

- LEGEND**
- 97B MRGCD MAP 34 EXISTING CONTOUR (MINOR)
 - EXISTING CURB AND GUTTER
 - EXISTING CONCRETE
 - EXISTING WALL
 - EXISTING FENCE - CMU/STUCCO WALL
 - EXISTING FENCE - COYOTE FENCE
 - EXISTING FENCE - IRON PIPE/CHAIN LINK
 - EXISTING TOP CURB/FLOW LINE
 - EXISTING SPOT ELEVATION
 - EXISTING SANITARY SEWER MANHOLE
 - EXISTING SANITARY SEWER CLEANOUT
 - EXISTING STORM DRAIN MANHOLE
 - EXISTING CATCH BASIN/DROP INLET
 - EXISTING OVERHEAD ELECTRIC/UTILITY LINE
 - EXISTING POLE
 - EXISTING ANCHOR
 - EXISTING ELECTRIC TRANSFORMER/PEDESTAL
 - EXISTING WATER VALVE
 - EXISTING FIRE HYDRANT
 - EXISTING WATER METER
 - EXISTING SIGN
 - EXISTING BOLLARD
 - EXISTING TELEPHONE/FIBER OPTIC PEDESTAL
 - NEW SANITARY SEWER MANHOLE
 - NEW SANITARY SEWER SERVICE LINE
 - NEW 8" SAS
 - NEW SANITARY SEWER LINE
 - NEW FIRE HYDRANT
 - NEW 6" WL
 - NEW WATERLINE
 - WL SVC
 - NEW WATER SERVICE LINE
 - NEW LOT/PROPERTY LINE
 - NEW SIDEWALK
 - NEW PAVEMENT
 - EXISTING BUILDING TO REMAIN
 - EXISTING BUILDING (REMOVE & DISPOSE)
 - NEW SIGHT DISTANCE TRIANGLE
 - POND WESEL 100 YR-10 DAY 4963.51'
 - NEW COYOTE FENCE AS DETAILED
 - BUFFER ZONE BETWEEN PROPERTY LINE AND POND SLOPE

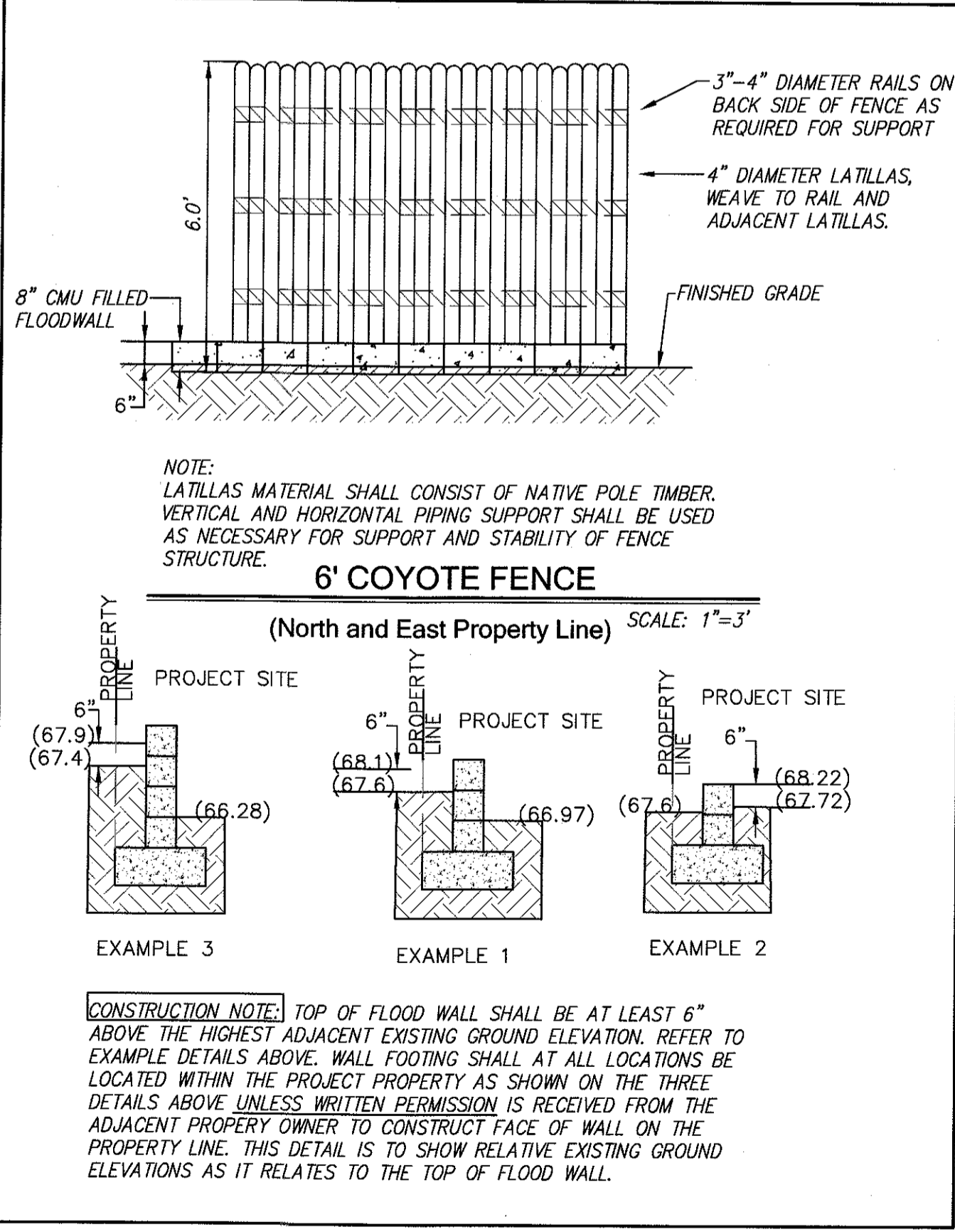
- GENERAL NOTES:**
- Cinnamon Morning Private Cluster Development shall be consistent with the City of Albuquerque IDO Cluster Development (CD) allowed in the RA Zone per the Zoning Code, Section 14-16-4-3(B)(2).
 - The number of lots allowed in the CD is determined by dividing the site area by the minimum lot size permitted in the underlying zone and rounded to the nearest whole number. This property is zoned R-A, with a minimum size of 10,890 SF per lot. The gross site area of the site is 109,348.67 SF (2,510.3 acres). The portion of the site that will consist of the private cluster development is 1,899.8 acres (82,757.2 SF). The number of lots allowed at Cinnamon Morning Cluster Development are as follows:
82,757.2 / 10,890 = 7.6 Lots
The number Lots proposed for Cinnamon Morning Cluster Development is 7.
 - All lots in Cinnamon Morning Cluster Development shall be developed in accordance with the IDO for R-A zoning and as defined in Part 14-16-7 under dwelling definitions as stated "dwelling, cluster development". The minimum setback requirements in accordance with the IDO, including contextual standards in subsection 14-6-5-1(C)(2) shall apply to the project site as a whole, but not to individual dwellings and are shown and labeled REQ'D SETBACK (MINIMUM) and re-stated below:
Front yard: 20 feet
Rear yard: 25 feet
Side yard: 10 feet
 - The cluster development project site shall include a common open space set aside for agriculture landscaping, on-site ponding, outdoor recreation, or any other combination thereof allowed in the zone district, and for the use and enjoyment of the HOA residents.
 - The common open space area shall be 30 percent of the gross area of the cluster development project site or 100 percent of the area gained through lot size reduction, whichever is greater. The two methods for calculating the minimum provide open space area is found in the adjacent table, this sheet.
 - The minimum private common open space area required is 24,804.6 SF. The private common open space provided is 24,811 SF (Tract A and C).
 - The common open space may be walled or fenced but shall be partially visible from Rio Grande Blvd. public right of way through openings in, and/or with trees visible above the wall or fence.
 - Maintenance of the common open space area shall be the responsibility of the cluster development Homeowners Association. Tract A and C will be dedicated to the H.O.A.
 - The cluster development site's common open space area is set aside for agriculture, landscaping, on-site ponding, outdoor recreation, or possible combination of one or more.
 - If the responsible property owners (H.O.A.) fail or refuse to act on maintenance obligations as set forth in the land use easement, the City of Albuquerque shall have the authority to perform such maintenance as necessary to protect public health and safety. Under no circumstance will the City maintain the private cluster open space area for a period longer than one (1) year. The cost of such maintenance shall be assessed against the properties within Cinnamon Morning Cluster Development. Failure to pay assessed charges may result in a municipal lien against each of the individuals lots at Cinnamon Morning Cluster Development. Under no circumstances will the City maintain recreational uses.
 - The fencing along the west property line between open space Tracts A & C and Rio Grande Blvd. shall maintain public view of open space and may not exceed 3.0 feet height in a non transparent wall. Walls along north, east and south property lines shall not exceed 6 feet in height per IDO Table 5-7-1 Section 14-16-5). Refer to detail for coyote fence north and east property boundary. Some areas along the north property line have either an existing CMU/stucco wall or existing coyote fence. In these areas a new coyote fence shall not be necessary to be constructed. The south property boundary already has an existing CMU wall that shall remain.
 - Storm water runoff from the cluster development shall be conveyed to the private Tract A through surface drainage.
 - There shall be no sidewalk provided along the north side of Los Amigos Drive or Lane. A sidewalk waiver (VA-2019-00039) and a temporary deferral of sidewalk on the south side in front of Lots 4-7 (VA-2019-00040) was approved by the Development Review Board.
 - Onsite pavement will consist of 3" A.C. over 12" subgrade preparation.

Cinnamon Morning Cluster Development Open Space Calculations

Lot ID #	Lot Size Gross SF	Minimum Required SF	Actual Deficit SF	Tracts A & C Open Space	24811.00
1	7261.43	10890.00	-3628.57	Lot 1	7261.43
2	7260.26	10890.00	-3629.74	Lot 2	7260.26
3	8350.87	10890.00	-2539.13	Lot 3	8350.87
4	8102.76	10890.00	-2787.24	Lot 4	8102.76
5	6832.00	10890.00	-4058.00	Lot 5	6832.00
6	6794.47	10890.00	-4095.53	Lot 6	6794.47
7	6865.50	10890.00	-4024.50	Lot 7	6865.50
	51467.29	76230.00	24762.71	Total	82682.1
				Acreeage	1.898
				30% of total	24804.6

Open Space Rule for Cluster Development 14-16-4-3-B(2)(d)1:
The Common open space area shall be 30% of the gross area of the project site or 100% of the area gained through lot size reductions, whichever is greater (-24,805 SF).

- GENERAL NOTES (cont.):**
- This project will be constructed in one phase.
 - IRRIGATION FACILITY (ACEQUIA) STANDARDS:**
5-2(F)(1) All subdivisions and site development shall comply with applicable requirements of Article 14-5 of ROA 1994 and the DPM.
5-2(F)(2) These standards apply to development adjacent to all irrigation facilities owned or maintained by the Middle Rio Grande Conservancy District (MRGCD) or community acequia associations.
5-2(F)(3) No primary or accessory structure, wall, fence, or impervious surface shall be constructed within 5 feet of the toe of the slope of an irrigation facility or of the associated easement boundary, whichever is greater, without the approval of the authority or association with operations and maintenance responsibility for the irrigation facility, except as noted in Subsection (a) below (applies to the Duranes area west of Rio Grande Blvd.)
5-2(F)(4) No vegetation within 5 feet of the toe of the slope of an irrigation facility shall be removed, treated, or planted without coordination with the authority or association responsible for operating and maintaining the irrigation facility.
 - A Knox box shall be provided at the private access gate for use by the Fire Department.



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OWNERS
CINNAMON MORNING BED AND BREAKFAST
2700 RIO GRANDE BLVD NE
ALBUQUERQUE, NEW MEXICO

DRB PROJECT NUMBER: PR-2019-002044
CASE NUMBER: SI-2019-00030

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE DEVELOPMENT REVIEW BOARD (DRB), AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? (x) YES () NO IF YES, THEN SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

[Signature] 4/17/19
Traffic Engineering, Transportation Division Date

[Signature] 04-17-19
ABCWUA Date

[Signature] 6-27-2019
Parks and Recreation Department Date

[Signature] 4/17/19
City Engineer Date

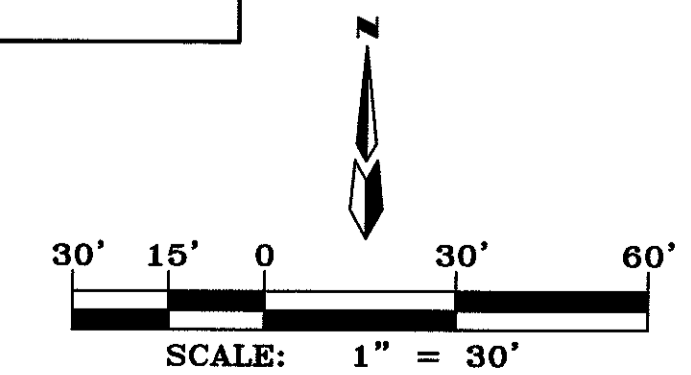
Code Enforcement
Date
Solid Waste Management
6-27-2019 DATE
DRB Chairperson, Planning Department

CINNAMON MORNING CLUSTER DEVELOPMENT
Sheet 1 Site Development Plan and Utility Plan
Sheet 2 Grading and Drainage Plan
Sheet 3 Landscape Plan

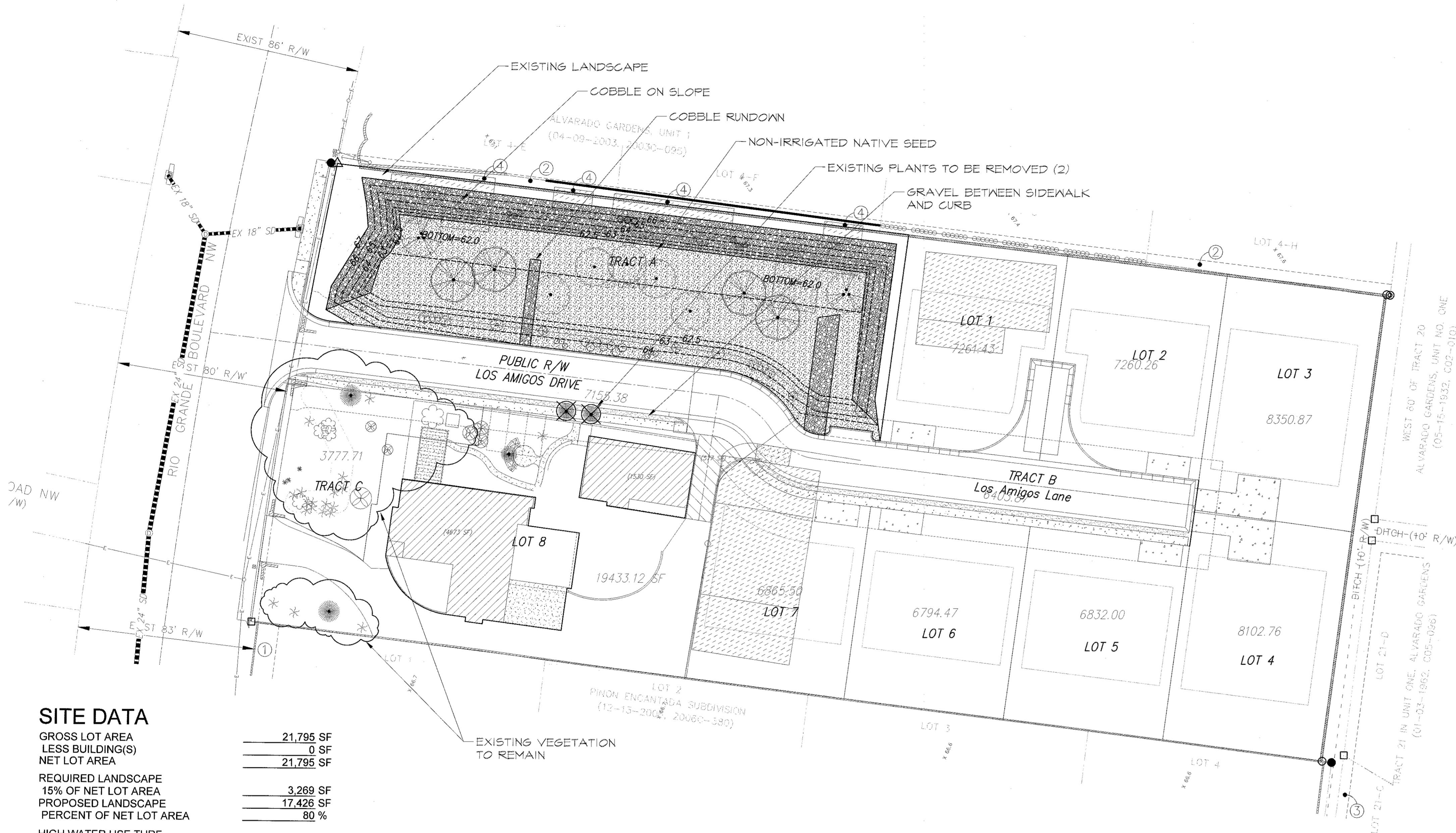
SITE DEVELOPMENT PLAN and UTILITY PLAN for CINNAMON MORNING CLUSTER DEVELOPMENT

dmg MARK GOODWIN & ASSOCIATES, P.A.
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Designed: DMG Drawn: DER Checked: DMG Sheet 1 of 3
Scale: AS SHOWN Date: 02/01/2019 Job: A16051



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SITE DATA

GROSS LOT AREA	21,795 SF
LESS BUILDING(S)	0 SF
NET LOT AREA	21,795 SF
REQUIRED LANDSCAPE 15% OF NET LOT AREA	3,269 SF
PROPOSED LANDSCAPE	17,426 SF
PERCENT OF NET LOT AREA	80 %
HIGH WATER USE TURF MAX. 20% OF LANDSCAPE AREA	0 SF
PROPOSED HIGH WATER USE TURF	0 SF
PERCENT OF LANDSCAPE AREA	0 %
REQUIRED STREET TREES 1 PER 30 L.F. OF STREET FRONTAGE 69 LF/30	2
PROVIDED STREET TREES	Existing Trees
REQUIRED PARKING LOT TREES 1 PER 10 SPACES 0 SPACES/10	0
PROVIDED PARKING LOT TREES	0
REQUIRED LANDSCAPE COVERAGE 75% LIVE VEGETATIVE MATERIAL (17,426 SF PROPOSED LANDSCAPE X 75%)	13,069 SF
PLANTING AREA COVERAGE	2,412 SF
NATIVE SEED AREA COVERAGE	12,260 SF
TOTAL LANDSCAPE AREA COVERAGE	14,672 SF
PERCENT LANDSCAPE COVERAGE	84 %

- GENERAL NOTES:**
1. MAINTENANCE OF THE LANDSCAPE AND IRRIGATION PROVIDED BY THE PROPERTY OWNER.
 2. PLANTS ARE SHOWN AT MATURITY.
 3. LANDSCAPE AREAS SHALL CAPTURE RUNOFF FROM SITE. SEE CIVIL PLANS.
 4. THE LANDSCAPE PLAN IS DESIGNED TO MEET ALL CITY OF ALBUQUERQUE PLAN REQUIREMENTS.
 5. PLANT MATERIALS AND SIGNING WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ACCEPTABLE IN 'CLEAR SIGHT' AREAS.
 6. THE LANDSCAPE PLAN IS DESIGNED TO COMPLY WITH THE GENERAL LANDSCAPING REGULATIONS SECTION 14-16-3-10, WATER CONSERVATION LANDSCAPING AND WATER WASTE SECTION 6-1-1-1, INCLUDING PROVISION OF A MINIMUM OF 75% LIVE GROUND COVERAGE, MEASURED AT MATURITY, OF ALL REQUIRED LANDSCAPE AREAS.

- IRRIGATION NOTES:**
1. ALL PLANTINGS TO BE WATERED BY AUTO DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER.
 2. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 3. THE PIP ROUTING ON THE PLAN IS SCHEMATIC AND MAY REQUIRE FIELD ADJUSTMENTS TO AVOID INSTALLING PIPE WITHIN THE ROOT ZONE OF PLANTS.
 4. THE IRRIGATION SYSTEM SHALL BE CONNECTED TO CITY WATER. THE POINT OF CONNECTION SHALL CONSIST OF A WATER METER, BACKFLOW PREVENTER AND MASTER VALVE.
 5. ALL SLEEVES ARE ASSUMED TO BE PLACED PRIOR TO HARDSCAPE WITHOUT THE NEED OF BORING.

Plant Schedule

DECIDUOUS TREES	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER USAGE	COVERAGE
4	Fraxinus americana 'Autumn Purple' / Autumn Purple Ash	2" B&B	Medium	35 x 4 = 140	
3	Prunus cerasifera / Flowering Plum	2" B&B	Medium	35 x 3 = 105	
2	Pyrus calleryana 'Autumn Blaze' / Autumn Blaze Pear	2" B&B	Medium +	20 x 2 = 40	
2	Robinia x ambigua 'Purple Robe' / Pink Flowering Locust	2" B&B	Medium	40 x 2 = 80	
DECIDUOUS SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER USAGE	COVERAGE
10	Caesalpinia gilliesii / Yellow Bird of Paradise	5 gal	RW	40 x 10 = 400	
6	Caryopteris x clandonensis 'Dark Knight' / Blue Mist Spirea	1 gal	Low+	15 x 6 = 90	
8	Chamaebatiaria millefolium 'Fernbush' / Fernbush	5 gal	Low+	30 x 8 = 240	
2	Hibiscus syriacus / Rose Of Sharon	5 gal	Medium	30 x 2 = 60	
6	Lavandula angustifolia / English Lavender	1 gal	Medium	12 x 6 = 72	
7	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal	Low+	30 x 7 = 210	
6	Syringa vulgaris / Common Lilac	5 gal	Medium+	30 x 6 = 180	
DESERT ACCENTS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER USAGE	COVERAGE
8	Hesperaloe parviflora / Red Yucca	5 gal	Low+	20 x 8 = 160	
6	Nolina microcarpa / Beargrass	5 gal	RW	30 x 6 = 180	
2	Yucca thompsoniana / Thompson's Yucca	24" box	RW	40 x 2 = 80	
EVERGREEN SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER USAGE	COVERAGE
3	Cytisus scoparius 'All Gold' / Scotch Broom	5 gal	Medium	30 x 3 = 90	
6	Ericameria laricifolia / Turpentine Bush	5 gal	Low	25 x 6 = 150	
6	Santolina chamaecyparissus / Lavender Cotton	1 gal	Low+	15 x 6 = 90	
GRASSES	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER USAGE	COVERAGE
3	Miscanthus sinensis 'Gracillimus' / Maiden Grass	5 gal	Medium+	15 x 3 = 45	

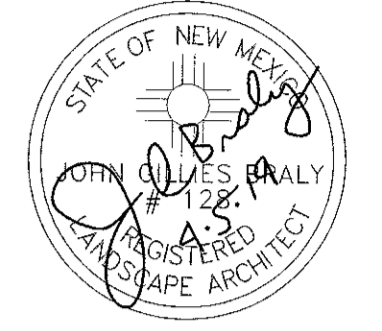
Material/Symbol Schedule

SYMBOL	DESCRIPTION	QTY
(Pattern)	Mountainair Brown 7/8" Gravel	901 sf
(Pattern)	Native Seed	12,260 sf
(Pattern)	Wallin 2-4" Cobble	5,921 sf
(Symbol)	Trees to be Removed	

2,412 sf live coverage

growing better
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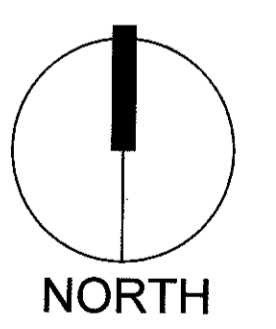
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Date: 3/21/2019
Revisions:
▲ 4/5/2019
▲
▲
▲

Drawn by: CM
Reviewed by: JB

Communal Real
Rio Grande Blvd. NW
Albuquerque, New Mexico



Scale: 1" = 30'
15 0 30 60

Sheet Title:
Landscape Plan

Sheet Number:
LS-01