



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: EAIM, Inc Phone: 505-314-2122
 Address: 2024 5th St. NW Email: permitting@deptc
 City: ABQ State: NM Zip: 87102 zeon signs nm
 Professional/Agent (if any): EPNM, Inc Phone: 505-314-2122 .com
 Address: 2024 5th St. NW Email: permitting@deptc
 City: ABQ State: NM 87102 Zip: zeon signs nm.com
 Proprietary Interest in Site: List all owners: Mister Car Wash

BRIEF DESCRIPTION OF REQUEST

we are adding 1 Monument sign on the NE corner & adding a wall sign on the West elevation

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: TR1 Block: 0000 Unit:
 Subdivision/Addition: Herrera Family, LLC - Lands MRGCD Map No.: UPC Code: 10090570591173012
 Zone Atlas Page(s): K9 Existing Zoning: Proposed Zoning:
 # of Existing Lots: # of Proposed Lots: Total Area of Site (acres): 1.46

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 201 98th St. NW Between: 98th St + Volcano Rd

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Project # PR-2019-001964 / SI-2019-00085 DRB Site Plan / SD-2019-00018
 Signature: Maria Gonzalez Date: 3/4/21
 Printed Name: MARIA GONZALEZ Applicant or Agent

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Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2021-00328	AA				

Meeting/Hearing Date: Fee Total:
 Staff Signature: Date: Project # PR-2019-001964

924-3994

**E.P.N.M. INC.
ELECTRICAL PRODUCTS CO.**

Date: March 4, 2021

Project: 201 98th St. NW
Albuquerque, NM 87107

PERMIT # GP-2021-01632
Mister Car Wash

Amendments: Minor Amendment to Site Plan

Planning Department
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

To Whom It May Concern;

EPNM, Inc. on behalf of Mister Car Wash, request approval of a minor amendment to the Site Plan for Building Permit. Site is located at 201 98th St. NW. We will be adding a Monument sign on the North East Corner and adding a Wall sign on the West Elevation. The original site plan authorized 3 wall signs and 1 monument which met the requirements of the current layout plan. We were issued a permit under GP-2020-08712 that expired on Sept 17, 2020. Due to the COVID we could not proceed with the construction.

We have attached the Existing Site plan along with the proposed drawing that show the current revisions and date.

Please feel free to contact us with any questions regarding this minor amendment.

We thank you and appreciate your assistance.


Maria E. Gonzalez
Permit Coordinator

EPNM, Inc.
2024 5th St. NW
Albuquerque, NM 87102
505-314-2122



Mailing Address: P.O. Box 6465, Albuquerque, New Mexico 87197
Office: 2024 Fifth Street NW, Albuquerque, New Mexico 87102
(505) 243-3771 / Toll Free 1-800-444-7407 / Fax (505) 243-3575



Mister[®]

Landlord Authorization Letter

Date: 3/9/21

To Whom it may Concern:

This letter is to authorize Zeon Signs to handle permitting of Signage for:

Mister Car Wash
201 98th Street NW
Albuquerque, NM 87121

Your cooperation and understanding in this matter is greatly appreciated.

Sincerely,



James Kinney, Director

(Owner / Landlord)

CWPS Corp.

(Company Name)

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Development Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ACCELERATED EXPIRATION SITE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- Site Plan to be Expired
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ALTERNATIVE SIGNAGE PLAN


- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- Required notices with content per IDO Section 14-16-6-4(K)
- Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- Sign Posting Agreement
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

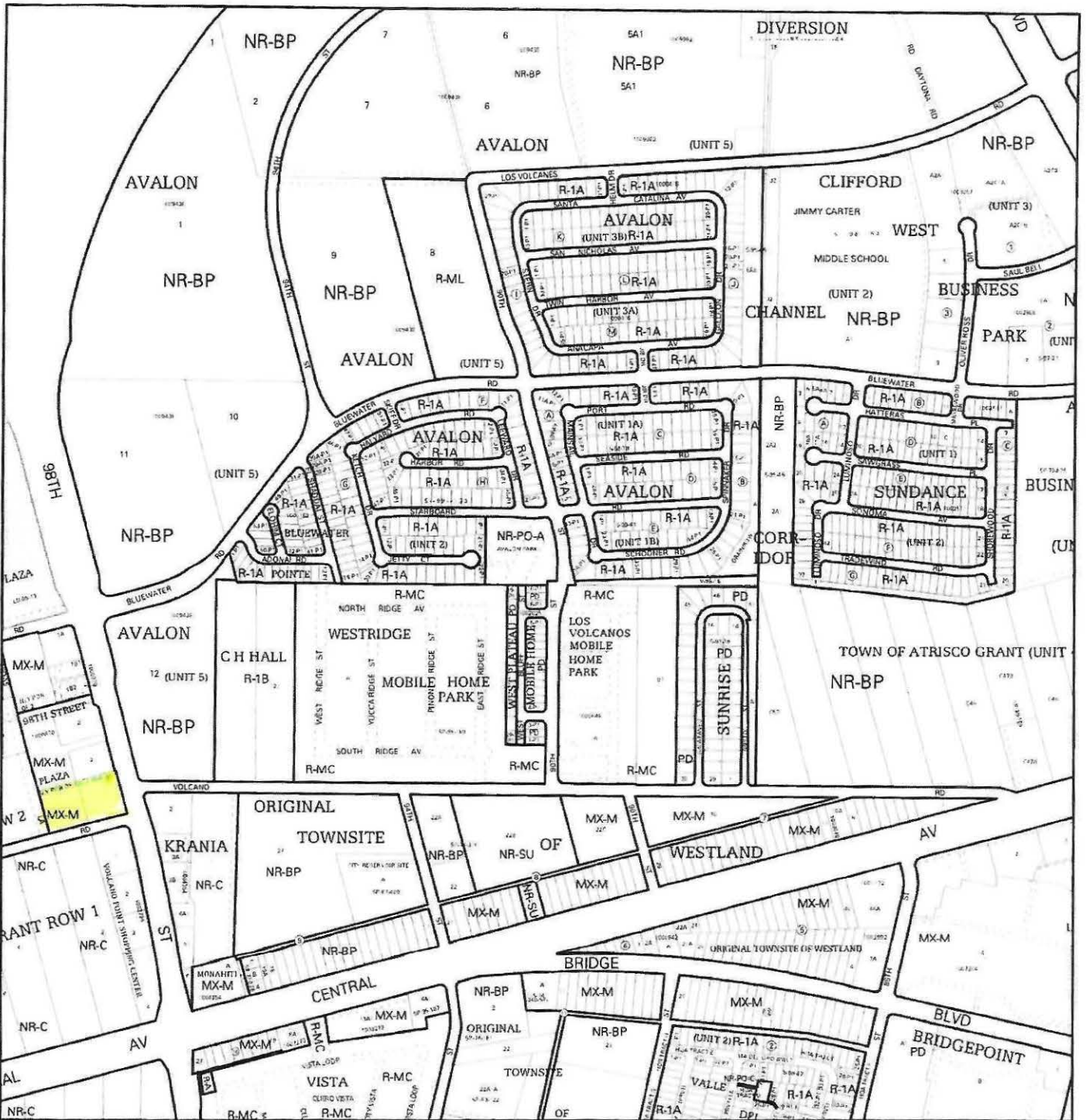
ALTERNATIVE LANDSCAPE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: <i>[Handwritten Signature]</i>	Date: <i>3/4/21</i>
Printed Name: <i>Mikaela Gonzalez</i>	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY	
Project Number:	Case Numbers
PR-2019-001964	SI-2021-00328
Staff Signature:	
Date:	



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas

May 2018



Albuquerque Geographic Information System

IDO Zoning information as of May 17, 2018

The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

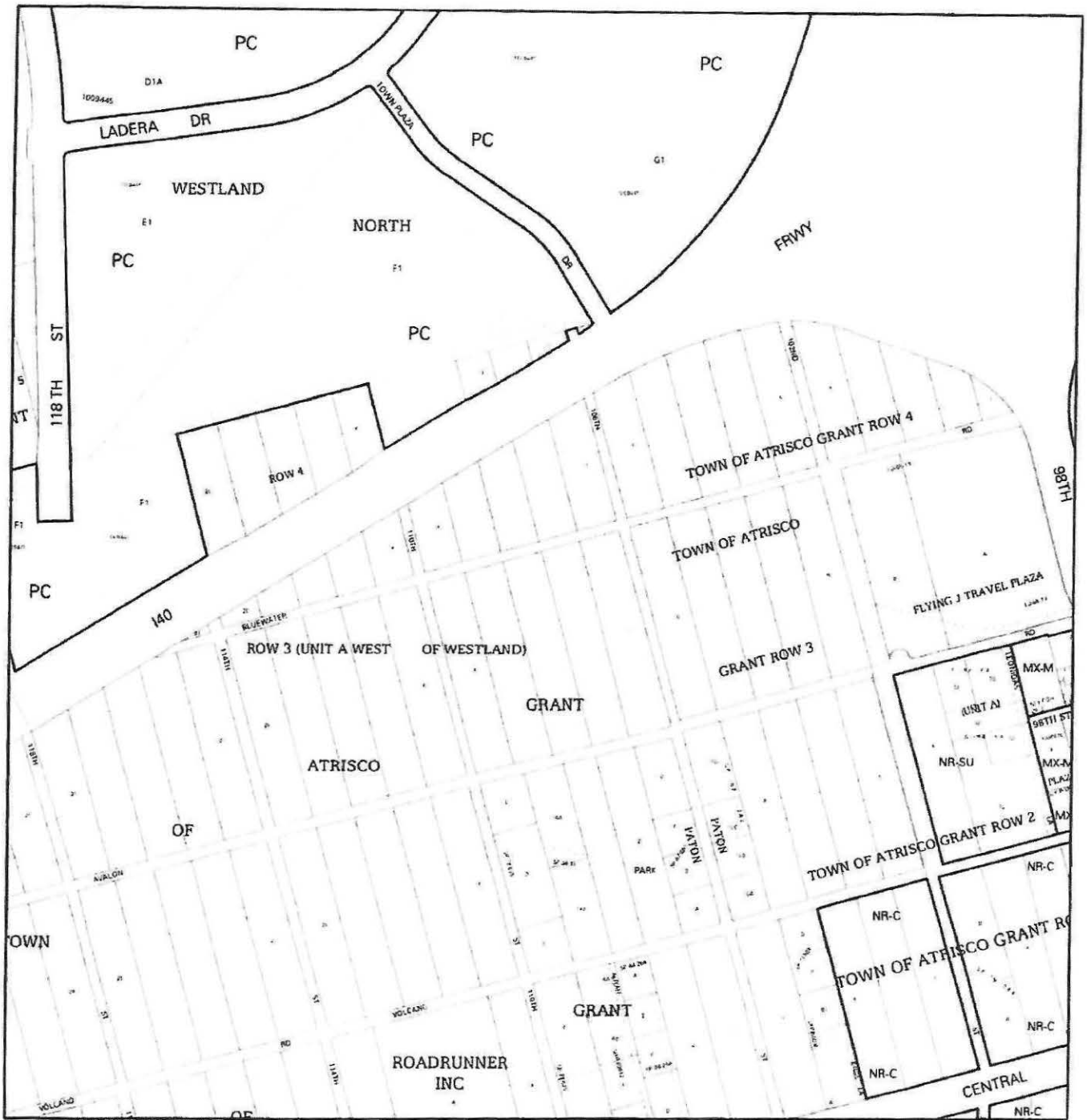


Gray Shading Represents Area Outside of the City Limits

Zone Atlas Page: K-09-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

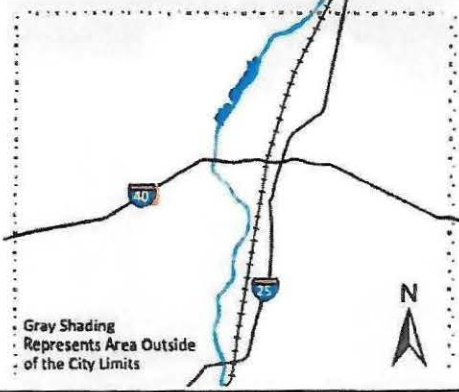


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IDO Zone Atlas May 2018



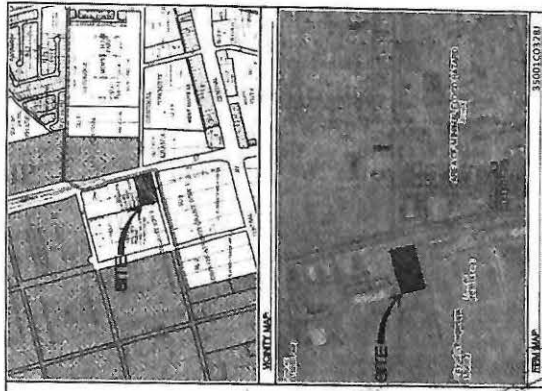
IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).



Gray Shading Represents Area Outside of the City Limits

Zone Atlas Page: K-08-Z

- Easement
 - Escarpment
 - Petroglyph National Monument
 - Areas Outside of City Limits
 - Airport Protection Overlay (APO) Zone
 - Character Protection Overlay (CPO) Zone
 - Historic Protection Overlay (HPO) Zone
 - View Protection Overlay (VPO) Zone
- 0 250 500 1,000 Feet



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- ADJACENT
- BEILING
- EXISTING WALL
- RETAINING WALL
- CONTIGUOUS MAJOR
- CONTIGUOUS MAJOR
- SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING CONTIGUOUS MAJOR
- EXISTING CONTIGUOUS MAJOR
- EXISTING SPOT ELEVATION
- EXISTING WALL
- ADJACENT
- PC: N 01/01

PROJECT
MISTER CAR WASH
98TH ST & VOLCANO RD
GRADING AND DRAINAGE PLAN

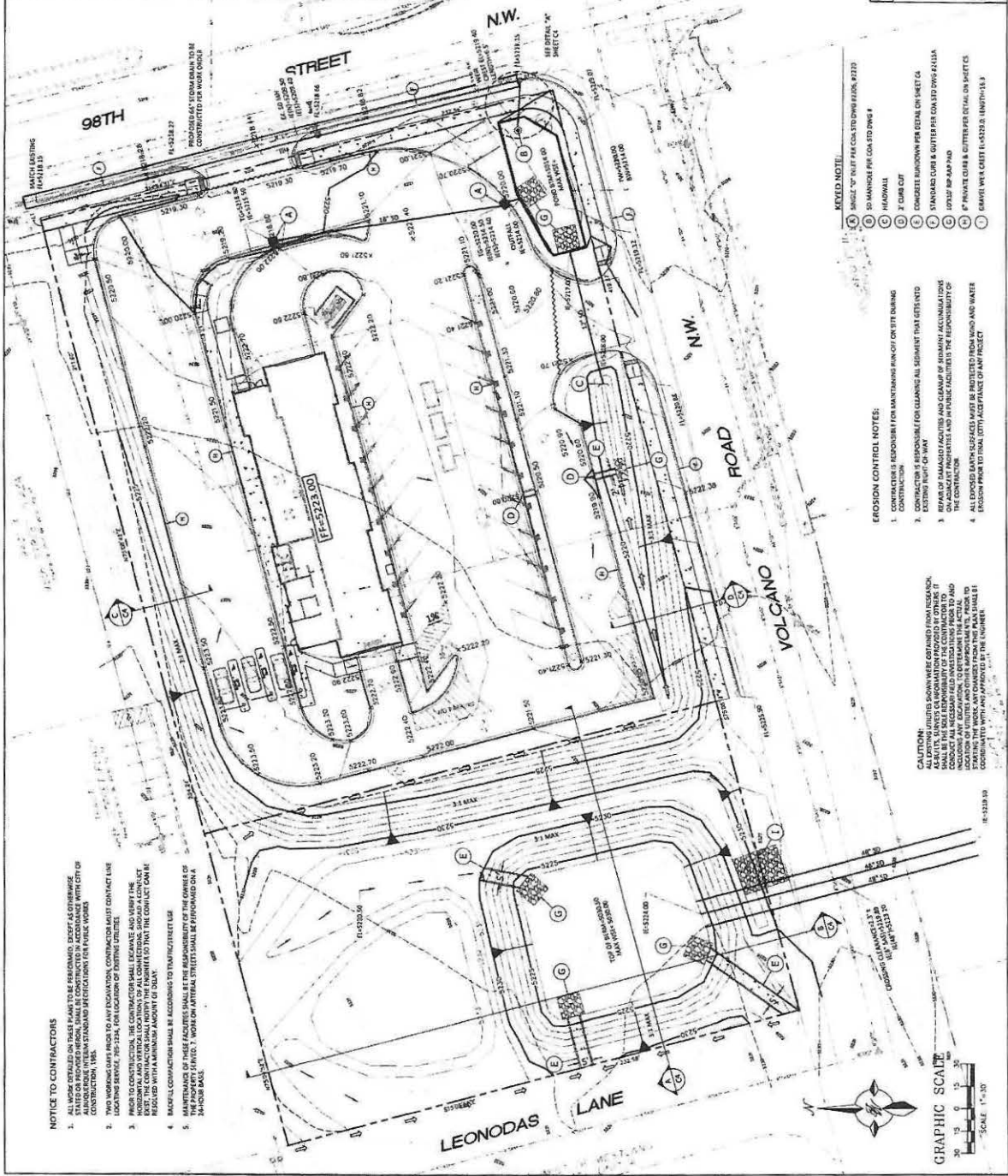
DATE
3/27/19

SHEET #
C2

OWNER BY
301008-08-20

DESIGNER
RODOLFO P. BOHANNAN
P.E. 701658

SCALE
1" = 30'



- NOTICE TO CONTRACTORS**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SEASIDE, CALIFORNIA, PRIOR TO THE START OF CONSTRUCTION.
 2. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT UTILITIES AT ALL TIMES.
 4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT UTILITIES AT ALL TIMES.
 5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT UTILITIES AT ALL TIMES.

- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EROSION CONTROL MEASURES THROUGHOUT THE PROJECT.
 2. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SEASIDE, CALIFORNIA, PRIOR TO THE START OF CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SEASIDE, CALIFORNIA, PRIOR TO THE START OF CONSTRUCTION.
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 5. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SEASIDE, CALIFORNIA, PRIOR TO THE START OF CONSTRUCTION.

- KEYED NOTE:**
1. 3" CONCRETE CURB & GUTTER PER COAST DWS #1134
 2. 3" CONCRETE CURB & GUTTER PER COAST DWS #1134
 3. 3" CONCRETE CURB & GUTTER PER COAST DWS #1134
 4. 3" CONCRETE CURB & GUTTER PER COAST DWS #1134
 5. 3" CONCRETE CURB & GUTTER PER COAST DWS #1134

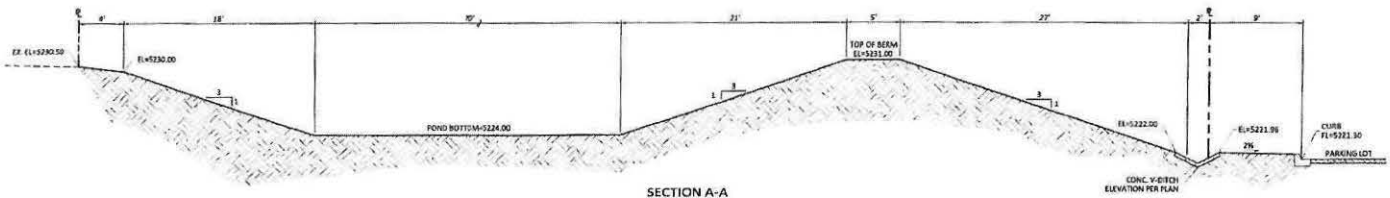
CAUTION:
ELEVATION DATA WAS OBTAINED FROM RESEARCH AS BUILT. SURVEY INFORMATION PROVIDED BY OTHERS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF ALL ELEVATION DATA PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SEASIDE, CALIFORNIA, PRIOR TO THE START OF CONSTRUCTION.



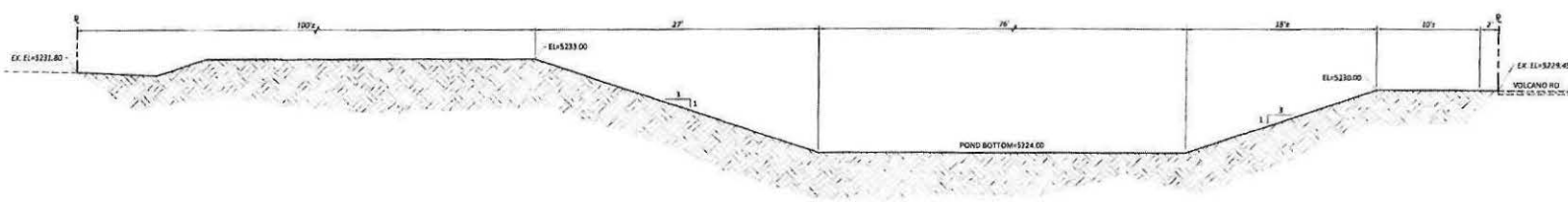
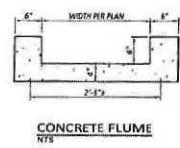
GRAPHIC SCALE
SCALE: 1" = 30'

LEGEND

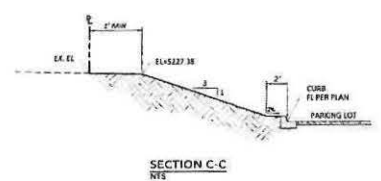
- COMB & GUTTER
- BOUNDARY LINE
- EASEMENT
- FAS
- SIDEWALK
- EXISTING COMB & GUTTER
- EXISTING BOUNDARY LINE
- 8" SI
- 6" SI
- 4" SI
- WATERLINE
- SINGLE CLEAN OUT
- DOUBLE CLEAN OUT
- EXISTING 30" MANHOLE
- EXISTING 24" MANHOLE
- EXISTING 18" MANHOLE
- EXISTING 12" MANHOLE
- EXISTING 6" MANHOLE
- EXISTING 4" MANHOLE
- EXISTING 3" MANHOLE
- EXISTING 2" MANHOLE
- EXISTING 1" MANHOLE
- EXISTING 1/2" MANHOLE
- EXISTING 1/4" MANHOLE
- EXISTING 1/8" MANHOLE
- EXISTING 1/16" MANHOLE
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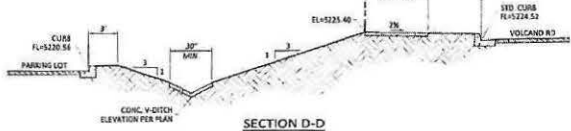
SECTION A-A
NTS



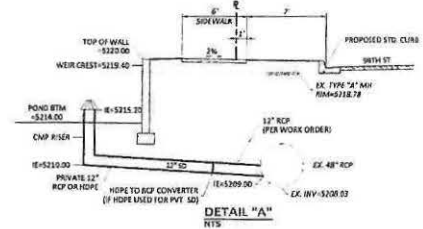
SECTION B-B
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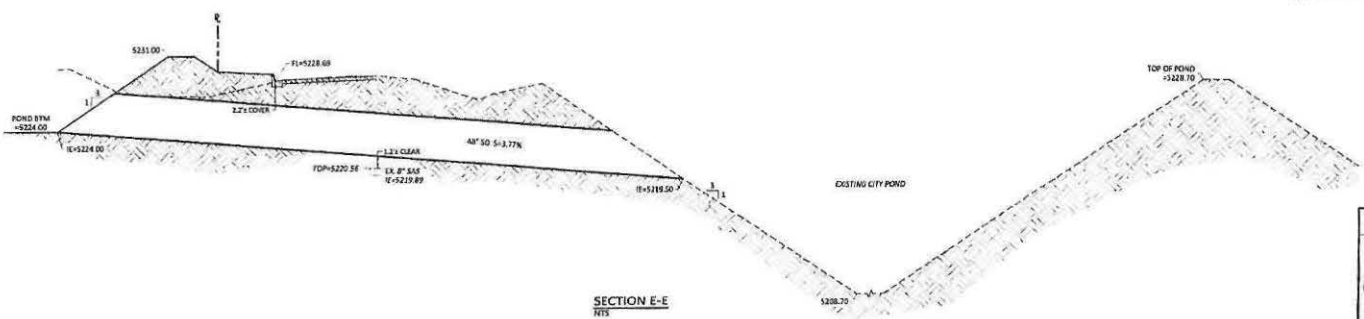
SECTION C-C
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SECTION D-D
NTS



DETAIL "A"
NTS

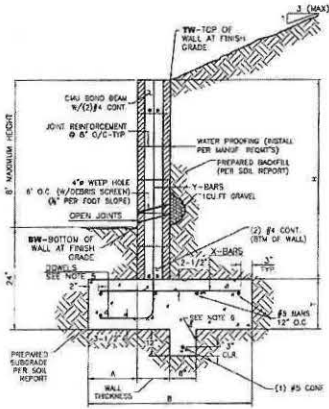


SECTION E-E
NTS



V-DITCH DETAIL
NTS

	ENGINEER'S SEAL RONALD P. BOHANNON P.E. #17868	MISTER CAR WASH 98TH ST & VOLCANO RD SECTIONS AND DETAILS	DRAWN BY DT DATE 4/18/19
	 27thMA WEST, LLC 5571 MIDWAY PARK PLACE NE FAIRBURN, GA 30210 (404) 858-3100 www.27thma.com	201809-K-SECTION SHEET # C4 JOB # 2018058	



8 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
2'-0"	10"	2'-4"	10"	#4 @24" O.C.	#4 @24" O.C.
2'-8"	10"	2'-4"	10"	#4 @24" O.C.	#4 @24" O.C.
3'-4"	10"	2'-4"	10"	#4 @24" O.C.	#4 @24" O.C.
4'-0"	12"	2'-8"	10"	#4 @16" O.C.	#4 @24" O.C.
4'-8"	18"	3'-4"	12"	#5 @16" O.C.	#4 @18" O.C.
5'-4"	18"	3'-4"	12"	#5 @16" O.C.	#5 @24" O.C.
6'-0"	20"	4'-0"	12"	#5 @16" O.C.	#5 @24" O.C.

Y-BARS EDGE (2 ') FROM RETAINING FACE

12 INCH REINFORCED CONCRETE MASONRY WALL

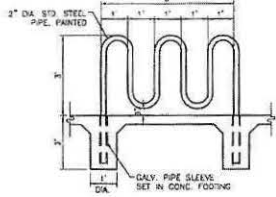
H	A	B	T	Y-BARS	X-BARS
5'-4"	18"	3'-8"	12"	#5 @16" O.C.	#5 @24" O.C.
6'-0"	18"	4'-2"	12"	#5 @16" O.C.	#5 @24" O.C.
6'-8"	21"	4'-6"	12"	#5 @16" O.C.	#5 @18" O.C.
7'-4"	23"	4'-10"	12"	#5 @16" O.C.	#5 @18" O.C.
8'-0"	25"	5'-4"	12"	#5 @16" O.C.	#5 @18" O.C.
8'-8"	28"	5'-8"	12"	#5 @16" O.C.	#5 @12" O.C.

Y-BARS EDGE (3 ') FROM RETAINING FACE

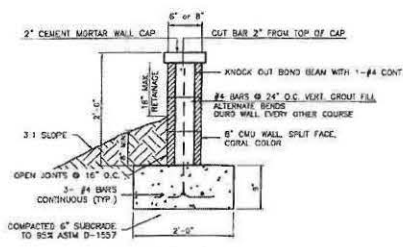
- GENERAL NOTES:**
- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
 - MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 - BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 - ALL BARS ARE TO BE GRADE 60 ASTM 615.
 - DOWELS SHALL BE EQUAL IN SIZE AND SPACING TO Y-BARS. SHALL PROJECT A MINIMUM OF #4-24", #5-30", #6-36" INTO THE FILLED BLOCK CORES AND SHALL EXTEND TO THE TOP OF THE FOOTING.
 - PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'.
 - USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PLASTERS EVERY 16'.

RETAINING WALL DETAIL

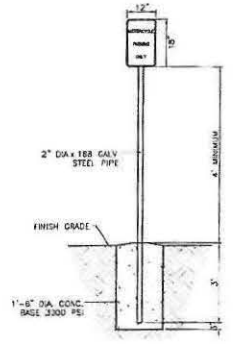
- NTS
- γ_W = 1500 PSF
 - SOIL ALLOWABLE 2000 PSF (VERIFY W/SOLS REPORT)
 - ACTIVE SOIL PRESSURE = 35 PSF/FT (VERIFY W/SOLS REPORT)
 - PASSIVE SOIL PRESSURE = 250 PSF/FT (VERIFY W/SOLS REPORT)
 - SOIL FRICTION FACTOR = 0.4 (VERIFY W/SOLS REPORT)



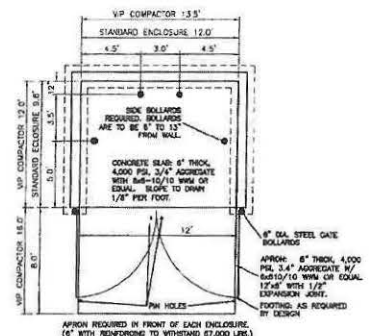
BIKE RACK DETAIL
SCALE: 1/2"=1'



GARDEN WALL
NTS



MOTORCYCLE PARKING SIGN
NTS



APRON REQUIRED IN FRONT OF EACH ENCLOSURE (6" WITH REINFORCING TO WITHSTAND 67,000 LBS.)

8" CURB OR 6A CONCRETE FILLED STEEL PIPE SHALL BE ENCASED IN 12" CONCRETE ALL AROUND AND BRIDGES 8'-0"

NOTE: THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. LOADS MAY VARY TO FIT THE SELECTED ENCLOSURE.

DUMPSTER ENCLOSURE DETAIL
NTS

	MISTER CAR WASH 98TH ST & VOLCANO RD DETAILS	DRAWN BY DY DATE 4/18/19 101408G-DETAILS
		SHEET # C6
RONALD R. BOHANAN P.E. #17888	TERRA WEST, LLC 5578 MONTE PUECO PLACE NE ALBUQUERQUE, NM 87109 (505) 854-3100 WWW.TERRAWEST.COM	JOB # 2018558



DATE: 3/12/2019
 REVISIONS:
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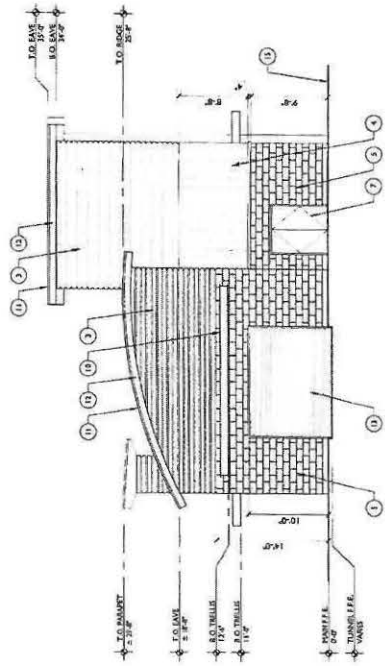


Expires 07/31/19
Robert J. ...

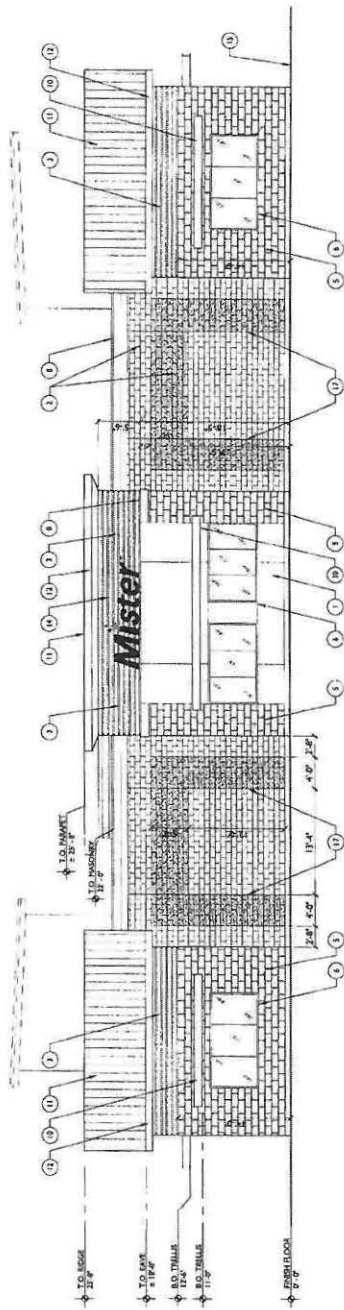
Mister

BUILDING ELEVATIONS

- ELEVATION KEYNOTES:**
1. SEE ELEVATION WALL FOR WALL TYPES - FINISHED STUCCO FINISHING
 2. CONTROL JOINTS AS SHOWN
 3. TYPES TEXTURED ACCENT AS SHOWN - SEE FINISH SCHEDULE
 4. TYPES COORDINATION AS SHOWN
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 7. MANUFACTURED STONE VENEER EXTERIOR WALL FINISH TYPES
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1 EAST ELEVATION
3/16" = 1'-0"

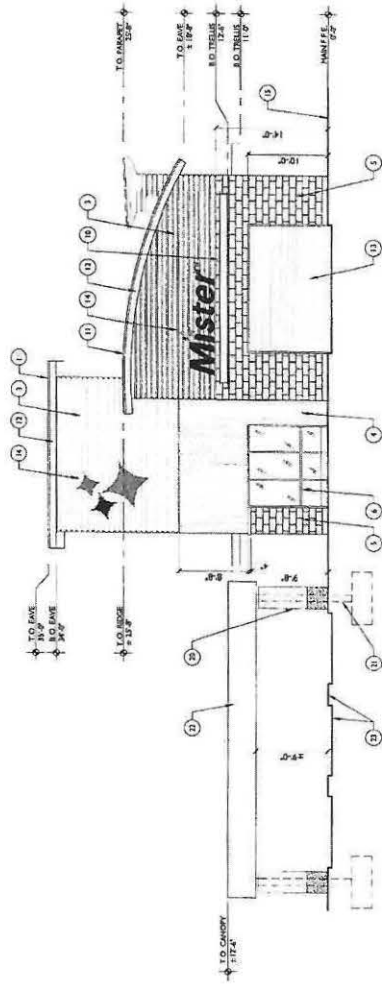


2 SOUTH ELEVATION
3/16" = 1'-0"

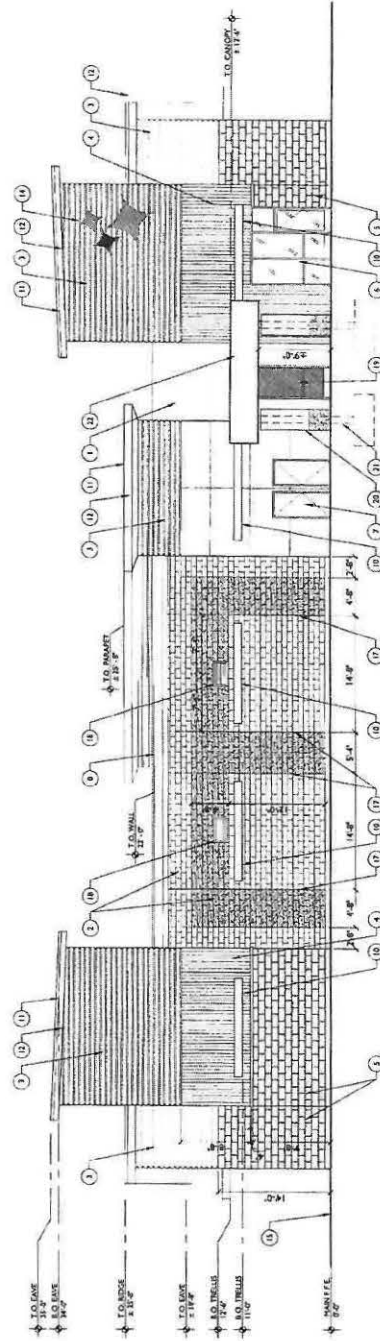
NOTE: THESE PLANS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR THE WORKMANSHIP AND MATERIALS TO BE USED IN THE CONSTRUCTION OF THIS PROJECT.



- ELEVATION KEYNOTES:**
1. SEE EXTERIOR WALL PER WALL TYPE - PAINTED STUCCO FINISH
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3 WEST ELEVATION
3/16" = 1'-0"



4 NORTH ELEVATION
3/16" = 1'-0"

Mister
EXHIBIT
BUILDING ELEVATION

Mister Car Wash
NW Volcano Rd. & 98th St.
Albuquerque, NM 87121



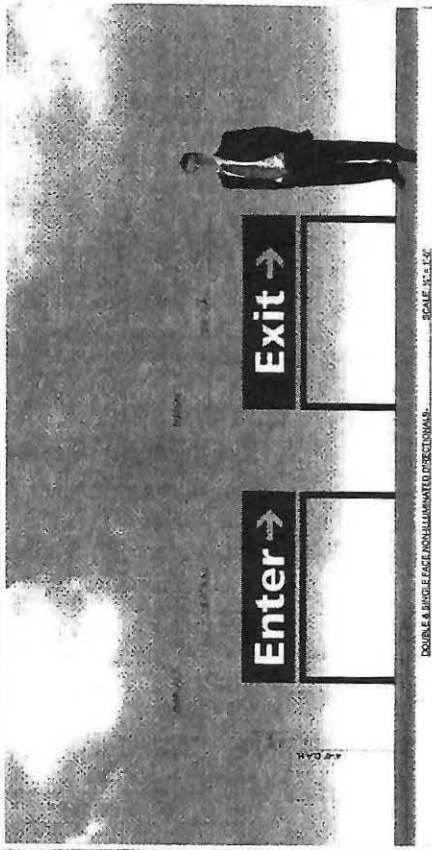
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Date: 04.13.19
Scale: N/A
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NOTE: THESE DRAWINGS ARE THE PROPERTY OF A2 STUDIOS. ANY REPRODUCTION OR DISTRIBUTION WITHOUT THE WRITTEN PERMISSION OF A2 STUDIOS IS STRICTLY PROHIBITED.



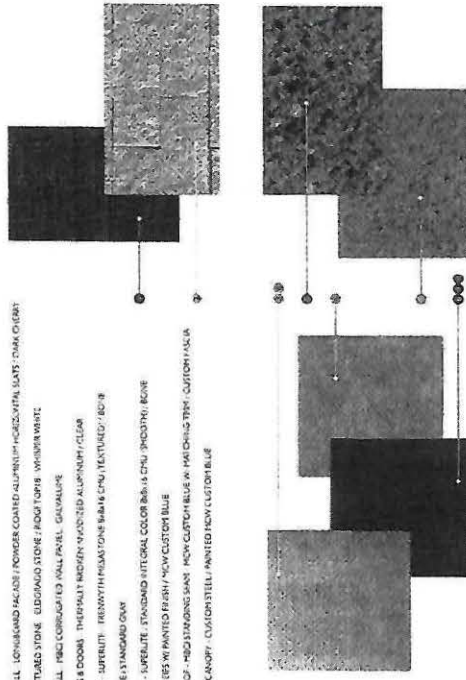
DOUBLE FACE INTERNALLY ILLUMINATED MONUMENT SCALE: 1/8" = 1'-0"



DOUBLE & BRIDGE FACE ILLUMINATED DIRECTIONS SCALE: 1/8" = 1'-0"

ra Mister Car Wash - Albuquerque DRC Submittal
 900 N. K Avenue NE, Albuquerque, New Mexico 87111
 Wayfinding Signs

- 1 METAL WALL - LOW RISE AND FACADE - POWDER COATED ALUMINUM FINISH WITH VERTICAL SLATS - DARK GREY
- 2 MANUFACTURED STONE - CORDOBA STONE / ROOF TOPS - WOODEN WASH
- 3 METAL WALL - FRIC CORRUGATED METAL PANEL - GRAY WALLS
- 4 WINDOWS & DOORS - THERMALLY BROKEN FRAMED ALUMINUM / CLEAR
- 5 MASONRY - SUBMITTAL - RED WITH MIXED STONE SUBMITTAL CHU / TEXTURED / ARCH
- 6 CONCRETE STAIRWELL
- 7 MASONRY - LURENITE - STANDARD RETORNA COLOR BRICKS CHU / PHOTO: BONE
- 8 STUCCO - BESS W/ PAINTED FINISH / NOW CUSTOM BLUE
- 9 METAL ROOF - RED STAIRWELL SHIMS / NOW CUSTOM BLUE W / HANGING TRUSS / CUSTOM / SLCA
- 10 WINDOW CANOPY - CUSTOM STEEL / PAINTED TRUSS / CUSTOM BLUE



Material / Color Palette

ra Mister Car Wash - Albuquerque DRC Submittal
 900 N. K Avenue NE, Albuquerque, New Mexico 87111

DRAWN BY DATE 2/11/19	MISTER CAR WASH 98TH ST & VOLCANO RD BUILDING AND SIGN SIGN DETAILS		SHEET #
			A 60
JOB #		2018058	

PRQJ 1000870

VICINITY MAP



City Approvals

City Approvals section listing various permits and approvals from the City of Boston, including dates and signatures.

Keyed Notes

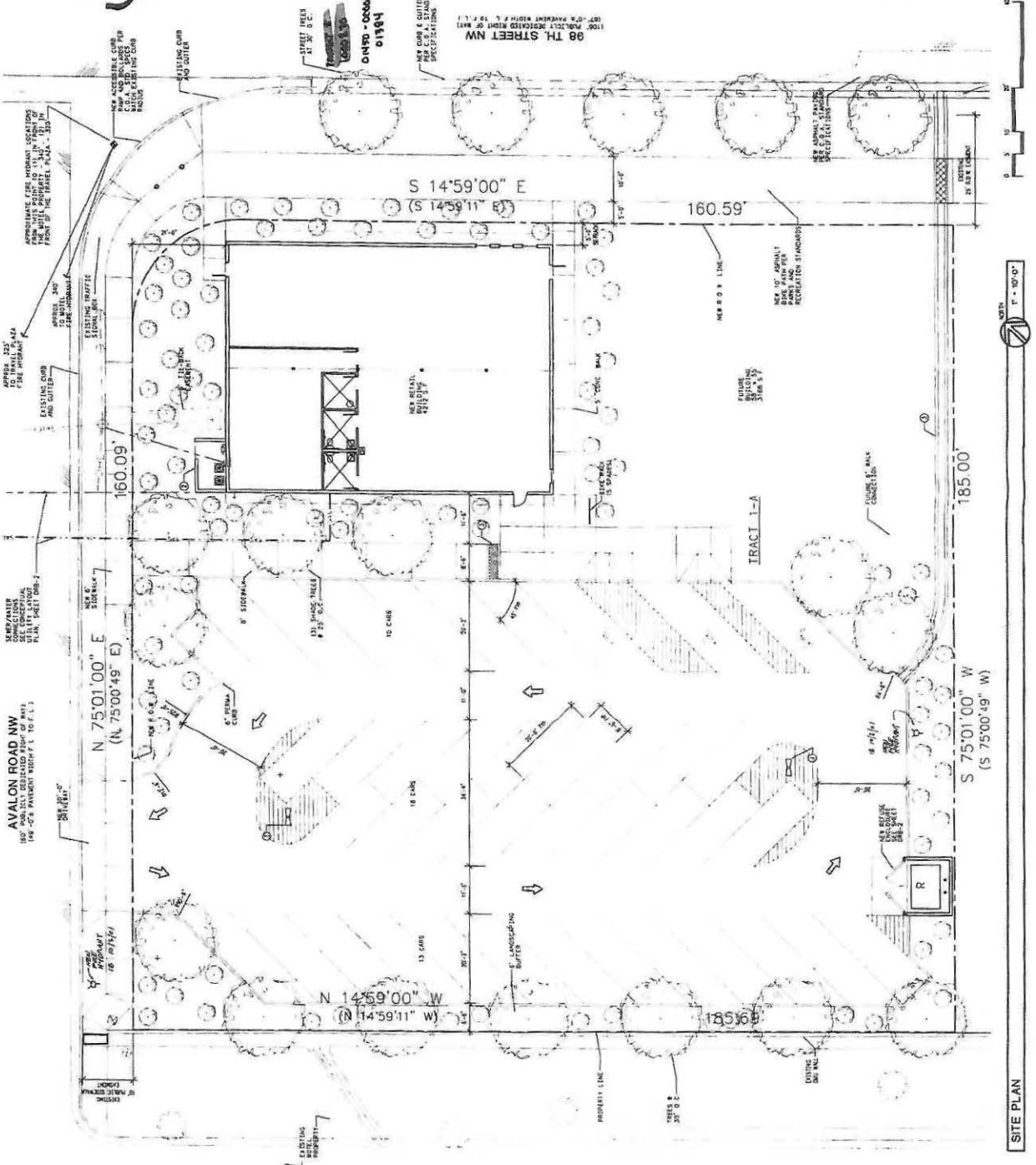
- Keyed Notes list: 1. REVIEW ALL CODES... 2. REVIEW ALL... 3. REVIEW ALL...

Code Data

Code Data section detailing zoning regulations, including zoning type (R-1A), lot area, and other code requirements.

APPLICANT: AVE. INC. PROJECT: 98 TH STREET NW. DATE: 01/20/17.

Professional seal and title block for the architect, including name, license number, and date.



SITE PLAN



Scale: 1" = 40'-0"

General Notes

1. THE LANDSCAPE PLAN SHALL BE PREPARED BY THE ARCHITECT.
2. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF BENTONVILLE SPECIFICATIONS FOR LANDSCAPE PLANNING.
3. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF BENTONVILLE SPECIFICATIONS FOR LANDSCAPE PLANNING.
4. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE SELECTION OF PLANTING MATERIALS.
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Code Data

PROJECT DESCRIPTION: NEW METAL INDUSTRIAL - 2100000 (2001 2001)

LANDSCAPE AREA	NET (G) AREA = 158 - REDUCED LANDSCAPE AREA
REMOVED AREA	14000 + 158 = 14158 S.F.
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TOTAL PROPOSED AREA

Legend

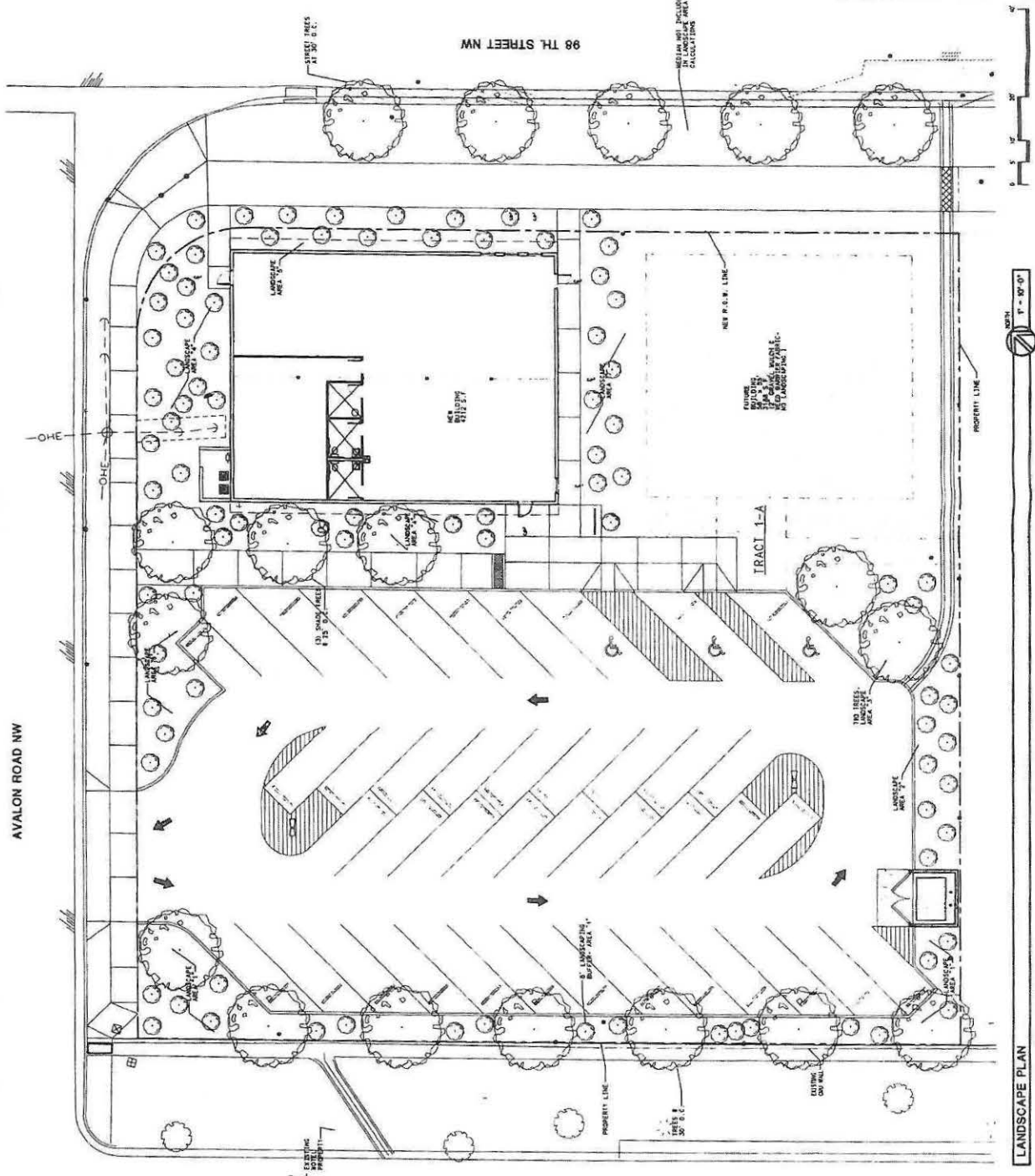


KSAC REGIONAL ASSOCIATES AIA
AVE. INC.

PROJECT ARCHITECT: ISAAC BENTON AIA
 PROJECT NO.: 2100000
 DATE: 11/11/2001
 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT - TRACT 1-A

Scale: 1" = 30' 0"

DRB-3



LANDSCAPE PLAN
 1" = 30' 0"

PLANNING DEPARTMENT
DEVELOPMENT SERVICES DIVISION
600 2nd Street NW, Ground Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3946

OFFICIAL NOTIFICATION OF DECISION

May 3, 2019

Herrera Family, LLC
10605 Central Ave NW
ABQ, NM 87122

Project# PR-2019-001964
Application#
SI-2019-00085 SITE PLAN – DRB
SD-2019-00078 PRELIMINARY /FINAL PLAT

LEGAL DESCRIPTION:

All or a portion of SOUTH 233 feet TRACTS 1 & 2 ROW 2, UNIT A WEST OF WESTLAND ATRISCO GRANT, zoned MX-M, 98th STREET VOLCANO ROAD, NW and AVALON ROAD NW, containing approximately 2.25 acre(s). (K-9)

On May 1, 2019, the Development Review Board (DRB) held a public meeting concerning the above referenced application and approved the request, with delegation to Planning to address minor issues as stated in the comments and discussed at the hearing, based on the following Findings:

SI-2019-00085 SITE PLAN – DRB

1. This is a request for a one story, 34 foot tall at the highest point, 5,580 square foot car wash building and associated parking and vacuum area.
2. As required by the IDO, the applicant notified property owners within 100 feet and affected neighborhood associations.
3. Pursuant to 6-6(G)(3) Review and Decision Criteria An application for a Site Plan – DRB shall be approved if it meets all of the following criteria:
 - a. 6-6(G)(3)(a) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property. The height, parking and façade, meet the IDO requirements.
 - 6-6(G)(3)(b) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.The site has access to a full range of urban services including utilities, roads, and

Official Notice of Decision

Project # PR-2019-001964 Application# SI-2019-00085, SD-2019-00078

May 3, 2019

Page 3 of 3

Sincerely,



Kym Dicome
DRB Chair

KD/mg

Tierra West LLC 5571 Midway Park Place ABQ, NM 87109

City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: August 24, 2001

**AMENDED OFFICIAL NOTIFICATION OF
DECISION**

A.V.E., Inc.
P.O. Box 114
Lewisville, TX 75067

FILE: 01128 00876
LEGAL DESCRIPTION: For the northern 389' of
Tract 1, Unit A, Row 2, Town of Atrisco Grant,
zoned SU-1 for C-2 Uses, located on 98th St. NW
between Avalon and Volcano, containing
approximately 1.85 acres. (K-9) Loretta Naranjo-
Lopez, Staff Planner

On August 16, 2001, the Environmental Planning Commission voted to approve 01128 00876, a site plan for subdivision, for the northern 389' of Tract 1, west of Westland, Town of Atrisco Grant, zoned SU-1 for C-2 uses excluding package liquor sales, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for site development plan for subdivision for the northern 389' of Tract 1, west of Westland, Town of Atrisco Grant, located on 98th Street NW between Avalon Road and Volcano Road NW.
2. The site development plan for subdivision furthers the applicable goals and policies of the *Comprehensive Plan* by proposing a quality urban environment which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visually pleasing environment.
3. The submitted site development plan for subdivision will further the applicable Goals, policies and intent of the *West Side Strategic Plan* by proposing new development which is appropriate for the Atrisco Park Community.

CONDITIONS:

1. The submittal of this site plan to the DRB shall meet all EPC conditions; a letter shall accompany the submittal, indicating all modifications that have been made to the site plan since the EPC submittal, including how the site plan has been modified to meet each of the EPC conditions.
 2. A replat of the property is required prior to final DRB approval.
 3. Access to 98th Street is needed via the proposed Avalon connection to support the proposed level of development.
 4. Prior to development an approved Grading and Drainage Plan adhering to AMAFCA's Amole-Hubbell DMP will be required.
 5. The following conditions of approval by Public Works Department shall be met:
 1. Dedication of rights of way for 98th Street and Avalon Road
 2. Construction of street improvements to include pavement, curb and gutter, and sidewalks and recreational trail.
 6. Future subdivision and development of the site must address any access limitations.
 7. Design of the 8' asphalt trail shall be coordinated with Parks and Recreation, Planning and Design.
 8. The off street parking areas shall have one tree for each ten (10) parking spaces.
 9. No chain link, razor wire or plastic/vinyl fencing is permitted.
 10. The design guidelines specified on the site plan for building permit shall be submitted as design guidelines for the site plan for subdivision.
 11. All "shoulds" shall be changed to "shalls".
 12. The site shall comply with the Street Tree Ordinance.
 13. Bicycle parking calculations shall be shown on the site plan reflecting the Zoning Code requirements.
 14. All utilities shall be underground.
 15. Maximum height for site lighting shall be 16 feet.
-

AMENDED OFFICIAL NOTICE OF DECISION

01128 00876

AUGUST 16, 2001

PAGE 3

16. Conditions of approval for the proposed site plan for building purposes request should include:
 1. The proposed access point, internal circulation, and parking lot layout must be designed to the satisfaction of the Traffic Engineer.
 2. Provision of cross-access and reciprocal parking easements between this site and the remaining portion of Tract 1 to the south.
 3. Location and dimension of proposed fire lanes must meet Fire Code requirements as per the DPM.
 4. Coordination with the Solid Waste Department with regard to refuse container location and access.
 5. Coordination with the Transit Department with regard to location of required bus facilities, with direct bicycle and pedestrian access, on the adjacent streets.
17. More façade articulation shall be added to the building elevations.
18. The site plan for building permit may be submitted to the DRB.

IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY AUGUST 31, 2001 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATOR COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

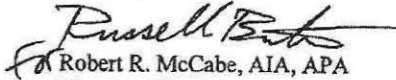
Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

AMENDED OFFICIAL NOTICE OF DECISION
01128 00876
AUGUST 16, 2001
PAGE 4

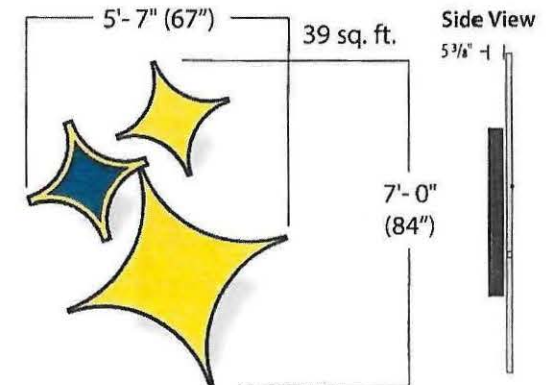
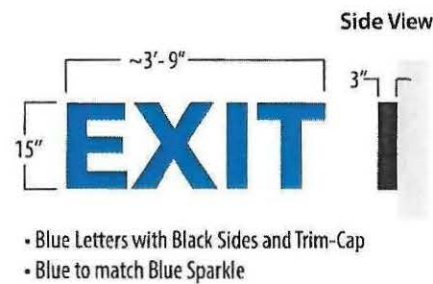
Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC.

Sincerely,


Robert R. McCabe, AIA, APA
Planning Director

RM/LNL/ac

cc: Isaac Benton & Assoc., 724 Tijeras Ave. NW, Albuquerque, NM 87102



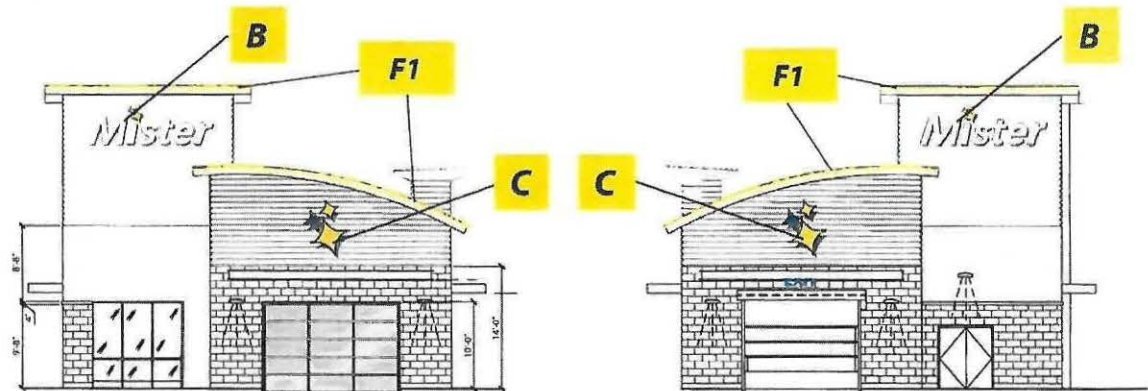
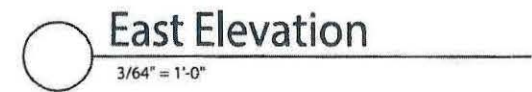
- Sparkles = Left Middle = Blue with a Yellow outline - 2 remaining Sparkles are Yellow - Blue & Yellow Vinyl over #7328 White Acrylic
- Mister = White - #7328 White Acrylic
- Black 1" Trim Cap - Black Returns
- LED Illumination

F1 - Yellow LED Accent Lighting:

LEKTRON LUMIFLEX YELLOW

CORPORATE COLORS:	
PMS	
PMS 123 C	PMS 2955 C
VINYL	
3630-125	3630-8119
FLEX	
Match 3M Color	Match 3M Color

BUILDING COLORS:	
SW 6255	Morning Fog
SW 7665	Wall Street
SW 9178	In The Navy



FILE# 19-10-13-D-MISTR-C8	JY
Scale: Stated	Date: 11-16-2020

Customer Approval or Comments:

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Mister CAR WASH

201 98th St. NW • Albuquerque, NM

9-2017 GRAPHICS




B - MISTER CHANNEL LETTERS - ACCENT LIGHTING

Dimensions are Approximate and Subject to Change Pending Review by Dualite Engineering.

CORPORATE COLORS:

PMS	 PMS 123 C	 PMS 2955 C
VINYL	3630-125	3630-8119
FLEX	Match 3M Color	Match 3M Color

BUILDING COLORS:

 SW 6255 Morning Fog
 SW 7665 Wall Street
 SW 9178 In The Navy

40 1/8" (73 sq ft.) LED Mister Logo

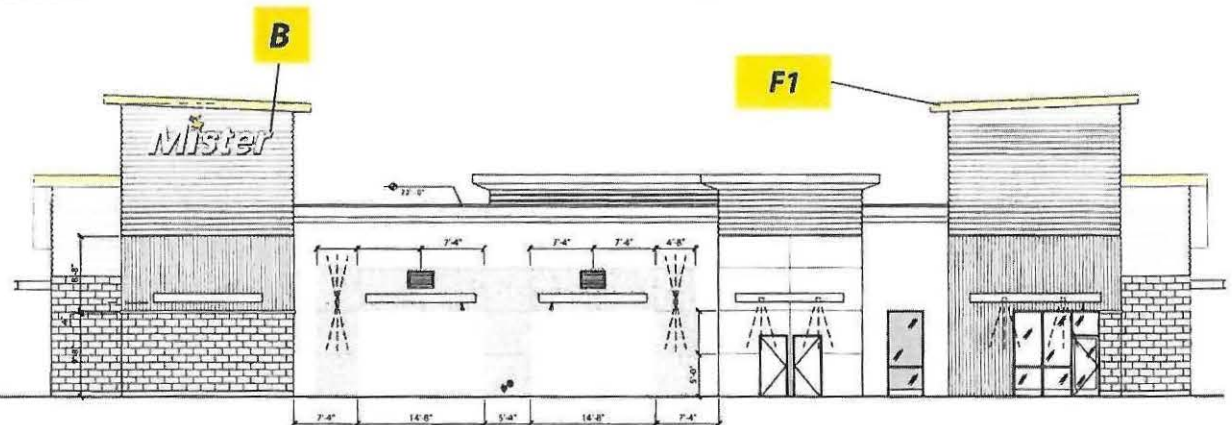
- Sparkles = Left Middle = Blue with a Yellow outline - 2 remaining Sparkles are Yellow - Blue & Yellow Vinyl over #7328 White Acrylic
- Mister = White - #7328 White Acrylic
- Black 1" Trim Cap - Black Returns
- LED Illumination



F1 - Yellow LED Accent Lighting:

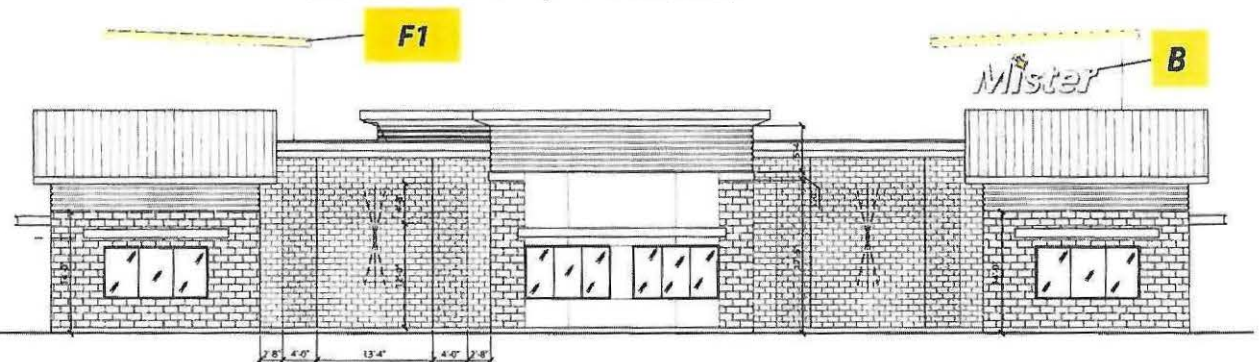
LEKTRON LUMIFLEX YELLOW

 North Elevation
3/64" = 1'-0"



**DIMENSIONS ARE APPROXIMATE
AND SUBJECT TO CHANGE PENDING
REVIEW BY DUALITE ENGINEERING.**

 South Elevation
3/64" = 1'-0"



FILE# 19-10-13-D-MISTR-B6

JY

Customer Approval
or Comments:

Scale: Stated

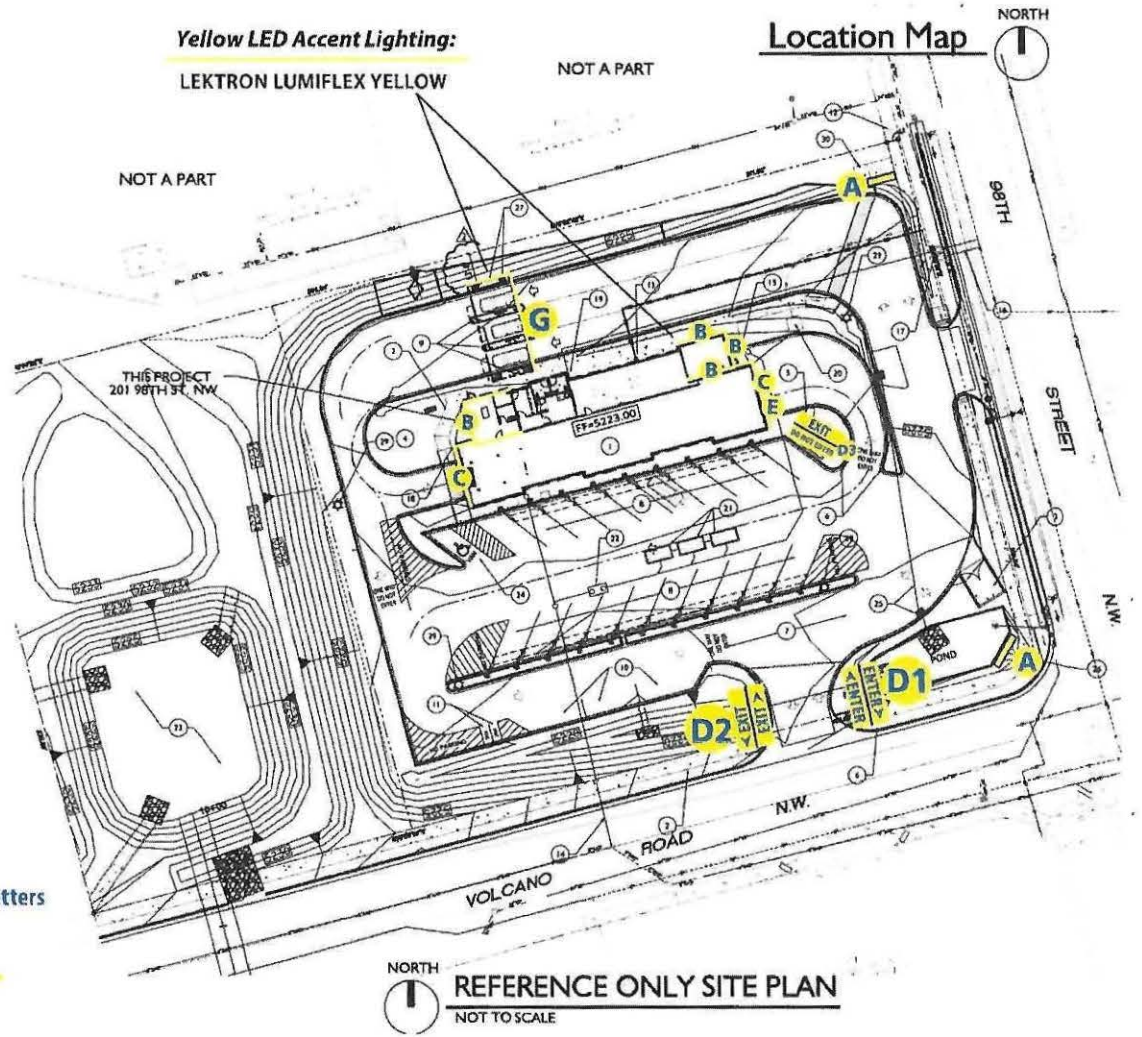
Date: 11-16-2020

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Dualite

www.dualite.com • 1 Dualite Lane • Williamsburg, Ohio • 45176

- A** Monument Sign
- B** Mister Logo
- C** Sparkle Logo
- D1** Directional - Enter/Enter
- D2** Directional - Exit/Exit
- D3** Directional - Do Not Enter/Exit
- E** EXIT LED Illuminated Letters
- G** Canopy with LED Illuminated "Enter" & "Unlimited Member" Lane Letters
- F** Yellow LED Accent Lighting-LEKTRON LUMIFLEX YELLOW: ———



**Mister
CAR WASH**

201 98th St. NW • Albuquerque, NM

9-2017 GRAPHICS

6'-0 1/2" X 8'-0" PAN EMBOSSED DOUBLE FACE SIGN AT 8'-0" OAH

Dimensions are Approximate and Subject to Change Pending Review by Dualite Engineering.



A

NEW 6'-0 1/2" x 8'-0" Pan/Embossed Face Sign - 48 sq. ft.

- Sparkles = Left Middle = Blue with a Yellow outline - 2 remaining Sparkles are Yellow
- Mister = White - CAR WASH = Yellow
- Yellow Stripe
- FREE Vacuums = White - Font Style: Solitaire MVB Pro Regular
- Blue background
- LED Illumination
- Black Reveal, Stone Step Down - Black Cabinet
- Coronado, 6" Split Block-Cream
Furnished and Installed By Sign Installer

4" Masonry Cap

CORPORATE COLORS:

PMS		
	PMS 123 C	PMS 2955 C
VINYL		
	3630-125	3630-8119
FLEX		
	Match 3M Color	Match 3M Color

BUILDING COLORS:

	SW 6255 Morning Fog
	SW 7665 Wall Street
	SW 9178 In The Navy

DIMENSIONS ARE APPROXIMATE AND SUBJECT TO CHANGE PENDING REVIEW BY DUALITE ENGINEERING.

FILE# 19-10-13-D-MISTR-A5

JY

Customer Approval
or Comments:

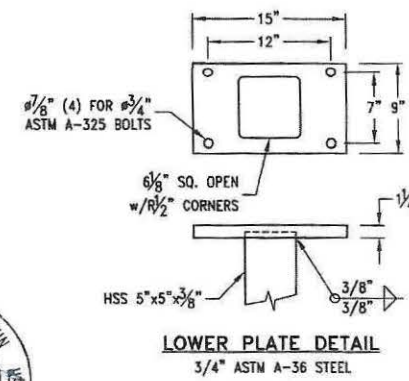
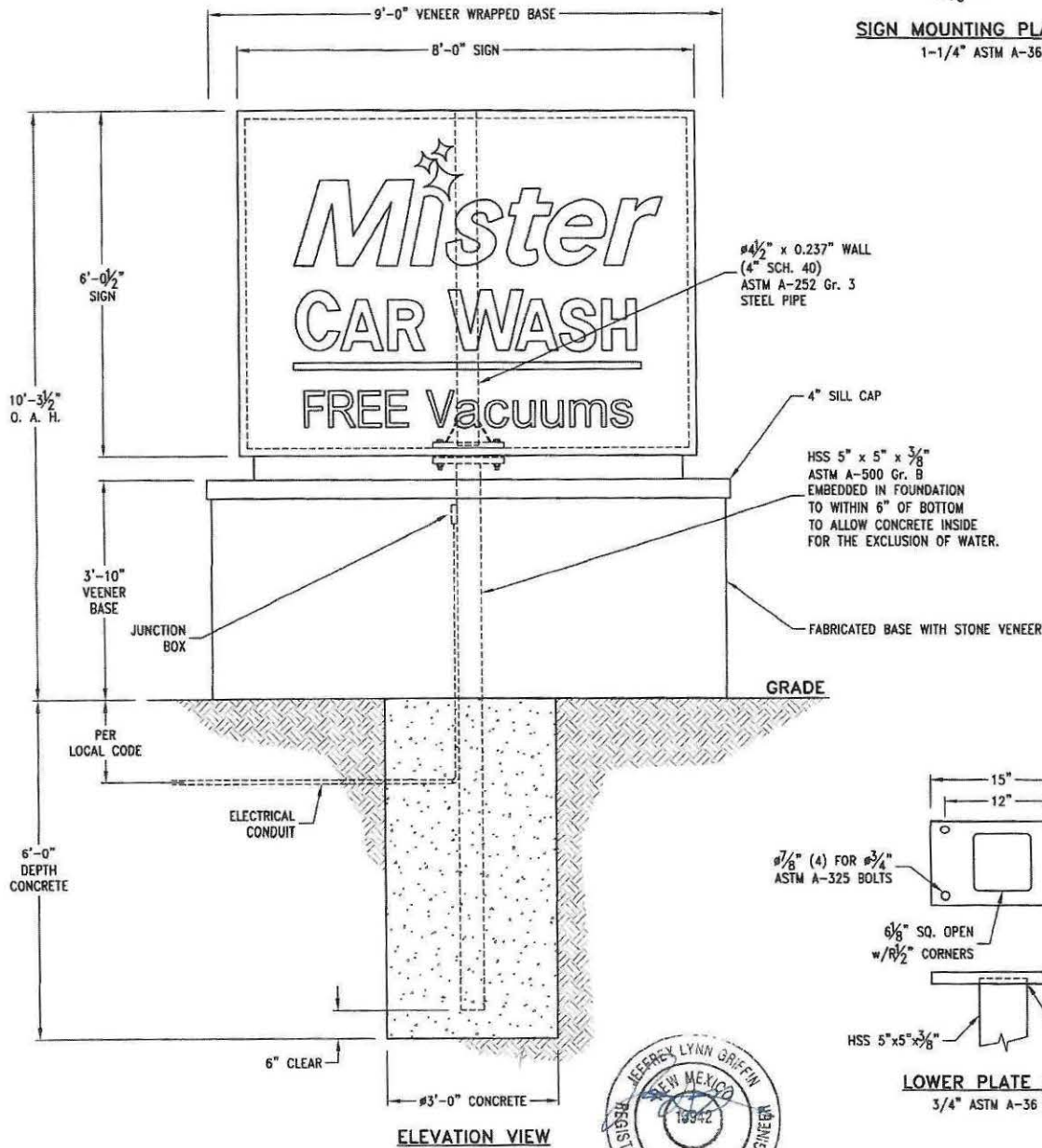
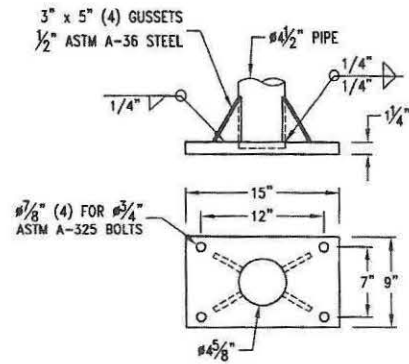
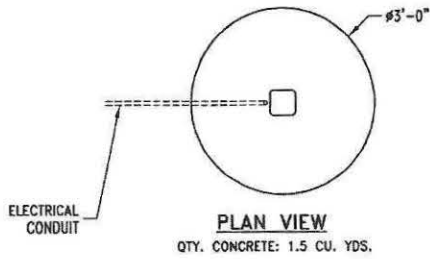
Scale: 3/8" = 1'-0"

Date: 11-16-2020

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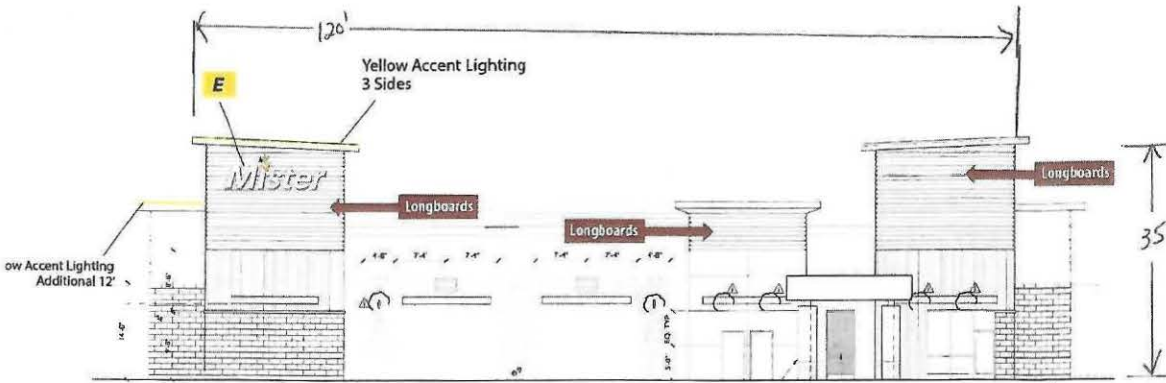


SITE:
Mister Car Wash
201 98th Street, N.W.
Albuquerque, New Mexico 87121

FOUNDATION DESIGN NOTES:
1. Concrete shall have a minimum compressive strength of 3000 PSI at 28 days.
2. Caisson footing designed using a soil bearing force of 150 PSF per foot Lateral.
If this soil condition does not exist, it is the Erector's responsibility to have a new base designed for the existing soil conditions by a Licensed Engineer.

DESIGN WIND LOAD:
Based on the New Mexico Commercial Building Code (2015 IBC) using Risk Category II, Exposure C and 115 mph wind speed.

REV	DATE	DESCRIPTION	APPROVED
A	23 Nov 20	RELEASED FOR PERMITTING	J. HOGAN
Robert-James & Associates, Inc. 12255 West 187th Street, Mokena Illinois 60448-9737 phone: 708-479-8385 fax: 708-479-8395 email: rja37@comcast.net			
TITLE: 10'-3 1/2" OAH DIRECT BURY CLADDED SINGLE POLE FOR MISTER CAR WASH			
DRAWN BY	DATE	SCALE	SHEET REV.
A. KLOTZKE	23 Nov 20	NONE	1 OF 1 A
CHECKED BY	DATE	DRAWING NUMBER	
J. HOGAN	23 Nov 20	2011095	



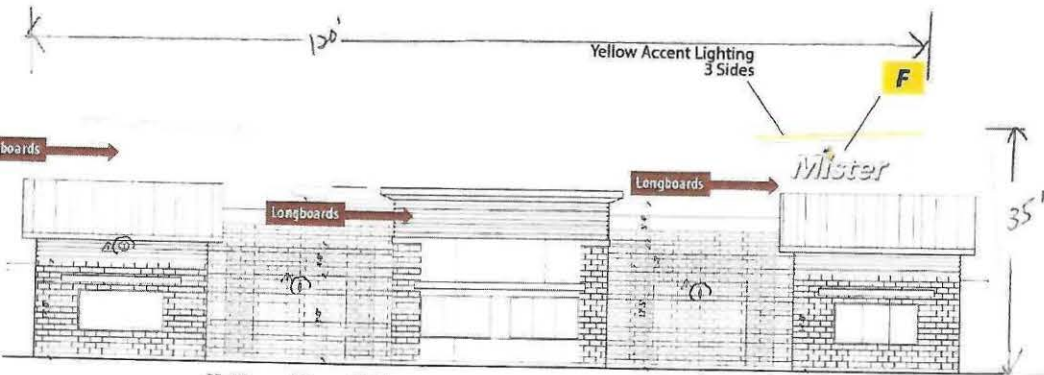
E 5'-0" x 14'-8" Mister on Tower of Tunnel Exit - 73 sq ft

NORTH ELEVATION

Building Fascia: 4200
 Sign: 73
 Ratio: 1.790



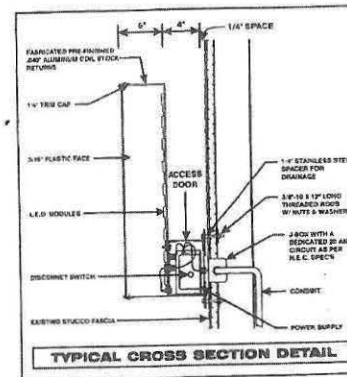
- Sparkles = Left Middle = Blue with a Yellow outline - 2 remaining Sparkles are Yellow -
- Blue & Yellow Vinyl over #7328 White Acrylic
- Mister = White - #7328 White Acrylic
- Black 1" Trim Cap - Black Returns
- LED Illumination



SOUTH ELEVATION

Building Fascia: 4200
 Sign: 73
 Ratio: 1.790

Mr Car Wash
 201 98th St. NW
 Albuquerque, NM 87121
 2/28/2020 SRA 60450

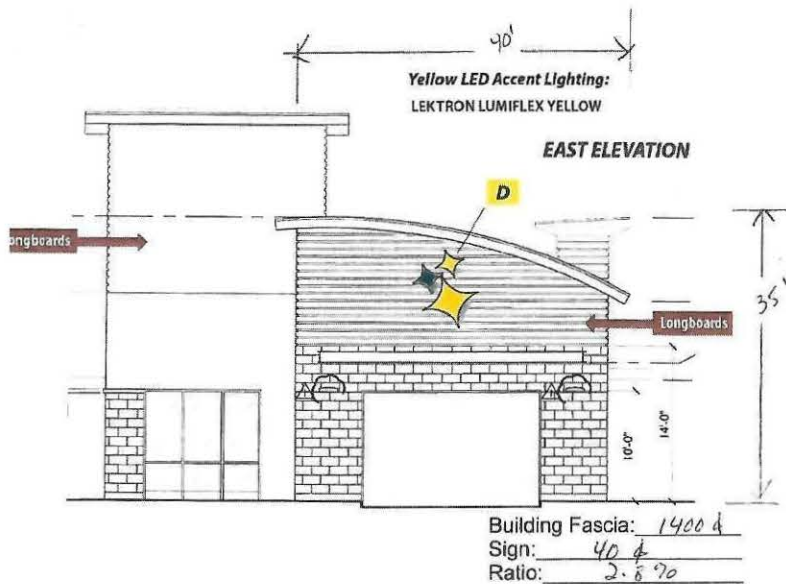


ELECTRICAL LOAD
 (1.26) Amps @ 120 Volts
ELECTRICAL REQ'MTS
 (1) 20 Amp/120 Volt Circuits

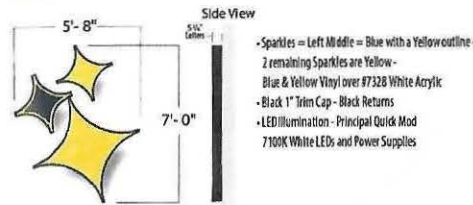
LED Specifications:
 1. (2) BITRO - ASU-60-12U
 60 Watt LED Power Supply
 2. (109 Each) Bitro TriMax
 Pure White LEDs (.69w ea)
 48 Lumens Per Module

- STANDARD LETTER NOTES:**
1. Sufficient Primary Circuit In Vicinity Of Sign By Others.
 2. Letter To Letter Wiring & Final Primary Hook-up By Sign Installer, Where Allowed By Local Codes.
 3. Sign Shall Be U.L. Listed.
 4. Mounting Hardware By Sign Installer.
 5. Full Size Drilling Template Furnished With Sign.

Note: This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.



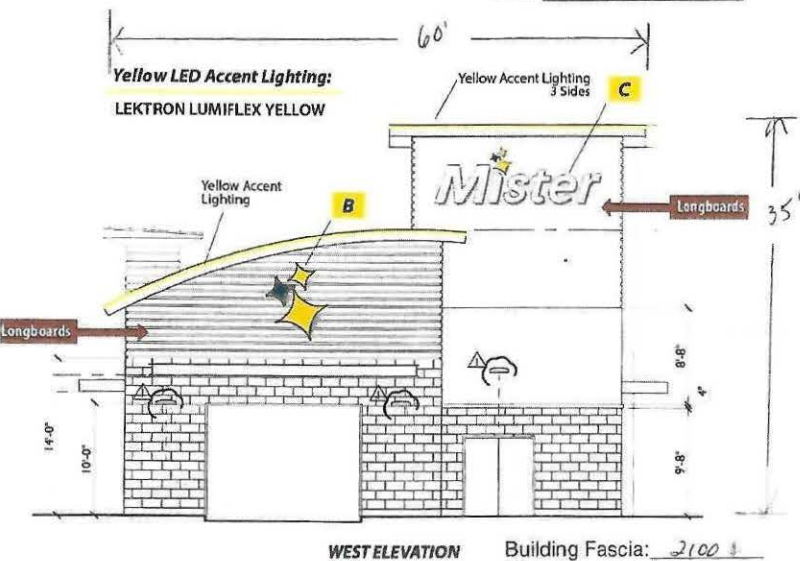
D 7'-0" x 5'-8" Mister on Tower of Tunnel Entrance - 40 sq ft



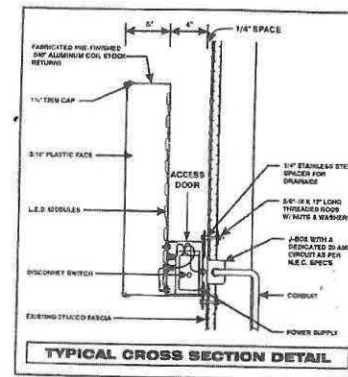
C 5'-0" x 14'-8" Mister on Tower of Tunnel Exit - 73 sq ft



- Sparkles = Left Middle = Blue with a Yellow outline - 2 remaining Sparkles are Yellow - Blue & Yellow Vinyl over #7328 White Acrylic
- Mister = White - #7328 White Acrylic
- Black 1" Trim Cap - Black Returns
- LED Illumination



Mr. Car Wash
201 98th St. NW
Albuquerque, NM
2/28/2020 SRA 60650



ELECTRICAL LOAD
(1.26) Amps @ 120 Volts
ELECTRICAL REQ'MTS
(1) 20 Amp/120 Volt Circuits

LED Specifications:

- (2) BITRO - ASU-60-12U
60 Watt LED Power Supply
- (109 Each) Bitro TriMax
Pure White LEDs (.69w ea)
48 Lumens Per Module

STANDARD LETTER NOTES:

- Sufficient Primary Circuit In Vicinity Of Sign By Others.
- Letter To Letter Wiring & Final Primary Hook-up By Sign Installer, Where Allowed By Local Codes.
- Sign Shall Be U.L. Listed.
- Mounting Hardware By Sign Installer.
- Full Size Drilling Template Furnished With Sign.

Note: This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

