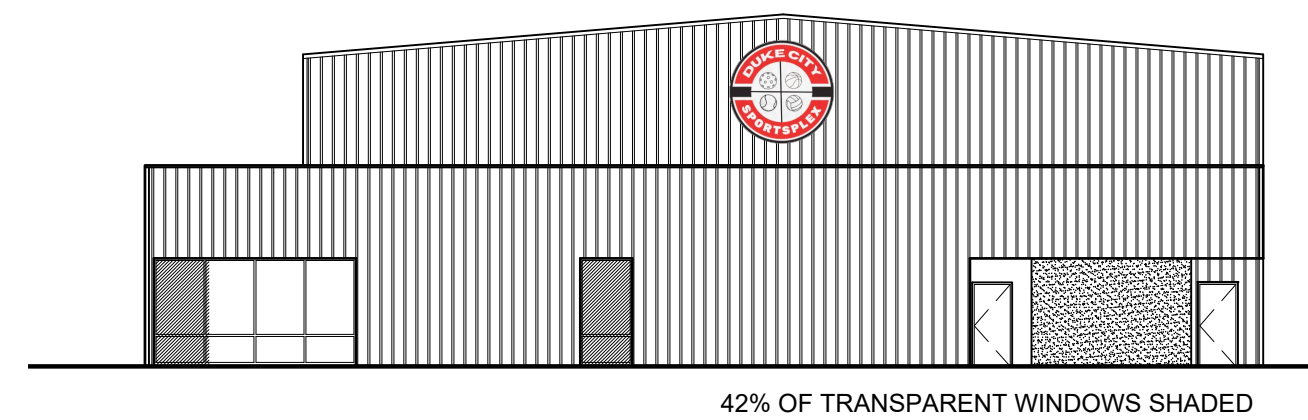
REVISIONS	DATE	COMMENTS	MARK	DATE	DESCRIPTION
1	1/24/2024	DFT COMMENTS			

PROJECT NO: 2023-VW
DATE: 1.23.2024
SET NO: XXXX
DRAWN BY: XX
CHECKED BY:

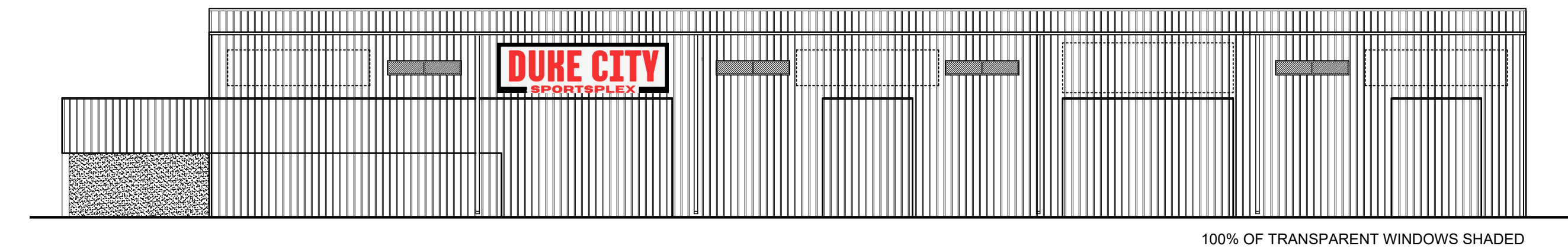
SITE PLAN
ADMINISTRATIVE DFT
- SUN AND SHADE ANALYSIS



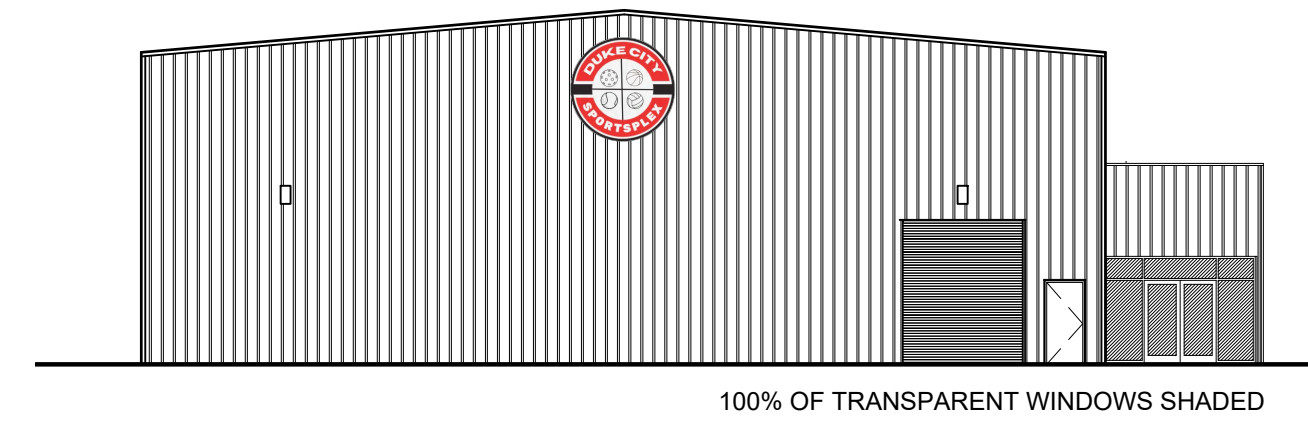
D2 SITE PLAN SUN / SHADE ANALYSIS 5/21 4:00PM
SPD5.3 1"=50'-0"



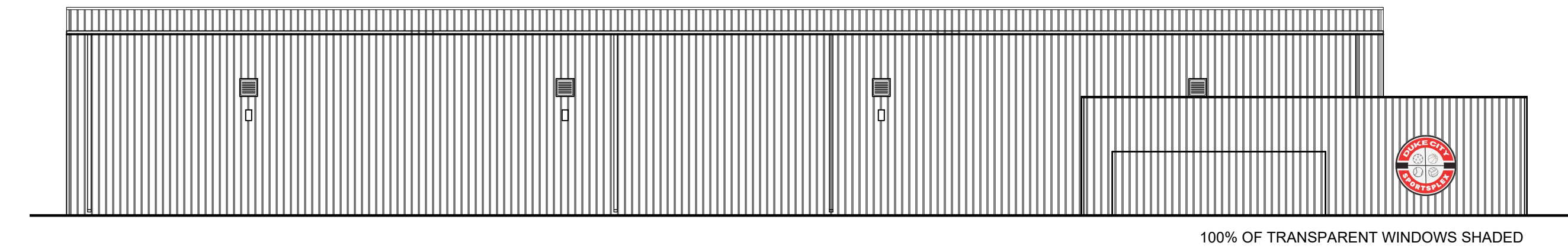
F3 SOUTH ELEVATION
SUN / SHADE ANALYSIS 5/21 4:00PM
SPD5.3 1/16"=1'-0"



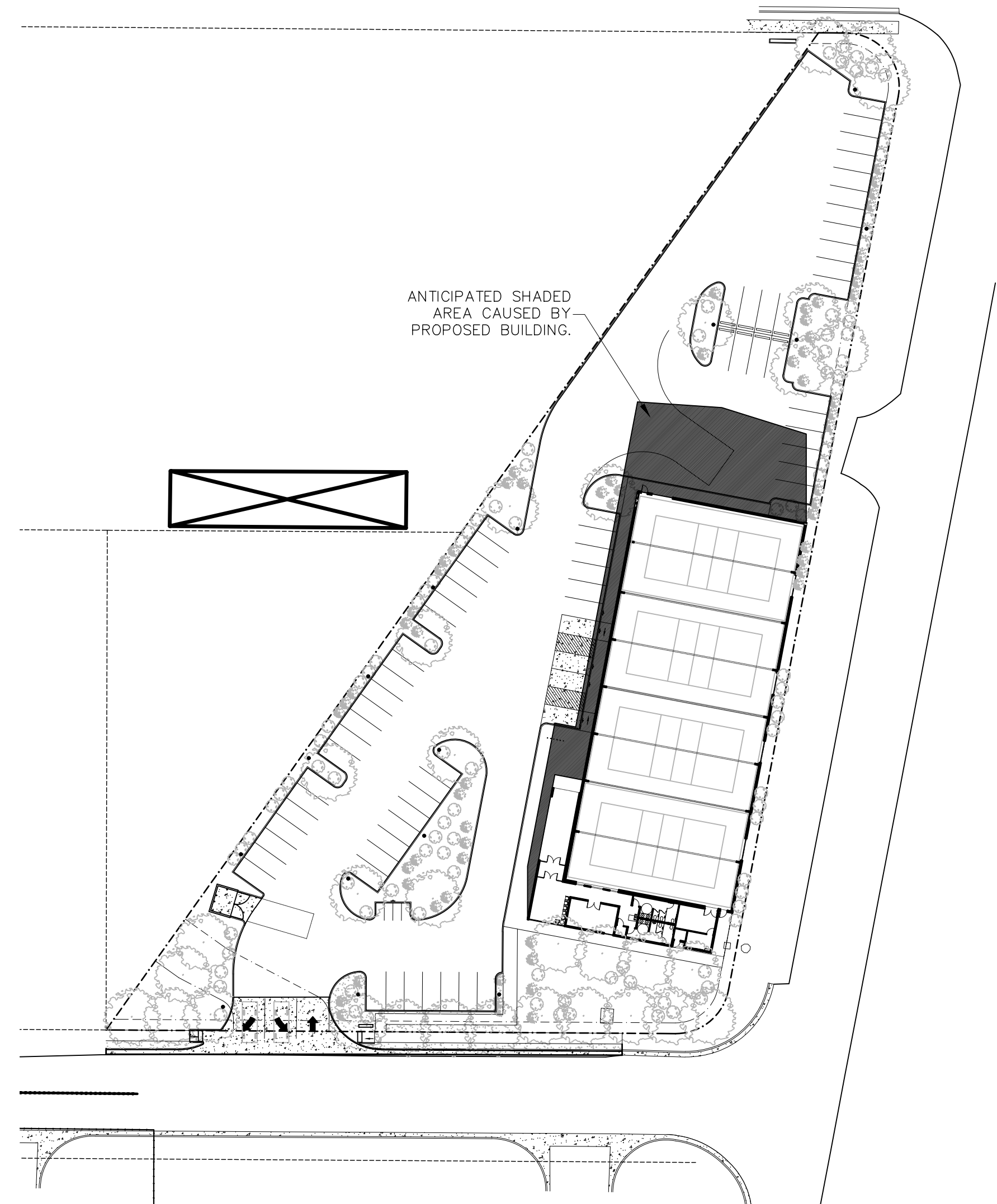
F6 EAST ELEVATION
SUN / SHADE ANALYSIS 5/21 4:00PM
SPD5.3 1/16"=1'-0"



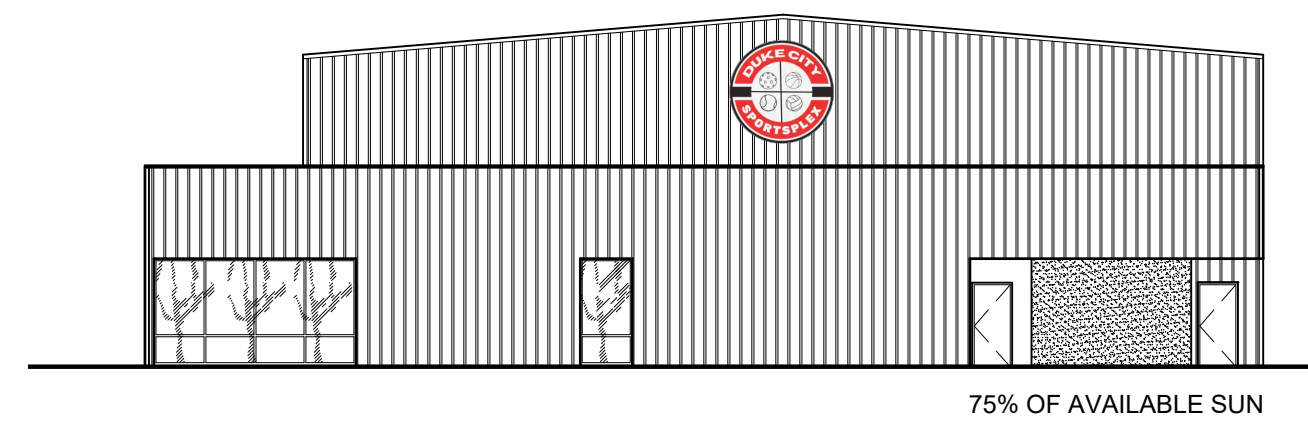
E3 NORTH ELEVATION
SUN / SHADE ANALYSIS 5/21 4:00PM
SPD5.3 1/16"=1'-0"



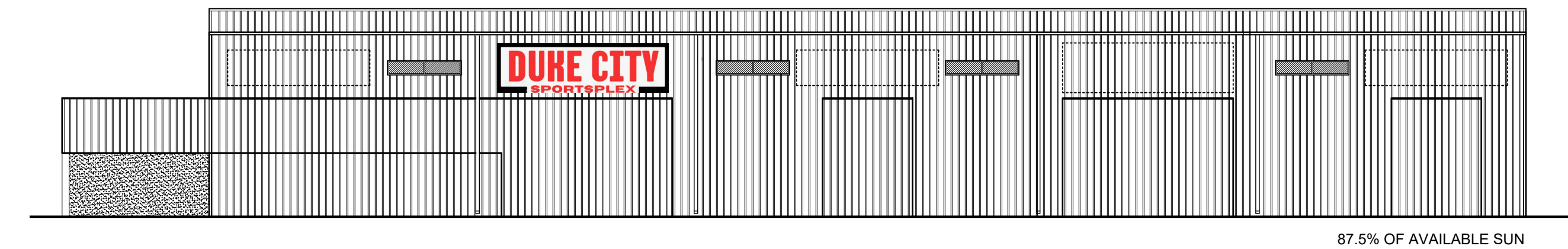
E6 WEST ELEVATION
SUN / SHADE ANALYSIS 5/21 4:00PM
SPD5.3 1/16"=1'-0"



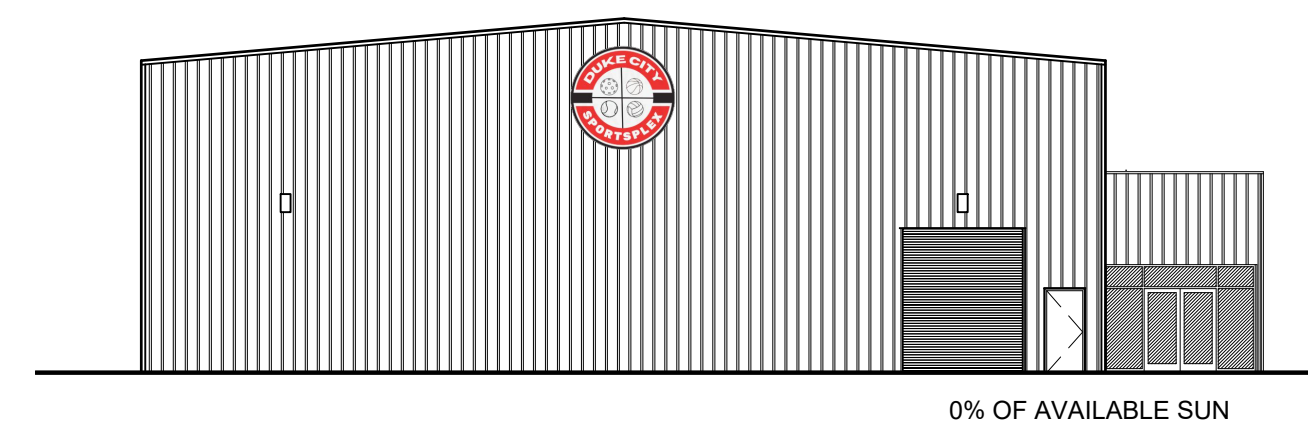
A2 SITE PLAN SUN / SHADE ANALYSIS 11/21 NOON
SPD5.3 1"=50'-0"



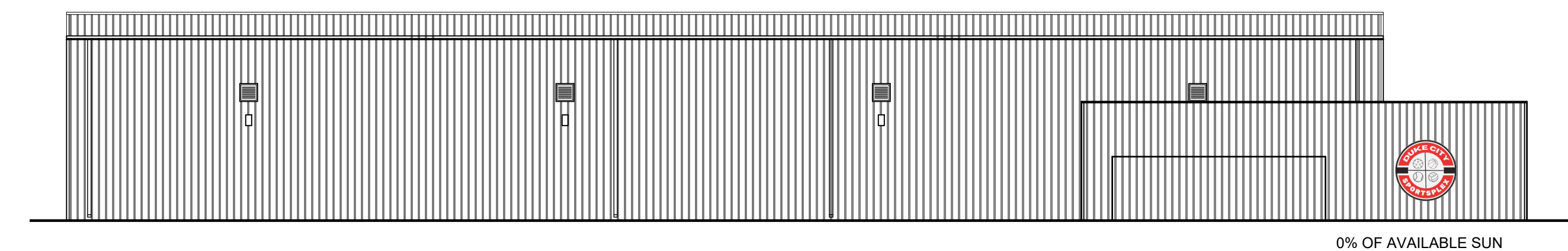
C3 SOUTH ELEVATION
SUN / SHADE ANALYSIS 11/21 NOON
SPD5.3 1/16"=1'-0"



C6 EAST ELEVATION
SUN / SHADE ANALYSIS 11/21 NOON
SPD5.3 1/16"=1'-0"



B3 NORTH ELEVATION
SUN / SHADE ANALYSIS 11/21 NOON
SPD5.3 1/16"=1'-0"



B6 WEST ELEVATION
SUN / SHADE ANALYSIS 11/21 NOON
SPD5.3 1/16"=1'-0"

VENICE VOLLEYBALL FACILITY

5801 VENICE AVE NE,
ALBUQUERQUE, NEW MEXICO 87113

REVISIONS	DATE	COMMENTS	MARK	DATE	DESCRIPTION
Δ	1/24/2024	DFT COMMENTS			

PROJECT NO: 2023-VW
DATE: 1.23.2024
SET NO: XXXX
DRAWN BY: XX
CHECKED BY:

SITE PLAN
ADMINISTRATIVE DFT
- SUN AND SHADE ANALYSIS