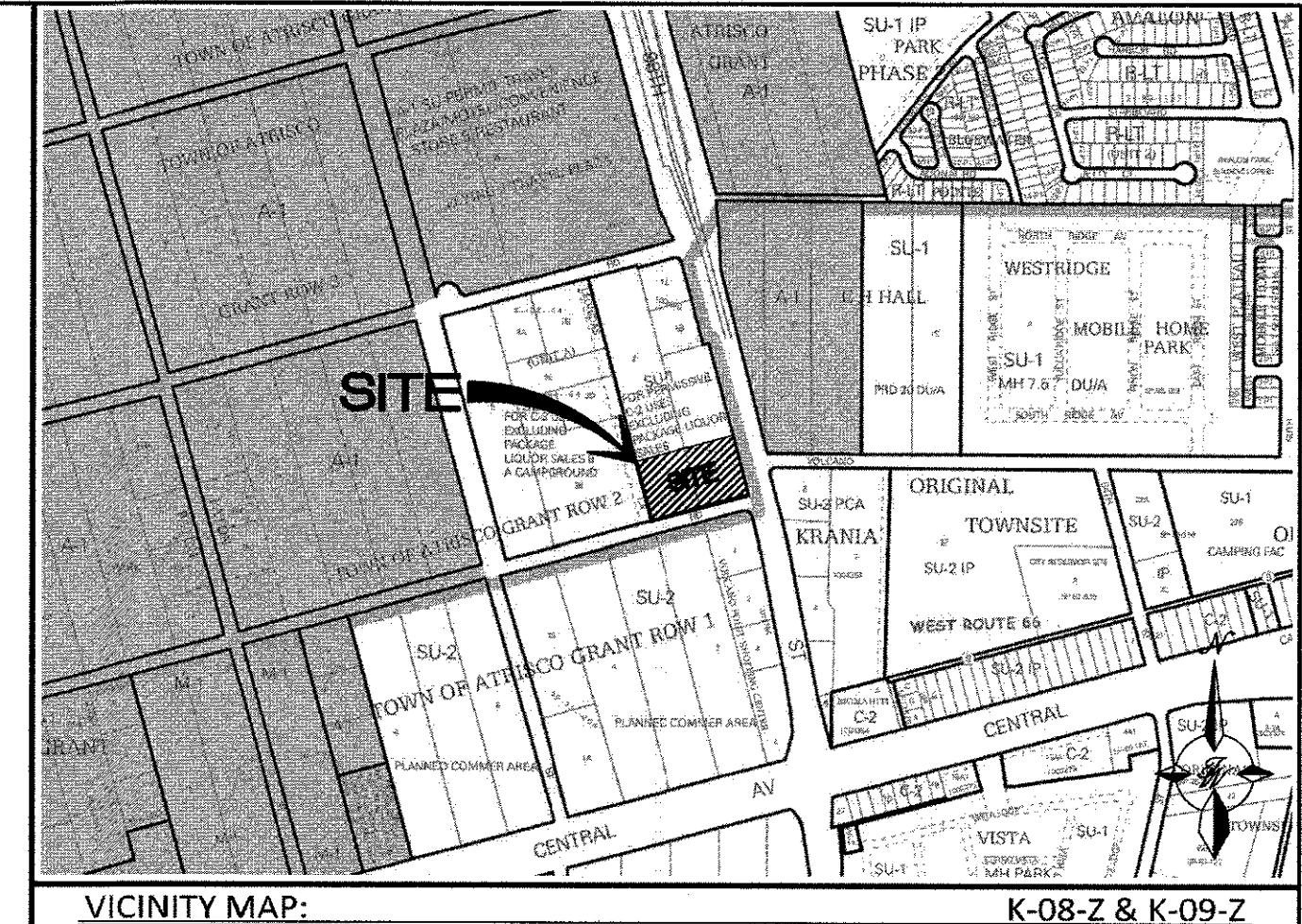


**GENERAL NOTES:**

- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER INCLUDING THAT WITHIN THE CITY RIGHT-OF-WAY.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
- THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
- NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
- THERE ARE NO TRANSIT FACILITIES ADJACENT TO OR WITHIN CLOSE PROXIMITY TO THE SITE.
- LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

**LEGEND**

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- BUILDING
- SIDEWALK
- STREET LIGHTS
- LANE
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING LANE
- EXISTING STRIPING
- PROPOSED HEAVY DUTY PCC PAVEMENT
- PROPOSED STANDARD DUTY PCC PAVEMENT
- PEDESTRIAN ROUTE



**LEGAL DESCRIPTION:**  
TRACT 1 AND TRACT 2, UNIT A, ROW 2, WEST OF WESTLAND

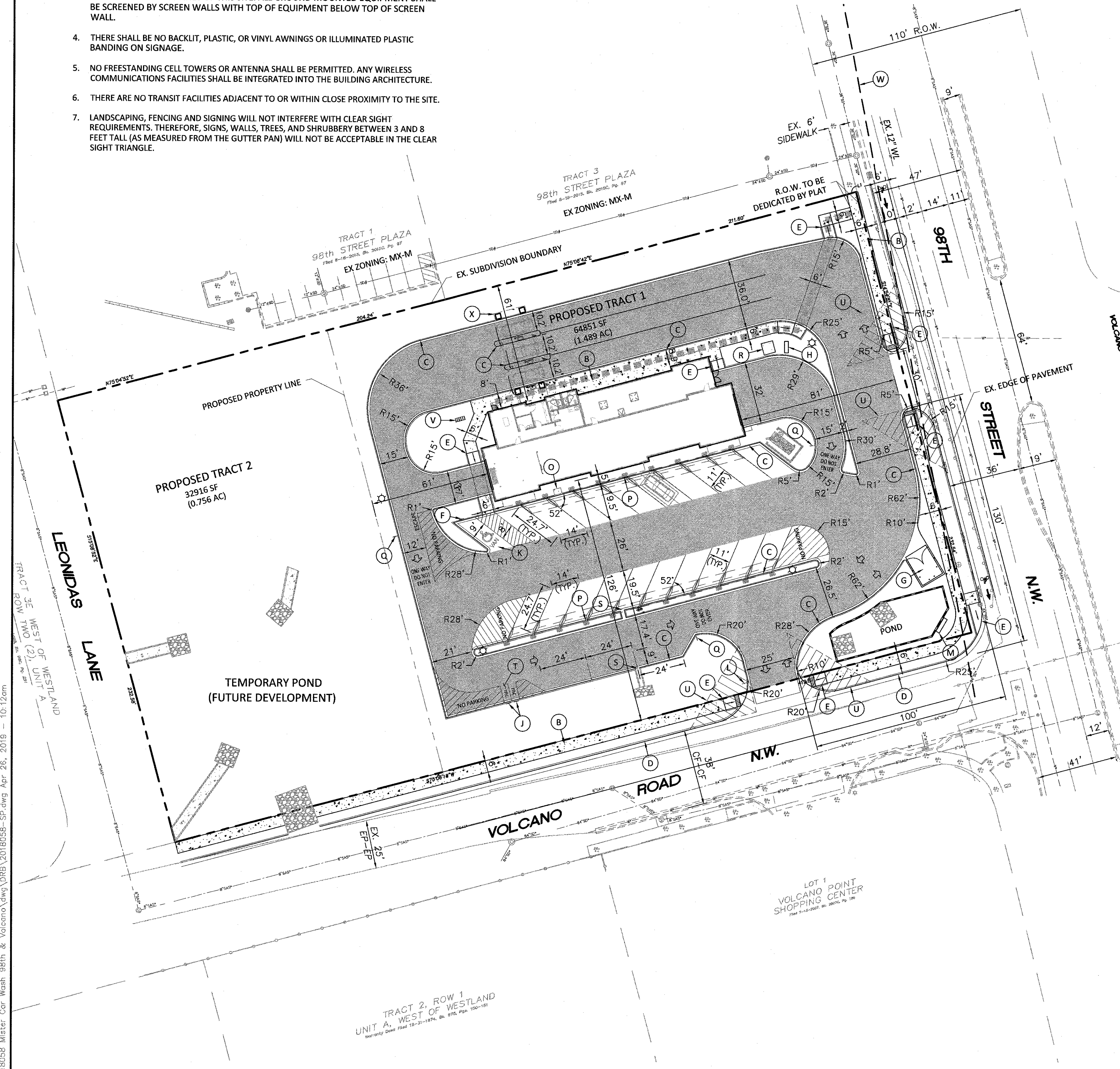
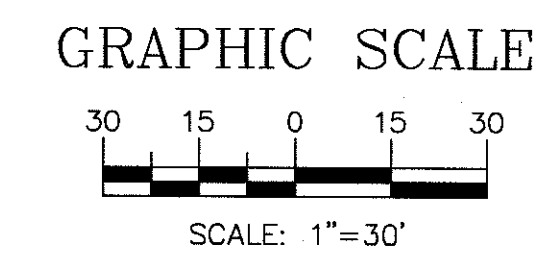
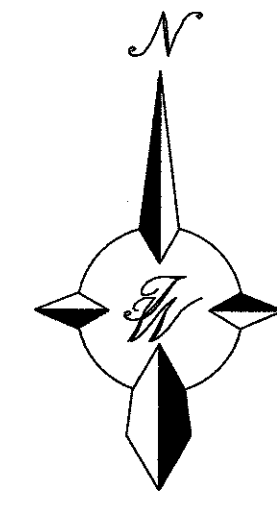
- NOTES:**
- LIGHT FIXTURES SHALL BE INSTALLED WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE.
  - 10' CLEARANCE SHALL BE PROVIDED FOR ALL GROUND MOUNTED PNM UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.
  - ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.
  - LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

**SITE DATA**

PROPOSED USAGE:	CAR WASH 5,580 SF
ZONING:	MX-M (USE PERMISSIVE)
LOT AREA:	2.25 ACRES
PARKING REQUIRED:	12 SPACES
PARKING PROVIDED:	24 SPACES
HC PARKING REQUIRED:	1 SPACES
HC PARKING PROVIDED:	1 SPACES 1 SPACE VAN ACCESSIBLE
MC PARKING REQUIRED:	1 SPACES
MC PARKING PROVIDED:	2 SPACES

**KEYED NOTE:**

- (A) 2' ALLEY GUTTER PER COA STD DWG #2415A
- (B) SIDEWALK PER COA STD DWG #2430
- (C) 6" CURB & GUTTER PER DETAIL ON SHEET C5
- (D) EDGE OF PAVEMENT
- (E) UNIDIRECTIONAL HC RAMP PER DETAIL ON SHEET C5
- (F) HANDICAP PARKING SIGN PER DETAIL SHEET C5
- (G) TRASH ENCLOSURE PER DETAIL SHEET C6
- (H) BIKE RACK PER DETAIL SHEET C6
- (I) SITE LIGHTING
- (J) MOTORCYCLE PARKING SIGN PER DETAIL SHEET C6
- (K) ACCESSIBLE PARKING PER ADA STANDARDS (SEE DETAIL SHEET C5)
- (L) STOP SIGN
- (M) MONUMENT SIGN (SEE DETAIL SHEET A2.2)
- (N) PEDESTRIAN RAILING (SEE DETAIL SHEET C4)
- (O) 4'X3' CONCRETE PAD FOR MAT CLEANER
- (P) 18" DIA CONC. FOOTING FOR VACUUM ARCH. TOP ELEV TO BE 6" ABOVE PAVING. SEE DETAIL N3, SHEET A1.1. (TYP.)
- (Q) "DO NOT ENTER" SIGN
- (R) ELECTRICAL TRANSFORMER
- (S) 2-FT CURB CUT
- (T) MOTORCYCLE PARKING
- (U) 35' X 35' SIGHT TRIANGLES
- (V) BIKERACK (SEE DETAIL SHEET C6)
- (W) SIGHT LINE
- (X) CANOPY (SEE ELEVATION SHEET A5.1)



<b>PROJECT NUMBER:</b>	PR-2018-001964
<b>APPLICATION NUMBER:</b>	PS-2019-00003
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.	
Is an Infrastructure List required? (✓) Yes ( ) No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.	
<b>DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:</b>	
<i>Ronald R. Bohannan</i> Traffic Engineer, Transportation Division	5/1/19 Date
<i>ABGWUA</i> Parks & Recreation Department	5/1/19 Date
<i>James D. Hughes</i> City Engineer	7-23-19 Date
<i>N/A</i> * Environmental Health Department (conditional)	Date
<i>N/A</i> Solid Waste Management	Date
<i>DRB Chairperson, Planning Department</i>	7-23-19 Date
* Environmental Health, if necessary	
<i>Cody Entenmann</i>	5/1/19 Date

- INDEX TO DRAWINGS**
- C1. SITE PLAN
  - C2. GRADING AND DRAINAGE PLAN
  - C3. MASTER UTILITY PLAN
  - C4. DETAIL SHEET
  - C5. DETAIL SHEET
  - C6. DETAIL SHEET
  - L1. LANDSCAPING PLAN
  - A5.0 BUILDING ELEVATIONS
  - A5.1 BUILDING ELEVATIONS
  - A6.0 BUILDING AND SIGN DETAILS

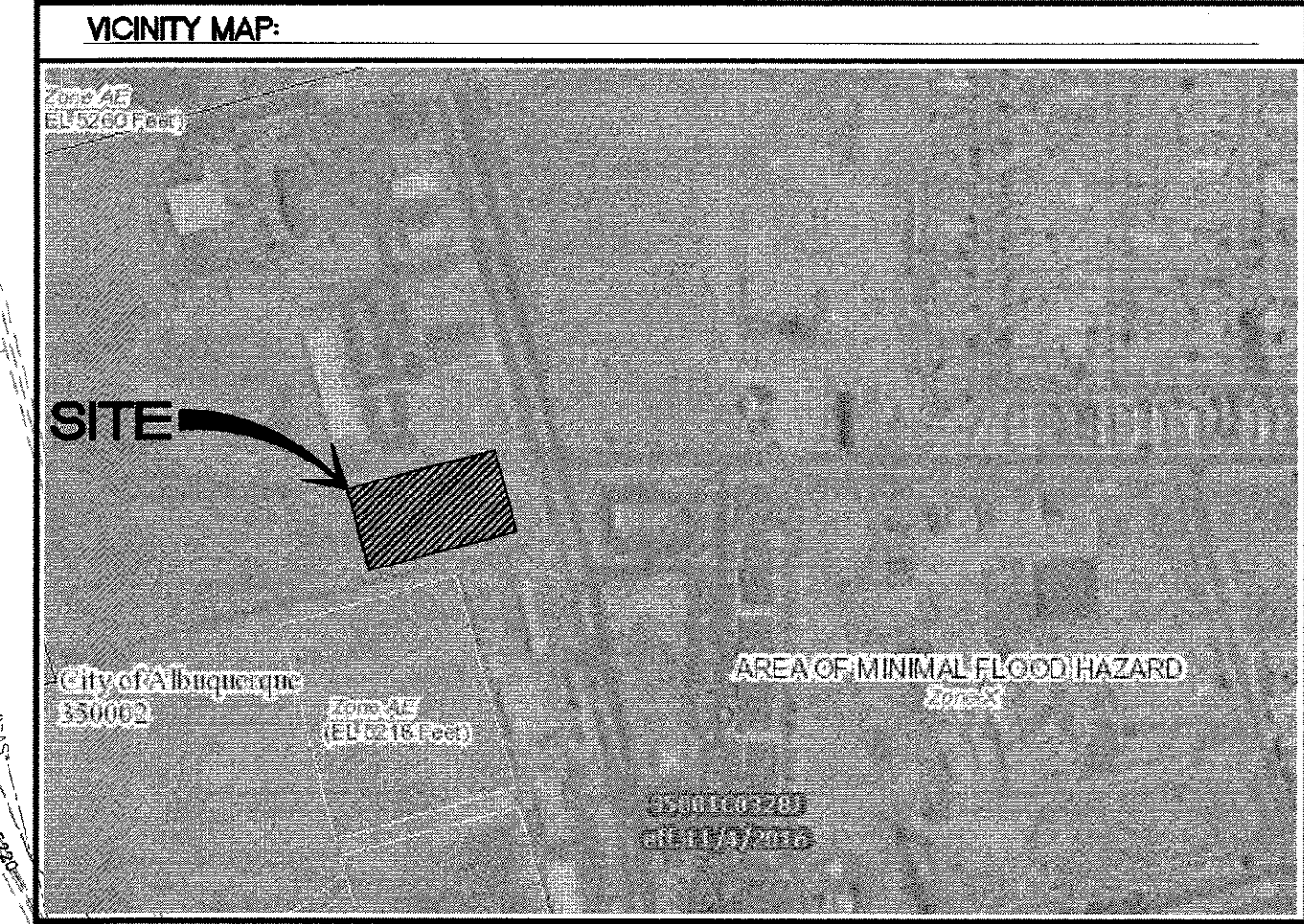
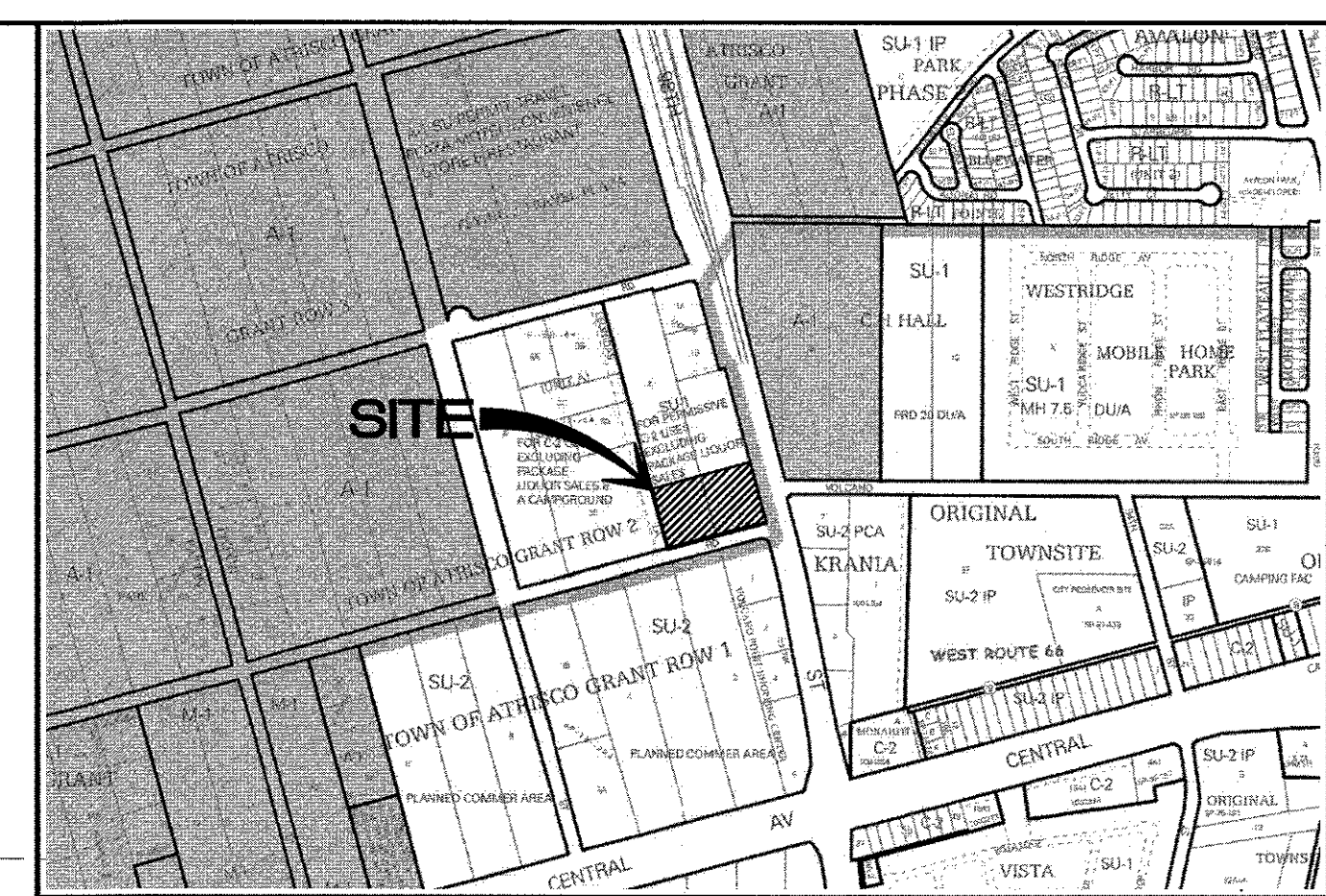
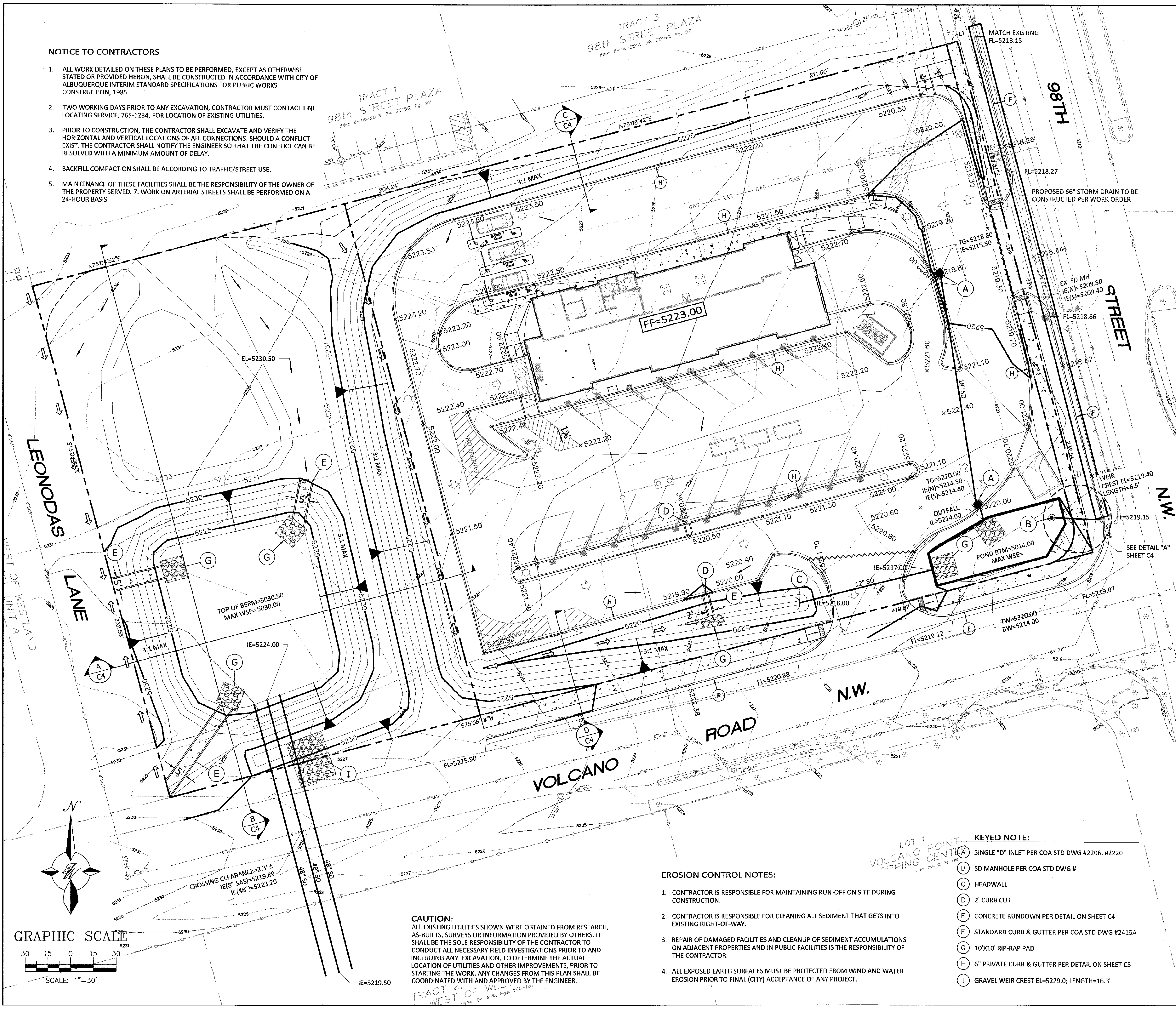
ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	<b>MISTER CAR WASH</b> 98TH ST & VOLCANO RD	DRAWN BY DY
	<b>SITE PLAN FOR BUILDING PERMIT</b>	DATE 4/25/19
		2018058-SP
		SHEET # <b>C1</b>
	<b>TERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2018058

Z:\2018\2018058 Mister Car Wash 98th & Volcano.dwg\DRB\2018058-SP.dwg Apr 26, 2019 - 10:12am



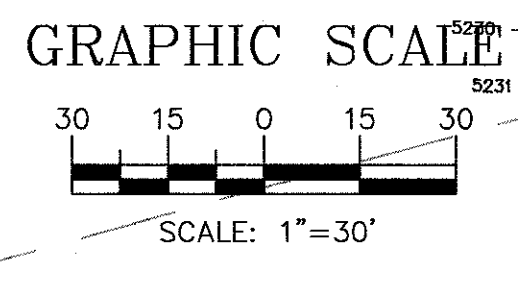
**NOTICE TO CONTRACTORS**

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
2. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
5. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED. 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



**LEGEND**

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	BUILDING
	SIDEWALK
	RETAINING WALL
	CONTOUR MAJOR
	CONTOUR MINOR
	SPOT ELEVATION
	FLOW ARROW
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING CONTOUR MAJOR
	EXISTING CONTOUR MINOR
	EXISTING SPOT ELEVATION
	12"x12" CATCH BASIN (NDS OR EQUAL)
	PCC V-DITCH



**EROSION CONTROL NOTES:**

1. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
3. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
4. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

**CAUTION:**  
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

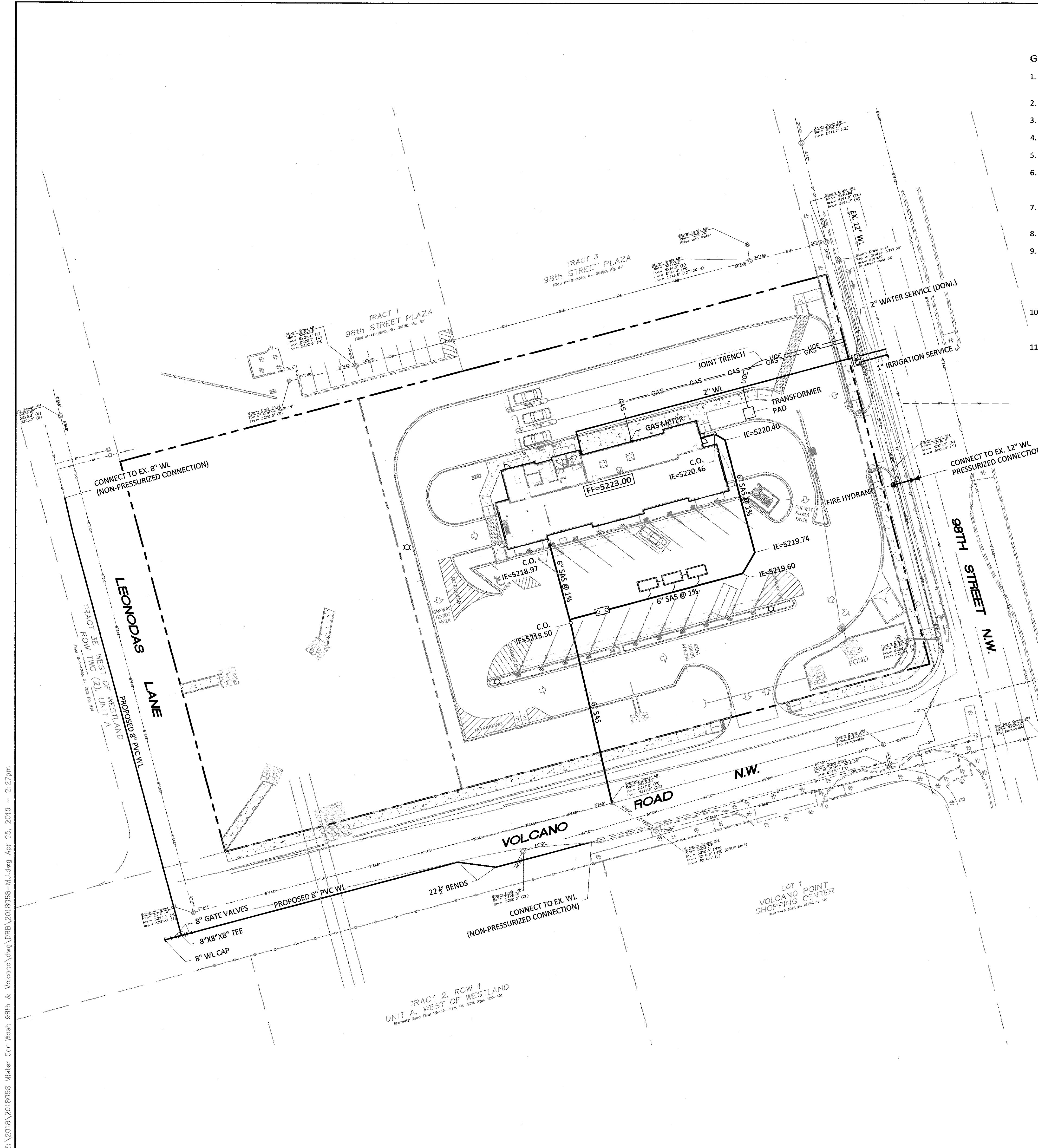
**KEYED NOTE:**

- (A) SINGLE "D" INLET PER COA STD DWG #2206, #2220
- (B) SD MANHOLE PER COA STD DWG #
- (C) HEADWALL
- (D) 2' CURB CUT
- (E) CONCRETE RUNDOWN PER DETAIL ON SHEET C4
- (F) STANDARD CURB & GUTTER PER COA STD DWG #2415A
- (G) 10'X10' RIP-RAP PAD
- (H) 6" PRIVATE CURB & GUTTER PER DETAIL ON SHEET C5
- (I) GRAVEL WEIR CREST EL=5229.0; LENGTH=16.3'

	<b>MISTER CAR WASH</b> 98TH ST & VOLCANO RD	DRAWN BY DY
	<b>GRADING AND DRAINAGE PLAN</b>	DATE 3/27/19
3/27/2019 RONALD R. BOHANNAN P.E. #7868	<b>TERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	2018058-GR-20
		SHEET # <b>C2</b>
		JOB # 2018058

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**GENERAL UTILITY NOTES:**

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH TOWN OF BERNALILLO STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE PLUMBING PLANS FOR WATER LINE RISER LOCATIONS.
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. IRRIGATION AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
7. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
8. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
9. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
10. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET.
11. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

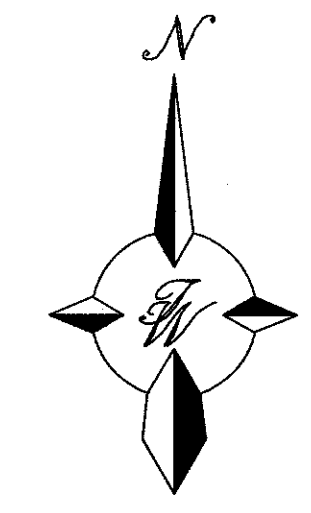
**LEGEND**

- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- BUILDING
- SIDEWALK
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- 36" SD — STORM SEWER LINE
- 8" SAS — SANITARY SEWER LINE
- 8" WL — WATERLINE
- SINGLE CLEAN OUT
- DOUBLE CLEAN OUT
- ⊙ EXISTING SAS MANHOLE
- ⊙ EXISTING INLET
- ⊙ EXISTING SAS MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER VALVE
- ⊙ EXISTING WATER METER
- ⊙ EXISTING POWER POLE
- ⊙ EXISTING GAS VALVE
- U — EXISTING OVERHEAD UTILITIES
- - - EX. UG — EXISTING UNDERGROUND UTILITIES
- - - EX. 2" GAS — EXISTING GAS
- - - EX. 8" SAS — EXISTING SANITARY SEWER LINE
- - - EX. 10" WL — EXISTING WATER LINE
- - - EX. 18" RCP — EXISTING STORM SEWER LINE

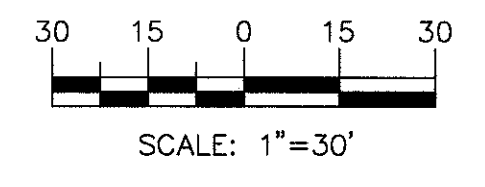
**RESPONSIBILITY OF ELECTRICAL UTILITY SERVICE**

	ELECTRIC UTILITY COMPANY (PNM)	GENERAL CONTRACTOR
PRIMARY CONDUIT		X
PRIMARY CONDUCTORS	X	
TRANSFORMER PAD		X
TRANSFORMER	X	
SECONDARY CONDUIT TO METER/CT		X
SECONDARY CONDUCTORS TO METER/CT		X
SECONDARY CONDUCTORS FROM METER TO MAIN PANEL		X
SECONDARY CONDUCTORS FROM METER TO MAIN PANEL		X

\* TRENCHING AND BACKFILL FOR PRIMARY CONDUIT BY GENERAL CONTRACTOR



**GRAPHIC SCALE**

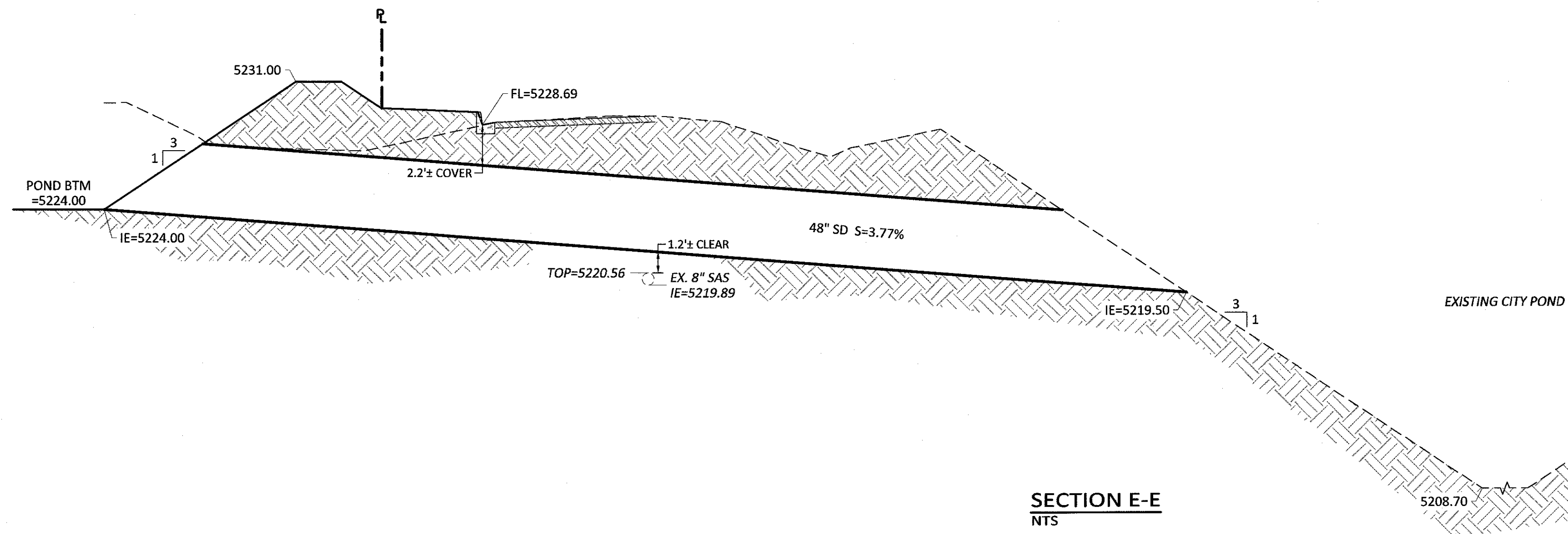
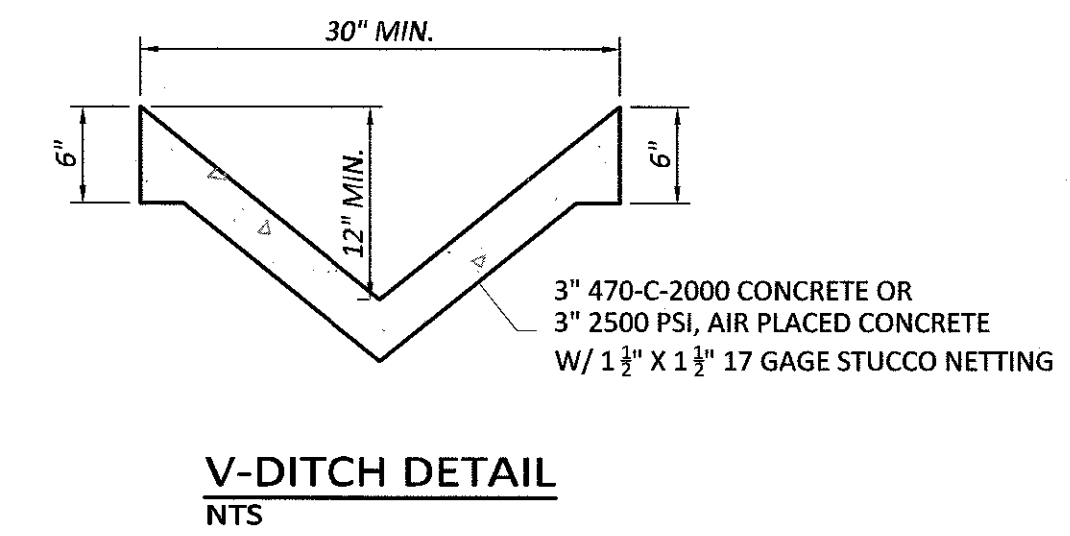
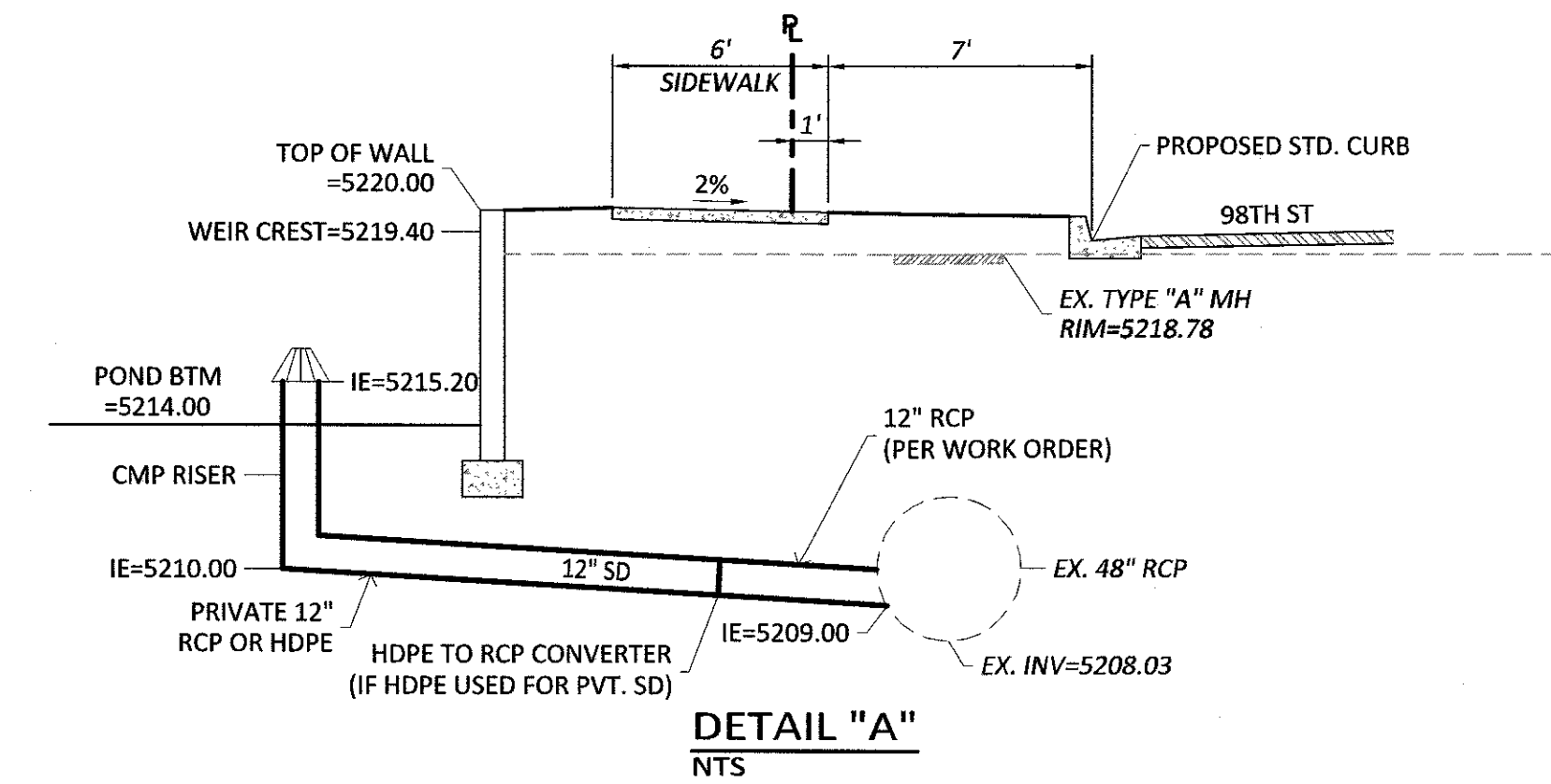
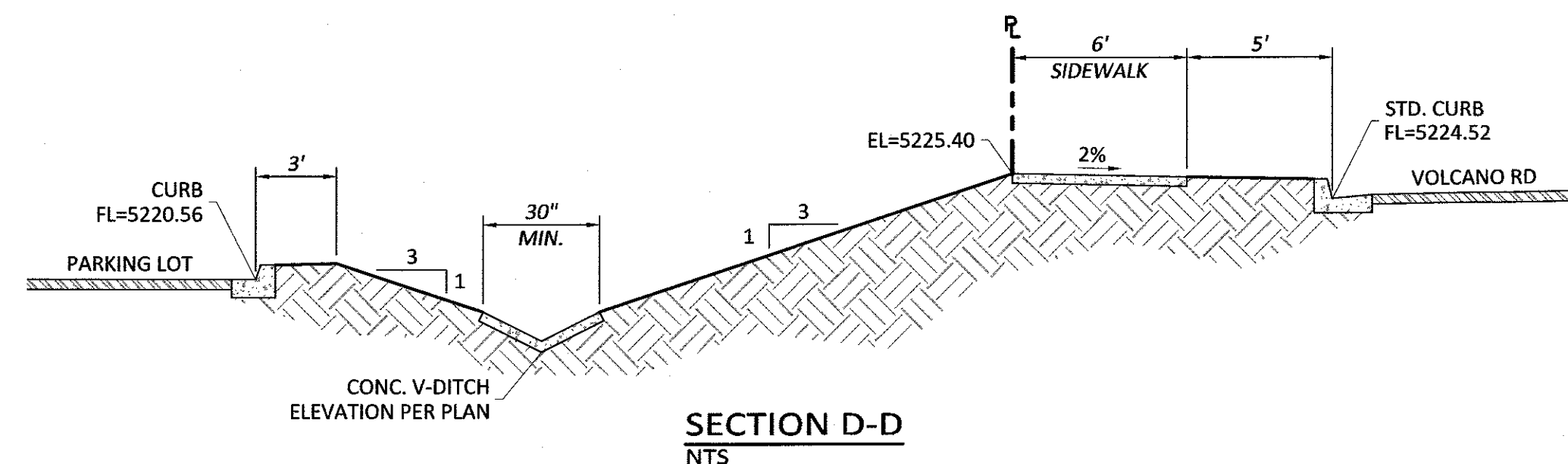
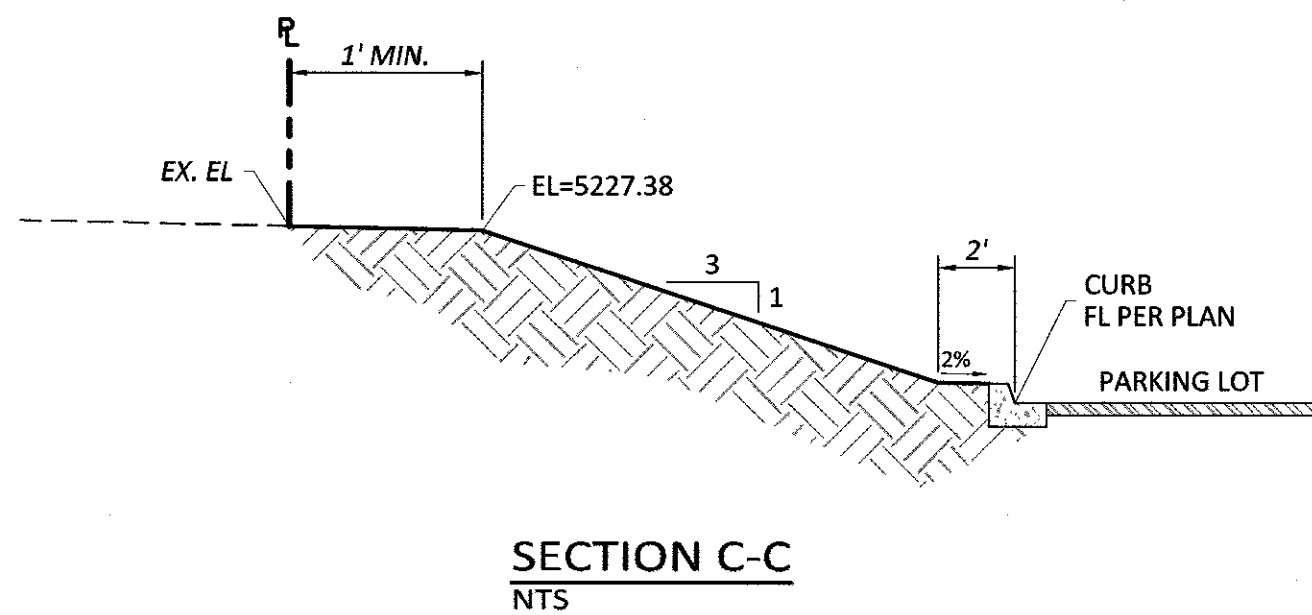
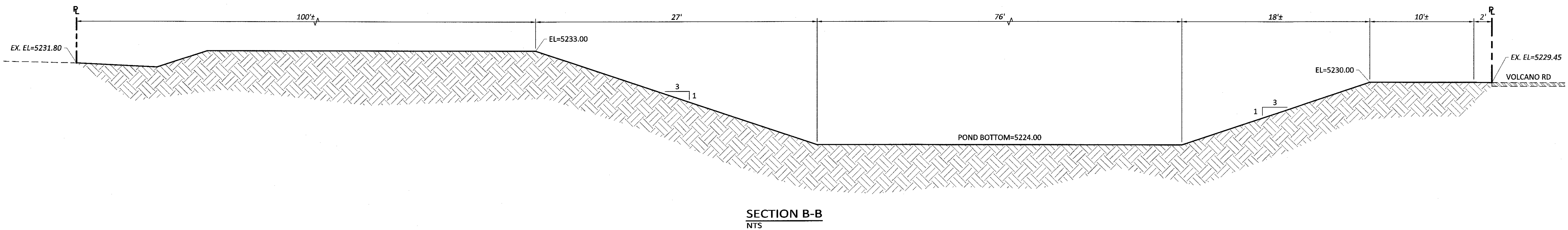
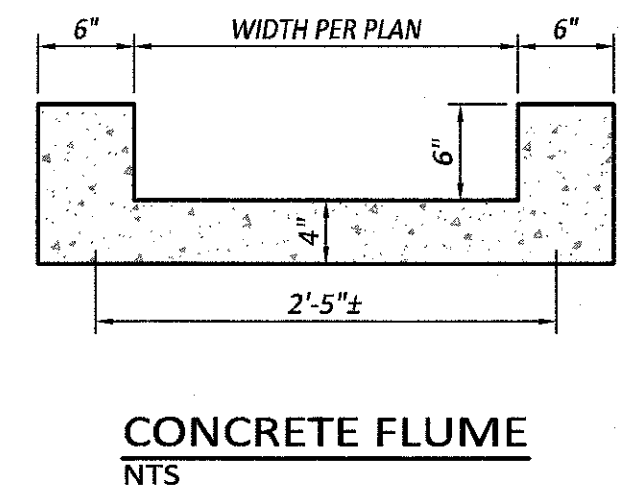
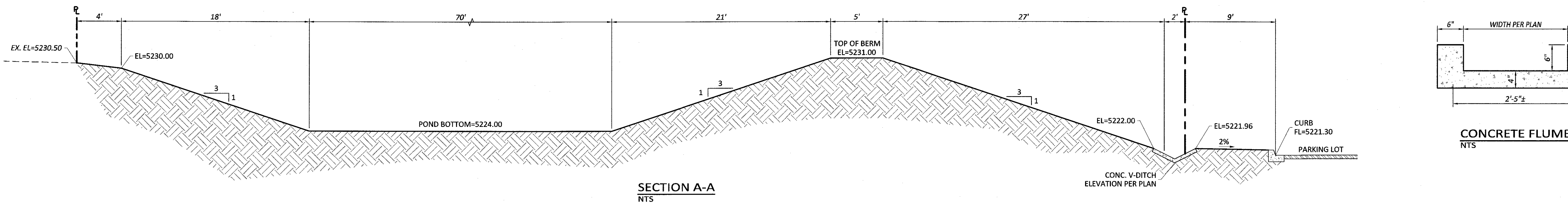


**CAUTION:**

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	<b>MISTER CAR WASH</b> <b>98TH ST &amp; VOLCANO RD</b>	DRAWN BY DY
	<b>MASTER UTILITY PLAN</b>	DATE 4/25/19
		2018058-MU
5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com		SHEET # <b>C3</b>
RONALD R. BOHANNAN P.E. #7868		JOB # 2018058

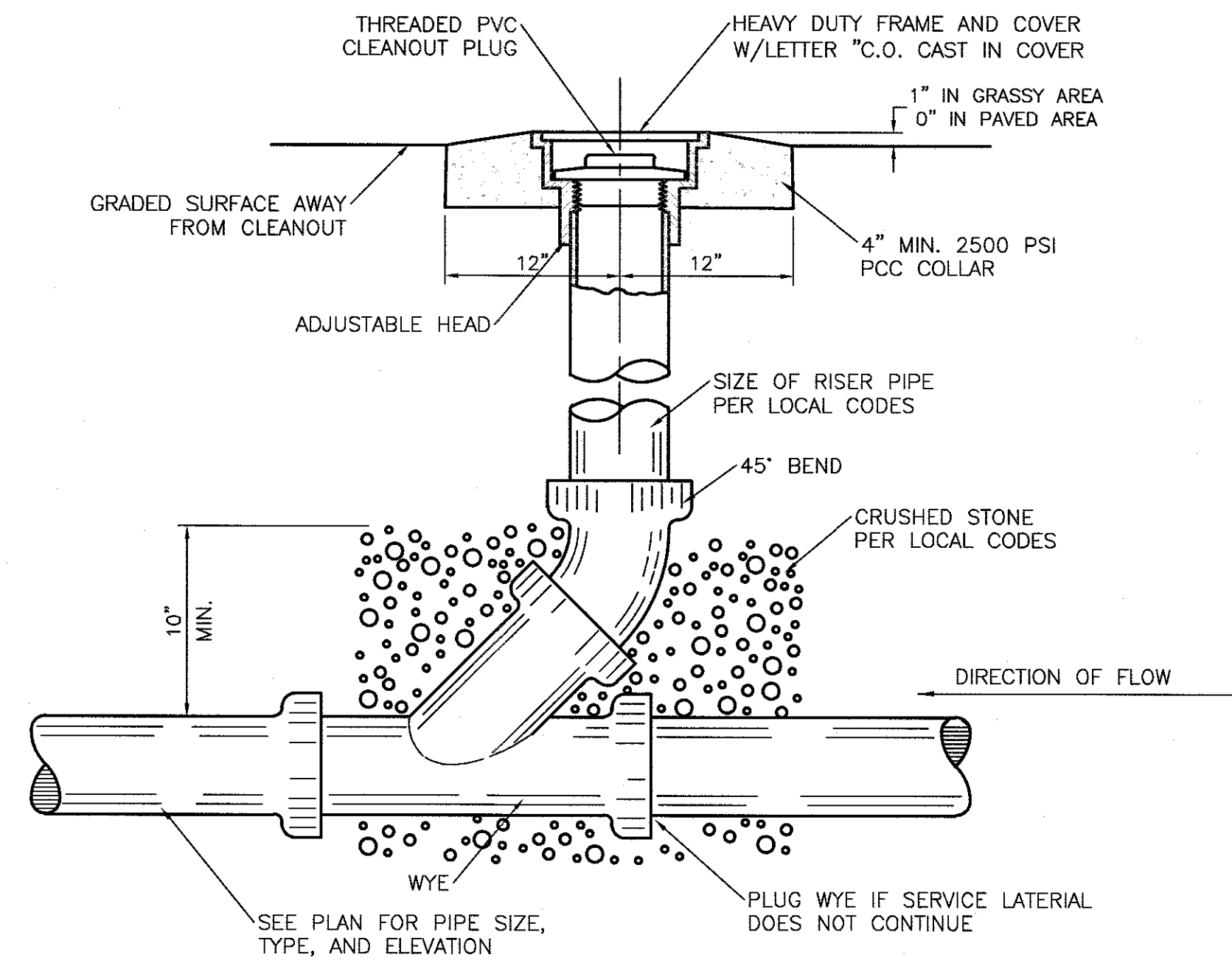
Z:\2018\2018058 Master Car Wash 98th & Volcano.dwg (DRB)\2018058-MU.dwg Apr 25, 2019 - 2:27pm



Z:\2018\2018058 Mister Car Wash 98th & Volcano.dwg (R) 2018058-X-Sections.dwg Apr 18, 2019 - 2:07pm

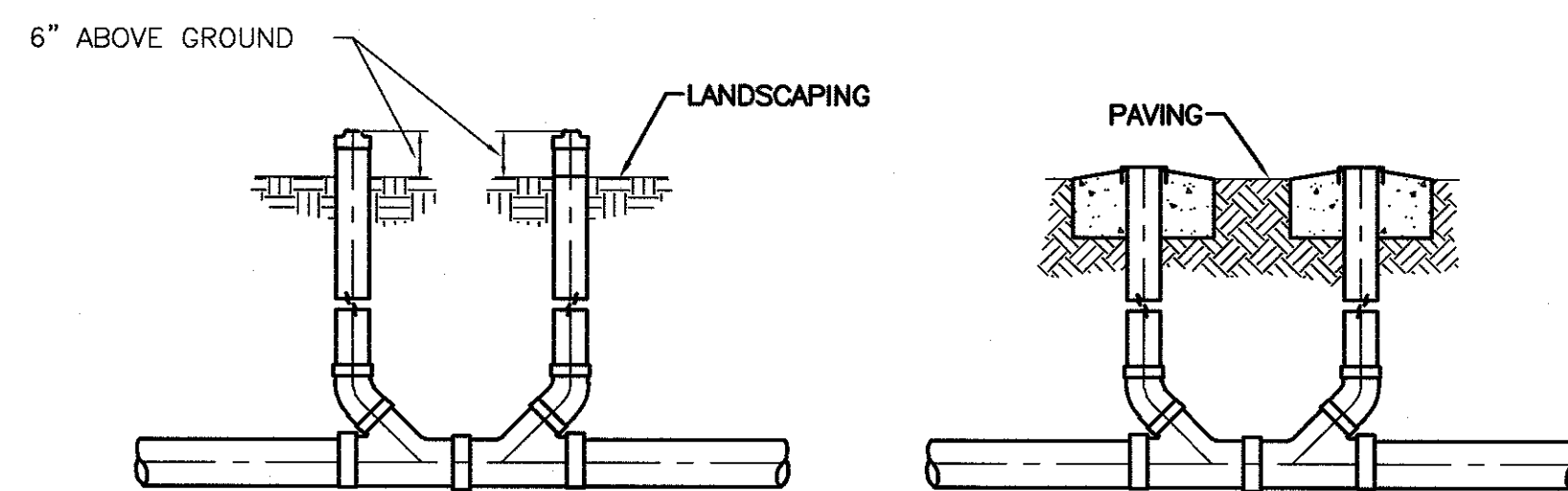
	<b>MISTER CAR WASH</b> <b>98TH ST &amp; VOLCANO RD</b> <b>SECTIONS AND DETAILS</b>	DRAWN BY DY DATE 4/18/19
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	2018058-X-SECTIONS SHEET # <b>C4</b> JOB # 2018058





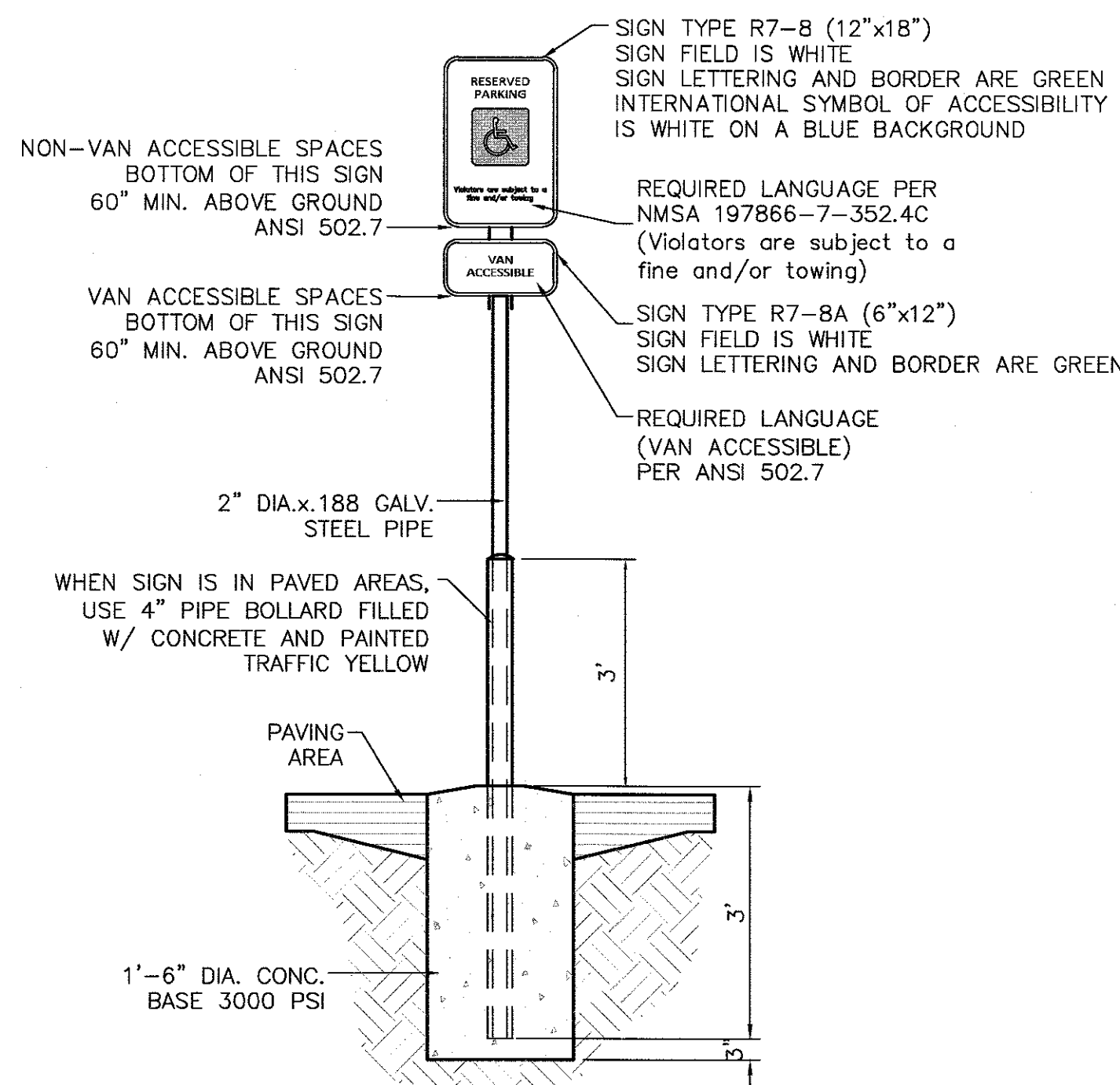
**SANITARY SEWER CLEAN-OUT**

NTS



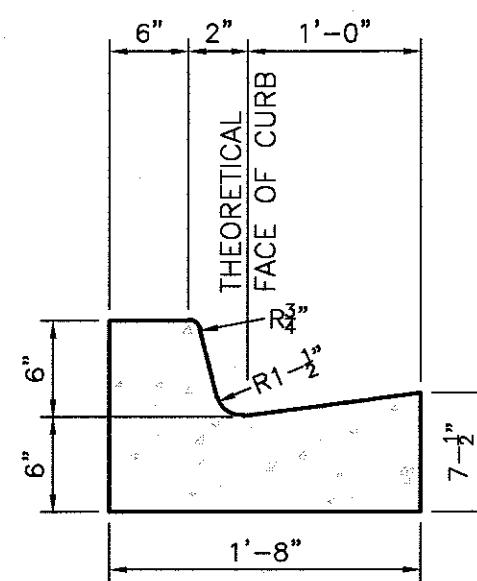
**SANITARY SEWER DOUBLE CLEAN-OUTS**

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**ACCESSIBLE PARKING SIGN**

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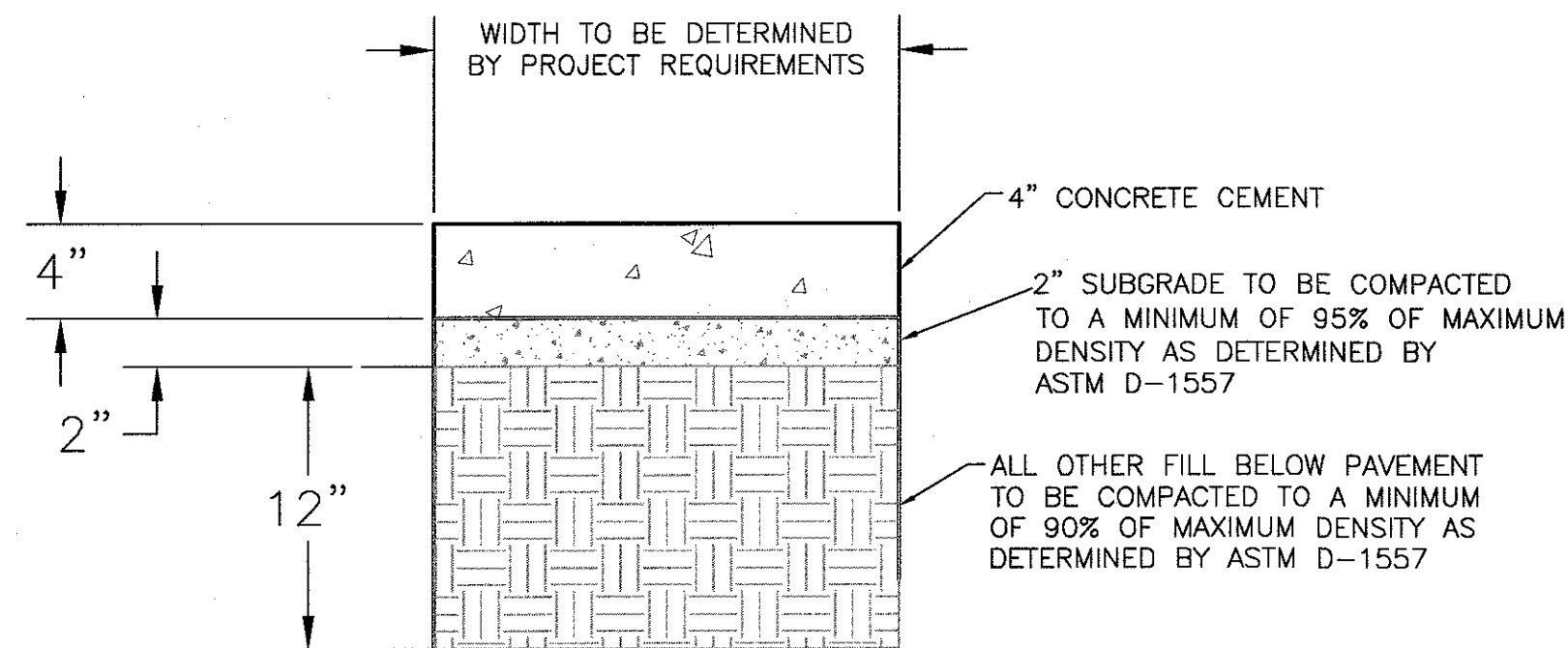
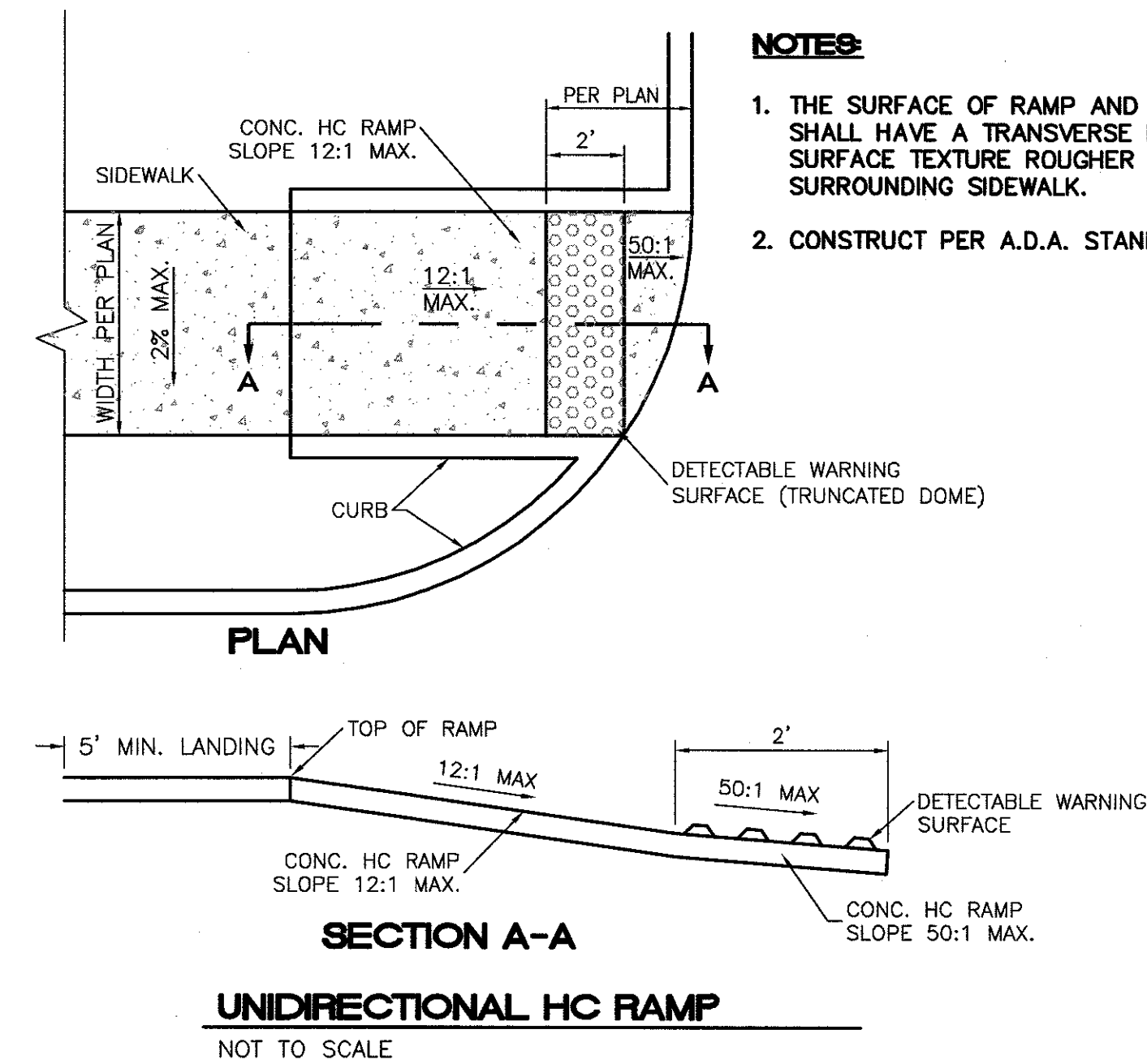


**CURB GENERAL NOTES:**

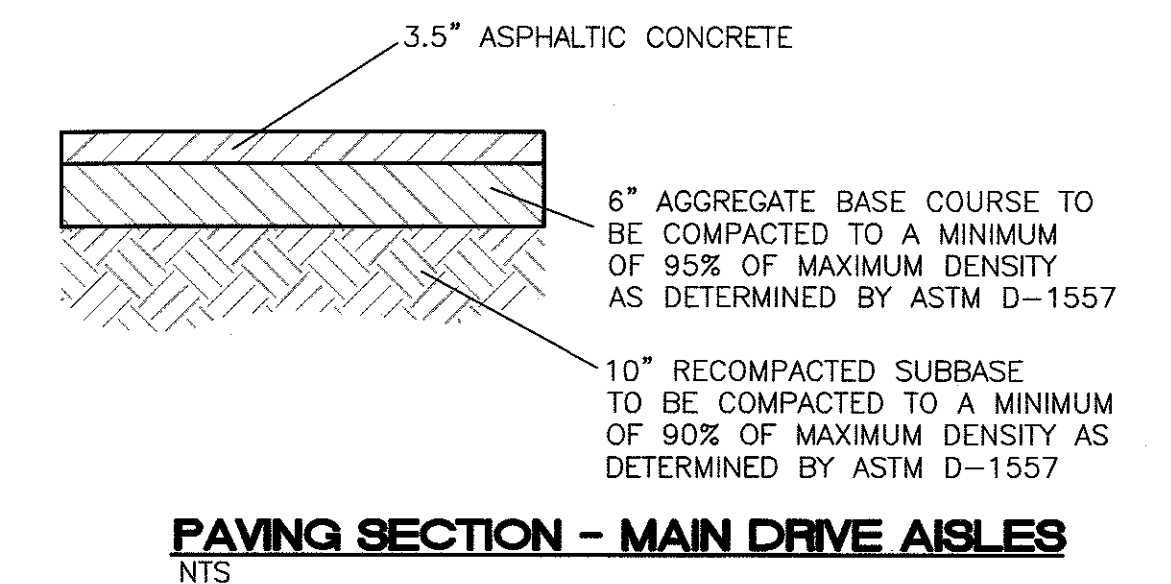
1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
2. PROVIDE CONTRACTION JTS. 12" MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120" BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS., SHALL BE EITHER SAWS OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
4. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

**6" PRIVATE CURB & GUTTER**

NTS

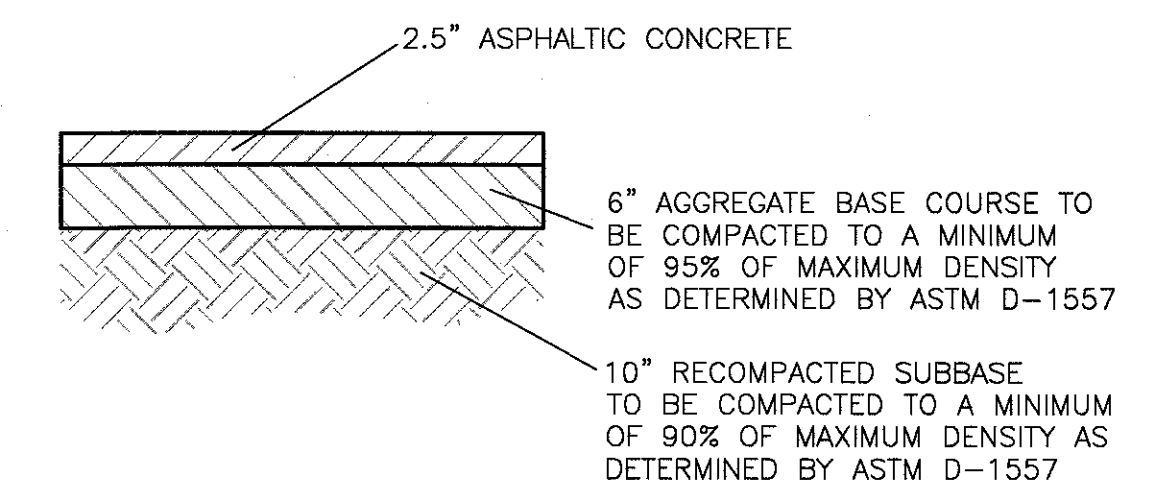


**CONCRETE SIDEWALK SECTION**



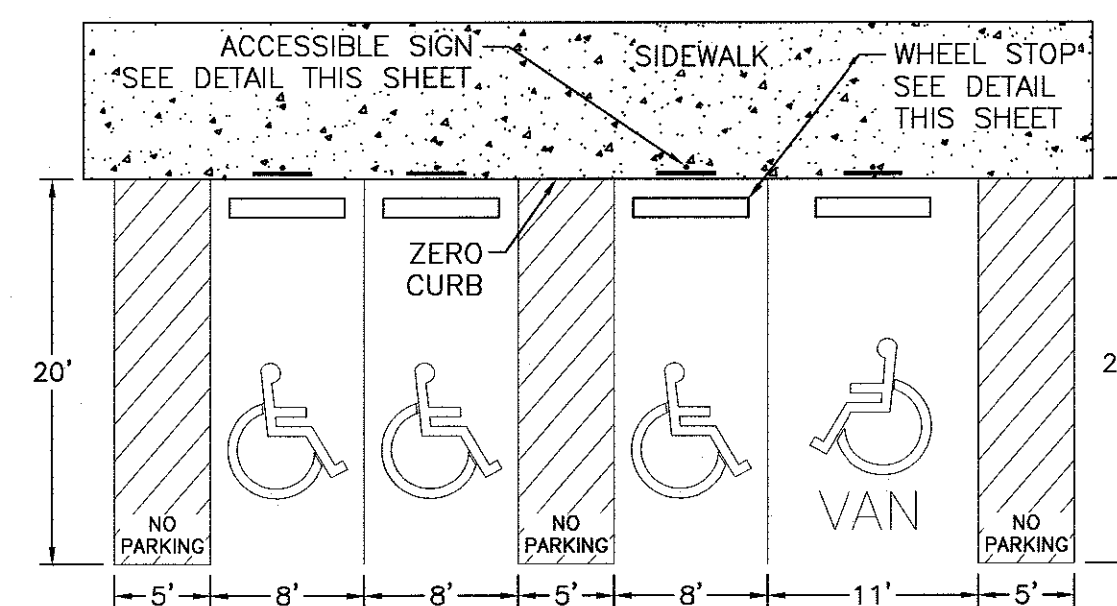
**PAVING SECTION - MAIN DRIVE AISLES**

NTS



**PAVING SECTION - PARKING AREAS**

NTS

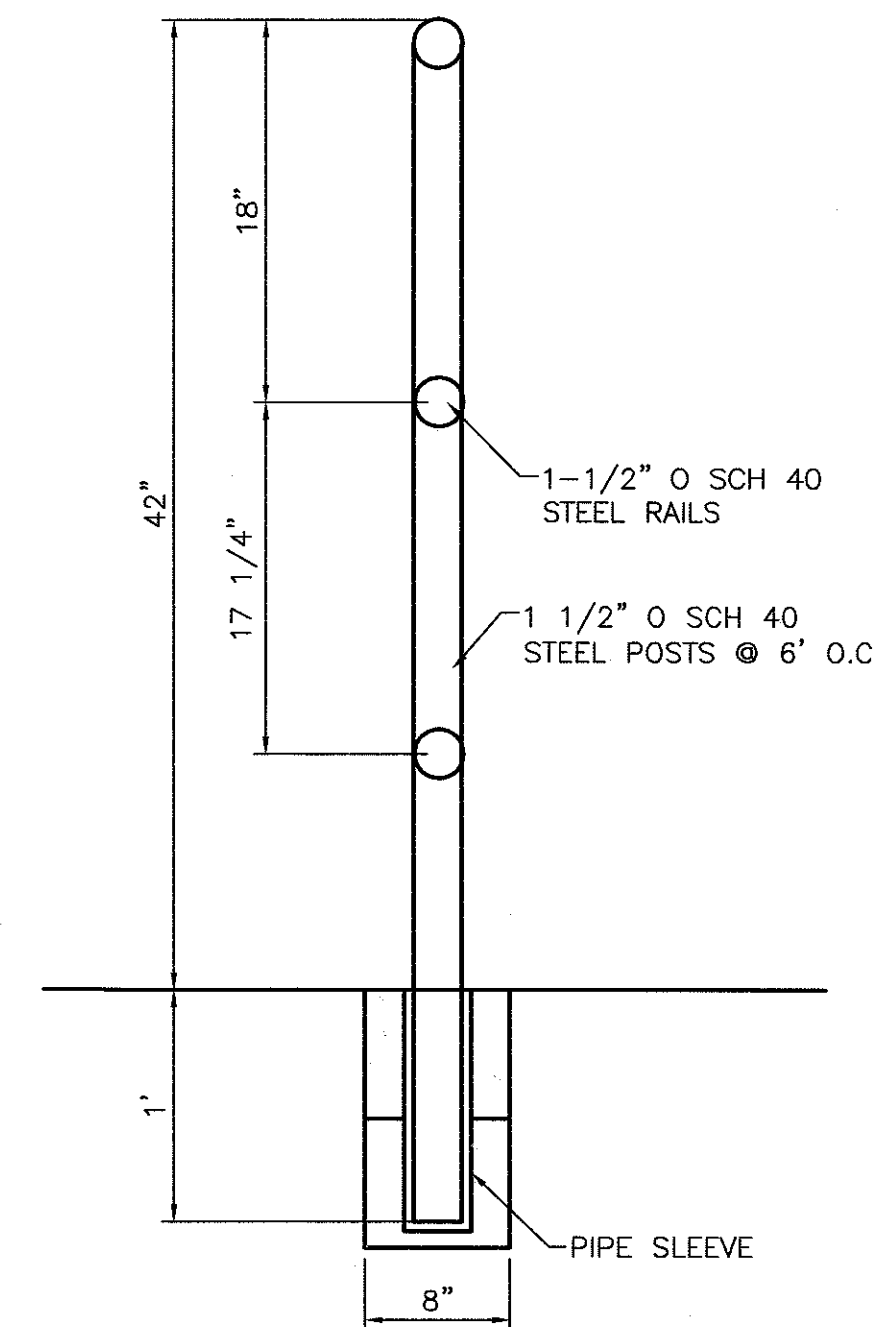


**NOTES:**

- 1) International Symbol of Accessibility shall be painted on the pavement at rear of space, white symbol on blue background.
- 2) Parking space lines and diagonal striping to be painted blue.
- 3) Access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed.

**HC PARKING DETAIL**

NTS

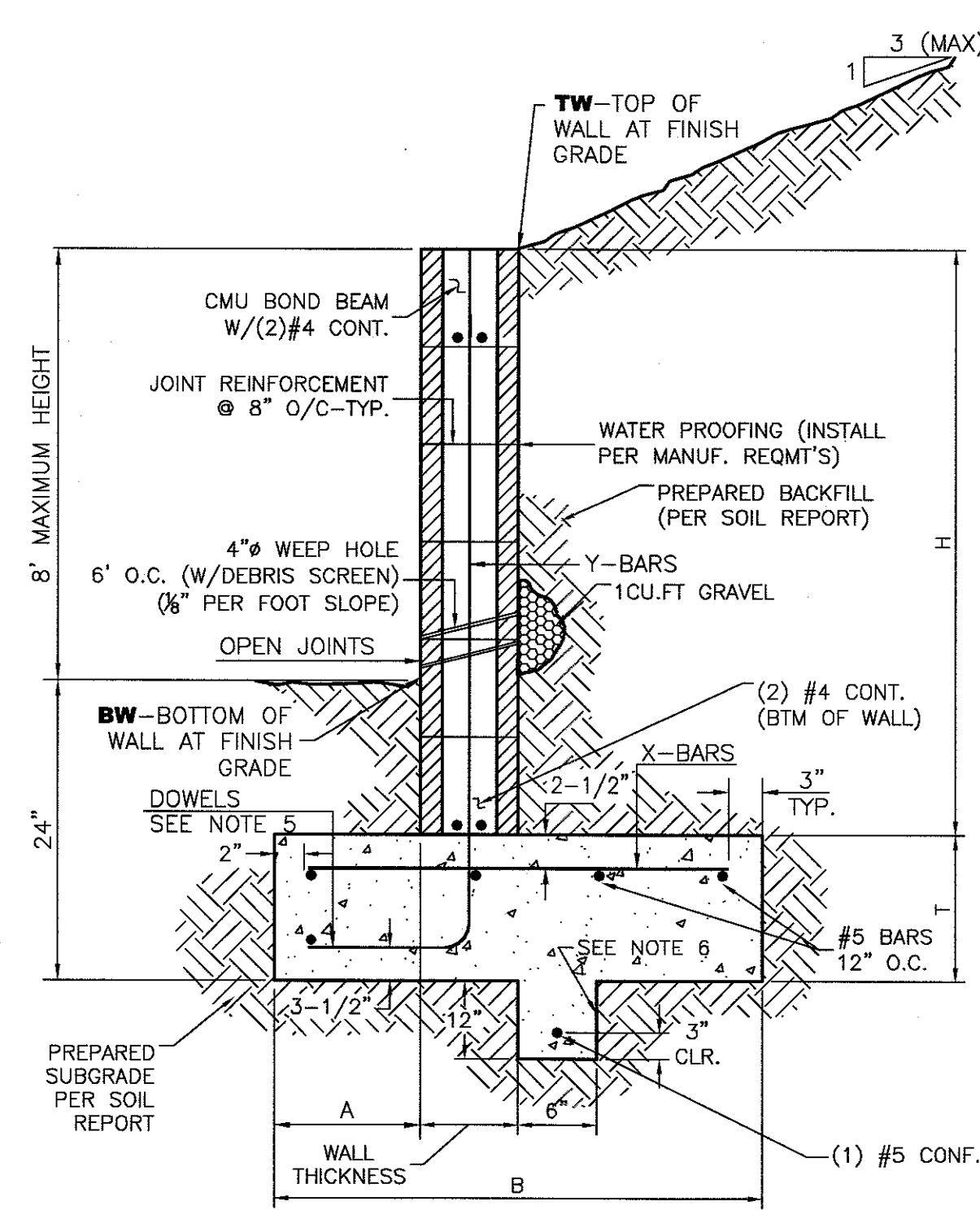


**GUARD RAIL DETAIL**

NTS

ENGINEER'S SEAL	<b>MISTER CAR WASH</b> 98TH ST & VOLCANO RD	DRAWN BY DY
	<b>DETAILS</b>	DATE 4/18/19
		2018058-DETAILS
	<b>TERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # <b>C5</b>
RONALD R. BOHANNAN P.E. #7868		JOB # 2018058

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**8 INCH REINFORCED CONCRETE MASONRY WALL**

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
2'-0"	10"	2'-4"	10"	#4 @24" O.C.	#4 @24" O.C.
2'-8"	10"	2'-4"	10"	#4 @24" O.C.	#4 @24" O.C.
3'-4"	10"	2'-4"	10"	#4 @24" O.C.	#4 @24" O.C.
4'-0"	12"	2'-8"	10"	#4 @16" O.C.	#4 @24" O.C.
4'-8"	16"	3'-4"	12"	#5 @16" O.C.	#4 @18" O.C.
5'-4"	19"	3'-10"	12"	#5 @8" O.C.	#5 @24" O.C.
6'-0"	20"	4'-8"	12"	#6 @8" O.C.	#5 @24" O.C.

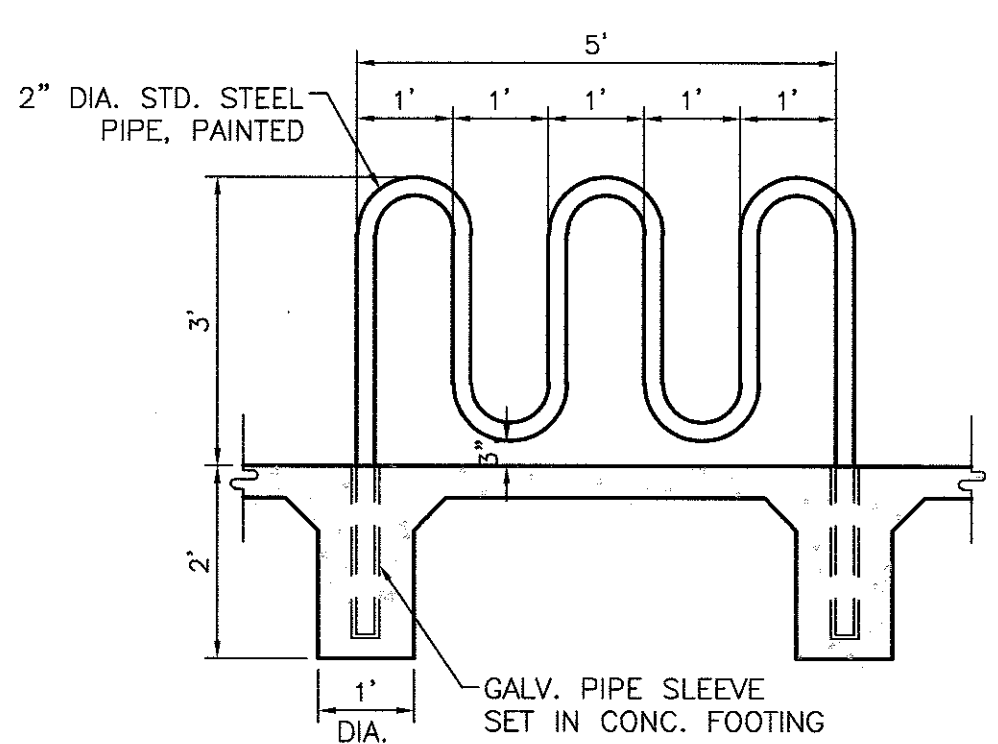
**12 INCH REINFORCED CONCRETE MASONRY WALL**

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	16"	3'-8"	12"	#5 @16" O.C.	#5 @24" O.C.
6'-0"	19"	4'-2"	12"	#5 @8" O.C.	#5 @24" O.C.
6'-8"	21"	4'-6"	12"	#5 @8" O.C.	#5 @16" O.C.
7'-4"	23"	4'-10"	12"	#6 @8" O.C.	#6 @18" O.C.
8'-0"	26"	5'-4"	12"	#6 @8" O.C.	#6 @18" O.C.
8'-8"	28"	5'-8"	12"	#6 @8" O.C.	#6 @12" O.C.

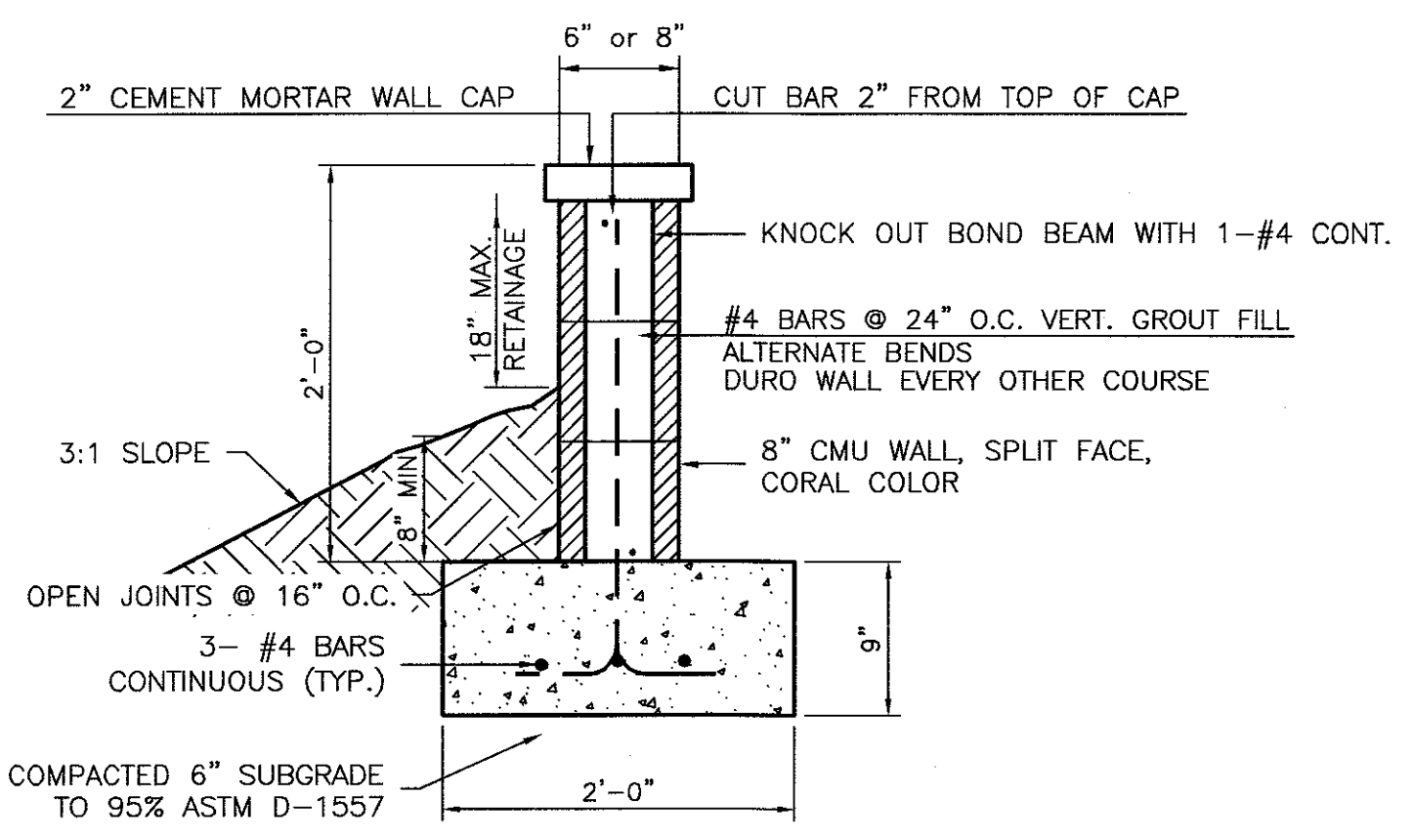
- GENERAL NOTES:**
- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
  - MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
  - BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
  - ALL BARS ARE TO BE GRADE 60, ASTM 615.
  - DOWELS SHALL BE EQUAL IN SIZE AND SPACING TO Y-BARS, SHALL PROJECT A MINIMUM OF #4-24", #5-30", #6-36" INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
  - PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'
  - USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.

**RETAINING WALL DETAIL**  
NTS

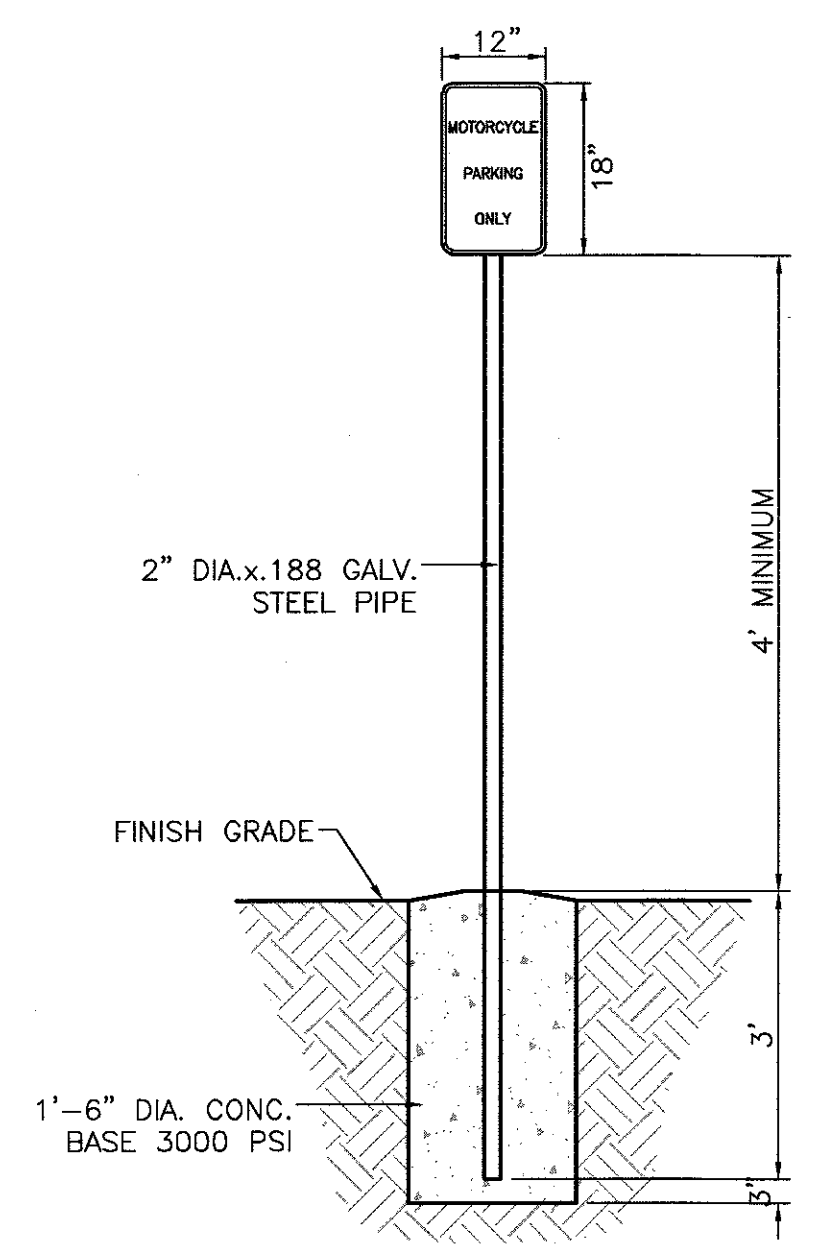
- $f'm = 1500$  PSI
- SOIL ALLOWABLE 2000 PSF (VERIFY W/SOILS REPORT)
- ACTIVE SOIL PRESSURE - 35 PSF/FT (VERIFY W/SOILS REPORT)
- PASSIVE SOIL PRESSURE - 250 PSF/FT (VERIFY W/SOILS REPORT)
- SOIL FRICTION FACTOR - 0.4 (VERIFY W/SOILS REPORT)



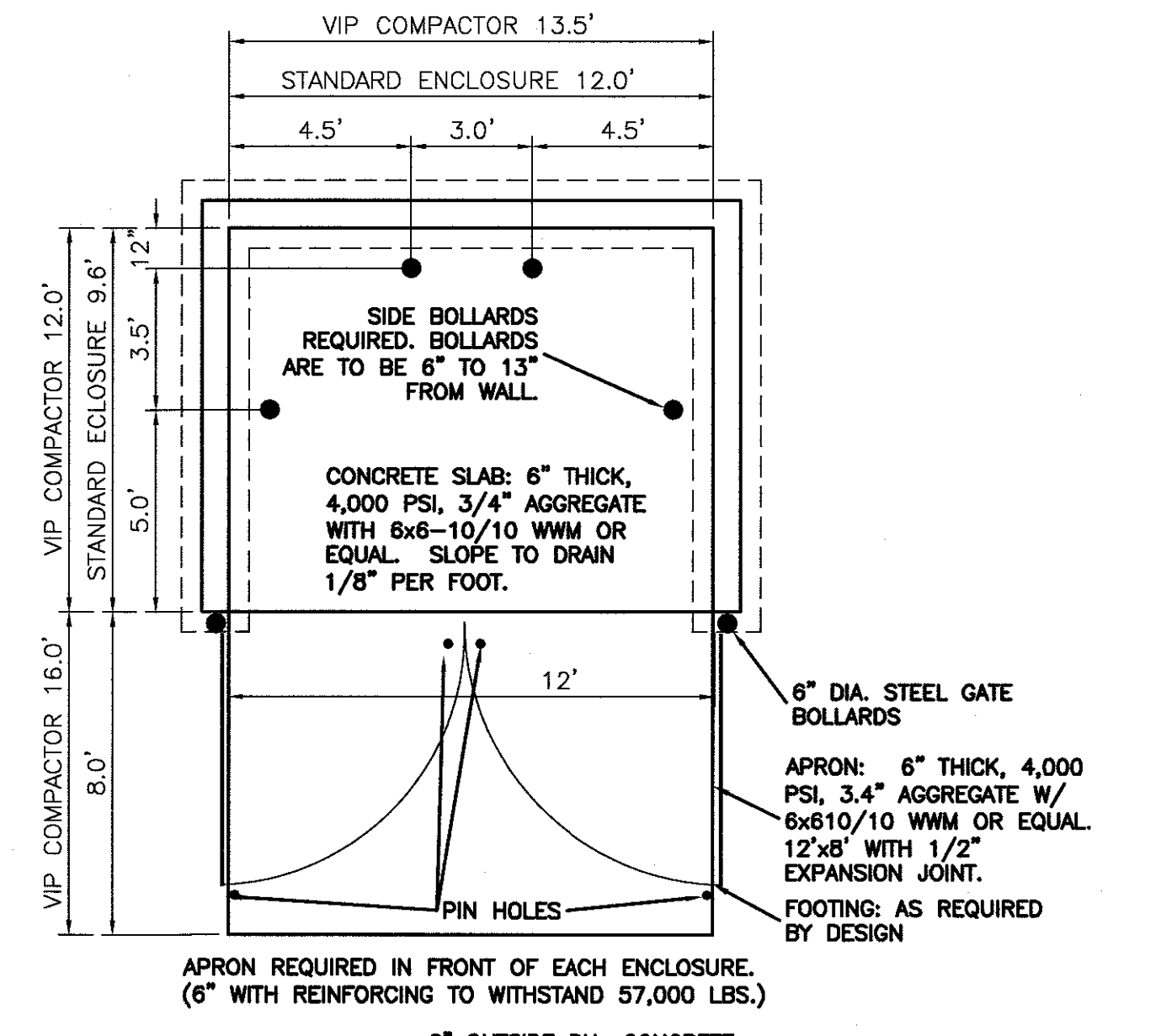
**BIKE RACK DETAIL**  
SCALE: 1/2"=1'



**GARDEN WALL**  
NTS



**MOTORCYCLE PARKING SIGN**  
NTS



**DUMPSTER ENCLOSURE DETAIL**  
NTS

NOTE: THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.

**DUMPSTER ENCLOSURE DETAIL**  
NTS

Z:\2018\2018058 Mister Car Wash 98th & Volcano\dwg\DRB\2018058-Detail.dwg Apr 18, 2019 - 2:06pm

	<b>MISTER CAR WASH</b> 98TH ST & VOLCANO RD <b>DETAILS</b>	DRAWN BY DY DATE 4/18/19 2018058-DETAILS
		SHEET # <b>C6</b>
RONALD R. BOHANNAN P.E. #7868	<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2018058



**NOTE**

MAINTENANCE OF LANDSCAPE (ONSITE AND WITHIN ROW) TO BE MAINTAINED BY PROPERTY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1. PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10 (SEE CALCULATIONS PROVIDED ABOVE)

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 2"-3" DEPTH

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.

NO PARKING SPACE SHALL BE MORE THAN 100' FROM A TREE.

STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-6-2.

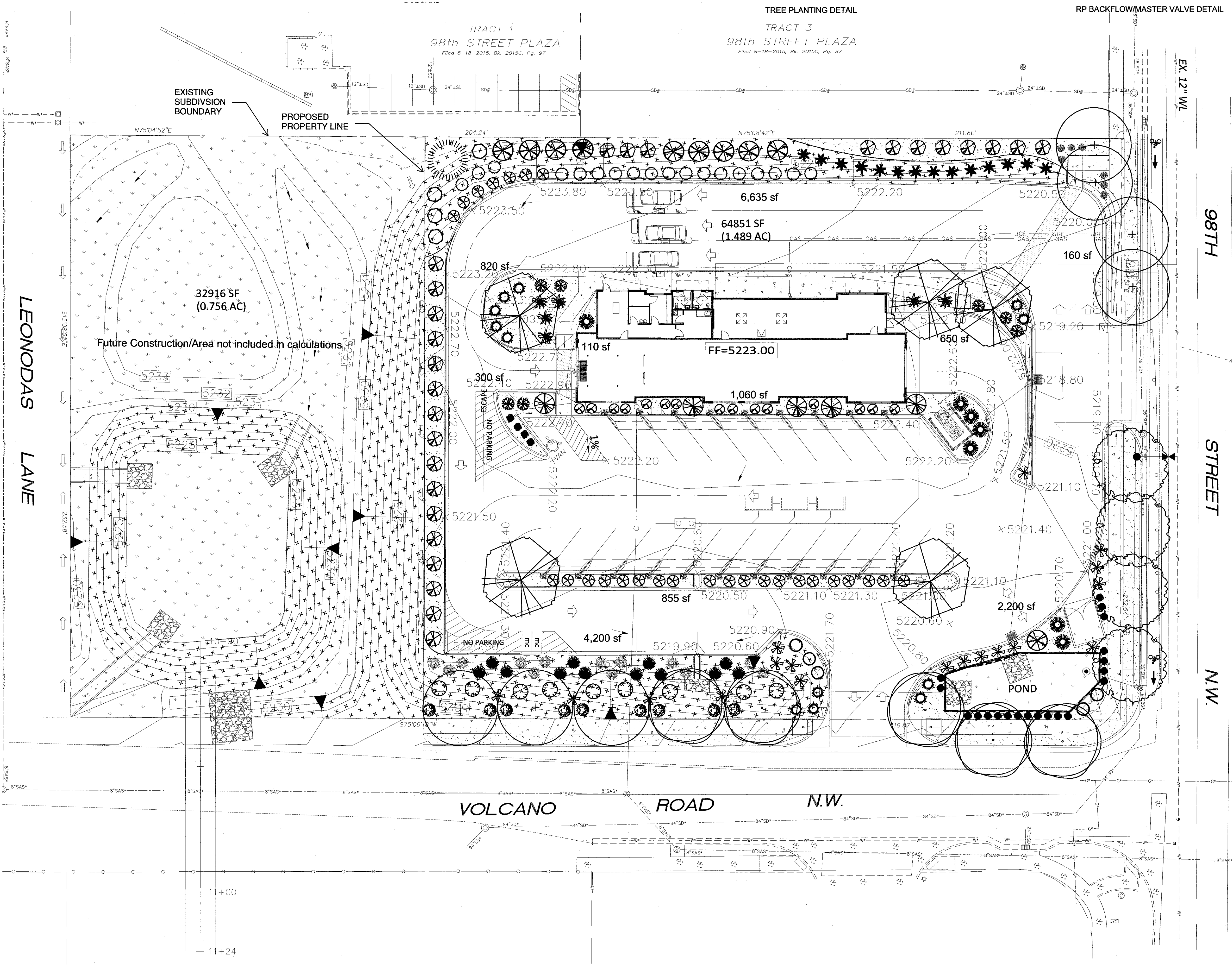
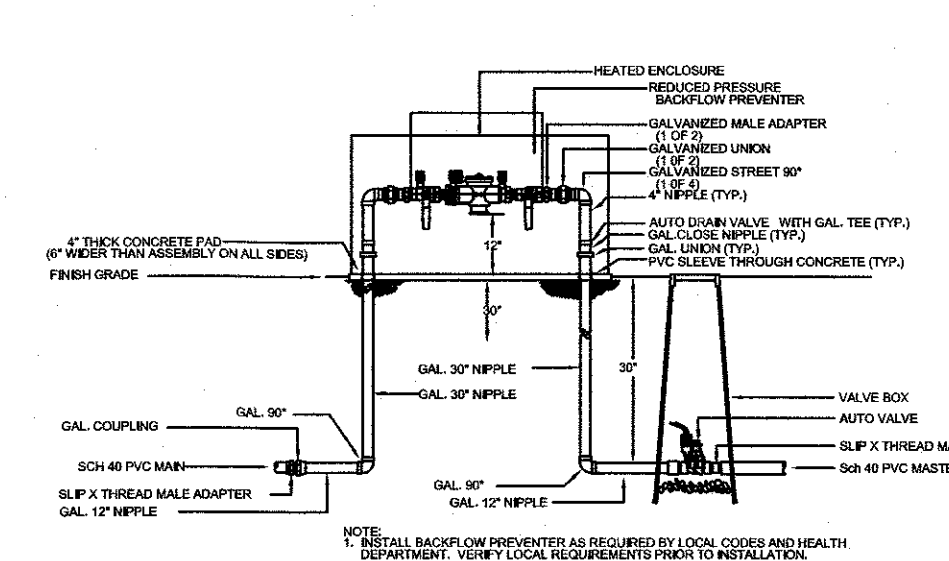
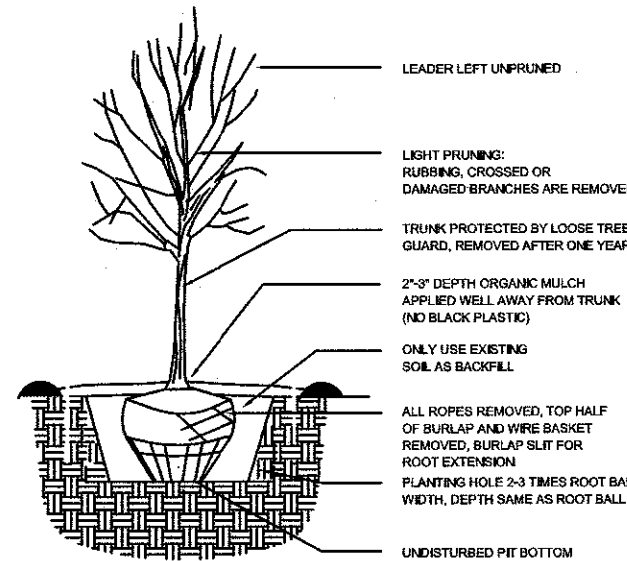
LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-3-10 AND I.D.O.

LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA.

IRRIGATION SYSTEM: AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WILL BE UTILIZED TO PROVIDE EVEN AND ADEQUATE WATER LEVELS TO ALL PLANT MATERIAL. WATER USE SHALL BE DONE IN SUCH A MANNER AS TO CONSERVE ITS USE AND PREVENT ANY AND ALL RUNOFF FROM LANDSCAPE MATERIALS. IRRIGATION SHALL BE RESTRICTED TO EARLY MORNING HOURS TO CONSERVE THIS LIMITED RESOURCE.

STREETSCAPE LANDSCAPING SHALL CONSIST PRIMARILY OF SHRUBS AND DECIDUOUS TREES IN A SETBACK AREA BETWEEN THE RIGHT-OF-WAY OF THE STREET AND THE FACE OF THE CURB OF AN ADJACENT PARKING AREA. CLEAR-SIGHT TRIANGLE REQUIREMENTS MUST BE MET.

TREES IN PROXIMITY OF DUMPSTER TO BE MAINTAINED TO ALLOW FOR TRUCK ACCESS WITHOUT DAMAGE TO TRUCK OR TREES



**PLANT LEGEND**

Qty.	Symbol	Scientific Name	Common Name	Installed Size	Mature Height/Spread	Landscape Coverage	Water Use	Drip Emitters
<b>Trees</b>								
7	[Symbol]	Ulmus	Lacebark Elm	2" B&B	50'/20'	40 sf=280 sf	Medium	6-2 gph
4	[Symbol]	Pistacia chinensis	Chinese Pistache	2" B&B	60'/80'	45 sf=180 sf	Medium	+6-2 gph
5	[Symbol]	Gleditsia triacanthos inermis	Honeylocust	2" B&B	80'/80'	30 sf=150 sf	Medium	6-2 gph
5	[Symbol]	Quercus	Texas red Oak	2" B&B	40'/35'	35 sf=175 sf	Medium	6-2 gph
1	[Symbol]	Pinus nigra	Austrian Pine	6" HT.	30'/20'	35 sf=35 sf	Medium	6-2 gph
<b>Shrubs/Groundcovers</b>								
4	[Symbol]	Buddleia davidii	Butterfly Bush	1-Gal	6'/6'	64 sf=256 sf	Medium	2-2 gph
9	[Symbol]	Caryopteris clandonensis	Blue Mist	1-Gal	4'/4'	25 sf=225 sf	Medium	2-2 gph
27	[Symbol]	Vauquelinia	Rosewood	5-Gal	10'/10'	100 sf=2700 sf	Low+	2-2 gph
5	[Symbol]	Rhus aromatica	Gro Low Sumac	5-Gal	2'/6'	64 sf=320 sf	Low +	2-2 gph
27	[Symbol]	Ericameria laricina	'Aguirre' Turpentine Bush	5-Gal	3'/4'	40 sf=1080 sf	Low	2-1 gph
18	[Symbol]	Hesperaloe parviflora	Red Yucca	5-Gal	3'/4'	35 sf=630 sf	Low	2-2 gph
12	[Symbol]	Juniperus sabinna	'Buffalo' Juniper (female)	5-Gal	2'/6'	64 sf=768 sf	Low +	2-2 gph
18	[Symbol]	Leucophyllum	Texas Ranger Sage	1-Gal	3'/3'	25 sf=450 sf	Low+	2-2 gph
7	[Symbol]	Prunus cistena	Dwarf Red Leaf Plum	5-Gal	6'/6'	64 sf=448 sf	Medium	2-2 gph
6	[Symbol]	Rosmarinus officinalis	Rosemary	5-Gal	6'/6'	64 sf=384 sf	Low +	2-2 gph
5	[Symbol]	Lagerstroemia	Crape Myrtle	5-Gal	15'/10'	100 sf=500 sf	Medium+	2-2 gph
10	[Symbol]	Caesalpinia	Bird of Paradise	1-Gal	3'/3'	100 sf=1000 sf	Medium	2-2 gph
15	[Symbol]	Raphiolepis	India Hawthorn	5-Gal	3'/3'	20 sf=300 sf	Medium	2-2 gph
12	[Symbol]	Dasyliion	Sotol	5-Gal	5'/5'	40 sf=480 sf	RW	2-2 gph
9	[Symbol]	Rhus trilobata	Three Leaf Sumac	1-Gal	6'/6'	64 sf=576 sf	Low+	2-2 gph
13	[Symbol]	Yucca baccata	Banana Yucca/Datil	5-Gal	4'/5'	40 sf=520 sf	RW	2-2 gph
<b>Grasses</b>								
14	[Symbol]	Nolina	Bear Grass	5-Gal	4'/4'	35 sf=490 sf	RW	2-2 gph
7	[Symbol]	Muhlenbergia	Regal Mist Grass	1-Gal	3'/3'	15 sf=105 sf	Medium	2-2 gph
7	[Symbol]	Panicum	Switch Grass	1-Gal	8'/6'	64 sf=448 sf	Medium	2-2 gph
24	[Symbol]	Calamagrotis	Karl Foerster Grass	5-Gal	3'/2'	10 sf=240 sf	Medium	2-2 gph

Total Landscape Coverage=12,740 sf

**SITE DATA**

GROSS LOT AREA (1.489 ac)	64,851 SF
LESS BUILDING(S)	5,425 SF
NET LOT AREA	59,426 SF
REQUIRED LANDSCAPE	8,914 SF
15% OF NET LOT AREA	16,990 SF
PROPOSED LANDSCAPE	12,740 SF
PERCENT OF NET LOT AREA	21.4%
HIGH WATER USE TURF	SF
MAX. 20% OF LANDSCAPE AREA	SF
PROPOSED HIGH WATER USE TURF	%
PERCENT OF LANDSCAPE AREA	
REQUIRED STREET TREES	16
1 PER 30 L.F. OF STREET FRONTAGE	16
PROVIDED STREET TREES	
REQUIRED PARKING LOT TREES	3
1 PER 10 SPACES	3
28 SPACES/10	
PROVIDED PARKING LOT TREES	
REQUIRED PATH SHADING TREES	2
1 PER 25 LINEAR FEET	2
PROVIDED PATH SHADING TREES	
TOTAL TREE REQUIRED/PROVIDED	21/22
(2" cal or 6" ht.)	
REQUIRED LANDSCAPE COVERAGE	12,742 SF MIN.
75% LIVE VEGETATIVE MATERIAL	12,740 SF
(16,990 SF PROPOSED LANDSCAPE X 75%)	900 SF
PROVIDED GROUND COVER COVERAGE	13,640 SF
NATIVE SEED AREA/100% COVERAGE	
TOTAL PROVIDED GROUND COVER COVERAGE	80%
PERCENT GROUND COVER COVERAGE OF REQUIRED LANDSCAPE AREAS	

**IRRIGATION NOTE**

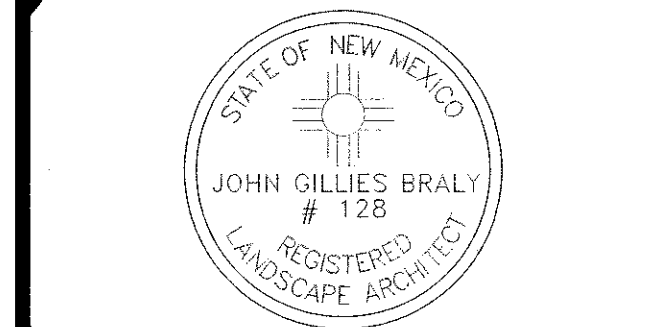
DRIP SYSTEM RUN CYCLES:  
 ESTABLISHMENT AND SUMMER:  
 1 HOUR/4 DAYS A WEEK  
 SPRING:  
 1 HOUR/2-3 DAYS A WEEK  
 FALL:  
 1 HOUR/2-3 DAYS A WEEK  
 WINTER:  
 1 HOUR/2 DAYS PER MONTH

**MATERIALS LEGEND**

- [Symbol] 1/4" CRUSHER FINES
- [Symbol] 2"-4" COBBLESTONE
- [Symbol] NATIVE SEED

growing better  
**Up Heads**  
 LANDSCAPE CONTRACTORS  
 www.headsuplandscape.com

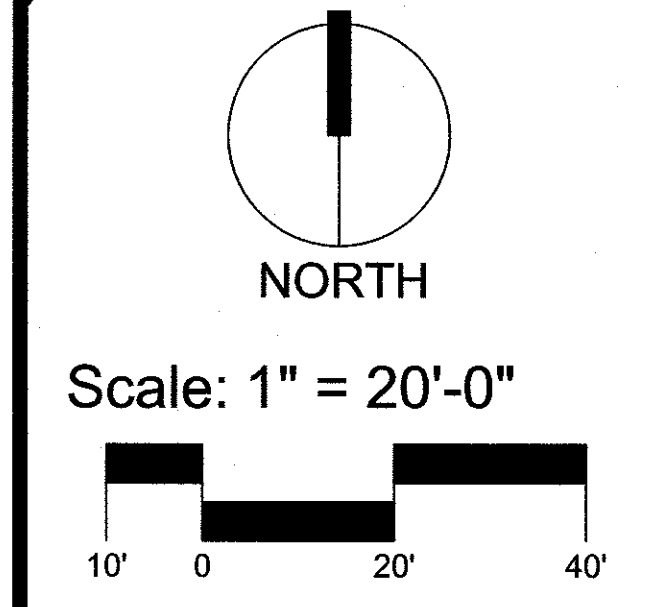
PO Box 10597  
 Albuquerque, NM 87184  
 505.898.9615  
 505.898.2105 (fax)  
 design@hulc.com



Date: 3/12/2019  
 Revisions:  
 [Symbol] 4/18/19

Drawn by: jc  
 Reviewed by: jb

**Mister Car Wash**  
 98th st and Volcano NW  
 Albuquerque, New Mexico



Sheet Title:  
**Landscape Plan**  
 Sheet Number:  
**LS-01**



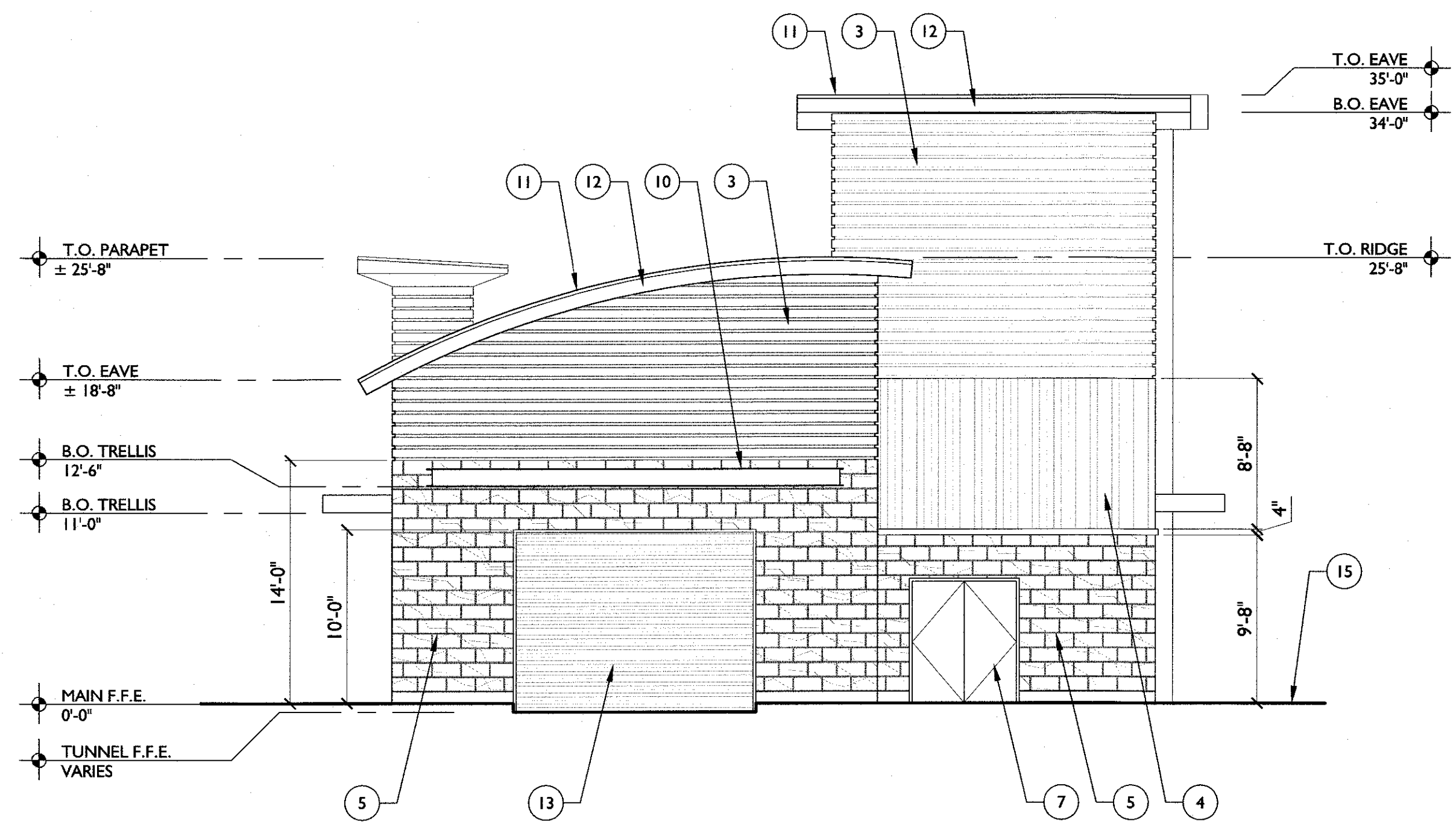


Expires 09.30.19

Revisions

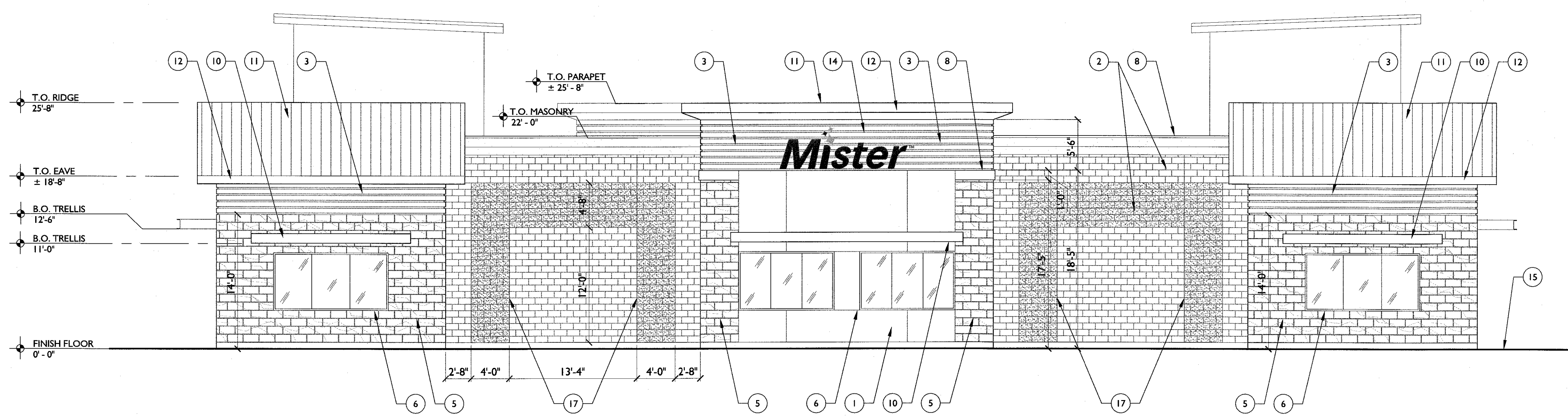
### ELEVATION KEYNOTES: #

1. EIFS EXTERIOR WALL PER WALL TYPES - PAINTED STUCCO FINISH W/ CONTROL JOINTS AS SHOWN.
2. EXPOSED CMU WALL PER WALL TYPES. TEXTURED ACCENT AS SHOWN. SEE FINISH SCHEDULE.
3. LONGBOARD PRE-FINISHED METAL RAIN SCREEN SYSTEM PER WALL TYPES. ORIENTATION AS SHOWN.
4. PRE-FINISHED CORRUGATED METAL WALL PANEL PER WALL TYPES. COLOR AS INDICATED PER FINISH SCHEDULE.
5. MANUFACTURED STONE VENEER EXTERIOR WALL PER WALL TYPES.
6. ALUMINUM STOREFRONT WINDOW / DOOR SYSTEM. REFERENCE WINDOW / DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
7. INSULATED HOLLOW METAL DOOR AND FRAME ASSEMBLY. PAINT COLOR PER ARCHITECT. REFERENCE DOOR SCHEDULE, DETAIL SHEETS FOR MORE INFORMATION.
8. EIFS ACCENT / CORNICE BAND - PAINTED STUCCO FINISH.
9. POWDER COATED METAL AWNING.
10. POWDER COATED METAL TRELLIS.
11. PRE-FINISHED STANDING SEAM METAL ROOF PER ROOF PLAN / DETAILS.
12. PRE-FINISHED COMMERCIAL GRADE METAL FASCIA AND SOFFIT, TYP.
13. ROLL-UP DOOR PER DOOR SCHEDULE.
14. BUILDING SIGNAGE LOCATION. COORDINATE ALL REQUIREMENTS.
15. FINISH GRADE AS OCCURS.
16. EIFS CONTROL JOINT - ALUMINUM CHANNEL PER STUCCO MFR.
17. MASONRY CONTROL JOINT AS SHOWN W/ SEALANT TO MATCH. REF. STRUCTURAL PLANS FOR REQUIREMENTS.
18. EXTERIOR LOUVER PER MECHANICAL PLANS. ALIGN WITH MASONRY AS SHOWN.
19. FROSTED/TINTED FILM AT OFFICE WINDOW, THIS LOCATION ONLY.



## 1 EAST ELEVATION

3/16" = 1'-0"



## 2 SOUTH ELEVATION

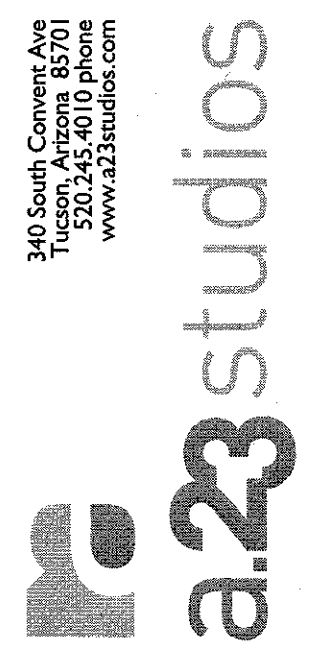
3/16" = 1'-0"

NOTE: THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR THE WORK. FOR A NEGOTIATED CONSTRUCTION CONTRACT.

BUILDING ELEVATIONS



Mister Car Wash  
NW Volcano Rd. & 98th St.  
Albuquerque, NM 87121



Project 19004  
Date 01.23.19  
Scale Noted  
Sheet

# A5.0

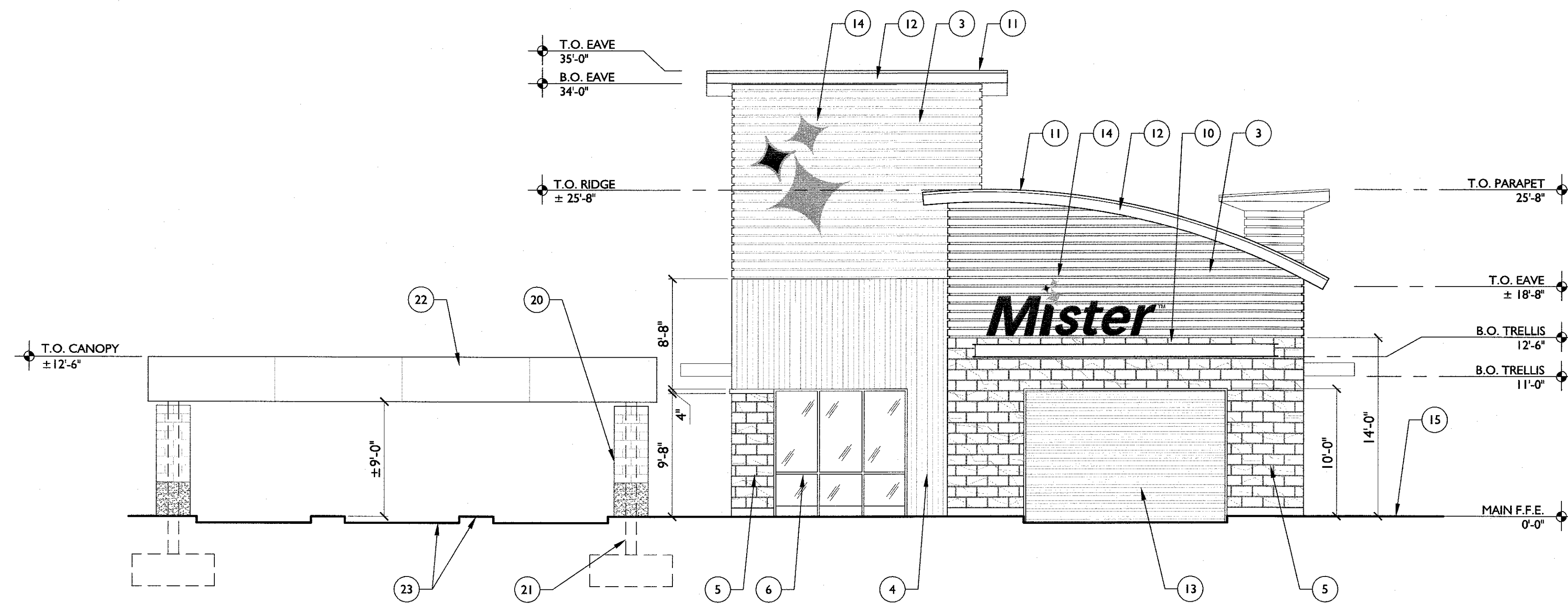




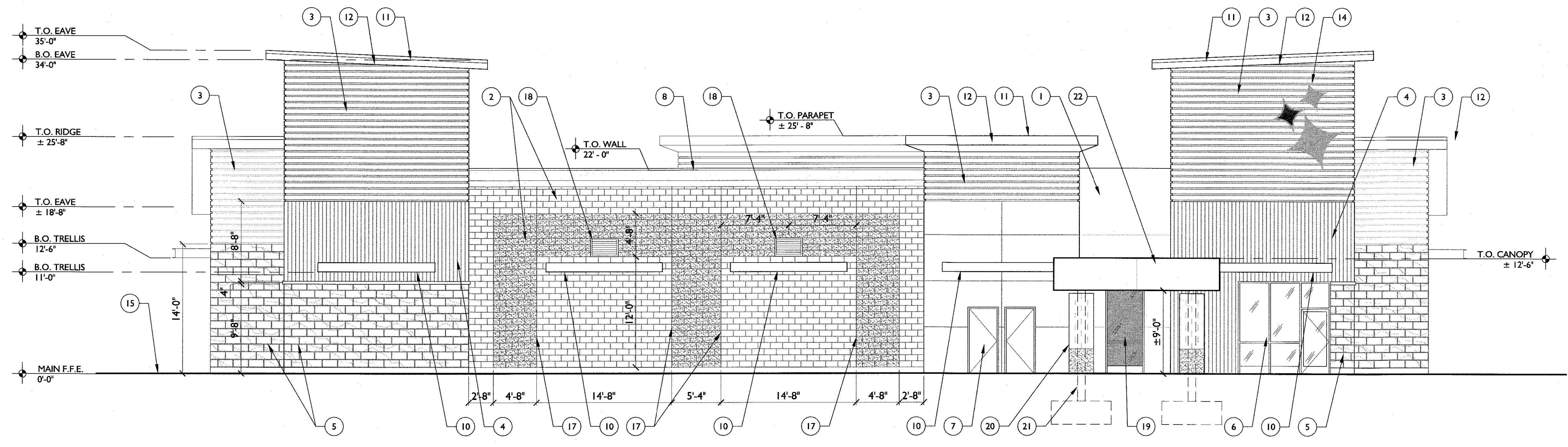
Revisions

**ELEVATION KEYNOTES:**

1. EIFS EXTERIOR WALL PER WALL TYPES - PAINTED STUCCO FINISH W/ CONTROL JOINTS AS SHOWN.
2. EXPOSED CMU WALL PER WALL TYPES. TEXTURED ACCENT AS SHOWN. SEE FINISH SCHEDULE.
3. 'LONGBOARD' PRE-FINISHED METAL RAIN PANEL SYSTEM PER WALL TYPES. ORIENTATION AS SHOWN.
4. PRE-FINISHED CORRUGATED METAL WALL PANEL PER WALL TYPES. COLOR AS INDICATED PER FINISH SCHEDULE.
5. MANUFACTURED STONE VENEER EXTERIOR WALL PER WALL TYPES.
6. ALUMINUM STOREFRONT WINDOW / DOOR SYSTEM. REFERENCE WINDOW / DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
7. INSULATED HOLLOW METAL DOOR AND FRAME ASSEMBLY. PAINT COLOR PER ARCHITECT. REFERENCE DOOR SCHEDULE, DETAIL SHEETS FOR MORE INFORMATION.
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14. BUILDING SIGNAGE LOCATION. COORDINATE ALL REQUIREMENTS.
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16. EIFS CONTROL JOINT - ALUMINUM CHANNEL PER STUCCO MFR.
17. MASONRY CONTROL JOINT AS SHOWN W/ SEALANT TO MATCH. REF. STRUCTURAL PLANS FOR REQUIREMENTS.
18. EXTERIOR LOUVER PER MECHANICAL PLANS. ALIGN WITH MASONRY AS SHOWN.
19. FROSTED/TINTED FILM AT OFFICE WINDOW, THIS LOCATION ONLY.
20. EXPOSED DECORATIVE CMU PIERS TO MATCH BUILDING STANDARD.
21. CANOPY COLUMN AND FOOTING BEYOND.
22. PAINTED METAL CANOPY TO MATCH BUILDING STANDARD.
23. POS ISLANDS AND LANES, TYP.



**3 WEST ELEVATION**  
3/16" = 1'-0"



**4 NORTH ELEVATION**  
3/16" = 1'-0"

NOTE: THESE DOCUMENTS ESTABLISH THE GENERAL STANDARDS OF QUALITY AND DETAIL FOR DEVELOPING A NEGOTIATED CONSTRUCTION CONTRACT.

**BUILDING ELEVATION EXHIBIT**  
**Mister**

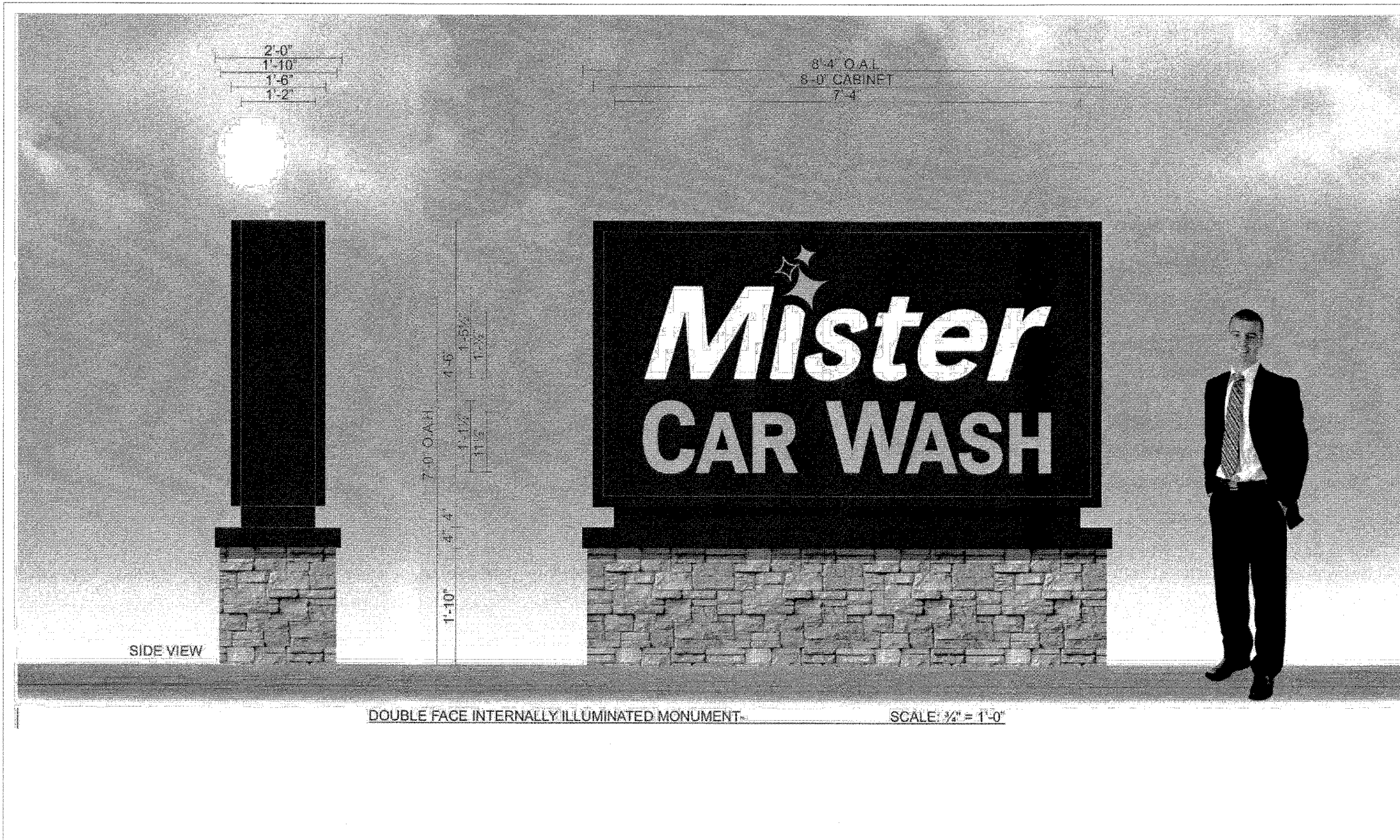
**Mister Car Wash**  
NW Volcano Rd. & 98th St.  
Albuquerque, NM 87121

340 South Central Ave  
Tucson, Arizona 85706  
520.745.4010 phone  
www.a23studios.com  
**a.23studios**

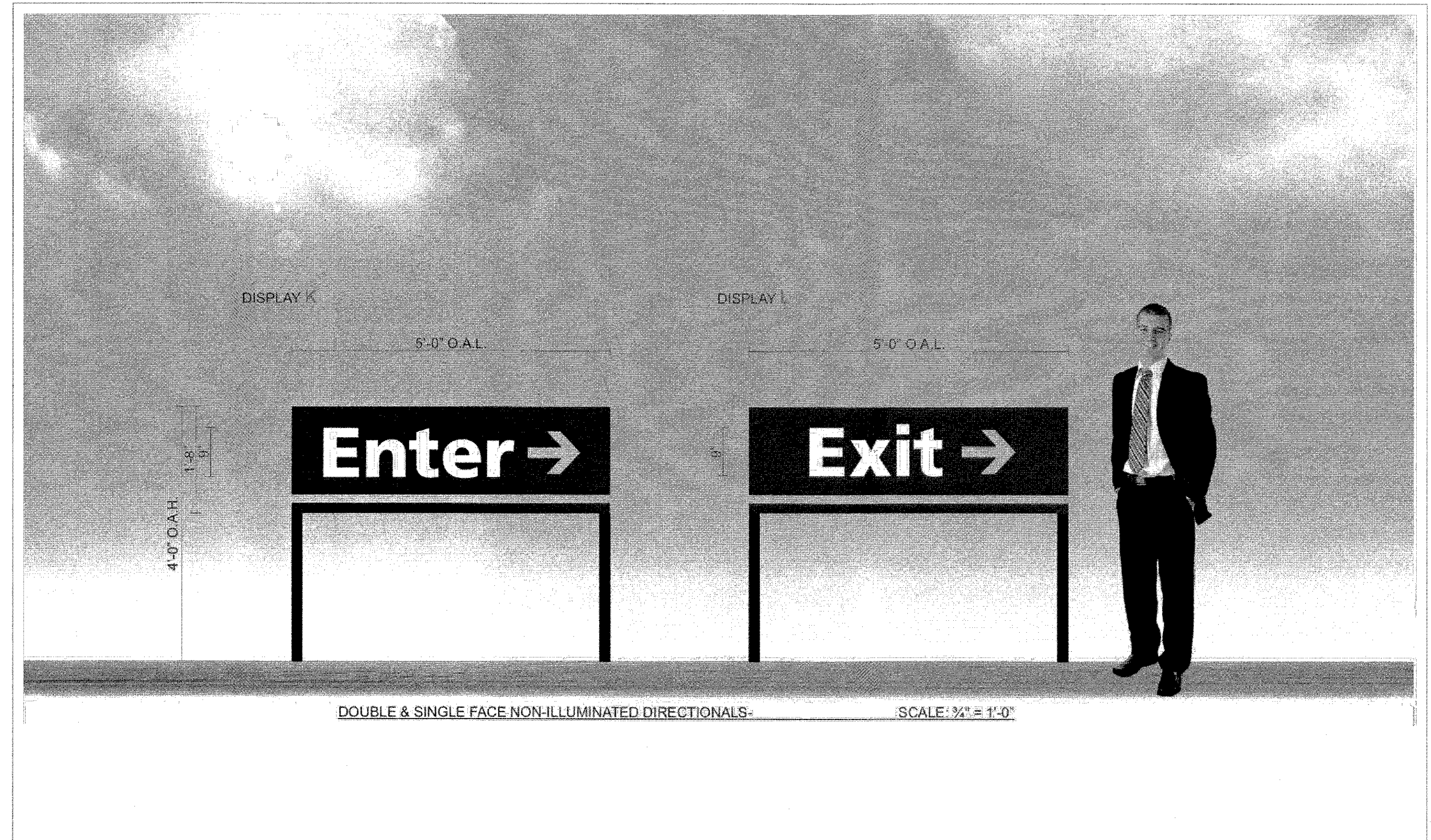
Project 19004  
Date 04.10.19  
Scale Noted  
Sheet

**A5.1**





DOUBLE FACE INTERNALLY ILLUMINATED MONUMENT- SCALE: 1/2" = 1'-0"



DOUBLE & SINGLE FACE NON-ILLUMINATED DIRECTIONALS- SCALE: 3/4" = 1'-0"

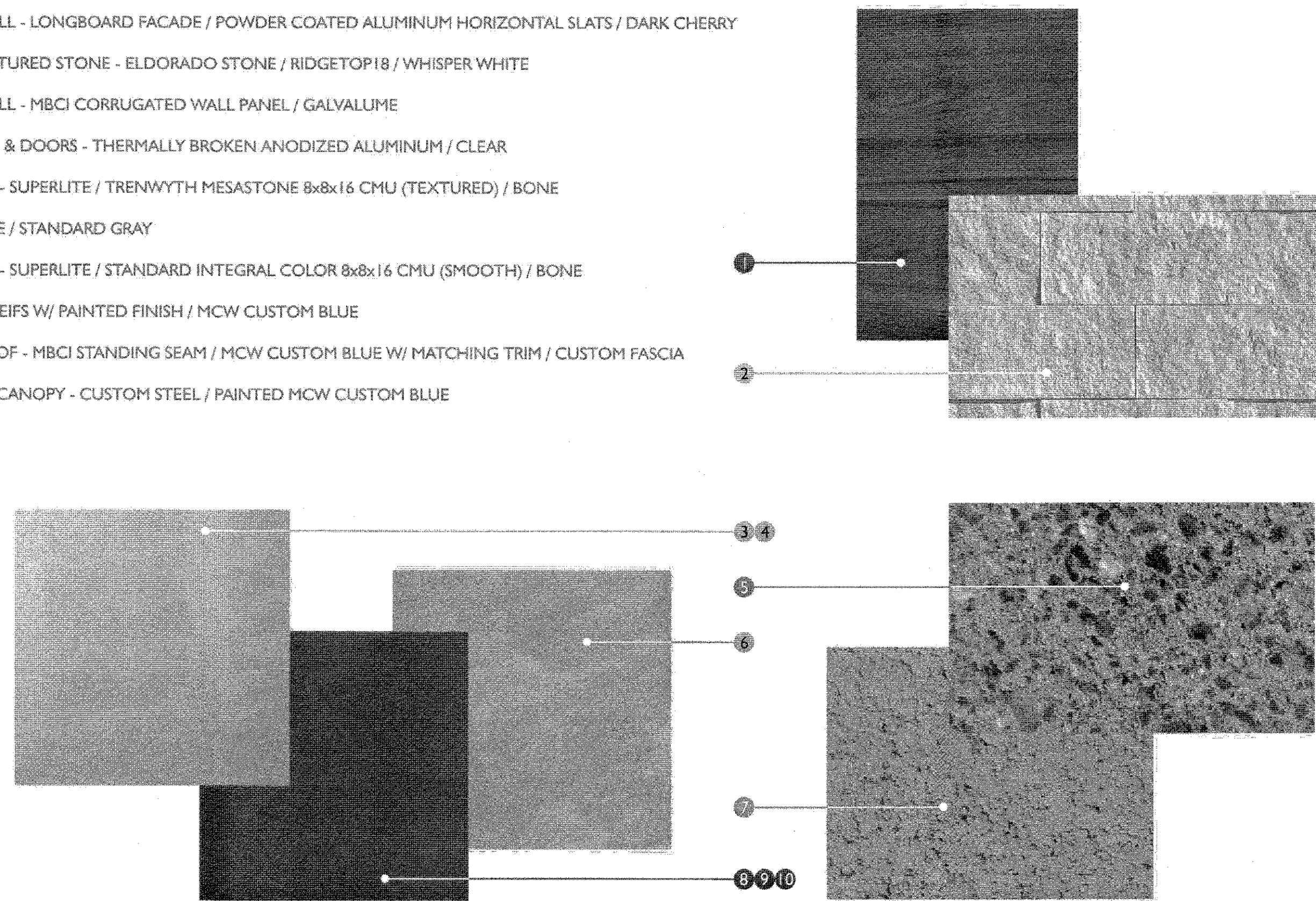
**Mister Car Wash - Albuquerque DRC Submittal**  
98th St. & Volcano Rd., Albuquerque, New Mexico 87121

**Monument Sign**  
a.23 studios - 340 South Convent Avenue, Tucson, Arizona 85701 - 520 245 4010 - 19004 / 3.14.19

**Mister Car Wash - Albuquerque DRC Submittal**  
98th St. & Volcano Rd., Albuquerque, New Mexico 87121

**Wayfinding Signs**  
a.23 studios - 340 South Convent Avenue, Tucson, Arizona 85701 - 520 245 4010 - 19004 / 3.14.19

- 1 METAL WALL - LONGBOARD FACADE / POWDER COATED ALUMINUM HORIZONTAL SLATS / DARK CHERRY
- 2 MANUFACTURED STONE - ELDORADO STONE / RIDGETOP18 / WHISPER WHITE
- 3 METAL WALL - MBCI CORRUGATED WALL PANEL / GALVALUME
- 4 WINDOWS & DOORS - THERMALLY BROKEN ANODIZED ALUMINUM / CLEAR
- 5 MASONRY - SUPERLITE / TRENWYTH MESASTONE 8x8x16 CMU (TEXTURED) / BONE
- 6 CONCRETE / STANDARD GRAY
- 7 MASONRY - SUPERLITE / STANDARD INTEGRAL COLOR 8x8x16 CMU (SMOOTH) / BONE
- 8 STUCCO - EIFS W/ PAINTED FINISH / MCW CUSTOM BLUE
- 9 METAL ROOF - MBCI STANDING SEAM / MCW CUSTOM BLUE W/ MATCHING TRIM / CUSTOM FASCIA
- 10 WINDOW CANOPY - CUSTOM STEEL / PAINTED MCW CUSTOM BLUE



**Mister Car Wash - Albuquerque DRC Submittal**  
98th St. & Volcano Rd., Albuquerque, New Mexico 87121

**Material / Color Palette**  
a.23 studios - 340 South Convent Avenue, Tucson, Arizona 85701 - 520 245 4010 - 19004 / 3.14.19

	<b>MISTER CAR WASH</b> 98TH ST & VOLCANO RD <b>BUILDING AND SIGN</b> <b>SIGN DETAILS</b>	ENGINEER'S SEAL	DRAWN BY DY
		DATE 3/14/19	
	<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2018058-ARCH DETAILS	SHEET # <b>A 6.0</b>
		JOB # 2018058	
		RONALD R. BOHANNAN P.E. #7866	