



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.		
SUBDIVISIONS	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Forms P2)	<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form V2)
<input type="checkbox"/> Major – Preliminary Plat (Forms S & S1)	<input type="checkbox"/> Amendment to Site Plan (Forms P & P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Major – Bulk Land Plat (Forms S & S1)	MISCELLANEOUS APPLICATIONS	<input checked="" type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input checked="" type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Minor Amendment - Preliminary Plat (Forms S & S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS
<input type="checkbox"/> Minor - Final Plat (Forms S & S2)	<input checked="" type="checkbox"/> Temporary Deferral of SW (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Forms S & S2)	<input type="checkbox"/> Sidewalk Waiver (Form V2)	<input type="checkbox"/> Sketch Plan Review and Comment (Form P2)
SITE PLANS	<input checked="" type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input type="checkbox"/> DRB Site Plan (Forms P & P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)
BRIEF DESCRIPTION OF REQUEST		
Request vacation of 6 easements, waiver from IDO for rear lot along Gibson Blvd, and temporary deferral of sidewalk as part of overall Preliminary Plat application		

APPLICATION INFORMATION			
Applicant/Owner:	Solare Collegiate Foundation	Phone:	
Address:	8801 Gibson Blvd SW	Email:	
City:	Albuquerque	State:	NM
		Zip:	87121
Professional/Agent (if any):	CSI - Cartesian Surveys, Inc.	Phone:	505-896-3050
Address:	PO Box 44414	Email:	cartesianryan@gmail.com
City:	Rio Rancho	State:	NM
		Zip:	87174
Proprietary Interest in Site:	List all owners: Solare Collegiate Foundation		
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)			
Lot or Tract No.:	12-B-1-A and 12-B-1-B	Block:	Unit:
Subdivision/Addition:	El Rancho Grande I	MRGCD Map No.:	UPC Code: 100905533402040127 (Tr 12-B-1-A) 100905538202740125 (Tr 12-B-1-B)
Zone Atlas Page(s):	M-9-Z	Existing Zoning:	Proposed Zoning
		MX-M	MX-M
# of Existing Lots:	2 Tracts	# of Proposed Lots:	Total Area of Site (Acres):
		75 Lots and 6 Tracts	10.9989
LOCATION OF PROPERTY BY STREETS			
Site Address/Street:	8801 Gibson Blvd SW	Between:	98th Street SW and: Barbados Ave SW
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)			
PR-2019-002042; PS-2021-00121; PS-2022-0003; SD-2022-0020			

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:		Date:	03/22/2022
Printed Name:	Ryan J. Mulhall	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent	

FORM V2: Waiver– DRB

Please refer to the DRB case schedules for meeting dates and deadlines. Your attendance is required.

WAIVER – IDO

Interpreter Needed for Meeting? No if yes, indicate language: _____

- A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF shall be organized with the Development Review Application and this Form V2 at the front followed by the remaining documents in the order provided on this form
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(P)(3), compliance with the DPM, and all improvements to be waived, as applicable. .
- Scale drawing showing the location of the proposed variance or waiver, as applicable
- Proof of Neighborhood Meeting per IDO Section 14-16-6-4(K)
 - Office of Neighborhood Coordination neighborhood meeting inquiry response
 - Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
 - Completed neighborhood meeting request form(s)
 - If a meeting was requested/held, copy of sign-in sheet and meeting notes
- Required notices with content per IDO Section 14-16-6-4(K)
 - Office of Neighborhood Coordination inquiry response and proof of emailed notice to applicable Neighborhood Association representatives, copy of notification letter, completed notification form(s), and proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

WAIVER – DPM (MUST BE HEARD WITH SUBDIVISION/SITE PLAN ACTION)

Interpreter Needed for Meeting? _____ if yes, indicate language: _____

- A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF shall be organized with the Development Review Application and this Form V2 at the front followed by the remaining documents in the order provided on this form
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Justification letter describing, explaining, and justifying the request per the criteria in DPM – Chapter 2
- Drawing showing the easement or right-of-way to be vacated
- Required notices with content per IDO Section 14-16-6-4(K)
 - Office of Neighborhood Coordination notice inquiry response, notifying letter, and proof of first class mailing
 - Proof of Neighborhood Meeting
 - Proof of emailed notice to affected Neighborhood Association representatives
 - Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing* **this step is not required if waiver is to be heard with minor subdivision plat**
- Sign Posting Agreement - **this step is not required if waiver is to be heard with minor subdivision plat**

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

Interpreter Needed for Meeting? N/A if yes, indicate language: _____

- A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF shall be organized with the Development Review Application and this Form V2 at the front followed by the remaining documents in the order provided on this form
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- A scale drawing showing the location of the deferred sidewalk with appropriate dimensions.
- N/A Proof of Neighborhood Meeting

EXTENSION OF THE IIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

Interpreter Needed for Meeting? _____ if yes, indicate language: _____

- A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF shall be organized with the Development Review Application and this Form V2 at the front followed by the remaining documents in the order provided on this form
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Letter describing, explaining, and justifying the deferral or extension
- Drawing showing the sidewalks subject to the proposed deferral or extension

FORM V: Vacations of Easements or Right-of-way– DRB

Please refer to the DRB meeting schedules for dates and deadlines. Your attendance is required.

VACATION OF RIGHT-OF-WAY – DRB

VACATION OF RIGHT-OF-WAY – COUNCIL

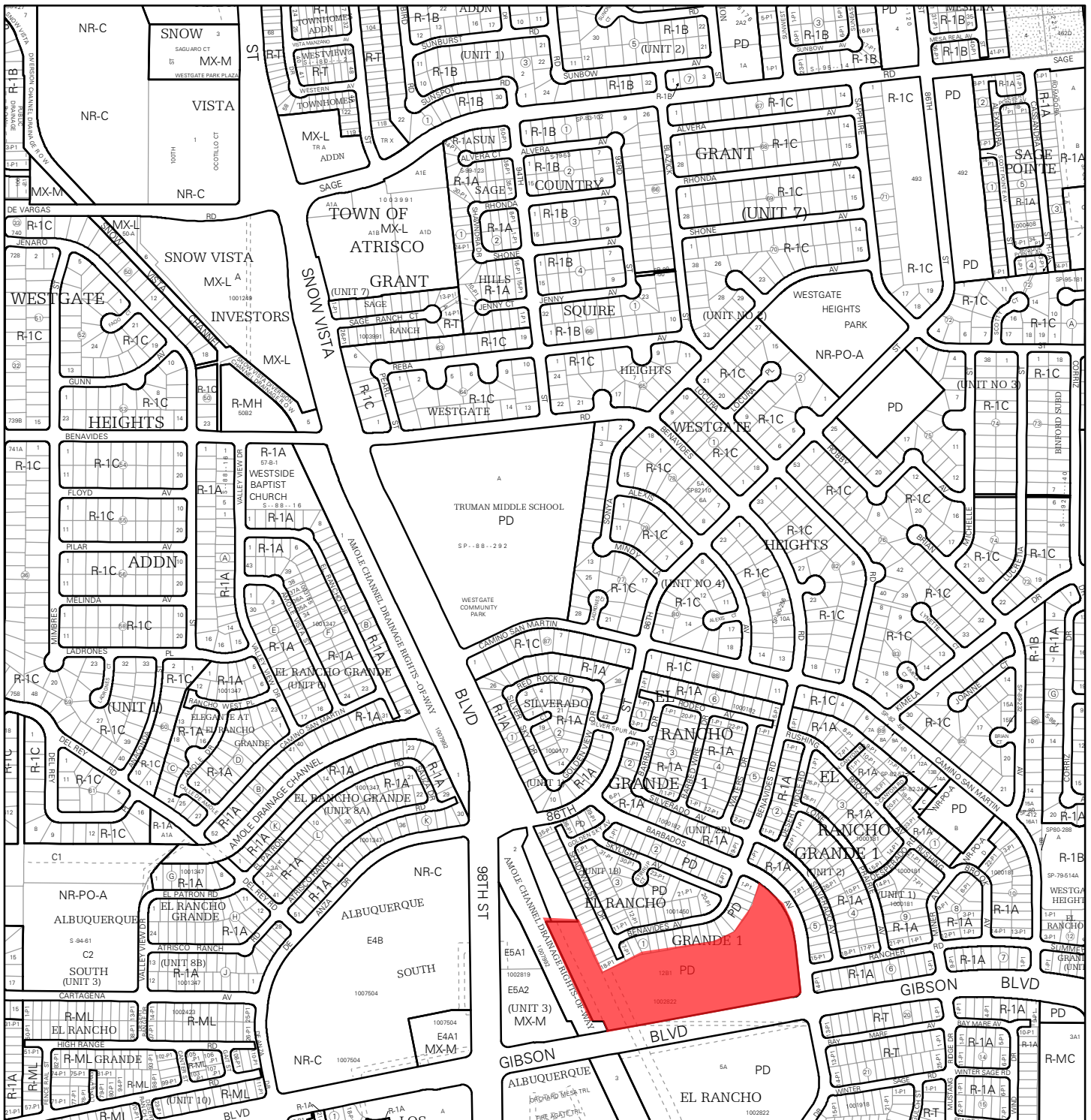
- Interpreter Needed for Meeting? if yes, indicate language: _____
- A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF shall be organized with the Development Review Application and this Form V at the front followed by the remaining documents in the order provided on this form.
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(M)
- Copy of the complete document which created the easement(s)
Not required for City owned public right-of-way.
- Drawing showing the easement or right-of-way to be vacated
- If easements, list number to be vacated _____
- Square footage to be vacated (see IDO Section 14-16-6-6(M)) _____
- Proof of Neighborhood Meeting per IDO Section 14-16-6-4(K) and DPM 2-9-(E)(3)
 - Office of Neighborhood Coordination neighborhood meeting inquiry response
 - Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
 - Completed neighborhood meeting request form(s)
 - If a meeting was requested/held, copy of sign-in sheet and meeting notes
- Required notices with content per IDO Section 14-16-6-4(K)
 - Office of Neighborhood Coordination notice inquiry response
 - Copy of notification letter, completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing to affected Neighborhood Association representatives.
 - Proof of emailed notice to affected Neighborhood Association representatives
 - Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, completed notification forms(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing
- Sign Posting Agreement - IDO Section 14-16-6-6(K)(4) is satisfied

VACATION OF PRIVATE EASEMENT

VACATION OF PUBLIC EASEMENT


- Interpreter Needed for Meeting? No if yes, indicate language: _____
- A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF shall be organized with the Development Review Application and this Form V at the front followed by the remaining documents in the order provided on this form.
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(M)
- Copy of the complete document which created the easement(s)
- Drawing showing the easement to be vacated
- List number to be vacated 6 (4 public, 2 private)
- Proof of Pre-Application meeting

The vacation must be shown on a DRB approved plat recorded by the County Clerk within one year, or it will expire.

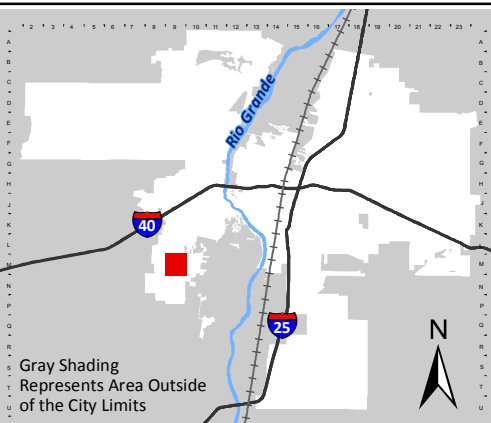


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Gray Shading
Represents Area Outside
of the City Limits

Zone Atlas Page:
M-09-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

HOMEWISE, INC.
1301 SILER RD, BUILDING D
SANTA FE, NM 87507

February 1, 2022

City of Albuquerque
Planning Department
600 2nd St NW
Albuquerque, NM 87102

Re: Letter of Authorization

To Whom It May Concern:

Homewise, a New Mexico Nonprofit Corporation, hereby authorizes Thompson Engineering Consultants, Consensus Planning, Cartesian Surveys, to obtain information, submit and process applications, represent the project at meetings and public hearings, and act as our agent related to the property located at the northeast corner of Gibson Boulevard near 98th Street.

The property is legally described as *Tract 12-B-1-A Plat of Tract 12-B-1-A & 12-B-1-B El Rancho Grande 1 containing 6.1178 Acres.*

Please contact me if you have any questions or need any additional information.

Sincerely,

Homewise, Inc.

By:  _____

Printed Name: Jaime Jaramillo

Title: Real Estate Development Planning Manager



February 11, 2022
 Jolene Wolfley, Chair
 Development Review Board
 City of Albuquerque
 600 Second Street NW
 Albuquerque, New Mexico 87102

Landscape Architecture
 Urban Design
 Planning Services

302 Eighth St. NW
 Albuquerque, NM 87102

(505) 764-9801
 Fax 842-5495
 cp@consensusplanning.com
 www.consensusplanning.com

RE: Sombra del Oeste Subdivision – Waiver to Allow Rear Yards Adjacent to Gibson Boulevard

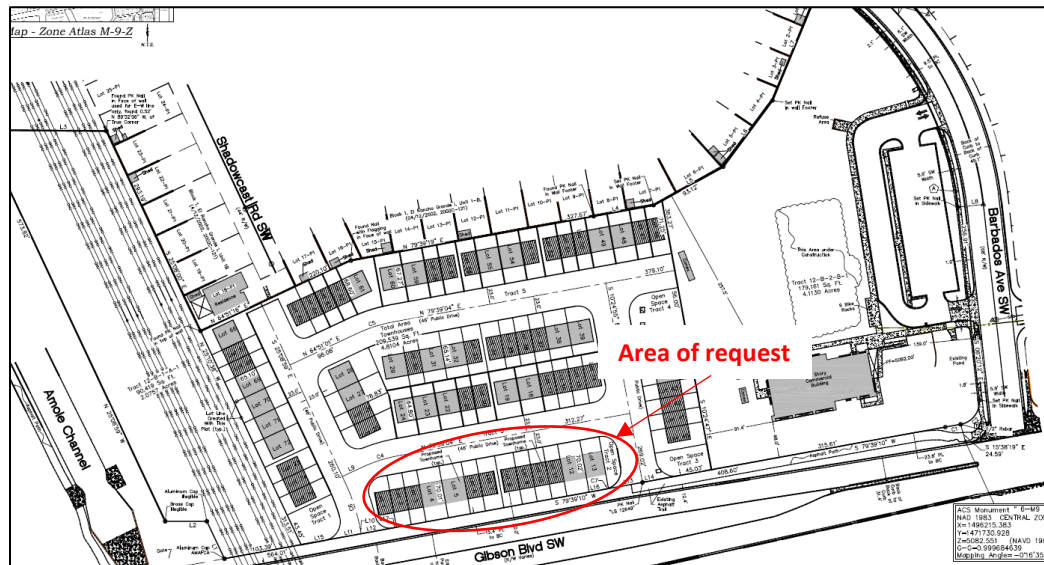
Dear Ms. Wolfley:

The purpose of this letter is to request a Waiver-DRB to allow rear yards adjacent to Gibson Boulevard in conjunction with a Preliminary Plat application for the Sombra del Oeste Subdivision on behalf of Homewise, Inc. The subject property is located at the northeast corner of Gibson Boulevard just east of 98th Street SW. The subject property is legally described as *Tract 12-B-1-A Plat of Tract 12-B-1-A & 12-B-1-B El Rancho Grande 1 containing 6.1178 Acres.*

The Applicant is requesting a waiver to the IDO requirement below:

Section 5-4(F)(2)(b) - Residential lots shall avoid layouts where the rear lot line is adjacent to a collector or arterial street. Local frontage roads may be used within a subdivision to avoid locating residential rear yard walls along collector and arterial streets

The Waiver will apply to lots 1-13 on the south edge of the subdivision with rear yard lot lines adjacent to Gibson Boulevard, an urban major collector street.

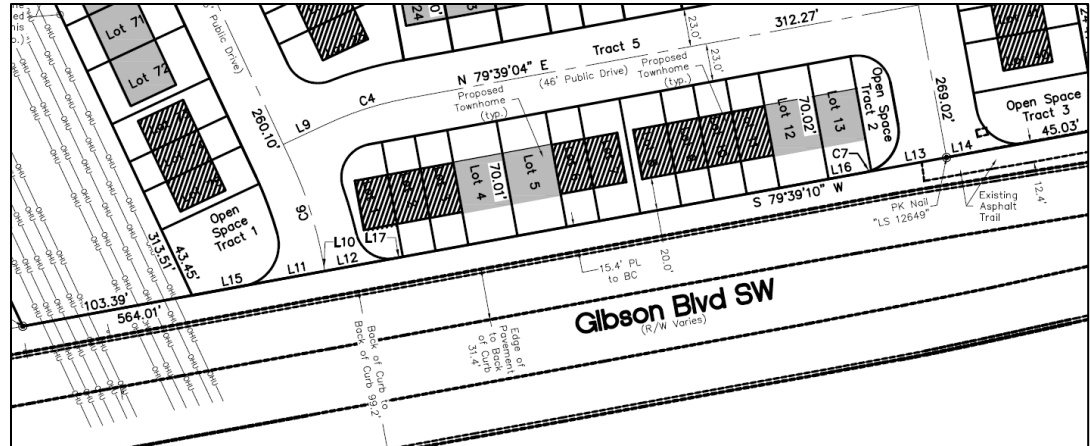


Sombra del Oeste Plat with Waiver area outlined in red.

PRINCIPALS

James K. Strozier, FAICP
 Christopher J. Green, PLA,
 ASLA, LEED AP
 Jacqueline Fishman, AICP

The townhomes will contain 20-foot rear yards and the rear yard walls will be separated from the right-of-way by a 15.4-foot setback including an asphalt trail and a landscape buffer.



Close up of townhouses along Gibson Boulevard.

The justification for the Waivers is based on the response to the criteria as follows.

6-6(P)(3) Review and Decision Criteria: An application for a Waiver – DRB shall be approved if it complies with the following criteria:

6-6(P)(3)(a) Any of the following applies:

1. There are pre-existing obstructions that cannot be easily or economically relocated or should not be altered, such as grades, fills, watercourses, natural topographic features, manmade obstructions, or utility lines.
2. The area or site has been recognized as having historical, archeological, and/or architectural significance by the City, State, or federal government, and a Waiver is needed and appropriate to maintain such historical, archeological, and/or architectural significance.
3. The established neighborhood character or landscaping on the site would be damaged to a degree that outweighs the public interest in the City's normal technical standards in that location.
4. Varying from the normal requirements and standards will encourage flexibility, economy, effective use of open space, or ingenuity in the design of a subdivision, in accordance with accepted principles of site planning.

Applicant Response: The requested Waiver meets Criteria #3. Varying from the requirements to avoid rear yards along Gibson Boulevard will cause damage to the established character of the area. The IDO encourages using a frontage road to avoid the arterial street. There is no frontage road in this area, and the construction of a new road would be of no use as there are no connections in place. There is a multi-use trail along Gibson Boulevard that will be extended as part of this development. In addition, rear yards along Gibson Boulevard are similar to adjacent developments. Deviating from this development pattern will have a detrimental impact on the character of the area.

6-6(P)(3)(b) The Waiver will not be materially contrary to the public safety, health, or welfare.



Applicant Response: The requested Waiver will not be contrary to this area's public safety, health, or welfare or the community because the setback along Gibson Boulevard will incorporate deeper rear yards, landscape buffers, and rear yard fencing, supporting pedestrian safety. Landscaping will be provided between the backyard walls and the asphalt trail, adding to a comfortable walking environment along a modern well-designed subdivision replacing a vacant parcel.

6-6(P)(3)(c) The Waiver does not cause significant material adverse impacts on surrounding properties.

Applicant Response: The requested waiver will not cause material impacts on surrounding properties. The property to the east is a school and to the west is a large utility easement and the Amole Channel to the west. The waiver to allow rear yards along Gibson Boulevard will not have any adverse impacts on these properties because it is for lots within the subdivision, and they are sufficiently separated from the adjacent properties to mitigate any impact from the proposed development.

6-6(P)(3)(d) The Waiver will not hinder future planning, public right-of-way acquisition, or the financing or building of public infrastructure improvements.

Applicant Response: The Waiver will not hinder future planning, public right-of-way acquisition, or the financing or building of public infrastructure improvements. As stated, the asphalt trail to the east will be extended along this section of Gibson Boulevard and will be constructed according to the DPM Standards and verified by City Transportation and Parks and Recreation. The Gibson Boulevard right-of-way is existing.

6-6(P)(3)(e) The Waiver will not conflict significantly with the goals and provisions of any City, County, or AMAFCA adopted plan or policy, this IDO, or any other City code or ordinance.

Applicant Response: The requested Waiver will not conflict with the goals and provisions of the IDO, the ABC Comprehensive Plan, or any other City code or ordinance. The goal of the IDO through Section 5-4(F)(2)(b) is to provide access to public streets. There is direct access to Gibson Boulevard from two local streets to the east and west of this block within the subdivision. The rear yards along Gibson Boulevard will not impede these access points.

6-6(P)(3)(f) The Waiver will not allow, encourage, or make possible undesired development in the 100-year Floodplain.

Applicant Response: Criterion (f) does not apply, as the subject property is not in the 100-year Floodplain.

6-6(P)(3)(g) The Waiver will not materially undermine the intent and purpose of this IDO or the applicable zone district.

Applicant Response: The requested Waiver will not materially undermine the intent and purpose of the IDO to *"protect the health, safety, and general welfare of the public"* or the MX-M zone district *"to provide for a wide array of moderate-intensity retail, commercial, and institutional, and moderate density residential uses..."* As stated above, the residential lots will be protected with deeper rear yards, landscape buffers, and an asphalt trail that meet the purpose of the IDO and will allow for well-designed moderate density housing



development in the MX-M zone. This will promote the area's safety, health, and general welfare and be more advantageous than an unnecessary frontage road.

6-6(P)(3)(h) The Waiver does not allow a lot or type of development that does not meet the applicable Development Standards for the zone district where the lot is located, unless a deviation to such standards is within the thresholds established by Subsection 14-16-6-4(P) (Deviations) and is granted by the DRB as part of this approval.

Applicant Response: The requested Waiver will not allow a lot or type of development that does not meet applicable Development Standards for the MX-M zone.

6-6(P)(3)(i) The Waiver approved is the minimum necessary to provide redress without being inconsistent with the provisions of this Subsection 14-16-6-6(P).

Applicant Response: The requested Waiver is the minimum necessary to provide redress. The proposed subdivision sits on a parcel with an unusual shape. The layout has been considered carefully to allow for a moderate-density housing development. Larger lots were placed along the Gibson Boulevard block length to ensure there was adequate separation from the residential units and the right-of-way and that the minimum number of lots would have rear yards along Gibson Boulevard.

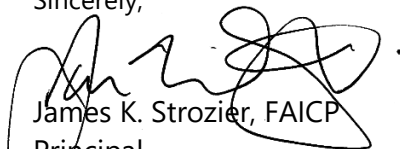
6-6(P)(3)(j) If the request is a for a Waiver to IDO sidewalk requirements, the area is of low-intensity land use to an extent that the normal installation of sidewalks will not contribute to the public welfare, and the absence of a sidewalk will not create a gap in an existing sidewalk system extended to 1 or more sides of the subject property.

Applicant Response: Criterion (j) is not applicable. The Waiver request is not for sidewalk requirements.

CONCLUSION

On behalf of Homewise, Inc. we respectfully request that you approve this Waiver-DRB based on the justification above. Thank you for your consideration.

Sincerely,



James K. Strozier, FAICP
Principal



March 18, 2022

Jolene Wolfley, Chair
Development Review Board
City of Albuquerque
600 Second Street NW
Albuquerque, New Mexico 87102

RE: Sombra del Oeste Subdivision – Waiver for Deferral of Sidewalks

Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

Dear Ms. Wolfley:

The purpose of this letter is to request a deferral of sidewalks through the Waiver-DRB process in conjunction with a Preliminary Plat application for the Sombra del Oeste Subdivision on behalf of Homewise, Inc. The subject property is located at the northeast corner of Gibson Boulevard just east of 98th Street. The subject property is legally described as *Tract 12-B-1-A Plat of Tract 12-B-1-A & 12-B-1-B El Rancho Grande 1 containing 6.1178 Acres.*



In the initial Preliminary Plat application, heard at the March 9, 2022, meeting, the Applicant requested a waiver to the installation of a sidewalk along Gibson Avenue and instead extend the existing asphalt trail. City staff determined that the waiver of sidewalk installation is not needed since the City was requesting this change and per DPM Section 7-4(F)(7) which states that a trail can be installed on one side of the street where there is a sidewalk on the other side. The Project Engineer is working with Transportation and Parks and Recreation to design the trail to meet City requirements.

The Applicant is requesting a waiver to the DPM for the temporary deferral of sidewalk installation noted below:

- 1) *DPM 7-2(C) – Temporary Sidewalk Deferral* – Request to defer sidewalk installation in front of each home until construction is completed.

PRINCIPALS

James K. Strozier, FAICP
Christopher J. Green, PLA,
ASLA, LEED AP
Jacqueline Fishman, AICP

An exhibit showing the location of the sidewalks that will require a temporary deferral is submitted as part of the March 18, 2022, supplemental submittal to be heard on March 30, 2022.

The justification for the deferral of sidewalks is based on the response to the following.

6-6(P)(3) Review and Decision Criteria: An application for a Waiver – DRB shall be approved if it complies with the following criteria:

6-6(P)(3)(a) Any of the following applies:

1. There are pre-existing obstructions that cannot be easily or economically relocated or should not be altered, such as grades, fills, watercourses, natural topographic features, manmade obstructions, or utility lines.
2. The area or site has been recognized as having historical, archeological, and/or architectural significance by the City, State, or federal government, and a Waiver is needed and appropriate to maintain such historical, archeological, and/or architectural significance.
3. The established neighborhood character or landscaping on the site would be damaged to a degree that outweighs the public interest in the City's normal technical standards in that location.
4. Varying from the normal requirements and standards will encourage flexibility, economy, effective use of open space, or ingenuity in the design of a subdivision, in accordance with accepted principles of site planning.

Applicant Response: Criterion #3 best applies to the requested sidewalk deferral. The waiver to defer sidewalks until after the construction of each home will reduce the potential damage during the construction of each house in the subdivision, which would ultimately be detrimental to the public interest for safe connectivity in the subdivision (see Waiver Exhibit attached to the application).

6-6(P)(3)(b) The Waiver will not be materially contrary to the public safety, health, or welfare.

Applicant Response: The requested deferral of sidewalks will allow safe pedestrian access that promotes public safety, health, and welfare. The installation of sidewalks will be deferred only temporarily until each townhouse is built. As the subdivision is completed, sidewalks will be fully installed, providing pedestrian access throughout.

6-6(P)(3)(c) The Waiver does not cause significant material adverse impacts on surrounding properties.

Applicant Response: The requested sidewalk deferral will not cause significant material adverse impacts on surrounding properties. The deferral of sidewalks will protect surrounding properties by installing sidewalks only when the threat of damage from construction is passed. This will protect all sidewalks in the subdivision in the long term.

6-6(P)(3)(d) The Waiver will not hinder future planning, public right-of-way acquisition, or the financing or building of public infrastructure improvements.

Applicant Response: The deferral will not hinder future planning, public right-of-way acquisition, or the financing or building of public infrastructure improvements. The deferral of sidewalks is temporary and will not affect the items in Criterion (d) outside of the subdivision.



6-6(P)(3)(e) The Waiver will not conflict significantly with the goals and provisions of any City, County, or AMAFCA adopted plan or policy, this IDO, or any other City code or ordinance.

Applicant Response: The requested deferral of sidewalk Waiver will not conflict with the goals and provisions in the IDO *Section 5-3 Access and Connectivity* nor the DPM *Part 7-4 Pedestrian Facilities* or any other City code or ordinance. The deferred sidewalks will only be in front of each lot within the subdivision. Sidewalks on the sides and at the entrances will be constructed according to DPM standards when the subdivision construction begins. The sidewalks will comply with the City's sidewalk ordinance and will be installed at the appropriate development phase, ensuring convenient and efficient access for residents as the project is being constructed. After full buildout, all sidewalks will be constructed.

6-6(P)(3)(f) The Waiver will not allow, encourage, or make possible undesired development in the 100-year Floodplain.

Applicant Response: Criterion (f) does not apply, as the subject property is not in the 100-year Floodplain.

6-6(P)(3)(g) The Waiver will not materially undermine the intent and purpose of this IDO or the applicable zone district.

Applicant Response: The requested sidewalk Waivers will not materially undermine the intent of the IDO to "*encourage efficient and connected transportation and circulation systems for motor vehicles, bicycles, and pedestrians*" or the MX-M zone "*to provide for a wide array of moderate-intensity retail, commercial, and institutional, and moderate density residential uses...*"

The Waiver to defer sidewalks temporarily will allow installation at the appropriate time when each townhouse is constructed, thereby protecting the overall pedestrian connectivity of the subdivision.

6-6(P)(3)(h) The Waiver does not allow a lot or type of development that does not meet the applicable Development Standards for the zone district where the lot is located, unless a deviation to such standards is within the thresholds established by Subsection 14-16-6-4(P) (Deviations) and is granted by the DRB as part of this approval.

Applicant Response: The proposed subdivision is allowed in the MX-M zone. The approval of to temporarily defer sidewalk installation will not allow a type of development that does not meet the applicable Development Standards for the MX-M zone.

6-6(P)(3)(i) The Waiver approved is the minimum necessary to provide redress without being inconsistent with the provisions of this Subsection 14-16-6-6(P).

Applicant Response: The requested sidewalk deferral is the minimum necessary to provide redress. The deferral of sidewalks is only temporary, and they will be installed upon the completed construction of each townhouse. As shown on the Waiver Exhibit, the requested deferrals are for sidewalks in front of each home. Sidewalks providing connectivity are not requested for deferral.

6-6(P)(3)(j) If the request is a for a Waiver to IDO sidewalk requirements, the area is of low-intensity land use to an extent that the normal installation of sidewalks will not



contribute to the public welfare, and the absence of a sidewalk will not create a gap in an existing sidewalk system extended to 1 or more sides of the subject property.

Applicant Response: The requested sidewalk deferral will not completely waive the installation of required sidewalks, so this criterion does not apply.

CONCLUSION

On behalf of Homewise, Inc. we respectfully request that you approve this temporary deferral of sidewalks for the Sombra del Oeste Subdivision.

Sincerely,

James K. Strozier, FAICP
Principal



REVISED: March 18, 2022

Jolene Wolfley, Chair
Development Review Board
City of Albuquerque
600 Second Street NW
Albuquerque, New Mexico 87102

RE: Sombra del Oeste Subdivision – Request for Vacation of Public and Private Easements

Landscape Architecture
Urban Design
Planning Services

Dear Ms. Wolfley:

302 Eighth St. NW
Albuquerque, NM 87102

The purpose of this letter is to request a Vacation of Public and Private Easements as part of a Preliminary Plat application for the Sombra del Oeste Subdivision on behalf of Homewise, Inc. The subject property is located at the northeast corner of Gibson Boulevard, just east of 98th Street SW. The subject property is legally described as *Tract 12-B-1-A Plat of Tract 12-B-1-A & 12-B-1-B El Rancho Grande 1 containing 6.1178 Acres.*

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

The subject property contains four public easements and two private easements for which the vacations are being requested. The easements are detailed below with the corresponding note numbered details on the Preliminary Plat.

- **Easement [1]:** Public 10-foot PNM Easement along Gibson Boulevard. This easement is not used by PNM and is not required for access to PNM facilities.
- **Easement [2]:** Private 25-foot storm drain easement. This easement contains drainage and underground utility lines that connect to a transformer box located on HOA Open Space Tract 4. The Applicant has submitted an application to PNM for relocation of the utility lines to a new easement on the Solare Charter School property to the east. The transformer box will remain in its current location within the proposed HOA Open Space Tract 4. Easement [18] is intended to replace/cover the PNM lines of this vacated easement.
- **Easement [3]:** Private access easement (formerly vacated cul-de-sac). The Applicant proposes the dedication of a public street on the east side, which replaces the private access easement. Underground utility lines are not allowed to be located in the public right-of-way, hence requiring Easement #2 described above.
- **Easement [9]:** Public 20-foot permanent waterline easement to the south. This easement is vacant.
- **Easement [10]:** Public 50-foot PNM access and waterline easement (see Detail A, Sheet 3). This easement is vacant.
- **Easement [15]:** Public drainage covenant easement. This area was intended to be a drainage pond, which is no longer needed pursuant to the approved grading and drainage plan. It overlaps with residential lots and future public right-of-way.

PRINCIPALS

James K. Strozier, FAICP
Christopher J. Green, PLA,
ASLA, LEED AP
Jacqueline Fishman, AICP

JUSTIFICATION

The justification for the vacation of easements is based on the response to the criteria as follows.

6-6(M)(3) Review and Decision Criteria: An application for Vacation of Easement, Private Way, or Public Right-of-way shall be approved if it meets any of the following criteria.



6-6(M)(3)(a) The public welfare does not require that the easement, private way, or public right-of-way be retained.

Applicant Response: Public welfare does not require that the easements be retained for the following reasons:

- Easement [1] is not in use, is not required for access to PNM facilities, and infringes on proposed residential lots and future public right-of-way.
- Easement [2] a storm drain easement, will be relocated with the subdivision development. The Applicant is working with PNM to relocate the underground utility lines and easement on the school property to the east. It will be replaced by Easement [18].
- Easement [3] is a private access easement. The Plat will dedicate a public street at this location to replace the private access easement. This change requires the relocation of the existing underground utility lines in Easement [2].
- Easement [9] is vacant, is no longer needed, and infringes on proposed residential lots.
- Easement [10] is vacant, is no longer needed, and infringes on proposed residential lots.
- Easement [15] is no longer needed for drainage and infringes on proposed residential lots and conflicts with the future public right-of-way.

6-6(M)(3)(b) There is a net benefit to the public welfare because the development made possible by the Vacation is clearly more beneficial to the public welfare than the minor detriment resulting from the Vacation, and there is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

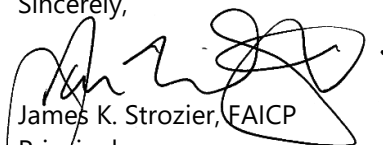
Applicant Response: There is a net benefit to the community made possible by the vacation of the easements because it will allow this vacant property to be developed. Residential properties will be protected by vacating easements [1], [9], [10], and [15], which overlap the proposed residential lots and future public right-of-way. The granting of Vacations for Easements [2] and [3], will allow the dedication of public right-of-way, a benefit to the surrounding neighborhoods by providing new public streets and sidewalks for public use.

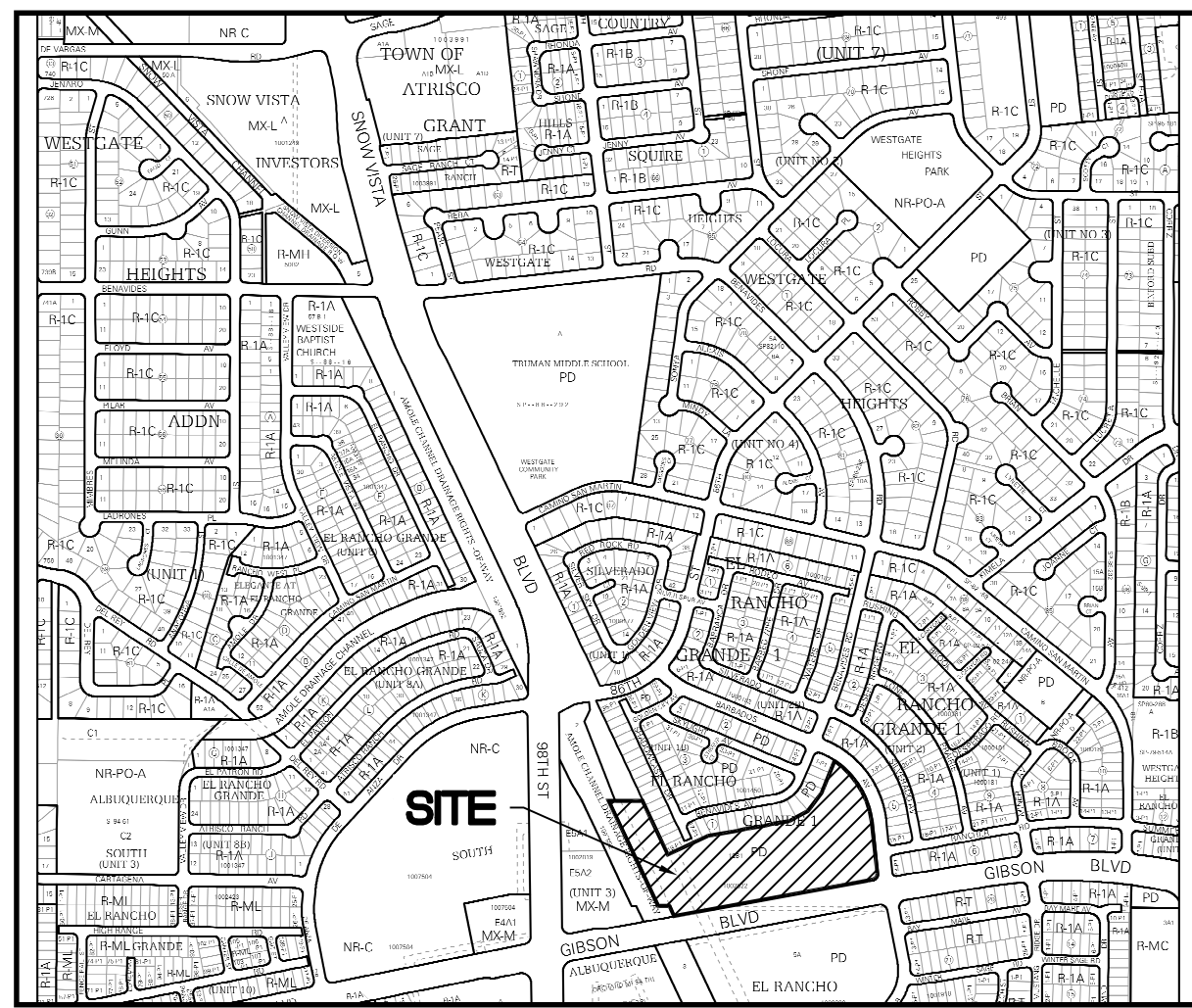
There are no property rights being abridged with the Vacation of Easements. The easements are contained on property owned by Homewise, Inc., the developer of this property.

CONCLUSION

On behalf of Homewise, Inc. we respectfully request that you approve this request for Vacation of Public and Private Easements based on the justification above. Thank you for your consideration.

Sincerely,


James K. Strozier, FAICP
Principal



Indexing Information

Section 33, Township 10 North, Range 2 East, N.M.P.M. as projected into the Town of Atrisco Grant
 Subdivision: El Rancho Grande I
 Owner: Solare Collegiate Foundation
 UPC #: 100905533402040127 (Tract 12-B-1-A)
 100905538202740125 (Tract 12-B-1-B)

Purpose of Plat

- SUBDIVIDE AS SHOWN HEREON.
- VACATE EASEMENTS AS SHOWN HEREON.
- GRANT EASEMENTS AS SHOWN HEREON.

General Notes

- EXISTING ZONING: "MX-M" MIXED USE-MODERATE INTENSITY
 PROPOSED ZONING: "MX-M" MIXED USE-MODERATE INTENSITY
- TOTAL ACREAGE: 10.9989 ACRES
- SETBACKS: REQUIRED
 FRONT: 0 FT. MINIMUM, 15 FT. MAXIMUM
 SIDE: 0 FT. INTERIOR; 15 FT. STREET SIDE
 REAR: 0 FT. MINIMUM
- MANHOLES SHALL BE OFFSET AT ALL POINTS OF CURVATURE.
- CENTERLINE MONUMENTS TO BE SET IN LIEU OF POINT OF CURVATURE AND POINT OF TANGENCY IN PUBLIC ROADWAYS.
- THERE ARE EXISTING DRAINAGE PONDING AREAS WITHIN TRACT A WHICH WILL REMAIN IN PLACE.
- THERE IS ALSO AN EXISTING DRAINAGE PONDING AREA (SHOWN HEREON AS 19) WITHIN FORMER TRACT 12-B-1-A, WHICH WILL BE VACATED. NEW DRAINAGE EASEMENTS WILL BE GRANTED WITHIN THE TOWNHOME SITE, SHOWN ON SHEET 2 OF 3.
- TRACTS 1-4 SHALL BE OWNED AND MAINTAINED BY THE HOA.

Subdivision Data

GROSS ACREAGE: 10.9989 ACRES
 ZONE ATLAS PAGE NO.: M-9-Z
 NUMBER OF EXISTING TRACTS: 2
 NUMBER OF TRACTS CREATED: 6
 NUMBER OF LOTS CREATED: 75
 MILES OF FULL-WIDTH STREETS: 0.2860 MILES
 MILES OF HALF-WIDTH STREETS: 0.000 MILES
 RIGHT-OF-WAY DEDICATION TO THE CITY OF ALBUQUERQUE: 1.5434 ACRES
 DATE OF SURVEY: JANUARY 2022

Solar Collection Note

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT, THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

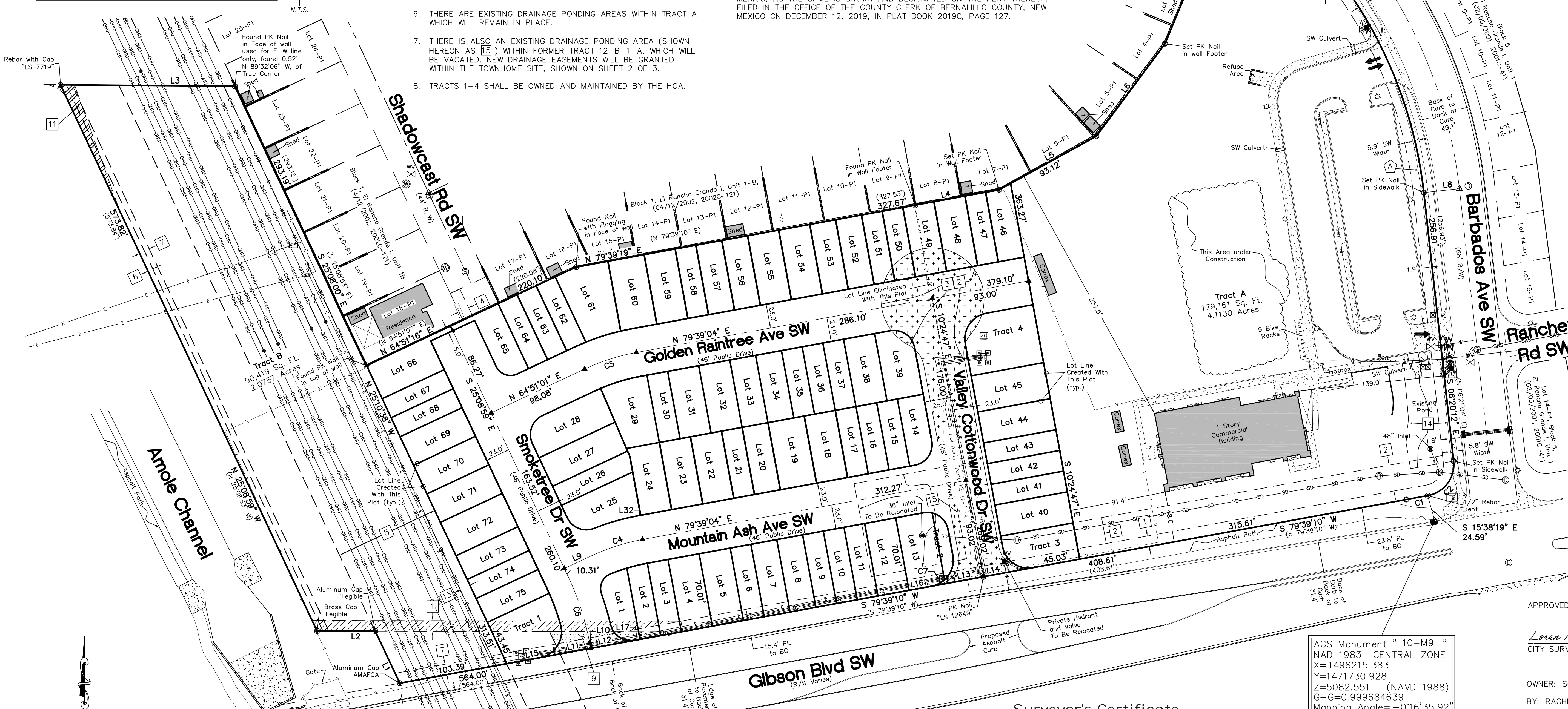
Legal Description

TRACTS 12-B-1-A AND 12-B-1-B OF THE PLAT OF TRACTS 12-B-1-A AND 12-B-1-B BEING A REPLAT OF TRACT 12-B-1 OF THE BULK LAND PLAT FOR EL RANCHO GRANDE I, PARCELS 5-A AND 12-B-1 WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 12, 2019, IN PLAT BOOK 2019C, PAGE 127.

This Sheet Shows Existing Information for Entire Subdivision (Including Vacated Easements, Existing Underground and Above Ground Utility Lines)

Preliminary Plat for Sombra Del Oeste Being Comprised of Tracts 12-B-1-A and 12-B-1-B El Rancho Grande I City of Albuquerque Bernalillo County, New Mexico February 2022

Vicinity Map - Zone Atlas M-9-Z



Legend

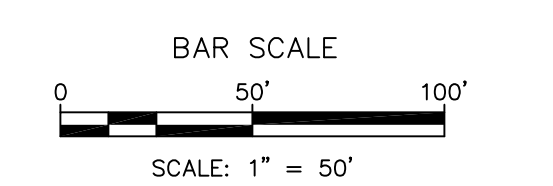
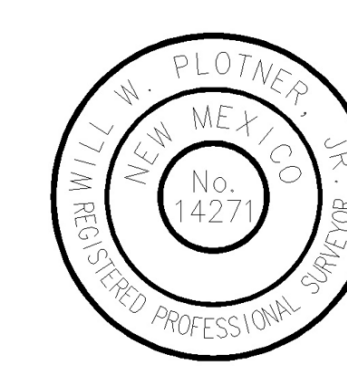
N 90°00'00" E	MEASURED BEARINGS AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT (12/12/2019, 2019C-127)
[N 90°00'00" E]	RECORD BEARINGS AND DISTANCES PER PLAT (08/15/2003, 2003C-249)
●	FOUND MONUMENT AS INDICATED
○	SET 1/2" REBAR WITH CAP "LS 18374" UNLESS OTHERWISE NOTED
△	FOUND CENTERLINE MONUMENT "LS 7719" UNLESS OTHERWISE NOTED
▲	CENTERLINE MONUMENT STAMPED "LS 18374" TO BE SET
⊠	COVERED AREA
■	CONCRETE
—x—	GUARD RAIL
— —	WIRE FENCE
—▨—	BLOCK WALL
—P—	PIPE FENCE
—V—	VINYL FENCE
—W—	WOOD FENCE
—H—	HANDRAIL
⊞	UTILITY PEDESTAL
⊞	BOLLARD
—O—	OVERHEAD UTILITY LINE
●	UTILITY POLE
⊞	ANCHOR
⊞	PULL BOX
⊞	LIGHT POLE
⊞	TRANSFORMER
⊞	ELECTRIC CABINET
⊞	WATER VALVE
⊞	WATER METER
⊞	FIRE HYDRANT
⊞	SANITARY SEWER MANHOLE
⊞	STORM DRAIN MANHOLE
⊞	SAS CLEANOUT
⊞	STORM DRAIN INLET
⊞	DROP INLET
⊞	IRRIGATION BOX
⊞	SIGN
⊞	CURB CUT/INDICATION OF ACCESS TO ROADWAY
—G—	UNDERGROUND GAS UTILITY LINE
—W—	UNDERGROUND WATER UTILITY LINE
—SD—	UNDERGROUND STORM DRAIN UTILITY LINE
—E—	UNDERGROUND ELECTRIC UTILITY LINE

APPROVED FOR MONUMENTATION AND STREET NAMES
 Loren N. Risenhoover P.S. 2/8/2022
 CITY SURVEYOR DATE
 OWNER: SOLARE COLLEGIATE FOUNDATION
 BY: RACHEL SEWARDS
 ITS: REGISTERED AGENT
 Rachael Sowards 2/11/22
 RACHEL SEWARDS REGISTERED AGENT
 SOLARE COLLEGIATE FOUNDATION DATE

Surveyor's Certificate
 I, WILL PLOTNER JR., A REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PRELIMINARY PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, THE INTERESTED PARTIES AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS FOR THE CITY OF ALBUQUERQUE AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Will Plotner Jr. 3/14/2022
 N.M.R.P.S. No. 14271 Date

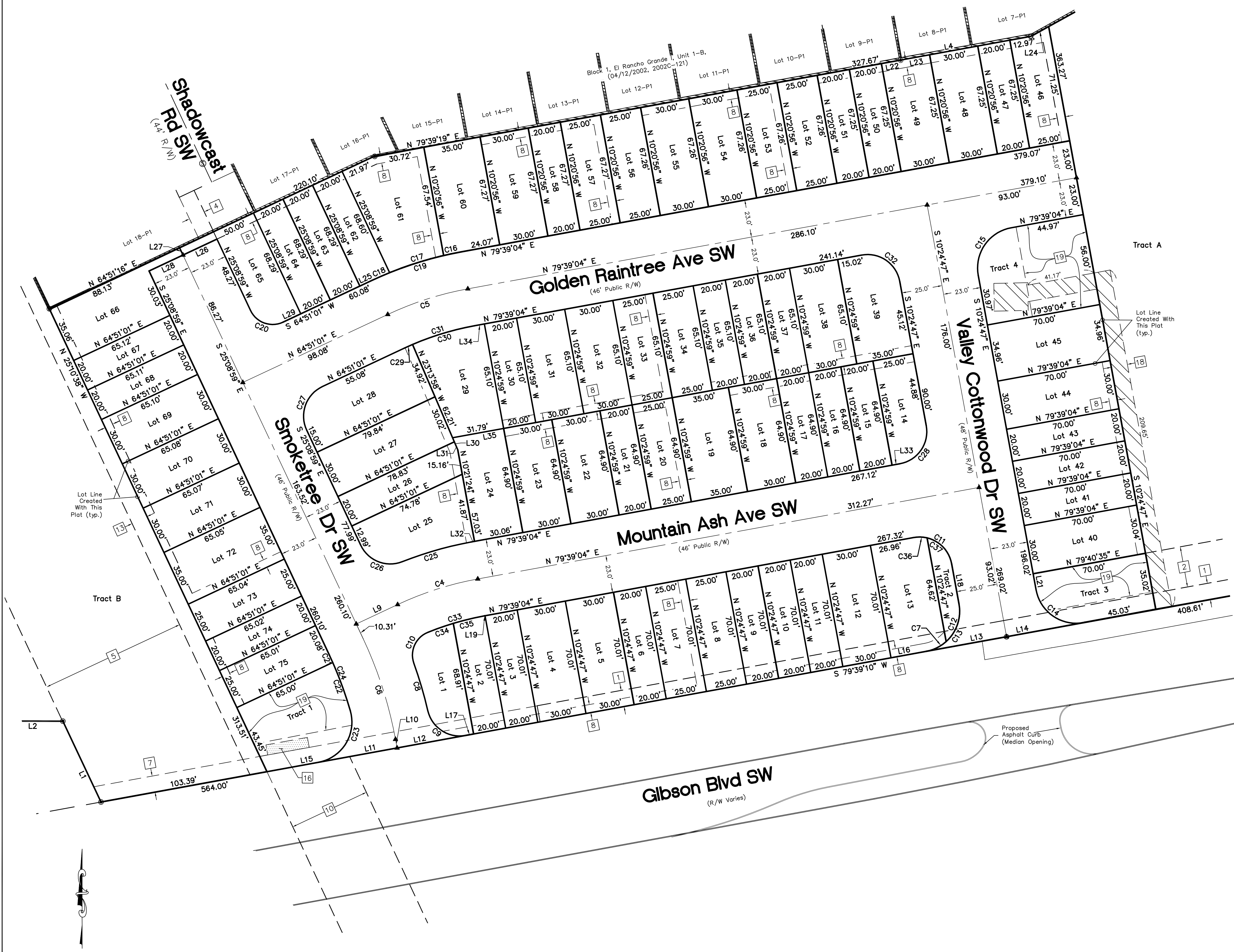
ACS Monument "10-M9"
 NAD 1983 CENTRAL ZONE
 X=1496215.383
 Y=1471730.928
 Z=5082.551 (NAVD 1988)
 G-G=0.999684639
 Mapping Angle=-0°16'35.92"



CSI-CARTESIAN SURVEYS INC.
 P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244
 wplotnerjr@gmail.com

This Sheet Shows
Townhome Details and
Post-Plat Easements Only

Preliminary Plat for
Sombra Del Oeste
Being Comprised of
Tracts 12-B-1-A and 12-B-1-B
El Rancho Grande I
City of Albuquerque
Bernalillo County, New Mexico
February 2022

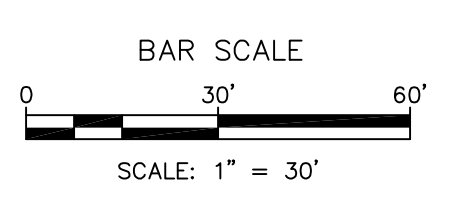


Parcel Table		
Parcel Name	Area (Acres)	Area (Sq. Ft.)
Lot 1	0.0379	1,649
Lot 2	0.0320	1,393
Lot 3	0.0321	1,400
Lot 4	0.0482	2,100
Lot 5	0.0482	2,100
Lot 6	0.0321	1,400
Lot 7	0.0402	1,750
Lot 8	0.0402	1,750
Lot 9	0.0321	1,400
Lot 10	0.0321	1,400
Lot 11	0.0321	1,400
Lot 12	0.0482	2,100
Lot 13	0.0558	2,430
Lot 14	0.0353	1,536
Lot 15	0.0298	1,298
Lot 16	0.0298	1,298
Lot 17	0.0298	1,298
Lot 18	0.0447	1,947
Lot 19	0.0521	2,272
Lot 20	0.0372	1,622

Parcel Table		
Parcel Name	Area (Acres)	Area (Sq. Ft.)
Lot 21	0.0298	1,298
Lot 22	0.0447	1,947
Lot 23	0.0447	1,947
Lot 24	0.0449	1,956
Lot 25	0.0546	2,378
Lot 26	0.0355	1,545
Lot 27	0.0546	2,380
Lot 28	0.0626	2,729
Lot 29	0.0572	2,491
Lot 30	0.0299	1,302
Lot 31	0.0448	1,953
Lot 32	0.0448	1,953
Lot 33	0.0374	1,628
Lot 34	0.0374	1,628
Lot 35	0.0299	1,302
Lot 36	0.0299	1,302
Lot 37	0.0299	1,302
Lot 38	0.0448	1,953
Lot 39	0.0503	2,193
Lot 40	0.0482	2,101

Parcel Table		
Parcel Name	Area (Acres)	Area (Sq. Ft.)
Lot 41	0.0321	1,400
Lot 42	0.0321	1,400
Lot 43	0.0321	1,400
Lot 44	0.0482	2,100
Lot 45	0.0562	2,448
Lot 46	0.0391	1,703
Lot 47	0.0309	1,345
Lot 48	0.0463	2,017
Lot 49	0.0463	2,018
Lot 50	0.0309	1,345
Lot 51	0.0309	1,345
Lot 52	0.0386	1,681
Lot 53	0.0386	1,681
Lot 54	0.0463	2,018
Lot 55	0.0463	2,018
Lot 56	0.0386	1,682
Lot 57	0.0386	1,682
Lot 58	0.0309	1,345
Lot 59	0.0463	2,018
Lot 60	0.0541	2,355

Parcel Table		
Parcel Name	Area (Acres)	Area (Sq. Ft.)
Lot 61	0.0690	3,006
Lot 62	0.0314	1,367
Lot 63	0.0314	1,366
Lot 64	0.0314	1,366
Lot 65	0.0439	1,911
Lot 66	0.0551	2,399
Lot 67	0.0299	1,302
Lot 68	0.0299	1,302
Lot 69	0.0448	1,953
Lot 70	0.0448	1,952
Lot 71	0.0448	1,952
Lot 72	0.0523	2,277
Lot 73	0.0373	1,626
Lot 74	0.0299	1,300
Lot 75	0.0373	1,625
Public Right of Way	1.5434	67,231
Tract 1	0.0696	3,031
Tract 2	0.0146	636
Tract 3	0.0532	2,319
Tract 4	0.0869	3,786



**Preliminary Plat for
Sombra Del Oeste
Being Comprised of
Tracts 12-B-1-A and 12-B-1-B
El Rancho Grande I
City of Albuquerque
Bernalillo County, New Mexico
February 2022**

**This Sheet Shows
Line/Curve Tables, All
Easement Notes and
Additional Notes**

Line #	Direction	Length (ft)
L1	N 25°14'33" W (N 25°12'42" W)	54.77' (54.71')
L2	N 89°53'21" W (N 89°49'19" W)	55.33' (55.32')
L3	S 89°32'06" E (S 89°29'58" E)	166.37' (166.40')
L4	N 79°39'19" E (N 79°39'10" W)	81.02' (81.10')
L5	N 61°07'11" E (N 61°07'02" E)	105.73' (105.71')
L6	N 36°33'03" E (N 36°32'54" W)	109.49' (109.47')
L7	N 22°26'54" E (N 22°26'44" W)	170.33' (170.30')
L8	N 83°39'48" E	34.00' (34.00')
L9	N 64°51'01" E	28.01'
L10	N 10°20'56" W	5.38'
L11	S 79°39'10" W	48.96'
L12	S 79°39'10" W	42.63'
L13	S 79°39'10" W	50.03'
L14	S 79°39'10" W	47.97'
L15	S 79°39'10" W	32.04'
L16	S 79°39'10" W	21.91'
L17	S 79°39'10" W	5.05'
L18	S 10°24'47" E	25.01'
L19	N 79°39'04" W	0.36'
L20	N 79°35'13" E	41.17'
L21	N 10°24'47" W	10.08'
L22	N 79°39'19" E	11.95'
L23	N 79°39'19" E	18.05'
L24	N 61°07'11" E	12.60'
L25	S 64°51'01" W	8.08'
L26	S 64°51'07" W	23.00'
L27	N 25°08'44" W	5.03'
L28	S 64°51'07" W	23.00'
L29	S 64°51'01" W	12.00'
L30	S 23°13'58" E	8.07'
L31	N 23°13'58" W	5.35'
L32	S 79°39'04" W	2.19'
L33	S 79°39'04" W	4.97'
L34	S 79°39'04" W	6.12'
L35	S 79°39'04" W	31.79'
L36	N 00°37'18" W	1.50'
L37	N 88°46'17" E	20.87'
L38	N 00°49'29" W	17.00'
L39	N 88°46'17" E	20.81'
L40	N 00°37'18" W	5.36'
L41	N 79°35'13" E	42.90'
L42	N 79°39'10" E	4.94'
L43	N 79°39'10" E	25.83'

Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	20.87' (20.96')	10232.99' (10232.99')	0°07'01"	20.87'	S 79°42'40" W
C2	45.06' (45.05')	29.98' (29.98')	86°06'23"	40.93'	S 36°42'59" W
C3	360.78' (360.68') [360.68']	416.00' (416.03') [416.00']	49°41'24"	349.58'	S 31°10'54" E
C4	51.66'	200.00'	14°48'03"	51.52'	S 72°15'02" W
C5	51.66'	200.00'	14°48'03"	51.52'	S 72°15'02" W
C6	64.58'	250.00'	14°48'03"	64.40'	N 17°44'58" W
C7	13.78'	25.00'	31°34'32"	13.60'	N 63°51'47" W
C8	30.38'	270.74'	6°25'45"	30.36'	N 16°24'34" W
C9	30.42'	20.00'	87°08'20"	27.57"	N 56°46'46" W
C10	22.92'	15.00'	87°31'49"	20.75'	S 24°08'18" W
C11	31.39'	20.00'	89°56'09"	28.27"	N 55°22'52" W
C12	25.52'	25.00'	58°29'18"	24.43"	N 18°49'52" E
C13	39.30'	25.00'	90°03'50"	35.38'	N 34°37'08" E
C14	39.24'	25.00'	89°56'09"	35.34'	S 55°22'52" E
C15	39.30'	25.00'	90°03'51"	35.38'	S 34°37'08" W
C16	10.93'	223.00'	2°48'34"	10.93'	S 78°14'47" W
C17	34.75'	223.00'	8°55'41"	34.71'	S 72°22'39" W
C18	11.92'	223.00'	3°03'48"	11.92'	S 66°22'55" W
C19	57.61'	223.00'	14°48'03"	57.45'	S 72°15'02" W
C20	23.56'	15.00'	90°00'00"	21.21'	S 70°08'59" E
C21	4.92'	227.00'	1°14'34"	4.92'	N 24°31'42" W
C22	31.63'	227.00'	7°58'58"	31.60'	N 19°54'56" W
C23	41.70'	25.00'	95°34'33"	37.03"	N 31°51'54" E
C24	36.56'	227.00'	91°3'36"	36.52'	N 20°32'11" W
C25	43.84'	223.00'	11°15'49"	43.77"	S 74°01'09" W
C26	30.18'	20.00'	86°27'46"	27.40"	S 68°22'52" E
C27	31.42'	20.00'	90°00'00"	28.28"	S 19°51'01" W
C28	31.44'	20.00'	90°03'51"	28.30"	N 34°37'08" E
C29	5.92'	177.00'	1°55'01"	5.92'	S 65°48'32" W
C30	39.80'	177.00'	12°53'01"	39.72'	S 73°12'33" W
C31	45.72'	177.00'	14°48'03"	45.60'	S 72°15'02" W
C32	31.39'	20.00'	89°56'09"	28.27"	N 55°22'52" W
C33	36.29'	177.00'	11°44'51"	36.23'	S 73°46'38" W
C34	16.61'	177.00'	5°22'40"	16.61'	S 70°35'32" W
C35	19.68'	177.00'	6°22'11"	19.67"	S 76°27'58" W
C36	8.28'	20.00'	23°43'23"	8.22"	N 88°29'15" W
C37	23.11'	20.00'	66°12'46"	21.85'	N 43°31'10" W

Documents

- TITLE COMMITMENT PROVIDED BY STEWART TITLE, HAVING FILE NO. 1037841 AND AN EFFECTIVE DATE OF MAY 17, 2021.
- PLAT OF RECORD FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON DECEMBER 12, 2019, IN BOOK 2019C, PAGE 127.
- PLAT OF EL RANCHO GRANDE I, UNIT 1-B, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON APRIL 12, 2002, IN BOOK 2002C, PAGE 121.
- WARRANTY DEED FOR SUBJECT PROPERTY, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON JUNE 3, 2019, AS DOCUMENT NO. 2019045667.
- PLAT FOR AMOLE CHANNEL DRAINAGE RIGHTS-OF-WAY, TRACTS 1 THRU 5, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON DECEMBER 11, 2009, IN BOOK 2009C, PAGE 171, AS DOCUMENT NO. 2009135016.

Flood Notes

BASED UPON SCALING, THIS PROPERTY LIES WITHIN FLOOD ZONE X WHICH IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD AS DETERMINED BY F.E.M.A. AND SHOWN ON THE FLOOD INSURANCE RATE MAP NO. 35001C0336H, DATED AUGUST 16, 2012.

Drainage Facilities Note

AREAS DESIGNATED ON THE ACCOMPANYING PLAT AS "DRAINAGE EASEMENTS" ARE HEREBY DEDICATED BY THE OWNER AS A PERPETUAL EASEMENT FOR THE COMMON USE AND BENEFIT OF THE VARIOUS LOTS WITHIN THE SUBDIVISIONS FOR THE PURPOSE OF PERMITTING THE CONVEYANCE OF STORM WATER RUNOFF AND THE CONSTRUCTING AND MAINTAINING OF DRAINAGE FACILITIES. GRANTOR SHALL CONSTRUCT DRAINAGE FACILITIES IN THE EASEMENT IN ACCORDANCE WITH STANDARDS PRESCRIBED BY THE CITY AND PLANS AND SPECIFICATIONS APPROVED BY THE CITY ENGINEER IN ACCORDANCE WITH THE DRAINAGE REPORT ENTITLED "SOMBRA DEL OESTE", SUBMITTED BY THOMPSON ENGINEERING CONSULTANTS, INC., ON FEBRUARY 8, 2022, AND APPROVED BY THE ALBUQUERQUE CITY ENGINEER ON MARCH 14, 2022. NO FENCE, WALL, PLANTING, BUILDING OR OTHER OBSTRUCTION MAY BE PLACED OR MAINTAINED IN EASEMENT AREA WITHOUT APPROVAL OF THE CITY ENGINEER OF THE CITY OF ALBUQUERQUE. THERE ALSO SHALL BE NO ALTERATION OF THE GRADES OR CONTOURS IN SAID EASEMENT AREA WITHOUT THE APPROVAL OF THE CITY ENGINEER. IT SHALL BE THE DUTY OF THE LOT OWNERS OF THIS SUBDIVISION TO MAINTAIN SAID DRAINAGE EASEMENT AND FACILITIES AT THEIR COST IN ACCORDANCE WITH STANDARDS PRESCRIBED BY THE CITY OF ALBUQUERQUE. THE CITY SHALL HAVE THE RIGHT TO ENTER PERIODICALLY TO INSPECT THE FACILITIES. IN THE EVENT SAID LOT OWNERS FAIL TO ADEQUATELY AND PROPERLY MAINTAIN DRAINAGE EASEMENT AND FACILITIES, AT ANY TIME FOLLOWING FIFTEEN (15) DAYS WRITTEN NOTICE TO SAID LOT OWNERS, THE CITY MAY ENTER UPON SAID AREA, PERFORM SAID MAINTENANCE, AND THE COST OF PERFORMING SAID MAINTENANCE SHALL BE PAID BY APPLICABLE LOT OWNERS PROPORTIONATELY ON THE BASIS OF LOT OWNERSHIP. IN THE EVENT LOT OWNERS FAIL TO PAY THE COST OF MAINTENANCE WITHIN THIRTY (30) DAYS AFTER DEMAND FOR PAYMENT MADE BY THE CITY, THE CITY MAY FILE A LIEN AGAINST ALL LOTS IN THE SUBDIVISION FOR WHICH PROPORTIONATE PAYMENT HAS NOT BEEN MADE. THE OBLIGATIONS IMPOSED HEREIN SHALL BE BINDING UPON THE OWNER, HIS HEIRS, AND ASSIGNS AND SHALL RUN WITH ALL LOTS WITHIN THIS SUBDIVISION. THE GRANTOR AGREES TO DEFEND, INDEMNIFY, AND HOLD HARMLESS, THE CITY, ITS OFFICIALS, AGENTS AND EMPLOYEES FROM AND AGAINST ANY AND ALL CLAIMS, ACTIONS, SUITS, OR PROCEEDINGS OF ANY KIND BROUGHT AGAINST SAID PARTIES FOR OR ON ACCOUNT OF ANY MATTER ARISING FROM THE DRAINAGE FACILITY PROVIDED FOR HEREIN OR THE GRANTOR'S FAILURE TO CONSTRUCT, MAINTAIN, OR MODIFY SAID DRAINAGE FACILITY.

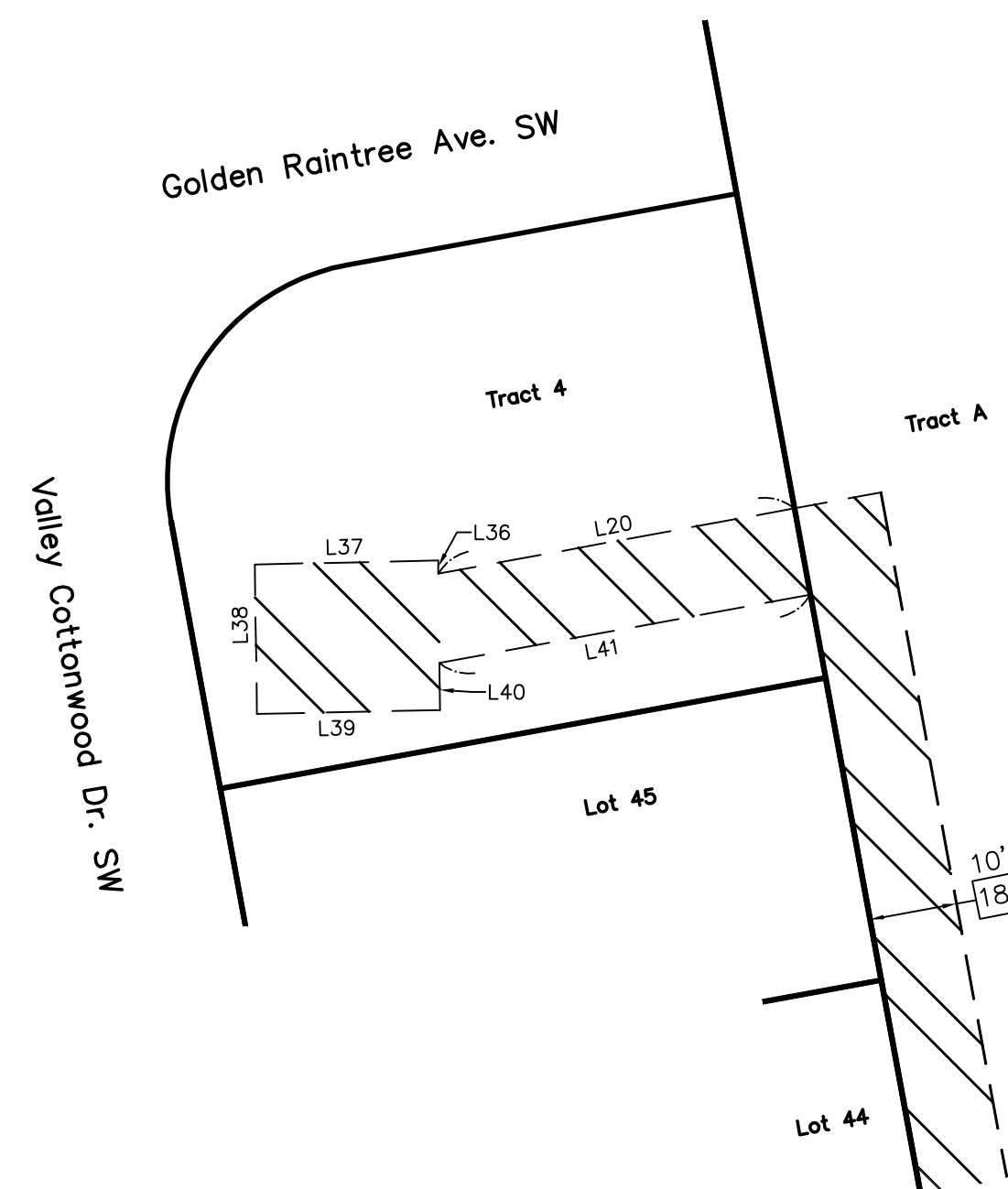
Notes

- FIELD SURVEY PERFORMED IN MAY 2021 AND SUPPLEMENTAL DATA IN AUGUST 2021.
- ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
- THE BASIS OF BEARINGS REFERENCES NM STATE PLANE COORDINATES (NAD 83-CENTRAL ZONE).
- LOTS LINES TO BE ELIMINATED SHOWN HEREON AS
- THE SUBDIVISION WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN HEREON.
- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN HEREON AS (O) SHALL BE MARKED BY A 1/2" REBAR WITH CAP STAMPED "LS 18374".

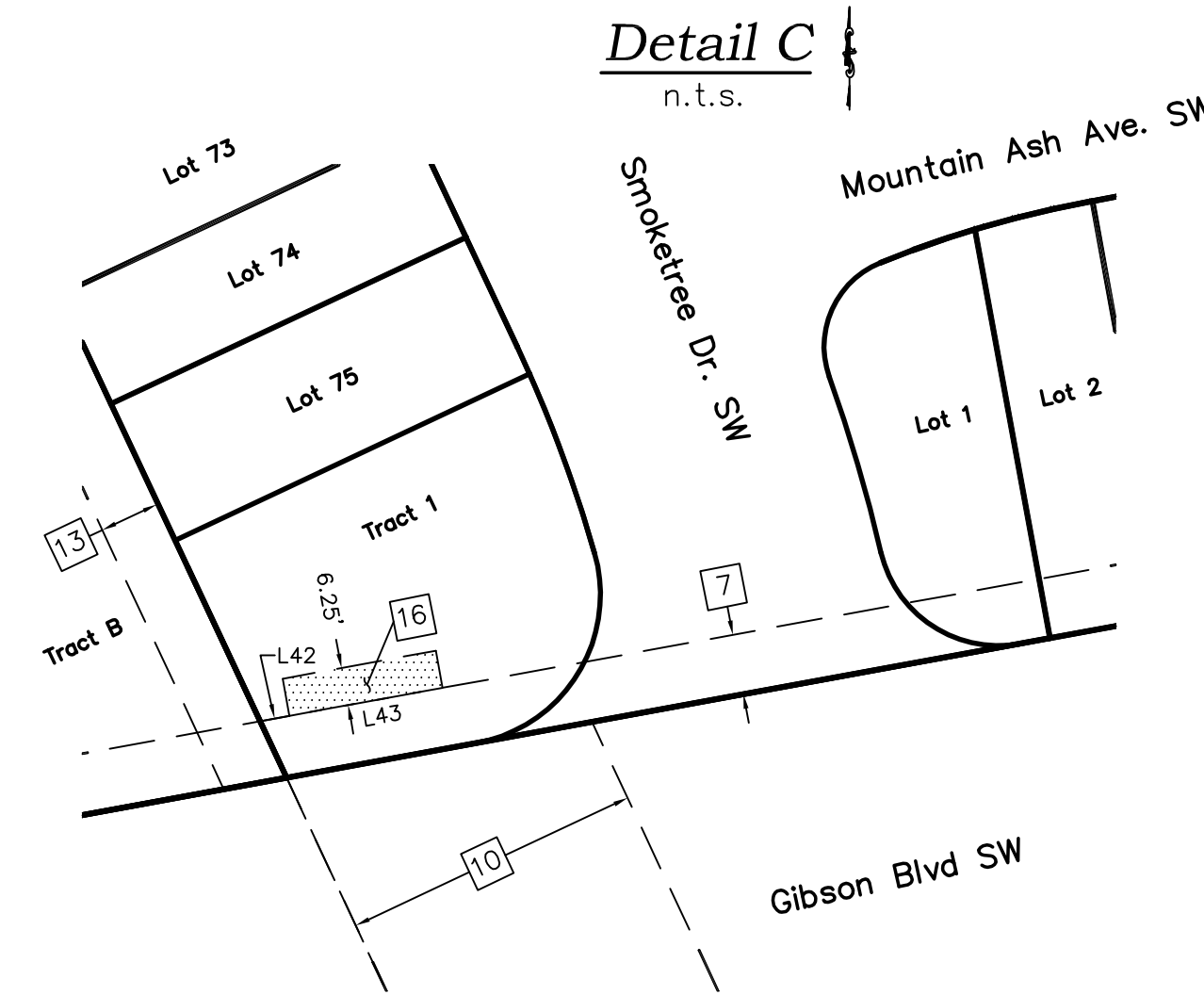
Easement and Drainage Notes

- EXISTING 10' PNM EASEMENT (2/22/2001, 2001C-57) PORTION VACATED WITH THIS PLAT SHOWN HEREON AS
- EXISTING 25' PRIVATE STORM DRAIN EASEMENT BENEFITING TRACTS 12-B-1-A AND 12-B-1-B AND MAINTAINED BY TRACT 12-B-1-B (12/12/2019, 2019C-127) PORTION VACATED WITH THIS PLAT SHOWN HEREON AS
- EXISTING PRIVATE ACCESS EASEMENT BENEFITING AND MAINTAINED BY THE OWNERS OF TRACTS 12-B-1-A AND 12-B-1-B (12/12/2019, 2019C-127) VACATED WITH THIS PLAT SHOWN HEREON AS
- EXISTING 10' PUBLIC PEDESTRIAN ACCESS EASEMENT (4/12/2002, 2002C-121)
- EXISTING 100' PNM EASEMENT (4/12/1956, BK. D348, PG. 43, DOC. NO. 91883)
- EXISTING 5' PNM EASEMENT (1/8/2002, 2002C-7)
- EXISTING 10' PUE (8/15/2003, 2003C-249)
- 5' PRIVATE DRAINAGE EASEMENT BENEFITING AND MAINTAINED BY THE OWNERS OF LOTS 1-75 AND TRACTS 1-4 GRANTED WITH THE FILING OF THIS PLAT
- EXISTING 20' PUBLIC PERMANENT WATERLINE EASEMENT (10/25/1985, BK. MISC. 284-A, PG. 668-671, DOC. NO. 1985090123) VACATED WITH THIS PLAT SHOWN HEREON AS . SEE DETAIL A, SHEET 3 OF 3
- EXISTING 50' PUBLIC PERMANENT ACCESS ROAD AND WATERLINE EASEMENT (10/25/1985, BK. MISC. 284-A, PG. 668-671, DOC. NO. 1985090123) PORTION VACATED WITH THIS PLAT. SEE DETAIL A, SHEET 3 OF 3
- EXISTING AMAFCA DRAINAGE EASEMENT (10/7/2005, DOC. NO. 2005149548) SHOWN HEREON AS
- EXISTING UNOBSTRUCTED LINE OF SIGHT EASEMENT (1/8/2002, 2002C-7) SHOWN HEREON AS
- EXISTING UNDERGROUND PNM EASEMENT (10/4/2005, BK. A104, PG. 6254, DOC. NO. 2005146656)
- AREA OUTLINED BY DRAINAGE COVENANT (9/17/2019, DOC. NO. 2019078629)
- AREA OUTLINED BY DRAINAGE COVENANT (9/17/2019, DOC. NO. 2019078634) VACATED WITH THIS PLAT.
- 6.25' X 25.83' PNM EASEMENT GRANTED WITH THE FILING OF THIS PLAT, SHOWN HEREON AS . SEE DETAIL C ON SHEET 3 OF 3
- INTENTIONALLY OMITTED
- 10' P.U.E. GRANTED WITH THE FILING OF THIS PLAT, SHOWN HEREON AS . SEE DETAIL B SHEET 3 OF 3
- PRIVATE DRAINAGE PONDING EASEMENT BENEFITING LOTS 1-75 AND TRACTS 1-4 AND MAINTAINED BY THE OWNERS OF SAID LOTS AND TRACTS. GRANTED WITH THE FILING OF THIS PLAT

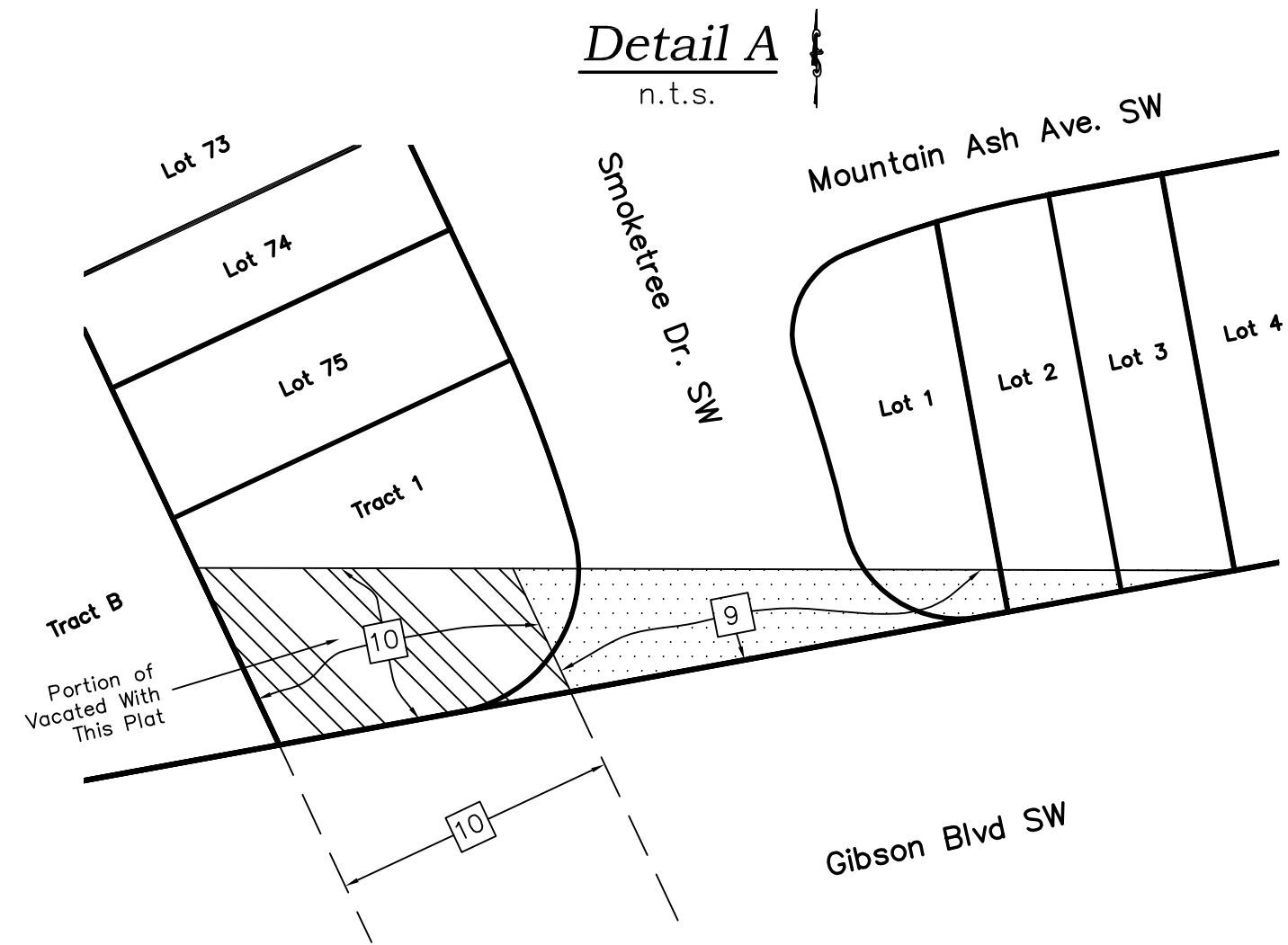
Detail B
n.t.s.



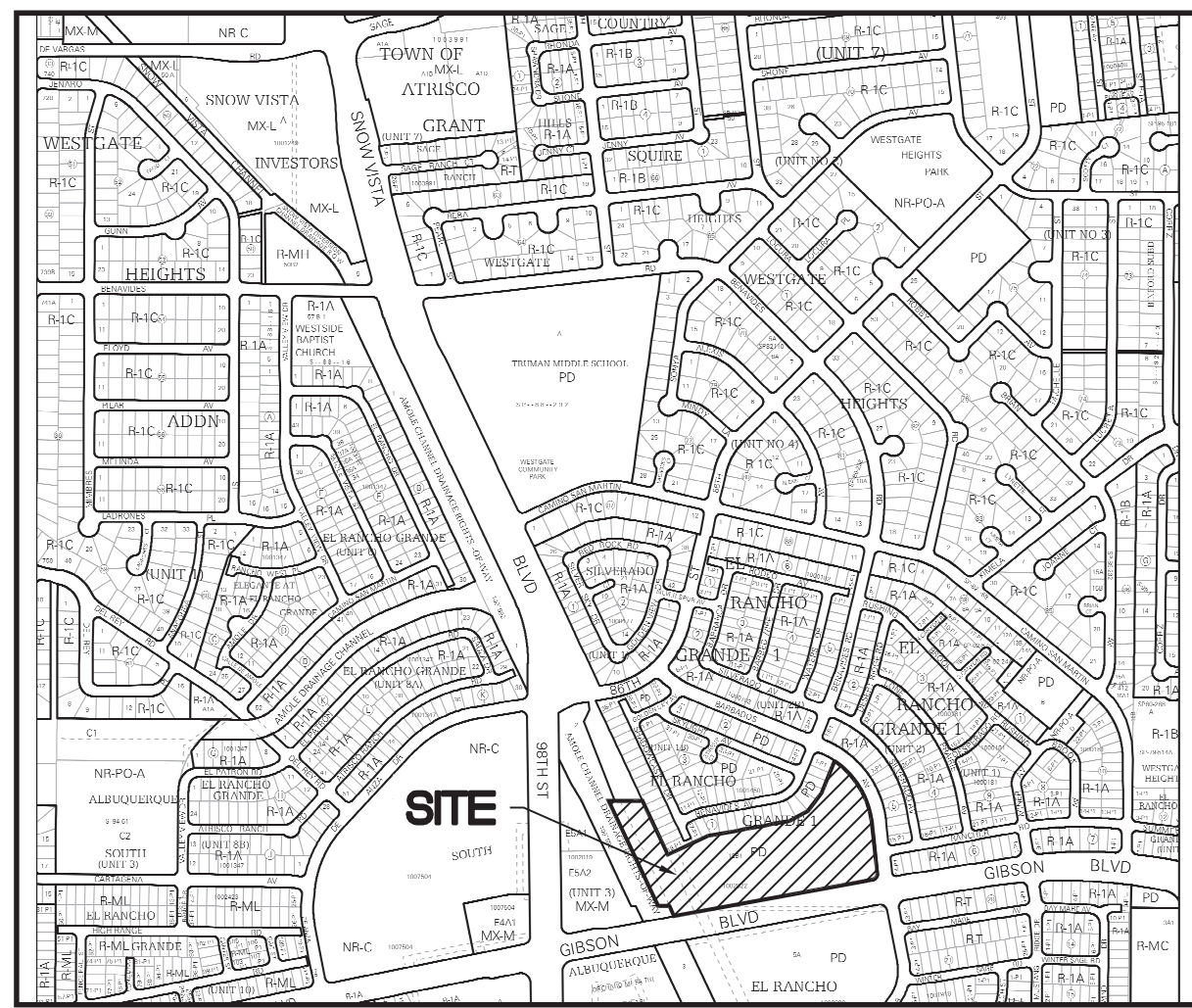
Detail C
n.t.s.



Detail A
n.t.s.



**Sketch Plat for
Solare Townhomes
and Tracts 12-B-1-A-1 and
12-B-1-B-1
El Rancho Grande I
Being Comprised of
Tracts 12-B-1-A and 12-B-1-B
El Rancho Grande I
City of Albuquerque
Bernalillo County, New Mexico
January 2022**



Vicinity Map - Zone Atlas M-9-Z

Access to Public Streets-Rear Yard Adjacency Per IDO*

AS PER IDO SECTION 5-4(F)(2)(b), RESIDENTIAL LOTS SHALL AVOID LAYOUTS WHERE THE REAR LOT LINE IS ADJACENT TO A COLLECTOR OR ARTERIAL STREET. LOCAL FRONTAGE ROADS MAY BE USED WITHIN A SUBDIVISION TO AVOID LOCATING RESIDENTIAL REAR YARD WALLS ALONG COLLECTOR AND ARTERIAL STREETS.

* REQUESTING TO WAIVER THIS REQUIREMENT FOR LOTS 1-13 TO ALLOW REAR YARDS ADJACENT TO GIBSON BOULEVARD.

Sidewalk Deferral:

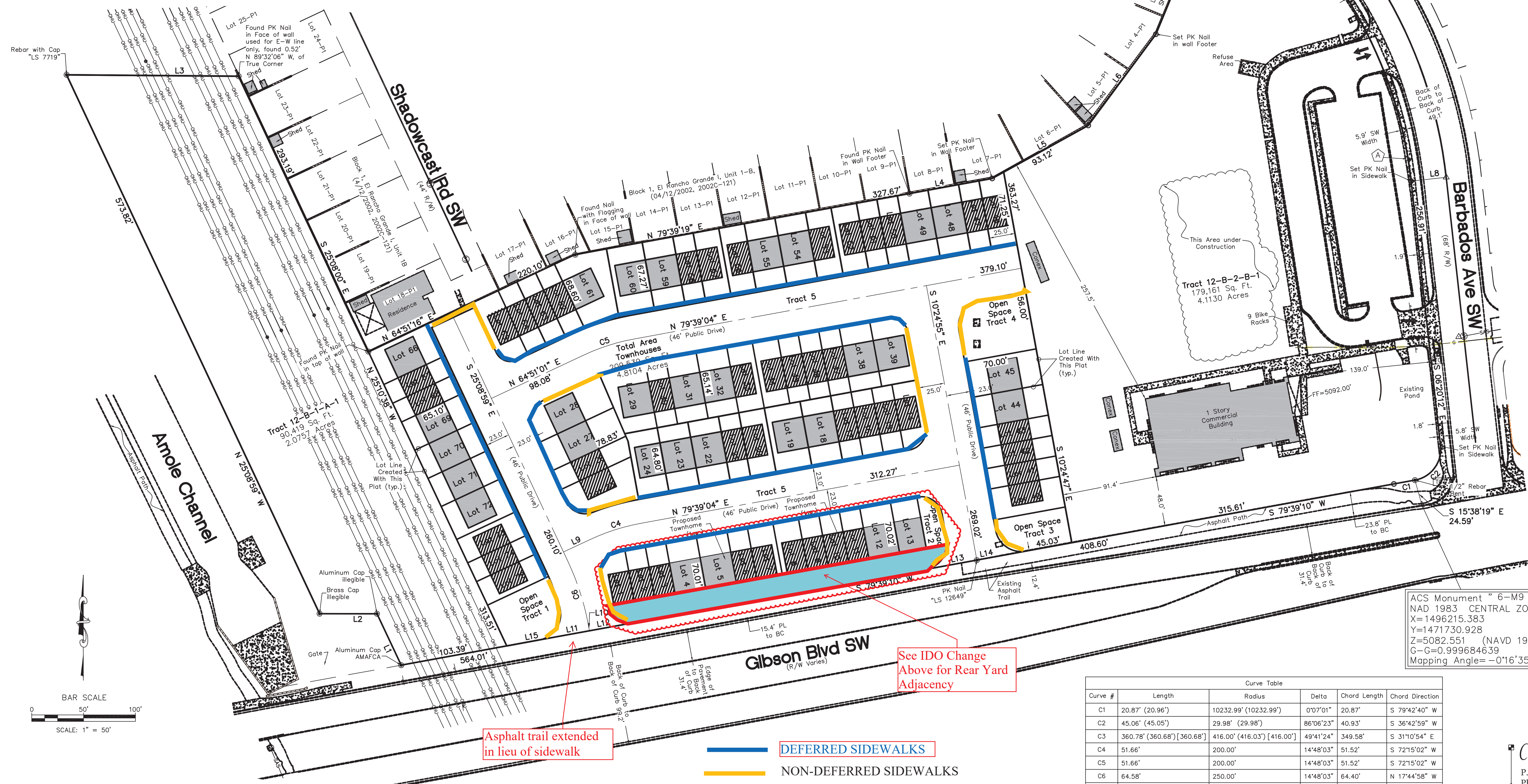
AS PER DPM SECTION DPM-2-9(C)(1) TEMPORARY SIDEWALK

REQUESTING A DEFERRAL FOR THIS REQUIREMENT

ACS Monument " 6-M10 "
NAD 1983 CENTRAL ZONE
X=1497827.859
Y=1471787.588
Z=5050.537 (NAVD 1988)
G-G=0.999685636
Mapping Angle= -0°16'24.79"

Legend

- N 90°00'00" E MEASURED BEARINGS AND DISTANCES
- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES PER PLAT (12/12/2019, 2019C-127)
- [N 90°00'00" E] RECORD BEARINGS AND DISTANCES PER PLAT (08/15/2003, 2003C-249)
- FOUND MONUMENT AS INDICATED
- SET 1/2" REBAR WITH CAP "LS 18374" UNLESS OTHERWISE NOTED
- △ FOUND CENTERLINE MONUMENT "LS 7719" UNLESS OTHERWISE NOTED
- ▭ COVERED AREA
- ▨ CONCRETE
- ▩ BLOCK WALL
- UTILITY PEDESTAL
- OVERHEAD UTILITY LINE
- UTILITY POLE
- ANCHOR
- SIGN
- ↔ CURB CUT/INDICATION OF ACCESS TO ROADWAY



Line Table

Line #	Direction	Length (ft)
L1	N 25°14'33" W (N 25°12'42" W)	54.77' (54.71')
L2	N 89°53'21" W (N 89°49'19" W)	55.33' (55.32')
L3	S 89°32'06" E (S 89°29'58" E)	166.37' (166.40')
L4	N 79°39'19" E (N 79°39'10" W)	81.02' (81.10')
L5	N 61°07'11" E (N 61°07'02" E)	105.73' (105.71')
L6	N 36°33'03" E (N 36°32'54" W)	109.49' (109.47')
L7	N 22°26'54" E (N 22°26'44" W)	170.33' (170.30')
L8	N 83°39'48" E	34.00' (34.00')
L9	N 64°51'01" E	28.01'
L10	N 10°20'56" W	5.38'
L11	S 79°39'04" W	48.96'
L12	S 79°39'37" W	42.63'
L13	S 79°37'59" W	50.03'
L14	S 79°40'24" W	47.97'
L15	S 79°38'44" W	32.04'
L16	S 79°39'10" W	21.91'
L17	S 79°39'10" W	5.05'

ACS Monument " 6-M9 "
NAD 1983 CENTRAL ZONE
X=1496215.383
Y=1471730.928
Z=5082.551 (NAVD 1988)
G-G=0.999684639
Mapping Angle= -0°16'35.92"

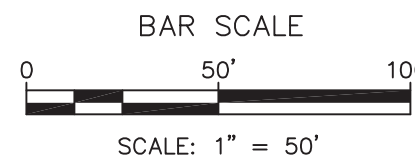
Curve Table

Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	20.87' (20.96')	10232.99' (10232.99')	0°07'01"	20.87'	S 79°42'40" W
C2	45.06' (45.05')	29.98' (29.98')	86°06'23"	40.93'	S 36°42'59" W
C3	360.78' (360.68') [360.68']	416.00' (416.03') [416.00']	49°41'24"	349.58'	S 31°10'54" E
C4	51.66'	200.00'	14°48'03"	51.52'	S 72°15'02" W
C5	51.66'	200.00'	14°48'03"	51.52'	S 72°15'02" W
C6	64.58'	250.00'	14°48'03"	64.40'	N 17°44'58" W
C7	4.15'	25.00'	93°1'01"	4.15'	N 74°53'33" E

Asphalt trail extended in lieu of sidewalk

See IDO Change Above for Rear Yard Adjacency

DEFERRED SIDEWALKS
NON-DEFERRED SIDEWALKS





Denise King <cartesiandenise@gmail.com>

FW: Solare Subdivision (Gibson Blvd. E. of 98th St.)

Jaime Jaramillo <JJaramillo@homewise.org>

Wed, Feb 2, 2022 at 2:43 PM

To: Denise King <cartesiandenise@gmail.com>, Ryan Mulhall <cartesianryan@gmail.com>

Cc: Jim Strozier <cp@consensusplanning.com>, David Thompson <tecnm@yahoo.com>, Charlene Johnson <Johnson@consensusplanning.com>, Daniel Slavin <dslavin@homewise.org>

Denise and Ryan,

Please see the below email acceptance from City traffic engineer Matt Grush of our gap analysis. Attached is the gap analysis for the application. Please include both the email and the analysis in the plat application.

Thank you,

Jaime Jaramillo

Real Estate Development Planning Manager

NMREL# 53836

phone: 505-795-7592

Email: jjaramillo@homewise.org

[1301 Siler Road Building D](#)

Santa Fe, NM, 87507

From: Grush, Matthew P. <mgrush@cabq.gov>

Sent: Friday, October 22, 2021 8:59 AM

To: 'Terry Brown' <terryobrown@outlook.com>

Cc: Wolfenbarger, Jeanne <jwolfenbarger@cabq.gov>; Jaime Jaramillo <JJaramillo@homewise.org>

Subject: RE: Solare Subdivision (Gibson Blvd. E. of 98th St.)

[EXTERNAL SENDER]

Good morning Terry,

I have reviewed the Solare Subdivision traffic analysis for the main full unsignalized access driveway on Gibson Blvd. The study shows acceptable level of Service and adequate gaps in traffic for the eastbound left and the southbound left/right turn movements. If you have any questions feel free to contact me.

Thank you,



Matt Grush, P.E., PTOE

Senior Engineer

505-924-3362

mgrush@cabq.gov

cabq.gov/planning

From: Terry Brown <terryobrown@outlook.com>

Sent: Tuesday, October 19, 2021 3:23 PM

To: Grush, Matthew P. <mgrush@cabq.gov>

Cc: Wolfenbarger, Jeanne <jwolfenbarger@cabq.gov>; Jaime Jaramillo <JJaramillo@homewise.org>

Subject: Solare Subdivision (Gibson Blvd. E. of 98th St.)

Matt,

Attached is the gap analysis that the City requires for the Solare Subdivision full access driveway onto Gibson Blvd. for your review / comment.

Please call me if you have questions.

Best Regards,

Terry O. Brown, P.E.


P. O. Box 92051

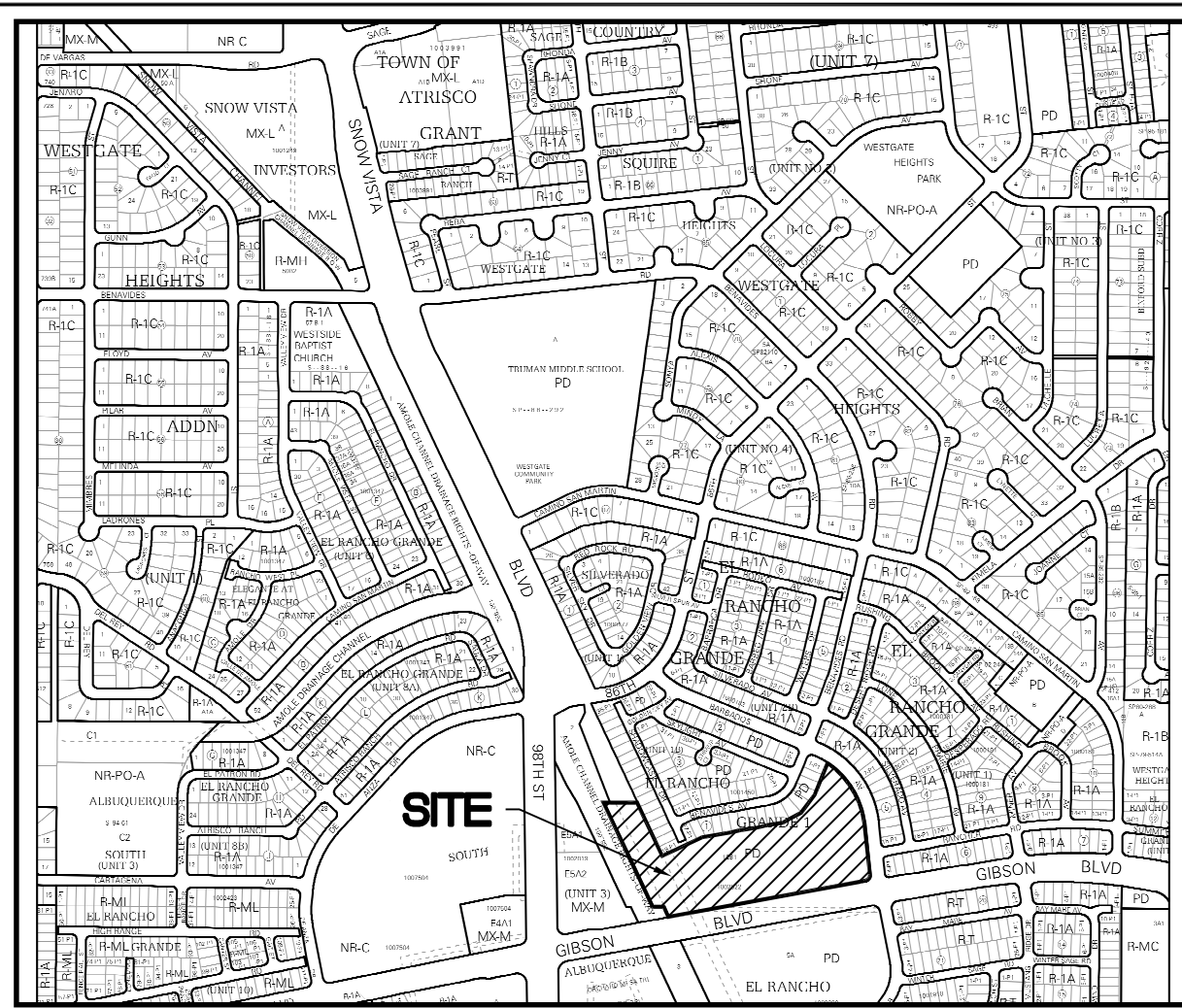
Albuquerque, NM 87199-2051

(505) 883-8807 – Office

(505) 270-6981 – Cell

e-mail: terryobrown@outlook.com

 Letter_of_Analysis 1.pdf
3079K



Indexing Information

Section 33, Township 10 North, Range 2 East, N.M.P.M. as projected into the Town of Atrisco Grant
 Subdivision: El Rancho Grande I
 Owner: Solare Collegiate Foundation
 UPC #: 100905533402040127 (Tract 12-B-1-A)
 100905538202740125 (Tract 12-B-1-B)

Purpose of Plat

- SUBDIVIDE AS SHOWN HEREON.
- VACATE EASEMENTS AS SHOWN HEREON.
- GRANT EASEMENTS AS SHOWN HEREON.

General Notes

- EXISTING ZONING: "MX-M" MIXED USE-MODERATE INTENSITY
 PROPOSED ZONING: "MX-M" MIXED USE-MODERATE INTENSITY
- TOTAL ACREAGE: 10.9989 ACRES
- SETBACKS: REQUIRED
 FRONT: 0 FT. MINIMUM, 15 FT. MAXIMUM
 SIDE: 0 FT. INTERIOR, 15 FT. STREET SIDE
 REAR: 0 FT. MINIMUM
- MANHOLES SHALL BE OFFSET AT ALL POINTS OF CURVATURE.
- CENTERLINE MONUMENTS TO BE SET IN LIEU OF POINT OF CURVATURE AND POINT OF TANGENCY IN PUBLIC ROADWAYS.
- THERE ARE EXISTING DRAINAGE PONDING AREAS WITHIN TRACT A WHICH WILL REMAIN IN PLACE.
- THERE IS ALSO AN EXISTING DRAINAGE PONDING AREA (SHOWN HEREON AS 19) WITHIN FORMER TRACT 12-B-1-A, WHICH WILL BE VACATED. NEW DRAINAGE EASEMENTS WILL BE GRANTED WITHIN THE TOWNHOME SITE, SHOWN ON SHEET 2 OF 3.
- TRACTS 1-4 SHALL BE OWNED AND MAINTAINED BY THE HOA.

Subdivision Data

GROSS ACREAGE: 10.9989 ACRES
 ZONE ATLAS PAGE NO.: M-9-Z
 NUMBER OF EXISTING TRACTS: 2
 NUMBER OF TRACTS CREATED: 6
 NUMBER OF LOTS CREATED: 75
 MILES OF FULL-WIDTH STREETS: 0.2860 MILES
 MILES OF HALF-WIDTH STREETS: 0.000 MILES
 RIGHT-OF-WAY DEDICATION TO THE CITY OF ALBUQUERQUE: 1.5434 ACRES
 DATE OF SURVEY: JANUARY 2022

Solar Collection Note

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT, THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

Legal Description

TRACTS 12-B-1-A AND 12-B-1-B OF THE PLAT OF TRACTS 12-B-1-A AND 12-B-1-B BEING A REPLAT OF TRACT 12-B-1 OF THE BULK LAND PLAT FOR EL RANCHO GRANDE I, PARCELS 5-A AND 12-B-1 WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 12, 2019, IN PLAT BOOK 2019C, PAGE 127.

This Sheet Shows Existing Information for Entire Subdivision (Including Vacated Easements, Existing Underground and Above Ground Utility Lines)

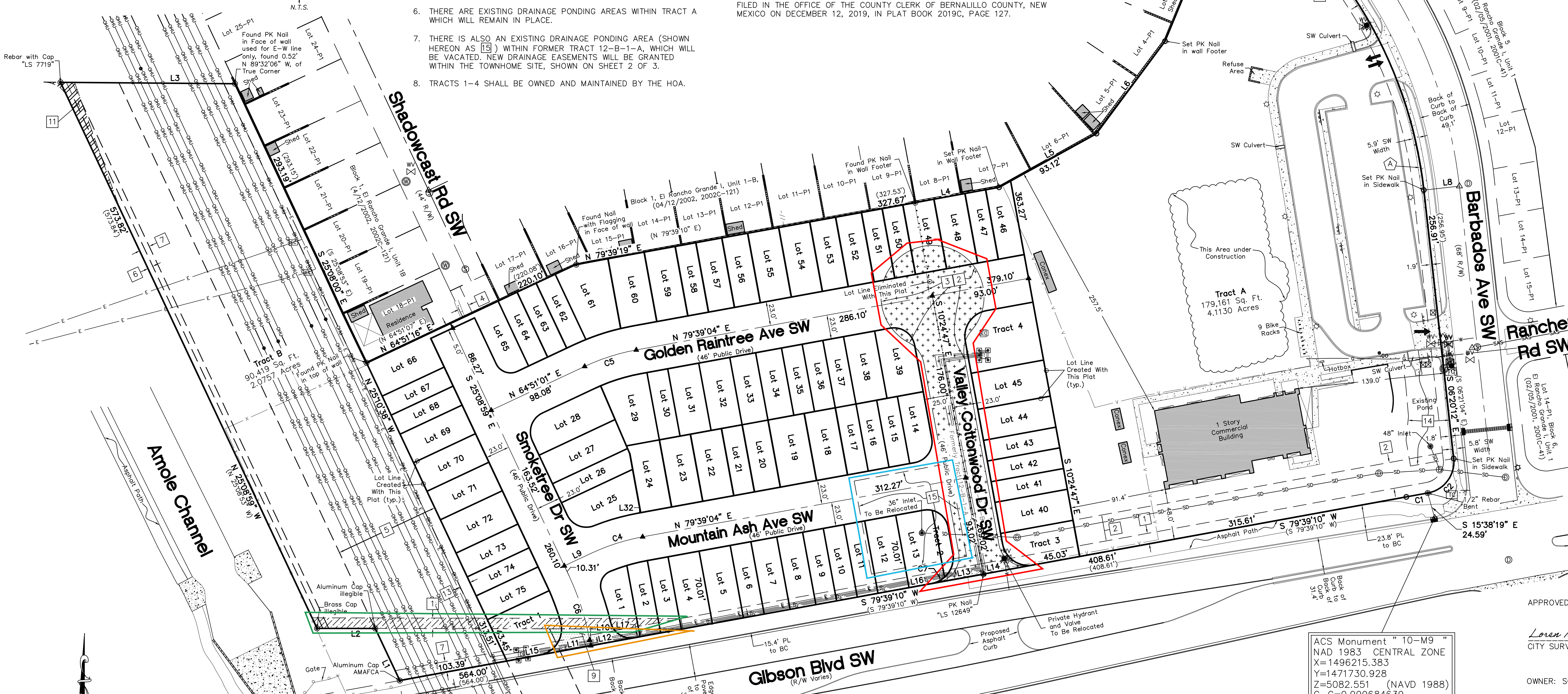
ACS Monument "6-M10"
 NAD 1983 CENTRAL ZONE
 X=149787.859
 Y=1471787.588
 Z=5050.537 (NAVD 1988)
 G-G=0.999685636
 Mapping Angle=-0°16'24.79"

Preliminary Plat for Sombra Del Oeste Being Comprised of Tracts 12-B-1-A and 12-B-1-B El Rancho Grande I City of Albuquerque Bernalillo County, New Mexico February 2022

Legend

N 90°00'00" E	MEASURED BEARINGS AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT (12/12/2019, 2019C-127)
[N 90°00'00" E]	RECORD BEARINGS AND DISTANCES PER PLAT (08/15/2003, 2003C-249)
●	FOUND MONUMENT AS INDICATED
○	SET 1/2" REBAR WITH CAP "LS 18374" UNLESS OTHERWISE NOTED
△	FOUND CENTERLINE MONUMENT "LS 7719" UNLESS OTHERWISE NOTED
▲	CENTERLINE MONUMENT STAMPED "LS 18374" TO BE SET
⊠	COVERED AREA
■	CONCRETE
—x—	GUARD RAIL
—x—x—	WIRE FENCE
—x—x—x—	BLOCK WALL
— — — —	PIPE FENCE
—v—v—v—	VINYL FENCE
—w—w—w—	WOOD FENCE
—h—h—h—	HANDRAIL
□	UTILITY PEDESTAL
○	BOLLARD
—o—o—	OVERHEAD UTILITY LINE
•	UTILITY POLE
⊔	ANCHOR
⊔	PULL BOX
⊔	LIGHT POLE
⊔	TRANSFORMER
⊔	ELECTRIC CABINET
⊔	WATER VALVE
⊔	WATER METER
⊔	FIRE HYDRANT
⊔	SANITARY SEWER MANHOLE
⊔	STORM DRAIN MANHOLE
⊔	SAS CLEANOUT
⊔	STORM DRAIN INLET
⊔	DRIP INLET
⊔	IRRIGATION BOX
⊔	SIGN
⊔	CURB CUT/INDICATION OF ACCESS TO ROADWAY
—g—	UNDERGROUND GAS UTILITY LINE
—w—	UNDERGROUND WATER UTILITY LINE
—sd—	UNDERGROUND STORM DRAIN UTILITY LINE
—e—	UNDERGROUND ELECTRIC UTILITY LINE

Vicinity Map - Zone Atlas M-9-Z



APPROVED FOR MONUMENTATION AND STREET NAMES

Loren N. Risenhoover P.S. 2/8/2022
 CITY SURVEYOR DATE

OWNER: SOLARE COLLEGIATE FOUNDATION
 BY: RACHEL SEWARDS
 ITS: REGISTERED AGENT
 Rachael Sowards 2/11/22
 DATE

RACHEL SEWARDS
 REGISTERED AGENT
 SOLARE COLLEGIATE FOUNDATION

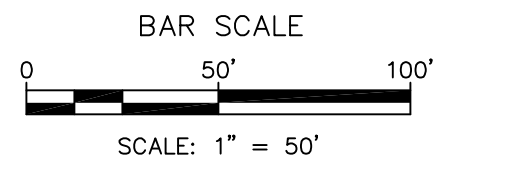
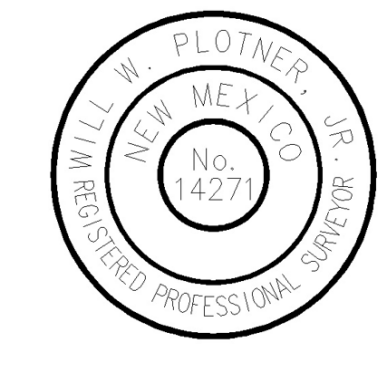
CSI-CARTESIAN SURVEYS INC.
 P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244
 wplotnerjr@gmail.com Sheet 1 of 3
 210981

Surveyor's Certificate

I, WILL PLOTNER JR., A REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PRELIMINARY PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, THE INTERESTED PARTIES AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS FOR THE CITY OF ALBUQUERQUE AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

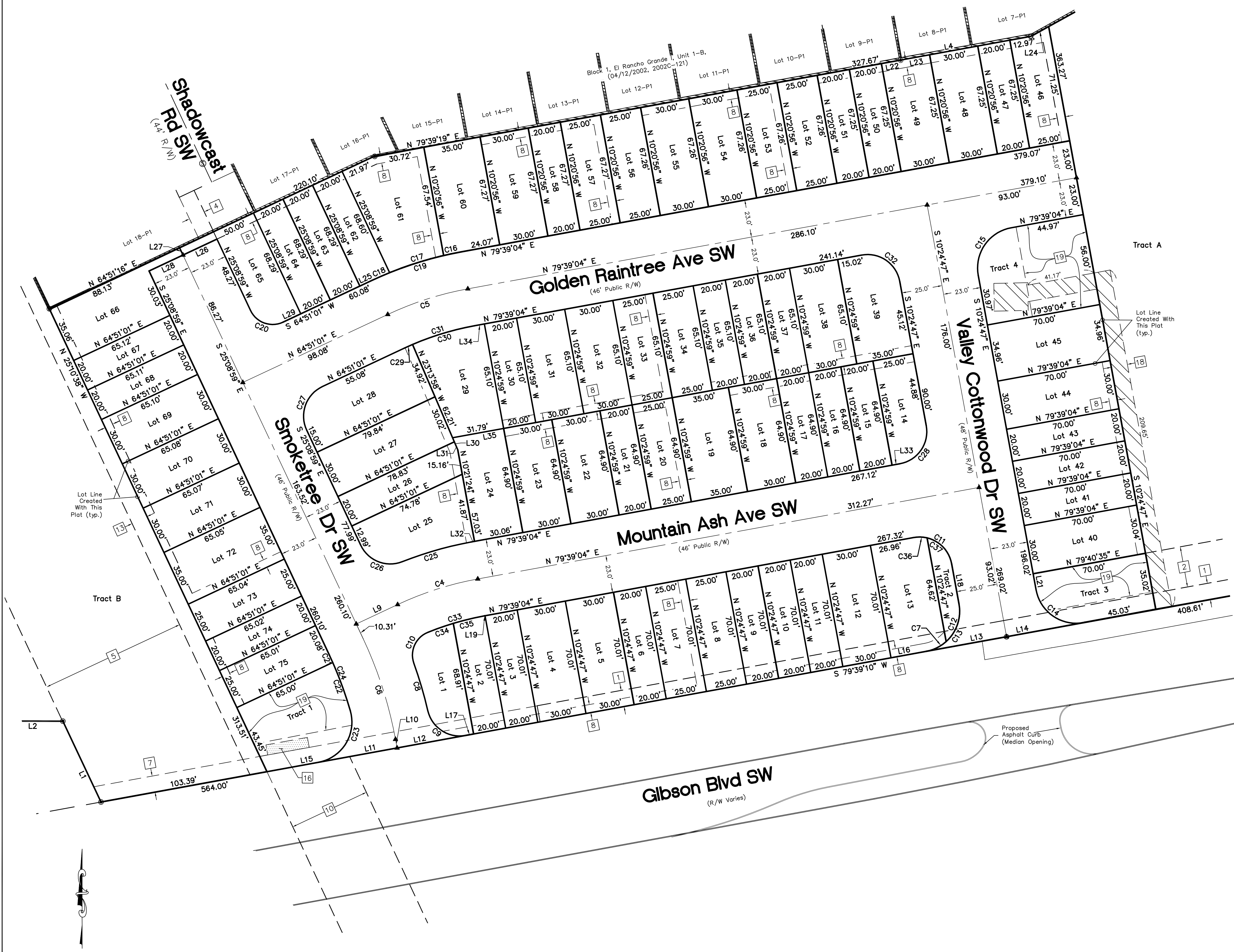
Will Plotner Jr. 3/14/2022
 N.M.R.P.S. No. 14271 Date

ACS Monument "10-M9"
 NAD 1983 CENTRAL ZONE
 X=1496215.383
 Y=1471730.928
 Z=5082.551 (NAVD 1988)
 G-G=0.999684639
 Mapping Angle=-0°16'35.92"



This Sheet Shows
Townhome Details and
Post-Plat Easements Only

Preliminary Plat for
Sombra Del Oeste
Being Comprised of
Tracts 12-B-1-A and 12-B-1-B
El Rancho Grande I
City of Albuquerque
Bernalillo County, New Mexico
February 2022

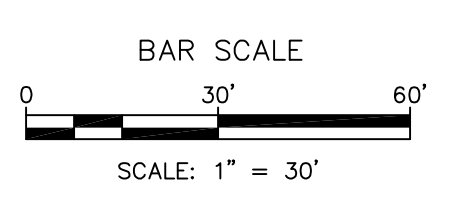


Parcel Name	Area (Acres)	Area (Sq. Ft.)
Lot 1	0.0379	1,649
Lot 2	0.0320	1,393
Lot 3	0.0321	1,400
Lot 4	0.0482	2,100
Lot 5	0.0482	2,100
Lot 6	0.0321	1,400
Lot 7	0.0402	1,750
Lot 8	0.0402	1,750
Lot 9	0.0321	1,400
Lot 10	0.0321	1,400
Lot 11	0.0321	1,400
Lot 12	0.0482	2,100
Lot 13	0.0558	2,430
Lot 14	0.0353	1,536
Lot 15	0.0298	1,298
Lot 16	0.0298	1,298
Lot 17	0.0298	1,298
Lot 18	0.0447	1,947
Lot 19	0.0521	2,272
Lot 20	0.0372	1,622

Parcel Name	Area (Acres)	Area (Sq. Ft.)
Lot 21	0.0298	1,298
Lot 22	0.0447	1,947
Lot 23	0.0447	1,947
Lot 24	0.0449	1,956
Lot 25	0.0546	2,378
Lot 26	0.0355	1,545
Lot 27	0.0546	2,380
Lot 28	0.0626	2,729
Lot 29	0.0572	2,491
Lot 30	0.0299	1,302
Lot 31	0.0448	1,953
Lot 32	0.0448	1,953
Lot 33	0.0374	1,628
Lot 34	0.0374	1,628
Lot 35	0.0299	1,302
Lot 36	0.0299	1,302
Lot 37	0.0299	1,302
Lot 38	0.0448	1,953
Lot 39	0.0503	2,193
Lot 40	0.0482	2,101

Parcel Name	Area (Acres)	Area (Sq. Ft.)
Lot 41	0.0321	1,400
Lot 42	0.0321	1,400
Lot 43	0.0321	1,400
Lot 44	0.0482	2,100
Lot 45	0.0562	2,448
Lot 46	0.0391	1,703
Lot 47	0.0309	1,345
Lot 48	0.0463	2,017
Lot 49	0.0463	2,018
Lot 50	0.0309	1,345
Lot 51	0.0309	1,345
Lot 52	0.0386	1,681
Lot 53	0.0386	1,681
Lot 54	0.0463	2,018
Lot 55	0.0463	2,018
Lot 56	0.0386	1,682
Lot 57	0.0386	1,682
Lot 58	0.0309	1,345
Lot 59	0.0463	2,018
Lot 60	0.0541	2,355

Parcel Name	Area (Acres)	Area (Sq. Ft.)
Lot 61	0.0690	3,006
Lot 62	0.0314	1,367
Lot 63	0.0314	1,366
Lot 64	0.0314	1,366
Lot 65	0.0439	1,911
Lot 66	0.0551	2,399
Lot 67	0.0299	1,302
Lot 68	0.0299	1,302
Lot 69	0.0448	1,953
Lot 70	0.0448	1,952
Lot 71	0.0448	1,952
Lot 72	0.0523	2,277
Lot 73	0.0373	1,626
Lot 74	0.0299	1,300
Lot 75	0.0373	1,625
Public Right of Way	1.5434	67,231
Tract 1	0.0696	3,031
Tract 2	0.0146	636
Tract 3	0.0532	2,319
Tract 4	0.0869	3,786



**Preliminary Plat for
Sombra Del Oeste**
Being Comprised of
Tracts 12-B-1-A and 12-B-1-B
El Rancho Grande I
City of Albuquerque
Bernalillo County, New Mexico
February 2022

**This Sheet Shows
Line/Curve Tables, All
Easement Notes and
Additional Notes**

Line #	Direction	Length (ft)
L1	N 25°14'33" W (N 25°12'42" W)	54.77' (54.71')
L2	N 89°53'21" W (N 89°49'19" W)	55.33' (55.32')
L3	S 89°32'06" E (S 89°29'58" E)	166.37' (166.40')
L4	N 79°39'19" E (N 79°39'10" W)	81.02' (81.10')
L5	N 61°07'11" E (N 61°07'02" E)	105.73' (105.71')
L6	N 36°33'03" E (N 36°32'54" W)	109.49' (109.47')
L7	N 22°26'54" E (N 22°26'44" W)	170.33' (170.30')
L8	N 83°39'48" E	34.00' (34.00')
L9	N 64°51'01" E	28.01'
L10	N 10°20'56" W	5.38'
L11	S 79°39'10" W	48.96'
L12	S 79°39'10" W	42.63'
L13	S 79°39'10" W	50.03'
L14	S 79°39'10" W	47.97'
L15	S 79°39'10" W	32.04'
L16	S 79°39'10" W	21.91'
L17	S 79°39'10" W	5.05'
L18	S 10°24'47" E	25.01'
L19	N 79°39'04" W	0.36'
L20	N 79°35'13" E	41.17'
L21	N 10°24'47" W	10.08'
L22	N 79°39'19" E	11.95'
L23	N 79°39'19" E	18.05'
L24	N 61°07'11" E	12.60'
L25	S 64°51'01" W	8.08'
L26	S 64°51'07" W	23.00'
L27	N 25°08'44" W	5.03'
L28	S 64°51'07" W	23.00'
L29	S 64°51'01" W	12.00'
L30	S 23°13'58" E	8.07'
L31	N 23°13'58" W	5.35'
L32	S 79°39'04" W	2.19'
L33	S 79°39'04" W	4.97'
L34	S 79°39'04" W	6.12'
L35	S 79°39'04" W	31.79'
L36	N 00°37'18" W	1.50'
L37	N 88°46'17" E	20.87'
L38	N 00°49'29" W	17.00'
L39	N 88°46'17" E	20.81'
L40	N 00°37'18" W	5.36'
L41	N 79°35'13" E	42.90'
L42	N 79°39'10" E	4.94'
L43	N 79°39'10" E	25.83'

Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	20.87' (20.96')	10232.99' (10232.99')	0°07'01"	20.87'	S 79°42'40" W
C2	45.06' (45.05')	29.98' (29.98')	86°06'23"	40.93'	S 36°42'59" W
C3	360.78' (360.68') [360.68']	416.00' (416.03') [416.00']	49°41'24"	349.58'	S 31°10'54" E
C4	51.66'	200.00'	14°48'03"	51.52'	S 72°15'02" W
C5	51.66'	200.00'	14°48'03"	51.52'	S 72°15'02" W
C6	64.58'	250.00'	14°48'03"	64.40'	N 17°44'58" W
C7	13.78'	25.00'	31°34'32"	13.60'	N 63°51'47" W
C8	30.38'	270.74'	6°25'45"	30.36'	N 16°24'34" W
C9	30.42'	20.00'	87°08'20"	27.57"	N 56°46'46" W
C10	22.92'	15.00'	87°31'49"	20.75'	S 24°08'18" W
C11	31.39'	20.00'	89°56'09"	28.27"	N 55°22'52" W
C12	25.52'	25.00'	58°29'18"	24.43"	N 18°49'52" E
C13	39.30'	25.00'	90°03'50"	35.38'	N 34°37'08" E
C14	39.24'	25.00'	89°56'09"	35.34'	S 55°22'52" E
C15	39.30'	25.00'	90°03'51"	35.38'	S 34°37'08" W
C16	10.93'	223.00'	2°48'34"	10.93'	S 78°14'47" W
C17	34.75'	223.00'	8°55'41"	34.71'	S 72°22'39" W
C18	11.92'	223.00'	3°03'48"	11.92'	S 66°22'55" W
C19	57.61'	223.00'	14°48'03"	57.45'	S 72°15'02" W
C20	23.56'	15.00'	90°00'00"	21.21"	S 70°08'59" E
C21	4.92'	227.00'	1°14'34"	4.92'	N 24°31'42" W
C22	31.63'	227.00'	7°58'58"	31.60'	N 19°54'56" W
C23	41.70'	25.00'	95°34'33"	37.03"	N 31°51'54" E
C24	36.56'	227.00'	91°3'36"	36.52"	N 20°32'11" W
C25	43.84'	223.00'	11°15'49"	43.77"	S 74°01'09" W
C26	30.18'	20.00'	86°27'46"	27.40"	S 68°22'52" E
C27	31.42'	20.00'	90°00'00"	28.28"	S 19°51'01" W
C28	31.44'	20.00'	90°03'51"	28.30"	N 34°37'08" E
C29	5.92'	177.00'	1°55'01"	5.92'	S 65°48'32" W
C30	39.80'	177.00'	12°53'01"	39.72"	S 73°12'33" W
C31	45.72'	177.00'	14°48'03"	45.60"	S 72°15'02" W
C32	31.39'	20.00'	89°56'09"	28.27"	N 55°22'52" W
C33	36.29'	177.00'	11°44'51"	36.23"	S 73°46'38" W
C34	16.61'	177.00'	5°22'40"	16.61"	S 70°35'32" W
C35	19.68'	177.00'	6°22'11"	19.67"	S 76°27'58" W
C36	8.28'	20.00'	23°43'23"	8.22"	N 88°29'15" W
C37	23.11'	20.00'	66°12'46"	21.85"	N 43°31'10" W

Documents

- TITLE COMMITMENT PROVIDED BY STEWART TITLE, HAVING FILE NO. 1037841 AND AN EFFECTIVE DATE OF MAY 17, 2021.
- PLAT OF RECORD FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON DECEMBER 12, 2019, IN BOOK 2019C, PAGE 127.
- PLAT OF EL RANCHO GRANDE I, UNIT 1-B, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON APRIL 12, 2002, IN BOOK 2002C, PAGE 121.
- WARRANTY DEED FOR SUBJECT PROPERTY, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON JUNE 3, 2019, AS DOCUMENT NO. 2019045667.
- PLAT FOR AMOLE CHANNEL DRAINAGE RIGHTS-OF-WAY, TRACTS 1 THRU 5, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON DECEMBER 11, 2009, IN BOOK 2009C, PAGE 171, AS DOCUMENT NO. 2009135016.

Flood Notes

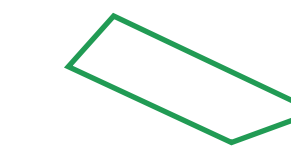
BASED UPON SCALING, THIS PROPERTY LIES WITHIN FLOOD ZONE X WHICH IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD AS DETERMINED BY F.E.M.A. AND SHOWN ON THE FLOOD INSURANCE RATE MAP NO. 35001C0336H, DATED AUGUST 16, 2012.

Drainage Facilities Note

AREAS DESIGNATED ON THE ACCOMPANYING PLAT AS "DRAINAGE EASEMENTS" ARE HEREBY DEDICATED BY THE OWNER AS A PERPETUAL EASEMENT FOR THE COMMON USE AND BENEFIT OF THE VARIOUS LOTS WITHIN THE SUBDIVISIONS FOR THE PURPOSE OF PERMITTING THE CONVEYANCE OF STORM WATER RUNOFF AND THE CONSTRUCTING AND MAINTAINING OF DRAINAGE FACILITIES. GRANTOR SHALL CONSTRUCT DRAINAGE FACILITIES IN THE EASEMENT IN ACCORDANCE WITH STANDARDS PRESCRIBED BY THE CITY AND PLANS AND SPECIFICATIONS APPROVED BY THE CITY ENGINEER IN ACCORDANCE WITH THE DRAINAGE REPORT ENTITLED "SOMBRA DEL OESTE", SUBMITTED BY THOMPSON ENGINEERING CONSULTANTS, INC., ON FEBRUARY 8, 2022, AND APPROVED BY THE ALBUQUERQUE CITY ENGINEER ON MARCH 14, 2022. NO FENCE, WALL, PLANTING, BUILDING OR OTHER OBSTRUCTION MAY BE PLACED OR MAINTAINED IN EASEMENT AREA WITHOUT APPROVAL OF THE CITY ENGINEER OF THE CITY OF ALBUQUERQUE. THERE ALSO SHALL BE NO ALTERATION OF THE GRADES OR CONTOURS IN SAID EASEMENT AREA WITHOUT THE APPROVAL OF THE CITY ENGINEER. IT SHALL BE THE DUTY OF THE LOT OWNERS OF THIS SUBDIVISION TO MAINTAIN SAID DRAINAGE EASEMENT AND FACILITIES AT THEIR COST IN ACCORDANCE WITH STANDARDS PRESCRIBED BY THE CITY OF ALBUQUERQUE. THE CITY SHALL HAVE THE RIGHT TO ENTER PERIODICALLY TO INSPECT THE FACILITIES. IN THE EVENT SAID LOT OWNERS FAIL TO ADEQUATELY AND PROPERLY MAINTAIN DRAINAGE EASEMENT AND FACILITIES, AT ANY TIME FOLLOWING FIFTEEN (15) DAYS WRITTEN NOTICE TO SAID LOT OWNERS, THE CITY MAY ENTER UPON SAID AREA, PERFORM SAID MAINTENANCE, AND THE COST OF PERFORMING SAID MAINTENANCE SHALL BE PAID BY APPLICABLE LOT OWNERS PROPORTIONATELY ON THE BASIS OF LOT OWNERSHIP. IN THE EVENT LOT OWNERS FAIL TO PAY THE COST OF MAINTENANCE WITHIN THIRTY (30) DAYS AFTER DEMAND FOR PAYMENT MADE BY THE CITY, THE CITY MAY FILE A LIEN AGAINST ALL LOTS IN THE SUBDIVISION FOR WHICH PROPORTIONATE PAYMENT HAS NOT BEEN MADE. THE OBLIGATIONS IMPOSED HEREIN SHALL BE BINDING UPON THE OWNER, HIS HEIRS, AND ASSIGNS AND SHALL RUN WITH ALL LOTS WITHIN THIS SUBDIVISION. THE GRANTOR AGREES TO DEFEND, INDEMNIFY, AND HOLD HARMLESS, THE CITY, ITS OFFICIALS, AGENTS AND EMPLOYEES FROM AND AGAINST ANY AND ALL CLAIMS, ACTIONS, SUITS, OR PROCEEDINGS OF ANY KIND BROUGHT AGAINST SAID PARTIES FOR OR ON ACCOUNT OF ANY MATTER ARISING FROM THE DRAINAGE FACILITY PROVIDED FOR HEREIN OR THE GRANTOR'S FAILURE TO CONSTRUCT, MAINTAIN, OR MODIFY SAID DRAINAGE FACILITY.

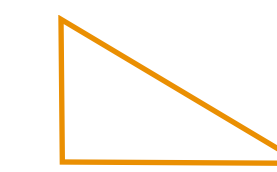
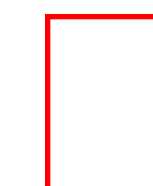
Notes

- FIELD SURVEY PERFORMED IN MAY 2021 AND SUPPLEMENTAL DATA IN AUGUST 2021.
- ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
- THE BASIS OF BEARINGS REFERENCES NM STATE PLANE COORDINATES (NAD 83-CENTRAL ZONE).
- LOTS LINES TO BE ELIMINATED SHOWN HEREON AS _____
- THE SUBDIVISION WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN HEREON.
- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN HEREON AS (O) SHALL BE MARKED BY A 1/2" REBAR WITH CAP STAMPED "LS 18374".

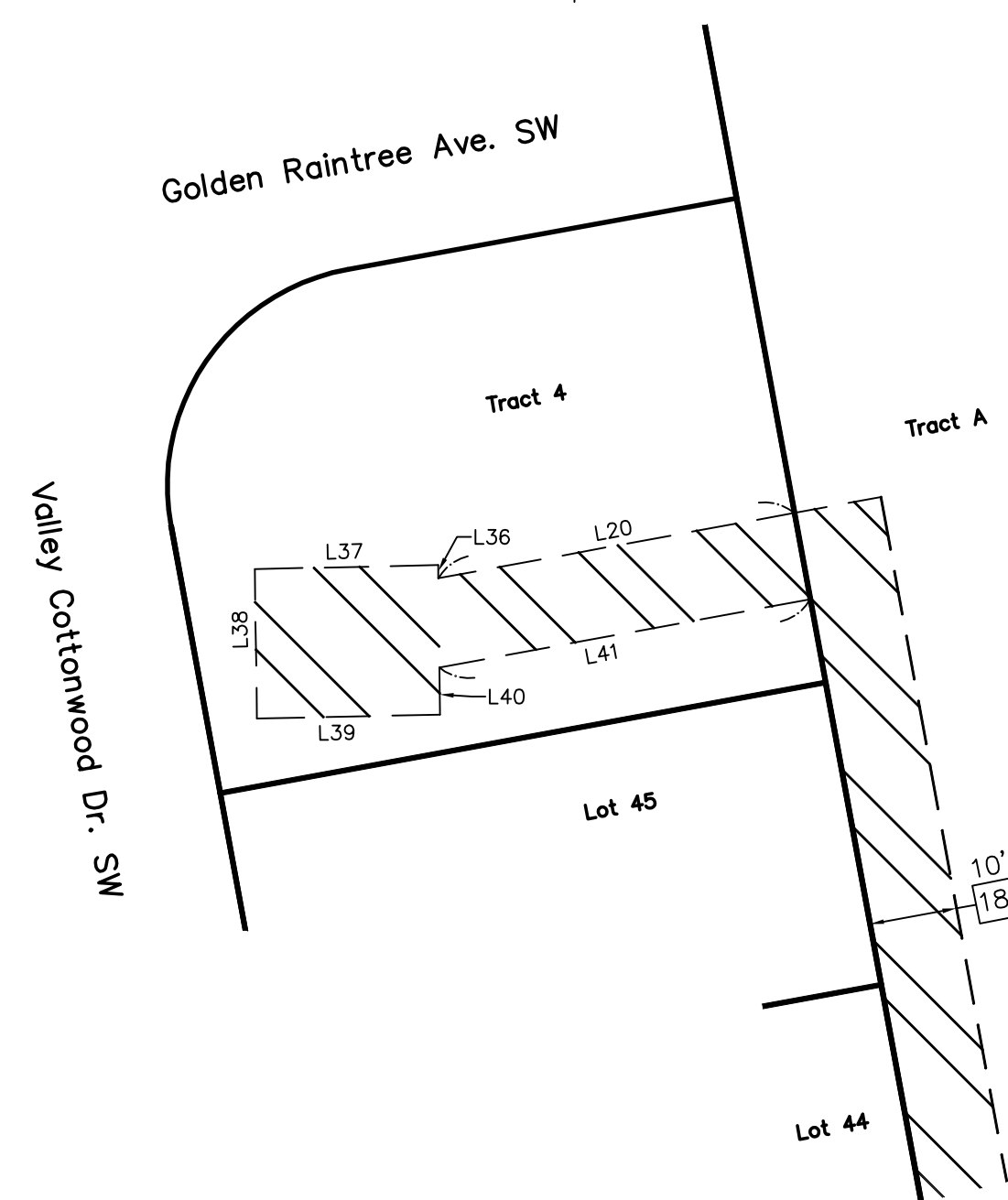


Easement and Drainage Notes

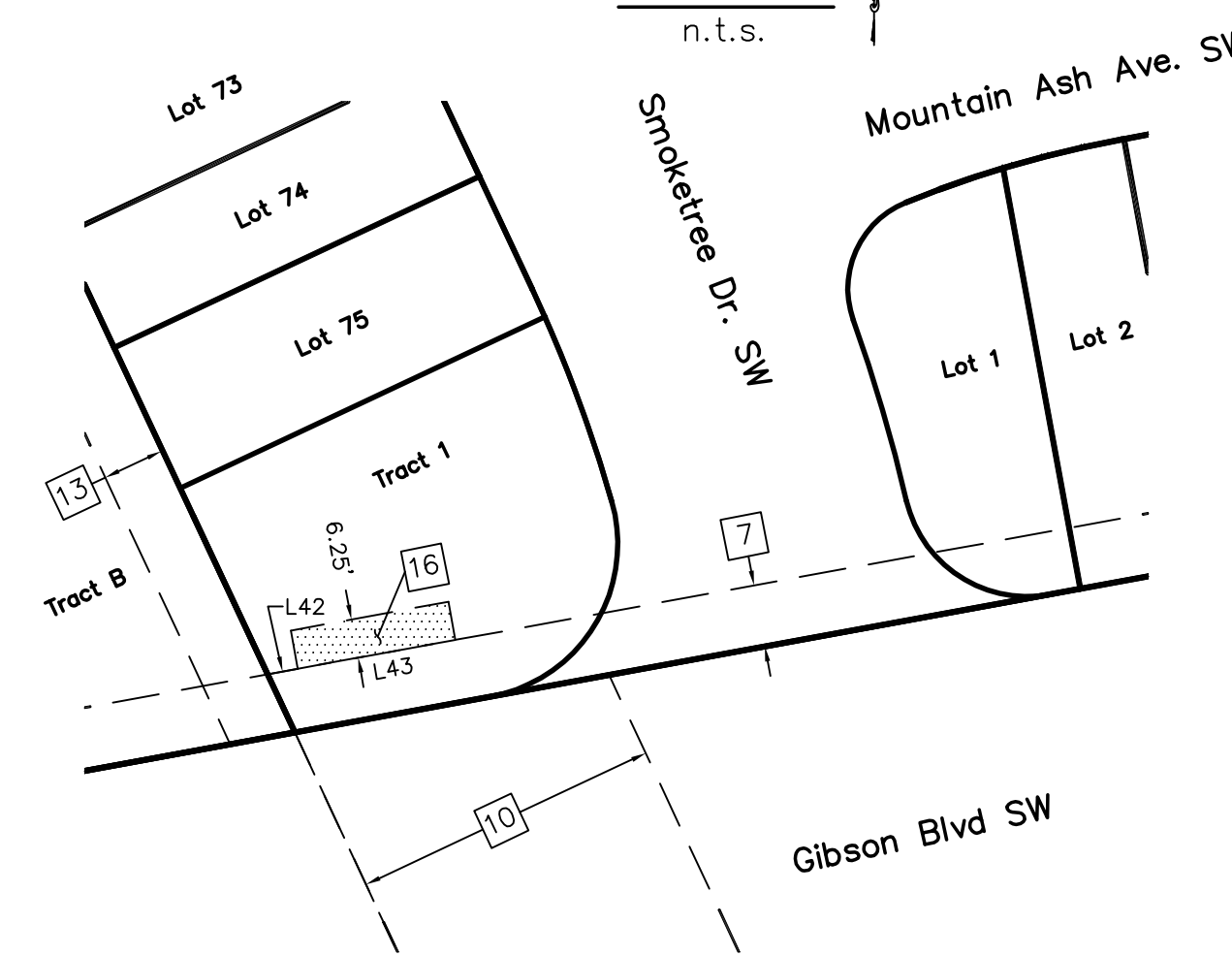
- EXISTING 10' PNM EASEMENT (2/22/2001, 2001C-57) PORTION VACATED WITH THIS PLAT SHOWN HEREON AS [Symbol]
- EXISTING 25' PRIVATE STORM DRAIN EASEMENT BENEFITING TRACTS 12-B-1-A AND 12-B-1-B AND MAINTAINED BY TRACT 12-B-1-B (12/12/2019, 2019C-127) PORTION VACATED WITH THIS PLAT SHOWN HEREON AS [Symbol]
- EXISTING PRIVATE ACCESS EASEMENT BENEFITING AND MAINTAINED BY THE OWNERS OF TRACTS 12-B-1-A AND 12-B-1-B (12/12/2019, 2019C-127) VACATED WITH THIS PLAT SHOWN HEREON AS [Symbol]
- EXISTING 10' PUBLIC PEDESTRIAN ACCESS EASEMENT (4/12/2002, 2002C-121)
- EXISTING 100' PNM EASEMENT (4/12/1956, BK. D348, PG. 43, DOC. NO. 91883)
- EXISTING 5' PNM EASEMENT (1/8/2002, 2002C-7)
- EXISTING 10' PUE (8/15/2003, 2003C-249)
- 5' PRIVATE DRAINAGE EASEMENT BENEFITING AND MAINTAINED BY THE OWNERS OF LOTS 1-75 AND TRACTS 1-4 GRANTED WITH THE FILING OF THIS PLAT
- EXISTING 20' PUBLIC PERMANENT WATERLINE EASEMENT (10/25/1985, BK. MISC. 284-A, PG. 668-671, DOC. NO. 1985090123) VACATED WITH THIS PLAT SHOWN HEREON AS [Symbol]. SEE DETAIL A, SHEET 3 OF 3
- EXISTING 50' PUBLIC PERMANENT ACCESS ROAD AND WATERLINE EASEMENT (10/25/1985, BK. MISC. 284-A, PG. 668-671, DOC. NO. 1985090123) PORTION VACATED WITH THIS PLAT. SEE DETAIL A, SHEET 3 OF 3
- EXISTING AMAFCA DRAINAGE EASEMENT (10/7/2005, DOC. NO. 2005149548) SHOWN HEREON AS [Symbol]
- EXISTING UNOBSTRUCTED LINE OF SIGHT EASEMENT (1/8/2002, 2002C-7) SHOWN HEREON AS [Symbol]
- EXISTING UNDERGROUND PNM EASEMENT (10/4/2005, BK. A104, PG. 6254, DOC. NO. 2005146656)
- AREA OUTLINED BY DRAINAGE COVENANT (9/17/2019, DOC. NO. 2019078629)
- AREA OUTLINED BY DRAINAGE COVENANT (9/17/2019, DOC. NO. 2019078634) VACATED WITH THIS PLAT
- 6.25' X 25.83' PNM EASEMENT GRANTED WITH THE FILING OF THIS PLAT, SHOWN HEREON AS [Symbol]. SEE DETAIL C ON SHEET 3 OF 3
- INTENTIONALLY OMITTED
- 10' P.U.E. GRANTED WITH THE FILING OF THIS PLAT, SHOWN HEREON AS [Symbol]. SEE DETAIL B SHEET 3 OF 3
- PRIVATE DRAINAGE PONDING EASEMENT BENEFITING LOTS 1-75 AND TRACTS 1-4 AND MAINTAINED BY THE OWNERS OF SAID LOTS AND TRACTS. GRANTED WITH THE FILING OF THIS PLAT



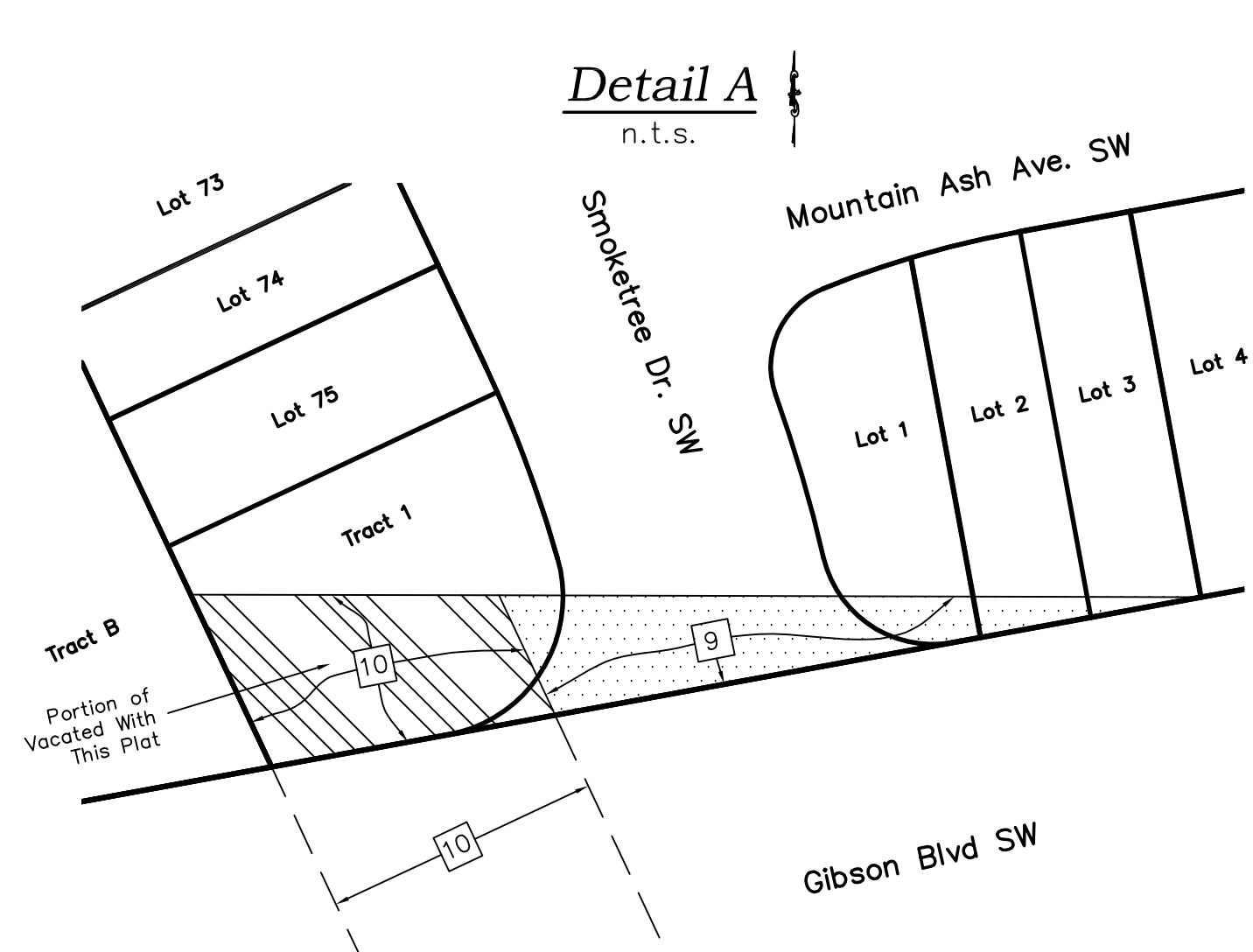
Detail B
n.t.s.



Detail C
n.t.s.



Detail A
n.t.s.



This Grant of Easement is given this 11 day of October, 1985, by BELLAMAH COMMUNITY DEVELOPMENT, a New Mexico general partnership ("Grantor"), to the CITY OF ALBUQUERQUE, New Mexico ("Grantee").

1. For valuable consideration received, Grantor hereby grants and conveys to Grantee a certain permanent access road and underground waterline utility easement and certain permanent waterline easements, none of which are exclusive, upon and across a portion of Section 4, T9N, R2E, N.M.P.M., as more particularly described and depicted as such in Exhibits "A" and "A-1" attached hereto and incorporated herein by reference (collectively "Premises"), subject to all easements, reservations, and restrictions of record.

2. Grantor hereby reserves to themselves the right to use the Premises to the extent such use does not unreasonably interfere with Grantee's use of the Premises, including, but not limited to, the right to improve and upgrade any roadway thereon. Grantor shall not use the Premises or grant to others rights to use the Premises in any manner that would violate any policy, rule or regulation of the City of Albuquerque.

3. The easements herein granted are for the sole purpose of constructing, operating and maintaining roadways and underground waterlines, and for no other purpose or use.

4. As part of the consideration of this grant, Grantee does hereby release Grantor from any and all claims for damages for whatsoever cause arising from the exercise of the rights herein granted, and further, the Grantee agrees to indemnify the Grantor from any and all liability that may arise as a result of Grantee's negligence in the construction and use of the easements for the purposes set forth herein to the extent allowed by New Mexico law.

5. Grantee, at its sole expense and responsibility, shall operate and maintain said easements in such a manner as not to interfere with the aforesaid rights of the Grantor in and to the Premises, and after each period of construction or maintenance by Grantee, Grantee shall, at its sole expense and responsibility, promptly restore the Premises to their same condition immediately prior to each such construction or maintenance.


6. Grantee shall be responsible for and pay any increase in ad valorem taxes assessed against the premises solely as a result of and directly attributable to the use of, or the construction or placement of improvements on, the Premises pursuant to the grant of this easement.

*See
11/1/85*

7. Said easement is and shall remain in effect until terminated in writing by the Grantee.

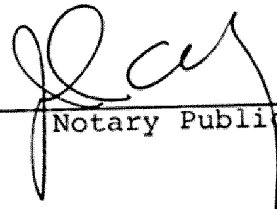
Executed on the day and year written above.

BELLAMAH COMMUNITY DEVELOPMENT,
a New Mexico general partnership

By 
D. T. Robertson
Senior Vice President
and Regional Manager

STATE OF NEW MEXICO)
) ss
COUNTY OF BERNALILLO)

The foregoing instrument was acknowledged before me
this 14th day of October, 1985, by D. T.
Robertson, Senior Vice President and Regional Manager of
BELLAMAH COMMUNITY DEVELOPMENT, a partnership.


Notary Public

My commission expires:
8/19/88



DESCRIPTION OF PERMANENT WELL SITE

A tract of land situate within the NW 1/4 of the NE 1/4 of Section 4, T.9N., R.2E., N.M.P.M., Bernalillo County, New Mexico, being a portion of the lands described in a Gilt Claim Deed filed in the office of the Bernalillo County Clerk in Volume D970, Folio 611-613, being more particularly described as follows:

Beginning at a point in said NW 1/4 of the NE 1/4 of Section 4, (said point being 50 feet from the east line of a Public Service Company of New Mexico Easement as recorded in the office of the Bernalillo County Clerk in Volume C348, Folio 43) from whence the northeast corner of said Section 4 (a 1" iron pipe) bears N56°32'00"E, 1913.02 feet; thence,

N64°47'12"E, 120.00 feet; thence,

S25°12'48"E, parallel to the east line of said Public Service Company of New Mexico easement, 120.00 feet; thence,

S64°47'12"W, 120.00 feet to a point 50 feet from the east line of said Public Service Company of New Mexico easement; thence,

N25°12'48"W, parallel to the east line of said Public Service Company of New Mexico easement, 120.00 feet to the point of beginning of the lands herein described containing 0.3306 acres, more or less.

DESCRIPTION OF TEMPORARY CONSTRUCTION EASEMENT

A fifty foot (50') wide strip of land being contiguous to all four (4) sides of the above described PERMANENT WELL SITE, except that fifty (50') wide strip of land within the PERMANENT ACCESS ROAD AND UNDERGROUND WATERLINE UTILITY EASEMENT described below containing 6.6887 acres more or less.

DESCRIPTION OF PERMANENT ACCESS ROAD AND UNDERGROUND WATERLINE UTILITY EASEMENT

Beginning at a point on the north line of Section 4, T.9N., R.2E., N.M.P.M. (said point also being 55.35 feet along said north line of Section 4, from the east line of a Public Service Co. of New Mexico easement, as recorded in the office of the Bernalillo County Clerk, in Volume D348, Folio 43), from whence the northeast corner of said Section 4 (a 1" iron pipe) bears S89°49'05"E, 2105.08 feet; thence,

S25°12'48"E, parallel to the east line of said Public Service Co. of New Mexico easement, 1110.88 feet to the northwest corner of the above described PERMANENT WELL SITE; thence,

S25°12'48"E, along the west line of the above described PERMANENT WELL SITE, 30.00 feet; thence,

S64°47'12"W, 50.00 feet to a point on the east line of said Public Service Co. of New Mexico easement; thence,

N25°12'48"W, along the east line of said Public Service Co. of New Mexico easement, 1164.62 feet to a point on the north line of said Section 4; thence,

S64°47'12"W, along the north line of said Section 4, 55.35 feet to the point of beginning of the lands herein described containing 1.3232 acres more or less.

DESCRIPTION OF PERMANENT WATERLINE EASEMENT #1

A 20 foot wide strip of land situate within the NE 1/4 of Section 4, T.9N., R.2E., N.M.P.M., being 10 feet right, north, and 10 feet left, south, of the following described centerline:

Beginning at a point on the east line of Section 4, T.9N., R.2E., from whence the northeast corner of said Section 4 bears N00°00'45"E, a distance of 10.00 feet; thence,

N39°49'05"W, parallel to and 10 feet from the north line of said Section 4, along said centerline, a distance of 2100.30 feet to a point on the easterly line of the above described PERMANENT ACCESS ROAD AND UNDERGROUND WATERLINE UTILITY EASEMENT, being the end of the easement herein described, containing 0.9673 acres more or less.

DESCRIPTION OF TEMPORARY CONSTRUCTION EASEMENT

A 50 foot wide strip of land being contiguous with the south boundary of the above described PERMANENT WATERLINE EASEMENT #1, containing 2.3916 acres more or less.

DESCRIPTION OF PERMANENT WATERLINE EASEMENT #2

A 20 foot wide strip of land situate within the NE 1/4 of Section 4, T.9N., R.2E., N.M.P.M., being 10 feet right, northerly and 10 feet left, southerly, of the following described centerline:

Beginning at a point on the westerly line of the above described PERMANENT ACCESS ROAD AND UNDERGROUND WATERLINE UTILITY EASEMENT (said point also being 462.34 feet along said westerly line from the north line of said Section 4), from whence the northeast corner of said Section 4 (a 1" iron pipe, bears N78°39'55"W, 2006.11 feet; thence,

S64°47'12"W, along said centerline, 150.00 feet to a point on the east line of A.M.A.F.C.A. Snow Vista Channel, being the end of the easement herein described, containing 0.0689 acres more or less.

DESCRIPTION OF TEMPORARY CONSTRUCTION EASEMENT

A 50 foot wide strip of land being contiguous with the northerly boundary of of the above described PERMANENT WATERLINE EASEMENT #2, containing 0.1722 acres more or less.

EXHIBIT "A"

ALBUQUERQUE NEW MEXICO	
LEAVITT WELL # 3	
	LAND REQUIRED FOR WELL SITE WASH LINE COLLECTOR LINE
	DRAWN BY PCS
	DATE MARCH 82
	SCALE AS SHOWN
GORDON HERKENHOFF & ASSOCIATES, INC.	
ENGINEERS ARCHITECTS PLANNERS	
ALBUQUERQUE	SAN ANTONIO

March '85 1647-B The 82 SHEET OF

SHAD
10/14/84

LEGAL DESCRIPTION FOR THE CITY OF ALBUQUERQUE LANDS, REQUIRED FOR A PERMANENT WELL SITE (LAVITT WELL NO. 2)

Project: Well Equipment 1985

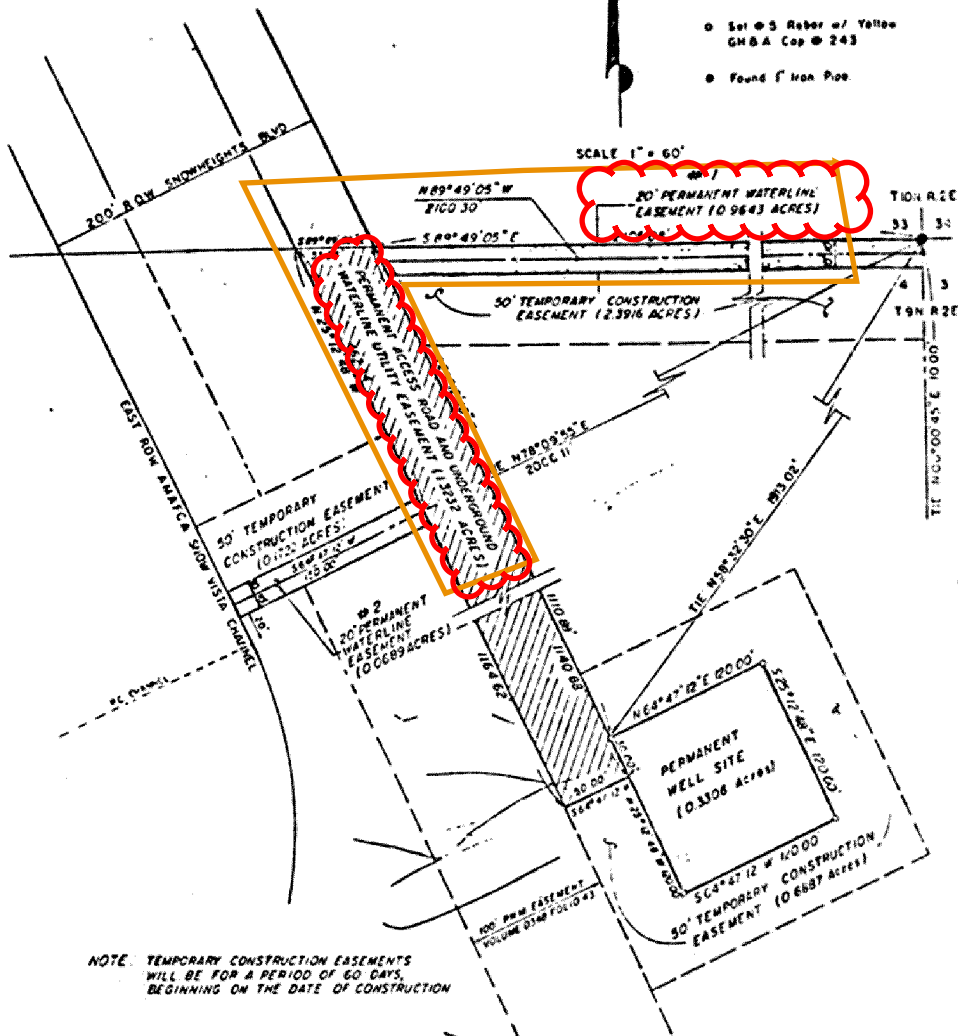
Site: A tract of land situate within the NW 1/4 of the NE 1/4 of Section 4, T9N, R2E, New Mexico Principal Meridian (N.M.P.M.), Bernalillo County, N. Mexico.

- NOTES: 1 Bearings shown are Grid
2 Dates of Bearings: Survey utilizing ACS
Base Cords 1-MB and 2-MV

0 671

LEGEND

- Set #3 Rebar w/ Yellow GMA Cap # 243
- Found Iron Pipe



NOTE: TEMPORARY CONSTRUCTION EASEMENTS WILL BE FOR A PERIOD OF 60 DAYS, BEGINNING ON THE DATE OF CONSTRUCTION

CERTIFICATE

I, Kim C. Waller, N.M.L.S. #182, do hereby certify that the following contained herein was prepared under my direction from surveys, plans and lists of public record, and is true and correct to the best of my knowledge.

Kim C. Waller

March 27, 1985



REVISED 4/30/85
REVISED 4/11/85

EXHIBIT "A-1"

STATE OF NEW MEXICO
COUNTY OF BERNALILLO
FILED FOR RECORD

1985 OCT 25 PM 2:06

M-284A PG. 668671
KIM C. WALLER
CLERK OF RECORD
Waller

*Sub
number*

DRAINAGE COVENANT

This Drainage Covenant (“Covenant”), between Solare Collegiate Foundation (“Owner”), whose address is 1623 La Vega Dr. SW, Albuquerque, NM 87105 and whose telephone number is (505) 917-6442 and the City of Albuquerque, a New Mexico municipal corporation (“City”), whose address is P.O. Box 1293, Albuquerque, New Mexico 87103, is made in Albuquerque, Bernalillo County, New Mexico and is entered into as of the date Owner signs this Covenant.

1. Recital. Owner is the current owner of certain real property described as: Tract 12-B-1, El Rancho Grande 1 in Bernalillo County, New Mexico (the “Property”). (Give legal description and filing information).

Pursuant to City ordinances, regulations and other applicable laws, the Owner is required to construct and maintain certain drainage facilities (“Drainage Facility”) on the Property, and the parties wish to enter into this Covenant to establish the obligations and responsibilities of the parties.

2. Description and Construction of Drainage Facilities. Owner shall construct the following “Drainage Facility” within the Property at Owner’s sole expense in accordance with the standard plans and specifications approved by the City pursuant to Drainage File No. M09D031, Temporary Pond.

The Drainage Facility is more particularly described in the attached Exhibit A. The Owner will not permit the Drainage Facility to constitute a hazard to the health or safety of the general public.

3. Maintenance of Drainage Facility. The Owner will maintain the Drainage Facility at the Owner’s cost in accordance with the approved Drainage Report and plans.

4. City’s Right of Entry. The City has the right to enter upon the Property at any time and perform whatever inspection, maintenance or repair of the Drainage Facility it deems appropriate, without liability to the Owner.

5. Demand for Construction or Repair. The City may send written notice (“Notice”) to the Owner requiring the Owner to construct or repair the Drainage Facility within thirty (30) days (“Deadline”) of receipt of the Notice, as provided in Section 11, and the Owner will comply promptly with the requirements of the Notice. The Owner will perform all required work by the Deadline, at Owner’s sole expense.

6. Failure to Perform by Owner and Emergency Work by City. If the Owner fails to comply with the terms of the Notice by the Deadline, or if the City determines that an emergency condition exists, the City may perform the work itself. The City may assess the Owner for the cost of the work and for any other expenses or damages, which result from Owner’s failure to perform. The Owner agrees promptly to pay the City the amount assessed. If the Owner fails to pay the City within thirty (30) days after the City gives the Owner written notice of the amount due, the City may

Doc# 2019078634

09/17/2019 11:17 AM Page: 1 of 5
COV R.\$25.00 Linda Stover, Bernalillo County



impose a lien against Owner's Property for the total resulting amount.

7. Liability of City for Repair after Notice or as a Result of Emergency. The City shall not be liable to the Owner for any damages resulting from the City's maintenance or repair following Notice to the Owner as required in this Covenant or in an emergency unless the damages are the result of the reckless conduct or gross negligence of the City

8. Indemnification. The Owner agrees to indemnify and save the City, its officials, agents and employees harmless from all claims, actions, suits and proceedings arising out of, or resulting from the Owner's negligent maintenance, construction, repair or use of the Drainage Facility. To the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Covenant, this Covenant to indemnify will not extend to liability, claims, damages, losses or expenses, including attorneys' fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the Owner or its agents or employees; or (2) the giving of or the failure to give directions or instructions by the Owner, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property.

9. Cancellation of Agreement and Release of Covenant. This Covenant may be released if the Drainage Facility is no longer required for the protection of the public health, safety and welfare by the City filing a "Notice of Release" with the Bernalillo County Clerk. The Notice of Release must be signed by the City's Chief Administrative Officer or his designee, and the approval of the City Hydrologist must be endorsed thereon.

10. Assessment. Nothing in this Covenant shall be construed to relieve the Owner, its heirs, assigns and successors from an assessment against the Owner's Property for improvements to the Property under a duly authorized and approved Special Assessment District. The parties specifically agree that the value of the Drainage Facility will not reduce the amount assessed by the City.

11. Notice. For purposes of giving formal written notice to the Owner, Owner's address is:

1623 La Vega Dr. SW, Albuquerque, NM 87105 _____

Notice may be given to the Owner either in person or by mailing the Notice by regular U.S. mail, postage paid. Notice will be considered to have been received by the Owner within three (3) days after the Notice is mailed if there is no actual evidence of receipt. The Owner may change Owner's address by giving written notice of the change by Certified Mail-Return Receipt Requested, to City Hydrologist, P.O. Box 1293, Albuquerque, New Mexico 87103.

12. Term. This Covenant shall continue until terminated by the City pursuant to Section 9 above.

13. Binding on Owner's Property. The covenants and obligations of the Owner set forth herein shall be binding on Owner, its heirs, personal representatives, assigns and successors and on

Owner's Property and shall constitute covenants running with the Owner's Property until released by the City.

14. Entire Agreement. This Covenant contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith regarding this subject matter.

15. Changes to Agreement. Changes to this Covenant are not binding unless made in writing, signed by both parties.

16. Construction and Severability. If any part of this Covenant is held to be invalid or unenforceable, the remainder of the Covenant will remain valid and enforceable if the remainder is reasonably capable of completion.

17. Captions. The captions to the sections or paragraphs of this Covenant are not part of this Covenant and will not affect the meaning of construction of any of its provisions.

OWNER: Solare Collegiate Foundation

CITY OF ALBUQUERQUE:

By [signature]: *Norma Binder*

By: *Amir A. Chene for (A)*

Name [print]: Norma Binder

Shahab Biazar, P.E., City engineer

Title: Secretary

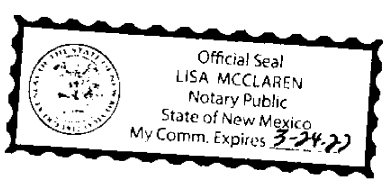
Dated: 9-13-19

Dated: 9/5/2019

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO)
)ss
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on this 5 day of September, 2019, by Norma Binder (name of person signing permit), Secretary (title of person signing permit) of Solare Collegiate Foundation (Owner).

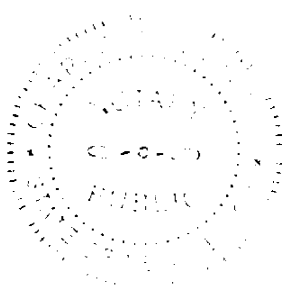


Lisa McClaren
Notary Public
My Commission Expires: 3-24-22

CITY'S ACKNOWLEDGMENT

STATE OF NEW MEXICO)
)ss
COUNTY OF BERNALILLO)

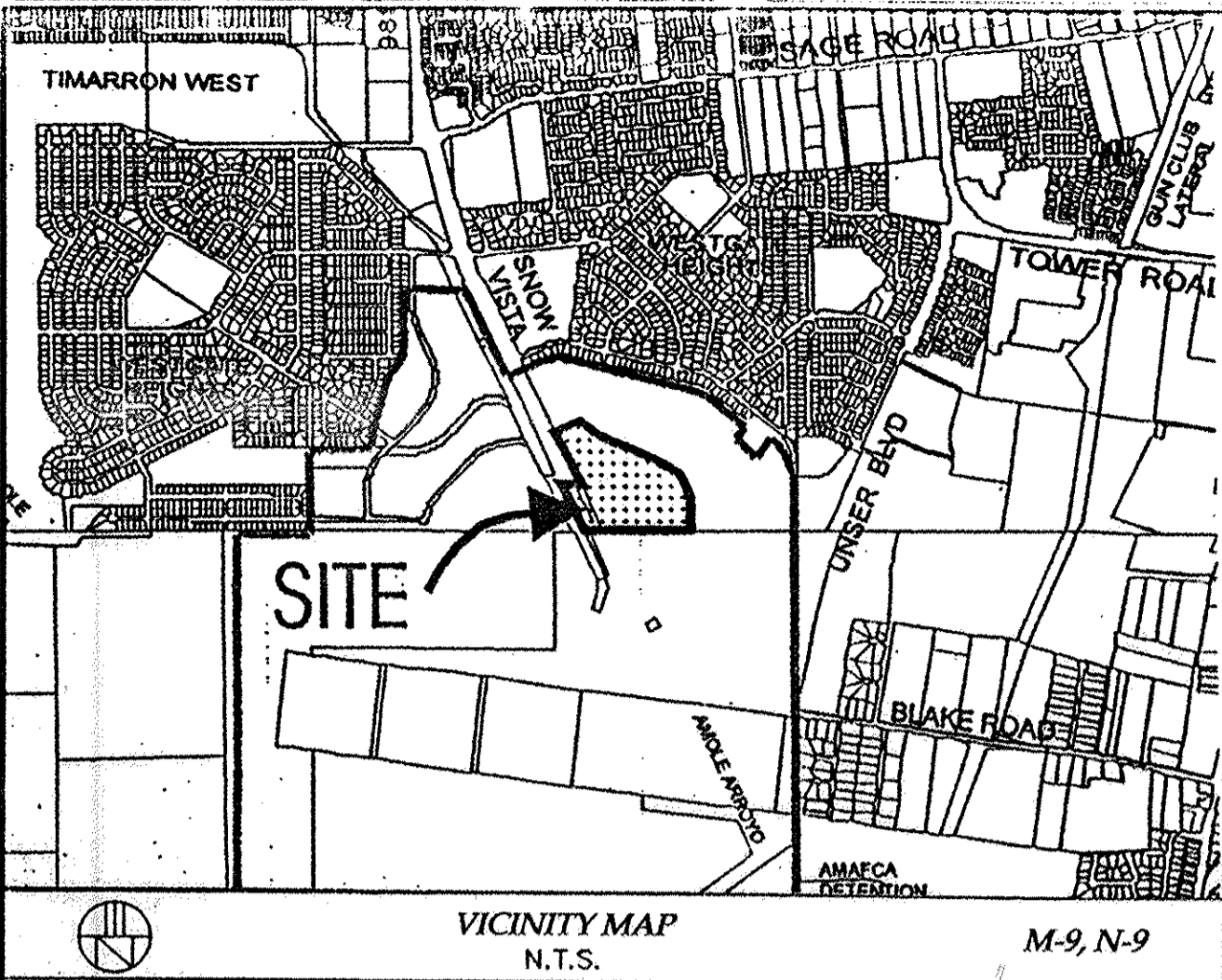
This instrument was acknowledged before me on this 13th day of September 2019, by Shahab Biazar, P.E., City Engineer, of the City of Albuquerque, a municipal corporation, on behalf of said corporation.



Charlotte RaBadie
Notary Public
My Commission Expires: March 15, 2021

(EXHIBIT A ATTACHED)

COMMUNITY SCIENCES CORPORATION - CORRALES, NEW MEXICO - (505) 897-0000



VICINITY MAP N.T.S. M-9, N-9

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5464268
Page: 1 of 3
02/22/2001 12:07P
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Tary Herrera Bern. Co. PLRT

BULK LAND PLAT

FOR

PARCEL 12, El Rancho Grande I

SITUATE WITHIN
PROJECTED SECTION 33, T10N, R2E, N.M.P.M.
TOWN OF ATRISCO GRANT,
CITY OF ALBUQUERQUE,
BERNALILLO COUNTY,
NEW MEXICO



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # 1-009-055-360030-40150

NOVEMBER 2000

CORRECTED PLAT

NOTICE OF SUBDIVISION PLAT CONDITIONS:

PURSUANT TO SECTION 7 OF THE CITY OF ALBUQUERQUE, NEW MEXICO SUBDIVISION ORDINANCE, A VARIANCE OR WAIVER FROM CERTAIN SUBDIVISION REQUIREMENTS HAS BEEN GRANTED BY THE CITY AND THE ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY IN CONNECTION WITH THIS PLAT.

FUTURE SUBDIVISION OF LANDS WITHIN THIS PLAT, ZONING SITE DEVELOPMENT PLAN APPROVALS, AND DEVELOPMENT PERMITS MAY BE CONDITIONED UPON DEDICATION OF RIGHTS-OF-WAY AND EASEMENTS, AND/OR UPON INFRASTRUCTURE IMPROVEMENTS BY THE OWNER FOR WATER, SANITARY SEWER, STREETS, DRAINAGE, GRADING, AND PARKS, IN ACCORDANCE WITH CURRENT RESOLUTIONS, ORDINANCES, AND POLICIES IN EFFECT AT THE TIME FOR ANY SPECIFIC PROPOSAL.

THE CITY (AND AMAFCA, WITH REFERENCE TO DRAINAGE) MAY REQUIRE AND/OR PERMIT EASEMENTS TO BE ADDED, MODIFIED, OR REMOVED WHEN FUTURE PLATS AND/OR SITE DEVELOPMENT PLANS ARE APPROVED.

BY ITS APPROVAL, THE CITY MAKES NO REPRESENTATION OR WARRANTIES AS TO AVAILABILITY OF UTILITIES, OR FINAL APPROVAL OF ALL REQUIREMENTS INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING ITEMS:

- WATER AND SANITARY SEWER AVAILABILITY,
- FUTURE STREET DEDICATIONS AND/OR IMPROVEMENTS,
- PARKS AND OPEN SPACE REQUIREMENTS,
- DRAINAGE REQUIREMENTS AND/OR IMPROVEMENTS,
- EXCAVATION, FILLING, OR GRADING REQUIREMENTS.

ANY PERSON INTENDING DEVELOPMENT OF LANDS WITHIN THIS SUBDIVISION IS CAUTIONED TO INVESTIGATE THE STATUS OF THESE ITEMS.

A SEPARATE NOTICE OF THESE CONDITIONS IS TO BE RECORDED WITH THE COUNTY CLERK AT THE TIME OF FINAL PLAT RECORDING.

FREE CONSENT AND DEDICATION:

THE SUBDIVISION SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDER SIGNED OWNERS THEREOF AND SAID OWNERS DO HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHTS-OF-WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS AND DO HEREBY GRANT: ALL ACCESS, UTILITY AND DRAINAGE EASEMENTS SHOWN HEREON INCLUDING THE UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE. SAID OWNERS DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

OWNER SIGNATURE: Joseph L. Weratz, President DATE: 11-29-00

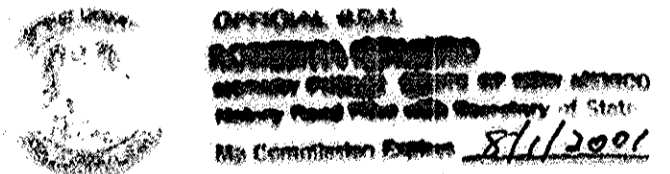
OWNER PRINTED NAME: Albuquerque South G.P.

ADDRESS: P.O. Box 27047 Albuq. NM 87025

STATE OF NEW MEXICO)
COUNTY OF Bernalillo) SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 29th DAY OF November, 2000, BY Joseph L. Weratz, President of Arjay, Inc. ON BEHALF OF SAID COMPANY, ALBUQUERQUE SOUTH G.P.

BY: [Signature]
NOTARY PUBLIC



MY COMMISSION EXPIRES: 8/1/2001

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- A. THE PUBLIC SERVICE COMPANY OF NEW MEXICO, ELECTRICAL SERVICES FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- B. THE PUBLIC SERVICE COMPANY OF NEW MEXICO, GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES, AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- C. QWEST COMMUNICATIONS FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- D. COMCAST INTERCABLE FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL CABLE LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

SUBDIVISION DATA:

Application # 00440-00000-01694

CASE NO	1000152
GROSS SUBDIVISION ACREAGE	24.5037
ZONE ATLAS INDEX NO	M-9,N-9
NO. OF EXISTING PARCELS	1
NO. OF EXISTING LOTS	0
NO. OF LOTS CREATED	0
NO. OF PARCELS CREATED	2
MILES OF HALF-WIDTH STREETS CREATED	0
MILES OF FULL-WIDTH STREETS CREATED	0
DATE OF SURVEY	AUGUST, 1999
S.P. TALOS LOG NO	00101115040538

APPROVALS:

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, ARTICLE XI OF CHAPTER 7 OF THE REVISED ORDINANCES OF ALBUQUERQUE, NM.

- [Signature] CITY PLANNER ALBUQUERQUE PLANNING DIVISION DATE: 2/1/01
- [Signature] PARKS DESIGN AND GENERAL DEVELOPMENT, CMP Recreation DATE: 1/3/01
- [Signature] TRAFFIC ENGINEER, TRANSPORTATION DEPARTMENT DATE: 1-3-01
- [Signature] CITY ENGINEER, ENGINEERING DIVISION DATE: 1/3/01
- [Signature] ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY DATE: 1-3-00
- [Signature] UTILITY DEVELOPMENT DATE: 11/30/00
- [Signature] CITY SURVEYOR DATE: 11/30/00

- [Signature] QWEST COMMUNICATIONS, INC. DATE: 1-5-01
- [Signature] PNM GAS & ELECTRIC SERVICES DATE: 1-3-01
- [Signature] COMCAST INTERCABLE DATE: 1-5-01

Approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or encumbrance rights to which it may be entitled.

RECORDING DATE: 5 PAGE: 499

DISCLOSURE STATEMENT:

THE PURPOSE OF THIS PLAT IS TO CREATE AND DESCRIBE A PARCEL 12, BEING A PORTION OF THE SAME PARCEL 12 DESCRIBED ON WARRANTY DEED AND BOUNDARY SURVEY, DOC. NO. D250A-118-120, 9-12-85, AND TO GRANT PUBLIC ROADWAY, UTILITY AND DRAINAGE EASEMENTS.

NOTES:

- THE BEARING BASE FOR THIS PLAT IS NEW MEXICO COORDINATE SYSTEM, CENTRAL ZONE-NAD27, GRID BEARING, ESTABLISHED BY GPS POSITIONING FROM ACS CONTROL.
- THE PLAT WAS COMPILED USING EXISTING RECORD DATA AND ACTUAL FIELD SURVEY.
- DISTANCES ARE GROUND DISTANCES.
- UNLESS OTHERWISE NOTED, ALL CORNERS ARE EVIDENCED BY A #5 REBAR WITH ALUMINUM CAP STAMPED "CSC LS #4972".

SURVEYOR'S CERTIFICATE

I, CLIFF A. SPIROCK, HEREBY AFFIRM THAT I AM A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO AND DO CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION; SHOWS ACCURATE DIMENSIONS AND LAND AREAS; SHOWS ALL EASEMENTS AND RESTRICTIONS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS OF THE SUBDIVISION SHOWN HEREON, TITLE COMPANIES, UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST. I FURTHER CERTIFY THAT THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, MEETS THE "MINIMUM STANDARDS FOR LAND SURVEYS" SET FORTH BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

[Signature]
CLIFF A. SPIROCK N.M.L.S. NO. 4972



TREASURER'S CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC#:
1-009-055-360030-40150

PROPERTY OWNERS OF RECORD: Albuquerque South

BERNALILLO COUNTY TREASURER'S OFFICE:

BY: [Signature] DATE: 2/8/2001

2881818897
546462
Page: 1 of 3
02/22/2001 18:46R
BK-2881C Pg-57
Tary Herrera Bern. Co. PLRT R 17.09

DATE: NOVEMBER 2000
SCALE: AS SHOWN
DESIGNED: CSC
DRAWN: CSC
JOB NO.: N291-31-665
LAND PLANNING P.O. Box 1329
ENGINEERING Corrales, N.M. 87046
SURVEYING
community sciences corporation
SHEET 1 of 3

2001C-59 411

COMMUNITY SCIENCES CORPORATION - CORRALES, NEW MEXICO - (505) 897-0000

2081813545
5464289
Page 2 of 3
82/88/2001 12-87P
BK-2891C Pg-46

BULK LAND PLAT
FOR
PARCEL 12, El Rancho Grande I

SITUATE WITHIN
PROJECTED SECTION 33, T10N, R2E, N.M.P.M.
TOWN OF ATRISCO GRANT
CITY OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW MEXICO

NOVEMBER 2000

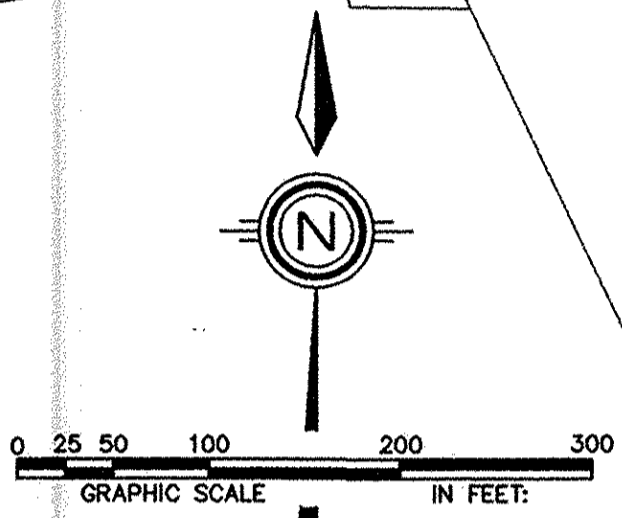
CORRECTED PLAT

ACS MONUMENT
"2-M9"
Y=1473257.74
X=354207.50
G-G=0.99967887
 $\Delta\alpha = -00^{\circ}16'47''$
CENTRAL ZONE
NAD 1927/SLD 1929

PARCEL 12
(PARCEL 1A, RIO BRAVO SECTOR DEVELOPMENT PLAN)
(COUNCIL BILL R-280, 12/13/99; DRB REVIEW 4/05/00)
1067354.25 SF
24.5031 AC

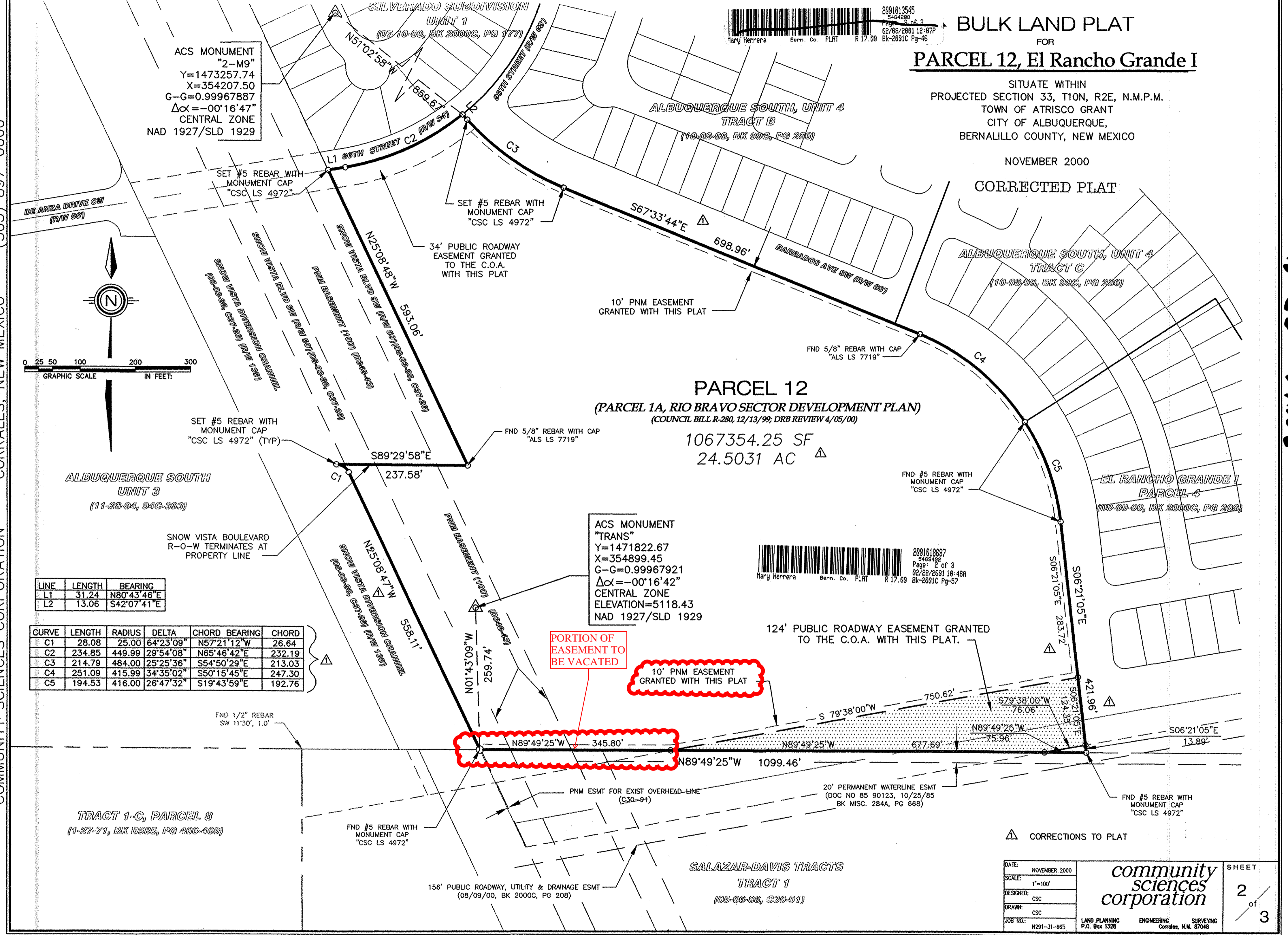
ACS MONUMENT
"TRANS"
Y=1471822.67
X=354899.45
G-G=0.99967921
 $\Delta\alpha = -00^{\circ}16'42''$
CENTRAL ZONE
ELEVATION=5118.43
NAD 1927/SLD 1929

2081818697
5469482
Page 2 of 3
82/22/2001 10-46P
BK-2891C Pg-57



LINE	LENGTH	BEARING
L1	31.24	N80°43'46"E
L2	13.06	S42°07'41"E

CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD
C1	28.08	25.00	64°23'09"	N57°21'12"W	26.64
C2	234.85	449.99	29°54'08"	N65°46'42"E	232.19
C3	214.79	484.00	25°25'36"	S54°50'29"E	213.03
C4	251.09	415.99	34°35'02"	S50°15'45"E	247.30
C5	194.53	416.00	26°47'32"	S19°43'59"E	192.76



△ CORRECTIONS TO PLAT

DATE:	NOVEMBER 2000		SHEET
SCALE:	1"=100'		2
DESIGNED:	CSC		of
DRAWN:	CSC		3
JOB NO.:	N291-31-665		
LAND PLANNING P.O. Box 1328 CORRALES, N.M. 87048		ENGINEERING CORRALES, N.M. 87048	

20016-576

20012-57131

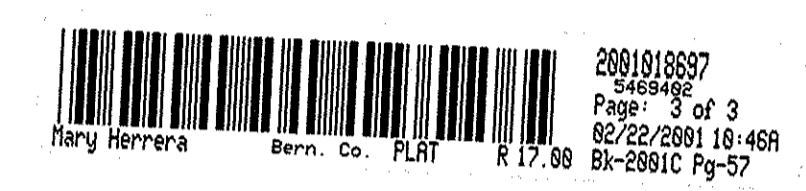
COMMUNITY SCIENCES CORPORATION - CORRALES, NEW MEXICO - (505) 897-0000

BULK LAND PLAT FOR PARCEL 12, El Rancho Grande I

SITUATE WITHIN
PROJECTED SECTION 33, T10N, R2E, N.M.P.M.
TOWN OF ATRISCO GRANT
CITY OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW MEXICO

NOVEMBER 2000

CORRECTED PLAT



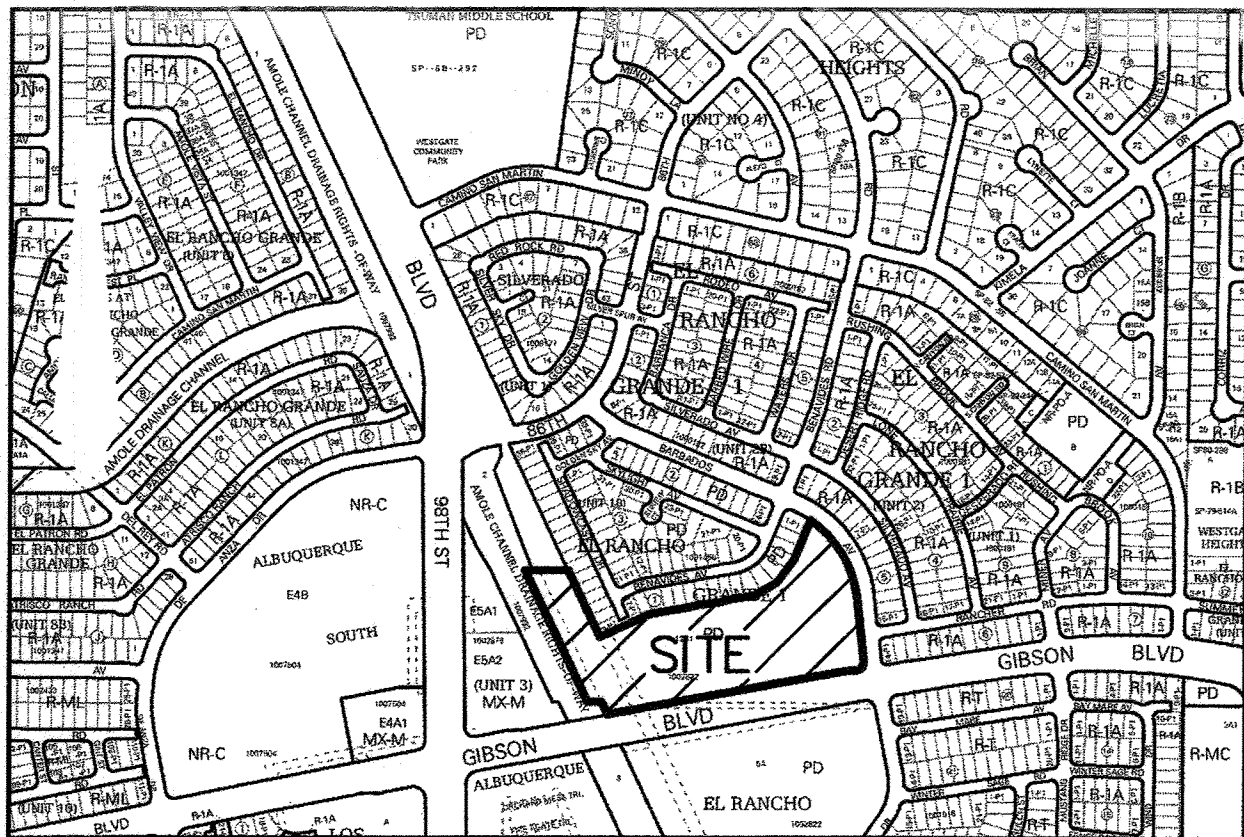
BULK LAND DESCRIPTION

A CERTAIN TRACT OF LAND SITUATE IN PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M., TOWN OF ATRISCO LAND GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DESCRIBED AS PARCEL 12, A PORTION OF THE SAME PARCEL 12 BEING DESCRIBED IN THE WARRANTY DEED AND BOUNDARY SURVEY GRANTING PROPERTY FROM PROPERTY MANAGEMENT COMPANY OF NEW MEXICO TO ALBUQUERQUE SOUTH, DOC. NO. D250A-118-120, 9-12-85, AS FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK, AND BEING SHOWN AS REMAINING PORTION OF PARCEL 12 UNPLATTED ON THE BULK PLAT FOR ALBUQUERQUE SOUTH UNIT 4, TRACTS A, B, C, D, 10-08-99, BK 99C, PG 286, AS FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK, BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

- COMMENCING AT THE SOUTHWEST CORNER OF THE TRACT DESCRIBED AS PARCEL 12 AND ON THE LINE BETWEEN SAID PROJECTED SECTIONS 4 AND 33 WHENCE THE ACS CONTROL STATION "TRANS" HAVING NEW MEXICO COORDINATE SYSTEM VALUES X=354899.45, Y=1471822.67 (NAD) BEARS N01°43'09"W AND 259.74 FEET DISTANT;
- △ THENCE N25°08'47"W A DISTANCE OF 558.11 FEET TO A POINT OF CURVATURE;
 - △ THENCE NORTHWESTERLY A DISTANCE OF 28.08 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 64°23'09" AND A LONG CHORD WHICH BEARS N57°21'12"W A DISTANCE OF 26.64 FEET TO A POINT;
 - △ THENCE S89°29'58"E A DISTANCE OF 237.58 FEET TO A POINT;
 - △ THENCE N25°08'48"W A DISTANCE OF 593.06 FEET TO A POINT AND NORTHWEST CORNER OF THE PARCEL HEREIN DESCRIBED;
 - △ THENCE N80°43'46"E A DISTANCE OF 31.24 FEET TO A POINT OF CURVATURE;
 - △ THENCE NORTHEASTERLY A DISTANCE OF 234.85 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 449.99 FEET, A CENTRAL ANGLE OF 29°54'08" AND A LONG CHORD WHICH BEARS N65°46'42"E A DISTANCE OF 232.19 FEET TO A POINT;
 - △ THENCE S42°07'41"E A DISTANCE OF 13.06 FEET TO A POINT OF CURVATURE;
 - △ THENCE SOUTHEASTERLY A DISTANCE OF 214.79 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 484.00 FEET, A CENTRAL ANGLE OF 25°25'36" AND A LONG CHORD WHICH BEARS S54°50'29"E A DISTANCE OF 213.03 FEET TO A POINT;
 - △ THENCE S67°33'44"E A DISTANCE OF 698.96 FEET TO A POINT OF CURVATURE;
 - △ THENCE SOUTHEASTERLY A DISTANCE OF 445.80 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 416.00 FEET, A CENTRAL ANGLE OF 61°24'02" AND A LONG CHORD WHICH BEARS S36°56'06"E A DISTANCE OF 424.78 FEET TO A POINT;
 - △ THENCE S06°21'05"E A DISTANCE OF 421.96 FEET TO A POINT;
 - △ THENCE N89°49'25"W A DISTANCE OF 1099.46 FEET TO THE POINT AND PLACE OF BEGINNING AND CONTAINING 24.5031 ACRES, MORE OR LESS.

△ CORRECTIONS TO LEGAL FROM PLAT

DATE:	NOVEMBER 2000		SHEET 3 of 3
SCALE:			
DESIGNED:	CSC		
DRAWN:	CSC		
JOB NO.:	N291-31-665	LAND PLANNING P.O. Box 1328	ENGINEERING Corrales, N.M. 87048



LOCATION MAP SCALE: 1"=1000' M-9-Z

PURPOSE OF PLAT

- To create Tracts 12-B-1-A and 12-B-1-B as shown hereon.
- To grant easements as shown hereon.

SUBDIVISION DATA

- DRB Case No.:
- Project No.:
- Zone Atlas Index No.: M-9-Z
- Total Number of existing Tracts: 1
- Total Number of Tracts created: 2
- Gross Subdivision Acreage: 10.9983 Acres

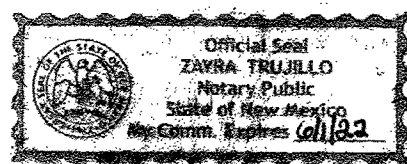
DOC# 2019105929
 12/12/2019 11:17 AM Page: 1 of 3
 PLAT R: \$25.00 B: 2019C P: 0127 Linda Stover, Bernalillo County

FREE CONSENT

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof. Said owner(s) and/or proprietor(s) do hereby consent to the creation of Tracts 12-B-1-A and 12-B-1-B as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to the granting of easements as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to all the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

Owner: SOLARE COLLEGIATE FOUNDATION

Peter Lorenz 5/23/2019
 PETER LORENZ, SOLARE COLLEGIATE FOUNDATION DATE



STATE OF NEW MEXICO)
 BERNALILLO COUNTY)

On this 23 day of May, 2019, this instrument was acknowledged before me by Peter Lorenz, SOLARE COLLEGIATE FOUNDATION, a New Mexico Corporation, on behalf of said corporation

Zayra Trujillo 06/01/2022
 Notary Public MY COMMISSION EXPIRES

DESCRIPTION

A tract of land situate, within the Town of Atrisco Grant, projected Section 33, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT 12-B-1, EL RANCHO GRANDE 1, as the same is shown and designated on said plat, filed for record in the office of the County Clerk of Bernalillo County, New Mexico on August 15, 2003, in Plat Book 2003C, Page 249, EXCEPTING THEREFROM a portion of De Anza Drive SW, as the same is shown and designated in QUITCLAIM DEED, filed for record in the office of the County Clerk of Bernalillo County, New Mexico, on July 6, 2006, in Document No. 2006100612, and containing 10.9983 acres more or less.

SOLAR NOTE

No property within the area of requested final action shall at any time be subject to a deed restriction, covenant or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of this plat.

NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances are field and record.
- Basis of boundary is from the plats and documents of record entitled:
 - "EL RANCHO GRANDE 1, UNIT 1", (02-05-2001, 2001C-041)
 - "PARCEL 12, EL RANCHO GRANDE 1", (02-22-2001, 2001C-057)
 - "EL RANCHO GRANDE 1, UNIT 2", (04-11-2001, 2001C-105)
 - "PARCEL 12-A, 12-B & 12-C, EL RANCHO GRANDE 1", (01-08-2002, 2002C-007)
 - "EL RANCHO GRANDE 1, UNIT 1-B", (04-12-2002, 2002C-121)
 - "EL RANCHO GRANDE 1, UNIT 5A", (10-22-2002, 2002C-340)
 - "EL RANCHO GRANDE 1, PARCELS 5-A AND 12-B-1", (08-15-2003, 2003C-249)
 - "GRANT OF EASEMENT", (10-25-1985, 1985090123)
 - "PUBLIC SERVICE COMPANY OF NEW MEXICO UNDERGROUND EASEMENT", (10-04-2005, 2005146656)
 - "GRANT OF PERMANENT EASEMENT FOR DRAINAGE PURPOSES", (10-07-2005, 2005149548)
 - "QUITCLAIM DEED", (07-06-2006, 2006100612)
- all being records of Bernalillo County, New Mexico.
- Field Survey: March, 2019.
- Title Report(s): None provided.
- Address of Property: Gibson Boulevard SW, Albuquerque, NM 87121
- City of Albuquerque, New Mexico IDO Zone: PD
- 100 Year Flood Zone Designation: ZONE X, Panel 336 of 825, Flood Insurance Rate Map, City of Albuquerque, Bernalillo County, New Mexico, dated August 16, 2012.
- Manholes will be offset at all points of curvature, points of tangency, street intersections and all other angle points to allow use of centerline monumentation.
- City of Albuquerque Standard Centerline Monuments will be installed at all points indicated thus "A". PS # 7719.

PLAT OF
 TRACT 12-B-1-A & 12-B-1-B
 EL RANCHO GRANDE 1
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 33
 TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MAY, 2019

PROJECT NUMBER: PR-2019-062642
 Application Number: SD-2019-000178

PLAT APPROVAL

Utility Approvals:

<u>[Signature]</u> Public Service Company of New Mexico	5-30-19 Date
<u>[Signature]</u> New Mexico Gas Company	5/30/19 Date
<u>[Signature]</u> Qwest Corporation dba CenturyLink QC	05/30/2019 Date
<u>[Signature]</u> Comcast	5/30/19 Date

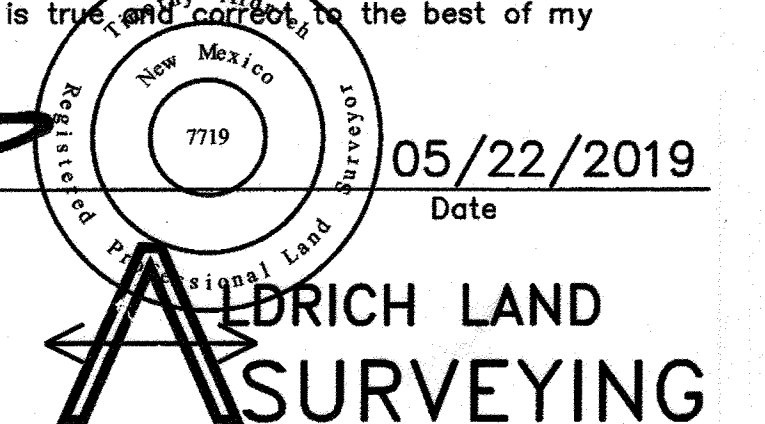
City Approvals:

<u>[Signature]</u> Town of Atrisco Grant P.S.	5/23/19 Date
<u>[Signature]</u> City Surveyor	NA Date
<u>[Signature]</u> Real Property Division	10-2-19 Date
<u>[Signature]</u> Traffic Engineering, Transportation Division	10-9-19 Date
<u>[Signature]</u> Albuquerque-Bernalillo County Water Utility Authority	10-10-19 Date
<u>[Signature]</u> Parks and Recreation Department	10/9/19 Date
<u>[Signature]</u> AMA/CA	10/9/19 Date
<u>[Signature]</u> City Engineer/Hydrology	10-9-19 Date
<u>[Signature]</u> Code Enforcement	10-9-19 Date
<u>[Signature]</u> Solid Waste Management	10-10-19 Date
<u>[Signature]</u> DRB Chairperson, Planning Department	10-10-19 Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

[Signature] 05/22/2019
 Timothy Aldrich, P.S. No. 7719 Date



THIS IS TO CERTIFY THAT THE ABOVE INSTRUMENT WAS PAID ON UPC # 100905537003040125 PROPERTY OWNER OF RECORD Solare Collegiate Foundation BERNALILLO COUNTY TREASURER'S OFFICE [Signature]

A19002 FP SHT2.dwg	Drawn: SPS	Checked: TA	Sheet 1 of 3
Scale: AS SHOWN	Date: 5/22/2019	Job: A19002	

2019C-127

(1)

EASEMENTS

- ① EXISTING 100' PNM EASEMENT (04-12-1956, D348-43)
- ② EXISTING 5' PNM EASEMENT (01-08-2002, 2002C-007)
- ③ EXISTING 10' PUE (08-15-2003, 2003C-249)
- ④ EXISTING 10' PNM EASEMENT (02-22-2001, 2001C-057)
- ⑤ EXISTING 10' UNDERGROUND PNM EASEMENT (10-04-2005, 2005146656)
- ⑥ EXISTING 20' PERMANENT WATERLINE EASEMENT (10-25-1985, 1985090123)
- ⑦ EXISTING 50' PERMANENT ACCESS ROAD AND PERMANENT WATERLINE EASEMENT (10-25-1985, 1985090123)
- ⑧ EXISTING AMAFCA DRAINAGE EASEMENT (10-07-2005, 2005149548)
- ⑨ EXISTING UNOBSTRUCTED LINE OF SITE EASEMENT (01-08-2002, 2002C-007)

Curve Table					
Curve #	Radius	Length	Delta	Chord Direction	Chord Length
C1	416.03'	360.68'	49°40'22"	S31°11'18"E	349.49'
C2	29.98'	45.05'	86°05'33"	S36°41'42"W	40.93'
C3	10232.99'	20.96'	0°07'02"	S79°40'58"W	20.96'

Parcel Line Table		
Line #	Direction	Length
L1	N25°12'42"W	54.71'
L2	N89°49'19"W	55.32'
L3	S89°29'58"E	166.40'
L4	N61°07'02"E	105.71'
L5	N36°32'54"E	109.47'
L6	N22°26'44"E	170.30'

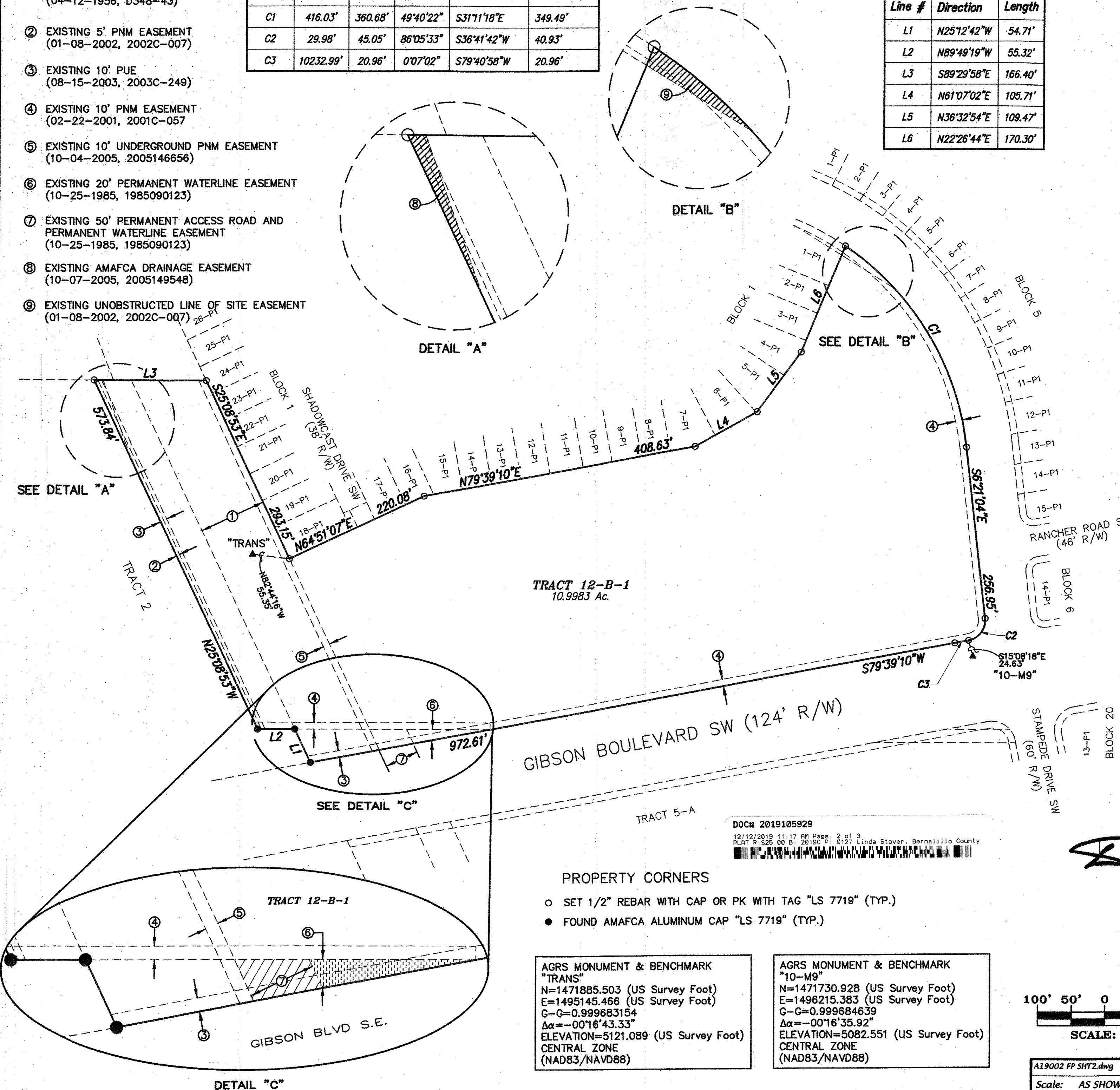
PLAT OF
TRACT 12-B-1-A & 12-B-1-B
EL RANCHO GRANDE 1
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 33
TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MAY, 2019

PUBLIC UTILITY EASEMENTS

- PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:
- Public Service Company of New Mexico (PNM) for the installation, maintenance and service of overhead and underground electrical lines, transformers, and other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
 - New Mexico Gas Company (NMGCO) for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
 - Qwest Communications d/b/a Century Link (QWEST) for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and enclosures.
 - Comcast for the installation, maintenance, and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said right-of-way and easement, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right-of-way and easement to extend services to customers of Grantee, and to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat. Easements for electric transformers/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

DISCLAIMER
In approving this plat, PNM, NMGCO, QWEST and COMCAST did not conduct a title search of the properties shown hereon. Consequently, PNM, NMGCO, QWEST and COMCAST do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.



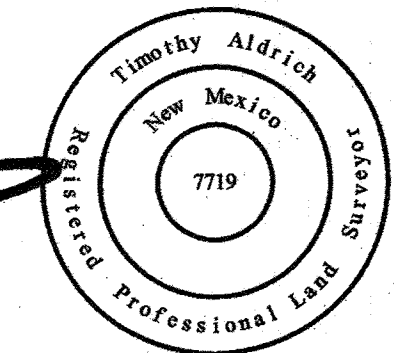
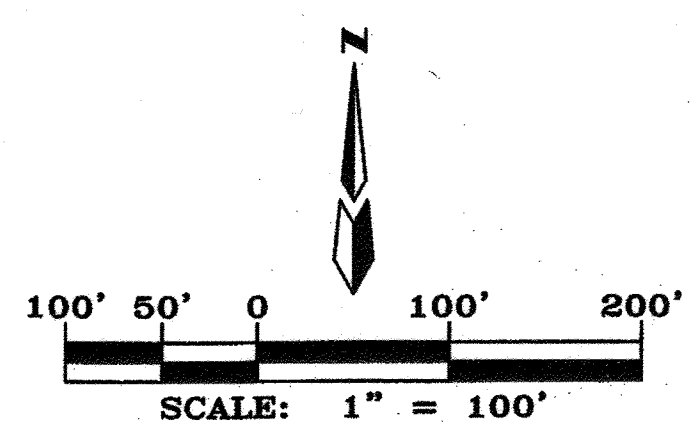
TRACT 12-B-1
10.9983 Ac.

DOCH 2019105929
12/12/2019 11:17 AM Page: 2 of 3
PLAT R: \$25.00 B: 2019C P: 0127 Linda Stover, Bernalillo County

- PROPERTY CORNERS**
- SET 1/2" REBAR WITH CAP OR PK WITH TAG "LS 7719" (TYP.)
 - FOUND AMAFCA ALUMINUM CAP "LS 7719" (TYP.)

AGRS MONUMENT & BENCHMARK
"TRANS"
N=1471885.503 (US Survey Foot)
E=1495145.466 (US Survey Foot)
G-G=0.999683154
Δα=-00°16'43.33"
ELEVATION=5121.089 (US Survey Foot)
CENTRAL ZONE
(NAD83/NAVD88)

AGRS MONUMENT & BENCHMARK
"10-M9"
N=1471730.928 (US Survey Foot)
E=1496215.383 (US Survey Foot)
G-G=0.999684639
Δα=-00°16'35.92"
ELEVATION=5082.551 (US Survey Foot)
CENTRAL ZONE
(NAD83/NAVD88)



05/22/2019

ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

A19002 FP SHT2.dwg	Drawn: SPS	Checked: TA	Sheet 2 of 3
Scale: AS SHOWN	Date: 7/15/2019	Job: A19002	

2019C-127

(2)

PLAT OF
TRACT 12-B-1-A & 12-B-1-B
EL RANCHO GRANDE 1
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 33
 TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MAY, 2019

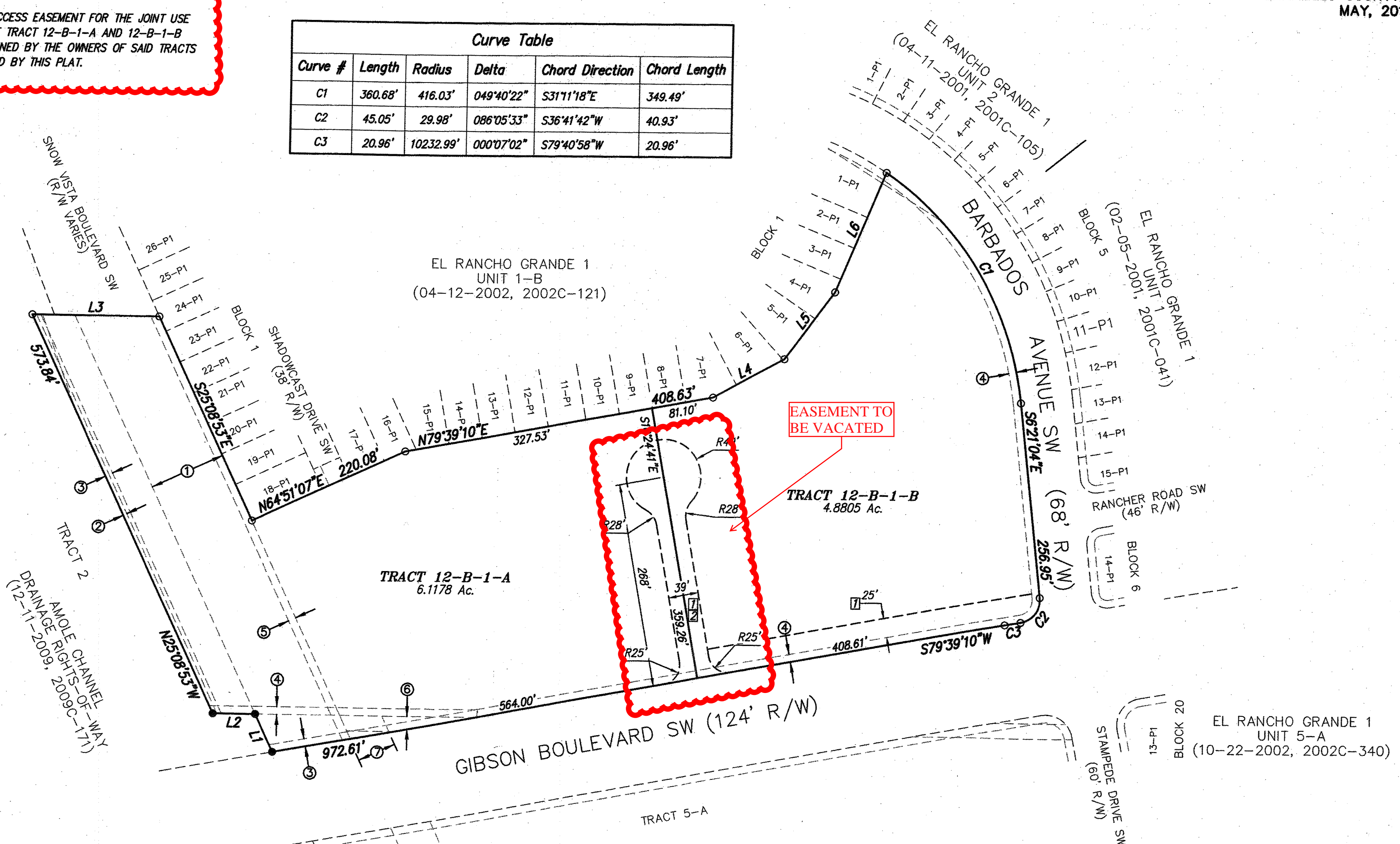
DOCH 2019105929
 12/12/2019 11:17 AM Page: 3 of 3
 PLAT R \$25.00 B 2019C P: 0127 Linda Stover, Bernalillo County

Parcel Line Table		
Line #	Direction	Length
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L2	N89° 49' 18.90"W	55.32'
L3	S89° 29' 58.00"E	166.40'

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	360.68'	416.03'	049°40'22"	S31°11'18"E	349.49'
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C3	20.96'	10232.99'	000°07'02"	S79°40'58"W	20.96'

NEW EASEMENTS

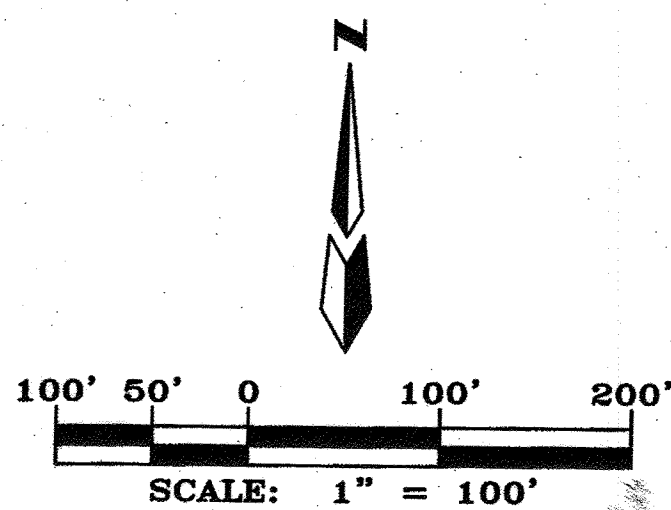
- 1 NEW 25' PRIVATE STORM DRAIN EASEMENT TO BE MAINTAINED BY THE OWNER OF TRACT 12-B-1-B AND FOR THE BENEFIT OF TRACTS 12-B-1-A AND 12-B-1-B GRANTED BY THIS PLAT.
- 2 NEW PRIVATE ACCESS EASEMENT FOR THE JOINT USE AND BENEFIT OF TRACT 12-B-1-A AND 12-B-1-B AND TO MAINTAINED BY THE OWNERS OF SAID TRACTS HEREBY GRANTED BY THIS PLAT.



EL RANCHO GRANDE 1
 (08-15-2003, 2003C-249)
DRAINAGE EASEMENT LANGUAGE FOR SUBDIVISION PLAT

Areas designated on the accompanying plat as "drainage easements" are hereby dedicated by the owner as a perpetual easement for the common use and benefit of the various lots within the subdivisions for the purpose of permitting the conveyance of storm water runoff and the constructing and maintaining of drainage facilities in accordance with standards prescribed by the City of Albuquerque. Grantor shall construct drainage facilities in the easement in accordance with standards prescribed by the City and plans and specifications approved by the City Engineer in accordance with the Grading and Drainage Plan with engineer's stamp date 06/26/19 which report and plans are on file in the office of the City Engineer File# M09D031. No fence, wall, planting, building or other obstruction may be placed or maintained in easement area without approval of the City Engineer of the City of Albuquerque. There shall be no alteration of the grades or contours in said easement area without the approval of the City Engineer. It shall be the duty of the lot owners of this subdivision to maintain said drainage easement and facilities at their cost in accordance with standards prescribed by the City of Albuquerque. The City shall have the right to enter periodically to inspect the facilities. In the event said lot owners fail to adequately and properly maintain drainage easement and facilities, at any time following fifteen (15) days written notice to said lot owners, the City may enter upon said area, perform said maintenance, and the cost of performing said maintenance shall be paid by applicable lot owners proportionately on the basis of lot ownership. In the event lot owners fail to pay the cost of maintenance within thirty (30) days after demand for payment made by the City, the City may file a lien against all lots in the subdivision for which proportionate payment has not been made. The obligations imposed herein shall be binding upon the owner, his heirs, and assigns and shall run with all lots within this subdivision.

The Grantor agrees to defend, indemnify, and hold harmless, the City, its officials, agents and employees from and against any and all claims, actions, suits, or proceedings of any kind brought against said parties for or on account of any matter arising from the drainage facility provided for herein or the Grantor's failure to construct, maintain, or modify said drainage facility.



PROPERTY CORNERS

- SET 1/2" REBAR WITH CAP OR PK WITH TAG "LS 7719" (TYP.)
- FOUND AMAFCA ALUMINUM CAP "LS 7719" (TYP.)



P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

A19002 FP SHT3.dwg	Drawn: SPS	Checked: TA	Sheet 3 of 3
Scale: AS SHOWN	Date: 7/11/2019	Job: A19002	

2019C-127

(3)



Denise King <cartesiandenise@gmail.com>

Solare NH Pre-App Notification

Charlene Johnson <Johnson@consensusplanning.com>

Wed, Jan 19, 2022 at 8:56 AM

To: Jaime Jaramillo <JJaramillo@homewise.org>

Cc: "tecnm@yahoo.com" <tecnm@yahoo.com>, Denise King <cartesiandenise@gmail.com>, Ryan Mulhall <cartesianryan@gmail.com>, Jim Strozier <cp@consensusplanning.com>, Will Plotner Jr <wplotnerjr@gmail.com>

Good morning, everyone,

I sent out the Pre-Application neighborhood notification last night. We sent it to the South West Alliance of Neighborhoods (SWAN), Westside Coalition of Neighborhood Associations, and South Valley Coalition of Neighborhood Associations. The last time we worked on this site, SWAN asked for a meeting, so we will see if they ask for one this time. They have until February 2nd to ask for a meeting.

Charlene Johnson, Planner

Consensus Planning, Inc.

302 Eighth Street, NW

Albuquerque, NM 87102

Phone: 505 764-9801

From: [Charlene Johnson](#)
To: luis@wccd.org; jgallegoswccd@gmail.com; ekhaley@comcast.net; aboard111@gmail.com; rroibal@comcast.net; dpatriciod@gmail.com
Cc: [Jim Strozier](#)
Subject: Public Notification of Preliminary Plat Application - 99999 Gibson Blvd. SW
Date: Thursday, February 10, 2022 1:44:00 PM

Dear Neighbors,

The purpose of this email is to notify you that Consensus Planning, Cartesian Surveys, and Thompson Engineering Consultants are submitting a Preliminary Plat application to the Development Review Board (DRB) on behalf of Homewise, Inc. The Preliminary Plat includes the waivers to sidewalks and rear-yard adjacency that you were informed about on January 18, 2022.

The Preliminary Plat Application is for the property located at 99999 Gibson Blvd SW. As part of the Preliminary Plat application, the Applicant is requesting two waivers to the Integrated Development Ordinance (IDO) and one deferral to the Development Process Manual (DPM):

- IDO 5-4(F)(2)(b) Access to Public Streets - The IDO says that "Residential lots shall avoid layout where the rear lot line is adjacent to a collector or arterial street." The Applicant is requesting a waiver to allow rear lot lines for 13 townhouse lots along Gibson Boulevard.
- IDO 6-6(P)(J)(3) Waived Sidewalk - The Applicant is requesting a waiver to replace the sidewalk and connect it to the existing asphalt trail along Gibson Blvd.
- DPM 2-9(C)(1) – Deferral of the installation of sidewalks along the frontage of homes to be built as each house is completed.

The DRB meeting for this item will be held on March 9, 2022, starting at 9:00 on Zoom Remote Meetings. You can use the link below to access the agenda and meeting link.

<https://www.cabq.gov/planning/boards-commissions/development-review-board/development-review-board-agenda-archives>

A Neighborhood Notification Packet has been prepared with the required information for this request including the Preliminary Plat document. Please use the Dropbox Transfer link below to download.

<https://www.dropbox.com/t/G9izu6vtengDI2kv>

If you have any issues downloading the packet, or if you have questions or comments on this application, please feel free to contact me or Jim Strozier, cp@consensusplanning.com, or at (505) 764-9801.

Sincerely,

Charlene Johnson, Planner

Consensus Planning, Inc.

302 Eighth Street, NW

Albuquerque, NM 87102

Phone: 505 764-9801

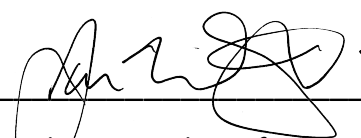


**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART I - PROCESS	
Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following:	
Application Type:	Preliminary Plat Application with requested Waiver-DRB
Decision-making Body:	Development Review Board (DRB)
Pre-Application meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Neighborhood meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Mailed Notice required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Electronic Mail required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Is this a Site Plan Application:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Note: if yes, see second page
PART II – DETAILS OF REQUEST	
Address of property listed in application: 99999 Gibson Blvd. SW	
Name of property owner: Solare Collegiate Foundation	
Name of applicant: Consensus Planning, Inc. (Agent) / HomeWise, Inc. (Applicant)	
Date, time, and place of public meeting or hearing, if applicable:	
March 9, 2022, 9:00 AM via Zoom Remote Meetings	
Address, phone number, or website for additional information:	
Please contact Jim Strozier, cp@consensusplanning.com or Charlene Johnson, johnson@consensusplanning.com or (505) 764-9801	
PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE	
<input checked="" type="checkbox"/> Zone Atlas page indicating subject property.	
<input checked="" type="checkbox"/> Drawings, elevations, or other illustrations of this request.	
N/A Summary of pre-submittal neighborhood meeting, if applicable.	
<input checked="" type="checkbox"/> Summary of request, including explanations of deviations, variances, or waivers.	
IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO SUBSECTION 14-16-6-4(K) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.	

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

 (Applicant signature) February 10, 2022 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY
Provide a site plan that shows, at a minimum, the following:
N/Aa. Location of proposed buildings and landscape areas.
N/Ab. Access and circulation for vehicles and pedestrians.
N/Ac. Maximum height of any proposed structures, with building elevations.
N/Ad. For residential development: Maximum number of proposed dwelling units.
N/Ae. For non-residential development:
N/A Total gross floor area of proposed project.
N/A Gross floor area for each proposed use.

* The submitted Site Plan and an exhibit showing the requested waivers are included as attachments.

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: February 10, 2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: See attached Public Notice Inquiry

Name of NA Representative*: See attached Public Notice Inquiry

Email Address* or Mailing Address* of NA Representative¹: See attached Public Notice Inquiry

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 99999 Gibson Blvd. SW
Location Description Near the northeast corner of Gibson Blvd and 98th Street
2. Property Owner* Solare Collegiate Foundation
3. Agent/Applicant* *[if applicable]* Consensus Planning, Inc. / HomeWise, Inc
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision Major (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request²*: _____

The Applicant is submitting a Preliminary Plat for Subdivision (see attached Preliminary Plat).

The project will provide 75 townhouse units on the subject property.

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- N/A a. Location of proposed buildings and landscape areas.*
- N/A b. Access and circulation for vehicles and pedestrians.*
- N/A c. Maximum height of any proposed structures, with building elevations.*
- N/A d. **For residential development***: Maximum number of proposed dwelling units.
- N/A e. **For non-residential development***:
 - N/A Total gross floor area of proposed project.
 - N/A Gross floor area for each proposed use.

*Submitted Site Plan is attached for reference.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

- 1. Area of Property [typically in acres] 6.1178 acres
 - 2. IDO Zone District Mixed Use-Moderate (MX-M)
 - 3. Overlay Zone(s) [if applicable] None
 - 4. Center or Corridor Area [if applicable] 98th and Gibson Activity Center
- Current Land Use(s) [vacant, if none] Vacant

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

From: Carmona, Dalaina L.
To: Charlene Johnson
Subject: 99999 GIBSON BLVD SW Gibson and 98th Street Public Notice Inquiry
Date: Tuesday, January 18, 2022 9:29:23 AM
Attachments: image001.png
 image002.png
 image003.png
 image004.png
 image007.png
 Zone Atlas Highlighted Update Solare Homewise.pdf

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
South West Alliance of Neighborhoods (SWAN Coalition)	Luis	Hernandez Jr.	luis@wccdg.org	5921 Central Avenue NW	Albuquerque	NM	87105		
South West Alliance of Neighborhoods (SWAN Coalition)	Jerry	Gallegos	jgallegoswccdg@gmail.com	5921 Central Avenue NW	Albuquerque	NM	87105	5053855809	5058362976
Westside Coalition of Neighborhood Associations	Elizabeth	Haley	ekhaley@comcast.net	6005 Chaparral Circle NW	Albuquerque	NM	87114	5054074381	
Westside Coalition of Neighborhood Associations	Rene	Horvath	aboard111@gmail.com	5515 Palomino Drive NW	Albuquerque	NM	87120		5058982114
South Valley Coalition of Neighborhood Associations	Roberto	Roibal	rroibal@comcast.net	2233 Don Felipe Road SW	Albuquerque	NM	87105		5054809651
South Valley Coalition of Neighborhood Associations	Patricio	Dominguez	dpatriciod@gmail.com	3094 Rosendo Garcia Road SW	Albuquerque	NM	87105		5052382429

PLEASE NOTE: The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project. Please use this online link to find the required forms you will need to submit: <https://www.cabq.gov/planning/urban-design-development/public-notice>. The Checklist form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf. The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>

Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s): <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thanks,



Dalaina L. Carmona
 Senior Administrative Assistant
 Office of Neighborhood Coordination
 Council Services Department
 1 Civic Plaza NW, Suite 9087, 9th Floor
 Albuquerque, NM 87102
 505-768-3334
dcarmona@cabq.gov or ONC@cabq.gov
 Website: www.cabq.gov/neighborhoods



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov
Sent: Monday, January 17, 2022 8:27 AM
To: Office of Neighborhood Coordination <johnson@consensusplanning.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Public Notice Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Public Notice Inquiry For:

Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Charlene Johnson

Telephone Number

505 764-9801

Email Address

johnson@consensusplanning.com

Company Name

Consensus Planning, Inc.

Company Address

302 8th Street, NW

City

Albuquerque

State

NM

ZIP

87102

Legal description of the subject site for this project:

TR 12B1A PLAT OF TRACT 12-B-1-A & 12-B-1-B EL RANCHOGRANDE 1 CONT 6.1178 AC

Physical address of subject site:

99999 GIBSON BLVD SW

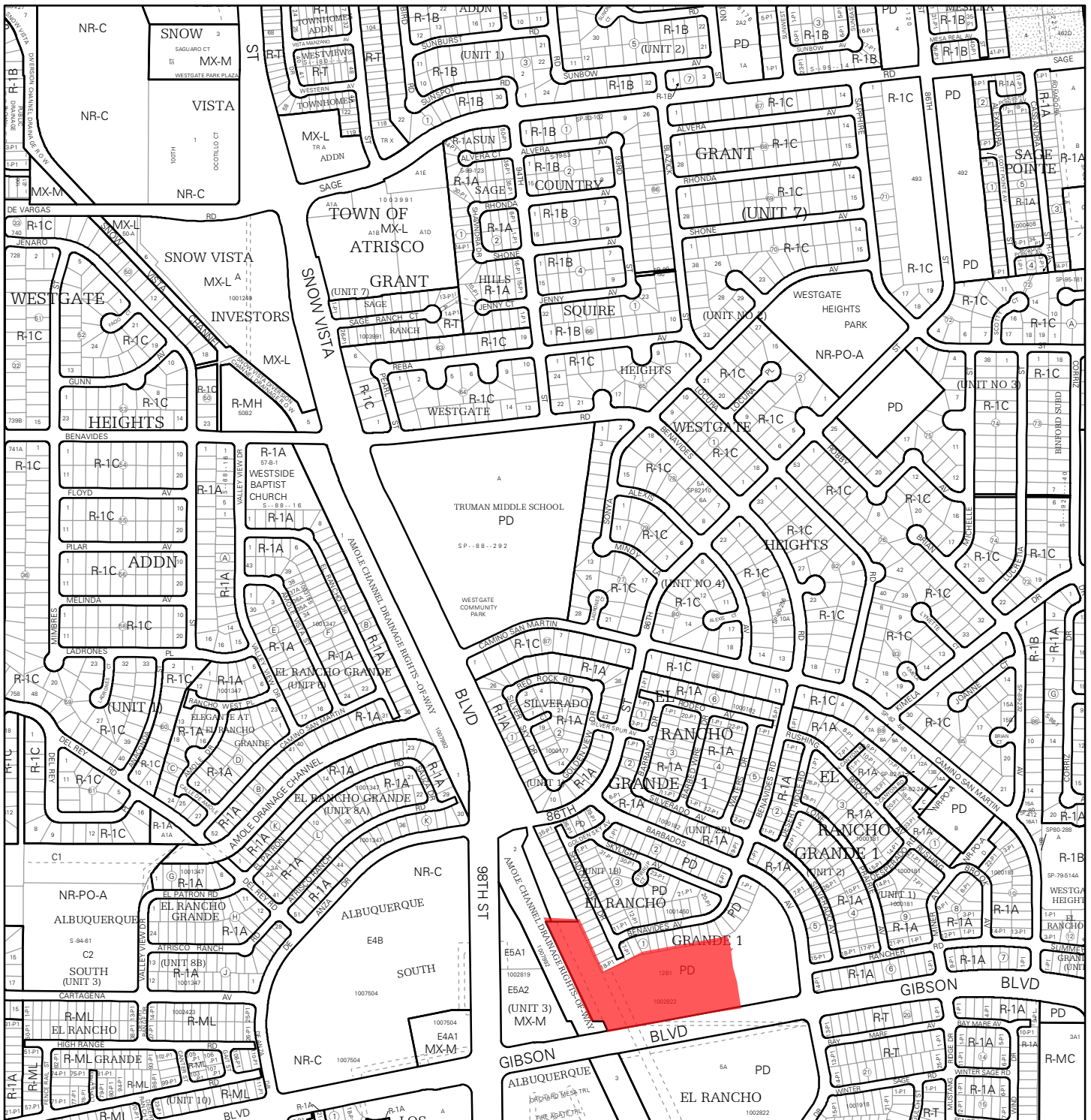
Subject site cross streets:

Gibson and 98th Street

Other subject site identifiers:

This site is located on the following zone atlas page:

M-09



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:
M-09-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

**Sketch Plat for
Solare Townhomes
and Tracts 12-B-1-A-1 and
12-B-1-B-1**

El Rancho Grande I
Being Comprised of
Tracts 12-B-1-A and 12-B-1-B
El Rancho Grande I
City of Albuquerque
Bernalillo County, New Mexico
January 2022

ACS Monument - 6-MTD
NAD 1983 CENTRAL ZONE
X=1497927.859
Y=5050537.768 (NAVD, 1988)
Z=0.00000000
C-G=0.999686536
Mapping Angle=0°16'24.79"

Legend

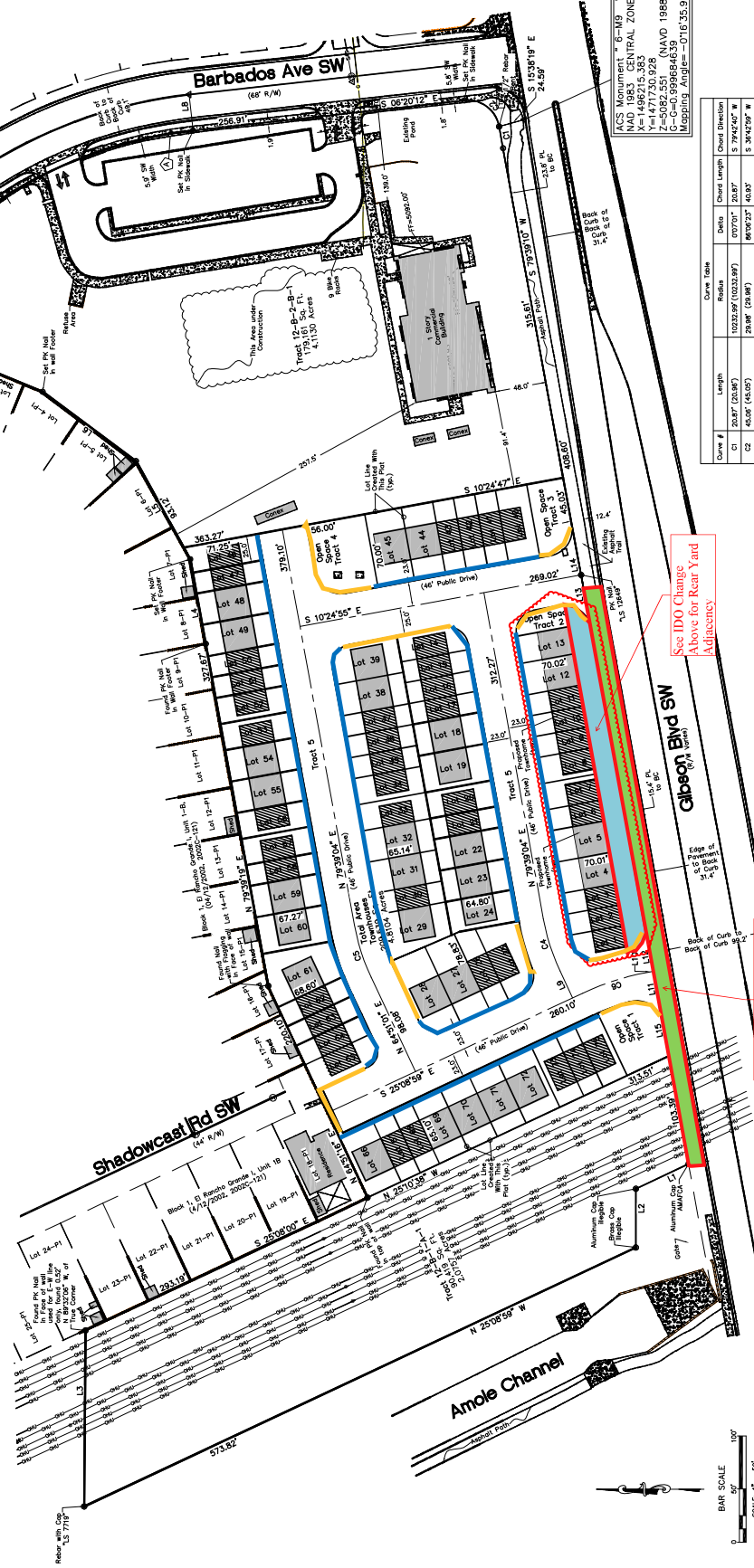
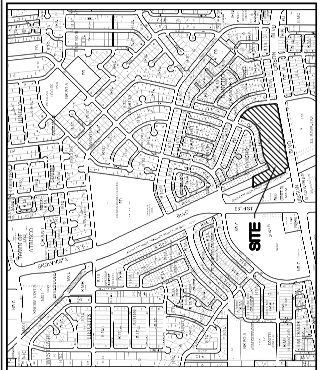
N 90°00'00" E	MEASURED BEARINGS AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT (12/22/2018, 2018-C127)
(N 90°00'00" E)	PER PLAN (08/09/2018, 2000-240)
•	FOUND MONUMENT AS INDICATED
○	SET 1/2" OF REBAR WITH COP
△	FOUND OVERLINE MONUMENT "S 77°14"
□	COVERED AREA
XXXXXX	CONCRETE
▬	BLOCK WALL
▬	UTILITY FEDERAL
▬	OVERHEAD UTILITY LINE
▬	UTILITY POLE
▬	SHOOR
▬	CURB
▬	TO ROADWAY
▬	TO ROADWAY OF ACCESS

Line #	Direction	Length (ft)
L1	N 27°45'3" W	54.77(64.71)
L2	N 89°53'1" E	55.87(55.27)
L3	S 89°25'0" E	186.37 (186.47)
L4	N 79°39'1" W	81.22 (81.10)
L5	N 67°07'1" E	105.23 (105.21)
L6	N 36°25'4" E	105.23 (105.47)
L7	N 25°25'2" E	105.23 (105.47)
L8	N 62°39'4" E	14.00 (14.00)
L9	N 62°39'1" E	28.00
L10	N 12°05'0" W	5.30
L11	N 79°39'0" W	48.90
L12	N 79°39'1" W	42.43
L13	N 79°39'0" W	50.03
L14	N 79°39'0" W	47.97
L15	N 79°39'0" W	32.94
L16	N 79°39'0" W	21.91
L17	N 79°39'0" W	5.00

Access to Public Streets-Rear Yard Adjacency Per IDO*
AS PER DO SECTION 5-4(F)(2)(A), RESIDENTIAL LOTS SHALL AVOID LAYOUTS WHERE THE REAR LOT LINE IS ADJACENT TO A COLLECTOR OR ARTERIAL STREET. LOCAL FRONTAGE ROADS MAY BE USED TO PROVIDE ACCESS TO REAR YARDS AND LOCKING RESIDENTIAL REAR YARD WALLS ALONG COLLECTOR AND ARTERIAL STREETS.
* REQUESTING TO WAIVER THIS REQUIREMENT FOR LOTS 1-13 TO ALLOW REAR YARDS ADJACENT TO GIBSON BOULEVARD.

Sidewalk Waiver Request**
IF THE REQUEST IS FOR A WAIVER TO DO SIDEWALK REQUIREMENTS, THE AREA IS OF LOW-INTENSITY LAND USE TO AN EXTENT THAT THE NORMAL INSTALLATION OF SIDEWALKS WILL NOT CONTRIBUTE TO THE OVERALL SAFETY OF THE TRAVELWAY OR IMPROVE THE QUALITY OF LIFE IN AN EXISTING SIDEWALK SYSTEM EXTENDED TO IT OR MORE SIDES OF THE SUBJECT PROPERTY.
** PROPOSED ASPHALT TRAIL WILL BE WITHIN AREA TO REPLACE THE SIDEWALK REQUIREMENTS FOR SUBDIVISIONS.

Sidewalk Deferral:
AS PER IDM SECTION (PM-2)-(9)(1) TEMPORARY SIDEWALK
REQUESTING A DEFERRAL FOR THIS REQUIREMENT



Curve Data

Curve #	Length	Radius	Chord Length	Chord Direction
C1	20.87 (20.87)	10232.82 (10232.87)	20.70 (20.87)	S 79°42'40" W
C2	46.07 (46.07)	29.88 (29.88)	96.02 (96.02)	S 30°42'50" W
C3	380.22 (380.22)	416.07 (416.07)	694.24 (694.24)	S 31°05'0" W
C4	31.62 (31.62)	148.00 (148.00)	61.52 (61.52)	S 77°03'0" W
C5	4.62 (4.62)	23.00 (23.00)	9.22 (9.22)	S 77°03'0" W
C7	6.12 (6.12)	23.00 (23.00)	12.22 (12.22)	N 76°53'0" E

DEFERRED SIDEWALKS
NON-DEFERRED SIDEWALKS

See IDO Change Above for Rear Yard Adjacency

Area of Sidewalk Waiver and Deferral. See Notes above.

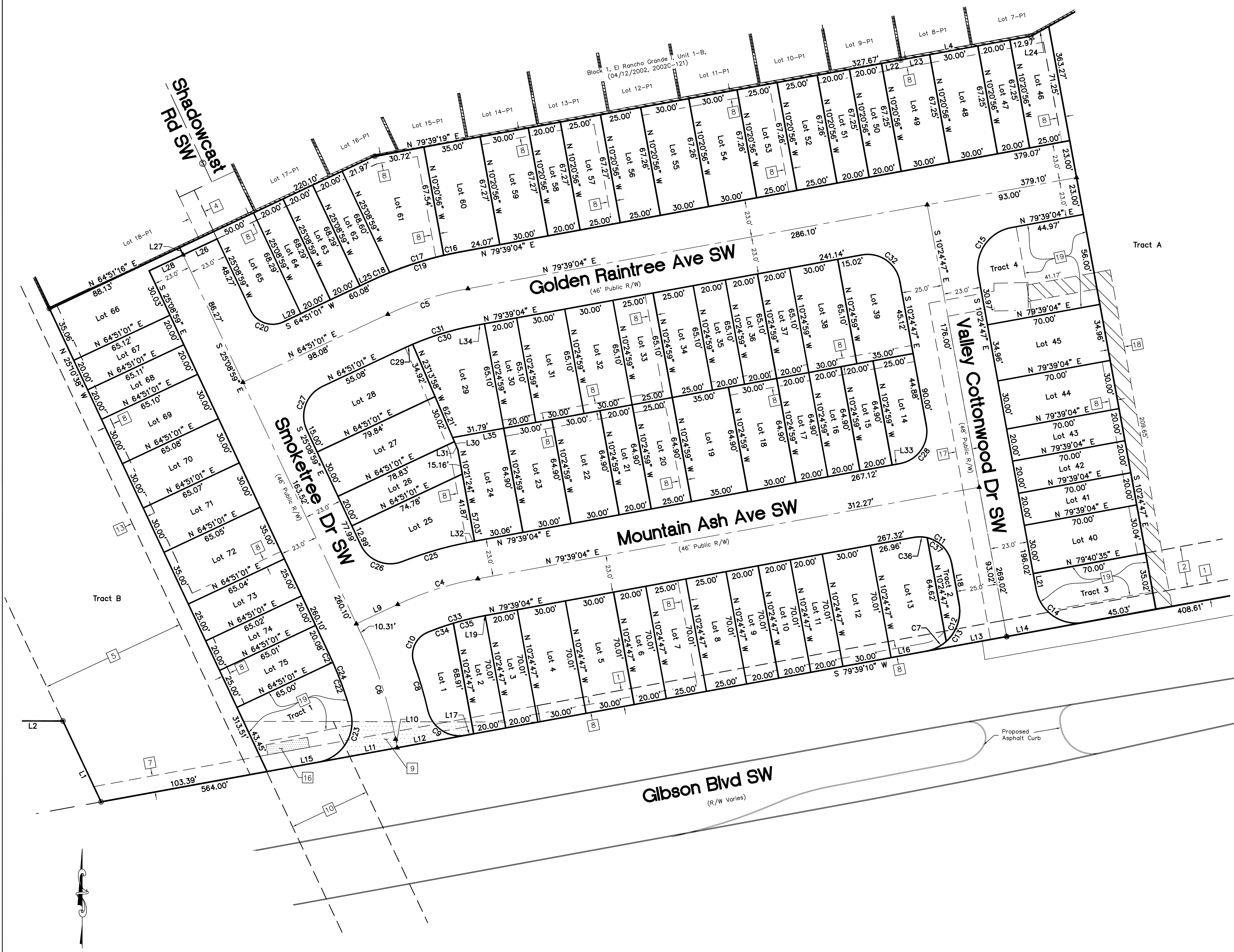


BAR SCALE
1" = 80'

Scale 1" = 80'

This Sheet Shows
Townhome Details and
Post-Plat Easements Only

Preliminary Plat for
Sombre Del Oeste
Being Comprised of
Tracts 12-B-1-A and 12-B-1-B
El Rancho Grande I
City of Albuquerque
Bernalillo County, New Mexico
February 2022

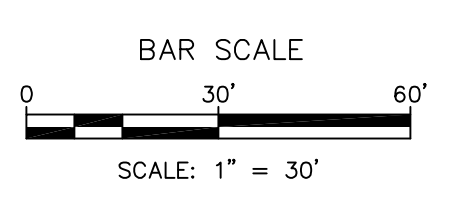


Parcel Name	Area (Acres)	Area (Sq. Ft.)
Lot 1	0.0379	1,649
Lot 2	0.0320	1,393
Lot 3	0.0321	1,400
Lot 4	0.0482	2,100
Lot 5	0.0482	2,100
Lot 6	0.0321	1,400
Lot 7	0.0402	1,750
Lot 8	0.0402	1,750
Lot 9	0.0321	1,400
Lot 10	0.0321	1,400
Lot 11	0.0321	1,400
Lot 12	0.0482	2,100
Lot 13	0.0558	2,430
Lot 14	0.0353	1,536
Lot 15	0.0298	1,298
Lot 16	0.0298	1,298
Lot 17	0.0298	1,298
Lot 18	0.0447	1,947
Lot 19	0.0521	2,272
Lot 20	0.0372	1,622

Parcel Name	Area (Acres)	Area (Sq. Ft.)
Lot 21	0.0298	1,298
Lot 22	0.0447	1,947
Lot 23	0.0447	1,947
Lot 24	0.0449	1,956
Lot 25	0.0546	2,378
Lot 26	0.0355	1,545
Lot 27	0.0546	2,380
Lot 28	0.0626	2,729
Lot 29	0.0572	2,491
Lot 30	0.0299	1,302
Lot 31	0.0448	1,953
Lot 32	0.0448	1,953
Lot 33	0.0374	1,628
Lot 34	0.0374	1,628
Lot 35	0.0299	1,302
Lot 36	0.0299	1,302
Lot 37	0.0299	1,302
Lot 38	0.0448	1,953
Lot 39	0.0503	2,193
Lot 40	0.0482	2,101

Parcel Name	Area (Acres)	Area (Sq. Ft.)
Lot 41	0.0321	1,400
Lot 42	0.0321	1,400
Lot 43	0.0321	1,400
Lot 44	0.0482	2,100
Lot 45	0.0562	2,448
Lot 46	0.0391	1,703
Lot 47	0.0309	1,345
Lot 48	0.0463	2,017
Lot 49	0.0463	2,018
Lot 50	0.0309	1,345
Lot 51	0.0309	1,345
Lot 52	0.0386	1,681
Lot 53	0.0386	1,681
Lot 54	0.0463	2,018
Lot 55	0.0463	2,018
Lot 56	0.0386	1,682
Lot 57	0.0386	1,682
Lot 58	0.0309	1,345
Lot 59	0.0463	2,018
Lot 60	0.0541	2,355

Parcel Name	Area (Acres)	Area (Sq. Ft.)
Lot 61	0.0690	3,006
Lot 62	0.0314	1,367
Lot 63	0.0314	1,366
Lot 64	0.0314	1,366
Lot 65	0.0439	1,911
Lot 66	0.0551	2,399
Lot 67	0.0299	1,302
Lot 68	0.0299	1,302
Lot 69	0.0448	1,953
Lot 70	0.0448	1,952
Lot 71	0.0448	1,952
Lot 72	0.0523	2,277
Lot 73	0.0373	1,626
Lot 74	0.0299	1,300
Lot 75	0.0373	1,625
Public Right of Way	1.5434	67,231
Tract 1	0.0696	3,031
Tract 2	0.0146	636
Tract 3	0.0532	2,319
Tract 4	0.0869	3,786



**This Sheet Shows
Line/Curve Tables, All
Easement Notes and
Additional Notes**

Line Table		
Line #	Direction	Length (ft)
L1	N 25°14'33" W (N 25°12'42" W)	54.77' (54.71')
L2	N 89°53'21" W (N 89°49'19" W)	55.33' (55.32')
L3	S 89°32'06" E (S 89°29'58" E)	166.37' (166.40')
L4	N 79°39'19" E (N 79°39'10" W)	81.02' (81.10')
L5	N 61°07'11" E (N 61°07'02" E)	105.73' (105.71')
L6	N 36°33'03" E (N 36°32'54" W)	109.49' (109.47')
L7	N 22°26'54" E (N 22°26'44" W)	170.33' (170.30')
L8	N 83°39'48" E	34.00' (34.00')
L9	N 64°51'01" E	28.01'
L10	N 10°20'56" W	5.38'
L11	S 79°39'10" W	48.96'
L12	S 79°39'10" W	42.63'
L13	S 79°39'10" W	50.03'
L14	S 79°39'10" W	47.97'
L15	S 79°39'10" W	32.04'
L16	S 79°39'10" W	21.91'
L17	S 79°39'10" W	5.05'
L18	S 10°24'47" E	25.01'
L19	N 79°39'04" E	0.36'
L21	N 10°24'47" W	10.08'
L22	N 79°39'19" E	11.95'
L23	N 79°39'19" E	18.05'
L24	N 61°07'11" E	12.60'
L25	S 64°51'01" W	8.08'
L26	S 64°51'07" W	23.00'
L27	N 25°08'44" W	5.03'
L28	S 64°51'07" W	23.00'
L29	S 64°51'01" W	12.00'
L30	S 23°13'58" E	8.07'
L31	N 23°13'58" W	5.35'
L32	S 79°39'04" W	2.19'
L33	S 79°39'04" W	4.97'
L34	S 79°39'04" W	6.12'
L35	S 79°39'04" W	31.79'

* L20 INTENTIONALLY OMITTED

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	20.87' (20.96')	10232.99' (10232.99')	0°07'01"	20.87'	S 79°42'40" W
C2	45.06' (45.05')	29.98' (29.98')	86°06'23"	40.93'	S 36°42'59" W
C3	360.78' (360.68') [360.68']	416.00' (416.03') [416.00']	49°41'24"	349.58'	S 31°10'54" E
C4	51.66'	200.00'	14°48'03"	51.52'	S 72°15'02" W
C5	51.66'	200.00'	14°48'03"	51.52'	S 72°15'02" W
C6	64.58'	250.00'	14°48'03"	64.40'	N 17°44'58" W
C7	13.78'	25.00'	31°34'32"	13.60'	N 63°51'47" E
C8	30.38'	270.74'	6°25'45"	30.36'	N 16°24'34" W
C9	30.42'	20.00'	87°08'20"	27.57'	N 56°46'46" W
C10	22.92'	15.00'	87°31'49"	20.75'	S 24°08'18" W
C11	31.39'	20.00'	89°56'09"	28.27'	N 55°22'52" W
C12	25.52'	25.00'	58°29'18"	24.43'	N 18°49'52" E
C13	39.30'	25.00'	90°03'50"	35.38'	N 34°37'08" E
C14	39.24'	25.00'	89°56'09"	35.34'	S 55°22'52" E
C15	39.30'	25.00'	90°03'51"	35.38'	S 34°37'08" W
C16	10.93'	223.00'	2°48'34"	10.93'	S 78°14'47" W
C17	34.75'	223.00'	8°55'41"	34.71'	S 72°22'39" W
C18	11.92'	223.00'	3°03'48"	11.92'	S 66°22'55" W
C19	57.61'	223.00'	14°48'03"	57.45'	S 72°15'02" W
C20	23.56'	15.00'	90°00'00"	21.21'	S 70°08'59" E
C21	4.92'	227.00'	1°14'34"	4.92'	N 24°31'42" W
C22	31.63'	227.00'	7°58'58"	31.60'	N 19°54'56" W
C23	41.70'	25.00'	95°34'33"	37.03'	N 31°51'54" E
C24	36.56'	227.00'	9°13'36"	36.52'	N 20°32'11" W
C25	43.84'	223.00'	11°15'49"	43.77'	S 74°01'09" W
C26	30.18'	20.00'	86°27'46"	27.40'	S 68°22'52" E
C27	31.42'	20.00'	90°00'00"	28.28'	S 19°51'01" W
C28	31.44'	20.00'	90°03'51"	28.30'	N 34°37'08" E
C29	5.92'	177.00'	1°55'01"	5.92'	S 65°48'32" W
C30	39.80'	177.00'	12°53'01"	39.72'	S 73°12'33" W
C31	45.72'	177.00'	14°48'03"	45.60'	S 72°15'02" W
C32	31.39'	20.00'	89°56'09"	28.27'	N 55°22'52" W
C33	36.29'	177.00'	11°44'51"	36.23'	S 73°46'38" W
C34	16.61'	177.00'	5°22'40"	16.61'	S 70°35'32" W
C35	19.68'	177.00'	6°22'11"	19.67'	S 76°27'58" W
C36	8.28'	20.00'	23°43'23"	8.22'	N 88°29'15" W
C37	23.11'	20.00'	66°12'46"	21.85'	N 43°31'10" W

Documents

- TITLE COMMITMENT PROVIDED BY STEWART TITLE, HAVING FILE NO. 1037841 AND AN EFFECTIVE DATE OF MAY 17, 2021.
- PLAT OF RECORD FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON DECEMBER 12, 2019, IN BOOK 2019C, PAGE 127.
- PLAT OF EL RANCHO GRANDE I, UNIT 1-B, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON APRIL 12, 2002, IN BOOK 2002C, PAGE 121.
- WARRANTY DEED FOR SUBJECT PROPERTY, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON JUNE 3, 2019, AS DOCUMENT NO. 2019045667.
- PLAT FOR AMOLE CHANNEL DRAINAGE RIGHTS-OF-WAY, TRACTS 1 THRU 5, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON DECEMBER 11, 2009, IN BOOK 2009C, PAGE 171, AS DOCUMENT NO. 2009135016.


Flood Notes

BASED UPON SCALING, THIS PROPERTY LIES WITHIN FLOOD ZONE X WHICH IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD AS DETERMINED BY F.E.M.A. AND SHOWN ON THE FLOOD INSURANCE RATE MAP NO. 35001C0336H, DATED AUGUST 16, 2012.

Drainage Facilities Note







AREAS DESIGNATED ON THE ACCOMPANYING PLAT AS "DRAINAGE EASEMENTS" ARE HEREBY DEDICATED BY THE OWNER AS A PERPETUAL EASEMENT FOR THE COMMON USE AND BENEFIT OF THE VARIOUS LOTS WITHIN THE SUBDIVISIONS FOR THE PURPOSE OF PERMITTING THE CONVEYANCE OF STORM WATER RUNOFF AND THE CONSTRUCTING AND MAINTAINING OF DRAINAGE FACILITIES. GRANTOR SHALL CONSTRUCT DRAINAGE FACILITIES IN THE EASEMENT IN ACCORDANCE WITH STANDARDS PRESCRIBED BY THE CITY AND PLANS AND SPECIFICATIONS APPROVED BY THE CITY ENGINEER IN ACCORDANCE WITH THE DRAINAGE REPORT ENTITLED "SUBMITTED BY THOMPSON ENGINEERING CONSULTANTS, INC., ON _____, 2022, AND APPROVED BY THE ALBUQUERQUE CITY ENGINEER ON _____". NO FENCE, WALL, PLANTING, BUILDING OR OTHER OBSTRUCTION MAY BE PLACED OR MAINTAINED IN EASEMENT AREA WITHOUT APPROVAL OF THE CITY ENGINEER OF THE CITY OF ALBUQUERQUE. THERE ALSO SHALL BE NO ALTERATION OF THE GRADES OR CONTOURS IN SAID EASEMENT AREA WITHOUT THE APPROVAL OF THE CITY ENGINEER. IT SHALL BE THE DUTY OF THE LOT OWNERS OF THIS SUBDIVISION TO MAINTAIN SAID DRAINAGE EASEMENT AND FACILITIES AT THEIR COST IN ACCORDANCE WITH STANDARDS PRESCRIBED BY THE CITY OF ALBUQUERQUE. THE CITY SHALL HAVE THE RIGHT TO ENTER PERIODICALLY TO INSPECT THE FACILITIES. IN THE EVENT SAID LOT OWNERS FAIL TO ADEQUATELY AND PROPERLY MAINTAIN DRAINAGE EASEMENT AND FACILITIES, AT ANY TIME FOLLOWING FIFTEEN (15) DAYS WRITTEN NOTICE TO SAID LOT OWNERS, THE CITY MAY ENTER UPON SAID AREA, PERFORM SAID MAINTENANCE, AND THE COST OF PERFORMING SAID MAINTENANCE SHALL BE PAID BY APPLICABLE LOT OWNERS PROPORTIONATELY ON THE BASIS OF LOT OWNERSHIP. IN THE EVENT LOT OWNERS FAIL TO PAY THE COST OF MAINTENANCE WITHIN THIRTY (30) DAYS AFTER DEMAND FOR PAYMENT MADE BY THE CITY, THE CITY MAY FILE A LIEN AGAINST ALL LOTS IN THE SUBDIVISION FOR WHICH PROPORTIONATE PAYMENT HAS NOT BEEN MADE. THE OBLIGATIONS IMPOSED HEREIN SHALL BE BINDING UPON THE OWNER, HIS HEIRS, AND ASSIGNS AND SHALL RUN WITH ALL LOTS WITHIN THIS SUBDIVISION. THE GRANTOR AGREES TO DEFEND, INDEMNIFY, AND HOLD HARMLESS, THE CITY, ITS OFFICIALS, AGENTS AND EMPLOYEES FROM AND AGAINST ANY AND ALL CLAIMS, ACTIONS, SUITS, OR PROCEEDINGS OF ANY KIND BROUGHT AGAINST SAID PARTIES FOR OR ON ACCOUNT OF ANY MATTER ARISING FROM THE DRAINAGE FACILITY PROVIDED FOR HEREIN OR THE GRANTOR'S FAILURE TO CONSTRUCT, MAINTAIN, OR MODIFY SAID DRAINAGE FACILITY.

Notes

- FIELD SURVEY PERFORMED IN MAY 2021 AND SUPPLEMENTAL DATA IN AUGUST 2021.
- ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
- THE BASIS OF BEARINGS REFERENCES NM STATE PLANE COORDINATES (NAD 83-CENTRAL ZONE).
- LOTS LINES TO BE ELIMINATED SHOWN HEREON AS .
- THE SUBDIVISION WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN HEREON.
- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN HEREON AS (O) SHALL BE MARKED BY A 1/2" REBAR WITH CAP STAMPED "LS 18374".

**Preliminary Plat for
Sombre Del Oeste
Being Comprised of
Tracts 12-B-1-A and 12-B-1-B
El Rancho Grande I
City of Albuquerque
Bernalillo County, New Mexico
February 2022**

Easement and Drainage Notes

- EXISTING 10' PNM EASEMENT (2/22/2001, 2001C-57) PORTION VACATED WITH THIS PLAT SHOWN HEREON AS .
- EXISTING 25' PRIVATE STORM DRAIN EASEMENT (12/12/2019, 2019C-127) PORTION VACATED WITH THIS PLAT SHOWN HEREON AS .
- EXISTING PRIVATE ACCESS EASEMENT (12/12/2019, 2019C-127) VACATED WITH THIS PLAT SHOWN HEREON AS .
- EXISTING 10' PEDESTRIAN ACCESS EASEMENT (4/12/2002, 2002C-121)
- EXISTING 100' PNM EASEMENT (4/12/1956, BK. D348, PG. 43, DOC. NO. 91883)
- EXISTING 5' PNM EASEMENT (1/8/2002, 2002C-7)
- EXISTING 10' PUE (8/15/2003, 2003C-249)
- 5' PRIVATE DRAINAGE EASEMENT BENEFITING THE OWNERS OF LOTS 1-75 AND TRACTS 1-4 GRANTED WITH THE FILING OF THIS PLAT
- EXISTING 20' PERMANENT WATERLINE EASEMENT (10/25/1985, BK. A104, PG. 9135, DOC. NO. 1985090123) SHOWN HEREON AS .
- EXISTING 50' PERMANENT ACCESS ROAD AND WATERLINE EASEMENT (10/25/1985, BK. MISC. 284-A, PG. 668-671, DOC. NO. 1985090123)
- EXISTING AMAFCA DRAINAGE EASEMENT (10/7/2005, DOC. NO. 2005149548) SHOWN HEREON AS .
- EXISTING UNOBSTRUCTED LINE OF SIGHT EASEMENT (1/8/2002, 2002C-7) SHOWN HEREON AS .
- EXISTING UNDERGROUND PNM EASEMENT (10/4/2005, BK. A104, PG. 6254, DOC. NO. 2005146656)
- AREA OUTLINED BY DRAINAGE COVENANT (9/17/2019, DOC. NO. 2019078629)
- AREA OUTLINED BY DRAINAGE COVENANT (9/17/2019, DOC. NO. 2019078634) VACATED WITH THIS PLAT
- 6.25' X 25.83' PNM EASEMENT GRANTED BY DOCUMENT (___/___/_____, DOC. NO. _____) SHOWN HEREON AS .
- 10' PNM EASEMENT GRANTED BY DOCUMENT (___/___/_____, DOC. NO. _____)
- 10' P.U.E. GRANTED WITH THE FILING OF THIS PLAT, SHOWN HEREON AS .
- PRIVATE DRAINAGE PONDING EASEMENT BENEFITING LOTS 1-75 AND TRACTS 1-4 GRANTED WITH THE FILING OF THIS PLAT

From: [Charlene Johnson](#)
To: luis@wccdg.org; jgallegoswccdg@gmail.com; ekhaley@comcast.net; aboard111@gmail.com; rroibal@comcast.net; dpatriciod@gmail.com
Cc: [Jim Strozier](#)
Subject: Pre-Application Notification - 99999 Gibson Blvd. SW
Date: Tuesday, January 18, 2022 6:04:00 PM
Attachments: [Pre-Application Packet - 99999 Gibson Blvd. SW-compressed.pdf](#)

Dear Neighbors,

The purpose of this email is to notify you that Consensus Planning is preparing a request to the Development Review Board (DRB) for waivers associated with a Preliminary Plat Application for the property located at 99999 Gibson Blvd SW (see attached Zone Atlas Page). The Applicant is requesting two waivers to the Integrated Development Ordinance (IDO) and one deferral to the Development Process Manual (DPM):

- IDO 5-4(F)(2)(b) Access to Public Streets - The IDO says that "Residential lots shall avoid layout where the rear lot line is adjacent to a collector or arterial street." The Applicant is requesting a waiver to allow rear lot lines for 13 townhouse lots along Gibson Boulevard.
- IDO 6-6(P)(J)(3) Waived Sidewalk - The Applicant is requesting a waiver to replace the sidewalk and connect to the existing asphalt trail along Gibson Blvd.
- DPM 2-9(C)(1) – Deferral of the installation of sidewalks along the frontage of homes to be built as each house is completed.

In accordance with the IDO, we are providing you an opportunity to discuss this application prior to submittal. Should you desire to request a meeting regarding this application, please do not hesitate to contact me or Jim Strozier at cp@consensusplanning.com or call us at (505) 764-9801. Per the IDO, you have 15 days or until February 2, 2022, to request a meeting.

Attached: Neighborhood Notification Packet – 99999 Gibson Blvd., SW

Sincerely,

Charlene Johnson, Planner
Consensus Planning, Inc.
302 Eighth Street, NW
Albuquerque, NM 87102
Phone: 505 764-9801

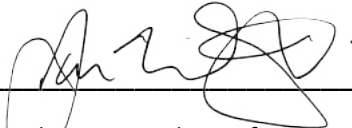


**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART I - PROCESS	
Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following:	
Application Type:	Waiver-DRB
Decision-making Body:	Development Review Board (DRB)
Pre-Application meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Neighborhood meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Mailed Notice required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Electronic Mail required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Is this a Site Plan Application:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Note: if yes, see second page
PART II – DETAILS OF REQUEST	
Address of property listed in application: 99999 Gibson Blvd. SW	
Name of property owner: Solare Collegiate Foundation	
Name of applicant: Consensus Planning, Inc. (Agent) / HomeWise, Inc. (Applicant)	
Date, time, and place of public meeting or hearing, if applicable:	
To be determined.	
Address, phone number, or website for additional information:	
Please contact Jim Strozier, cp@consensusplanning.com or Charlene Johnson, johnson@consensusplanning.com or (505) 764-9801	
PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE	
<input checked="" type="checkbox"/> Zone Atlas page indicating subject property.	
<input checked="" type="checkbox"/> Drawings, elevations, or other illustrations of this request.	
N/A Summary of pre-submittal neighborhood meeting, if applicable.	
<input checked="" type="checkbox"/> Summary of request, including explanations of deviations, variances, or waivers.	
IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO SUBSECTION 14-16-6-4(K) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.	

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

 _____ (Applicant signature) January 18, 2022 _____ (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY
Provide a site plan that shows, at a minimum, the following:
N/Aa. Location of proposed buildings and landscape areas.
N/Ab. Access and circulation for vehicles and pedestrians.
N/Ac. Maximum height of any proposed structures, with building elevations.
N/Ad. For residential development: Maximum number of proposed dwelling units.
N/Ae. For non-residential development: N/A Total gross floor area of proposed project. N/A Gross floor area for each proposed use.

* An exhibit showing the areas of the site for which the waivers are being requested is included in as an attachment.

[Note: Items with an asterisk (*) are required.]

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: January 18, 2021

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: See attached Public Notice Inquiry

Name of NA Representative*: See attached Public Notice Inquiry

Email Address* or Mailing Address* of NA Representative¹: See attached Public Notice Inquiry

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: cp@consensusplanning.com or johnson@consensusplanning.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

To be determined

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 99999 Gibson Blvd. SW
Location Description Near the northeast corner of Gibson Blvd and 98th Street
2. Property Owner* Solare Collegiate Foundation
3. Agent/Applicant* [if applicable] Consensus Planning, Inc. / HomeWise, Inc.
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (*) are required.]

- Vacation _____ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: _____

Summary of project/request^{3*}:

In conjunction with a future Preliminary Plat Application, the Applicant is requesting the following:

- 1) Waiver to the allow rear yards facing an arterial street (Gibson Blvd);
- 2) Waiver to replace the sidewalk to connect to the asphalt trail along Gibson Blvd., and
- 3) Deferral of sidewalk construction until each house is built.

5. This type of application will be decided by^{*}: City Staff
- OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
 - Landmarks Commission (LC) Environmental Planning Commission (EPC)
 - City Council

6. Where more information about the project can be found^{*4}:

Please contact Jim Strozier, cp@consensusplanning.com or Charlene Johnson, johnson@consensusplanning.com or (505) 764-9801

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)^{*5} M-09-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project^{*}:
 - Deviation(s) Variance(s) Waiver(s)

Explanation:

5-4(F)(2)(b) Access to Public Streets - The IDO says that "Residential lots shall avoid layout where the rear lot line is adjacent to a collector or arterial street." The Applicant is requesting a waiver to allow the rear lot lines for 13 townhouse lots along Gibson Boulevard.

6-6(P)(J)(3) Waived Sidewalk - The Applicant is requesting a waiver to replace the sidewalk and connect to the existing asphalt trail along Gibson Blvd.

DPM 2-9 (C)(1) Deferred Sidewalks - The Applicant is requesting to defer the installation of sidewalk along along the frontage of homes and that they be constructed as each house is completed.

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1](#)^{*}: Yes No

³ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- N/A a. Location of proposed buildings and landscape areas.*
- N/A b. Access and circulation for vehicles and pedestrians.*
- N/A c. Maximum height of any proposed structures, with building elevations.*
- N/A d. **For residential development***: Maximum number of proposed dwelling units.
- N/A e. **For non-residential development***:
 - N/A Total gross floor area of proposed project.
 - N/A Gross floor area for each proposed use.

Additional Information:

1. From the IDO Zoning Map⁶:
 - a. Area of Property [typically in acres] 6.1178 acres
 - b. IDO Zone District MX-M
 - c. Overlay Zone(s) [if applicable] None
 - d. Center or Corridor Area [if applicable] 98th and Gibson Activity Center
 2. Current Land Use(s) [vacant, if none] Vacant
-

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

From: Carmona, Dalaina L.
To: Charlene Johnson
Subject: 99999 GIBSON BLVD SW Gibson and 98th Street Public Notice Inquiry
Date: Tuesday, January 18, 2022 9:29:23 AM
Attachments: image001.png
 image002.png
 image003.png
 image004.png
 image007.png
 Zone Atlas Highlighted Update Solare Homewise.pdf

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
South West Alliance of Neighborhoods (SWAN Coalition)	Luis	Hernandez Jr.	luis@wccdg.org	5921 Central Avenue NW	Albuquerque	NM	87105		
South West Alliance of Neighborhoods (SWAN Coalition)	Jerry	Gallegos	jgallegoswccdg@gmail.com	5921 Central Avenue NW	Albuquerque	NM	87105	5053855809	5058362976
Westside Coalition of Neighborhood Associations	Elizabeth	Haley	ekhaley@comcast.net	6005 Chaparral Circle NW	Albuquerque	NM	87114	5054074381	
Westside Coalition of Neighborhood Associations	Rene	Horvath	aboard111@gmail.com	5515 Palomino Drive NW	Albuquerque	NM	87120		5058982114
South Valley Coalition of Neighborhood Associations	Roberto	Roibal	rroibal@comcast.net	2233 Don Felipe Road SW	Albuquerque	NM	87105		5054809651
South Valley Coalition of Neighborhood Associations	Patricio	Dominguez	dpatriciod@gmail.com	3094 Rosendo Garcia Road SW	Albuquerque	NM	87105		5052382429

PLEASE NOTE: The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project. Please use this online link to find the required forms you will need to submit: <https://www.cabq.gov/planning/urban-design-development/public-notice>. The Checklist form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf. The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>

Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s): <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thanks,



Dalaina L. Carmona
 Senior Administrative Assistant
 Office of Neighborhood Coordination
 Council Services Department
 1 Civic Plaza NW, Suite 9087, 9th Floor
 Albuquerque, NM 87102
 505-768-3334
dcarmona@cabq.gov or ONC@cabq.gov
 Website: www.cabq.gov/neighborhoods



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov
Sent: Monday, January 17, 2022 8:27 AM
To: Office of Neighborhood Coordination <johnson@consensusplanning.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Public Notice Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Public Notice Inquiry For:

Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Charlene Johnson

Telephone Number

505 764-9801

Email Address

johnson@consensusplanning.com

Company Name

Consensus Planning, Inc.

Company Address

302 8th Street, NW

City

Albuquerque

State

NM

ZIP

87102

Legal description of the subject site for this project:

TR 12B1A PLAT OF TRACT 12-B-1-A & 12-B-1-B EL RANCHOGRANDE 1 CONT 6.1178 AC

Physical address of subject site:

99999 GIBSON BLVD SW

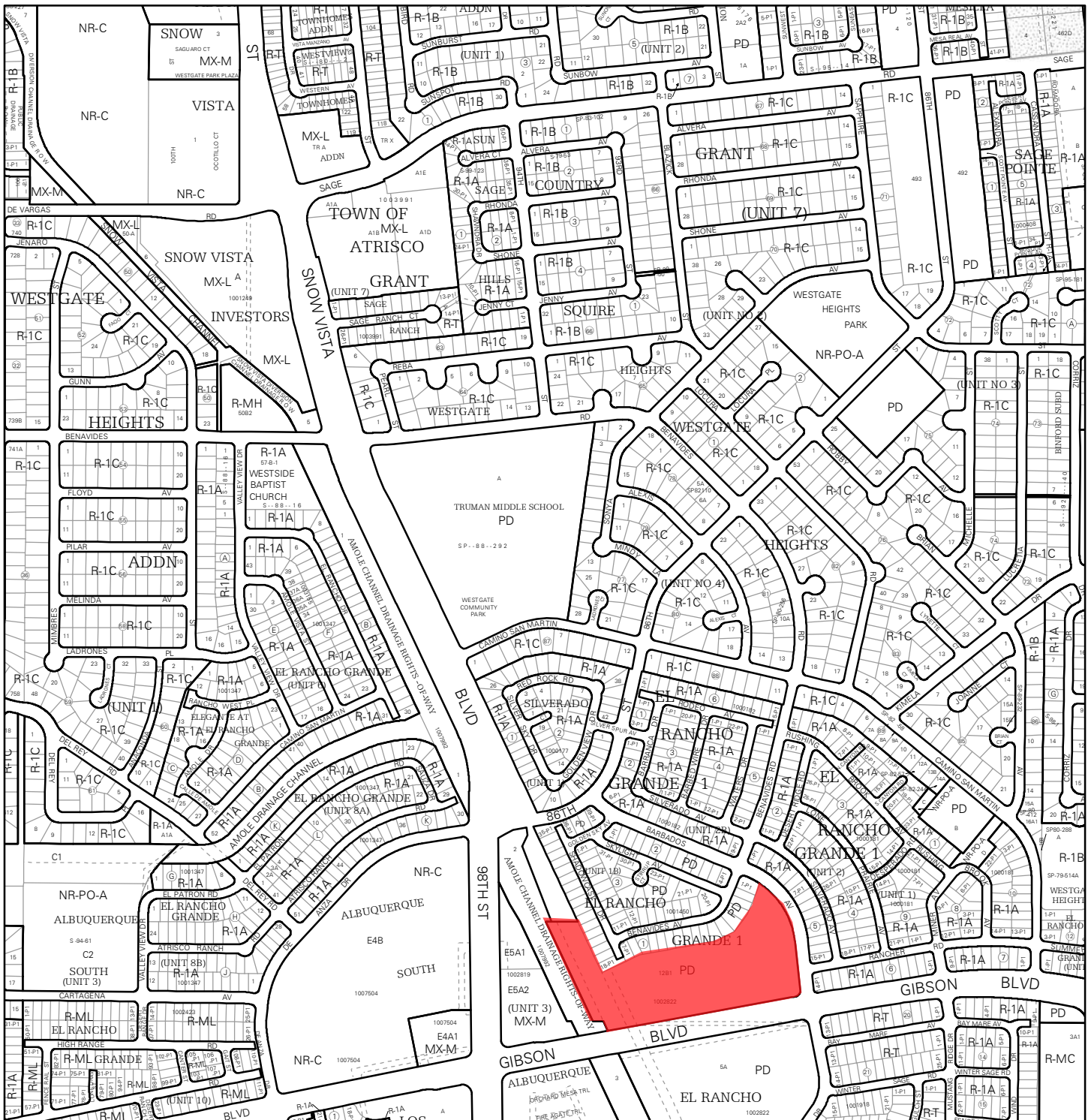
Subject site cross streets:

Gibson and 98th Street

Other subject site identifiers:


This site is located on the following zone atlas page:

M-09

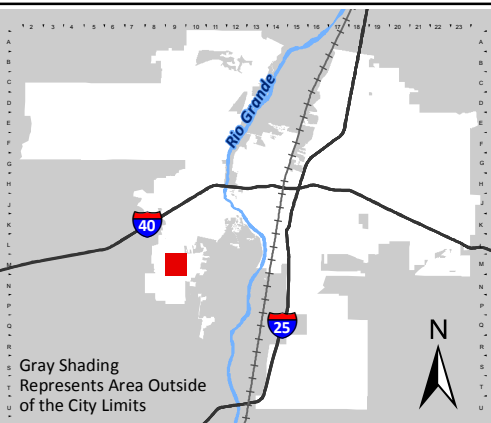


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Gray Shading
Represents Area Outside
of the City Limits

Zone Atlas Page:
M-09-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

**Sketch Plat for
Solare Townhomes
and Tracts 12-B-1-A-1 and
12-B-1-B-1**

El Rancho Grande I
Being Comprised of
Tracts 12-B-1-A and 12-B-1-B
El Rancho Grande I
City of Albuquerque
Bernalillo County, New Mexico
January 2022

ACS Monument = 6-MTD
NAD 1983 CENTRAL ZONE
X=1497927.859
Y=5050537.768 (NAVD, 1988)
Z=0.00000000
G-C=0.999685636
Mapping Angle= -0°16'24.79"

Legend

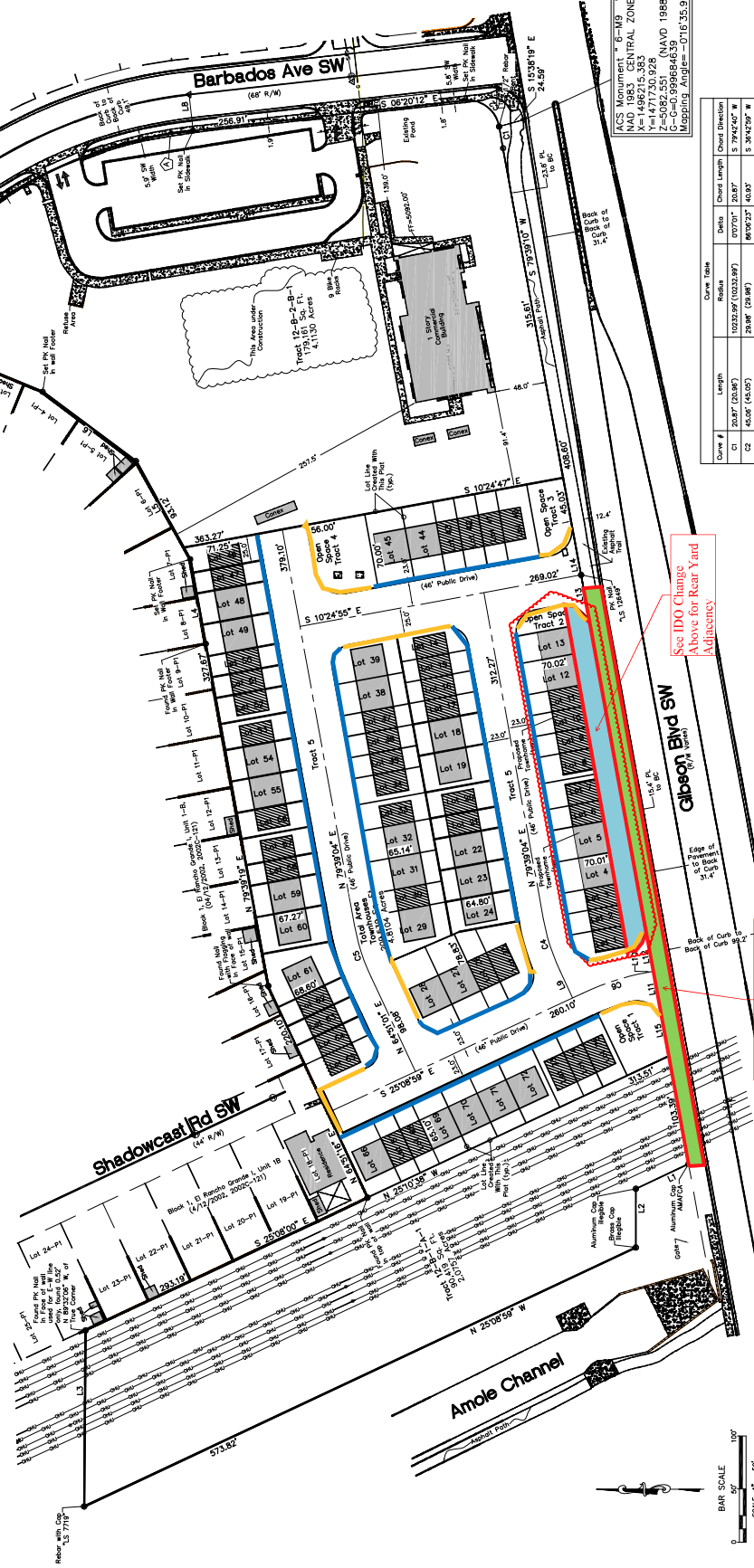
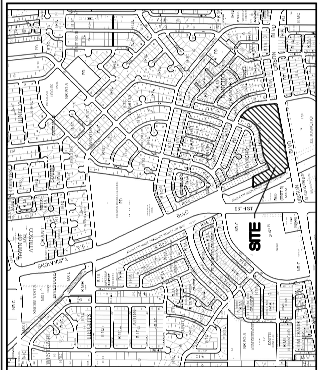
N 90°00'00" E	MEASURED BEARINGS AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES
(N 90°00'00" E)	PER PLAT (12/22/2018, 2018-C-127)
(N 90°00'00" E)	PER P.C. (08/09/2008, 2008-2-046)
•	FOUND MONUMENT AS INDICATED
○	SET 1/2" OF REBAR WITH COP
△	FOUND OVERSIZED MONUMENT 1.5" 10374"
□	COVERED AREA
XXXXXX	CONCRETE
—	BLOCK WALL
—	UTILITY FEDERAL
—	OVERHEAD UTILITY LINE
—	UTILITY POLE
—	SHOOR
—	TO ROADWAY
—	CURS OUTLINE/LOCATION OF ACCESS

Line #	Direction	Length (ft)
L1	N 27°45'37" W	54.77(54.77)
L2	N 89°53'31" E	55.85(55.85)
L3	S 89°25'09" E	186.37(186.47)
L4	N 79°29'59" W	81.02(81.02)
L5	N 67°07'52" E	105.23(105.23)
L6	N 25°23'52" E	193.37(193.47)
L7	N 62°59'48" E	14.00(14.00)
L8	N 62°59'48" E	28.00
L9	N 12°05'06" W	5.98
L10	N 79°29'59" W	48.98
L11	S 79°29'59" W	42.63
L12	S 79°29'59" W	50.63
L13	S 79°29'59" W	47.97
L14	S 79°29'59" W	32.94
L15	S 79°29'59" W	21.91
L17	S 79°29'59" W	5.00

Access to Public Streets-Rear Yard Adjacency Per IDO*
AS PER DO SECTION 5-4(F)(2)(A), RESIDENTIAL LOTS SHALL AVOID LAYOUTS WHERE THE REAR LOT LINE IS ADJACENT TO A COLLECTOR OR ARTERIAL STREET. LOCAL FRONTAGE ROADS MAY BE USED TO PROVIDE ACCESS TO REAR YARDS AND LOCKING RESIDENTIAL REAR YARD WALLS ALONG COLLECTOR AND ARTERIAL STREETS.
* REQUESTING TO WAIVER THIS REQUIREMENT FOR LOTS 1-13 TO ALLOW REAR YARDS ADJACENT TO GIBSON BOULEVARD.

Sidewalk Waiver Request**
IF THE REQUEST IS FOR A WAIVER TO DO SIDEWALK REQUIREMENTS, THE AREA IS OF LOW-INTENSITY LAND USE TO AN EXTENT THAT THE NORMAL INSTALLATION OF SIDEWALKS WILL NOT CONTRIBUTE TO THE OVERALL SAFETY OF THE TRAVELERS OR TO THE FUNCTIONING OF AN EXISTING SIDEWALK SYSTEM EXTENDED TO IT OR MORE SIDES OF THE SUBJECT PROPERTY.
** PROPOSED ASPHALT TRAIL WILL BE WITHIN AREA TO REPLACE THE SIDEWALK REQUIREMENTS FOR SUBDIVISIONS.

Sidewalk Deferral:
AS PER IDM SECTION 10M-2-9(O)(1) TEMPORARY SIDEWALK
REQUESTING A DEFERRAL FOR THIS REQUIREMENT



Curve Data

Curve #	Length	Delta	Chord Length	Chord Direction
C1	20.87 (20.87)	102.02 (102.02)	20.87	S 79°29'59" W
C2	46.07 (46.07)	29.88 (29.88)	96.02 (96.02)	S 30°42'59" W
C3	380.28 (380.28)	44.00 (44.00)	380.28 (380.28)	S 79°29'59" W
C4	31.68	148.00 (148.00)	31.68	S 79°29'59" W
C5	31.68	148.00 (148.00)	31.68	S 79°29'59" W
C6	41.67	23.00	23.00	S 79°29'59" W
C7	41.67	23.00	23.00	S 79°29'59" W

See IDO Change Above for Rear Yard Adjacency.

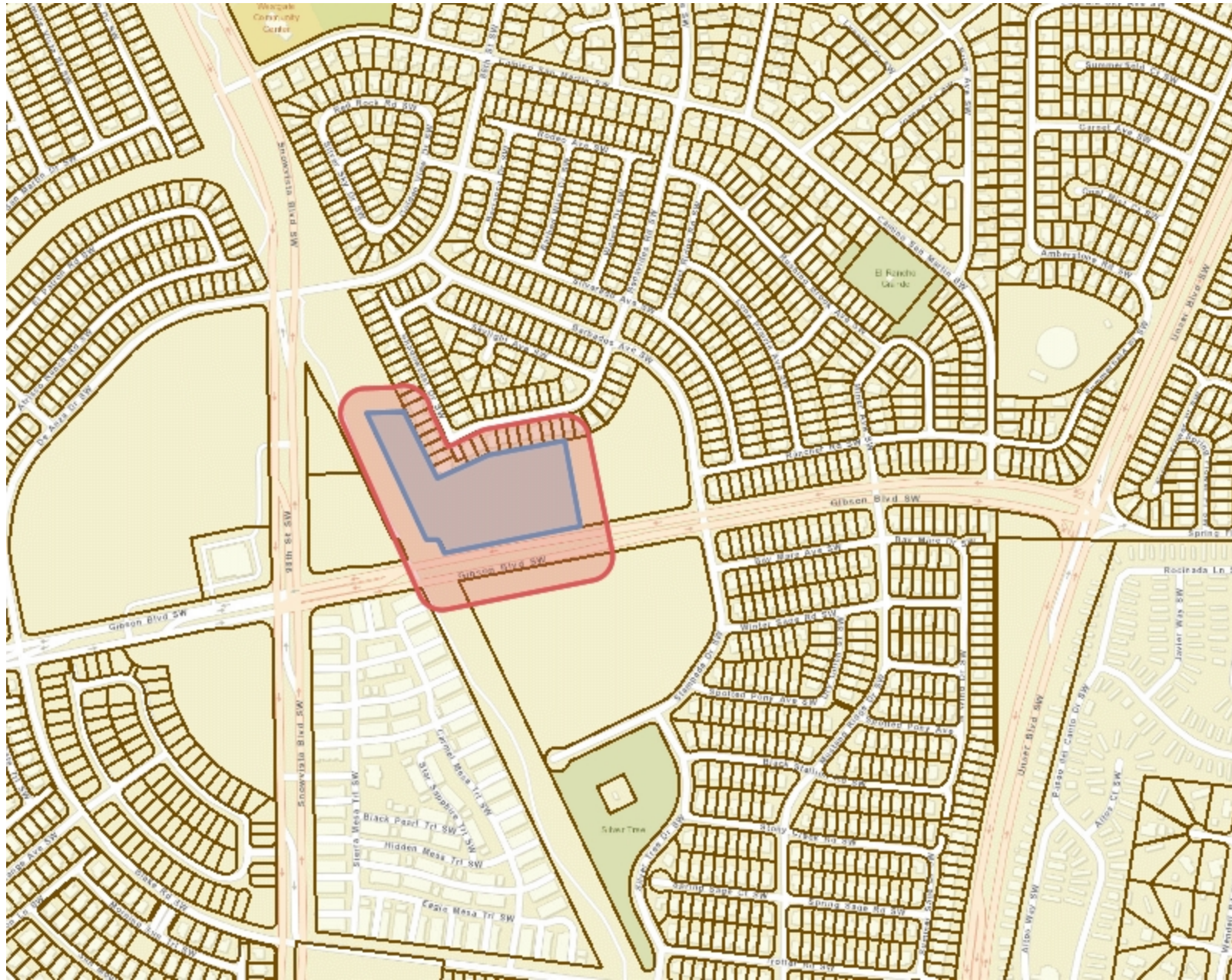
Area of Sidewalk Waiver and Deferral. See Notes above.

DEFERRED SIDEWALKS
NON-DEFERRED SIDEWALKS





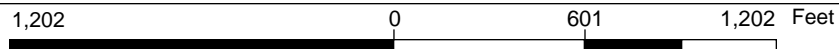
100-foot buffer



Legend

- Bernalillo County Parcels
- Municipal Limits**
 - Corrales
 - Edgewood
 - Los Ranchos
 - Rio Rancho
 - Tijeras
 - UNINCORPORATED
- World Street Map

Notes



WGS_1984_Web_Mercator_Auxiliary_Sphere
2/7/2022 © City of Albuquerque

1: 7,212

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Buffer Map Addresses - Gibson and 98th Street

Owner	Owner Address	Owner Address 2
RIVERA ANGEL	8928 BENAVIDES AVE SW	ALBUQUERQUE NM 87121
SALAS VALDEZ JESUS & DELGADO ORTIZ JUANA	1859 SHADOWCAST DR SW	ALBUQUERQUE NM 87121-2098
ALIRES TIMOTHY E & MELISSA R	8740 BENAVIDES AVE SW	ALBUQUERQUE NM 87121-7432
GRIMES MATTHEW	8748 BENAVIDES AVE SW	ALBUQUERQUE NM 87121
CHACON MARISOL MORALES & LUJAN CESAR DAVID		
RIVERA	8744 BENAVIDES AVE SW	ALBUQUERQUE NM 87121-7432
BAYLON ELEUTERIO	8756 BENAVIDES AVE SW	ALBUQUERQUE NM 87121
ROGERS MARTHA L	8724 BENAVIDES AVE SW	ALBUQUERQUE NM 87121
RAMOS LUIS ARPERO	5721 DEL FRATE PL NW	ALBUQUERQUE NM 87105-1251
CHAVEZ COSME C & ROSA I	1871 SHADOWCAST DR SW	ALBUQUERQUE NM 87121
ROCHA M ARTURO	1855 SHADOWCAST AVE SW	ALBUQUERQUE NM 87121
ARMENDARIZ JUAN M & MANUELA	8736 BENAVIDES AVE SW	ALBUQUERQUE NM 87121
MOLINAR VERONICA	8760 BENAVIDES AVE SW	ALBUQUERQUE NM 87121
EARL DALE R & CLARISSA ANNE	1863 SHADOWCAST DR SW	ALBUQUERQUE NM 87121-2098
SANDOVAL MATTHEW	8732 BENAVIDES AVE SW	ALBUQUERQUE NM 87121
GIBSON-STAMPEDE LLC	PO BOX 11591	ALBUQUERQUE NM 87192-0591
GALLARDO VICKY	1523 SILENT MEADOW PL SW	ALBUQUERQUE NM 87121-3548
CAMPOS JOYLENE HOPE	1847 SHADOWCAST DR SW	ALBUQUERQUE NM 87121-2098
PATENA MARCO J GARZA	1839 SHADOWCAST DR SW	ALBUQUERQUE NM 87121-2098
ZURITA-PABLO KEREN D	8752 BENAVIDES AVE SW	ALBUQUERQUE NM 87121-7432
MARRUFO AMADO	8964 BENAVIDES AVE SW	ALBUQUERQUE NM 87121
RAEL ALBERT A	1843 SHADOWCAST DR SW	ALBUQUERQUE NM 87121
98TH STREET LLC	6300 JEFFERSON ST NE	ALBUQUERQUE NM 87109-3482
DIAMOND MESA ACQUISITION LLC & R HS/MP		
DIAMOND MESA LLC & ETAL ATTN: TIM WALLEN	19000 W BLUEMOUND RD	BROOKFIELD WI 53045-6073
SOLARE COLLEGIATE FOUNDATION	1623 LA VEGA DR SW	ALBUQUERQUE NM 87105-4724

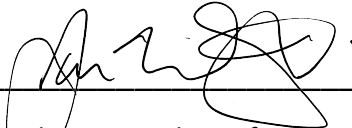


**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART I - PROCESS	
Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following:	
Application Type:	Preliminary Plat Application with requested Waiver-DRB
Decision-making Body:	Development Review Board (DRB)
Pre-Application meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Neighborhood meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Mailed Notice required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Electronic Mail required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Is this a Site Plan Application:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Note: if yes, see second page
PART II – DETAILS OF REQUEST	
Address of property listed in application: 99999 Gibson Blvd. SW	
Name of property owner: Solare Collegiate Foundation	
Name of applicant: Consensus Planning, Inc. (Agent) / HomeWise, Inc. (Applicant)	
Date, time, and place of public meeting or hearing, if applicable:	
March 9, 2022, 9:00 AM via Zoom Remote Meetings	
Address, phone number, or website for additional information:	
Please contact Jim Strozier, cp@consensusplanning.com or Charlene Johnson, johnson@consensusplanning.com or (505) 764-9801	
PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE	
<input checked="" type="checkbox"/> Zone Atlas page indicating subject property.	
<input checked="" type="checkbox"/> Drawings, elevations, or other illustrations of this request.	
N/A Summary of pre-submittal neighborhood meeting, if applicable.	
<input checked="" type="checkbox"/> Summary of request, including explanations of deviations, variances, or waivers.	
IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO SUBSECTION 14-16-6-4(K) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.	

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

 (Applicant signature) February 10, 2022 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY
Provide a site plan that shows, at a minimum, the following:
N/Aa. Location of proposed buildings and landscape areas.
N/Ab. Access and circulation for vehicles and pedestrians.
N/Ac. Maximum height of any proposed structures, with building elevations.
N/Ad. For residential development: Maximum number of proposed dwelling units.
N/Ae. For non-residential development: N/A Total gross floor area of proposed project. N/A Gross floor area for each proposed use.

* The submitted Site Plan and an exhibit showing the requested waivers are included as attachments.

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: February 10, 2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: _____

Mailing Address*: _____

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 99999 Gibson Blvd. SW
Location Description Northeast corner of Gibson Boulevard, east of 98th Street.
2. Property Owner* Solare Collegiate Foundation
3. Agent/Applicant* *[if applicable]* Consensus Planning, Inc. / Homewise, Inc.
4. Application(s) Type* per IDO [Table 6-1-1](#) *[mark all that apply]*
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision Major (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request^{1*}:

The Applicant is submitting a Preliminary Plat for Subdivision (see attached Preliminary Plat).

The project will provide 75 townhouse units on the subject property.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: March 9, 2022, 9:00 AM

Location*²: Online Zoom Meeting - Please visit the website below for remote meeting link.

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*³:

Please contact Jim Strozier, cp@consensusplanning.com or Charlene Johnson, johnson@consensusplanning.com or (505) 764-9801

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁴ M-09-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*:
 - Deviation(s)
 - Variance(s)
 - Waiver(s)

Explanation*:

5-4(F)(2)(b) Access to Public Streets - The IDO says that "Residential lots shall avoid layout where the rear lot line is adjacent to a collector or arterial street." The Applicant is requesting a waiver to allow the rear lot lines for 13 townhouse lots along Gibson Boulevard.

6-6(P)(J)(3) Waived Sidewalk - The Applicant is requesting a waiver to replace the sidewalk and connect to the existing asphalt trail along Gibson Blvd.

DPM 2-9 (C)(1) Deferred Sidewalks - The Applicant is requesting to defer the installation of sidewalk along along the frontage of homes and that they be constructed as each house is completed.

*See attached Waiver Exhibit.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

None requested by Neighborhood Associations.

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

N/A a. Location of proposed buildings and landscape areas.*

N/A b. Access and circulation for vehicles and pedestrians.*

N/A c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

N/A d. **For residential development***: Maximum number of proposed dwelling units.

N/A e. **For non-residential development***:

- Total gross floor area of proposed project.
- Gross floor area for each proposed use.

[*Submitted Site Plan is attached for reference.](#)

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 6.1178 acres
 2. IDO Zone District Mixed Use-Moderate (MX-M)
 3. Overlay Zone(s) [if applicable] None
 4. Center or Corridor Area [if applicable] 98th and Gibson Activity Center
- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

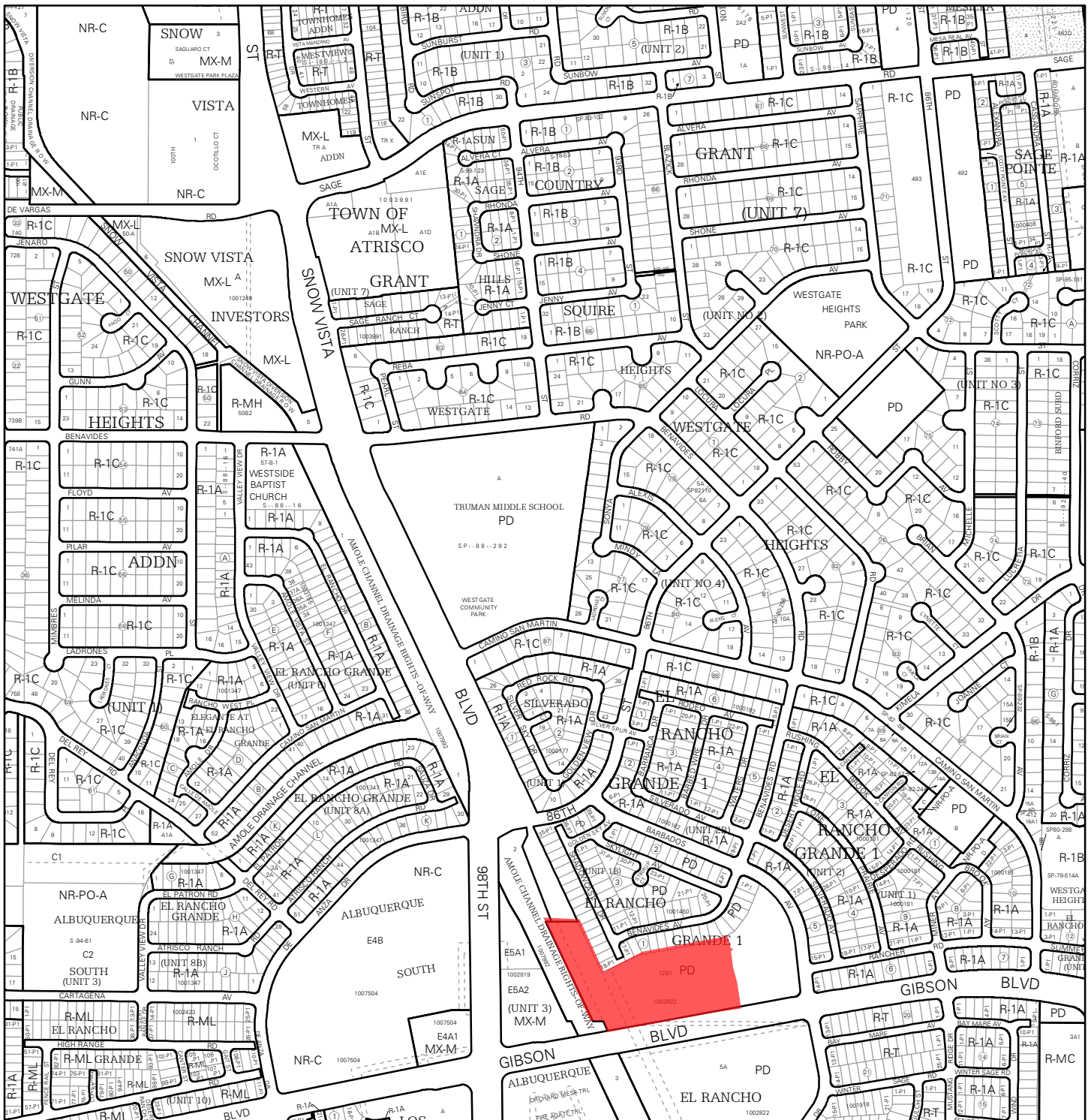
Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

⁵ Available here: <https://tinurl.com/idozoningmap>



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:
M-09-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

**Sketch Plat for
Solare Townhomes
and Tracts 12-B-1-A-1 and
12-B-1-B-1**

El Rancho Grande I
Being Comprised of
Tracts 12-B-1-A and 12-B-1-B
El Rancho Grande I
City of Albuquerque
Bernalillo County, New Mexico
January 2022

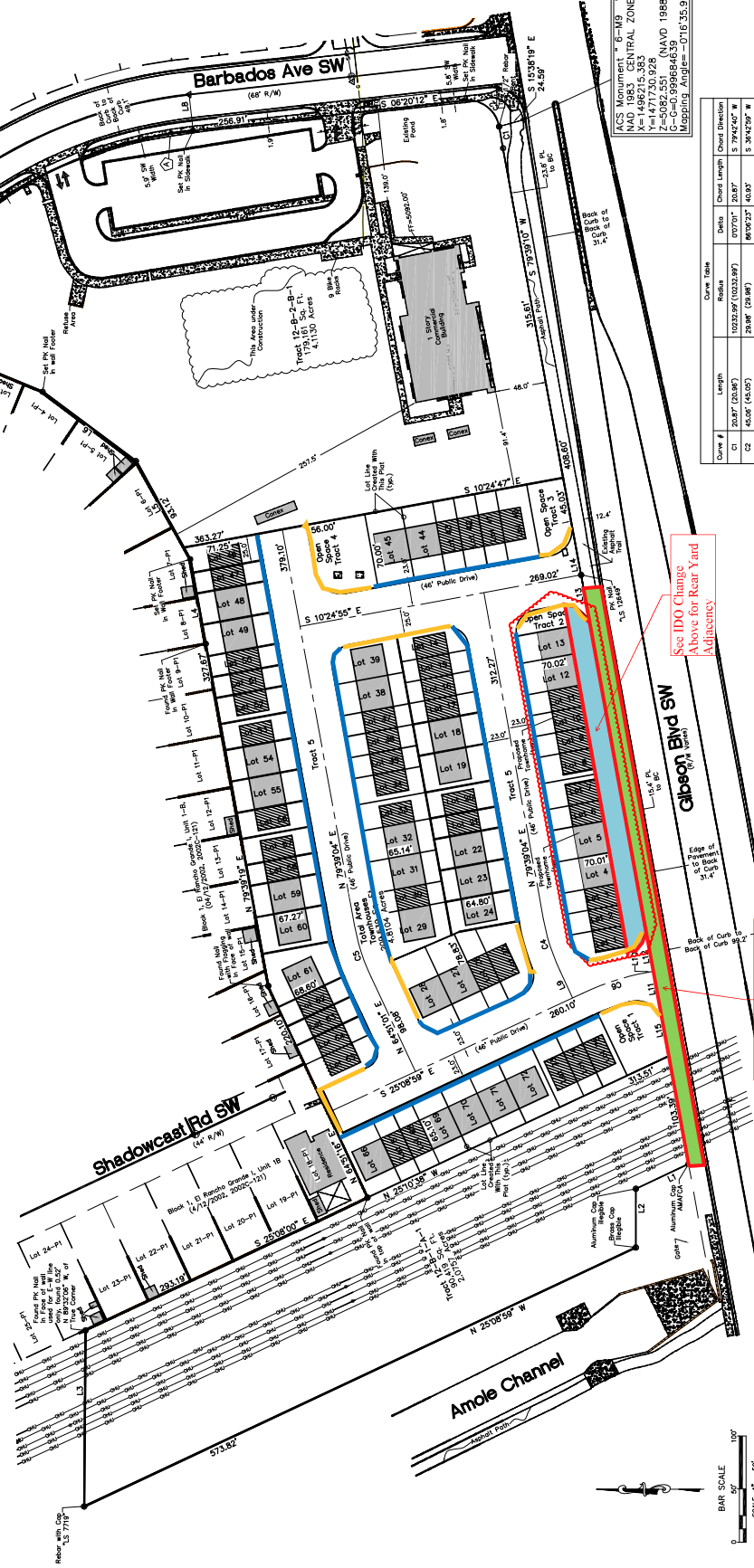
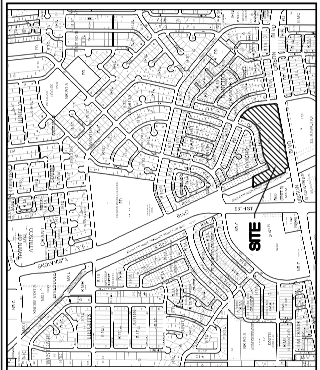
ACS Monument - 6-MTD
NAD 1983 CENTRAL ZONE
X=1497927.859
Y=5050537.768 (NAVD, 1988)
Z=0.00000000
C-G=0.999686536
Mapping Angle=0°16'24.79"

Legend

MEASURED BEARINGS AND DISTANCES
(N 90°00'00" E)
RECORD BEARINGS AND DISTANCES
PER PLAT (12/22/2018, 2018-137)
(N 90°00'00" E)
RECORD BEARINGS AND DISTANCES
PER PLAT (08/09/2008, 2008-246)
FOUND MONUMENT AS INDICATED
SET 1/2" OF REBAR WITH COP
IN CONCRETE
FOUND OVERLINE MONUMENT "S 77°14"
UNLESS OTHERWISE NOTED
COVERED AREA
CONCRETE
BLOCK WALL
UTILITY FEDERAL
OVERHEAD UTILITY LINE
UTILITY POLE
SHOOR
CURB
CURB/CONTINUATION OF ACCESS
TO ROADWAY

Line #	Direction	Length (ft)
L1	N 27°45'3" W	54.77(64.71)
L2	N 89°53'1" E	55.87(55.27)
L3	S 89°25'0" E	186.37 (186.47)
L4	N 79°39'1" W	81.22 (81.10)
L5	N 67°07'1" E	105.23 (105.21)
L6	N 36°25'4" E	105.23 (105.47)
L7	N 25°23'2" E	105.23 (105.47)
L8	N 63°39'4" E	14.00 (14.00)
L9	N 63°39'1" E	28.00
L10	N 12°05'0" W	5.30
L11	N 79°39'0" W	48.90
L12	N 79°39'1" W	42.43
L13	N 79°39'0" W	50.03
L14	N 79°39'0" W	47.97
L15	N 79°39'0" W	32.94
L16	N 79°39'0" W	21.91
L17	N 79°39'0" W	5.00

- Access to Public Streets-Rear Yard Adjacency Per IDO***
AS PER IDO SECTION 5-4(F)(2)(A), RESIDENTIAL LOTS SHALL AVOID LAYOUTS WHERE THE REAR LOT LINE IS ADJACENT TO A COLLECTOR OR ARTERIAL STREET. LOCAL FRONTAGE ROADS MAY BE REQUESTED TO WAIVER THIS REQUIREMENT FOR LOTS 1-13 TO ALLOW REAR YARDS ADJACENT TO GIBSON BOULEVARD.
- Sidewalk Waiver Request****
IF THE REQUEST IS FOR A WAIVER TO IDO SIDEWALK REQUIREMENTS, THE AREA IS OF LOW-INTENSITY LAND USE TO AN EXTENT THAT THE NORMAL INSTALLATION OF SIDEWALKS WILL NOT CONTRIBUTE TO OVERLOADING OR LOCKING RESIDENTIAL REAR YARD WALLS ALONG COLLECTOR AND ARTERIAL STREETS.
- Sidewalk Deferral†**
AS PER IDO SECTION 5PM-2-9(O)(1) TEMPORARY SIDEWALK REQUESTING A DEFERRAL FOR THIS REQUIREMENT



Curve Table

Curve #	Length	Radius	Chord Length	Chord Direction
C1	20.87 (20.87)	10232.82 (10232.82)	20.70 (20.70)	S 79°42'0" W
C2	46.07 (46.07)	29.88 (29.88)	96.02 (96.02)	S 30°42'0" E
C3	380.22 (380.22)	416.07 (416.07)	99.12 (99.12)	S 31°05'0" E
C4	38.68 (38.68)	148.00 (148.00)	148.00 (148.00)	S 77°03'0" W
C5	4.68 (4.68)	20.00 (20.00)	4.68 (4.68)	S 77°03'0" W
C7	6.15 (6.15)	25.00 (25.00)	23.00 (23.00)	N 75°53'0" E

See IDO Change Above for Rear Yard Adjacency.

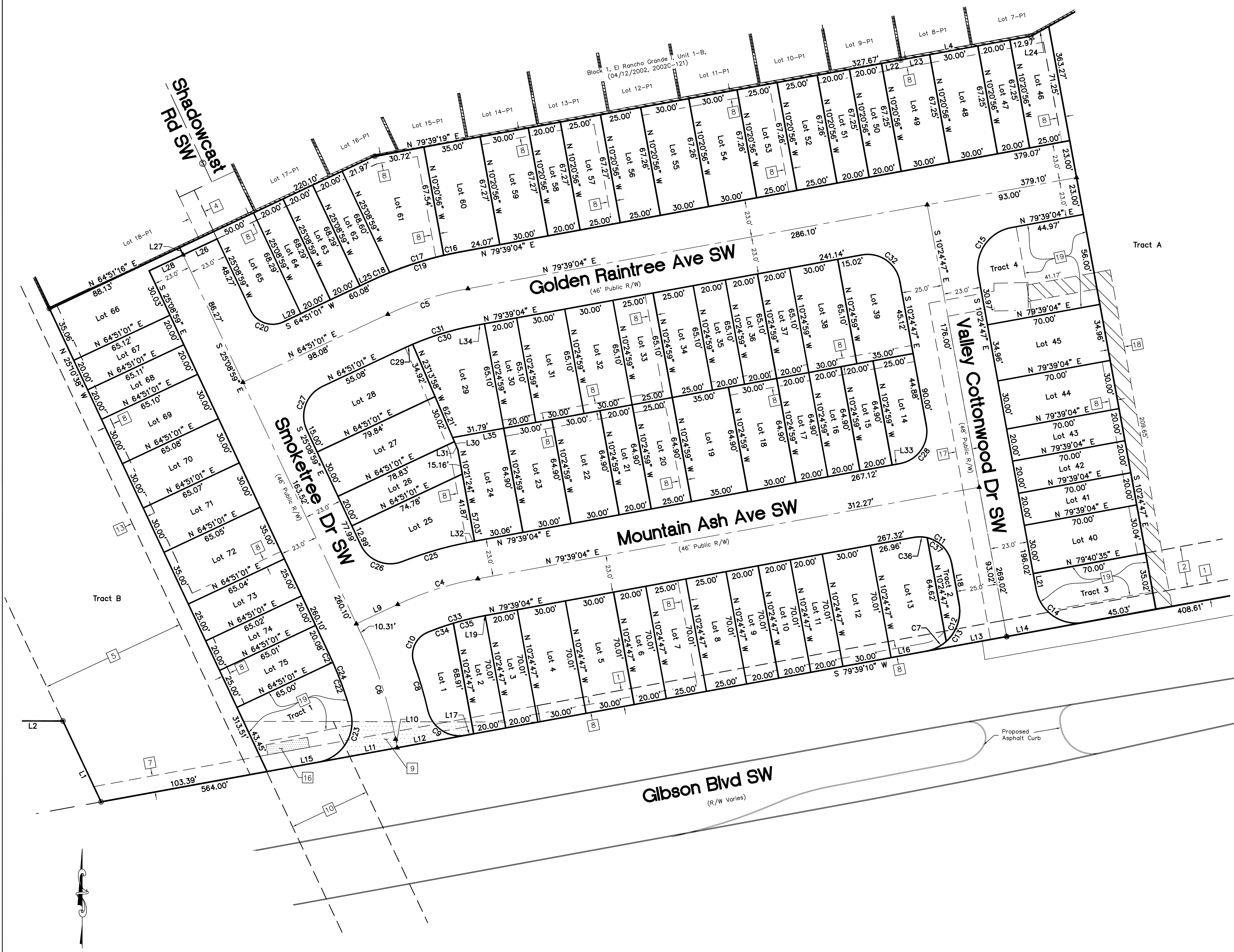
DEFERRED SIDEWALKS
NON-DEFERRED SIDEWALKS

Area of Sidewalk Waiver and Deferral. See Notes above.

BAR SCALE
0 50 100'
SCALE 1" = 80'

This Sheet Shows
Townhome Details and
Post-Plat Easements Only

Preliminary Plat for
Sombre Del Oeste
Being Comprised of
Tracts 12-B-1-A and 12-B-1-B
El Rancho Grande I
City of Albuquerque
Bernalillo County, New Mexico
February 2022

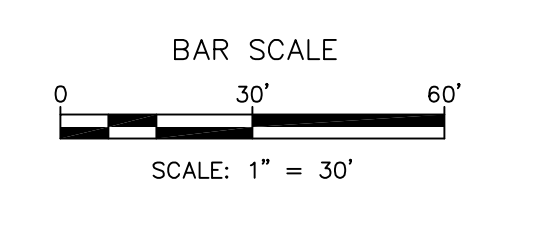


Parcel Name	Area (Acres)	Area (Sq. Ft.)
Lot 1	0.0379	1,649
Lot 2	0.0320	1,393
Lot 3	0.0321	1,400
Lot 4	0.0482	2,100
Lot 5	0.0482	2,100
Lot 6	0.0321	1,400
Lot 7	0.0402	1,750
Lot 8	0.0402	1,750
Lot 9	0.0321	1,400
Lot 10	0.0321	1,400
Lot 11	0.0321	1,400
Lot 12	0.0482	2,100
Lot 13	0.0558	2,430
Lot 14	0.0353	1,536
Lot 15	0.0298	1,298
Lot 16	0.0298	1,298
Lot 17	0.0298	1,298
Lot 18	0.0447	1,947
Lot 19	0.0521	2,272
Lot 20	0.0372	1,622

Parcel Name	Area (Acres)	Area (Sq. Ft.)
Lot 21	0.0298	1,298
Lot 22	0.0447	1,947
Lot 23	0.0447	1,947
Lot 24	0.0449	1,956
Lot 25	0.0546	2,378
Lot 26	0.0355	1,545
Lot 27	0.0546	2,380
Lot 28	0.0626	2,729
Lot 29	0.0572	2,491
Lot 30	0.0299	1,302
Lot 31	0.0448	1,953
Lot 32	0.0448	1,953
Lot 33	0.0374	1,628
Lot 34	0.0374	1,628
Lot 35	0.0299	1,302
Lot 36	0.0299	1,302
Lot 37	0.0299	1,302
Lot 38	0.0448	1,953
Lot 39	0.0503	2,193
Lot 40	0.0482	2,101

Parcel Name	Area (Acres)	Area (Sq. Ft.)
Lot 41	0.0321	1,400
Lot 42	0.0321	1,400
Lot 43	0.0321	1,400
Lot 44	0.0482	2,100
Lot 45	0.0562	2,448
Lot 46	0.0391	1,703
Lot 47	0.0309	1,345
Lot 48	0.0463	2,017
Lot 49	0.0463	2,018
Lot 50	0.0309	1,345
Lot 51	0.0309	1,345
Lot 52	0.0386	1,681
Lot 53	0.0386	1,681
Lot 54	0.0463	2,018
Lot 55	0.0463	2,018
Lot 56	0.0386	1,682
Lot 57	0.0386	1,682
Lot 58	0.0309	1,345
Lot 59	0.0463	2,018
Lot 60	0.0541	2,355

Parcel Name	Area (Acres)	Area (Sq. Ft.)
Lot 61	0.0690	3,006
Lot 62	0.0314	1,367
Lot 63	0.0314	1,366
Lot 64	0.0314	1,366
Lot 65	0.0439	1,911
Lot 66	0.0551	2,399
Lot 67	0.0299	1,302
Lot 68	0.0299	1,302
Lot 69	0.0448	1,953
Lot 70	0.0448	1,952
Lot 71	0.0448	1,952
Lot 72	0.0523	2,277
Lot 73	0.0373	1,626
Lot 74	0.0299	1,300
Lot 75	0.0373	1,625
Public Right of Way	1.5434	67,231
Tract 1	0.0696	3,031
Tract 2	0.0146	636
Tract 3	0.0532	2,319
Tract 4	0.0869	3,786



**This Sheet Shows
Line/Curve Tables, All
Easement Notes and
Additional Notes**

Line Table		
Line #	Direction	Length (ft)
L1	N 25°14'33" W (N 25°12'42" W)	54.77' (54.71')
L2	N 89°53'21" W (N 89°49'19" W)	55.33' (55.32')
L3	S 89°32'06" E (S 89°29'58" E)	166.37' (166.40')
L4	N 79°39'19" E (N 79°39'10" W)	81.02' (81.10')
L5	N 61°07'11" E (N 61°07'02" E)	105.73' (105.71')
L6	N 36°33'03" E (N 36°32'54" W)	109.49' (109.47')
L7	N 22°26'54" E (N 22°26'44" W)	170.33' (170.30')
L8	N 83°39'48" E	34.00' (34.00')
L9	N 64°51'01" E	28.01'
L10	N 10°20'56" W	5.38'
L11	S 79°39'10" W	48.96'
L12	S 79°39'10" W	42.63'
L13	S 79°39'10" W	50.03'
L14	S 79°39'10" W	47.97'
L15	S 79°39'10" W	32.04'
L16	S 79°39'10" W	21.91'
L17	S 79°39'10" W	5.05'
L18	S 10°24'47" E	25.01'
L19	N 79°39'04" E	0.36'
L21	N 10°24'47" W	10.08'
L22	N 79°39'19" E	11.95'
L23	N 79°39'19" E	18.05'
L24	N 61°07'11" E	12.60'
L25	S 64°51'01" W	8.08'
L26	S 64°51'07" W	23.00'
L27	N 25°08'44" W	5.03'
L28	S 64°51'07" W	23.00'
L29	S 64°51'01" W	12.00'
L30	S 23°13'58" E	8.07'
L31	N 23°13'58" W	5.35'
L32	S 79°39'04" W	2.19'
L33	S 79°39'04" W	4.97'
L34	S 79°39'04" W	6.12'
L35	S 79°39'04" W	31.79'

* L20 INTENTIONALLY OMITTED

Curve Table					
Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	20.87' (20.96')	10232.99' (10232.99')	0°07'01"	20.87'	S 79°42'40" W
C2	45.06' (45.05')	29.98' (29.98')	86°06'23"	40.93'	S 36°42'59" W
C3	360.78' (360.68') [360.68']	416.00' (416.03') [416.00']	49°41'24"	349.58'	S 31°10'54" E
C4	51.66'	200.00'	14°48'03"	51.52'	S 72°15'02" W
C5	51.66'	200.00'	14°48'03"	51.52'	S 72°15'02" W
C6	64.58'	250.00'	14°48'03"	64.40'	N 17°44'58" W
C7	13.78'	25.00'	31°34'32"	13.60'	N 63°51'47" E
C8	30.38'	270.74'	6°25'45"	30.36'	N 16°24'34" W
C9	30.42'	20.00'	87°08'20"	27.57'	N 56°46'46" W
C10	22.92'	15.00'	87°31'49"	20.75'	S 24°08'18" W
C11	31.39'	20.00'	89°56'09"	28.27'	N 55°22'52" W
C12	25.52'	25.00'	58°29'18"	24.43'	N 18°49'52" E
C13	39.30'	25.00'	90°03'50"	35.38'	N 34°37'08" E
C14	39.24'	25.00'	89°56'09"	35.34'	S 55°22'52" E
C15	39.30'	25.00'	90°03'51"	35.38'	S 34°37'08" W
C16	10.93'	223.00'	2°48'34"	10.93'	S 78°14'47" W
C17	34.75'	223.00'	8°55'41"	34.71'	S 72°22'39" W
C18	11.92'	223.00'	3°03'48"	11.92'	S 66°22'55" W
C19	57.61'	223.00'	14°48'03"	57.45'	S 72°15'02" W
C20	23.56'	15.00'	90°00'00"	21.21'	S 70°08'59" E
C21	4.92'	227.00'	1°14'34"	4.92'	N 24°31'42" W
C22	31.63'	227.00'	7°58'58"	31.60'	N 19°54'56" W
C23	41.70'	25.00'	95°34'33"	37.03'	N 31°51'54" E
C24	36.56'	227.00'	9°13'36"	36.52'	N 20°32'11" W
C25	43.84'	223.00'	11°15'49"	43.77'	S 74°01'09" W
C26	30.18'	20.00'	86°27'46"	27.40'	S 68°22'52" E
C27	31.42'	20.00'	90°00'00"	28.28'	S 19°51'01" W
C28	31.44'	20.00'	90°03'51"	28.30'	N 34°37'08" E
C29	5.92'	177.00'	1°55'01"	5.92'	S 65°48'32" W
C30	39.80'	177.00'	12°53'01"	39.72'	S 73°12'33" W
C31	45.72'	177.00'	14°48'03"	45.60'	S 72°15'02" W
C32	31.39'	20.00'	89°56'09"	28.27'	N 55°22'52" W
C33	36.29'	177.00'	11°44'51"	36.23'	S 73°46'38" W
C34	16.61'	177.00'	5°22'40"	16.61'	S 70°35'32" W
C35	19.68'	177.00'	6°22'11"	19.67'	S 76°27'58" W
C36	8.28'	20.00'	23°43'23"	8.22'	N 88°29'15" W
C37	23.11'	20.00'	66°12'46"	21.85'	N 43°31'10" W

Documents

- TITLE COMMITMENT PROVIDED BY STEWART TITLE, HAVING FILE NO. 1037841 AND AN EFFECTIVE DATE OF MAY 17, 2021.
- PLAT OF RECORD FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON DECEMBER 12, 2019, IN BOOK 2019C, PAGE 127.
- PLAT OF EL RANCHO GRANDE I, UNIT 1-B, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON APRIL 12, 2002, IN BOOK 2002C, PAGE 121.
- WARRANTY DEED FOR SUBJECT PROPERTY, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON JUNE 3, 2019, AS DOCUMENT NO. 2019045667.
- PLAT FOR AMOLE CHANNEL DRAINAGE RIGHTS-OF-WAY, TRACTS 1 THRU 5, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON DECEMBER 11, 2009, IN BOOK 2009C, PAGE 171, AS DOCUMENT NO. 2009135016.


Flood Notes

BASED UPON SCALING, THIS PROPERTY LIES WITHIN FLOOD ZONE X WHICH IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD AS DETERMINED BY F.E.M.A. AND SHOWN ON THE FLOOD INSURANCE RATE MAP NO. 35001C0336H, DATED AUGUST 16, 2012.

Drainage Facilities Note









AREAS DESIGNATED ON THE ACCOMPANYING PLAT AS "DRAINAGE EASEMENTS" ARE HEREBY DEDICATED BY THE OWNER AS A PERPETUAL EASEMENT FOR THE COMMON USE AND BENEFIT OF THE VARIOUS LOTS WITHIN THE SUBDIVISIONS FOR THE PURPOSE OF PERMITTING THE CONVEYANCE OF STORM WATER RUNOFF AND THE CONSTRUCTING AND MAINTAINING OF DRAINAGE FACILITIES. GRANTOR SHALL CONSTRUCT DRAINAGE FACILITIES IN THE EASEMENT IN ACCORDANCE WITH STANDARDS PRESCRIBED BY THE CITY AND PLANS AND SPECIFICATIONS APPROVED BY THE CITY ENGINEER IN ACCORDANCE WITH THE DRAINAGE REPORT ENTITLED "SUBMITTED BY THOMPSON ENGINEERING CONSULTANTS, INC., ON _____, 2022, AND APPROVED BY THE ALBUQUERQUE CITY ENGINEER ON _____". NO FENCE, WALL, PLANTING, BUILDING OR OTHER OBSTRUCTION MAY BE PLACED OR MAINTAINED IN EASEMENT AREA WITHOUT APPROVAL OF THE CITY ENGINEER OF THE CITY OF ALBUQUERQUE. THERE ALSO SHALL BE NO ALTERATION OF THE GRADES OR CONTOURS IN SAID EASEMENT AREA WITHOUT THE APPROVAL OF THE CITY ENGINEER. IT SHALL BE THE DUTY OF THE LOT OWNERS OF THIS SUBDIVISION TO MAINTAIN SAID DRAINAGE EASEMENT AND FACILITIES AT THEIR COST IN ACCORDANCE WITH STANDARDS PRESCRIBED BY THE CITY OF ALBUQUERQUE. THE CITY SHALL HAVE THE RIGHT TO ENTER PERIODICALLY TO INSPECT THE FACILITIES. IN THE EVENT SAID LOT OWNERS FAIL TO ADEQUATELY AND PROPERLY MAINTAIN DRAINAGE EASEMENT AND FACILITIES, AT ANY TIME FOLLOWING FIFTEEN (15) DAYS WRITTEN NOTICE TO SAID LOT OWNERS, THE CITY MAY ENTER UPON SAID AREA, PERFORM SAID MAINTENANCE, AND THE COST OF PERFORMING SAID MAINTENANCE SHALL BE PAID BY APPLICABLE LOT OWNERS PROPORTIONATELY ON THE BASIS OF LOT OWNERSHIP. IN THE EVENT LOT OWNERS FAIL TO PAY THE COST OF MAINTENANCE WITHIN THIRTY (30) DAYS AFTER DEMAND FOR PAYMENT MADE BY THE CITY, THE CITY MAY FILE A LIEN AGAINST ALL LOTS IN THE SUBDIVISION FOR WHICH PROPORTIONATE PAYMENT HAS NOT BEEN MADE. THE OBLIGATIONS IMPOSED HEREIN SHALL BE BINDING UPON THE OWNER, HIS HEIRS, AND ASSIGNS AND SHALL RUN WITH ALL LOTS WITHIN THIS SUBDIVISION. THE GRANTOR AGREES TO DEFEND, INDEMNIFY, AND HOLD HARMLESS, THE CITY, ITS OFFICIALS, AGENTS AND EMPLOYEES FROM AND AGAINST ANY AND ALL CLAIMS, ACTIONS, SUITS, OR PROCEEDINGS OF ANY KIND BROUGHT AGAINST SAID PARTIES FOR OR ON ACCOUNT OF ANY MATTER ARISING FROM THE DRAINAGE FACILITY PROVIDED FOR HEREIN OR THE GRANTOR'S FAILURE TO CONSTRUCT, MAINTAIN, OR MODIFY SAID DRAINAGE FACILITY.

Notes

- FIELD SURVEY PERFORMED IN MAY 2021 AND SUPPLEMENTAL DATA IN AUGUST 2021.
- ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
- THE BASIS OF BEARINGS REFERENCES NM STATE PLANE COORDINATES (NAD 83-CENTRAL ZONE).
- LOTS LINES TO BE ELIMINATED SHOWN HEREON AS .
- THE SUBDIVISION WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN HEREON.
- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN HEREON AS (O) SHALL BE MARKED BY A 1/2" REBAR WITH CAP STAMPED "LS 18374".

**Preliminary Plat for
Sombre Del Oeste
Being Comprised of
Tracts 12-B-1-A and 12-B-1-B
El Rancho Grande I
City of Albuquerque
Bernalillo County, New Mexico
February 2022**

Easement and Drainage Notes

- EXISTING 10' PNM EASEMENT (2/22/2001, 2001C-57) PORTION VACATED WITH THIS PLAT SHOWN HEREON AS .
- EXISTING 25' PRIVATE STORM DRAIN EASEMENT (12/12/2019, 2019C-127) PORTION VACATED WITH THIS PLAT SHOWN HEREON AS .
- EXISTING PRIVATE ACCESS EASEMENT (12/12/2019, 2019C-127) VACATED WITH THIS PLAT SHOWN HEREON AS .
- EXISTING 10' PEDESTRIAN ACCESS EASEMENT (4/12/2002, 2002C-121)
- EXISTING 100' PNM EASEMENT (4/12/1956, BK. D348, PG. 43, DOC. NO. 91883)
- EXISTING 5' PNM EASEMENT (1/8/2002, 2002C-7)
- EXISTING 10' PUE (8/15/2003, 2003C-249)
- 5' PRIVATE DRAINAGE EASEMENT BENEFITING THE OWNERS OF LOTS 1-75 AND TRACTS 1-4 GRANTED WITH THE FILING OF THIS PLAT
- EXISTING 20' PERMANENT WATERLINE EASEMENT (10/25/1985, BK. A104, PG. 9135, DOC. NO. 1985090123) SHOWN HEREON AS .
- EXISTING 50' PERMANENT ACCESS ROAD AND WATERLINE EASEMENT (10/25/1985, BK. MISC. 284-A, PG. 668-671, DOC. NO. 1985090123)
- EXISTING AMAFCA DRAINAGE EASEMENT (10/7/2005, DOC. NO. 2005149548) SHOWN HEREON AS .
- EXISTING UNOBSTRUCTED LINE OF SIGHT EASEMENT (1/8/2002, 2002C-7) SHOWN HEREON AS .
- EXISTING UNDERGROUND PNM EASEMENT (10/4/2005, BK. A104, PG. 6254, DOC. NO. 2005146656)
- AREA OUTLINED BY DRAINAGE COVENANT (9/17/2019, DOC. NO. 2019078629)
- AREA OUTLINED BY DRAINAGE COVENANT (9/17/2019, DOC. NO. 2019078634) VACATED WITH THIS PLAT
- 6.25' X 25.83' PNM EASEMENT GRANTED BY DOCUMENT (___/___/____, DOC. NO. _____) SHOWN HEREON AS .
- 10' PNM EASEMENT GRANTED BY DOCUMENT (___/___/____, DOC. NO. _____)
- 10' P.U.E. GRANTED WITH THE FILING OF THIS PLAT, SHOWN HEREON AS .
- PRIVATE DRAINAGE PONDING EASEMENT BENEFITING LOTS 1-75 AND TRACTS 1-4 GRANTED WITH THE FILING OF THIS PLAT

Advanced Printing
102 9th Street NW
Albuquerque, NM 87102

GALLARDO WICKY
1523 SIENTI MEADOW PL SW
ALBUQUERQUE NM 87121-3548



FIRST-CLASS

Advanced Printing
102 9th Street NW
Albuquerque, NM 87102

EARL DUELL & CARISSA ANNE
1883 SHADOWCAST DR SW
ALBUQUERQUE NM 87121-2098



FIRST-CLASS



FIRST-CLASS

Advanced Printing
102 9th Street NW
Albuquerque, NM 87102

ROCHA MARTINO
1855 SHADOWCAST AVE SW
ALBUQUERQUE NM 87121



FIRST-CLASS

ROGERS MARTHA L
8724 BERNADES AVE SW
ALBUQUERQUE NM 87121

Consensus Planning
3007 S. Street NW
Albuquerque, NM 87102

CHACON MARISOL, MONALES & LUJAN
CESAR DAVID RIVERA
8744 BENAVENES AVE SW
ALBUQUERQUE NM 87121-7432

FIRST CLASS
0.2 LB 11.5 OZ
\$0.01.569
US POSTAGE
PAID
ALBUQUERQUE NM 87102
MARKED FROM 7PB

Consensus Planning
3007 S. Street NW
Albuquerque, NM 87102

9811 STREET LLC
6300 EFFERSON ST NE
ALBUQUERQUE NM 87109-3482

FIRST CLASS
0.2 LB 11.5 OZ
\$0.01.569
US POSTAGE
PAID
ALBUQUERQUE NM 87102
MARKED FROM 7PB

Consensus Planning
3007 S. Street NW
Albuquerque, NM 87102

SALAS VALDEZ JESUS & DELSADO ORTIZ
JUANNA
1899 SHADOWNCAST DR SW
ALBUQUERQUE NM 87121-2098

FIRST CLASS
0.2 LB 11.5 OZ
\$0.01.569
US POSTAGE
PAID
ALBUQUERQUE NM 87102
MARKED FROM 7PB

Consensus Planning
3007 S. Street NW
Albuquerque, NM 87102

ZURITA PABLO KERRIN D
5731 BERNANDES AVE SW
ALBUQUERQUE NM 87121-7432

FIRST CLASS
0.2 LB 11.5 OZ
\$0.01.569
US POSTAGE
PAID
ALBUQUERQUE NM 87102
MARKED FROM 7PB

Conceptus Planning
302 E. Street NW
Albuquerque, NM 87102

CAMPOS LORENE HOPE
1887 SHADOWCAST DR SW
ALBUQUERQUE NM 87121-2098



Conceptus Planning
302 E. Street NW
Albuquerque, NM 87102

ARRIBAS JUAN M & MANUELA
8726 BENAVIDES AVE SW
ALBUQUERQUE NM 87121



Conceptus Planning
302 E. Street NW
Albuquerque, NM 87102

SARNOVA MATTHEW
8722 BENAVIDES AVE SW
ALBUQUERQUE NM 87121



Conceptus Planning
302 E. Street NW
Albuquerque, NM 87102

RAMOS LUIS ARBENO
5221 DEL FRATE PL NW
ALBUQUERQUE NM 87105-1351



Contract Branding
1000 1st Street NW
Albuquerque, NM 87102

BAYON ELECTRONO
8756 BENAVIDES AVE SW
ALBUQUERQUE NM 87121

FIRST-CLASS
02 12 2014
\$001.560
US POSTAGE
000211001 FEB 10 2014
50 FROM ZIP CODE 87102

Contract Branding
1000 1st Street NW
Albuquerque, NM 87102

DIAMOND MESA ACQUISITION LLC & R
HS/MP DANKOND MESA LLC & ETAL
ATTN: TIM WALLER
19000 W BLUEHOUND RD
BROOKFIELD WI 53005-6073

FIRST-CLASS
02 12 2014
\$001.560
US POSTAGE
000211001 FEB 10 2014
50 FROM ZIP CODE 87102

Contract Branding
1000 1st Street NW
Albuquerque, NM 87102

AARIS TIMOTHY E & MELISSA R
8740 BENAVIDES AVE SW
ALBUQUERQUE NM 87121-7432

FIRST-CLASS
02 12 2014
\$001.560
US POSTAGE
000211001 FEB 10 2014
50 FROM ZIP CODE 87102

Contract Branding
1000 1st Street NW
Albuquerque, NM 87102

MARILYN ANBARO
8824 BENAVIDES AVE SW
ALBUQUERQUE NM 87121

FIRST-CLASS
02 12 2014
\$001.560
US POSTAGE
000211001 FEB 10 2014
50 FROM ZIP CODE 87102

Concessions Printing
22 2nd Street NW
Albuquerque, NM 87102

PATINA MARCO / GANZA
1339 SHADOWCAST DR SW
ALBUQUERQUE NM 87121-2098

FIRST-CLASS



Concessions Printing
22 2nd Street NW
Albuquerque, NM 87102

MOLINAR VERONICA
8760 BERKAVES SWE SW
ALBUQUERQUE NM 87121

FIRST-CLASS



Concessions Printing
22 2nd Street NW
Albuquerque, NM 87102

GUSON-STAMPDE LLC
PO BOX 11591
ALBUQUERQUE NM 87193-0591

FIRST-CLASS



Concessions Printing
22 2nd Street NW
Albuquerque, NM 87102

CHAVEZ COSME C & ROSA I
13713 SHADOWCAST DR SW
ALBUQUERQUE NM 87121

FIRST-CLASS



Concepts Planning
302 8th Street NW
Albuquerque, NM 87102

GERARD MATTHEW
8748 BERNANDES AVE SW
ALBUQUERQUE NM 87211



Concepts Planning
302 8th Street NW
Albuquerque, NM 87102

RIVERA ANGEL
8928 BERNANDES AVE SW
ALBUQUERQUE NM 87211



Concepts Planning
302 8th Street NW
Albuquerque, NM 87102

SOLARE COLLEGIATE FOUNDATION
1531 LA VEGA DR SW
ALBUQUERQUE NM 87205-4224



Concepts Planning
302 8th Street NW
Albuquerque, NM 87102

RAEL ALBERTA
3883 SHADOWCAST DR SW
ALBUQUERQUE NM 87211

