



DEVELOPMENT REVIEW BOARD
SUPPLEMENTAL SUBMITTAL

(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)

PROJECT NO. PR-2019-00204
Application No. SD-2022-00020

TO:

- Planning Department/Chair
- Hydrology
- Transportation Development
- ABCWUA
- Code Enforcement
- Parks & Rec

*(Please attach this sheet with each collated set for each board member)

NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.

DRB SCHEDULED HEARING DATE: March 9, 2022 HEARING DATE OF DEFERRAL: March 30, 2022

SUBMITTAL DESCRIPTION: Plat updated to show vacation of 2 additional easements as suggested by ABCWUA,

Approved Grading and Drainage plan and letter attached. Infrastructure List updated 3/21/22

Preliminary plat added surveyor signature and minor corrections. Cross sections of roadways updated.

CONTACT NAME: Ryan J. Mulhall

TELEPHONE: 505-896-3050 EMAIL: cartesianryan@gmail.com

CSI-Cartesian Surveys Inc.
PO Box 44414, Rio Rancho, NM 87174
896-3050 Fax 891-0244

March 18, 2022

Development Review Board
City of Albuquerque

Re: Preliminary Plat Review for Proposed Subdivision of Tracts 12-B-1-A and 12-B-1-B of El Rancho Grande I

Members of the Board:

Cartesian Surveys is acting as an agent for Solare Collegiate Foundation and Homewise and requests a preliminary plat review to create seven (6) new tracts and seventy-five (75) new lots from two (2) existing tracts by subdivision of Tracts 12-B-1-A and 12-B-1-B of El Rancho Grande I, located at 8801 Gibson Blvd SW and between Barbados Ave SW and 98th Street NW. The property is currently zoned as MX-M. This plat intends to vacate six (6) easements, grant four (4) easements, waiver from IDO for rear yards adjacent to Gibson Blvd. temporarily deferral of construction of sidewalk in specific places, and construction of asphalt trail along Gibson Blvd in place of sidewalk.

Comments from Preliminary Plat hearing on March 9th under project number PR-2019-002042 SD-2022-00020 are addressed below:

ABCWUA:

1. Easement #9 (existing 20' permanent waterline easement) is shown to be located within Smoketree Dr. in the proposed right-of-way. Shouldn't this be vacated with this plating action, assuming 811 line spots have been confirmed not to have any infrastructure?
2. Easement #10 (existing permanent access road and waterline easement) extends into proposed Tract 1. Shouldn't this be vacated with this plating action, assuming 811 line spots have been confirmed not to have any infrastructure?

Easement 9 and portion of easement 10 are now vacated as shown on preliminary plat. 811 spotting showed these areas to not be occupied.

3. Availability Statement #211030 has been issued and provides the conditions for service. Public main extensions are required.
4. This project is within the adopted service area.
5. Pro rata is not owed for this property.
6. Utility Plan:
 - a. No objections.
7. Infrastructure List:
 - a. No objections.

Noted, extensions should be reflected on infrastructure list.

Code Enforcement:

1. All prior comments from Sketch Plat submittals (10/27/21 & 1/26/22) have been addressed or noted in submittal. No comments or objections at this time.

Noted

Transportation:

1. The proposed trail on Gibson Blvd. should have a minimum of 2 feet away from the property line. Coordinate with Parks & Recreation for exact dimensions and measurements.

Noted, meetings and emails between project engineer (Dave Thompson) and Parks and Recreation are scheduled and should have seen trail along Gibson discussion resolved by the 3/30 hearing.

2. The infrastructure list should indicate 5-foot sidewalk for all roads per the cross-section details. For further specification, include a note to refer to deferred sidewalk per the Sidewalk Exhibit.

Noted, infrastructure list has been modified to include sidewalk or is covered under deferral of sidewalk request.

3. For the first item description on the left turn lane, include "Median Opening".

Noted, description was applied to sheet 2 of prelim plat.

Hydrology:

- Hydrology has received the Grading & Drainage Plan (M09D032) on 2/8/22. Hydrology should review this sometime this week.
- **Hydrology recommends a one-week deferral.**
- The Infrastructure List will be reviewed once the G&D is approved.

Noted, we have an approved grading and drainage report we received on March 14th which is attached in this supplemented application. Infrastructure list is still under review and we will update the infrastructure list as necessary.

Parks and Recreation:

03-09-2022

- Regarding (DPM 7-4(E) – Pedestrian Facilities) Waiver to allow an asphalt trail instead of a sidewalk along Gibson Boulevard. Gibson Blvd SW shows a Proposed Multi-Use Trail on the MRMPO Long Range Bikeway System Map. PRD supports a trail at this location, and agrees with the applicant's justification.
- Regarding DPM 7-2(C) – Temporary Sidewalk Deferral – Request to defer sidewalk installation until each home construction is completed... No comment.

- Regarding vacations... No comment.

Noted

- Regarding waiver to IDO Section 5-4(F)(2)(b) – Is there expected to be a wall? It is preferable for front doors of townhomes to face Gibson / a Community Principle Arterial.

Noted, there is expected to be a wall for the rear of these lots with lot frontages facing inwards to the neighborhood.

- Will there be a revegetation plan for the proposed ponds?

Pond vegetation is being determined, may discuss in engineer meeting Monday.

Planning:

- The surveyor signature must be added to the Plat prior to approval of the Plat.

Surveyor signature line has been added to preliminary plat and signed.

- Utility and AMAFCA signatures will be required for the Final Plat, and must be obtained and included with the Final Plat application submittal prior to acceptance of the Final Plat and placement on a DRB agenda.
- DXF File approval from AGIS will be required for the Final Plat, and must be obtained and included with the Final Plat application submittal prior to acceptance of the Final Plat and placement on a DRB agenda.
- Final Plat is required within one year of Preliminary Plat approval.
- A recorded IIA will be required with the Final Plat, and must be obtained and included with the Final Plat application submittal prior to the acceptance of the Final Plat and placement on a DRB agenda.

Noted

- A Sidewalk Waiver request is noted on the Preliminary Plat, but has not been applied for as of the completion of this memo. If the Sidewalk Waiver request is for a Waiver from the IDO requirements to construct a sidewalk, a Sidewalk Waiver application must be applied for and approved by the DRB before or during the approval of the Preliminary Plat (before the Preliminary Plat can be approved). Otherwise, the Waiver note must be removed from the Plat and the required sidewalk(s) added to the Infrastructure List.

Noted, sidewalk waiver along Gibson Blvd has been become unnecessary as an asphalt trail will take the place of the usual sidewalk requirement in that location, as negotiated with Transportation and Parks and Recreation.

- A Sidewalk Deferral request is noted on the Preliminary Plat, but has not been applied for as of the completion of this memo. A Sidewalk Deferral request must be applied for and approved by the DRB before or during the approval of the Preliminary Plat (before the Preliminary Plat can be approved). Otherwise, the Sidewalk Deferral note must be removed from the Preliminary Plat.

Noted, sidewalk deferral request was applied for in this supplement.

- Three (3) Easement Vacations are depicted on the Plat for an existing 10-foot PNM easement, a 25-foot private storm drain easement, and an existing private access easement. As of the writing of this memo, these Easement Vacations have not been applied for. The Easement Vacation requests must be applied for and approved by the DRB before or during the approval of the Preliminary Plat (before the Preliminary Plat can be approved). Otherwise, the Easement Vacations must be removed from the Preliminary Plat.

Noted, vacation application for these three easements and the two required to be vacated by ABCWUA are applied for in this supplement.

Municipal Development

The subject property is just outside the project limits for Project No. 770341 98th St & Gibson Blvd intersection Improvements. Construction is expected to start March 2023 and will require full temporary closure of the 98th & Gibson intersection.

Per the LRBS map there is a proposed paved trail on Gibson Blvd.

Noted

AMAFCA

Per an email with Jared Romero of AMAFCA, there are "...no adverse comments on the Grading and Drainage Plan with Engineer's Seal Date 2/8/2022 for the Sombra del Oeste Subdivision."

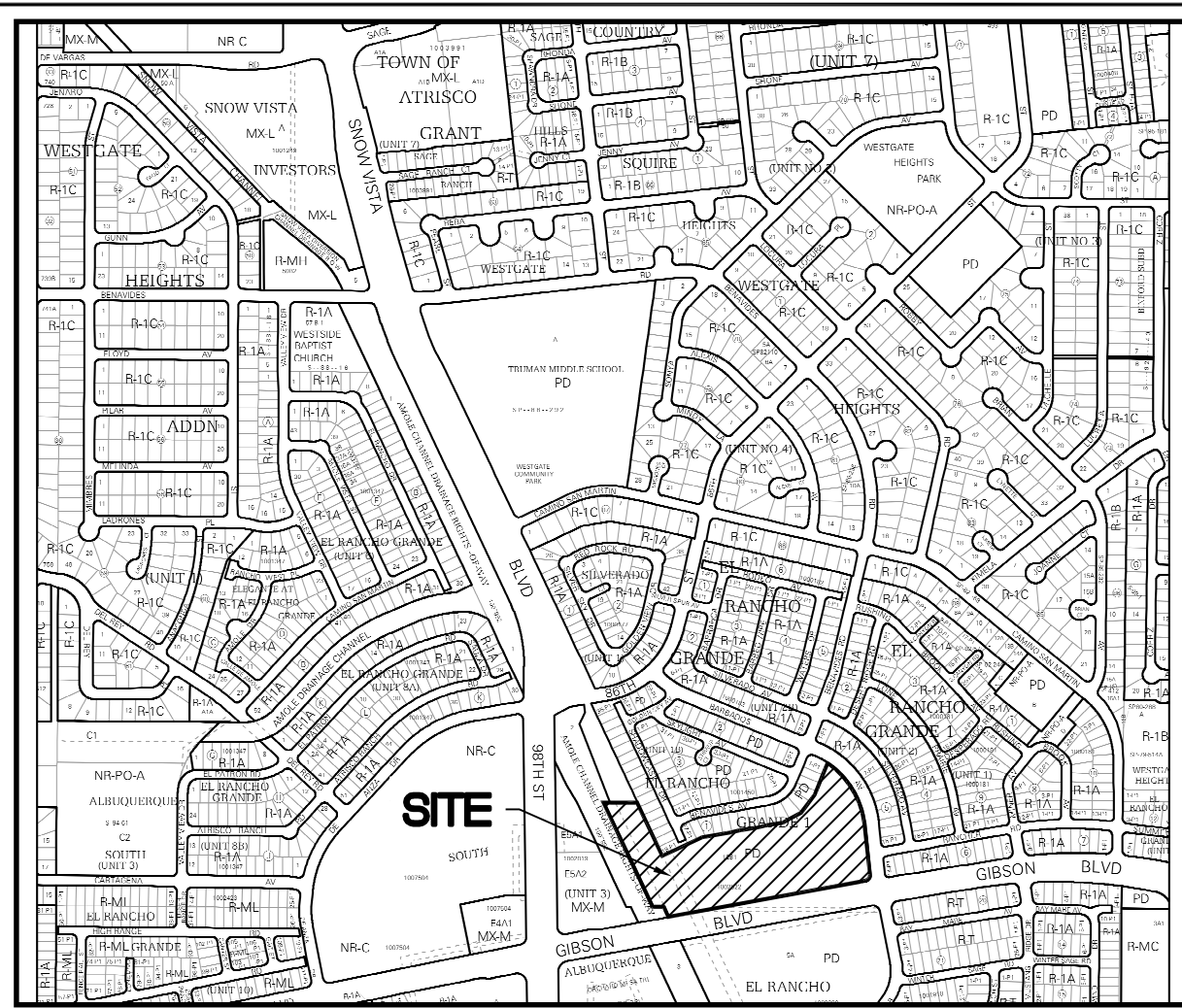
Noted

MRMPO

MRMPO has no adverse comments.

Noted

Thank you,
Ryan J. Mulhall



Indexing Information

Section 33, Township 10 North, Range 2 East, N.M.P.M. as projected into the Town of Atrisco Grant
 Subdivision: El Rancho Grande I
 Owner: Solare Collegiate Foundation
 UPC #: 100905533402040127 (Tract 12-B-1-A)
 100905538202740125 (Tract 12-B-1-B)

Purpose of Plat

1. SUBDIVIDE AS SHOWN HEREON.
2. VACATE EASEMENTS AS SHOWN HEREON.
3. GRANT EASEMENTS AS SHOWN HEREON.

General Notes

1. EXISTING ZONING: "MX-M" MIXED USE-MODERATE INTENSITY
 PROPOSED ZONING: "MX-M" MIXED USE-MODERATE INTENSITY
2. TOTAL ACREAGE: 10.9989 ACRES
3. SETBACKS: REQUIRED
 FRONT: 0 FT. MINIMUM, 15 FT. MAXIMUM
 SIDE: 0 FT. INTERIOR; 15 FT. STREET SIDE
 REAR: 0 FT. MINIMUM
4. MANHOLES SHALL BE OFFSET AT ALL POINTS OF CURVATURE.
5. CENTERLINE MONUMENTS TO BE SET IN LIEU OF POINT OF CURVATURE AND POINT OF TANGENCY IN PUBLIC ROADWAYS.
6. THERE ARE EXISTING DRAINAGE PONDING AREAS WITHIN TRACT A WHICH WILL REMAIN IN PLACE.
7. THERE IS ALSO AN EXISTING DRAINAGE PONDING AREA (SHOWN HEREON AS 19) WITHIN FORMER TRACT 12-B-1-A, WHICH WILL BE VACATED. NEW DRAINAGE EASEMENTS WILL BE GRANTED WITHIN THE TOWNHOME SITE, SHOWN ON SHEET 2 OF 3.
8. TRACTS 1-4 SHALL BE OWNED AND MAINTAINED BY THE HOA.

Subdivision Data

GROSS ACREAGE: 10.9989 ACRES
 ZONE ATLAS PAGE NO.: M-9-Z
 NUMBER OF EXISTING TRACTS: 2
 NUMBER OF TRACTS CREATED: 6
 NUMBER OF LOTS CREATED: 75
 MILES OF FULL-WIDTH STREETS: 0.2860 MILES
 MILES OF HALF-WIDTH STREETS: 0.000 MILES
 RIGHT-OF-WAY DEDICATION TO THE CITY OF ALBUQUERQUE: 1.5434 ACRES
 DATE OF SURVEY: JANUARY 2022

Solar Collection Note

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT, THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

Legal Description

TRACTS 12-B-1-A AND 12-B-1-B OF THE PLAT OF TRACTS 12-B-1-A AND 12-B-1-B BEING A REPLAT OF TRACT 12-B-1 OF THE BULK LAND PLAT FOR EL RANCHO GRANDE I, PARCELS 5-A AND 12-B-1 WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 12, 2019, IN PLAT BOOK 2019C, PAGE 127.

This Sheet Shows Existing Information for Entire Subdivision (Including Vacated Easements, Existing Underground and Above Ground Utility Lines)

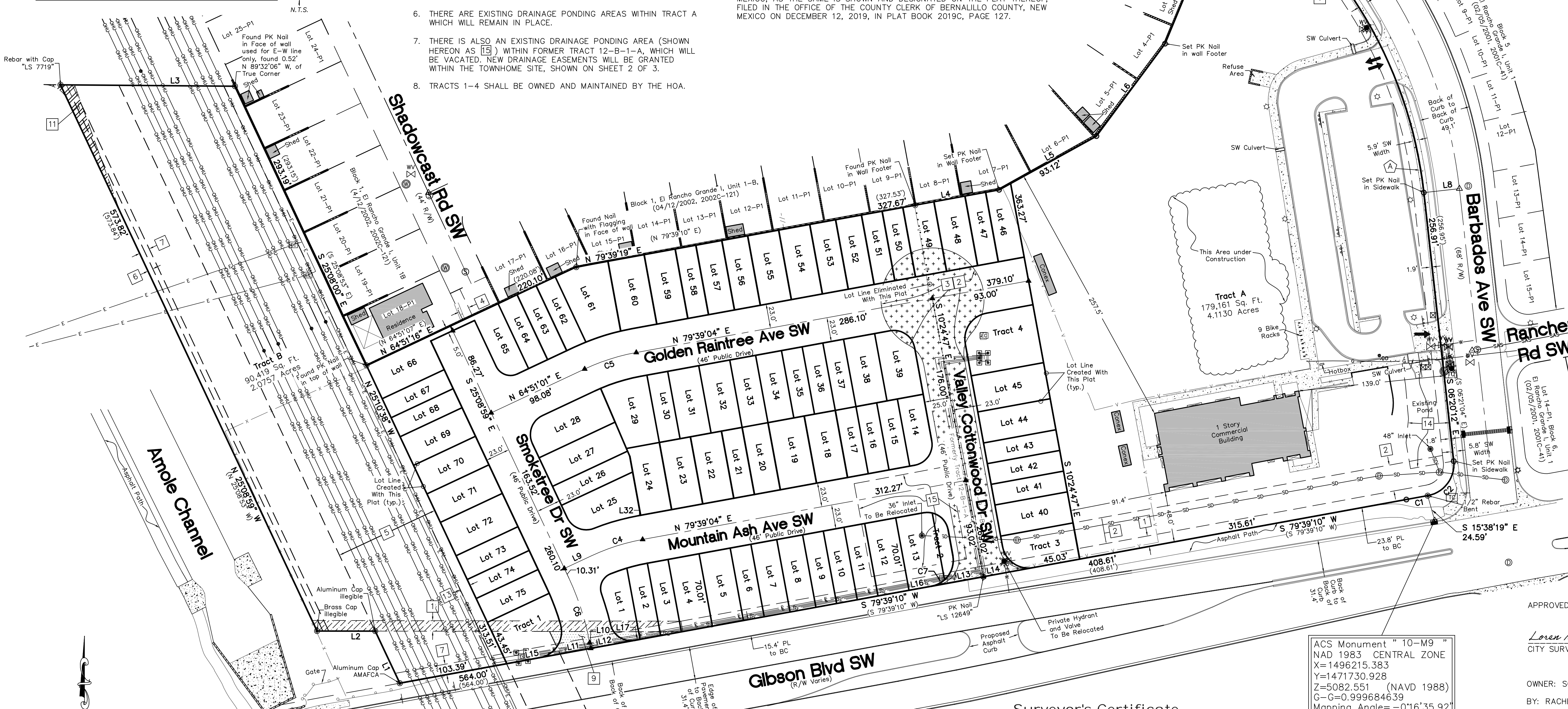
ACS Monument "6-M10"
 NAD 1983 CENTRAL ZONE
 X=149787.859
 Y=1471787.588
 Z=5050.537 (NAVD 1988)
 G-G=0.999685636
 Mapping Angle=-0°16'24.79"

Preliminary Plat for Sombra Del Oeste Being Comprised of Tracts 12-B-1-A and 12-B-1-B El Rancho Grande I City of Albuquerque Bernalillo County, New Mexico February 2022

Legend

N 90°00'00" E	MEASURED BEARINGS AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT (12/12/2019, 2019C-127)
[N 90°00'00" E]	RECORD BEARINGS AND DISTANCES PER PLAT (08/15/2003, 2003C-249)
●	FOUND MONUMENT AS INDICATED
○	SET 1/2" REBAR WITH CAP "LS 18374" UNLESS OTHERWISE NOTED
△	FOUND CENTERLINE MONUMENT "LS 7719" UNLESS OTHERWISE NOTED
▲	CENTERLINE MONUMENT STAMPED "LS 18374" TO BE SET
⊠	COVERED AREA
■	CONCRETE
—x—	GUARD RAIL
—x—x—	WIRE FENCE
—x—x—x—	BLOCK WALL
— — — —	PIPE FENCE
—v—v—v—	VINYL FENCE
—w—w—w—	WOOD FENCE
—h—h—h—	HANDRAIL
⊞	UTILITY PEDESTAL
⊞	BOLLARD
—o—o—	OVERHEAD UTILITY LINE
•	UTILITY POLE
⊞	ANCHOR
⊞	PULL BOX
⊞	LIGHT POLE
⊞	TRANSFORMER
⊞	ELECTRIC CABINET
⊞	WATER VALVE
⊞	WATER METER
⊞	FIRE HYDRANT
⊞	SANITARY SEWER MANHOLE
⊞	STORM DRAIN MANHOLE
⊞	SAS CLEANOUT
⊞	STORM DRAIN INLET
⊞	DROP INLET
⊞	IRRIGATION BOX
⊞	SIGN
⊞	CURB CUT/INDICATION OF ACCESS TO ROADWAY
—g—	UNDERGROUND GAS UTILITY LINE
—w—	UNDERGROUND WATER UTILITY LINE
—sd—	UNDERGROUND STORM DRAIN UTILITY LINE
—e—	UNDERGROUND ELECTRIC UTILITY LINE

Vicinity Map - Zone Atlas M-9-Z



APPROVED FOR MONUMENTATION AND STREET NAMES

Loren N. Risenhoover P.S. 2/8/2022
 CITY SURVEYOR DATE

OWNER: SOLARE COLLEGIATE FOUNDATION
 BY: RACHEL SEWARDS
 ITS: REGISTERED AGENT
 Rachael Sowards 2/11/22
 DATE

RACHEL SEWARDS
 REGISTERED AGENT
 SOLARE COLLEGIATE FOUNDATION

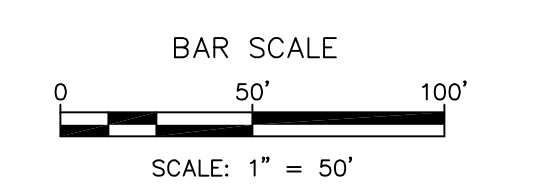
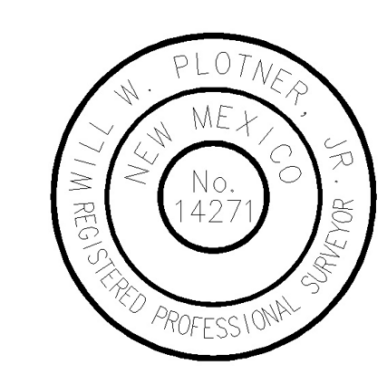
CSI-CARTESIAN SURVEYS INC.
 P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244
 wplotnerjr@gmail.com
 Sheet 1 of 3
 210981

Surveyor's Certificate

I, WILL PLOTNER JR., A REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PRELIMINARY PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, THE INTERESTED PARTIES AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS FOR THE CITY OF ALBUQUERQUE AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

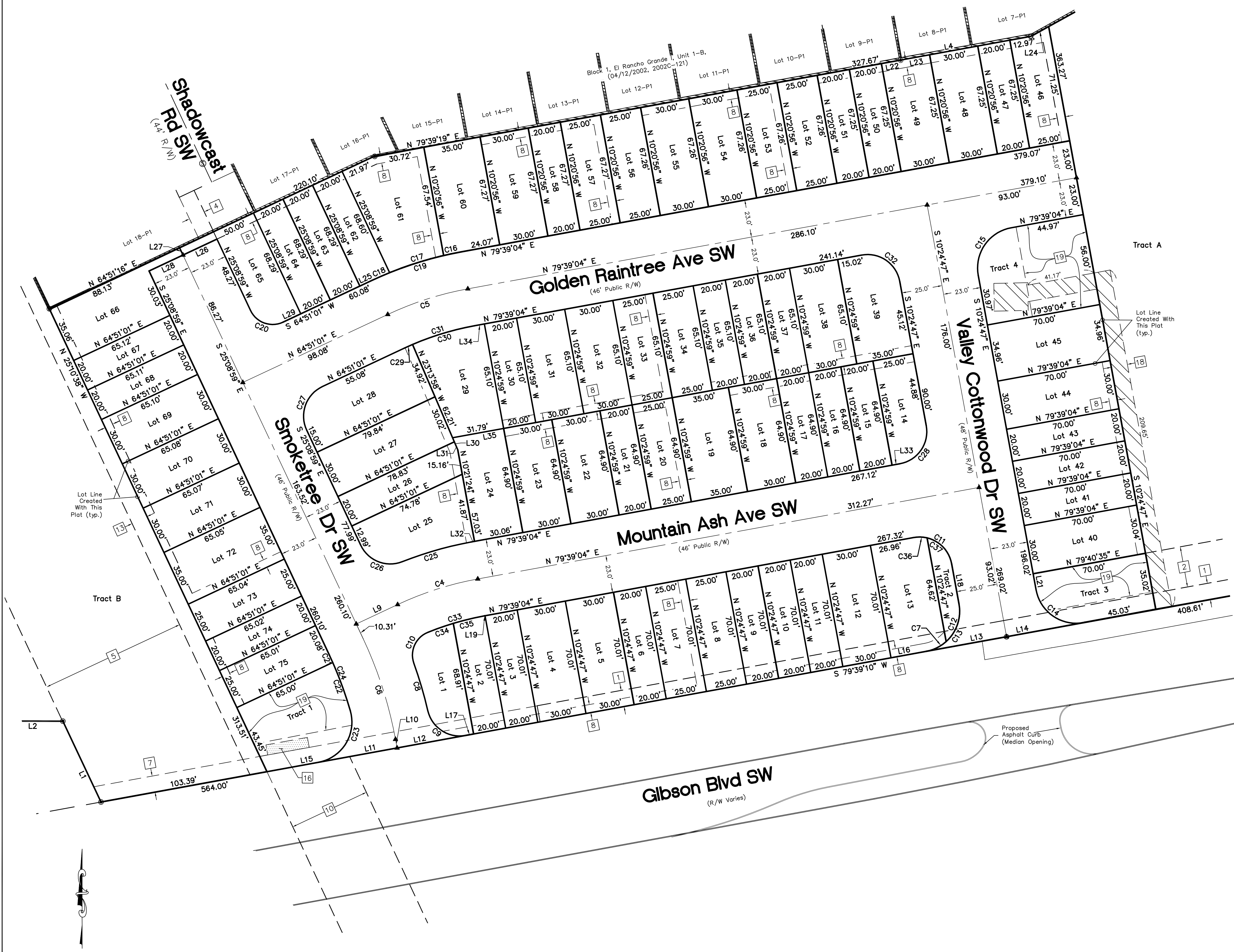
Will Plotner Jr. 3/14/2022
 N.M.R.P.S. No. 14271 Date

ACS Monument "10-M9"
 NAD 1983 CENTRAL ZONE
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 Y=1471730.928
 Z=5082.551 (NAVD 1988)
 G-G=0.999684639
 Mapping Angle=-0°16'35.92"



This Sheet Shows
Townhome Details and
Post-Plat Easements Only

Preliminary Plat for
Sombra Del Oeste
Being Comprised of
Tracts 12-B-1-A and 12-B-1-B
El Rancho Grande I
City of Albuquerque
Bernalillo County, New Mexico
February 2022

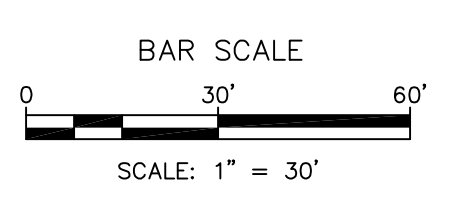


Parcel Table		
Parcel Name	Area (Acres)	Area (Sq. Ft.)
Lot 1	0.0379	1,649
Lot 2	0.0320	1,393
Lot 3	0.0321	1,400
Lot 4	0.0482	2,100
Lot 5	0.0482	2,100
Lot 6	0.0321	1,400
Lot 7	0.0402	1,750
Lot 8	0.0402	1,750
Lot 9	0.0321	1,400
Lot 10	0.0321	1,400
Lot 11	0.0321	1,400
Lot 12	0.0482	2,100
Lot 13	0.0558	2,430
Lot 14	0.0353	1,536
Lot 15	0.0298	1,298
Lot 16	0.0298	1,298
Lot 17	0.0298	1,298
Lot 18	0.0447	1,947
Lot 19	0.0521	2,272
Lot 20	0.0372	1,622

Parcel Table		
Parcel Name	Area (Acres)	Area (Sq. Ft.)
Lot 21	0.0298	1,298
Lot 22	0.0447	1,947
Lot 23	0.0447	1,947
Lot 24	0.0449	1,956
Lot 25	0.0546	2,378
Lot 26	0.0355	1,545
Lot 27	0.0546	2,380
Lot 28	0.0626	2,729
Lot 29	0.0572	2,491
Lot 30	0.0299	1,302
Lot 31	0.0448	1,953
Lot 32	0.0448	1,953
Lot 33	0.0374	1,628
Lot 34	0.0374	1,628
Lot 35	0.0299	1,302
Lot 36	0.0299	1,302
Lot 37	0.0299	1,302
Lot 38	0.0448	1,953
Lot 39	0.0503	2,193
Lot 40	0.0482	2,101

Parcel Table		
Parcel Name	Area (Acres)	Area (Sq. Ft.)
Lot 41	0.0321	1,400
Lot 42	0.0321	1,400
Lot 43	0.0321	1,400
Lot 44	0.0482	2,100
Lot 45	0.0562	2,448
Lot 46	0.0391	1,703
Lot 47	0.0309	1,345
Lot 48	0.0463	2,017
Lot 49	0.0463	2,018
Lot 50	0.0309	1,345
Lot 51	0.0309	1,345
Lot 52	0.0386	1,681
Lot 53	0.0386	1,681
Lot 54	0.0463	2,018
Lot 55	0.0463	2,018
Lot 56	0.0386	1,682
Lot 57	0.0386	1,682
Lot 58	0.0309	1,345
Lot 59	0.0463	2,018
Lot 60	0.0541	2,355

Parcel Table		
Parcel Name	Area (Acres)	Area (Sq. Ft.)
Lot 61	0.0690	3,006
Lot 62	0.0314	1,367
Lot 63	0.0314	1,366
Lot 64	0.0314	1,366
Lot 65	0.0439	1,911
Lot 66	0.0551	2,399
Lot 67	0.0299	1,302
Lot 68	0.0299	1,302
Lot 69	0.0448	1,953
Lot 70	0.0448	1,952
Lot 71	0.0448	1,952
Lot 72	0.0523	2,277
Lot 73	0.0373	1,626
Lot 74	0.0299	1,300
Lot 75	0.0373	1,625
Public Right of Way	1.5434	67,231
Tract 1	0.0696	3,031
Tract 2	0.0146	636
Tract 3	0.0532	2,319
Tract 4	0.0869	3,786



**Preliminary Plat for
Sombra Del Oeste
Being Comprised of
Tracts 12-B-1-A and 12-B-1-B
El Rancho Grande I
City of Albuquerque
Bernalillo County, New Mexico
February 2022**

**This Sheet Shows
Line/Curve Tables, All
Easement Notes and
Additional Notes**

Line #	Direction	Length (ft)
L1	N 25°14'33" W (N 25°12'42" W)	54.77' (54.71')
L2	N 89°53'21" W (N 89°49'19" W)	55.33' (55.32')
L3	S 89°32'06" E (S 89°29'58" E)	166.37' (166.40')
L4	N 79°39'19" E (N 79°39'10" W)	81.02' (81.10')
L5	N 61°07'11" E (N 61°07'02" E)	105.73' (105.71')
L6	N 36°33'03" E (N 36°32'54" W)	109.49' (109.47')
L7	N 22°26'54" E (N 22°26'44" W)	170.33' (170.30')
L8	N 83°39'48" E	34.00' (34.00')
L9	N 64°51'01" E	28.01'
L10	N 10°20'56" W	5.38'
L11	S 79°39'10" W	48.96'
L12	S 79°39'10" W	42.63'
L13	S 79°39'10" W	50.03'
L14	S 79°39'10" W	47.97'
L15	S 79°39'10" W	32.04'
L16	S 79°39'10" W	21.91'
L17	S 79°39'10" W	5.05'
L18	S 10°24'47" E	25.01'
L19	N 79°39'04" W	0.36'
L20	N 79°35'13" E	41.17'
L21	N 10°24'47" W	10.08'
L22	N 79°39'19" E	11.95'
L23	N 79°39'19" E	18.05'
L24	N 61°07'11" E	12.60'
L25	S 64°51'01" W	8.08'
L26	S 64°51'07" W	23.00'
L27	N 25°08'44" W	5.03'
L28	S 64°51'07" W	23.00'
L29	S 64°51'01" W	12.00'
L30	S 23°13'58" E	8.07'
L31	N 23°13'58" W	5.35'
L32	S 79°39'04" W	2.19'
L33	S 79°39'04" W	4.97'
L34	S 79°39'04" W	6.12'
L35	S 79°39'04" W	31.79'
L36	N 00°37'18" W	1.50'
L37	N 88°46'17" E	20.87'
L38	N 00°49'29" W	17.00'
L39	N 88°46'17" E	20.81'
L40	N 00°37'18" W	5.36'
L41	N 79°35'13" E	42.90'
L42	N 79°39'10" E	4.94'
L43	N 79°39'10" E	25.83'

Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	20.87' (20.96')	10232.99' (10232.99')	0°07'01"	20.87'	S 79°42'40" W
C2	45.06' (45.05')	29.98' (29.98')	86°06'23"	40.93'	S 36°42'59" W
C3	360.78' (360.68') [360.68']	416.00' (416.03') [416.00']	49°41'24"	349.58'	S 31°10'54" E
C4	51.66'	200.00'	14°48'03"	51.52'	S 72°15'02" W
C5	51.66'	200.00'	14°48'03"	51.52'	S 72°15'02" W
C6	64.58'	250.00'	14°48'03"	64.40'	N 17°44'58" W
C7	13.78'	25.00'	31°34'32"	13.60'	N 63°51'47" W
C8	30.38'	270.74'	6°25'45"	30.36'	N 16°24'34" W
C9	30.42'	20.00'	87°08'20"	27.57"	N 56°46'46" W
C10	22.92'	15.00'	87°31'49"	20.75'	S 24°08'18" W
C11	31.39'	20.00'	89°56'09"	28.27"	N 55°22'52" W
C12	25.52'	25.00'	58°29'18"	24.43"	N 18°49'52" E
C13	39.30'	25.00'	90°03'50"	35.38'	N 34°37'08" E
C14	39.24'	25.00'	89°56'09"	35.34'	S 55°22'52" E
C15	39.30'	25.00'	90°03'51"	35.38'	S 34°37'08" W
C16	10.93'	223.00'	2°48'34"	10.93'	S 78°14'47" W
C17	34.75'	223.00'	8°55'41"	34.71'	S 72°22'39" W
C18	11.92'	223.00'	3°03'48"	11.92'	S 66°22'55" W
C19	57.61'	223.00'	14°48'03"	57.45'	S 72°15'02" W
C20	23.56'	15.00'	90°00'00"	21.21'	S 70°08'59" E
C21	4.92'	227.00'	1°14'34"	4.92'	N 24°31'42" W
C22	31.63'	227.00'	7°58'58"	31.60'	N 19°54'56" W
C23	41.70'	25.00'	95°34'33"	37.03"	N 31°51'54" E
C24	36.56'	227.00'	91°3'36"	36.52'	N 20°32'11" W
C25	43.84'	223.00'	11°15'49"	43.77"	S 74°01'09" W
C26	30.18'	20.00'	86°27'46"	27.40"	S 68°22'52" E
C27	31.42'	20.00'	90°00'00"	28.28"	S 19°51'01" W
C28	31.44'	20.00'	90°03'51"	28.30"	N 34°37'08" E
C29	5.92'	177.00'	1°55'01"	5.92'	S 65°48'32" W
C30	39.80'	177.00'	12°53'01"	39.72'	S 73°12'33" W
C31	45.72'	177.00'	14°48'03"	45.60'	S 72°15'02" W
C32	31.39'	20.00'	89°56'09"	28.27"	N 55°22'52" W
C33	36.29'	177.00'	11°44'51"	36.23'	S 73°46'38" W
C34	16.61'	177.00'	5°22'40"	16.61'	S 70°35'32" W
C35	19.68'	177.00'	6°22'11"	19.67"	S 76°27'58" W
C36	8.28'	20.00'	23°43'23"	8.22"	N 88°29'15" W
C37	23.11'	20.00'	66°12'46"	21.85'	N 43°31'10" W

Documents

- TITLE COMMITMENT PROVIDED BY STEWART TITLE, HAVING FILE NO. 1037841 AND AN EFFECTIVE DATE OF MAY 17, 2021.
- PLAT OF RECORD FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON DECEMBER 12, 2019, IN BOOK 2019C, PAGE 127.
- PLAT OF EL RANCHO GRANDE I, UNIT 1-B, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON APRIL 12, 2002, IN BOOK 2002C, PAGE 121.
- WARRANTY DEED FOR SUBJECT PROPERTY, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON JUNE 3, 2019, AS DOCUMENT NO. 2019045667.
- PLAT FOR AMOLE CHANNEL DRAINAGE RIGHTS-OF-WAY, TRACTS 1 THRU 5, FILED IN THE BERNALILLO COUNTY CLERK'S OFFICE ON DECEMBER 11, 2009, IN BOOK 2009C, PAGE 171, AS DOCUMENT NO. 2009135016.

Flood Notes

BASED UPON SCALING, THIS PROPERTY LIES WITHIN FLOOD ZONE X WHICH IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD AS DETERMINED BY F.E.M.A. AND SHOWN ON THE FLOOD INSURANCE RATE MAP NO. 35001C0336H, DATED AUGUST 16, 2012.

Drainage Facilities Note

AREAS DESIGNATED ON THE ACCOMPANYING PLAT AS "DRAINAGE EASEMENTS" ARE HEREBY DEDICATED BY THE OWNER AS A PERPETUAL EASEMENT FOR THE COMMON USE AND BENEFIT OF THE VARIOUS LOTS WITHIN THE SUBDIVISIONS FOR THE PURPOSE OF PERMITTING THE CONVEYANCE OF STORM WATER RUNOFF AND THE CONSTRUCTING AND MAINTAINING OF DRAINAGE FACILITIES. GRANTOR SHALL CONSTRUCT DRAINAGE FACILITIES IN THE EASEMENT IN ACCORDANCE WITH STANDARDS PRESCRIBED BY THE CITY AND PLANS AND SPECIFICATIONS APPROVED BY THE CITY ENGINEER IN ACCORDANCE WITH THE DRAINAGE REPORT ENTITLED "SOMBRA DEL OESTE", SUBMITTED BY THOMPSON ENGINEERING CONSULTANTS, INC., ON FEBRUARY 8, 2022, AND APPROVED BY THE ALBUQUERQUE CITY ENGINEER ON MARCH 14, 2022. NO FENCE, WALL, PLANTING, BUILDING OR OTHER OBSTRUCTION MAY BE PLACED OR MAINTAINED IN EASEMENT AREA WITHOUT APPROVAL OF THE CITY ENGINEER OF THE CITY OF ALBUQUERQUE. THERE ALSO SHALL BE NO ALTERATION OF THE GRADES OR CONTOURS IN SAID EASEMENT AREA WITHOUT THE APPROVAL OF THE CITY ENGINEER. IT SHALL BE THE DUTY OF THE LOT OWNERS OF THIS SUBDIVISION TO MAINTAIN SAID DRAINAGE EASEMENT AND FACILITIES AT THEIR COST IN ACCORDANCE WITH STANDARDS PRESCRIBED BY THE CITY OF ALBUQUERQUE. THE CITY SHALL HAVE THE RIGHT TO ENTER PERIODICALLY TO INSPECT THE FACILITIES. IN THE EVENT SAID LOT OWNERS FAIL TO ADEQUATELY AND PROPERLY MAINTAIN DRAINAGE EASEMENT AND FACILITIES, AT ANY TIME FOLLOWING FIFTEEN (15) DAYS WRITTEN NOTICE TO SAID LOT OWNERS, THE CITY MAY ENTER UPON SAID AREA, PERFORM SAID MAINTENANCE, AND THE COST OF PERFORMING SAID MAINTENANCE SHALL BE PAID BY APPLICABLE LOT OWNERS PROPORTIONATELY ON THE BASIS OF LOT OWNERSHIP. IN THE EVENT LOT OWNERS FAIL TO PAY THE COST OF MAINTENANCE WITHIN THIRTY (30) DAYS AFTER DEMAND FOR PAYMENT MADE BY THE CITY, THE CITY MAY FILE A LIEN AGAINST ALL LOTS IN THE SUBDIVISION FOR WHICH PROPORTIONATE PAYMENT HAS NOT BEEN MADE. THE OBLIGATIONS IMPOSED HEREIN SHALL BE BINDING UPON THE OWNER, HIS HEIRS, AND ASSIGNS AND SHALL RUN WITH ALL LOTS WITHIN THIS SUBDIVISION. THE GRANTOR AGREES TO DEFEND, INDEMNIFY, AND HOLD HARMLESS, THE CITY, ITS OFFICIALS, AGENTS AND EMPLOYEES FROM AND AGAINST ANY AND ALL CLAIMS, ACTIONS, SUITS, OR PROCEEDINGS OF ANY KIND BROUGHT AGAINST SAID PARTIES FOR OR ON ACCOUNT OF ANY MATTER ARISING FROM THE DRAINAGE FACILITY PROVIDED FOR HEREIN OR THE GRANTOR'S FAILURE TO CONSTRUCT, MAINTAIN, OR MODIFY SAID DRAINAGE FACILITY.

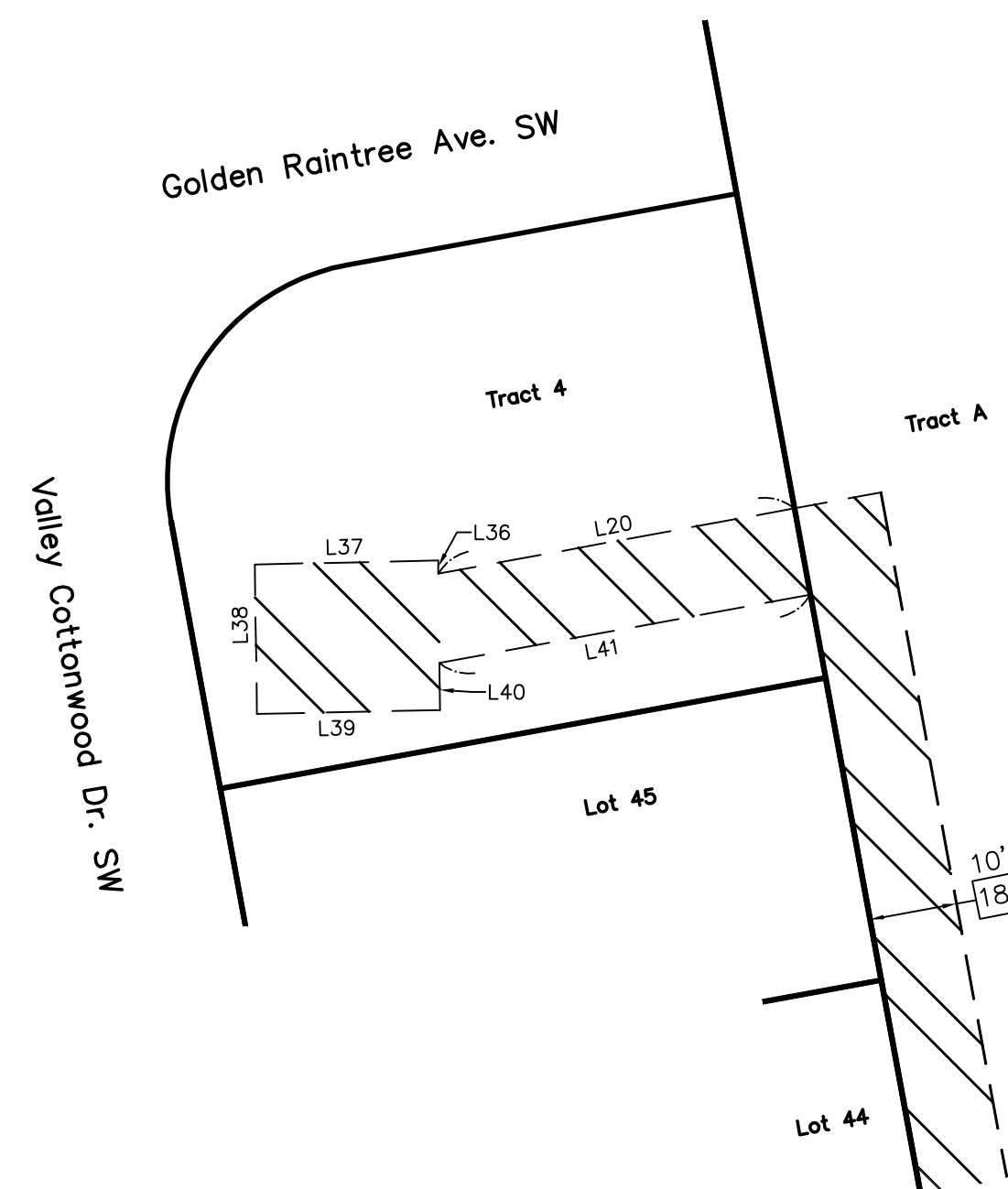
Notes

- FIELD SURVEY PERFORMED IN MAY 2021 AND SUPPLEMENTAL DATA IN AUGUST 2021.
- ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
- THE BASIS OF BEARINGS REFERENCES NM STATE PLANE COORDINATES (NAD 83-CENTRAL ZONE).
- LOTS LINES TO BE ELIMINATED SHOWN HEREON AS
- THE SUBDIVISION WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN HEREON.
- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN HEREON AS (O) SHALL BE MARKED BY A 1/2" REBAR WITH CAP STAMPED "LS 18374".

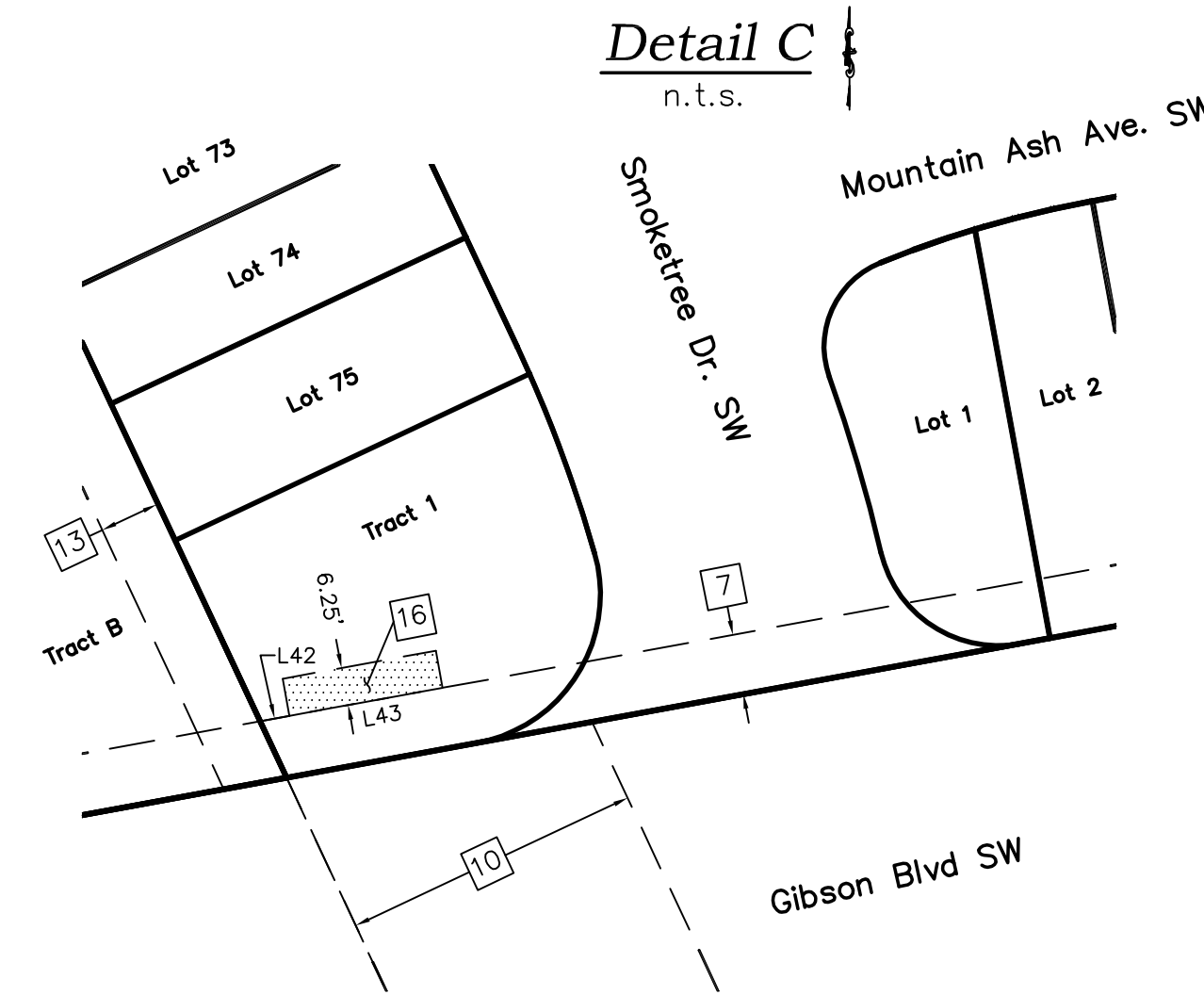
Easement and Drainage Notes

- EXISTING 10' PNM EASEMENT (2/22/2001, 2001C-57) PORTION VACATED WITH THIS PLAT SHOWN HEREON AS
- EXISTING 25' PRIVATE STORM DRAIN EASEMENT BENEFITING TRACTS 12-B-1-A AND 12-B-1-B AND MAINTAINED BY TRACT 12-B-1-B (12/12/2019, 2019C-127) PORTION VACATED WITH THIS PLAT SHOWN HEREON AS
- EXISTING PRIVATE ACCESS EASEMENT BENEFITING AND MAINTAINED BY THE OWNERS OF TRACTS 12-B-1-A AND 12-B-1-B (12/12/2019, 2019C-127) VACATED WITH THIS PLAT SHOWN HEREON AS
- EXISTING 10' PUBLIC PEDESTRIAN ACCESS EASEMENT (4/12/2002, 2002C-121)
- EXISTING 100' PNM EASEMENT (4/12/1956, BK. D348, PG. 43, DOC. NO. 91883)
- EXISTING 5' PNM EASEMENT (1/8/2002, 2002C-7)
- EXISTING 10' PUE (8/15/2003, 2003C-249)
- 5' PRIVATE DRAINAGE EASEMENT BENEFITING AND MAINTAINED BY THE OWNERS OF LOTS 1-75 AND TRACTS 1-4 GRANTED WITH THE FILING OF THIS PLAT
- EXISTING 20' PUBLIC PERMANENT WATERLINE EASEMENT (10/25/1985, BK. MISC. 284-A, PG. 668-671, DOC. NO. 1985090123) VACATED WITH THIS PLAT SHOWN HEREON AS . SEE DETAIL A, SHEET 3 OF 3
- EXISTING 50' PUBLIC PERMANENT ACCESS ROAD AND WATERLINE EASEMENT (10/25/1985, BK. MISC. 284-A, PG. 668-671, DOC. NO. 1985090123) PORTION VACATED WITH THIS PLAT. SEE DETAIL A, SHEET 3 OF 3
- EXISTING AMAFCA DRAINAGE EASEMENT (10/7/2005, DOC. NO. 2005149548) SHOWN HEREON AS
- EXISTING UNOBSTRUCTED LINE OF SIGHT EASEMENT (1/8/2002, 2002C-7) SHOWN HEREON AS
- EXISTING UNDERGROUND PNM EASEMENT (10/4/2005, BK. A104, PG. 6254, DOC. NO. 2005146656)
- AREA OUTLINED BY DRAINAGE COVENANT (9/17/2019, DOC. NO. 2019078629)
- AREA OUTLINED BY DRAINAGE COVENANT (9/17/2019, DOC. NO. 2019078634) VACATED WITH THIS PLAT.
- 6.25' X 25.83' PNM EASEMENT GRANTED WITH THE FILING OF THIS PLAT, SHOWN HEREON AS . SEE DETAIL C ON SHEET 3 OF 3
- INTENTIONALLY OMITTED
- 10' P.U.E. GRANTED WITH THE FILING OF THIS PLAT, SHOWN HEREON AS . SEE DETAIL B SHEET 3 OF 3
- PRIVATE DRAINAGE PONDING EASEMENT BENEFITING LOTS 1-75 AND TRACTS 1-4 AND MAINTAINED BY THE OWNERS OF SAID LOTS AND TRACTS. GRANTED WITH THE FILING OF THIS PLAT

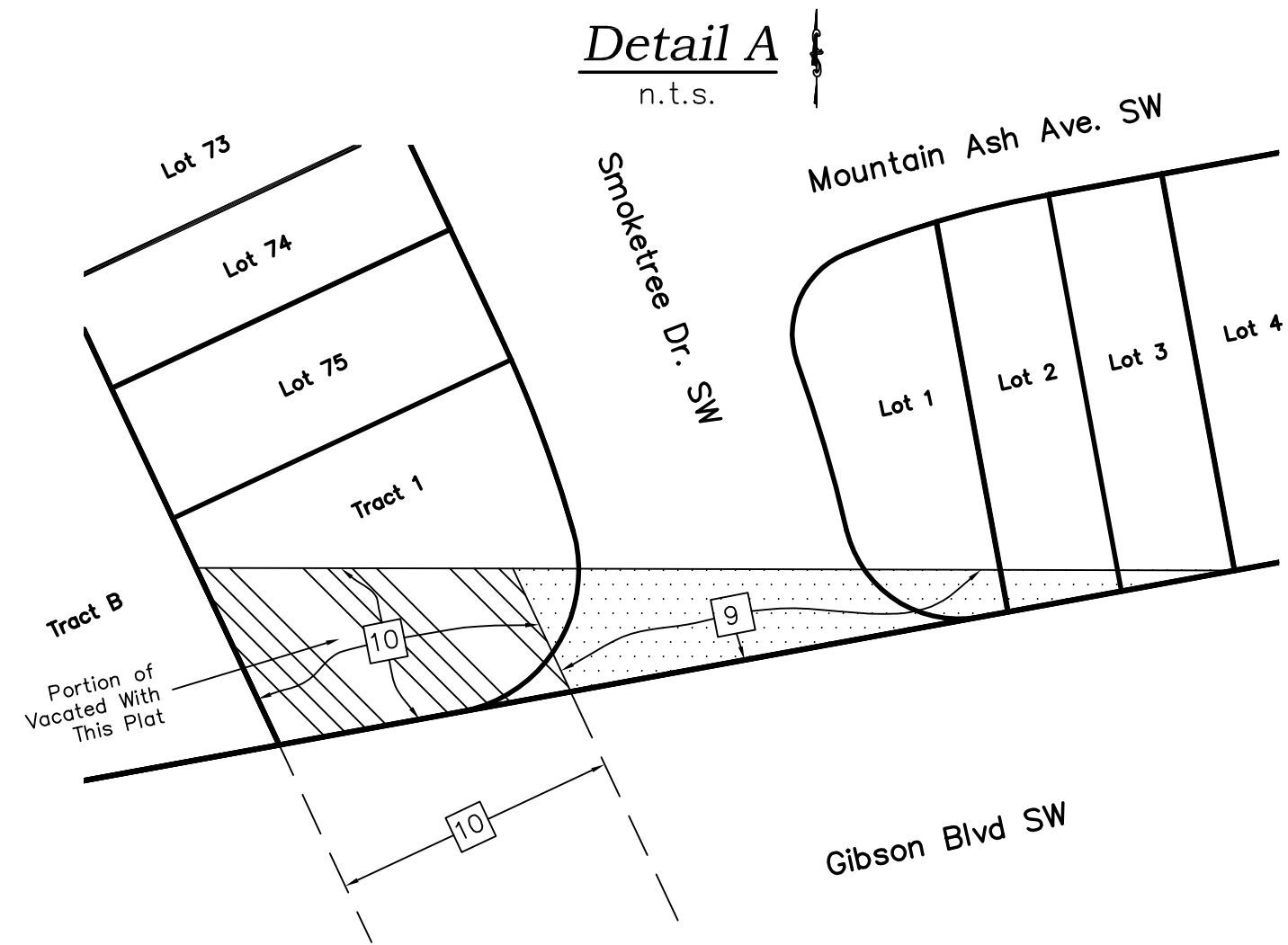
Detail B
n.t.s.

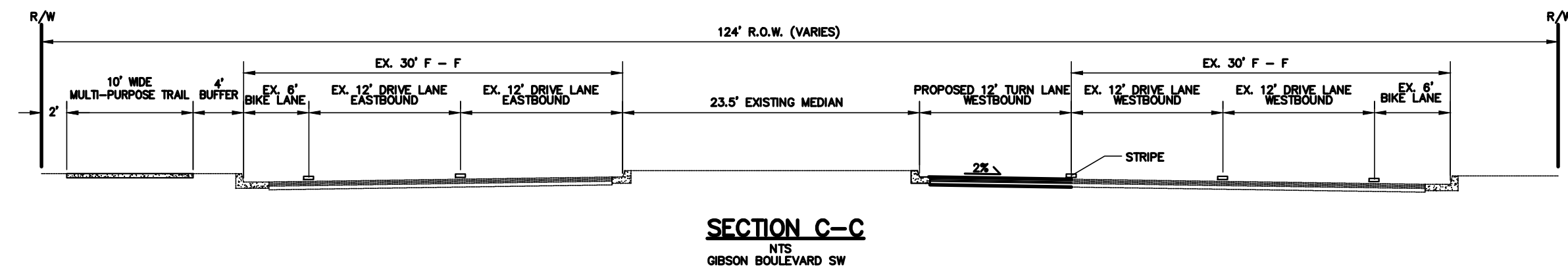
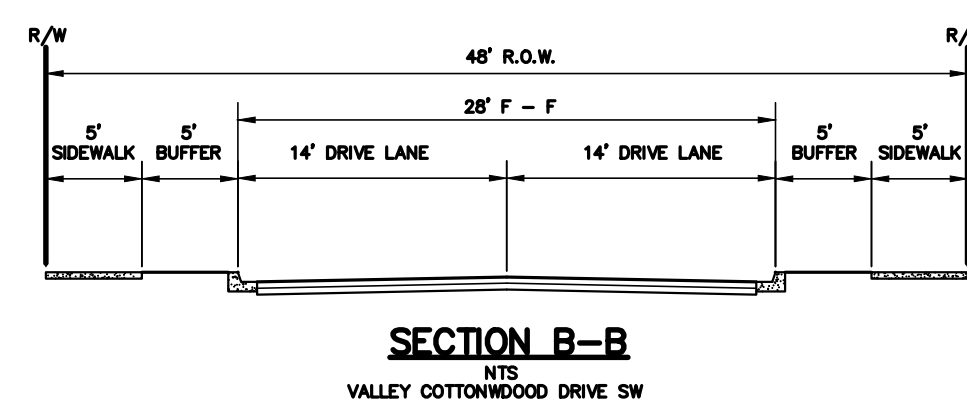
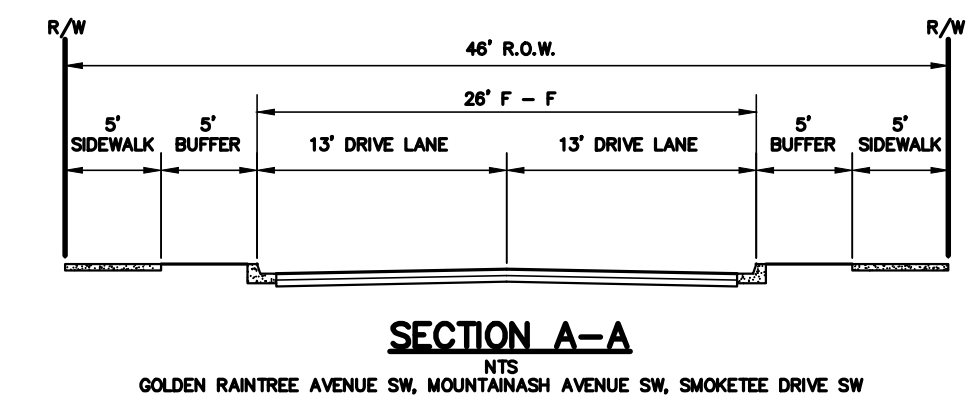
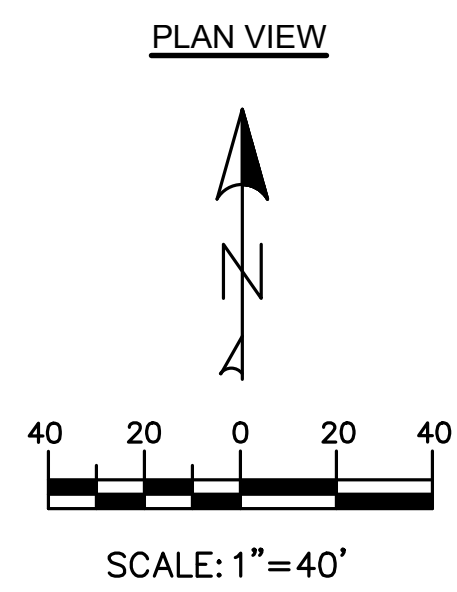
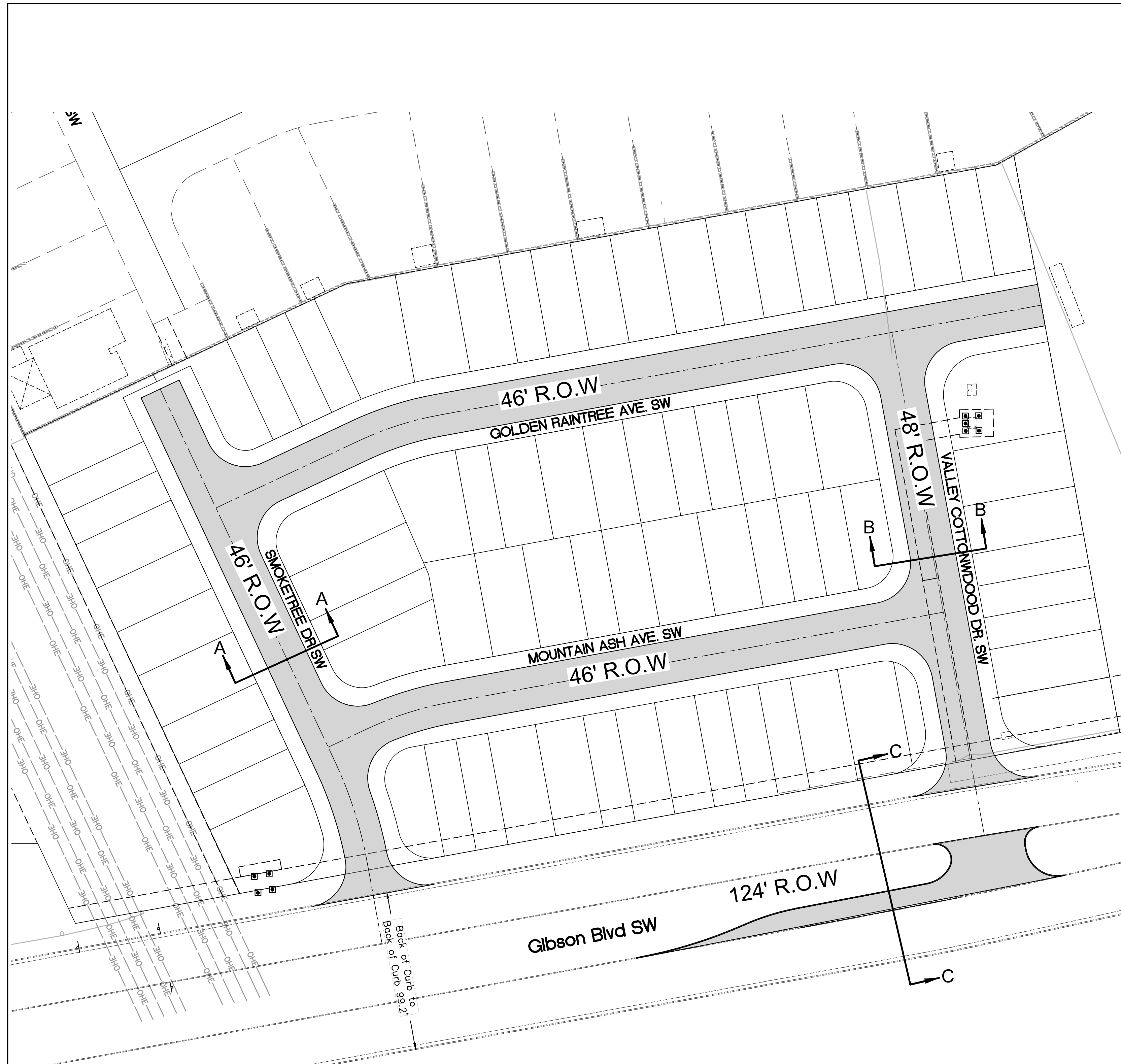


Detail C
n.t.s.



Detail A
n.t.s.

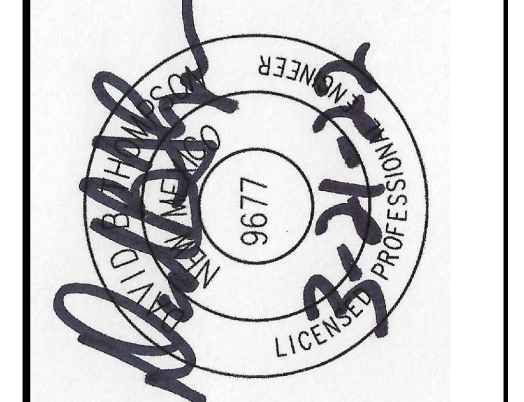




Thompson Engineering Consultants, Inc.
 P.O. BOX 65760 ALBUQUERQUE, NM 87193
 PHONE: (505) 271-2199 FAX: (505) 630-9246
 tscnm@yahoo.com

NO.	REVISION	BY	DATE

PROJECT: DRAWN BY: DEM
 DATE: CHECKED BY:
 HORIZ. SCALE: APPROVED BY:
 VERT. SCALE: FILE:



SOMBRA DEL OESTE
STREET SECTIONS

CITY/COUNTY REVIEW		DATE
DEPARTMENT	SIGN-OFF	
WASTEWATER MGMT. DIV.		
WATER SERVICES		
SUBDIVISION ENG.		
STREETS		
TRAFFIC		

FOR CITY/COUNTY USE ONLY

INFRASTRUCTURE LIST

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

SOMBRA DEL OESTE
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

TRACTS 12-B-1-B AND 12-B-1-A, EL RANCHO GRANDE UNIT 1
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
		12' WIDE	MEDIAN OPENING WITH 100' LEFT TURN LANE AND 84' TRANSITION	GIBSON BLVD.	VALLEY COTTONWOOD DR.	184' WEST	/	/	/
		10' WIDE	ASPHALT MULTI-PURPOSE TRAIL	GIBSON BLVD.	VALLEY COTTONWOOD DR.	WEST PROPERTY LINE	/	/	/
		28' F-F	PAVING, CURB AND GUTTER, 5' SIDEWALKS ON BOTH SIDES	VALLEY COTTONWOOD DR.	GIBSON BLVD.	GOLDEN RAIN TREE AVE.	/	/	/
		26' F-F	PAVING, CURB AND GUTTER, 5' SIDEWALKS ON BOTH SIDES	GOLDEN RAIN TREE AVE	SMOKETREE DR.	EAST PROPERTY LINE	/	/	/
		26' F-F	PAVING, CURB AND GUTTER, 5' SIDEWALKS ON BOTH SIDES	MOUNTAIN ASH AVE.	SMOKETREE DR.	VALLEY COTTONWOOD DR.	/	/	/
		26' F-F	PAVING, CURB AND GUTTER, 5' SIDEWALKS ON BOTH SIDES	SMOKETREE DR.	GIBSON BLVD.	10' SOUTH OF NORTH PROPERTY LINE	/	/	/
		8"	WATER LINE W/ VALVES, FH, MJ'S, AND RJ'S	GIBSON BLVD.	BARBADOS AVE.	VALLEY COTTONWOOD DR.	/	/	/
		8"	WATER LINE W/ VALVES, FH, MJ'S, AND RJ'S	GIBSON BLVD.	SMOKETREE DR.	WEST PROPERTY LINE	/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
		8"	WATER LINE W/ VALVES, FH, MJ'S, AND RJ'S	VALLEY COTTONWOOD DR.	GIBSON BLVD.	GOLDEN RAINTREE AVE.	/	/	/
		8"	WATER LINE W/ VALVES, FH, MJ'S, AND RJ'S	SMOKETREE DR.	GIBSON BLVD.	10' SOUTH OF NORTH PROPERTY LINE	/	/	/
		8"	WATER LINE W/ VALVES, FH, MJ'S, AND RJ'S	MOUNTAIN ASH AVE.	SMOKETREE DR.	VALLEY COTTONWOOD DR.	/	/	/
		8"	WATER LINE W/ VALVES, FH, MJ'S, AND RJ'S	GOLDEN RAINTREE AVE.	SMOKETREE DR.	EAST PROPERTY LINE	/	/	/
		8"	SANITARY SEWER LINE W/ MANHOLES	STAMPEDE DR.	BAY MARE AVE.	GIBSON BLVD.	/	/	/
		8"	SANITARY SEWER LINE W/ MANHOLES	GIBSON BLVD.	STAMPEDE DR.	VALLEY COTTONWOOD DR.	/	/	/
		8"	SANITARY SEWER LINE W/ MANHOLES	VALLEY COTTONWOOD DR.	GIBSON BLVD.	GOLDEN RAINTREE AVE.	/	/	/
		8"	SANITARY SEWER LINE W/ MANHOLES	MOUNTAIN ASH AVE.	SMOKETREE DR.	VALLEY COTTONWOOD DR.	/	/	/
		8"	SANITARY SEWER LINE W/ MANHOLES	GOLDEN RAINTREE AVE.	SMOKETREE DR.	EAST PROPERTY LINE	/	/	/
		8"	SANITARY SEWER LINE W/ MANHOLES	SMOKETREE DR.	MOUNTAIN ASH AVE.	10' SOUTH OF NORTH PROPERTY LINE	/	/	/
		24"	STORM DRAIN W/ MANHOLES	GIBSON BLVD.	BARBADOS AVE.	80' EAST OF VALLEY COTTONWOOD DR.	/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>	24"	STORM DRAIN W/ MANHOLES AND STORM INLETS	VALLEY COTTONWOOD DR.	50' SOUTH OF SMOKETREE AVE.	35' SOUTH OF GOLDEN RAINTREE AVE.	/	/	/
<input type="text"/>	<input type="text"/>	1,704 CF	DETENTION POND A	TRACT 1			/	/	/
<input type="text"/>	<input type="text"/>	2,408 CF	DETENTION POND B	TRACT 4			/	/	/
<input type="text"/>	<input type="text"/>	3,157 CF	DETENTION POND C	TRACT 3			/	/	/
<input type="text"/>	<input type="text"/>	1,250 CF	RETENTION POND D	TRACT B			/	/	/
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The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.									
Financially Guaranteed	Constructed Under	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private	City Cnst	Engineer

DRC #	DRC #
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>

Inspector	P.E.	Engineer
/	/	/
/	/	/
/	/	/

Approval of Creditable Items:	
Impact Fee Administrator Signature	Date

Approval of Creditable Items:	
City User Dept. Signature	Date

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

Street lights per City requirements.

1 Sidewalks to be constructed or deferred in accordance with the Sidewalk Exhibit.

2

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

DAVID B. THOMPSON, P.E.

NAME (print)

DRB CHAIR - date

PARKS & RECREATION - date

THOMPSON ENGR. CONS., INC.

FIRM

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

 3/21/2022

SIGNATURE - date

UTILITY DEVELOPMENT - date

CODE ENFORCEMENT - date

CITY ENGINEER - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER

I. PURPOSE AND SCOPE

THE PURPOSE OF THIS DRAINAGE PLAN IS TO PRESENT THE EXISTING AND PROPOSED DRAINAGE CONDITIONS FOR PROPOSED SOMBRA DEL OESTE SUBDIVISION, LOCATED IN THE 9001 BLOCK OF GIBSON BOULEVARD SW, IN ALBUQUERQUE. THE ZONE ATLAS PAGE FOR THE SITE IS M-09-Z.

II. SITE DESCRIPTION AND HISTORY

THE PROJECT SITE IS LOCATED ON THE NORTH SIDE OF GIBSON BOULEVARD SE, BETWEEN UNSER BOULEVARD SW, AND SNOW VISTA BOULEVARD SW.

THE SITE IS CURRENTLY VACANT WITH DEVELOPED PROPERTIES SURROUNDING.

III. COMPUTATIONAL PROCEDURES

HYDROLOGIC ANALYSIS WAS PERFORMED UTILIZING THE DESIGN CRITERIA BASED ON CHAPTER 6, HYDROLOGY, OF THE DEVELOPMENT PROCESS MANUAL RELEASED 2020. TABLES WITHIN CHAPTER 6, WERE USED TO AID IN THE STUDY OF THE SITE HYDROLOGY.

IV. PRECIPITATION

THE STORM EVENT USED FOR THE FOLLOWING CALCULATIONS IS THE 100YR-6HR STORM. THE PROJECT SITE IS LOCATED IN ZONE 1 (WEST OF RIO GRANDE).

V. EXISTING DRAINAGE CONDITIONS

CURRENTLY THE SITE IS VACANT AND GENERALLY DRAINS FROM NORTH-WEST TO SOUTH-EAST. A PRIVATE STORM DRAINAGE SYSTEM WAS INSTALLED ALONG GIBSON TO CONVEY EXCESS RUNOFF FROM THE SITE. THE PRIVATE STORM DRAINAGE SYSTEM WILL BE ABANDONED AND WILL NOT BE UTILIZED FOR THIS DEVELOPMENT. THE PRIVATE STORM DRAINAGE SYSTEM ALLOWED FOR UP TO 25.9 CFS AND THEREFORE THIS SITE CAN HAVE FREE DISCHARGE UP TO THAT LIMIT.

TO THE WEST OF THE SITE IS THE AMOLE ARROYO THAT CONVEYS OFFSITE FLOWS PAST THE SITE. THE IS ALSO AN OVERHEAD POWER TRANSMISSION LINE FOR PNM ALONG THE WESTERN BOUNDARY OF THE SITE. NO OFFSITE FLOWS WILL ENTER THE SITE FROM THE WEST. THE NORTH SIDE OF THE SITE, CONTAINS A FULLY DEVELOPED SUBDIVISION THAT DIRECTS RUNOFF FROM ADJACENT PROPERTIES NORTH INTO THE ROADWAYS SYSTEM. NO OFFSITE FLOWS WILL ENTER THE SITE FROM THE NORTH. THE EAST SIDE IF THE SITE IS LOWER AND THEREFORE WILL NOT CREATE ANY OFFSITE FLOWS FRO THIS PROJECT. TO THE SOUTH IS GIBSON BOULEVARD SW. GIBSON DRAINS FROM WEST TO EAST.

THE PRE-DEVELOPED PEAK RUNOFF RATE FROM THE SITE IS 10.19 CFS (WELL BELOW THE ALLOWABLE DISCHARGE OF 25.59 CFS).

VI. PROPOSED DRAINAGE CONDITIONS

THE PROPOSED SUBDIVISION HAS BEEN DESIGNED TO ROUTE EXCESS RUNOFF THROUGH SHALLOW PONDING AREAS AND ON-SITE COLLECTION AND CONVEYANCE SYSTEMS TO REDUCE THE PEAK RUNOFF RATE BACK TO HISTORIC RATES, AND TO CONTAIN THE NECESSARY WATER QUALITY VOLUME AS REQUIRED BY THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, CHAPTER 6.

FOR ANALYSIS OF EXCESS RUNOFF FLOW RATES AND WATER QUALITY VOLUME REQUIREMENTS THE SITE HAD BEEN DIVIDED INTO 5 PROPOSED BASINS.

BASIN PRO 1, IS ALONG THE WESTERN SIDE OF THE PROJECT AND ONLY CONTAINS THE BACKYARDS OF THE WESTERN LOTS ALONG SMOKETREE DRIVE SW. THIS BASIN PRO 1 CONTAINS 8,852 SF AND GENERATES A PEAK RUNOFF OF 0.48 CFS. RUNOFF FROM THIS BASIN IS DRAINED INTO POND A THAT HAS AN AVAILABLE VOLUME OF 1,704 CUBIC FEET. THERE IS NO WATER QUALITY VOLUME REQUIRED FROM THIS BASIN AS THERE IS NO IMPERVIOUS SURFACE. DRAINAGE FROM THE HOUSES WILL BE REQUIRED TO DRAIN TOWARD THE STREET TO REDUCE THE CROSS LOT DRAINAGE.

BASIN PRO 2 IS LOCATED ALONG THE NORTH SIDE OF THE SITE. IT WILL DRAIN FROM THE WEST TO EAST AND INTO POND B, THAT WILL HAVE AN AVAILABLE VOLUME OF 2,428 CUBIC FEET. THE PEAK RUNOFF FROM THIS BASIN WILL BE 7.44 CFS AND AFTER ROUTING THROUGH POND B, WILL BE REDUCED TO 4.71 CFS THAT WILL BE CONVEYED VIA UNDERGROUND STORM PIPING TO POND C FOR FURTHER REDUCTION IN RUNOFF RATES.

BASIN PRO 3 WAS CREATED TO BE ABLE TO SIDE THE CROSS LOT DRAINAGE AND TO DETERMINE RUNOFF RATES WITHIN VALLEY COTTONWOOD DRIVE SW. THE PEAK RUNOFF RATE FOR THE ENTIRE BASIN IS 1.24 CFS INCLUDING THE 0.42 CFS THAT IS CONVEYED VIA THE TWO BACKYARD CROSS LOT DRAINAGE SWALES. EACH SIDE OF THE RETAINING WALL WILL NEED TO CONVEY 0.21 CFS.

BASIN PRO 4 IS LOCATED ALONG THE SOUTHERN SIDE OF THE SITE AND GENERATES A PEAK RUNOFF RATE OF 6.73 CFS. BACKYARD CROSS LOT DRAINAGE WILL DRAIN 6 LOTS AND GENERATE A PEAK RUNOFF RATE OF 0.17 CFS. EXCESS RUNOFF FROM THIS BASIN WILL DRAIN TO A SERIES OF CATCH BASINS NEAR THE INTERSECTION OF MOUNTAIN ASH AVE SW AND VALLEY COTTONWOOD DR SW. EACH SIDE OF THE ROAD WILL NEED TO COLLECT A PEAK RUNOFF RATE OF 3.37 CFS. THIS CAN EASILY BE ACCOMPLISH VIA A TYPE A INLET PER DPM FIGURE 6.9.9. RUNOFF WILL THEN BE CONVEY TO POND C.

BASIN PRO 5 IS LOCATED ALONG THE EASTERN SIDE OF THE SITE. EXCESS RUNOFF FROM THIS BASIN IS 1.55 CFS. A SMALL PORTION WILL BE DRAINED VIA A CROSS LOT DRAINAGE SWALE INTO POND C. THE REMAINDER OF THE BASIN WILL DRAIN INTO VALLEY COTTONWOOD DR SW AND INTO POND C BY A TYPE A CATCH BASIN ON EACH SIDE OF THE ROAD IN A SUMP CONDITION.

POND C HAS BEEN SIZED TO CONTAIN THE WATER QUALITY VOLUME OF 3,157 CUBIC FEET. AS MENTIONED IN THE EXISTING CONDITIONS, THE PRIOR GRADING AND DRAINAGE PLANS INDICATED THIS SITE WAS DESIGNED TO RELEASE 25.59 CFS AND THEREFORE THE FULLY DEVELOPED PEAK FLOWRATE OF 17.44 CAN BE RELEASED WITHOUT ANY RESTRICTIONS.

THE UNDERGROUND STORM CONVEYANCE SYSTEM WILL BE SIZED TO CONVEY 10.19 CFS INTO GIBSON BOULEVARD SW AND OVER TO AN EXISTING STORM DRAINAGE SYSTEM AT STAMPEDE DRIVE SW. BECAUSE THE PRIVATE STORM DRAINAGE FORMERLY CONVEYED THE 10.21 CFS INTO THE SAME SYSTEM, DOWNSTREAM CAPACITY WILL NOT BE AFFECTED BY CONNECTING INTO THE SYSTEM.

THE SITE DOES CONTAIN A SINGLE BASIN (LABELED OFF BASIN EX 1) THAT IS LOCATED UNDER THE POWERLINES AND THEREFORE NOT REALLY PART OF THE DEVELOPED PROPERTY. THIS BASIN HAS BEEN DESIGNED TO HAVE FULL 100 YEAR EVENT RETENTION. SHOULD THIS POND BE EXCEEDED THE EXCESS RUNOFF WOULD ENTER GIBSON BOULEVARD SW.

VII. CONCLUSIONS

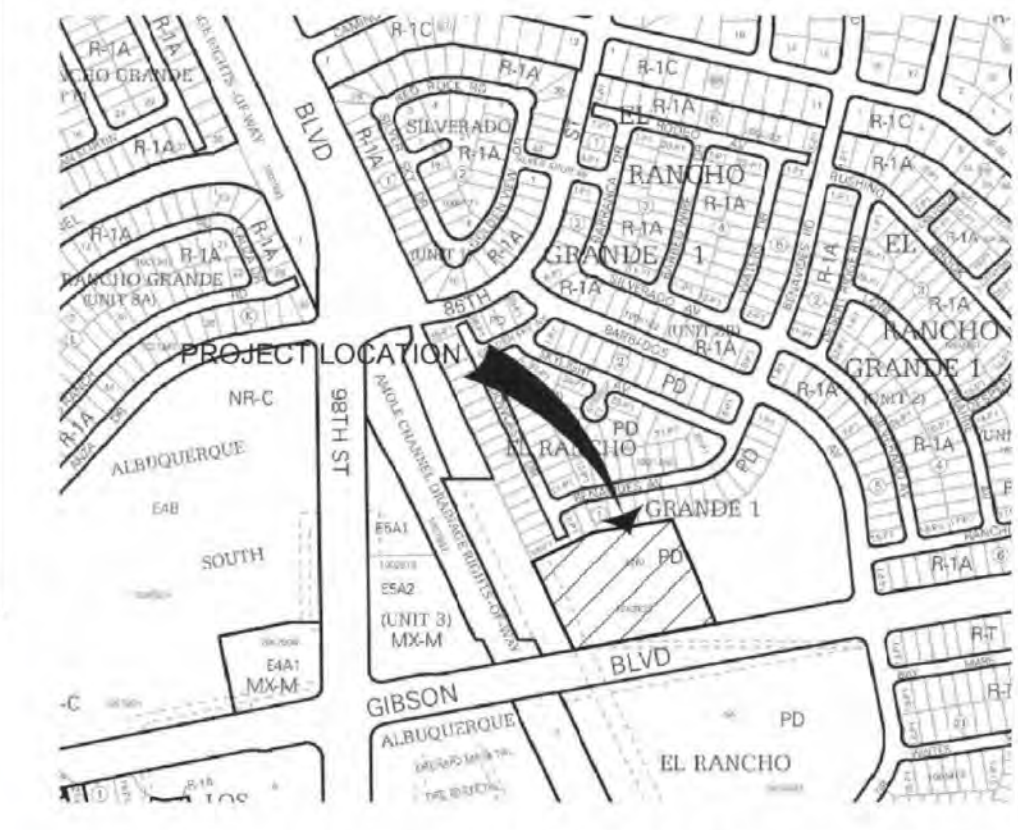
THE PROPOSED SUBDIVISION HAS BEEN DESIGNED TO DIVERT STREET AND ROOF RUNOFF INTO A SERIES OF WATER QUALITY PONDS PRIOR TO BEING CONVEYED VIA A NEW UNDERGROUND STORM PIPING SYSTEM CONNECTING TO THE EXISTING PUBLIC STORM DRAINAGE SYSTEM AT GIBSON BOULEVARD SW, AND STAMPEDE DRIVE SW. THE PROPOSED PEAK RATE (DEVELOPED FLOW 10.21 CFS) IS WELL BELOW THE ALLOWABLE OF 25.59 CFS, THERE SHOULD BE NOT AFFECT TO DOWNSTREAM FACILITIES.

Drainage Summary						
Project:	SOMBRA DEL OESTE					
Project Number:	02/05/22					
Date:	Dave					
By:						
Site Location						
Precipitation Zone	1 Per COA DPM Chapter 6					
Existing summary						
Basin Name	Ex Basin 1	OFF EX 1				
Area (sf)	209537	20372				
Area (acres)	4.81	0.47				
%A Land treatment	0	0				
%B Land treatment	100	100				
%C Land treatment	0	0				
%D Land treatment	0	0				
Soil Treatment (acres)						
Area "A"	0.00	0.00				
Area "B"	4.81	0.47				
Area "C"	0.00	0.00				
Area "D"	0.00	0.00				
Excess Runoff (acre-feet)						
100yr. 6hr.	0.2926	0.0285	acre-ft.			
10yr. 6hr.	0.1042	0.0101	acre-ft.			
2yr. 6hr.	0.0040	0.0004	acre-ft.			
100yr. 24hr.	0.2926	0.0285	acre-ft.			
Peak Discharge (cfs)						
100 yr.	10.39	1.01	cfs			
10yr.	3.90	0.39	cfs			
2yr.	0.10	0.01	cfs			
Proposed summary						
Basin Name	Pro Basin 1	Pro Basin 2	Pro Basin 3	Pro Basin 4	Pro Basin 5	Off EX 1
Area (sf)	8852	87670	18111	75264	19633	20372
Area (acres)	0.203	2.013	0.416	1.728	0.451	0.47
%A Land treatment	0	0	0	0	0	0
%B Land treatment	100.0	21.5	57.6	11.6	34.9	100
%C Land treatment	0	0	0	0	0	0
%D Land treatment	0.0	78.5	42.4	88.4	65.1	0
Soil Treatment (acres)						
Area "A"	0.00	0.00	0.00	0.00	0.00	0.00
Area "B"	0.20	0.43	0.24	0.20	0.16	0.47
Area "C"	0.00	0.00	0.00	0.00	0.00	0.00
Area "D"	0.00	1.58	0.18	1.53	0.29	0.00
Excess Runoff (acre-feet)						
100yr. 6hr.	0.0124	0.3212	0.0475	0.2973	0.0644	0.0285
10yr. 6hr.	0.0044	0.1976	0.0262	0.1853	0.0384	0.0101
2yr. 6hr.	0.0002	0.0124	0.0137	0.1173	0.0226	0.0004
100yr. 24hr.	0.0124	0.3633	0.0522	0.3380	0.0722	0.0285
Peak Discharge (cfs)						
100 yr.	0.44	7.44	1.24	6.73	1.55	1.01
10yr.	0.16	4.41	0.65	4.09	0.88	0.38
2yr.	0.00	2.47	0.28	2.39	0.46	0.01
Water Quality Ponding Volume (cf)						
Water Quality Acre Feet	0.0	2407.9	268.6	2328.4	447.5	0.0 cf
Water Quality Acre Feet	0.0000	0.0553	0.0062	0.0535	0.0103	0.0000

Pond Routing and Volumes								
Incoming Flow Rate	Qm	0.44	7.44	1.24	6.73	1.55	1.01	cfs
Allocatable Discharge Rate	Qout	0.00	4.71	0.50	4.50	0.50	0.00	10.21 Total discharge per Figure A-1
Hydrology Zone		1	1	1	1	1	1	
Area Total	At	0.203	2.013	0.416	1.728	0.451	0.468	acres
Area Type A	Aa	0	0	0	0	0	0	%
Area Type B	Ab	0	0	0	0	0	0	%
Area Type C	Ac	0	0	0	0	0	0	%
Area Type D Impervious	Ad	0	0	0	0	0	0	%
Excess runoff rates								
A	0.44	0.44	0.44	0.44	0.44	0.44	0.44	
B	0.67	0.67	0.67	0.67	0.67	0.67	0.67	
C	0.94	0.94	0.94	0.94	0.94	0.94	0.94	
D	1.91	1.91	1.91	1.91	1.91	1.91	1.91	
Weighted (Excess Runoff)								
Time to Peak		1.52	1.52	1.52	1.52	1.52	1.52	hours
Time to Peak		0.2	1.2	2.2	3.2	4.2	4.2	hours
+0.75 (+0.6 AS/AJ12)		0.228	0.028	1.628	2.328	3.028	3.778	hours
Time of Base		1.341	0.728	0.931	0.683	0.792	0.650	hours
+2.075 (+1.6 AS/AJ12)		0.138	0.138	0.138	0.138	0.138	0.138	hours
Time to end of peak		0.355	1.055	1.755	2.455	3.155	3.778	hours
Time when storage begins		0.000	0.087	0.654	1.597	0.977	0.000	hours
Time when storage ends		0.325	0.671	0.278	0.507	0.377	0.338	hours
Time when storage is less than discharge		0.325	0.671	0.278	0.507	0.377	0.338	hours
Volume Required during storm	acre-inch	1176	2428	1011	840	1592	1360	cubic feet
Volume Required during storm	cf	1176	2428	1011	840	1592	1360	cubic feet
Volume Stored in basin during storm	cf	1412	1968	1341	1324	2160	1253	Total Stored
Top Area		860	1241	488	488	1265		
Bottom Area		5012.23	5099.25			5096.73	5113.59	
Top Elev		5010.73	5097.75			5095.25	5112.75	
Bot Elev								
Volume Available by ponds	cf	1704	2428			3157	1253	cubic feet
Volume Available total by basin	cf	1704	2428			3157	1253	



C4 FEMA FLOOD ZONE
NOT TO SCALE

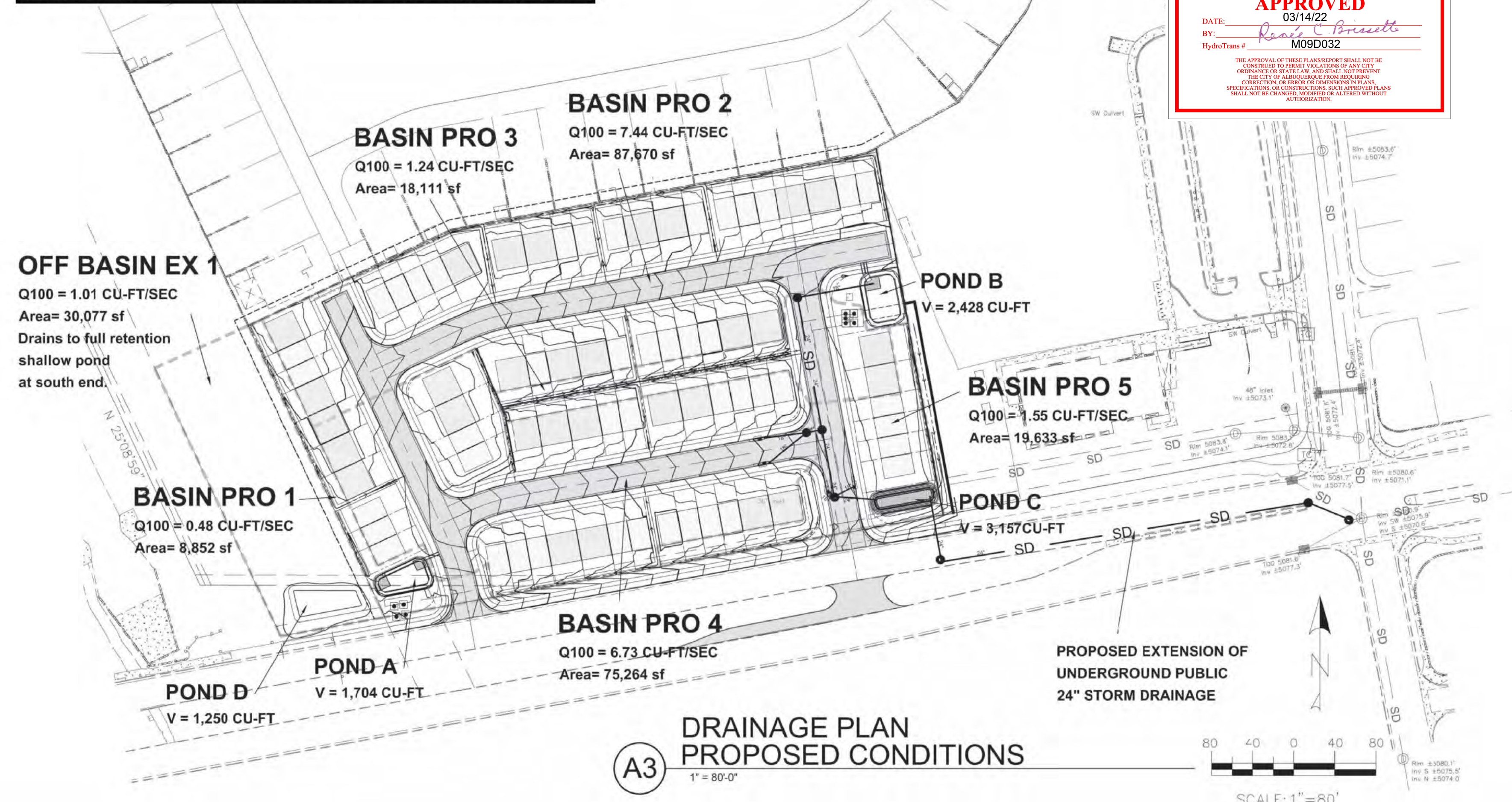


D5 ZONE ATLAS PAGE M-09
NOT TO SCALE

FLOOD ZONE DETERMINATION

The surveyed area, as shown hereon, appears to lie within "ZONE X" (areas determined to be outside the 0.2% annual chance floodplain), shown on National Flood Insurance Program Flood Insurance Rate Map 35001C03.336H REVISED 08/16/2012.

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 03/14/22
BY: *Renee C. Brantley*
HydroTrns # M09D032



A3

DRAINAGE PLAN
PROPOSED CONDITIONS
1" = 80'-0"



Tompson Engineering Consultants, Inc.
tccom@tjproco.com
P.O. BOX 657700
ALBUQUERQUE, NM 871 93
PHONE: (505) 271-9156
FAX: (505) 650-9246

DATE	BY	REVISION	NO.

PROJECT: SOMBRA DEL OESTE
DRAWN BY: DEM
CHECKED BY:
DATE: 03/14/22
HORIZ. SCALE:
VERT. SCALE:

9677

SOMBRA DEL OESTE

GRADING & DRAINAGE PLAN

CITY/COUNTY REVIEW	DATE
DEPARTMENT	
WASTEWATER MGMT. DIV.	
WATER SERVICES	
SUBDIVISION ENG.	
STREETS	
TRAFFIC	

FOR CITY/COUNTY USE ONLY

SHEET No. **CD1 of 2**

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 14, 2022

David Thompson, PE
Thompson Engineering Consultants, Inc.
PO Box 65760
Albuquerque, NM 87193

**RE: Sombra del Oeste
Grading and Drainage Plans
Engineer's Stamp Date: 02/08/22
Hydrology File: M09D032**

Dear Mr. Thompson:

Based upon the information provided in your submittal received 02/08/2022, the Grading & Drainage Plans are approved for Grading Permit, Work Order and for action by the DRB on Platting.

PO Box 1293

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

Albuquerque

NM 87103

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

www.cabq.gov

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



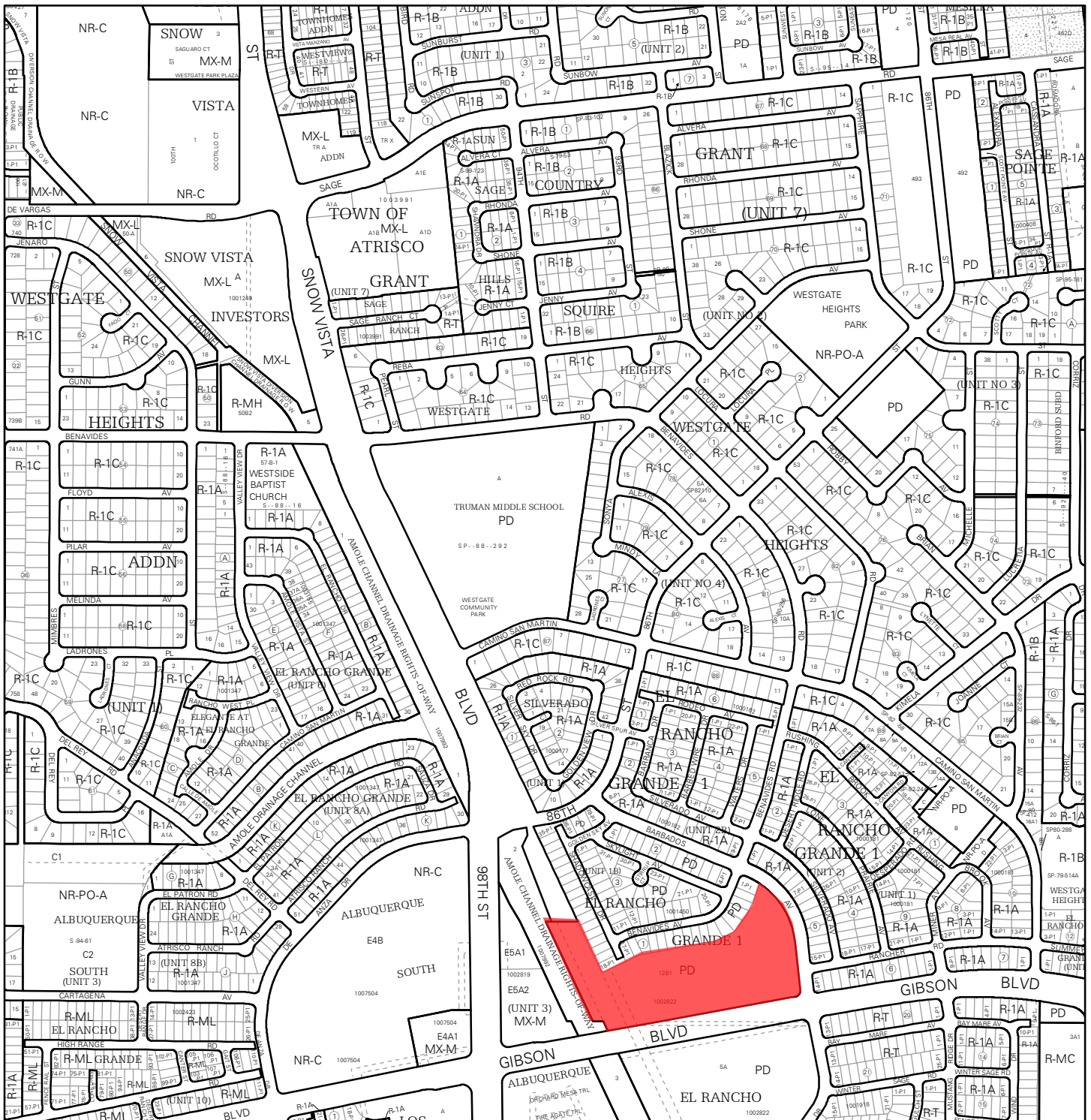
Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)	
<input checked="" type="checkbox"/> Major – Preliminary Plat (Form P1)	<input type="checkbox"/> Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Major - Final Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Amendment to Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
	<input type="checkbox"/> Sidewalk Waiver (Form V2)	
SITE PLANS	<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)
BRIEF DESCRIPTION OF REQUEST		

APPLICATION INFORMATION		
Applicant: Solare Collegiate Foundation		Phone:
Address: 8801 Gibson Blvd SW		Email:
City: Albuquerque	State: NM	Zip: 87121
Professional/Agent (if any): CSI-Cartesian Surveys Inc.		Phone: (505) 896-3050
Address: P.O. Box 44414		Email: cartesiandenise@gmail.com
City: Rio Rancho	State: NM	Zip: 87174
Proprietary Interest in Site:	List all owners: Solare Collegiate Foundation	
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.: 12-B-1-A and 12-B-1-B	Block:	Unit:
Subdivision/Addition: El Rancho Grande I	MRGCD Map No.:	UPC Code: 100905533402040127 (Tract 12-B-1-A) 100905538202740125 (Tract 12-B-1-B)
Zone Atlas Page(s): M-9-Z	Existing Zoning: MX-M	Proposed Zoning MX-M
# of Existing Lots: 2 Tracts	# of Proposed Lots: 75 Lots and 6 Tracts	Total Area of Site (Acres): 10.9989
LOCATION OF PROPERTY BY STREETS		
Site Address/Street: 8801 Gibson Blvd SW	Between: 98th St SW	and: Barbados Ave SW
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)		
PR-2019-002042; PS-2021-00121; PS-2022-00003		


I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature: Denise King	Date: 2-7-22				
Printed Name: Denise King	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent				
FOR OFFICIAL USE ONLY					
Case Numbers	Action	Fees	Case Numbers	Action	Fees
Meeting Date:				Fee Total:	
Staff Signature:	Date:			Project #	

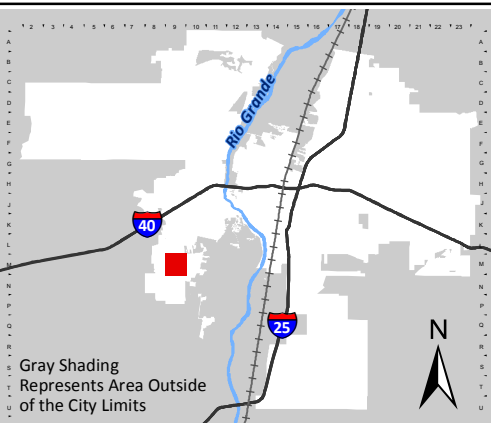


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Gray Shading
Represents Area Outside
of the City Limits

Zone Atlas Page:
M-09-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

HOMEWISE, INC.
1301 SILER RD, BUILDING D
SANTA FE, NM 87507

February 1, 2022

City of Albuquerque
Planning Department
600 2nd St NW
Albuquerque, NM 87102

Re: Letter of Authorization

To Whom It May Concern:

Homewise, a New Mexico Nonprofit Corporation, hereby authorizes Thompson Engineering Consultants, Consensus Planning, Cartesian Surveys, to obtain information, submit and process applications, represent the project at meetings and public hearings, and act as our agent related to the property located at the northeast corner of Gibson Boulevard near 98th Street.

The property is legally described as *Tract 12-B-1-A Plat of Tract 12-B-1-A & 12-B-1-B El Rancho Grande 1 containing 6.1178 Acres.*

Please contact me if you have any questions or need any additional information.

Sincerely,

Homewise, Inc.

By:  _____

Printed Name: Jaime Jaramillo

Title: Real Estate Development Planning Manager

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from _____ To _____

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Denise King

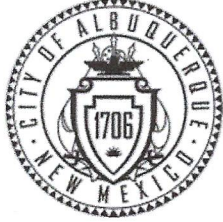
(Applicant or Agent)

2/7/22

(Date)

I issued _____ signs for this application, _____, _____
(Date) (Staff Member)

PROJECT NUMBER: PR-2019-002042



City of Albuquerque
P.O. Box 1293 Albuquerque, NM 87103
Planning Department
Alan Varela, Interim Director

Tim Keller, Mayor
Sarita Nair, CAO

DATE: February 2, 2022

SUBJECT: Albuquerque Archaeological Ordinance - Compliance Documentation

Case Number(s): PR-2019-002042
Agent: Consensus Planning, Inc.
Applicant: Homewise, Inc.
Legal Description: Tract 12B1A Plat of Tract 12-B-1-A & 12-B-1-B El Rancho Grande 1
Zoning: MX-M
Acreage: 6.1178
Zone Atlas Page(s): M-09-Z

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

SUPPORTING DOCUMENTATION:

Historic Google Earth images, NMCRIS records

SITE VISIT: N/A

RECOMMENDATIONS:


Much of the area appears to have been disturbed by surrounding development since 2005.

Therefore: CERTIFICATE OF NO EFFECT ISSUED-under 6-5(A) (3)(a) criterion 2 "The property has been disturbed through previous land use"

SUBMITTED BY:

SUBMITTED TO:

Planning, Development Services



Douglas H. M. Boggess, MA, RPA Date 2-2-2022
Senior Principal Investigator
Acting City Archaeologist
Lone Mountain Archaeological Services, Inc.



Denise King <cartesiandenise@gmail.com>

FW: Solare Subdivision (Gibson Blvd. E. of 98th St.)

Jaime Jaramillo <JJaramillo@homewise.org>

Wed, Feb 2, 2022 at 2:43 PM

To: Denise King <cartesiandenise@gmail.com>, Ryan Mulhall <cartesianryan@gmail.com>

Cc: Jim Strozier <cp@consensusplanning.com>, David Thompson <tecnm@yahoo.com>, Charlene Johnson <Johnson@consensusplanning.com>, Daniel Slavin <dslavin@homewise.org>

Denise and Ryan,

Please see the below email acceptance from City traffic engineer Matt Grush of our gap analysis. Attached is the gap analysis for the application. Please include both the email and the analysis in the plat application.

Thank you,

Jaime Jaramillo

Real Estate Development Planning Manager

NMREL# 53836

phone: 505-795-7592

Email: jjaramillo@homewise.org

1301 Siler Road Building D

Santa Fe, NM, 87507

From: Grush, Matthew P. <mgrush@cabq.gov>

Sent: Friday, October 22, 2021 8:59 AM

To: 'Terry Brown' <terryobrown@outlook.com>

Cc: Wolfenbarger, Jeanne <jwolfenbarger@cabq.gov>; Jaime Jaramillo <JJaramillo@homewise.org>

Subject: RE: Solare Subdivision (Gibson Blvd. E. of 98th St.)

[EXTERNAL SENDER]

Good morning Terry,

I have reviewed the Solare Subdivision traffic analysis for the main full unsignalized access driveway on Gibson Blvd. The study shows acceptable level of Service and adequate gaps in traffic for the eastbound left and the southbound left/right turn movements. If you have any questions feel free to contact me.

Thank you,



Matt Grush, P.E., PTOE

Senior Engineer

505-924-3362

mgrush@cabq.gov

cabq.gov/planning

From: Terry Brown <terryobrown@outlook.com>

Sent: Tuesday, October 19, 2021 3:23 PM

To: Grush, Matthew P. <mgrush@cabq.gov>

Cc: Wolfenbarger, Jeanne <jwolfenbarger@cabq.gov>; Jaime Jaramillo <JJaramillo@homewise.org>

Subject: Solare Subdivision (Gibson Blvd. E. of 98th St.)

Matt,

Attached is the gap analysis that the City requires for the Solare Subdivision full access driveway onto Gibson Blvd. for your review / comment.

Please call me if you have questions.

Best Regards,

Terry O. Brown, P.E.


P. O. Box 92051

Albuquerque, NM 87199-2051

(505) 883-8807 – Office

(505) 270-6981 – Cell

e-mail: terryobrown@outlook.com

 Letter_of_Analysis 1.pdf
3079K



City of Albuquerque

Planning Department
Development Review Services Division

Traffic Scoping Form (REV 12/2020)

Project Title: Homewise Solare Subdivision Building Permit #: _____ Hydrology File #: _____
Zone Atlas Page: M-09-Z DRB#: 1002822 EPC#: PR-2019-002042 Work Order#: _____
Legal Description: TR 12B1A PLAT OF TRACT 12-B-1-A & 12-B-1-B EL RANCHOGRANDE 1 CONT 6.1178 AC
City Address: Gibson Boulevard NW, 87121

Applicant: Homewise, Inc. / Agent: Consensus Planning, Inc. Contact: Jim Strozier, FAICP
Address: 302 Eighth Street NW, Albuquerque, NM 87102
Phone#: 505-764-9801 Fax#: _____ E-mail: cp@consensusplanning.com

Development Information

Build out/Implementation Year: 2021 Current/Proposed Zoning: MX-M

Project Type: New: Change of Use: Same Use/Unchanged: Same Use/Increased Activity:

Proposed Use (mark all that apply): Residential: Office: Retail: Mixed-Use:

Describe development and Uses:
Single-family residential townhouse development.

Days and Hours of Operation (if known): N/A

Facility

Building Size (sq. ft.): To be determined

Number of Residential Units: 74 +/-

Number of Commercial Units: N/A

Traffic Considerations

Expected Number of Daily Visitors/Patrons (if known):* Unknown

Expected Number of Employees (if known):* N/A

Expected Number of Delivery Trucks/Buses per Day (if known):* N/A

Trip Generations during PM/AM Peak Hour (if known):* Unknown

Driveway(s) Located on: Street Name Gibson Boulevard

Adjacent Roadway(s) Posted Speed: Street Name 98th Street Posted Speed 35 mph

Street Name Gibson Boulevard Posted Speed 40 mph

ITE Land Use #220
Multifamily Housing, 74
DU
AM trips 31 veh
PM trips 40 veh

* If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required

Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation/Functional Classification: Gibson Boulevard-Urban Major Collector, 98th Street-Urban Principal Arterial
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: 98th/Gibson Activity Center
(urban center, employment center, activity center)

Jurisdiction of roadway (NMDOT, City, County): City

Adjacent Roadway(s) Traffic Volume: Not available Volume-to-Capacity Ratio: _____
(if applicable)

Adjacent Transit Service(s): Route 198 Nearest Transit Stop(s): West along 98th Street

Is site within 660 feet of Premium Transit?: No

Current/Proposed Bicycle Infrastructure: Amole Arroyo Trail, 98th Street Bike Path, Gibson West Bike Path
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: Proposed sidewalks along Gibson and within townhouse development.

Relevant Web-sites for Filling out Roadway Information:

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: <https://abc-zone.com/document/abc-comp-plan-chapter-5-land-use> (map after Page 5-5)

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidid=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf (Map Pages 75 to 81)

TIS Determination

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [] No Borderline []

Thresholds Met? Yes [] No

Mitigating Reasons for Not Requiring TIS: _____ Previously Studied: []

Notes:

M. P. ... P.E.

7/30/2021

TRAFFIC ENGINEER

DATE



Submittal

The Scoping Form must be submitted as part of any building permit application, DRB application, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to the City Traffic Engineer mgrush@cabq.gov . Call 924-3362 for information.

Site Plan/Traffic Scoping Checklist

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([*check MRCOG Bikeways and Trails in the 2040 MTP map*](#))
4. Location of nearby multi-use trails, if applicable ([*check MRCOG Bikeways and Trails in the 2040 MTP map*](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify v/c ratio on this form.

Monday, October 18, 2021

Matthew Grush, P.E.

Transportation Development Section, Planning Department
City of Albuquerque
P. O. Box 1293
Albuquerque, NM 87102

Re: Solare Subdivision (Gibson Blvd. East of 98th St.)

Dear Matt:

The City of Albuquerque has required a gap analysis for the main full access unsignalized driveway for the proposed Solare Subdivision. This letter is for the purpose of reporting the results of the gap analysis and also providing an unsignalized driveway analysis for the main driveway (Driveway "A").

The Solare Subdivision is proposed to have 75 townhome lots. The trip generation rate for Solare Subdivision is based on the ITE Trip Generation Manual, 10th Edition using equations and data for Multi-Family Housing (Low-Rise) – ITE Land Use 220. The ITE Trip Generation Manual (10th Edition) definition for Multi-Family Housing (Low Rise) is: "Low-rise multifamily housing includes apartments, townhouses, and condominiums located within the same building with at least three other dwelling units and that have one or two levels (floors)."

The unsignalized driveway analysis contained in this letter of analysis is based on the trip generation rate for ITE Land Use 220. The new trips were distributed based on Mid-Region Council of Governments Socioeconomic Data (2040 Data Set) based on employment distribution regionally (Mid-Region Council of Governments' jurisdiction) inversely proportional to the distance of the subarea from the project. Preference was given to distributing the entering and exiting trips to the east on Gibson Blvd. to use Unser Blvd. to access the more densely populated areas in the Mid-Region Council of Governments jurisdictional area. This preference will result in a higher volume of southbound left turn movements at Driveway "A". It is anticipated that the southbound left turn movement at Driveway "A" will be the most difficult to negotiate since it will experience the most conflicting traffic volumes. The southbound left turn movement, though, will be able to execute a staged left turn so that it can cross the westbound lanes on Gibson Blvd. first and enter into the staging area in the wide median and then wait for a gap in the eastbound lanes to complete the left turn. The unsignalized intersection analysis of Driveway "A" considers the intersection to have staged southbound to

Re: Solare Subdivision (Gibson Blvd. East of 98th St.)

eastbound left turn movements. Traffic volumes on Gibson Blvd. at Driveway “A” were derived from Mid-Region Council of Governments’ Transportation Analysis and Querying Application (TAQA) which provided AM and PM Peak Hour volumes eastbound and westbound for the year 2017. Those volumes were grown at an annual rate of 3.5% per year to achieve 2024 volumes that were used in the unsignalized intersection analyses.

The gap analysis was performed by utilizing a JAMAR electronic traffic counter device set to time stamp a vehicle every time it passed the driveway point along Gibson Blvd. The counter device separated the eastbound time stamps from the westbound time stamps.

The criteria for the gap analysis is Exhibit 20-21 (Base Critical Headways for TWSC Intersections) in the Highway Capacity Manual, 6th Edition (see below):

Exhibit 20-12
 Base Critical Headways for
 TWSC Intersections

Vehicle Movement	Base Critical Headway, $t_{c,base}$ (s)		
	Two Lanes	Four Lanes	Six Lanes
Left turn from major street	4.1	4.1	5.3
U-turn from major street	NA	6.4 (wide) ^a 6.9 (narrow) ^a	5.6
Right turn from minor street	6.2	6.9	7.1
Through traffic on minor street	1 stage: 6.5	1 stage: 6.5	1 stage: 6.5 ^b
	2 stage, Stage I: 5.5 2 stage, Stage II: 5.5	2 stage, Stage I: 5.5 2 stage, Stage II: 5.5	2 stage, Stage I: 5.5 ^b 2 stage, Stage II: 5.5 ^b
Left turn from minor street	1 stage: 7.1	1 stage: 7.5	1 stage: 6.4
	2 stage, Stage I: 6.1 2 stage, Stage II: 6.1	2 stage, Stage I: 6.5 2 stage, Stage II: 6.5	2 stage, Stage I: 7.3 2 stage, Stage II: 6.7

Notes: NA = not available.
^a Narrow U-turns have a median nose width <21 ft; wide U-turns have a median nose width ≥21 ft.
^b Use caution; values estimated.

Gibson Blvd. is a four lane divided roadway with a 36 feet wide raised median. The appropriate Base Critical Headway for Gibson Blvd. is 6.5 seconds for a staged left turn from the minor street (both stages). Therefore the gap analysis calculated the number and duration of gaps between eastbound vehicles and between westbound vehicles for a two-hour period (7:00 to 9:00 am and 4:00 to 6:00 pm). The results of the gap analysis are summarized in the following table:

Gap Analysis – Number of 6.5 Second Equivalent Gaps		
Gap Analysis Summary	Eastbound (Gibson Blvd.)	Westbound (Gibson Blvd.)
AM Peak (7:00 to 9:00 AM)	546 Gaps in Two Hours	574 Gaps in Two Hours
PM Peak (4:00 to 6:00 PM)	1,107 Gaps in Two Hours	1,108 Gaps in Two Hours

The projected volume of southbound left turn movements from Driveway “A” are 25 vehicles per hour during the AM Peak Hour and 16 vehicles per hour during the PM Peak Hour. Therefore, this analysis demonstrates that there are sufficient gaps in

Matthew Grush, P.E.

Monday, October 18, 2021

Re: Solare Subdivision (Gibson Blvd. East of 98th St.)

eastbound and westbound traffic on Gibson Blvd. during the 2024 AM Peak Hour and 2024 PM Peak Hour to allow for traffic to turn from Driveway "A" onto Gibson Blvd.

To further justify the full access Driveway "A" onto Gibson Blvd., an unsignalized TWSC analysis was performed to indicate the levels-of-service and delays associated with the 2024 AM and PM Peak Hour projected volumes. The results are shown in the following table:

Condition	EB Left Turn	SB Left / Right Turn
2024 AM Peak Hour	A - 7.9	B - 14.0
2024 PM Peak Hour	A - 8.8	C - 15.3

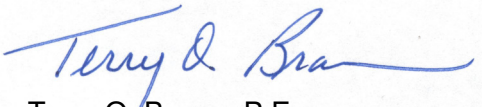
The unsignalized intersection analyses summarized in the preceding table support the findings of the gap analysis in that it can be concluded that Driveway "A" will operate at acceptable levels-of-service with acceptable calculated delays.

Attached are the following supporting documents:

- Vicinity Map
- Subdivision Plan
- Trip Generation Table / Worksheet
- Trip Distribution Map (Mid-Region Council of Governments Subareas)
- Trip Distribution Worksheet
- TAQA Volumes Summary Table
- Historic Traffic Flow Graph / Growth Rate
- Turning Movements Volumes Worksheet
- HCM6 TWSC Analysis Reports (AM and PM)
- Gap Table (Time Stamp Table)

Please call me if you have questions.

Best Regards,

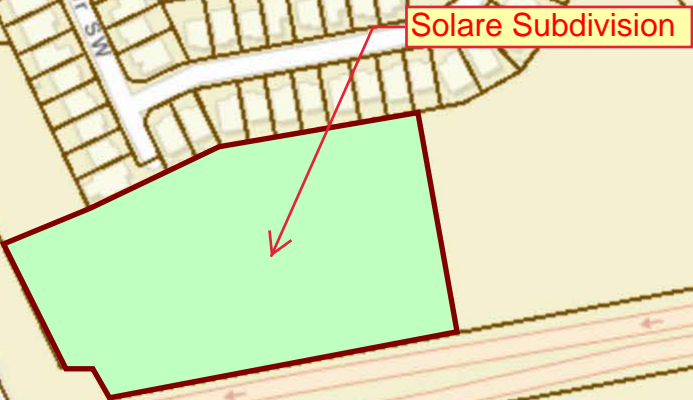


Terry O. Brown, P.E.

attachments as noted

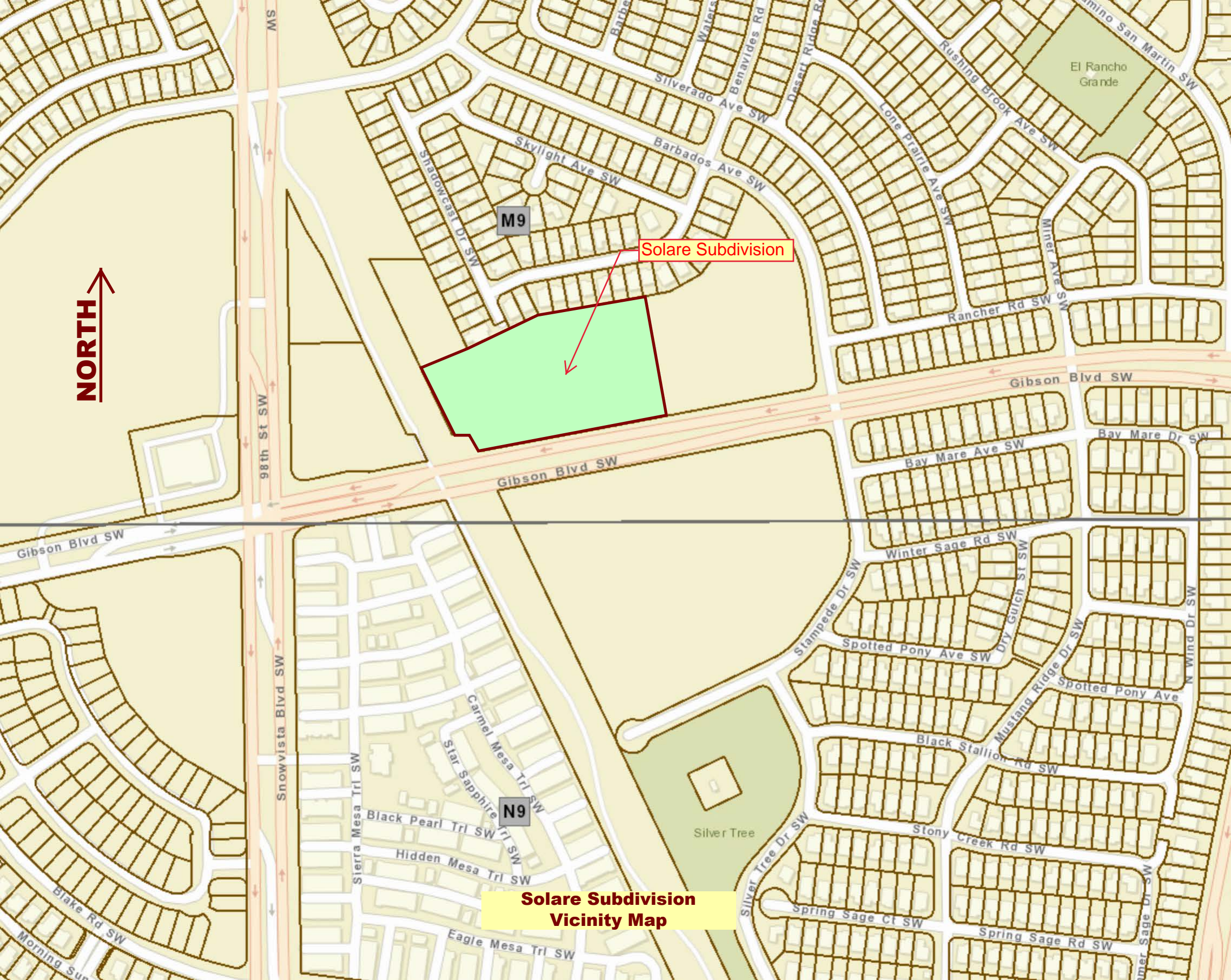
cc: Jaime Jaramillo, Homewise w/attachments

NORTH ↑

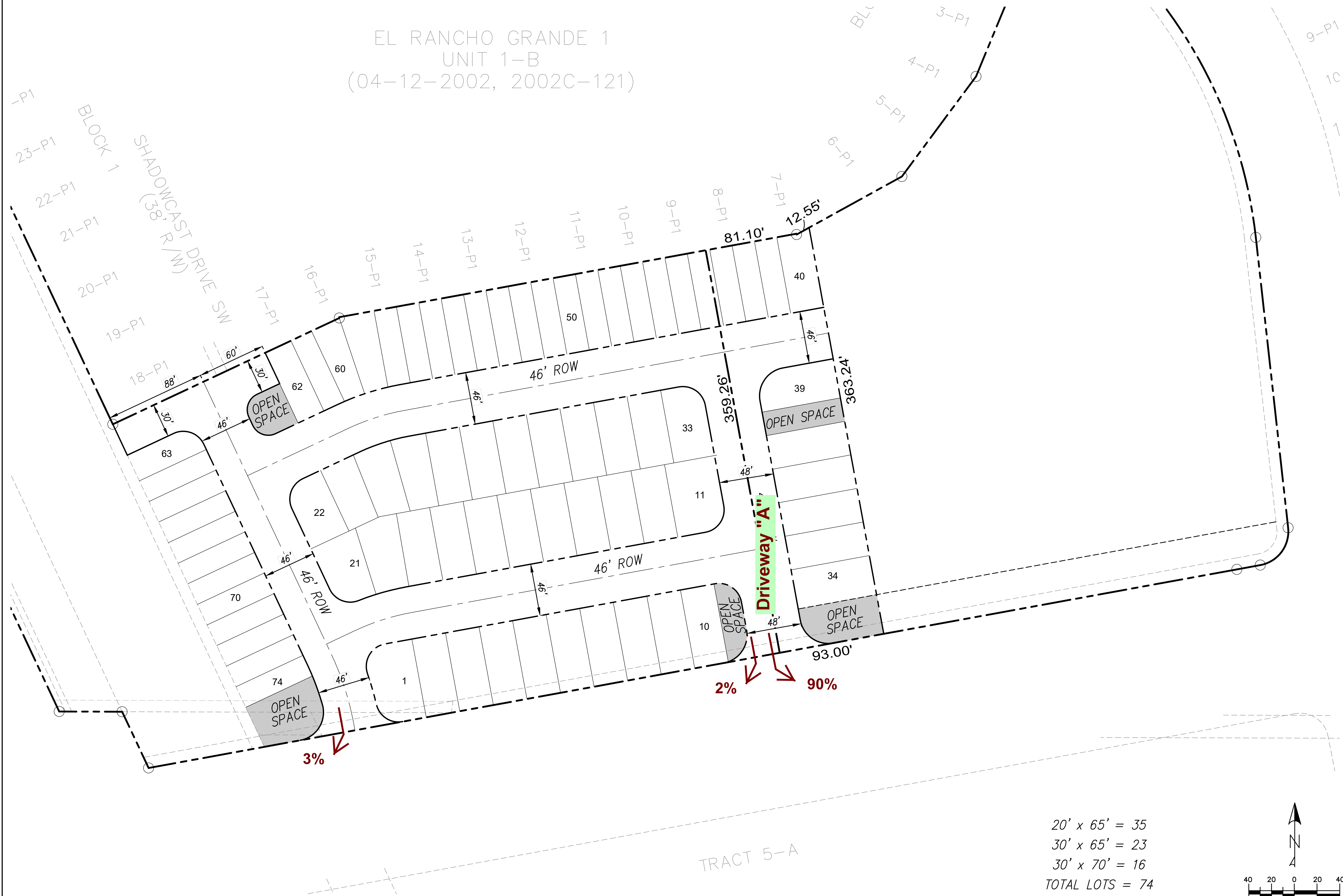


Solare Subdivision

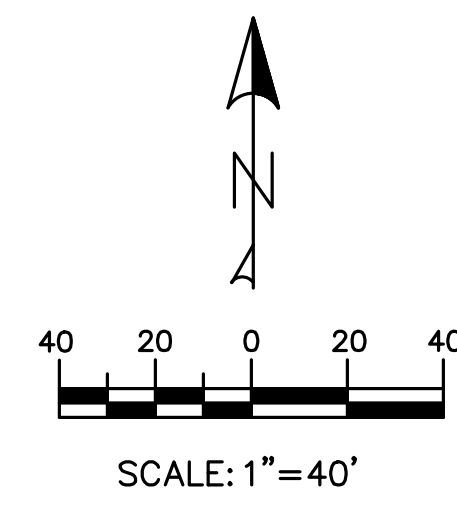
**Solare Subdivision
Vicinity Map**



EL RANCHO GRANDE 1
 UNIT 1-B
 (04-12-2002, 2002C-121)



20' x 65' = 35
 30' x 65' = 23
 30' x 70' = 16
 TOTAL LOTS = 74



Thompson Engineering Consultants, Inc.
 P.O. BOX 65760 ALBUQUERQUE, NM 87193
 PHONE: (505) 271-2199 FAX: (505) 830-9246
 tscnm@yahoo.com

NO.	REVISION	BY	DATE

PROJECT:	DRAWN BY: DEM
DATE:	CHECKED BY:
HORIZ. SCALE:	APPROVED BY:
VERT. SCALE:	FILE:

SOLARE TOWNHOMES

SITE LAYOUT OPTION 6

CITY/COUNTY REVIEW		DATE
DEPARTMENT	SIGN-OFF	
WASTEWATER MGMT. DIV.		
WATER SERVICES		
SUBDIVISION ENG.		
STREETS		
TRAFFIC		

FOR CITY/COUNTY USE ONLY

Solare Subdivision (Gibson Blvd. East of 98th St.) Trip Generation Data (ITE Trip Generation Manual - 10th Edition)

USE (ITE CODE)	24 HOUR TWO-WAY VOLUME	A. M. PEAK HOUR		P. M. PEAK HOUR		
		GROSS	ENTER	EXIT	ENTER	EXIT
Multifamily Housing (Low-Rise)	75	526	8	28	30	18

Units

Dwelling Units

ITE Trip Generation Equations:

Average Vehicle Trip Ends on a Weekday (24 HOUR TWO-WAY VOLUME)

$$T = 7.56 (X) + -40.86$$

50% Enter, 50% Exit

Average Vehicle Trip Ends on a Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 7am and 9am (A.M. PEAK HOUR)

$$\ln(T) = 0.95 \ln(X) + -0.51$$

23% Enter, 77% Exit

Average Vehicle Trip Ends on a Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 4pm and 6pm (P.M. PEAK HOUR)

$$\ln(T) = 0.89 \ln(X) + 0.02$$

63% Enter, 37% Exit

Comments:

Townhouses

Based on ITE Trip Generation Manual - 10th Edition

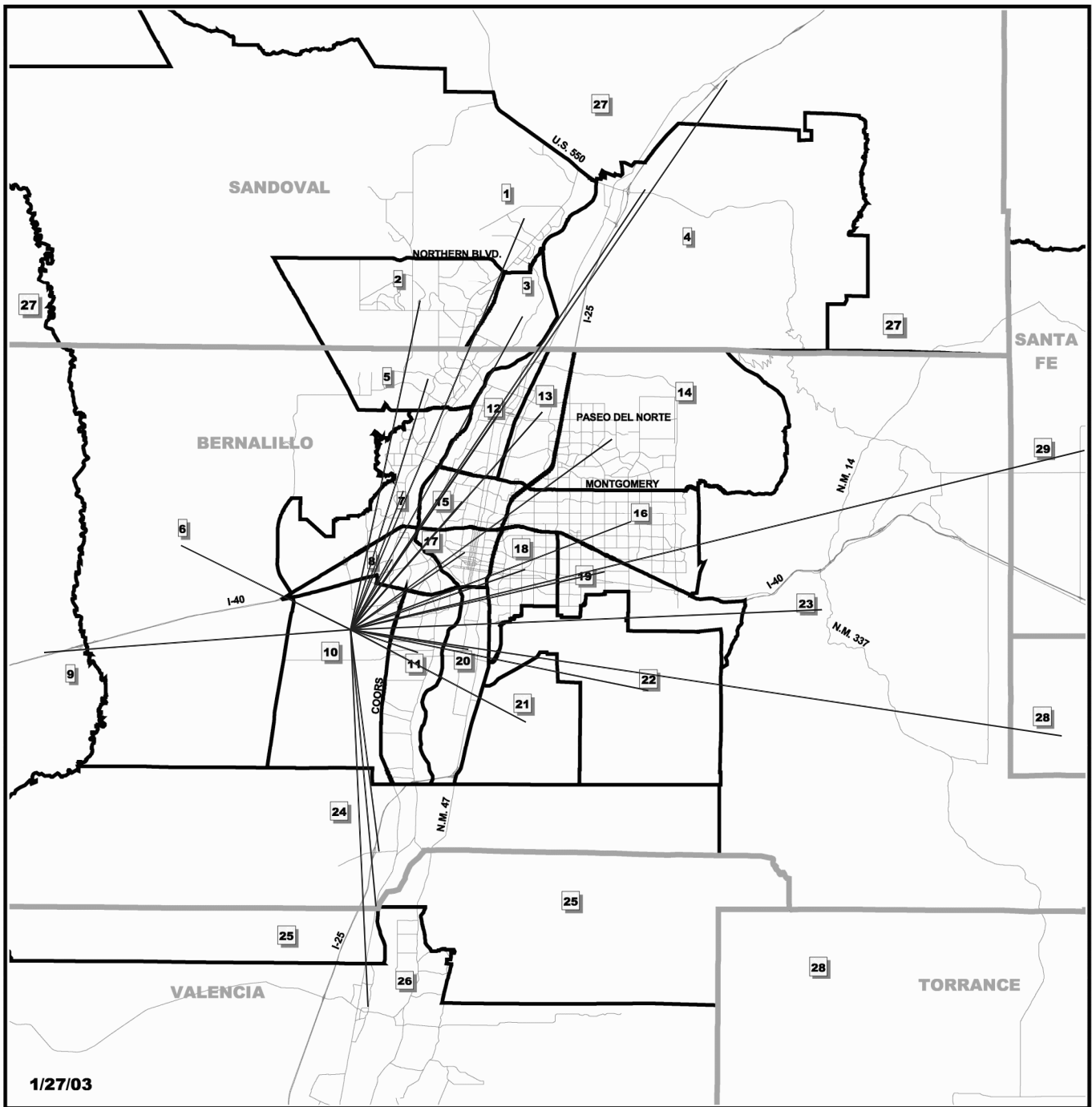


Figure 6

22 Subarea Identification Number

Subareas of the MRCOG Region



**Mid-Region
Council of Governments**
317 Commercial NE, Suite 104
Albuquerque, NM 87102
505-247-1750

Subarea boundaries extend to county boundary where full extent of subarea not shown except for Subarea 29 which only includes southern Santa Fe County.

**Solare Subdivision
(Gibson Blvd. East of 98th St.)
Trip Distribution Subarea Map**

Trip Distribution Table

Solare Subdivision (Gibson Blvd. East of 98th St.)

Sub Area Employment Data:

For determination of Trip Distribution for Proposed **Residential Development Trips**

2015 and 2025 Data Taken from Mid-Region Council of Governments' 2031 Socioeconomic Forecasts by Data Analysis Subzones for the Mid-Region of New Mexico

Sub Area I.D.#	% Sub Area in Study	Employment		Interpolated Employment for the Year 2025	Employment in Study	Dist. (Mi.)	Employment / Distance	% Employment / Distance	(GE) Gibson Blvd. East			(GW) Gibson Blvd. West		
		2012	2040						% Utilizing	% Employment / Dist. Utilizing	Employment	% Utilizing	% Employment / Dist. Utilizing	Employment
1	100%	6,537	25,963	15,556	15,556	19	819	1.46%	100%	1.46%	819	0%	0.00%	0
2	100%	17,489	33,517	24,931	24,931	14.3	1,743	3.10%	100%	3.10%	1,743	0%	0.00%	0
3	100%	1,518	2,100	1,788	1,788	15.2	118	0.21%	100%	0.21%	118	0%	0.00%	0
4	100%	3,550	6,305	4,829	4,829	22.5	215	0.38%	100%	0.38%	215	0%	0.00%	0
5	100%	12,899	22,103	17,172	17,172	11.2	1,533	2.73%	100%	2.73%	1,533	0%	0.00%	0
6	100%	1,888	3,935	2,838	2,838	8.1	350	0.62%	0%	0.00%	0	100%	0.62%	350
7	100%	8,784	16,098	12,180	12,180	6.3	1,933	3.44%	100%	3.44%	1,933	0%	0.00%	0
8	100%	9,396	15,659	12,304	12,304	3.5	3,515	6.26%	50%	3.13%	1,758	50%	3.13%	1,758
9	100%	1,002	1,815	1,379	1,379	13.1	105	0.19%	0%	0.00%	0	100%	0.19%	105
10*	100%	3,954	7,907	5,789	5,789	1	5,789	10.30%	50%	5.15%	2,895	50%	5.15%	2,895
11	100%	5,772	7,560	6,602	6,602	3	2,201	3.92%	100%	3.92%	2,201	0%	0.00%	0
12	100%	7,107	9,021	7,996	7,996	11	727	1.29%	100%	1.29%	727	0%	0.00%	0
13	100%	31,747	47,896	39,245	39,245	12.3	3,191	5.68%	100%	5.68%	3,191	0%	0.00%	0
14	100%	36,255	47,165	41,320	41,320	13.8	2,994	5.33%	100%	5.33%	2,994	0%	0.00%	0
15	100%	15,719	25,356	20,193	20,193	7.2	2,805	4.99%	100%	4.99%	2,805	0%	0.00%	0
16	100%	55,543	67,295	60,999	60,999	12.8	4,766	8.48%	100%	8.48%	4,766	0%	0.00%	0
17	100%	37,312	52,468	44,349	44,349	5.9	7,517	13.38%	100%	13.38%	7,517	0%	0.00%	0
18	100%	49,455	58,200	53,515	53,515	7.9	6,774	12.06%	100%	12.06%	6,774	0%	0.00%	0
19	100%	25,348	33,772	29,259	29,259	11.1	2,636	4.69%	100%	4.69%	2,636	0%	0.00%	0
20	100%	5,536	13,277	9,130	9,130	5.1	1,790	3.19%	100%	3.19%	1,790	0%	0.00%	0
21	100%	412	10,347	5,025	5,025	8.4	598	1.06%	100%	1.06%	598	0%	0.00%	0
22	100%	26,765	26,990	26,869	26,869	12.9	2,083	3.71%	100%	3.71%	2,083	0%	0.00%	0
23	100%	2,514	3,393	2,922	2,922	20.1	145	0.26%	100%	0.26%	145	0%	0.00%	0
24	100%	1,196	1,765	1,460	1,460	9.5	154	0.27%	50%	0.14%	77	50%	0.14%	77
25	100%	77	137	105	105	11.8	9	0.02%	50%	0.01%	4	50%	0.01%	4
26	100%	15,527	25,035	19,941	19,941	16.1	1,239	2.20%	50%	1.10%	619	50%	1.10%	619
27	100%	5,361	7,954	6,565	6,565	28.3	232	0.41%	100%	0.41%	232	0%	0.00%	0
28	100%	4,139	4,864	4,476	4,476	30.6	146	0.26%	100%	0.26%	146	0%	0.00%	0
29	100%	1,563	2,486	1,992	1,992	32.1	62	0.11%	100%	0.11%	62	0%	0.00%	0
		394,365	580,383	480,731	480,731		56,189	100.00%		89.66%	50,380		10.34%	5,809
										89.66%			10.34%	

* - Subarea in which the site it located.

Peak Hour Times / Volumes

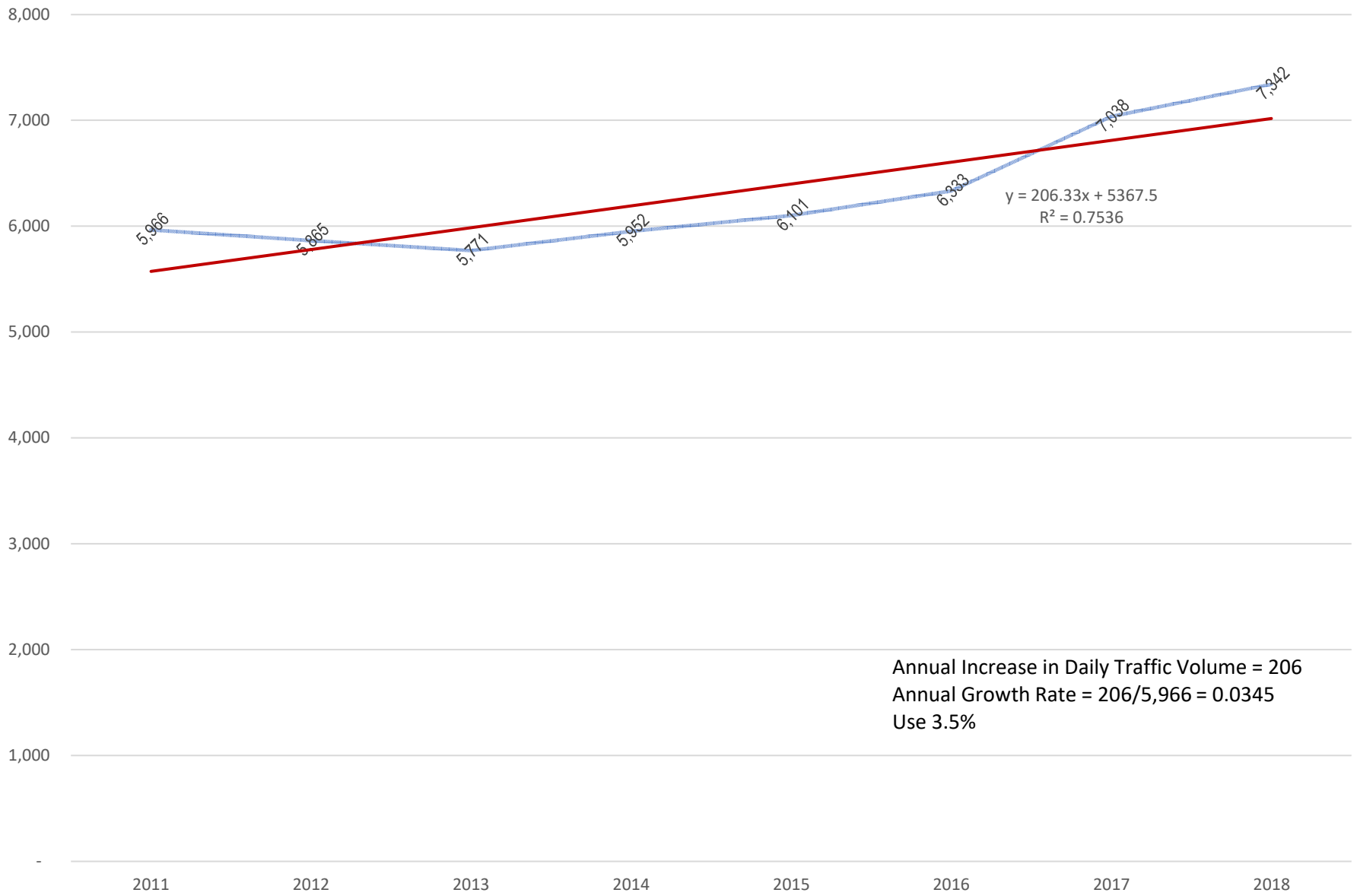
Project: **Murphy Express Eubank&Central**

Intersection: **Gibon Blv d.**
Driveway "A"

V O L U M E S														
AM Peak Hour											PM Peak Hour			

COGID	Roadway	Location	Date	AADT	Time	NB Vol	SB Vol	EB Vol	WB Vol	Time	NB Vol	SB Vol	EB Vol	WB Vol	
25039	West Leg (EB)	GIBSON WEST	WEST OF UNSER BLVD.	2017	7157	645	0	0	466	156	1700	0	0	222	448

Historic Traffic Flow Graph Intersection #1: Gibson Blvd. at Driveway "A"



Solare Subdivision (Gibson Blvd. E. of 98th St.)
 Projected Turning Movements Worksheet
Gibson Blvd. / Driveway "A"

INTERSECTION : E-W Street: **Gibson Blvd.** (1)
 N-S Street: **Driveway "A"**
 Year of Existing Counts: 2017
 Horizon Year: **2024**
 Growth Rates: 3.50% 3.50% 3.50% 3.50%

	3.50%			3.50%			3.50%			3.50%		
	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right
Existing Volumes	0	466	0	0	222	0	0	0	0	0	0	0
Background Traffic Growth	0	114	0	0	54	0	0	0	0	0	0	0
Subtotal (NO BUILD - A.M.)	0	580	0	0	276	0	0	0	0	0	0	0
Percent Residential Trips Generated(Entering)	2.00%	0.00%	0.00%	0.00%	0.00%	90.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%
Percent Residential Trips Generated(Exiting)	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	90.00%	0.00%	2.00%
Total Trips Generated	0	0	0	0	0	7	0	0	0	25	0	1
Total AM Peak Hour BUILD Volumes	0	580	0	0	276	7	0	0	0	25	0	1

	3.50%			3.50%			3.50%			3.50%		
	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right
Existing Volumes	0	156	0	0	448	0	0	0	0	0	0	0
Background Traffic Growth	0	38	0	0	110	0	0	0	0	0	0	0
Subtotal (NO BUILD - P.M.)	0	194	0	0	558	0	0	0	0	0	0	0
Percent Residential Trips Generated(Entering)	2.00%	0.00%	0.00%	0.00%	0.00%	90.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%
Percent Residential Trips Generated(Exiting)	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	90.00%	0.00%	2.00%
Total Trips Generated	1	0	0	0	0	27	0	0	0	16	0	0
Total PM Peak Hour BUILD Volumes	1	194	0	0	558	27	0	0	0	16	0	0

Number of Residential Trips Generated: Entering 8, Exiting 28 A.M. 100% Residential Development
 Entering 30, Exiting 18 P.M.

Intersection						
Int Delay, s/veh	0.7					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations	↘	↑↑	↑↑		↘	
Traffic Vol, veh/h	1	580	276	14	40	1
Future Vol, veh/h	1	580	276	14	40	1
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	1	630	300	15	43	1

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	315	0	-	0	625 158
Stage 1	-	-	-	-	308 -
Stage 2	-	-	-	-	317 -
Critical Hdwy	4.14	-	-	-	6.84 6.94
Critical Hdwy Stg 1	-	-	-	-	5.84 -
Critical Hdwy Stg 2	-	-	-	-	5.84 -
Follow-up Hdwy	2.22	-	-	-	3.52 3.32
Pot Cap-1 Maneuver	1242	-	-	-	417 859
Stage 1	-	-	-	-	719 -
Stage 2	-	-	-	-	711 -
Platoon blocked, %		-	-	-	
Mov Cap-1 Maneuver	1242	-	-	-	417 859
Mov Cap-2 Maneuver	-	-	-	-	417 -
Stage 1	-	-	-	-	718 -
Stage 2	-	-	-	-	711 -

Approach	EB	WB	SB
HCM Control Delay, s	0	0	14.5
HCM LOS			B

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1242	-	-	-	422
HCM Lane V/C Ratio	0.001	-	-	-	0.106
HCM Control Delay (s)	7.9	-	-	-	14.5
HCM Lane LOS	A	-	-	-	B
HCM 95th %tile Q(veh)	0	-	-	-	0.4

Intersection						
Int Delay, s/veh	0.5					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations	↘	↑↑	↑↑		↘	
Traffic Vol, veh/h	1	194	558	44	26	1
Future Vol, veh/h	1	194	558	44	26	1
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	1	211	607	48	28	1

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	655	0	-	0	739 328
Stage 1	-	-	-	-	631 -
Stage 2	-	-	-	-	108 -
Critical Hdwy	4.14	-	-	-	6.84 6.94
Critical Hdwy Stg 1	-	-	-	-	5.84 -
Critical Hdwy Stg 2	-	-	-	-	5.84 -
Follow-up Hdwy	2.22	-	-	-	3.52 3.32
Pot Cap-1 Maneuver	928	-	-	-	353 668
Stage 1	-	-	-	-	492 -
Stage 2	-	-	-	-	904 -
Platoon blocked, %		-	-	-	
Mov Cap-1 Maneuver	928	-	-	-	353 668
Mov Cap-2 Maneuver	-	-	-	-	353 -
Stage 1	-	-	-	-	492 -
Stage 2	-	-	-	-	904 -

Approach	EB	WB	SB
HCM Control Delay, s	0	0	15.9
HCM LOS			C

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	928	-	-	-	359
HCM Lane V/C Ratio	0.001	-	-	-	0.082
HCM Control Delay (s)	8.9	-	-	-	15.9
HCM Lane LOS	A	-	-	-	C
HCM 95th %tile Q(veh)	0	-	-	-	0.3

Solare Townhouses

Gap Analysis (AM Peak Hour)

	(Full Gap)	No. Equivalent 6.5 Second Gaps		(Full Gap)	No. Equivalent 6.5 Second Gaps
Eastbound	EB		Westbound	WB	
1.186	67.05	10	25.084	45.524	7
68.236	8.268	1	70.608	15.412	2
76.504	32.23	5	86.02	38.66	6
108.734	28.208	4	124.68	8.924	1
136.942	8.08	1	133.604	25.864	4
145.022	4.68	1	159.468	33.324	5
149.702	5.772	1	192.792	19.75	3
155.474	9.548	1	212.542	12.698	2
165.022	18.254	3	225.24	35.758	6
183.276	52.604	8	260.998	24.492	4
235.88	35.912	6	285.49	24.4	4
271.792	6.022	1	309.89	17.254	3
277.814	32.856	5	327.144	19.282	3
310.67	46.426	7	346.426	0.904	0
357.096	91.576	14	347.33	39.814	6
448.672	27.082	4	387.144	116.974	18
475.754	1.748	0	504.118	0.624	0
477.502	13.45	2	504.742	3.588	1
490.952	16.878	3	508.33	45.522	7
507.83	8.486	1	553.852	73.572	11
516.316	58.908	9	627.424	16.006	2
575.224	34.198	5	643.43	67.426	10
609.422	28.362	4	710.856	0.686	0
637.784	5.522	1	711.542	13.262	2
643.306	17.692	3	724.804	9.33	1
660.998	49.172	8	734.134	50.046	8
710.17	19.408	3	784.18	28.206	4
729.578	6.49	1	812.386	37.598	6
736.068	1.684	0	849.984	7.082	1
737.752	0.376	0	857.066	0.718	0
738.128	3.338	1	857.784	23.026	4
741.466	16.63	3	880.81	54.696	8
758.096	22.248	3	935.506	34.166	5
780.344	3.12	0	969.672	2.34	0
783.464	29.046	4	972.012	4.43	1
812.51	4.118	1	976.442	8.362	1
816.628	9.112	1	984.804	14.29	2
825.74	26.148	4	999.094	7.644	1
851.888	12.636	2	1006.738	40.686	6
864.524	0.81	0	1047.424	5.586	1
865.334	23.838	4	1053.01	11.73	2
889.172	1.622	0	1064.74	76.008	12
890.794	1.186	0	1140.748	3.276	1
891.98	2.62	0	1144.024	30.64	5
894.6	0.812	0	1174.664	4.492	1

Solare Townhouses

Gap Analysis (AM Peak Hour)

		No. Equivalent 6.5 Second Gaps			No. Equivalent 6.5 Second Gaps
	(Full Gap)			(Full Gap)	
Eastbound	EB		Westbound	WB	
895.412	2.246	0	1179.156	15.132	2
897.658	13.044	2	1194.288	7.178	1
910.702	2.776	0	1201.466	5.274	1
913.478	8.986	1	1206.74	32.292	5
922.464	17.128	3	1239.032	5.396	1
939.592	7.894	1	1244.428	38.722	6
947.486	17.6	3	1283.15	3.776	1
965.086	12.074	2	1286.926	17.722	3
977.16	27.706	4	1304.648	0.56	0
1004.866	4.836	1	1305.208	2.934	0
1009.702	12.638	2	1308.142	12.7	2
1022.34	14.414	2	1320.842	1.062	0
1036.754	30.608	5	1321.904	9.546	1
1067.362	57.504	9	1331.45	7.302	1
1124.866	6.77	1	1338.752	9.796	2
1131.636	11.608	2	1348.548	14.446	2
1143.244	3.964	1	1362.994	21.156	3
1147.208	3.836	1	1384.15	11.638	2
1151.044	6.678	1	1395.788	11.606	2
1157.722	4.242	1	1407.394	33.948	5
1161.964	8.924	1	1441.342	37.596	6
1170.888	3.088	0	1478.938	41.092	6
1173.976	1.654	0	1520.03	45.96	7
1175.63	4.868	1	1565.99	6.302	1
1180.498	1.84	0	1572.292	12.324	2
1182.338	6.646	1	1584.616	5.866	1
1188.984	1.778	0	1590.482	3.402	1
1190.762	6.022	1	1593.884	4.024	1
1196.784	6.524	1	1597.908	3.182	0
1203.308	15.786	2	1601.09	7.614	1
1219.094	10.172	2	1608.704	6.302	1
1229.266	2.994	0	1615.006	26.116	4
1232.26	5.43	1	1641.122	14.696	2
1237.69	0.748	0	1655.818	35.694	5
1238.438	3.402	1	1691.512	23.712	4
1241.84	9.858	2	1715.224	54.384	8
1251.698	0.438	0	1769.608	0.5	0
1252.136	2.464	0	1770.108	7.768	1
1254.6	8.614	1	1777.876	5.616	1
1263.214	8.766	1	1783.492	36.882	6
1271.98	15.258	2	1820.374	26.77	4
1287.238	28.516	4	1847.144	1.31	0
1315.754	2.122	0	1848.454	26.272	4
1317.876	3.434	1	1874.726	1.778	0
1321.31	14.602	2	1876.504	3.34	1

Solare Townhouses

Gap Analysis (AM Peak Hour)

	(Full Gap)	No. Equivalent 6.5 Second Gaps		(Full Gap)	No. Equivalent 6.5 Second Gaps
Eastbound	EB		Westbound	WB	
1335.912	8.486	1	1879.844	8.672	1
1344.398	20.874	3	1888.516	42.186	6
1365.272	1.622	0	1930.702	7.518	1
1366.894	12.948	2	1938.22	5.866	1
1379.842	4.182	1	1944.086	21.59	3
1384.024	6.552	1	1965.676	12.574	2
1390.576	11.014	2	1978.25	10.362	2
1401.59	12.48	2	1988.612	6.644	1
1414.07	7.364	1	1995.256	1.436	0
1421.434	32.668	5	1996.692	10.952	2
1454.102	43.556	7	2007.644	5.616	1
1497.658	4.65	1	2013.26	12.728	2
1502.308	6.928	1	2025.988	12.792	2
1509.236	9.11	1	2038.78	13.762	2
1518.346	2.682	0	2052.542	71.108	11
1521.028	6.428	1	2123.65	12.978	2
1527.456	8.456	1	2136.628	2.34	0
1535.912	3.244	0	2138.968	31.452	5
1539.156	16.036	2	2170.42	24.992	4
1555.192	6.556	1	2195.412	19.344	3
1561.748	16.536	3	2214.756	7.708	1
1578.284	3.212	0	2222.464	17.036	3
1581.496	7.208	1	2239.5	17.16	3
1588.704	4.492	1	2256.66	80.936	12
1593.196	11.982	2	2337.596	42.434	7
1605.178	9.64	1	2380.03	10.576	2
1614.818	3.994	1	2390.606	10.736	2
1618.812	10.766	2	2401.342	79.468	12
1629.578	0.842	0	2480.81	9.516	1
1630.42	7.084	1	2490.326	2.496	0
1637.504	41.558	6	2492.822	55.758	9
1679.062	40.188	6	2548.58	12.884	2
1719.25	0.718	0	2561.464	23.404	4
1719.968	6.052	1	2584.868	9.796	2
1726.02	18.098	3	2594.664	4.618	1
1744.118	4.898	1	2599.282	15.006	2
1749.016	6.396	1	2614.288	1.468	0
1755.412	13.604	2	2615.756	20.248	3
1769.016	6.052	1	2636.004	17.1	3
1775.068	6.054	1	2653.104	21.092	3
1781.122	17.722	3	2674.196	30.858	5
1798.844	17.942	3	2705.054	8.206	1
1816.786	1.122	0	2713.26	10.296	2
1817.908	46.834	7	2723.556	34.664	5
1864.742	40.342	6	2758.22	12.98	2

Solare Townhouses

Gap Analysis (AM Peak Hour)

	(Full Gap)	No. Equivalent 6.5 Second Gaps		(Full Gap)	No. Equivalent 6.5 Second Gaps
Eastbound	EB		Westbound	WB	
1905.084	2.528	0	2771.2	12.044	2
1907.612	1.496	0	2783.244	76.568	12
1909.108	37.568	6	2859.812	16.004	2
1946.676	5.428	1	2875.816	20.064	3
1952.104	1.124	0	2895.88	29.516	5
1953.228	44.212	7	2925.396	45.742	7
1997.44	7.24	1	2971.138	3.774	1
2004.68	1.684	0	2974.912	40.47	6
2006.364	3.4	1	3015.382	8.61	1
2009.764	8.176	1	3023.992	16.942	3
2017.94	34.728	5	3040.934	14.102	2
2052.668	1.872	0	3055.036	42.186	6
2054.54	0.53	0	3097.222	11.638	2
2055.07	13.572	2	3108.86	12.732	2
2068.642	18.408	3	3121.592	29.358	5
2087.05	24.088	4	3150.95	1.998	0
2111.138	11.232	2	3152.948	5.054	1
2122.37	4.712	1	3158.002	5.086	1
2127.082	8.58	1	3163.088	105.116	16
2135.662	0.53	0	3268.204	62.184	10
2136.192	1.904	0	3330.388	5.148	1
2138.096	4.398	1	3335.536	1.498	0
2142.494	11.202	2	3337.034	6.146	1
2153.696	35.196	5	3343.18	8.424	1
2188.892	16.754	3	3351.604	7.52	1
2205.646	3.494	1	3359.124	11.578	2
2209.14	4.774	1	3370.702	12.792	2
2213.914	79.158	12	3383.494	104.306	16
2293.072	12.948	2	3487.8	104.306	16
2306.02	2.964	0	3541.748	53.948	8
2308.984	9.174	1	3564.18	22.432	3
2318.158	30.922	5	3569.64	5.46	1
2349.08	20.84	3	3573.946	4.306	1
2369.92	5.43	1	3576.66	2.714	0
2375.35	19.998	3	3595.568	18.908	3
2395.348	17.288	3	3651.2	55.632	9
2412.636	1.716	0			
2414.352	1.56	0			
2415.912	21.248	3			
2437.16	11.948	2			
2449.108	0.75	0			
2449.858	19.72	3			
2469.578	26.302	4			
2495.88	0.904	0			
2496.784	24.652	4			

Solare Townhouses

Gap Analysis (AM Peak Hour)

	(Full Gap)	No. Equivalent 6.5 Second Gaps		(Full Gap)	No. Equivalent 6.5 Second Gaps
Eastbound	EB		Westbound	WB	
2521.436	3.306	1			
2524.742	14.634	2			
2539.376	0.436	0			
2539.812	8.642	1			
2548.454	19.126	3			
2567.58	0.5	0			
2568.08	13.418	2			
2581.498	2.714	0			
2584.212	9.11	1			
2593.322	5.336	1			
2598.658	28.486	4			
2627.144	34.54	5			
2661.684	1.872	0			
2663.556	3.214	0			
2666.77	12.698	2			
2679.468	21.904	3			
2701.372	4.182	1			
2705.554	46.644	7			
2752.198	43.026	7			
2795.224	0.406	0			
2795.63	25.056	4			
2820.686	11.794	2			
2832.48	10.92	2			
2843.4	4.524	1			
2847.924	8.018	1			
2855.942	2.996	0			
2858.938	6.738	1			
2865.676	41.904	6			
2907.58	11.326	2			
2918.906	46.334	7			
2965.24	1.468	0			
2966.708	3.9	1			
2970.608	3.338	1			
2973.946	31.014	5			
3004.96	25.96	4			
3030.92	12.042	2			
3042.962	7.77	1			
3050.732	48.954	8			
3099.686	6.49	1			
3106.176	14.728	2			
3120.904	77.472	12			
3198.376	25.678	4			
3224.054	11.076	2			
3235.13	27.24	4			
3262.37	11.888	2			

Solare Townhouses
Gap Analysis (AM Peak Hour)

		No. Equivalent 6.5 Second Gaps			No. Equivalent 6.5 Second Gaps
	(Full Gap)			(Full Gap)	
Eastbound	EB		Westbound	WB	
3274.258	38.346	6			
3312.604	3.776	1			
3316.38	15.07	2			
3331.45	8.298	1			
3339.748	10.734	2			
3350.482	9.862	2			
3360.344	23.462	4			
3383.806	22.744	3			
3406.55	122.184	19			
3528.734	14.542	2			
3543.276	52.822	8			
3596.098	0.468	0			
		546			574

Solare Townhouses

Gap Analysis (PM Peak Hour)

	(Full Gap)	No. Equivalent 6.5 Second Gaps		(Full Gap)	No. Equivalent 6.5 Second Gaps
Eastbound	EB		Westbound	WB	
1.216	32.886	5	8.392	7.488	1
34.102	17.97	3	15.88	13.854	2
52.072	14.824	2	29.734	5.49	1
66.896	30.264	5	35.224	51.452	8
97.16	94.572	15	86.676	9.484	1
191.732	8.268	1	96.16	20.25	3
200	15.6	2	116.41	29.454	5
215.6	4.836	1	145.864	0.5	0
220.436	27.988	4	146.364	58.16	9
248.424	12.386	2	204.524	7.05	1
260.81	7.52	1	211.574	15.6	2
268.33	27.612	4	227.174	9.174	1
295.942	48.892	8	236.348	33.542	5
344.834	57.816	9	269.89	19.438	3
402.65	27.302	4	289.328	7.394	1
429.952	6.616	1	296.722	25.804	4
436.568	58.876	9	322.526	15.944	2
495.444	55.258	9	338.47	5.178	1
550.702	105.864	16	343.648	17.944	3
656.566	55.132	8	361.592	19.062	3
711.698	33.606	5	380.654	5.898	1
745.304	5.396	1	386.552	6.864	1
750.7	9.174	1	393.416	34.352	5
759.874	7.456	1	427.768	17.442	3
767.33	27.334	4	445.21	12.074	2
794.664	2.59	0	457.284	4.18	1
797.254	9.64	1	461.464	7.052	1
806.894	3.026	0	468.516	24.65	4
809.92	24.43	4	493.166	39.126	6
834.35	6.618	1	532.292	22.154	3
840.968	29.982	5	554.446	0.562	0
870.95	84.586	13	555.008	32.228	5
955.536	20.158	3	587.236	2.652	0
975.694	79.936	12	589.888	68.706	11
1055.63	13.604	2	658.594	63.652	10
1069.234	16.85	3	722.246	13.416	2
1086.084	35.786	6	735.662	10.358	2
1121.87	8.674	1	746.02	29.392	5
1130.544	1.904	0	775.412	17.348	3
1132.448	25.648	4	792.76	17.848	3
1158.096	44.524	7	810.608	21.902	3
1202.62	43.618	7	832.51	51.326	8
1246.238	8.674	1	883.836	16.57	3
1254.912	14.636	2	900.406	35.1	5
1269.548	0.654	0	935.506	12.51	2

Solare Townhouses

Gap Analysis (PM Peak Hour)

	(Full Gap)	No. Equivalent 6.5 Second Gaps		(Full Gap)	No. Equivalent 6.5 Second Gaps
Eastbound	EB		Westbound	WB	
1270.202	17.036	3	948.016	5.18	1
1287.238	24.804	4	953.196	0.53	0
1312.042	1.778	0	953.726	50.89	8
1313.82	42.372	7	1004.616	8.768	1
1356.192	2.746	0	1013.384	4.242	1
1358.938	22.81	4	1017.626	7.366	1
1381.748	16.66	3	1024.992	0.656	0
1398.408	10.108	2	1025.648	7.924	1
1408.516	21.186	3	1033.572	4.212	1
1429.702	90.796	14	1037.784	29.36	5
1520.498	9.298	1	1067.144	17.536	3
1529.796	16.692	3	1084.68	21.278	3
1546.488	54.228	8	1105.958	41.966	6
1600.716	3.182	0	1147.924	8.768	1
1603.898	18.848	3	1156.692	2.558	0
1622.746	33.82	5	1159.25	1.934	0
1656.566	25.618	4	1161.184	15.07	2
1682.184	3.182	0	1176.254	15.882	2
1685.366	21.03	3	1192.136	6.146	1
1706.396	17.004	3	1198.282	11.296	2
1723.4	60.654	9	1209.578	7.332	1
1784.054	60.75	9	1216.91	21.278	3
1844.804	38.316	6	1238.188	35.79	6
1883.12	11.792	2	1273.978	8.486	1
1894.912	25.9	4	1282.464	13.136	2
1920.812	20.716	3	1295.6	48.392	7
1941.528	11.482	2	1343.992	11.076	2
1953.01	4.93	1	1355.068	0.562	0
1957.94	8.236	1	1355.63	3.65	1
1966.176	31.484	5	1359.28	46.272	7
1997.66	10.856	2	1405.552	3.776	1
2008.516	12.076	2	1409.328	21.56	3
2020.592	16.504	3	1430.888	5.522	1
2037.096	4.808	1	1436.41	27.864	4
2041.904	66.926	10	1464.274	16.348	3
2108.83	6.052	1	1480.622	10.452	2
2114.882	2.278	0	1491.074	51.39	8
2117.16	1.684	0	1542.464	4.71	1
2118.844	30.858	5	1547.174	0.438	0
2149.702	59.064	9	1547.612	10.014	2
2208.766	15.384	2	1557.626	0.78	0
2224.15	25.21	4	1558.406	0.594	0
2249.36	29.202	4	1559	5.804	1
2278.562	29.768	5	1564.804	8.02	1
2308.33	1.06	0	1572.824	12.604	2

Solare Townhouses

Gap Analysis (PM Peak Hour)

	(Full Gap)	No. Equivalent 6.5 Second Gaps		(Full Gap)	No. Equivalent 6.5 Second Gaps
Eastbound	EB		Westbound	WB	
2309.39	14.478	2	1585.428	31.512	5
2323.868	40.094	6	1616.94	19.534	3
2363.962	1.248	0	1636.474	0.592	0
2365.21	26.644	4	1637.066	1.53	0
2391.854	2.778	0	1638.596	2.464	0
2394.632	34.29	5	1641.06	6.864	1
2428.922	35.258	5	1647.924	8.05	1
2464.18	9.112	1	1655.974	5.086	1
2473.292	19.124	3	1661.06	12.542	2
2492.416	14.446	2	1673.602	10.61	2
2506.862	79.128	12	1684.212	10.234	2
2585.99	38.688	6	1694.446	0.53	0
2624.678	15.478	2	1694.976	30.358	5
2640.156	33.664	5	1725.334	4.492	1
2673.82	15.726	2	1729.826	27.49	4
2689.546	21.062	3	1757.316	9.484	1
2710.608	31.7	5	1766.8	12.418	2
2742.308	30.64	5	1779.218	12.542	2
2772.948	20.404	3	1791.76	6.616	1
2793.352	2.34	0	1798.376	15.196	2
2795.692	28.332	4	1813.572	30.856	5
2824.024	57.942	9	1844.428	21.5	3
2881.966	69.234	11	1865.928	10.982	2
2951.2	13.042	2	1876.91	2.434	0
2964.242	23.276	4	1879.344	5.148	1
2987.518	40.438	6	1884.492	1.56	0
3027.956	17.908	3	1886.052	25.584	4
3045.864	7.3	1	1911.636	46.896	7
3053.164	19.504	3	1958.532	11.45	2
3072.668	3.806	1	1969.982	6.552	1
3076.474	2.402	0	1976.534	10.922	2
3078.876	86.926	13	1987.456	7.582	1
3165.802	50.92	8	1995.038	30.39	5
3216.722	15.662	2	2025.428	16.724	3
3232.384	9.52	1	2042.152	3.776	1
3241.904	17.004	3	2045.928	7.52	1
3258.908	28.828	4	2053.448	24.866	4
3287.736	26.272	4	2078.314	39.376	6
3314.008	32.324	5	2117.69	1.778	0
3346.332	26.428	4	2119.468	5.71	1
3372.76	84.93	13	2125.178	8.798	1
3457.69	2.652	0	2133.976	1.186	0
3460.342	53.854	8	2135.162	222.31	34
3514.196	16.098	2	2357.472	4.618	1
3530.294	3.058	0	2362.09	19.624	3

Solare Townhouses

Gap Analysis (PM Peak Hour)

	(Full Gap)	No. Equivalent 6.5 Second Gaps		(Full Gap)	No. Equivalent 6.5 Second Gaps
Eastbound	EB		Westbound	WB	
3533.352	10.08	2	2381.714	68.486	11
3543.432	35.568	5	2450.2	16.072	2
3579	2.558	0	2466.272	2.402	0
3581.558	79.16	12	2468.674	65.802	10
3660.718	1.216	0	2534.476	40.062	6
3661.934	113.072	17	2574.538	1.31	0
3775.006	32.138	5	2575.848	2.776	0
3807.144	24.648	4	2578.624	23.684	4
3831.792	16.164	2	2602.308	24.524	4
3847.956	38.47	6	2626.832	75.852	12
3886.426	34.696	5	2702.684	8.454	1
3921.122	23.9	4	2711.138	3.276	1
3945.022	9.858	2	2714.414	0.468	0
3954.88	92.388	14	2714.882	0.624	0
4047.268	23.932	4	2715.506	15.882	2
4071.2	10.704	2	2731.388	3.962	1
4081.904	23.992	4	2735.35	40.126	6
4105.896	12.262	2	2775.476	20.748	3
4118.158	10.14	2	2796.224	16.16	2
4128.298	4.836	1	2812.384	9.208	1
4133.134	23.714	4	2821.592	25.458	4
4156.848	33.946	5	2847.05	23.306	4
4190.794	67.362	10	2870.356	6.21	1
4258.156	22.654	3	2876.566	26.334	4
4280.81	8.674	1	2902.9	35.476	5
4289.484	4.368	1	2938.376	7.832	1
4293.852	28.676	4	2946.208	20.032	3
4322.528	89.14	14	2966.24	27.642	4
4411.668	16.1	2	2993.882	0.718	0
4427.768	1.06	0	2994.6	3.12	0
4428.828	18.098	3	2997.72	60.156	9
4446.926	1.154	0	3057.876	1.748	0
4448.08	39.936	6	3059.624	22.746	3
4488.016	112.98	17	3082.37	7.738	1
4600.996	32.546	5	3090.108	3.494	1
4633.542	7.394	1	3093.602	61.966	10
4640.936	38.156	6	3155.568	20.842	3
4679.092	10.86	2	3176.41	0.718	0
4689.952	52.606	8	3177.128	6.242	1
4742.558	0.874	0	3183.37	9.266	1
4743.432	18.284	3	3192.636	13.572	2
4761.716	56.412	9	3206.208	0.592	0
4818.128	27.08	4	3206.8	14.478	2
4845.208	28.552	4	3221.278	7.738	1
4873.76	24.71	4	3229.016	9.672	1

Solare Townhouses

Gap Analysis (PM Peak Hour)

	(Full Gap)	No. Equivalent 6.5 Second Gaps		(Full Gap)	No. Equivalent 6.5 Second Gaps
Eastbound	EB		Westbound	WB	
4898.47	6.146	1	3238.688	3.528	1
4904.616	7.644	1	3242.216	7.55	1
4912.26	29.05	4	3249.766	59.188	9
4941.31	6.864	1	3308.954	78.284	12
4948.174	10.888	2	3387.238	57.972	9
4959.062	2.122	0	3445.21	6.084	1
4961.184	1.342	0	3451.294	19.156	3
4962.526	22.31	3	3470.45	31.422	5
4984.836	31.98	5	3501.872	12.198	2
5016.816	12.418	2	3514.07	53.292	8
5029.234	4.15	1	3567.362	34.354	5
5033.384	9.268	1	3601.716	20.312	3
5042.652	31.076	5	3622.028	8.424	1
5073.728	20.966	3	3630.452	12.822	2
5094.694	7.054	1	3643.274	28.394	4
5101.748	4.804	1	3671.668	5.68	1
5106.552	17.846	3	3677.348	13.072	2
5124.398	38.036	6	3690.42	25.334	4
5162.434	5.866	1	3715.754	5.682	1
5168.3	21.87	3	3721.436	20.124	3
5190.17	2.622	0	3741.56	6.52	1
5192.792	8.36	1	3748.08	31.574	5
5201.152	14.976	2	3779.654	2.28	0
5216.128	101.344	16	3781.934	15.226	2
5317.472	36.786	6	3797.16	26.396	4
5354.258	15.288	2	3823.556	7.268	1
5369.546	7.956	1	3830.824	95.82	15
5377.502	19.438	3	3926.644	9.704	1
5396.94	61.06	9	3936.348	8.798	1
5458	9.02	1	3945.146	3.494	1
5467.02	21.216	3	3948.64	1.404	0
5488.236	6.396	1	3950.044	5.368	1
5494.632	22.214	3	3955.412	24.15	4
5516.846	27.834	4	3979.562	4.898	1
5544.68	24.21	4	3984.46	13.978	2
5568.89	55.226	8	3998.438	54.728	8
5624.116	9.766	2	4053.166	6.52	1
5633.882	20.252	3	4059.686	1.686	0
5654.134	34.756	5	4061.372	12.292	2
5688.89	16.538	3	4073.664	43.932	7
5705.428	23.868	4	4117.596	16.006	2
5729.296	32.046	5	4133.602	0.562	0
5761.342	31.388	5	4134.164	9.892	2
5792.73	13.882	2	4144.056	12.574	2
5806.612	11.264	2	4156.63	18.064	3

Solare Townhouses

Gap Analysis (PM Peak Hour)

	(Full Gap)	No. Equivalent 6.5 Second Gaps		(Full Gap)	No. Equivalent 6.5 Second Gaps
Eastbound	EB		Westbound	WB	
5817.876	7.584	1	4174.694	37.536	6
5825.46	1.56	0	4212.23	4.15	1
5827.02	23.806	4	4216.38	50.702	8
5850.826	7.3	1	4267.082	85.242	13
5858.126	43.682	7	4352.324	244.96	38
5901.808	23.276	4	4597.284	28.114	4
5925.084	3.37	1	4625.398	4.71	1
5928.454	11.826	2	4630.108	10.172	2
5940.28	10.204	2	4640.28	20.56	3
5950.484	19.468	3	4660.84	82.904	13
5969.952	6.052	1	4743.744	30.92	5
5976.004	3.932	1	4774.664	0.81	0
5979.936	28.176	4	4775.474	34.416	5
6008.112	21.404	3	4809.89	74.976	12
6029.516	56.818	9	4884.866	19.626	3
6086.334	4.99	1	4904.492	104.898	16
6091.324	7.708	1	5009.39	33.824	5
6099.032	64.616	10	5043.214	53.85	8
6163.648	53.792	8	5097.064	16.478	3
6217.44	106.022	16	5113.542	79.562	12
6323.462	0.812	0	5193.104	7.488	1
6324.274	7.05	1	5200.592	83.964	13
6331.324	52.388	8	5284.556	33.54	5
6383.712	12.574	2	5318.096	86.834	13
6396.286	8.268	1	5404.93	3.12	0
6404.554	19.72	3	5408.05	19.718	3
6424.274	40.716	6	5427.768	129.796	20
6464.99	5.46	1	5557.564	26.118	4
6470.45	24.058	4	5583.682	30.45	5
6494.508	16.568	3	5614.132	30.642	5
6511.076	3.806	1	5644.774	54.942	8
6514.882	18.096	3	5699.716	7.804	1
6532.978	15.134	2	5707.52	79.312	12
6548.112	16.942	3	5786.832	40.406	6
6565.054	20.498	3	5827.238	58.566	9
6585.552	29.674	5	5885.804	33.602	5
6615.226	1.216	0	5919.406	8.86	1
6616.442	77.098	12	5928.266	327.522	50
6693.54	3.338	1	6255.788	15.786	2
6696.878	42.654	7	6271.574	106.398	16
6739.532	41.56	6	6377.972	6.426	1
6781.092	18.096	3	6384.398	133.76	21
6799.188	38.408	6	6518.158	9.298	1
6837.596	6.46	1	6527.456	58.564	9
6844.056	82.152	13	6586.02	33.106	5

Solare Townhouses Gap Analysis (PM Peak Hour)

	(Full Gap)	No. Equivalent 6.5 Second Gaps		(Full Gap)	No. Equivalent 6.5 Second Gaps
Eastbound	EB		Westbound	WB	
6926.208	21.31	3	6619.126	5.054	1
6947.518	5.99	1	6624.18	80.466	12
6953.508	4.336	1	6704.646	11.482	2
6957.844	22.186	3	6716.128	8.988	1
6980.03	19.282	3	6725.116	15.57	2
6999.312	9.048	1	6740.686	59.064	9
7008.36	101.624	16	6799.75	86.364	13
7109.984	5.272	1	6886.114	31.888	5
7115.256	5.772	1	6918.002	4.056	1
7121.028	5.928	1	6922.058	14.228	2
7126.956	72.854	11	6936.286	1.81	0
7199.81	49.486	8	6938.096	18.876	3
7249.296			6956.972	16.038	2
			6973.01	7.614	1
			6980.624	1.684	0
			6982.308	29.608	5
			7011.916	14.48	2
			7026.396	83.462	13
			7109.858	29.546	5
			7139.404	3.06	0
			7142.464	21.28	3
			7163.744	22.994	4
			7186.738	17.786	3
			7204.524	44.398	7
		1,107			1,106

FORM DRWS: DRAINAGE REPORT/GRADING AND DRAINAGE PLAN / WATER & SANITARY SEWER AVAILABILITY

THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR SUBDIVISIONS AND SITE PLANS.

PROJECT NAME: Sombra Del Oeste (PR-2019-002042)

AGIS MAP # M-9-Z

LEGAL DESCRIPTIONS: Tracts 12-B-1-A and 12-B-1-B, El Rancho Grande I

X **DRAINAGE REPORT/GRADING AND DRAINAGE PLAN**

A drainage report/grading and drainage plan, as per the Drainage Ordinance, was submitted to the City of Albuquerque Planning Department, Hydrology Division (2nd /Ground Floor, Plaza del Sol) on February 8, 2022 (date). (David Thompson submitted)

CSI-Cartesian Surveys, Inc. and David B. Thompson 2-8-22
Applicant/Agent Date

Hydrology Division Representative Date

NOTE: A GRADING AND DRAINAGE PLAN MUST BE APPROVED PRIOR TO DRB APPROVAL

X **WATER AND SEWER AVAILABILITY STATEMENT**

A complete request for Water and Sanitary Sewer Availability was made for this project to the Water Authority (online: http://www.abcwua.org/Availability_Statements.aspx) on 11/10/2021 (date). (Availability # 211030) Signed 11/15/2021

CSI-Cartesian Surveys, Inc. and David B. Thompson 2-8-22
Applicant/Agent Date

Edwin Bergeron 2/8/2022
ABCWUA Representative Date

PROJECT # PR-2019-002042

FORM DRWS: DRAINAGE REPORT/GRADING AND DRAINAGE PLAN / WATER & SANITARY SEWER AVAILABILITY

THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR SUBDIVISIONS AND SITE PLANS.

PROJECT NAME: Sombra Del Oeste (PR-2019-002042)

AGIS MAP # M-9-Z

LEGAL DESCRIPTIONS: Tracts 12-B-1-A and 12-B-1-B, El Rancho Grande I

X **DRAINAGE REPORT/GRADING AND DRAINAGE PLAN**

A drainage report/grading and drainage plan, as per the Drainage Ordinance, was submitted to the City of Albuquerque Planning Department, Hydrology Division (2nd /Ground Floor, Plaza del Sol) on February 8, 2022 (date). (David Thompson submitted)

CSI-Cartesian Surveys, Inc. and David B. Thompson 2-8-22
Applicant/Agent Date

Ernest Armijo 2/8/2022
Hydrology Division Representative Date

NOTE: A GRADING AND DRAINAGE PLAN MUST BE APPROVED PRIOR TO DRB APPROVAL

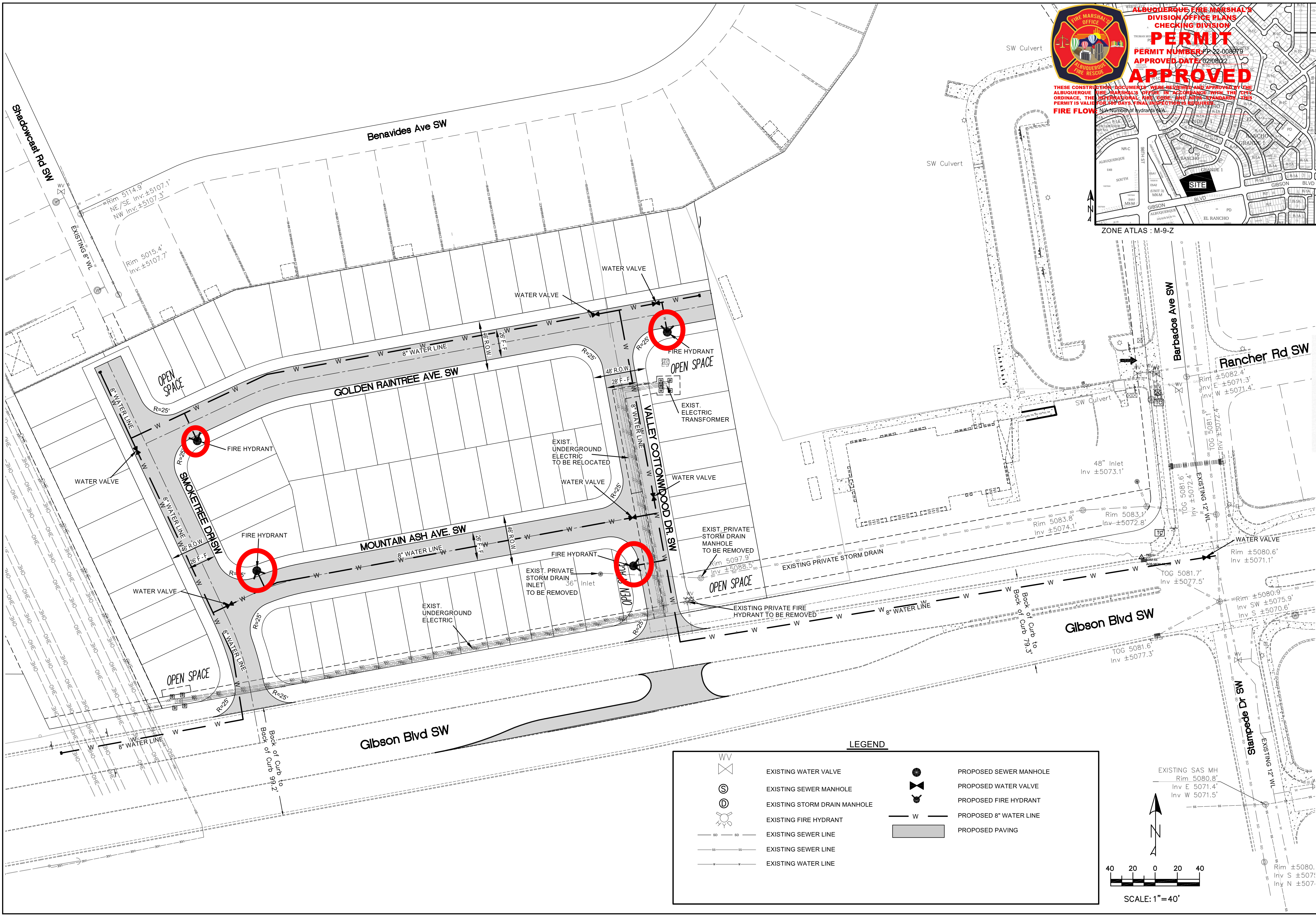
X **WATER AND SEWER AVAILABILITY STATEMENT**

A complete request for Water and Sanitary Sewer Availability was made for this project to the Water Authority (online: http://www.abcwua.org/Availability_Statements.aspx) on 11/15/2021 (date). (Availability # 211030)

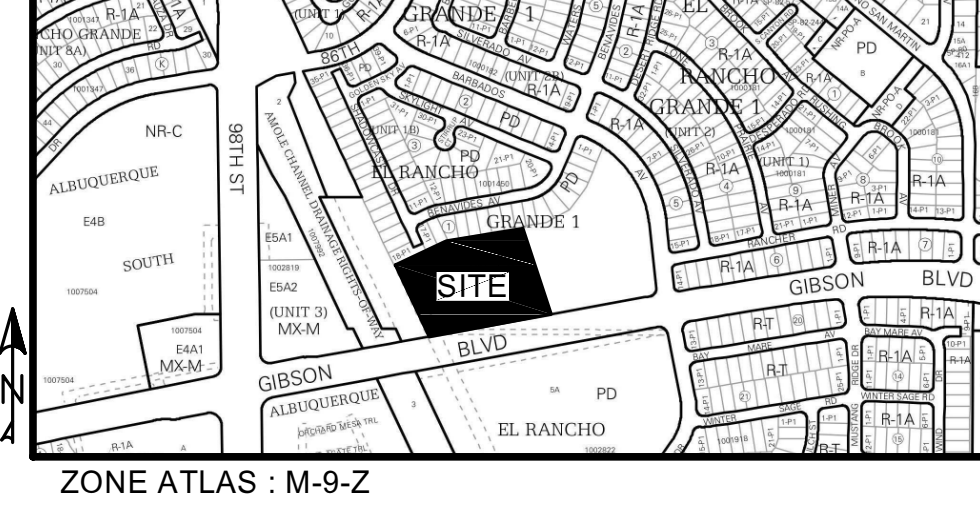
CSI-Cartesian Surveys, Inc. and David B. Thompson 2-8-22
Applicant/Agent Date

ABCWUA Representative Date

PROJECT # PR-2019-002042



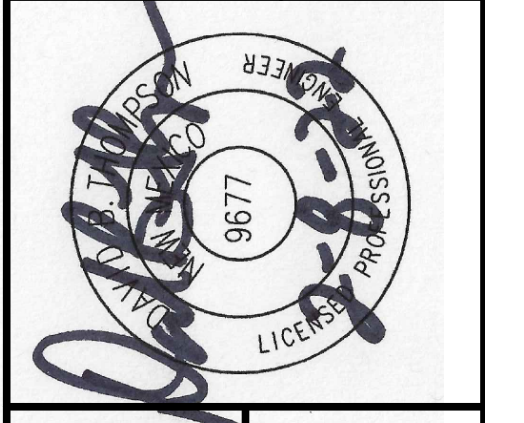
THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE. THE PROFESSIONAL SEAL AND SIGNATURE OF THE ENGINEER PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTIONS REQUIRED.
FIRE FLOW: 1.5 A Number of hydrants: N/A



Tompson Engineering Consultants, Inc.
P.O. BOX 65760
ALBUQUERQUE, NM 87193
PHONE: (505) 271-2199
FAX: (505) 950-9546
tcomm@taho.com

NO.	REVISION	BY	DATE

PROJECT: _____
DRAWN BY: DEM
CHECKED BY: _____
DATE: _____
HORIZ. SCALE: _____
VERT. SCALE: _____



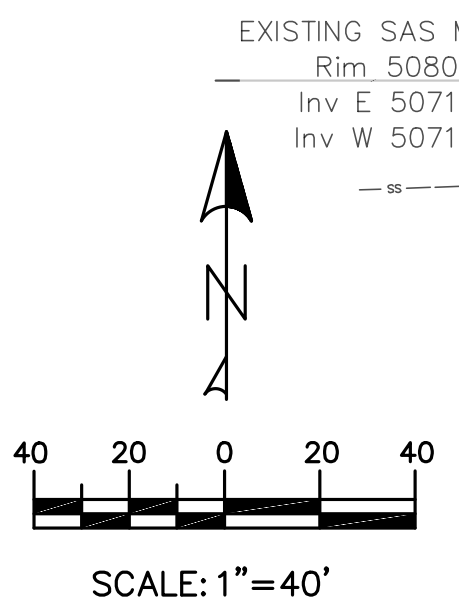
SOMBRA DEL OESTE
FIRE 1 PLAN

CITY/COUNTY REVIEW		DATE
DEPARTMENT	SIGN-OFF	
WASTEWATER MGMT. DIV.		
WATER SERVICES		
SUBDIVISION ENG.		
STREETS		
TRAFFIC		

SHEET No. **1 of 1**

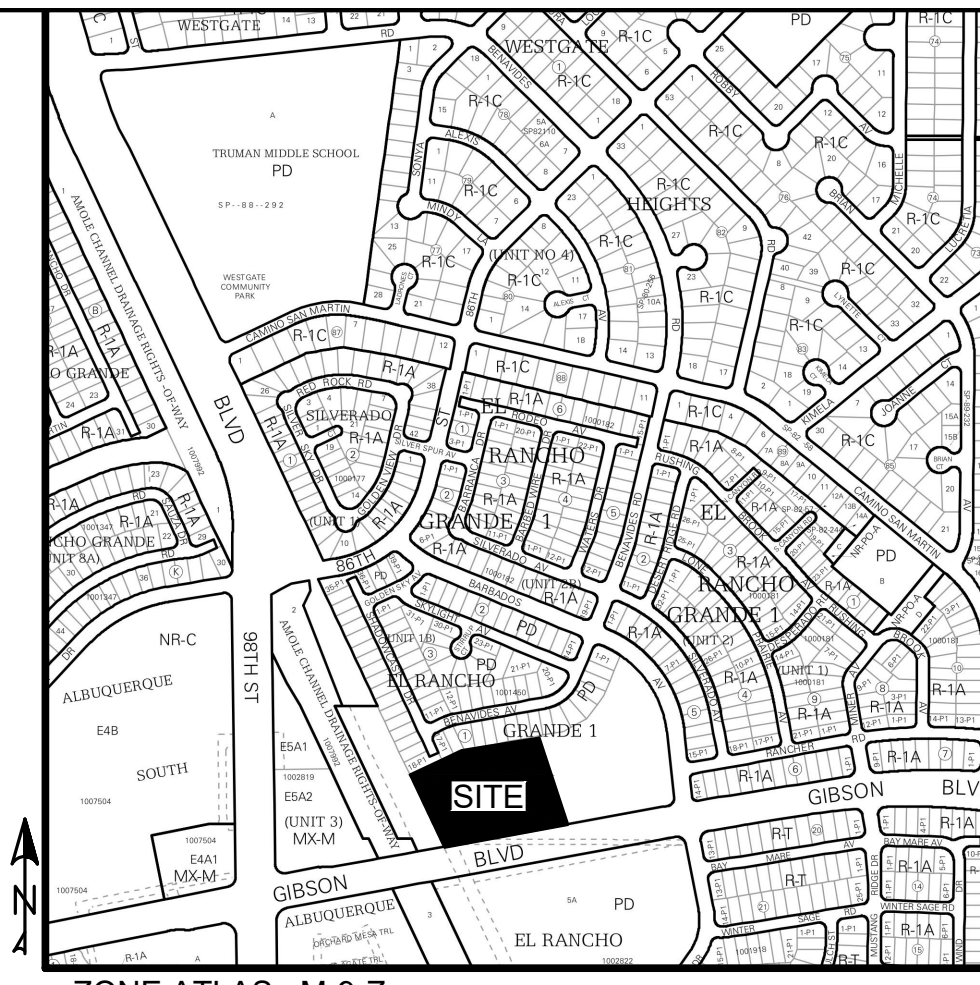
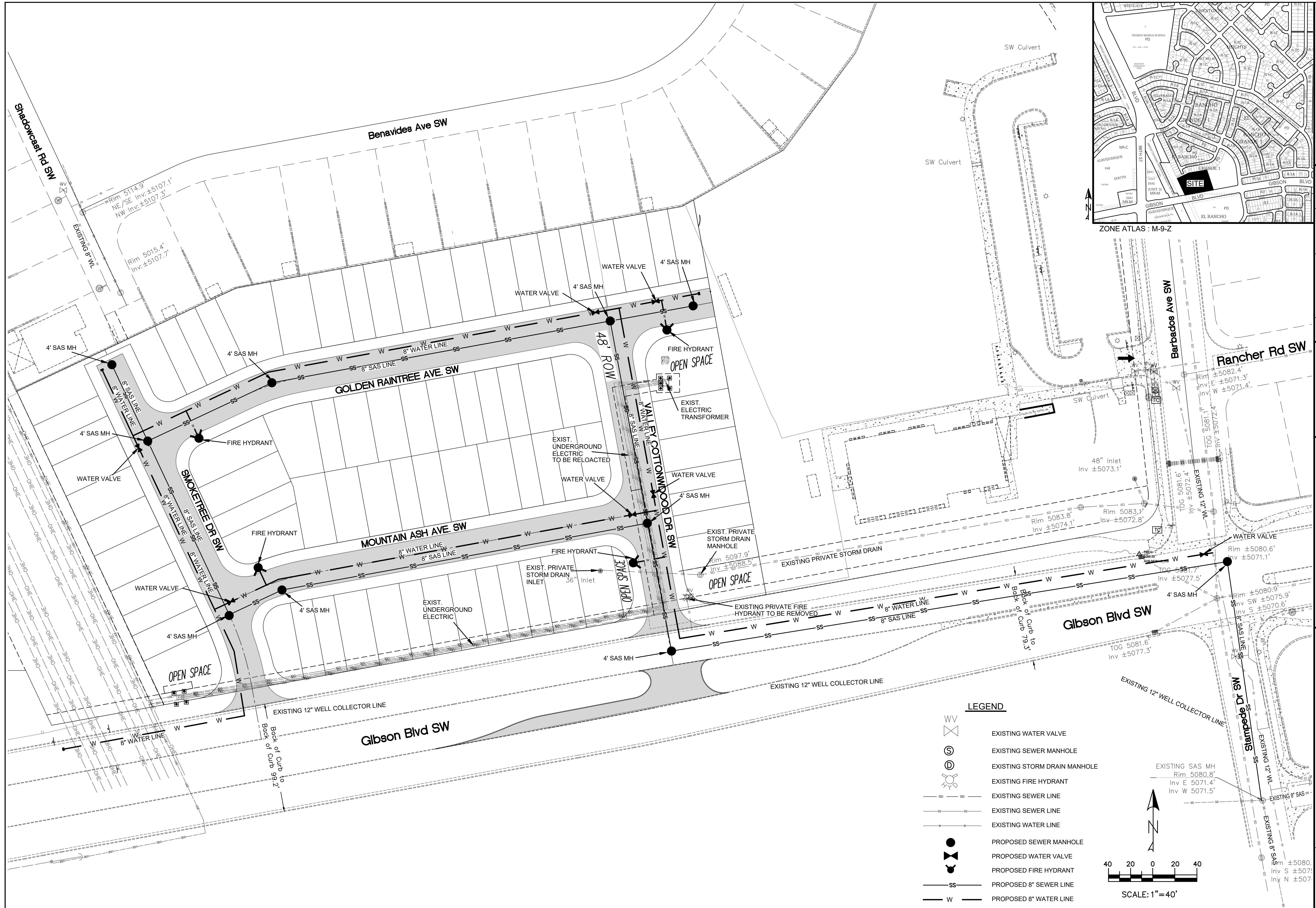
LEGEND

	EXISTING WATER VALVE		PROPOSED SEWER MANHOLE
	EXISTING SEWER MANHOLE		PROPOSED WATER VALVE
	EXISTING STORM DRAIN MANHOLE		PROPOSED FIRE HYDRANT
	EXISTING FIRE HYDRANT		PROPOSED 8" WATER LINE
	EXISTING SEWER LINE		PROPOSED PAVING
	EXISTING SEWER LINE		
	EXISTING WATER LINE		

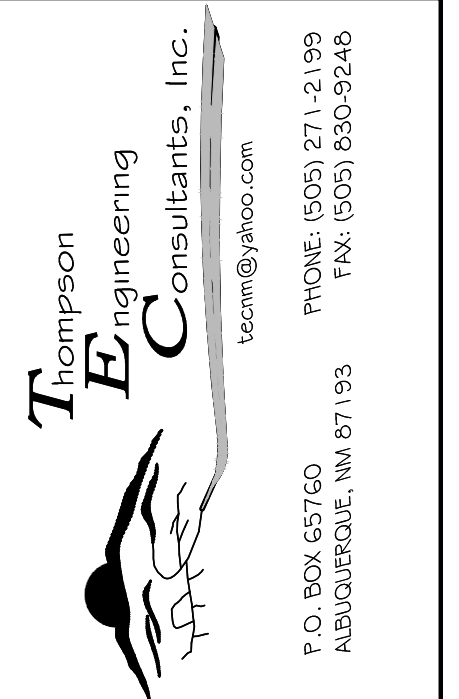


EXISTING SAS MH
Rim 5080.8'
Inv E 5071.4'
Inv W 5071.5'

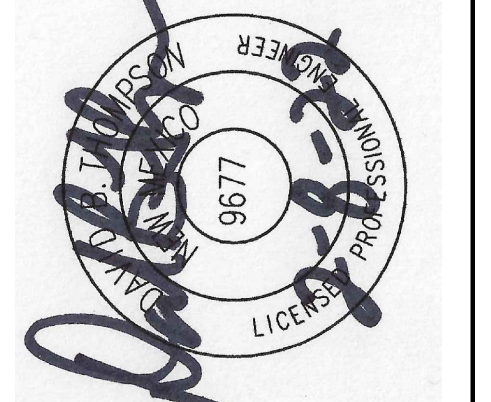
Rim ±5080.0'
Inv S ±5071.4'
Inv N ±5071.5'



ZONE ATLAS : M-9-Z



DATE	
BY	
REVISION	
NO.	
PROJECT:	
DATE:	
HORIZ. SCALE:	
VERT. SCALE:	
DRAWN BY: DEM	
CHECKED BY:	
APPROVED BY:	
FILE:	

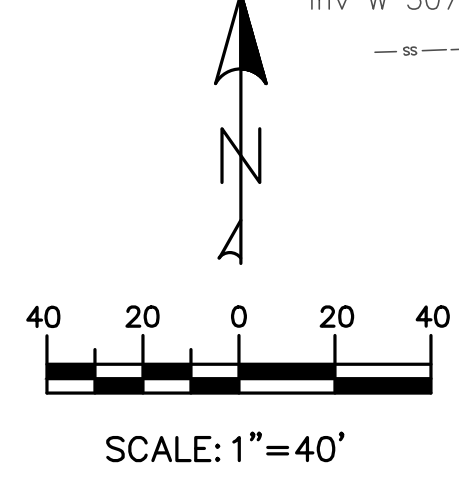


SOMBRA DEL OESTE

CONCEPTUAL UTILITY PLAN

LEGEND

	EXISTING WATER VALVE
	EXISTING SEWER MANHOLE
	EXISTING STORM DRAIN MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING SEWER LINE
	EXISTING SEWER LINE
	EXISTING WATER LINE
	PROPOSED SEWER MANHOLE
	PROPOSED WATER VALVE
	PROPOSED FIRE HYDRANT
	PROPOSED 8" SEWER LINE
	PROPOSED 8" WATER LINE



CITY/COUNTY REVIEW	
DEPARTMENT	DATE
WASTEWATER MGMT. DIV.	
WATER SERVICES	
SUBDIVISION ENG.	
STREETS	
TRAFFIC	
SHEET No.	
1 of 1	

FOR CITY/COUNTY USE ONLY

Memorandum

To: Jolene Wolfley, Chair and DRB Members, City of Albuquerque

From: Jim Strozier, Consensus Planning, Inc.

Date: February 11, 2022

Re: Sensitive Lands Analysis, Sombra del Oeste Subdivision, Gibson Boulevard, and 98th Street SW

This memo responds to the Sensitive Lands criteria in IDO *Section 14-16-5-2*. We have analyzed the project site for the presence of sensitive lands and the constraints related to such lands. As outlined below, none of the features identified as sensitive lands by the IDO are present on the subject property for the proposed Sombra del Oeste Subdivision.

1. Arroyos: Utilizing the AMAFCA interactive facilities map, the closest arroyo is the Amole Arroyo, an AMAFCA hard-lined channel. The Amole Arroyo is located approximately 50 feet to the west of the property, separated by a utility easement. A multi-use trail is located along the west side of the arroyo. The Amole Arroyo and floodplain are shown below in blue.



AMAFCA Facilities and Floodplain Area in blue.

2. Floodplains and Special Flood Hazard Areas: The area along the Amole Arroyo channel is classified as floodplain A, a 1% annual flood hazard. The floodplain is contained to the area directly along the Amole Arroyo. The surrounding area is classified as floodplain X, an area of minimal flood hazard.
3. Irrigation Facilities (Acequias): The subject property is not located in the valley and is not near or have any irrigation facilities.

4. Large Stands of Mature Trees: There are no trees on the subject property.
5. Rock Outcroppings: Rock outcroppings are defined in the IDO as being at least 6 feet high and over 500 square feet in size. There are no significant rock outcroppings on the subject property.
6. Significant Archaeological Sites: The subject property was analyzed by Lone Mountain Archeological Services, and a Certificate of No Effect was issued for the property.
7. Steep Slopes and Escarpments: This property has virtually no grade changes across the 6.1 acres. In reviewing the available topographic information, including the 2-foot contours available in the Advanced Map Viewer, the site does not include any slopes that meet the IDO definition of a steep slope or escarpment, which is a minimum slope of 9% or more. This site is significantly below that threshold and therefore has no steep slopes or escarpments on the subject property.



Two-foot Contours on the Subject Property.

8. Wetlands: Utilizing the U.S. Fish & Wildlife Service Wetlands Mapper, it was determined that no wetlands exist on this property.