



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	Policy Decisions
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> WTF Approval (Form W1)	<input checked="" type="checkbox"/> Site Plan – DRB (Form P2)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Subdivision of Land – Minor (Form S2)	<input type="checkbox"/> Annexation of Land (Form Z)
Decisions Requiring a Public Meeting or Hearing	<input checked="" type="checkbox"/> Subdivision of Land – Major (Form S1)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> Conditional Use Approval (Form ZHE)	<input type="checkbox"/> Vacation of Easement or Right-of-way (Form V)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input checked="" type="checkbox"/> Variance – DRB (Form V)	Appeals
<input type="checkbox"/> Expansion of Nonconforming Use or Structure (Form ZHE)	<input type="checkbox"/> Variance – ZHE (Form ZHE)	<input type="checkbox"/> Decision by EPC, LC, DRB, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Cinnamon Morning Development, LLC		Phone: 345-3541
Address: 2700 Rio Grande Blvd.		Email: info@cinnamonmorning.com
City: Albuquerque	State: NM	Zip: 87104
Professional/Agent (if any): Mark Goodwin & Associates, PA		Phone: 828-2200
Address: PO BOX 90606		Email: diane@goodwinengineers.com
City: Albuquerque	State: NM	Zip: 87199
Proprietary Interest in Site: Owner	List <u>all</u> owners:	

BRIEF DESCRIPTION OF REQUEST

Preliminary Plat, Site Plan, Grading Plan, Sidewalk Deferral and Sidewalk Variance approval for Cinnamon Morning Subdivision

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: 3A, Alvarado Gardens Unit 1	Block:	Unit:
Subdivision/Addition: Cinnamon Morning Subdivision	MRGCD Map No.:	UPC Code: 101306000712030505
Zone Atlas Page(s): G-12/G-13	Existing Zoning: R-A	Proposed Zoning: R-A
# of Existing Lots: 1	# of Proposed Lots: 9	Total Area of Site (acres): 1.59 Ac

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 2700 Rio Grande Blvd.	Between: Matthew	and: Campbell Rd.
--	------------------	-------------------

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

1011642

Signature: <i>Diane Hoelzer</i>	Date: 2-1-19
Printed Name: Diane Hoelzer, PE	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees
-		
-		
-		

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date:
	Project #

FORM S1: SUBDIVISION OF LAND – MAJOR

Please refer to the DRB public hearing schedule for hearing dates and deadlines. Your attendance is required.

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@caba.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

INFORMATION REQUIRED FOR ALL MAJOR SUBDIVISION REQUESTS

- Interpreter Needed for Hearing? no if yes, indicate language: none
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled
- Sign Posting Agreement

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL

MAJOR AMENDMENT TO PRELIMINARY PLAT

- Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)
- Sites 5 acres or greater: Archeological Certificate in accordance with IDO Section 14-16-6-5(A)
- Preliminary Plat including the Grading Plan with property owner's and City Surveyor's signatures on the plat (10 copies, 24" x 36" folded)
- Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement submittal information
- Proposed Infrastructure List
- Cross sections of proposed streets (3 copies, 11" x 17" maximum)
- Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements (to include sidewalk, curb & gutter with distance to property line noted) if there is any existing land use (7 copies, folded) **(SEE SITE PLAN)**
- Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(J)
- Required notices with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination inquiry response, notifying letter, and proof of first class mailing
 - Proof of emailed notice to applicable Neighborhood Association representatives
 - Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing
- Signed** Pre-Annexation Agreement if Annexation required
- Landfill disclosure statement on the plat per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone
- TIS Traffic Impact Study Form


EXTENSION OF PRELIMINARY PLAT

MAJOR INFRASTRUCTURE IMPROVEMENTS AGREEMENT (IIA) EXTENSION

For temporary sidewalk deferral extension, use Form V.

- Proof of Pre-Application Meeting with City staff *(not required for extension of an IIA)*
- Preliminary Plat or site plan reduced to 8.5" x 11"
- Letter describing, explaining, and justifying the request per IDO Sections 14-16-6-4(W) and 14-16-6-6(J)
- Copy of DRB approved infrastructure list
- Copy of the Official DRB Notice of Decision for the original approval
- Required notices with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination inquiry response, notifying letter, and proof of first class mailing
 - Proof of emailed notice to applicable Neighborhood Association representatives
 - Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing

Note: Only one extension for a time not to exceed the original period of validity is allowed before re-application for a new preliminary plat.

<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></p>	
<p>Signature: <u>Diane Hoelzer</u></p>	<p>Date: <u>2-1-19</u></p>
<p>Printed Name: <u>Diane Hoelzer</u></p>	<p><input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent</p>
<p>FOR OFFICIAL USE ONLY</p>	
<p>Project Number:</p>	<p>Case Numbers</p>
<p> </p>	<p style="text-align: center;">-</p>
<p> </p>	<p style="text-align: center;">-</p>
<p> </p>	<p style="text-align: center;">-</p>
<p>Staff Signature:</p>	
<p>Date:</p>	

FORM P2: SITE PLAN – DRB

Please refer to the DRB public meeting schedules for hearing dates and deadlines. Your attendance is required.

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

INFORMATION REQUIRED FOR ALL SITE PLAN – DRB APPLICATIONS

- Interpreter Needed for Hearing? no if yes, indicate language: n/a
- Site Plan and related drawings (10 copies, 24" x 36" folded to fit into an 8.5" x 14" pocket)
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

SITE PLAN – DRB


MAJOR AMENDMENT TO SITE PLAN – DRB

EXTENSION OF SITE PLAN – DRB Does not require Public Hearing

- Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)
- Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)
- Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) (not required for Extension)
- Site Plan and related drawings reduced to 8.5" x 11" format (1 copy)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(G)(3)
- Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(O)
Note: If requesting more than allowed by deviation, a Variance – ZHE or Variance – DRB will be required, as applicable.
- Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information (not required for Extension)
- Required notices with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination inquiry response, notifying letter, and proof of first class mailing
 - Proof of emailed notice to applicable Neighborhood Association representatives
 - Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing
- Sign Posting Agreement
- Signed Traffic Impact Study (TIS) Form
- Completed Site Plan Checklist

FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC

- Solid Waste Department signature on Site Plan
- Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- Approved Grading and Drainage Plan
- Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (not required for Master Development Plans)
- Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- Infrastructure List, if required

<i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i>	
Signature: <u>Diane Hoelzer</u>	Date: <u>2-1-19</u>
Printed Name: <u>Diane Hoelzer</u>	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Project Number:	Case Numbers
_____	-
_____	-
_____	-
Staff Signature:	
Date:	

FORM V: Vacations of Easements or Right-of-way and Variances – DRB

Please refer to the DRB case schedules for meeting / hearing dates and deadlines. Your attendance is required.

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

VARIANCE – DRB Requires Public Hearing

- Proof of Neighborhood Meeting per IDO Section 14-16-6-4(B)
- Scale drawing showing the location of the proposed variance or waiver, as applicable (7 copies, not to exceed 8.5" by 14")
- Letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(L)(3), compliance with the DPM, and all improvements to be waived, as applicable
- If the request is based on a bulk land transfer, an application for Subdivision of Land – Minor shall be filed concurrently with the variance request and notice shall be provided on that plat regarding the applicant's agreement that building permits shall not be issued before further action by the DRB.
- Zone Atlas map with the entire site clearly outlined and labeled
- Required notices with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives


- VACATION OF PRIVATE EASEMENT Requires Public Hearing**
- VACATION OF PUBLIC EASEMENT OR RIGHT-OF-WAY – DRB Requires Public Hearing**
- VACATION OF PUBLIC EASEMENT OR RIGHT-OF-WAY – COUNCIL Requires Public Hearing**

- Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)
- Copy of the complete document which created the easement(s) (7 copies, folded)
Not required for City owned public right-of-way.
- Drawing showing the easement or right-of-way to be vacated (7 copies, not to exceed 8.5" by 11")
- If easements, list number to be vacated _____
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(K)(3)
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled
- Required notices with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination notice inquiry response, notifying letter, and proof of first class mailing
 - Proof of emailed notice to affected Neighborhood Association representatives
 - Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing
- Sign Posting Agreement (not required for easements if IDO Section 14-16-6-6(K)(2)(a) is satisfied)

The vacation must be shown on a DRB approved plat recorded by the County Clerk within one year, or it will expire.

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION**
- EXTENSION OF THE IIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION**

- Drawing showing the sidewalks subject to the proposed deferral or extension (7 copies, not to exceed 8.5" by 14")
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter describing, explaining, and justifying the deferral or extension

<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></p>		
<p>Signature: <u><i>Diane Hoelzer</i></u></p>	<p>Date: <u><i>2-1-19</i></u></p>	
<p>Printed Name: <u><i>Diane Hoelzer</i></u></p>	<p><input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent</p>	
<p>FOR OFFICIAL USE ONLY</p>		
<p>Project Number:</p>	<p>Case Numbers</p>	
<p> </p>	<p style="text-align: center;">-</p>	
<p> </p>	<p style="text-align: center;">-</p>	
<p> </p>	<p style="text-align: center;">-</p>	
<p>Staff Signature:</p>	<p> </p>	
<p>Date:</p>	<p> </p>	

Cinnamon Morning Development, LLC
2700 Rio Grande Blvd.
Albuquerque, NM 87104

January 16, 2019

Ms. Kym Dicome
City of Albuquerque
600 2nd Street
Albuquerque, NM 87102

Re: Cinnamon Morning Subdivision

Dear Ms. Dicome,

Please be advised that Mark Goodwin & Associates, P.A., is hereby authorized to act on behalf of Cinnamon Morning Development, LLC for the above referenced project.

Please contact our office if you have any questions.

Sincerely,



Signature

Sue Percilick
Printed Name

Managing Member
Title

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from _____ To _____

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Kay Bna
(Applicant or Agent)

1-16-19
(Date)

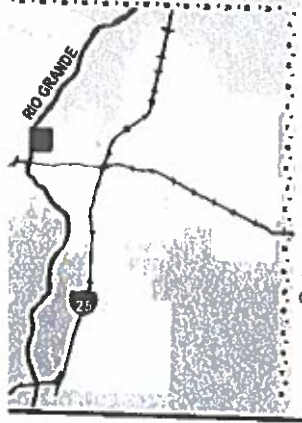
I issued _____ signs for this application, _____ (Date), _____ (Staff Member)

PROJECT NUMBER: _____



and details visit: <http://www.cabq.gov/gis>

For more current information and details visit: <http://www.cabq.gov/gis>

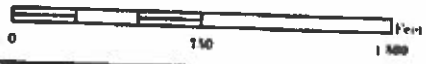


Zone Atlas Page:

G-12-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Es arpmnt
- 2 Md Airp 1
- Airport N 1
- Wall Overlay



Map amended through: 4/2/2012



Zone Atlas Page:

G-13-Z

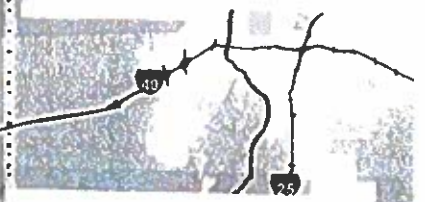


Figure 1 Vicinity Map

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 18-121 Date: 5-21-18 Time: 2:30
Address: 2700 Rio Grande

AGENCY REPRESENTATIVES AT MEETING:

Planning: Maggie Gould
Code Enforcement: Ricardo Vialpando
Fire Marshall: _____
Transportation: _____
Other: _____

***Please Note: PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY: THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL. Statements regarding Zoning are not Certificates of Zoning. Additional research may be necessary to determine the exact type of application and/or process needed. It is possible that factors unknown at this time and/or thought of as minor could become significant as the case progresses.

SITE INFORMATION:

Zone: RA Acreage: 2.6
Comp Plan Area Of: Consistency Comp Plan Corridor: NO
Comp Plan Center: NO MR Area: NO
Neighborhood Association: North Valley Coalition Community Planning Area: Near North Valley
Overlay Zone: CPO 10 Rio Grande Blvd MPOS or Sensitive Lands: NO
Use Specific Standards: 4-3(B)(2) Dimensional Standards: _____
Access & Connectivity: _____ Parking: TABLE 5-51 1.5 Space per DU - 2 BR
Landscaping: _____ Street Trees: _____
2.5 Space per DU - 3 BR

SUMMARY:

Type of Action: Subdivision Site Plan Admin Is this PRT a requirement? No
Review and Approval Body: Site plan Administrative For Dwelling units
Subdivision of land - minor at DRB for Plotting

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# _____ Date: _____ Time: _____

Address: _____

NOTES: - Contextured setbacks apply to yr edges of the development, not interior.

- Will need sidewalk along Rio Grande blvd.
- See 3-4(14) Rio Grande blvd. overlay for setbacks and height setbacks

- See 4-3-(B)(2) for Cluster Development standards -

- Must provide 30% of gross area or 100% percent of area gained through lot reductions, which ever is greater, as common open space - space is set aside for agriculture, landscaping, on-site ponding, outdoor recreation or combination of those uses.

- Cluster Development must be designated on a site plan and plat with each unit on a separate lot and open space on separate lot as required

- OS must be 35 feet x 35 feet minimum

- Check with fire Marshal about site layout

- 5-1(c)(2)

**PRELIMINARY PLAT
FOR
CINNAMON MORNING CLUSTER DEVELOPMENT
WITHIN
THE TOWN OF ALBUQUERQUE GRANT
PROJECTED SECTION 1, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
AND PROJECTED SECTION 6, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.
M.R.G.C.D. MAP No. 34
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY, 2019**

PROJECT NUMBER: _____
Application Number: _____

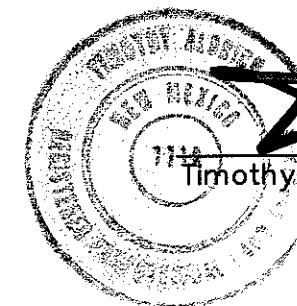
PLAT APPROVAL

Utility Approvals:

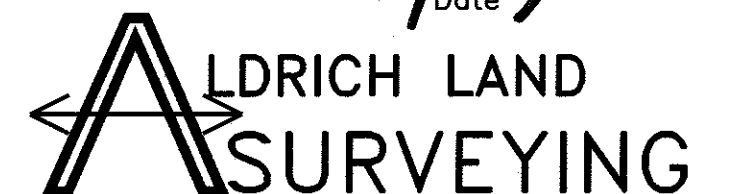
Public Service Company of New Mexico	_____	Date
New Mexico Gas Company	_____	Date
Qwest Corporation dba CenturyLink QC	_____	Date
Comcast	_____	Date
City Approvals:		
<i>Sam A. Reinherter P.S.</i>	<i>1/23/19</i>	Date
City Surveyor		
Real Property Division	_____	Date
Traffic Engineering, Transportation Division	_____	Date
Albuquerque-Bernalillo County Water Utility Authority	_____	Date
Parks and Recreation Department	_____	Date
AMAFCA	_____	Date
City Engineer	_____	Date
Code Enforcement	_____	Date
DRB Chairperson, Planning Department	_____	Date

SURVEYOR'S CERTIFICATION:

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."



Timothy Aldrich
Timothy Aldrich, P.S. No. 7719
Date *1/19/19*



P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

LEGAL DESCRIPTION

A tract of land situate within the Town of Albuquerque Grant, projected Section 1, Township 10 North, Range 2 East, New Mexico Principal Meridian and projected Section 6, Township 10 North, Range 3 East, New Mexico Principal Meridian, within M.R.G.C.D. Map No. 34, City of Albuquerque, Bernalillo County, New Mexico, being the REMAINING PORTION OF LOT 3, ALVARADO GARDENS, UNIT NO. 1, as the same is shown and designated on said plat, filed for record in the office of the County Clerk of Bernalillo County, New Mexico, on May 15, 1932, in Volume C02, Folio 010, and containing 2.5103 acres more or less.

SOLAR NOTE

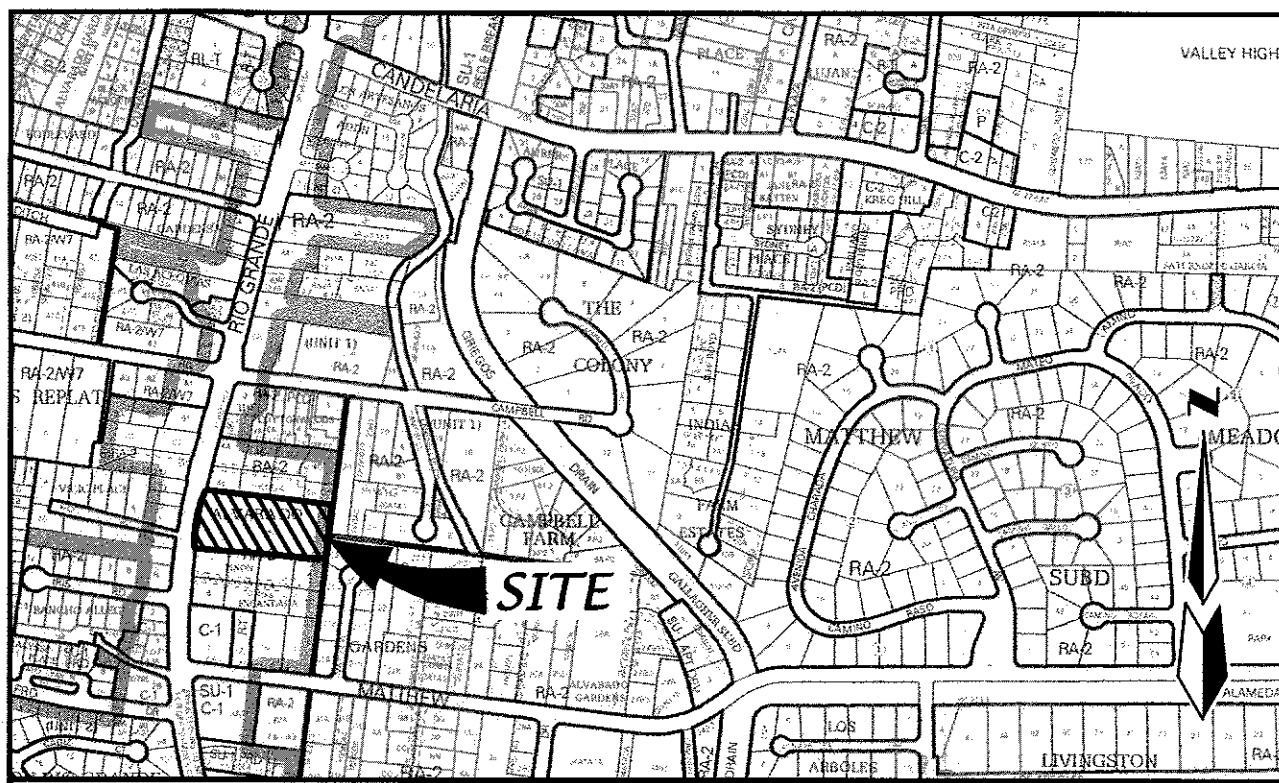
No property within the area of requested final action shall at any time be subject to a deed restriction, covenant or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of this plat.

DISCLAIMER

In approving this plat, Public Service Company of New Mexico (PNM), New Mexico Gas Company (NMGC) and Qwest Corporation dba CenturyLink QC did not conduct a title search of the properties shown hereon. Consequently, PNM, NMGC and CenturyLink do not waive or release any easement or easement rights, which may have been granted by prior plat, replat or other document, and which are not shown on this plat.

NOTES

- Bearings are grid based on the New Mexico State Plane Coordinate System (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats of record entitled:
 "ALVARADO GARDENS, UNIT NO. 1", (05-15-1932, C02-010)
 "RIO GRANDE BLVD NW RIGHT OF WAY MAP", (07-09-1956, D02-025)
 "TRACT 21, IN UNIT ONE, ALVARADO GARDENS", (01-03-1962, C05-096)
 "LOTS 4-A THRU 4-H, ALVARADO GARDENS, UNIT 1", (04-09-2003, 2003C-095)
 "PINON ENCANTADA SUBDIVISION", (12-13-2006, 2006C-380)
 "LOTS 4-C-1 & 4-D-1, ALVARADO GARDENS, UNIT 1", (05-15-2007, 2007C-122)
 "LOTS 23-A-1-A-1, 23-A-1-A-2 AND 23-B-1-A-1, ALVARADO GARDENS, UNIT 1", (06-19-2014, 2014C-057)
 "WARRANTY DEED - LEWIS TO COA", (12-30-1956, D370-047)
 "WARRANTY DEED - MASTERSON TO COA", (02-25-1957, D378-357)
 "QUITCLAIM DEED - LUTTRELL TO COA", (02-28-1957, D378-358)
 "WARRANTY DEED - MONTOYA TO MONTOYA", (04-06-2001, 2001039008)
 all being records of Bernalillo County, New Mexico.
- Field Survey performed in May, 2018.
- City of Albuquerque, New Mexico IDO Zone: R-A
- 100 Year Flood Zone Designation: Zone X (areas protected by levees), as shown on Panel 331 of 825, Flood Insurance Rate Map, City of Albuquerque, Bernalillo County, New Mexico, dated August 16, 2012. This property does not lie in the 100 Year Flood Zone.
- Title Report: None provided
- All street centerline monumentation shall be installed at all centerline pc's, pt's, angle points, and street intersections and shown thus, ▲ will be marked by a four inch (4") aluminum cap stamped:
 "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION"
 "DO NOT DISTURB"
 N.M.P.S.#7719
- Manholes will be offset at all points of curvature, points of tangency, street intersections, and all other angle points to allow use of centerline monumentation.
- Address: 2700 & 2714 Rio Grande Boulevard NW, Albuquerque, NM 87104



LOCATION MAP (NTS) ZONE ATLAS MAP: G-12-Z & G-13-Z

SUBDIVISION DATA

GROSS ACREAGE	2.5103 AC
ZONE ATLAS NO.	G-12-Z & G-13-Z
TOTAL NO. OF EXISTING LOTS	1 LOTS
TOTAL NO. OF TRACTS CREATED	3 TRACTS
TOTAL NO. OF LOTS CREATED	8 LOTS
EXISTING ZONING	R-A
DATE OF SURVEY	MAY, 2018
AREA OF DEDICATED PUBLIC RIGHT-OF-WAY	0.1643 AC.
MILEAGE OF STREETS CREATED	0.04 MILES

PURPOSE OF PLAT

- SUBDIVIDE REMAINING PORTION OF "LOT 3A, ALVARADO GARDENS UNIT 1" INTO 8 RESIDENTIAL LOTS, 2 OPEN SPACE TRACTS, AND 1 PRIVATE ROADWAY TRACT.
- GRANT NEW EASEMENTS AS SHOWN.
- CREATE OPEN SPACE AREA.
- TO DEDICATE PUBLIC RIGHT-OF-WAY AS SHOWN.

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets, public right-of-ways shown hereon to the city of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power, water, sewer and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs and/or proprietor(s) do hereby consent to the elimination of lot lines as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

Owner: CINNAMON MORNING DEVELOPMENT, LLC.
By: SUE PERCILICK, MANAGING MEMBER

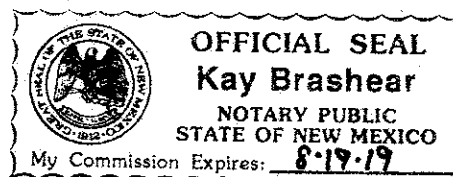
Sue Percilick
SUE PERCILICK
Date *1/17/19*

OWNER'S ACKNOWLEDGEMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on *1-17-19*
By CINNAMON MORNING DEVELOPMENT, LLC., by SUE PERCILICK,
MANAGING MEMBER.

Kay Brashear
NOTARY PUBLIC
MY COMMISSION EXPIRES *8-19-19*



A16051_P-PLAT.dwg	Drawn: DER	Checked: TA	Sheet 1 of 2
Scale: AS SHOWN	Date: 1/15/2019	Job: A16051	

PUBLIC UTILITY EASEMENTS (PUE) shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest Corporation D/B/A CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Comcast D/B/A Xfinity for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and

privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Disclaimer:

In approving this plat, Public Service Company of New Mexico (PNM), New Mexico Gas Company (NMGC) and Qwest Corporation D/B/A CenturyLink QC did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

**PRELIMINARY PLAT
FOR
CINNAMON MORNING CLUSTER DEVELOPMENT
WITHIN
THE TOWN OF ALBUQUERQUE GRANT
PROJECTED SECTION 1, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
AND PROJECTED SECTION 6, TOWNSHIP 10 NORTH, RANGE 3 EAST,
N.M.P.M.
M.R.G.C.D. MAP No. 34
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY, 2019**

ALL STREETS AND ROADS SHOWN
HEREON ARE HEREBY DEDICATED IN
FEE SIMPLE WITH WARRANTY
COVENANTS AS PUBLIC RIGHT-OF-WAY

AGRS MONUMENT
"6-G13AR 1980/1997"
N=1500719.134
E=1515743.949
G-G=0.999684045
Δα=-00°14'23.60"
CENTRAL ZONE
(NAD83)

EASEMENTS

- EXISTING 10' PUE (12-13-2006, 2006C-380)
- EXISTING 5' PUE (04-09-2003, 2003C-095)
- EXISTING 5' PUE (01-03-1962, C05-096)
- EXISTING ENCROACHMENT AGREEMENT EASEMENT

BENCHMARK
AGRS Brass Cap stamped "3-G12"
(NAVD88) = 4965.946

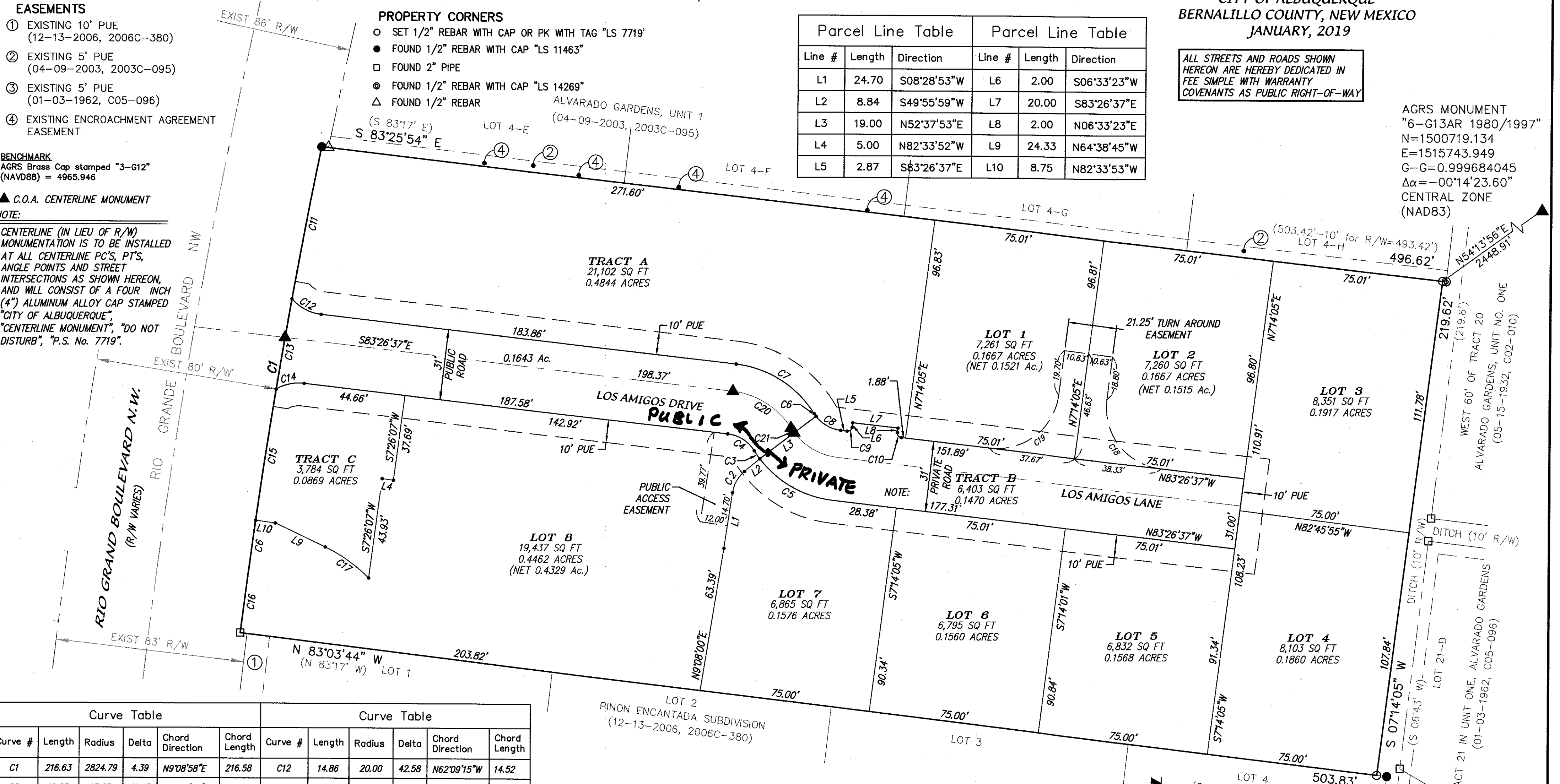
C.O.A. CENTERLINE MONUMENT

NOTE:
CENTERLINE (IN LIEU OF R/W)
MONUMENTATION IS TO BE INSTALLED
AT ALL CENTERLINE PC'S, PT'S,
ANGLE POINTS AND STREET
INTERSECTIONS AS SHOWN HEREON,
AND WILL CONSIST OF A FOUR INCH
(4") ALUMINUM ALLOY CAP STAMPED
"CITY OF ALBUQUERQUE",
"CENTERLINE MONUMENT", "DO NOT
DISTURB", "P.S. No. 7719".

PROPERTY CORNERS

- SET 1/2" REBAR WITH CAP OR PK WITH TAG "LS 7719"
- FOUND 1/2" REBAR WITH CAP "LS 11463"
- FOUND 2" PIPE
- △ FOUND 1/2" REBAR WITH CAP "LS 14269"
- △ FOUND 1/2" REBAR


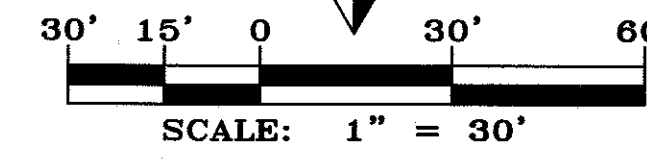
Parcel Line Table			Parcel Line Table		
Line #	Length	Direction	Line #	Length	Direction
L1	24.70	S08°28'53"W	L6	2.00	S06°33'23"W
L2	8.84	S49°55'59"W	L7	20.00	S83°26'37"E
L3	19.00	N52°37'53"E	L8	2.00	N06°33'23"E
L4	5.00	N82°33'52"W	L9	24.33	N64°38'45"W
L5	2.87	S83°26'37"E	L10	8.75	N82°33'53"W



Curve Table					Curve Table						
Curve #	Length	Radius	Delta	Chord Direction	Chord Length	Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	216.63	2824.79	4.39	N9°08'58"E	216.58	C12	14.86	20.00	42.58	N62°09'15"W	14.52
C2	10.85	15.00	41.45	S29°12'26"W	10.62	C13	22.97	2824.79	0.47	S9°22'49"W	22.97
C3	4.31	47.00	5.25	S34°44'36"E	4.31	C14	12.77	20.00	36.58	N78°15'59"E	12.55
C4	14.33	16.00	51.33	S57°46'51"E	13.86	C15	58.41	2824.79	1.18	S8°33'18"W	58.40
C5	37.80	47.00	46.07	S60°24'22"E	36.79	C16	49.81	2824.79	1.01	S7°27'27"W	49.81
C6	1.47	16.00	5.25	N34°44'36"W	1.47	C17	23.58	68.50	19.72	N54°47'08"W	23.46
C7	42.10	47.00	51.33	S57°46'51"E	40.71	C18	43.32	27.37	90.68	N38°06'16"W	38.94
C8	12.87	16.00	46.07	N60°24'22"W	12.52	C19	42.67	27.37	89.32	S51°53'07"W	38.48
C9	3.14	2.00	90.00	N51°33'23"E	2.83	C20	31.35	35.00	51.33	S57°46'51"E	30.32
C10	3.14	2.00	90.00	S38°26'37"E	2.83	C21	2.57	28.00	5.25	S34°44'36"E	2.57
C11	68.15	2824.79	1.38	S10°39'19"W	68.15						

PRIVATE CLUSTER DEVELOPMENT AREA NOTES:

- THE PROPERTY IS SUBJECT TO THE CINNAMON MORNING PRIVATE CLUSTER DEVELOPMENT (PCD) RESTRICTIONS RECORDED CONTEMPORANEOUSLY WITH THIS PLAT.
- THERE SHALL BE NO DEVELOPMENT OF TRACT A OR C EXCEPT AS SHOWN ON THE APPROVED SITE DEVELOPMENT PLAN.
- THE HOME OWNER'S ASSOCIATION SHALL BE RESPONSIBLE FOR MAINTENANCE OF TRACT A, B, AND C.
- TRACT A, B AND C SHALL BE DEEDED TO THE HOME OWNERS ASSOCIATION AND SHALL BE ENCUMBERED WITH A BLANKET DRAINAGE EASEMENT FOR THE BENEFIT OF THE RESIDENCES, AND MAY BE USED BY THE HOA FOR RECREATIONAL PURPOSES.
- THE USE OF TRACT A AND C MAY BE RESTRICTED TO THE RESIDENTS OF THE PCD AND MAY BE FENCED SO LONG AS THE PUBLIC'S VIEW IS NOT SIGNIFICANTLY DIMINISHED.
- THE PCD INCLUDES TRACTS A, B, & C.



ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

FORM DRWS: DRAINAGE REPORT/GRADING AND DRAINAGE PLAN / WATER & SANITARY SEWER AVAILABILITY
THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR SUBDIVISIONS AND SITE PLANS.

PROJECT NAME: Cinnamon Morning Subdivision

AGIS MAP # G-12/G-13

LEGAL DESCRIPTIONS: Lot 3A, Alvarado Gardens

X **DRAINAGE REPORT/GRADING AND DRAINAGE PLAN**

A drainage report/grading and drainage plan, as per the Drainage Ordinance, was submitted to the City of Albuquerque Planning Department, Hydrology Division (2nd /Ground Floor, Plaza del Sol) on ~~1/29/19~~ 2/1/19 (date).

Kay Brea

Applicant/Agent

2-1-19

Date

Hydrology Division Representative

Date

NOTE: A GRADING AND DRAINAGE PLAN MUST BE APPROVED PRIOR TO DRB APPROVAL

X **WATER AND SEWER AVAILABILITY STATEMENT**

A Water and Sewer Availability Statement for this project was requested to the ABCWUA (2nd/Ground floor, Plaza del Sol) on August 1, 2018 (date). *Availability*

Kay Brea

Applicant/Agent

1-29-19

Date

Chris [Signature]

ABCWUA Representative

01/29/19

Date

PROJECT # 101164a

Current DRC _____
 Project Number: _____
 Date Submitted: _____
 Date Site Plan Approved: _____
 Date Preliminary Plat Approved: _____
 Date Preliminary Plat Expires: _____
 DRB Project No.: _____
 DRB Application No.: _____

FIGURE 12

INFRASTRUCTURE LIST

(REV. 2-16-18)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

CINNAMON MORNING

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

**Remaining Portion of Lot 3, Alvarado Gardens, Unit No. 1
 EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Inspector	P.E.	City Cnst Engineer
		24' FF	RES PVMT	LOS AMIGOS DRIVE	RIO GRANDE	LOT 7	/	/	/
		4'	SIDEWALK (SOUTHSIDE)		BLVD.		/	/	/
		6"	ESTATE CURB SOUTHSIDE				/	/	/
		6"	MTBL C&G				/	/	/
		24' FF	RES PVMT	LOS AMIGOS LANE	WEST LOT 7	LOT 3/4 END	/	/	/
		4'	SIDEWALK (SOUTHSIDE)				/	/	/
		6"	ESTATE CURB SOUTHSIDE				/	/	/
		6"	STD C&G				/	/	/
		20' FF	70 LF 1 SIDED HAMMERHEAD	LOS AMIGOS LANE	BTWN LOT 1 / 2		/	/	/
			6" STD C&G				/	/	/
		12'	RES PVMT	PUBLIC ACCESS	LOT 8		/	/	/
			EASEMENT				/	/	/
		6"	WATERLINE	LOS AMIGOS DRIVE	EX 6" WL	LOT 3 / 4	/	/	/
				LOS AMIGOS LANE	RIO GRANDE BLD		/	/	/
		8"	SANITARY SEWER	LOS AMIGOS DRIVE	EX 8" SAS IN	LOT 3 / 4	/	/	/
				LOS AMIGOS LANE	RIO GRANDE BLD		/	/	/

Construction Certification		
Inspector	Private P.E.	City Cnst Engineer
/	/	/
/	/	/
/	/	/
/	/	/
/	/	/

Size	Type of Improvement	Location	From	To
	RETENTION POND WITH RUNDOWNS			

Financially Guaranteed DRC #	Constructed Under DRC #

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Type of Improvement	Location	From	To	Construction Certification		Approval of Creditable Items:	City User Dept. Signature	Date
						Inspector	Private P.E.			

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
 Street lights per City requirements.

- 1 _____
- 2 _____
- 3 _____

AGENT / OWNER _____ **DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

DIANE HOELZER, PE
 NAME (print)

DRB CHAIR - date _____ PARKS & RECREATION - date _____

MARK GOODWIN & ASSOC.
 FIRM

TRANSPORTATION DEVELOPMENT - date _____ AMAFCA - date _____

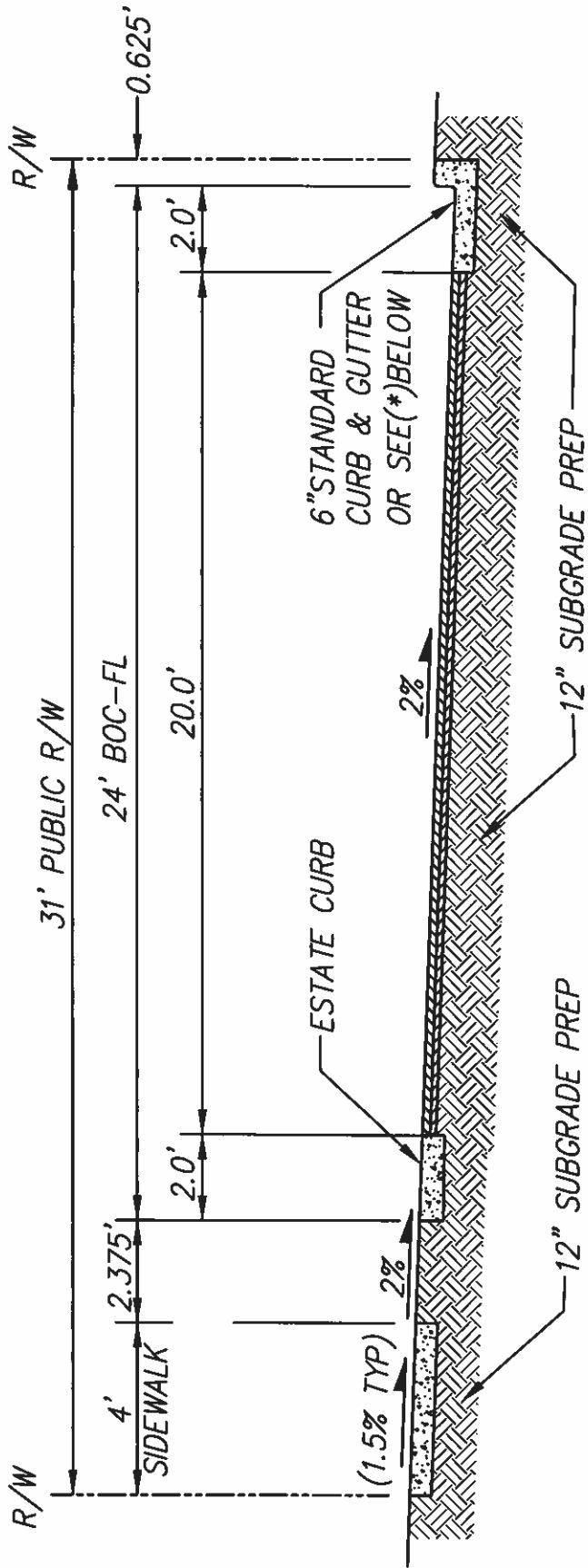
Mark Goodwin
 SIGNATURE - date 1-16-19

UTILITY DEVELOPMENT - date _____ CODE ENFORCEMENT - date _____

CITY ENGINEER - date _____ - date _____

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



STREET SECTION DETAIL

LOS AMIGOS LANE (STANDARD C&G) SCALE: 1"=5'
 (*) LOS AMIGOS DRIVE (MOUNTABLE C&G)

CINNAMON MORNING CLUSTER DEVELOPMENT



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

~ 2012 ACEC/NM Award Winner for Engineering Excellence ~
~ 2008 ACEC/NM Award Winner for Engineering Excellence ~
~ 2017 ENR Landscape/Urban Development Award of Merit ~
~ 2018 ENR Residential/Hospitality Award of Merit ~

January 30, 2019

Ms. Kym Dicome
City of Albuquerque, DRB Chair
600 2nd Street SW
Albuquerque, NM 87102

**Re: Cinnamon Morning Subdivision
Preliminary Plat, Site Plan, Grading Plan, Sidewalk Deferral and Sidewalk Variance**

Dear Ms. Dicome,

Our firm represents Cinnamon Morning Development, LLC, who owns the property located at 2700 Rio Grande Blvd. On behalf of our client we are seeking approval for Preliminary Plat, Site Plan, Grading Plan, Sidewalk Variance, and Temporary Sidewalk Deferral from the Development Review Board at the City of Albuquerque.

The purpose of the Preliminary Plat submittal is to subdivide this 2.5 acre parcel into 8 lots, of which 1.9 acres will be separated from the existing dwelling (Lot 8) and developed into 7 additional single family residences.

The 1.9 acres is to be developed in accordance with the City's Integrated Development Ordinance, which is identified as a "private cluster dwelling development". The site will consist of a larger private common open space area, one public / private street, and 7 lots for single family homes.

Justification for Sidewalk Variance:

- 1) The Variance request meets criteria 14-16-6-6(L)(3)(b)a. The area is of low density land use (7 Lots to be developed) and consists of a section of private gated road.
- 2) It will not create a gap in sidewalk. Sidewalk is to be constructed on the south side and will connect to existing Public sidewalk on Rio Grande Blvd. Public sidewalk on the south side of the internal public road will connect to private sidewalk on the southside of private road. The private road portion will serve 7 lots (low density)

All of the variance criteria in section 14-16-6-6(L)(3)(a) 2 thru 9 is met.

Sincerely,
MARK GOODWIN & ASSOCIATES, PA

Diane Hoehler, PE
Senior Engineer

Kay Brashear

From: Quevedo, Vicente M. <vquevedo@cabq.gov>
Sent: Wednesday, January 16, 2019 2:57 PM
To: Kay Brashear
Subject: Neighborhood Meeting Inquiry_2700 Rio Grande Blvd._DRB
Attachments: Zone Atlas Page.pdf; Neighborhood Meeting Inquiry_2700 Rio Grande Blvd._DRB.xlsx

Kay,

See list of associations below and attached regarding your DRB submittal. In addition, we have included web links below that will provide you with additional details about the new Integrated Development Ordinance (IDO) requirements. The web links also include notification templates that you may utilize when contacting each association. Thank you.

Association Name	First Name	Last Name	Email	Address Line 1
Alvarado Gardens NA	Diana	Hunt	vp@alvaradoneighborhood.com	2820 Candelaria Road NW
Alvarado Gardens NA	Trudy	Merriman	president@alvaradoneighborhood.com	2617 Decker Road NW
Thomas Village NA	Debbie	Ridley	dlrhealing@aol.com	3247 Calle De Deborah NW
Thomas Village NA	Richard	Meyners	abqrmeyners@gmail.com	3316 Calle De Daniel NW
Rio Grande Boulevard NA	Eleanor	Walther	eawalth@comcast.net	2212 Camino De Los Artesano NW
Rio Grande Boulevard NA	Jim	Kenney	kenney.jim@gmail.com	2416 Arbor Road NW

IDO – Public Notice Requirements & Template: <https://www.cabq.gov/planning/urban-design-development/public-notice>

IDO – Neighborhood Meeting Requirements & Template: <https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

IDO - Administration & Enforcement section: <http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17-Part6.pdf>

Respectfully,

Vicente M. Quevedo, MCRP
Neighborhood Liaison
Office of Neighborhood Coordination
City of Albuquerque – City Council
(505) 768-3332

Website: www.cabq.gov/neighborhoods



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited

unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov
Sent: Tuesday, January 15, 2019 3:06 PM
To: Office of Neighborhood Coordination <kay@goodwinengineers.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Neighborhood Meeting Inquiry Sheet Submission

Neighborhood Meeting Inquiry For:
Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Kay Brashear

Telephone Number

5058282200

Email Address

kay@goodwinengineers.com

Company Name

Mark Goodwin & Associates, PA

Company Address

PO BOX 90606

City

Albuquerque

State

NM

ZIP

87199

Legal description of the subject site for this project:

Lot 38A, Alvarado Gardens

Physical address of subject site:

2700 Rio Grande Blvd.

Subject site cross streets:

Matthew Ave. and Campbell Rd.

Other subject site identifiers:

This site is located on the following zone atlas page:

G12/G13

This message has been analyzed by Deep Discovery Email Inspector.

Kay Brashear

From: webmaster=cabq.gov@mailgun.org on behalf of webmaster@cabq.gov
Sent: Tuesday, January 15, 2019 3:06 PM
To: Kay Brashear
Cc: ONC@cabq.gov
Subject: Neighborhood Meeting Inquiry Sheet Submission
Attachments: Zone Atlas Page.pdf

Neighborhood Meeting Inquiry For:
Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Kay Brashear

Telephone Number

5058282200

Email Address

kay@goodwinengineers.com

Company Name

Mark Goodwin & Associates, PA

Company Address

PO BOX 90606

City

Albuquerque

State

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87199

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January 17, 2019

Ms. Debbie Ridley
Thomas Village NA
3247 Calle de Deborah NW
Albuquerque, NM 87104

Mr. Richard Meyners
Thomas Village NA
3316 Calle de Daniel NW
Albuquerque, NM 87104

Re: Cinnamon Morning Subdivision Preliminary Plat Request

Dear Ms. Ridley and Mr. Meyners,

Our firm represents Cinnamon Morning Development, LLC, who owns the property located at 2700 Rio Grande Blvd. As per the City of Albuquerque's Integrated Development Ordinance Section 14-16-6-4(K)(6), our firm would like to inform you that on behalf our client we are submitting for Preliminary Plat approval at this location.

The purpose of the Preliminary Plat submittal is to subdivide this 2.5 acre parcel into 8 lots, of which 1.9 acres will be separated from the existing dwelling (Lot 8) and developed into 7 additional single family residences.

The 1.9 acres is to be developed in accordance with the City's Integrated Development Ordinance, which is identified as a "private cluster dwelling development". The site will consist of a larger private common open space area, one public / private street, and 7 lots for single family homes.

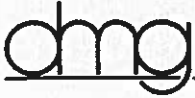
We anticipate the DRB hearing to be held on February 27th, beginning at 9am, located at Plaza del Sol, 600 Second Street SW, 87102. However, we strongly encourage you to check the City's website at <http://www.cabq.gov/planning/boards-commissions/development-review-board/development-review-board-agenda-archives> to verify the date and time before attending the hearing.

If you would like to meet with our office prior to the submittal, by IDO standards, you will have 15 days from the date of this letter to contact our office.

For further information, please contact Diane Hoelzer of our office at 828-2200 or info@goodwinengineers.com.

Sincerely,
MARK GOODWIN & ASSOCIATES, PA

Kay Brashear
Office Manager



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
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~ 2018 ENR Residential/Hospitality Award of Merit ~

January 17, 2019

Ms. Diana Hunt
Alvarado Gardens NA
2820 Candelaria Rd. NW
Albuquerque, NM 87107

Ms. Trudy Merriman
Alvarado Gardens NA
2617 Decker Road NW
Albuquerque, NM 87107

Re: Cinnamon Morning Subdivision Preliminary Plat Request

Dear Ms. Hunt and Ms. Merriman,

Our firm represents Cinnamon Morning Development, LLC, who owns the property located at 2700 Rio Grande Blvd. As per the City of Albuquerque's Integrated Development Ordinance Section 14-16-6-4(K)(6), our firm would like to inform you that on behalf our client we are submitting for Preliminary Plat approval at this location.

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If you would like to meet with our office prior to the submittal, by IDO standards, you will have 15 days from the date of this letter to contact our office.

For further information, please contact Diane Hoelzer of our office at 828-2200 or info@goodwinengineers.com.

Sincerely,
MARK GOODWIN & ASSOCIATES, PA

Kay Brashear
Office Manager



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200

FAX 797-9539

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~ 2017 ENR Landscape/Urban Development Award of Merit ~
~ 2018 ENR Residential/Hospitality Award of Merit ~

January 17, 2019

Ms. Eleanor Walther
Rio Grande Blvd. NA
2212 Camino de los Artesanos NW
Albuquerque, NM 87107

Mr. Jim Kenny
Rio Grande Blvd. NA
2416 Arbor Road NW
Albuquerque, NM 87107

Re: Cinnamon Morning Subdivision Preliminary Plat Request

Dear Ms. Walther and Mr. Kenny,

Our firm represents Cinnamon Morning Development, LLC, who owns the property located at 2700 Rio Grande Blvd. As per the City of Albuquerque's Integrated Development Ordinance Section 14-16-6-4(K)(6), our firm would like to inform you that on behalf our client we are submitting for Preliminary Plat approval at this location.

The purpose of the Preliminary Plat submittal is to subdivide this 2.5 acre parcel into 8 lots, of which 1.9 acres will be separated from the existing dwelling (Lot 8) and developed into 7 additional single family residences.

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Sincerely,
MARK GOODWIN & ASSOCIATES, PA

Kay Brashear
Office Manager

Kay Brashear

From: Microsoft Outlook
To: abqrmeyners@gmail.com
Sent: Thursday, January 17, 2019 9:50 AM
Subject: Relayed: Cinnamon Morning Subdivision

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

abqrmeyners@gmail.com (abqrmeyners@gmail.com)

Subject: Cinnamon Morning Subdivision

Kay Brashear

From: Microsoft Outlook
To: 'Diane Hoelzer'
Sent: Thursday, January 17, 2019 9:45 AM
Subject: Delivered: Cinnamon Morning Subdivision

Your message has been delivered to the following recipients:

['Diane Hoelzer' \(diane@goodwinengineers.com\)](mailto:diane@goodwinengineers.com)

Subject: Cinnamon Morning Subdivision

Kay Brashear

From: Microsoft Outlook
To: eawalth@comcast.net
Sent: Thursday, January 17, 2019 9:45 AM
Subject: Relayed: Cinnamon Morning Subdivision

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

eawalth@comcast.net (eawalth@comcast.net)

Subject: Cinnamon Morning Subdivision

Kay Brashear

From: Microsoft Outlook
To: dlrhealing@aol.com
Sent: Thursday, January 17, 2019 9:45 AM
Subject: Relayed: Cinnamon Morning Subdivision

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

dlrhealing@aol.com (dlrhealing@aol.com)

Subject: Cinnamon Morning Subdivision

Kay Brashear

From: Microsoft Outlook
To: kenny.jim@gmail.com
Sent: Thursday, January 17, 2019 9:45 AM
Subject: Relayed: Cinnamon Morning Subdivision

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

kenny.jim@gmail.com (kenny.jim@gmail.com)

Subject: Cinnamon Morning Subdivision

Kay Brashear

From: Kay Brashear
Sent: Tuesday, January 22, 2019 11:11 AM
To: vp@alvaradoneighborhood.com; president@alvaradoneighborhood.com; dlrhealing@aol.com; eawalth@comcast.net; kenny.jim@gmail.com; abqrmeyners@gmail.com
Subject: RE: Cinnamon Morning Subdivision
Attachments: Deferred Sidewalk Exhibit.pdf; Sidewalk Waiver Exhibit.pdf; Site Plan.pdf

All,

In additional to the Preliminary Plat application as stated below, we will also be making application for a Sidewalk Variance, Temporary Sidewalk Deferral, and Site Plan. These items were not included in the original email/letter that was sent on January 17th, so we wanted to bring it to your attention at this time.

The Sidewalk Variance is due to part of the sidewalk not being built on one side of the single road going through the private community. Per a meeting held with the traffic department, this sidewalk will not be necessary.

Temporary Sidewalk Deferral will be for the opposite side of street mentioned in the Sidewalk Variance, will allow the sidewalk to be built after the homes have been built. During construction, sidewalks can get torn up by the contractor and have to be re-poured so it best to wait until the end of construction.

Site Plan approval is being requested to meet IDO Ordinance 4-3(B)(2)(e), which will give an overall view of measurements, set backs, fencing, etc., and other information required by the DRB.

An exhibit for each request has been attached for your viewing.

As mentioned below, if you would like to meet in person to discuss these items or the Preliminary Plat, please contact our office and we'll be happy to arrange a time to meet.

Best Regards,

Kay Brashear

Mark Goodwin & Associates, PA
Office Manager
PO BOX 90606
Albuquerque, NM 87199
9016 Washington St. Ste. A
Albuquerque, NM 87113
(505) 828-2200



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From: Kay Brashear
Sent: Thursday, January 17, 2019 9:45 AM

To: 'vp@alvaradoneighborhood.com' <vp@alvaradoneighborhood.com>; 'president@alvaradoneighborhood.com' <president@alvaradoneighborhood.com>; 'dlrhealing@aol.com' <dlrhealing@aol.com>; 'abqmeyners@gmail.com' <abqmeyners@gmail.com>; 'eawalth@comcast.net' <eawalth@comcast.net>; 'kenny.jim@gmail.com' <kenny.jim@gmail.com>

Subject: Cinnamon Morning Subdivision

All,

As members of the Alvarado Gardens NA, Thomas Village NA, and Rio Grande Blvd. NA, you are being contacted about an upcoming project that we are required to inform you about, per the City of Albuquerque IDO.

Our firm represents Cinnamon Morning Development, LLC, who owns the property located at 2700 Rio Grande Blvd. As per the City of Albuquerque's Integrated Development Ordinance Section 14-16-6-4(K)(6), our firm would like to inform you that on behalf our client we are submitting for Preliminary Plat approval at this location.

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If you would like to meet with our office prior to the submittal, by IDO standards, you will have 15 days from the date of this letter to contact our office. A hard copy of this letter will be mailed to you. An exhibit is also attached for your viewing.

For further information, please contact Diane Hoelzer of our office at 828-2200 or info@goodwinengineers.com.

Best Regards,

Kay Brashear

Mark Goodwin & Associates, PA
Office Manager
PO BOX 90606
Albuquerque, NM 87199
9016 Washington St. Ste. A
Albuquerque, NM 87113
(505) 828-2200

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Kay Brashear

From: Mail Delivery System <MAILER-DAEMON@forward1.bravehost.com>
To: president@alvaradoneighborhood.com; vp@alvaradoneighborhood.com
Sent: Tuesday, January 22, 2019 11:11 AM
Subject: Relayed: Cinnamon Morning Subdivision

This is the mail system at host forward1.bravehost.com.

Your message was successfully delivered to the destination(s) listed below. If the message was delivered to mailbox you will receive no further notifications. Otherwise you may still receive notifications of mail delivery errors from other systems.

The mail system

<president@alvaradoneighborhood.com>: delivery via
forward1.bravehost.com[/var/run/dovecot/lmtp]: 250 2.0.0
<president@alvaradoneighborhood.com> +N79ObIcR1xFVAAAgSeOKw Saved

<vp@alvaradoneighborhood.com>: delivery via
forward1.bravehost.com[/var/run/dovecot/lmtp]: 250 2.0.0
<vp@alvaradoneighborhood.com> UPT+ObIcR1wnYwAAAgSeOKw Saved

Kay Brashear

From: Microsoft Outlook
To: dlrhealing@aol.com
Sent: Tuesday, January 22, 2019 11:11 AM
Subject: Relayed: RE: Cinnamon Morning Subdivision

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

dlrhealing@aol.com (dlrhealing@aol.com)

Subject: RE: Cinnamon Morning Subdivision



RE: Cinnamon
Morning Subdiv...

Kay Brashear

From: Microsoft Outlook
To: eawalth@comcast.net
Sent: Tuesday, January 22, 2019 11:11 AM
Subject: Relayed: RE: Cinnamon Morning Subdivision

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

eawalth@comcast.net (eawalth@comcast.net)

Subject: RE: Cinnamon Morning Subdivision



RE: Cinnamon
Morning Subdiv...

Kay Brashear

From: Microsoft Outlook
To: kenny.jim@gmail.com; abqrmeyners@gmail.com
Sent: Tuesday, January 22, 2019 11:11 AM
Subject: Relayed: RE: Cinnamon Morning Subdivision

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

kenny.jim@gmail.com (kenny.jim@gmail.com)

abqrmeyners@gmail.com (abqrmeyners@gmail.com)

Subject: RE: Cinnamon Morning Subdivision



RE: Cinnamon
Morning Subdiv...

7319 0888 0002 0910 0000 7016

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<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.50	
Total Postage and Fees	\$6.70	01/17/2019

Sent To: Eleanor Walther, Pro Brande
 Street and Apt. No., or PO Box No.: 2212 Camino de las Artesanas NW
 City, State, ZIP+4: Albuquerque NM 87107

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7319 0888 0000 1216 6891 7016

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<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.50	
Total Postage and Fees	\$6.70	01/17/2019

Sent To: Trudy Merriman, Alvarado
 Street and Apt. No., or PO Box No.: 2617 Decker Rd NW
 City, State, ZIP+4: Albuquerque NM 87107

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7340 0888 0002 0910 0000 7016

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<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
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<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.50	
Total Postage and Fees	\$6.70	01/17/2019

Sent To: Debbie Ridley, Thomas Village
 Street and Apt. No., or PO Box No.: 3217 Calle de Deborah NW
 City, State, ZIP+4: Albuquerque NM 87104

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7326 0888 0002 0910 0000 7016

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<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.50	
Total Postage and Fees	\$6.70	01/17/2019

Sent To: Richard Meyners, Thomas Village
 Street and Apt. No., or PO Box No.: 3316 Calle de Daniel NW
 City, State, ZIP+4: Albuquerque NM 87104

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7354 0888 0000 1216 6754 7016

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<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.50	
Total Postage and Fees	\$6.70	01/17/2019

Sent To: Jim Kenney, Rio Grande Blvd
 Street and Apt. No., or PO Box No.: 2216 Arbor Rd NW
 City, State, ZIP+4: Albuquerque NM 87107

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7302 0888 0002 0910 0000 7016

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<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.50	
Total Postage and Fees	\$6.70	01/17/2019

Sent To: Diana Hunt, Alvarado Garden
 Street and Apt. No., or PO Box No.: 2200 Condelaria Rd NW
 City, State, ZIP+4: Albuquerque NM 87107

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

Kay Brashear

From: Quevedo, Vicente M. <vquevedo@cabq.gov>
Sent: Friday, January 25, 2019 12:15 PM
To: Kay Brashear
Subject: Public Notice Inquiry_2700 Rio Grande Blvd_DRB
Attachments: Zone Atlas Page.pdf; Public Notice Inquiry_2700 Rio Grande Blvd_DRB.xlsx

Kay,

See list of associations below and attached regarding your Administrative Decision submittal. In addition, we have included web links below that will provide you with additional details about the new Integrated Development Ordinance (IDO) requirements. The web links also include notification templates that you may utilize when contacting each association. Thank you.

Association Name	First Name	Last Name	Email	Address Line 1
Alvarado Gardens NA	Diana	Hunt	vp@alvaradoneighborhood.com	2820 Candelaria Road NW
Alvarado Gardens NA	Trudy	Merriman	president@alvaradoneighborhood.com	2617 Decker Road NW
Thomas Village NA	Richard	Meyners	abqrmeyners@gmail.com	3316 Calle De Daniel NW
Thomas Village NA	Debbie	Ridley	dlrhealing@aol.com	3247 Calle De Deborah NW
Rio Grande Boulevard NA	Jim	Kenney	kenney.jim@gmail.com	2416 Arbor Road NW
Rio Grande Boulevard NA	Eleanor	Walther	eawalth@comcast.net	2212 Camino De Los Artesano NW

IDO – Public Notice Requirements & Template: <https://www.cabq.gov/planning/urban-design-development/public-notice>

IDO – Neighborhood Meeting Requirements & Template: <https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

IDO - Administration & Enforcement section: <http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17-Part6.pdf>

Respectfully,

Vicente M. Quevedo, MCRP
Neighborhood Liaison
Office of Neighborhood Coordination
City of Albuquerque – City Council
(505) 768-3332

Website: www.cabq.gov/neighborhoods



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unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov
Sent: Friday, January 25, 2019 10:40 AM
To: Office of Neighborhood Coordination <kay@goodwinengineers.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:

Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Kay Brashear

Telephone Number

5058282200

Email Address

kay@goodwinengineers.com

Company Name

Mark Goodwin & Associates, PA

Company Address

PO BOX 90606

City

Albuquerque

State

NM

ZIP

87199

Legal description of the subject site for this project:

Remaining portion of Lot 3, Alvarado Gardens Unit No. 1

Physical address of subject site:

2700 Rio Grande Blvd

Subject site cross streets:

Between Campbell and Matthew

Other subject site identifiers:

Cinnamon Morning Bed and Breakfast

This site is located on the following zone atlas page:

G-12/G-13

This message has been analyzed by Deep Discovery Email Inspector.



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200

FAX 797-9539

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~ 2008 ACEC/NM Award Winner for Engineering Excellence ~
~ 2017 ENR Landscape/Urban Development Award of Merit ~
~ 2018 ENR Residential/Hospitality Award of Merit ~

January 28, 2019

Ms. Debbie Ridley
Thomas Village NA
3247 Calle de Deborah NW
Albuquerque, NM 87104

Mr. Richard Meyners
Thomas Village NA
3316 Calle de Daniel NW
Albuquerque, NM 87104

Re: Cinnamon Morning Subdivision Preliminary Plat Request

Dear Ms. Ridley and Mr. Meyners,

Our firm represents Cinnamon Morning Development, LLC, who owns the property located at 2700 Rio Grande Blvd. As per the City of Albuquerque's Integrated Development Ordinance Section 14-16-6-4(K)(6), our firm would like to inform you that on behalf our client we are submitting for Preliminary Plat, Site Plan, Grading Plan, Sidewalk Deferral and Sidewalk Variance approval at this location. A letter was previously sent on January 17th, however, we are required to notify you again once the application is submitted.

The purpose of the Preliminary Plat submittal is to subdivide this 2.5 acre parcel into 8 lots, of which 1.9 acres will be separated from the existing dwelling (Lot 8) and developed into 7 additional single family residences.

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We anticipate the DRB hearing to be held on February 27th, beginning at 9am, located at Plaza del Sol, 600 Second Street SW, 87102. However, we strongly encourage you to check the City's website at <http://www.cabq.gov/planning/boards-commissions/development-review-board/development-review-board-agenda-archives> to verify the date and time before attending the hearing.

For further information, please contact Diane Hoelzer of our office at 828-2200 or info@goodwinengineers.com.

Sincerely,
MARK GOODWIN & ASSOCIATES, PA

Kay Brashear
Office Manager



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

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~ 2018 ENR Residential/Hospitality Award of Merit ~

January 28, 2019

Ms. Diana Hunt
Alvarado Gardens NA
2820 Candelaria Rd. NW
Albuquerque, NM 87107

Ms. Trudy Merriman
Alvarado Gardens NA
2617 Decker Road NW
Albuquerque, NM 87107

Re: Cinnamon Morning Subdivision Preliminary Plat Request

Dear Ms. Hunt and Ms. Merriman,

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Sincerely,
MARK GOODWIN & ASSOCIATES, PA

K. Brashear

Kay Brashear
Office Manager



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January 28, 2019

Ms. Eleanor Walther
Rio Grande Blvd. NA
2212 Camino de los Artesanos NW
Albuquerque, NM 87107

Mr. Jim Kenny
Rio Grande Blvd. NA
2416 Arbor Road NW
Albuquerque, NM 87107

Re: Cinnamon Morning Subdivision Preliminary Plat Request

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For further information, please contact Diane Hoelzer of our office at 828-2200 or info@goodwinengineers.com.

Sincerely,
MARK GOODWIN & ASSOCIATES, PA

Kay Brashear
Office Manager

Kay Brashear

From: Kay Brashear
Sent: Monday, January 28, 2019 12:52 PM
To: 'president@alvaradoneighborhood.com'; 'vp@alvaradoneighborhood.com'; 'abqrmeyners@gmail.com'; 'dirhealing@aol.com'; 'kenny.jim@gmail.com'; 'eawalth@comcast.net'
Subject: Cinnamon Morning Public Notification

Dear Neighborhood Association Representatives,

Our firm represents Cinnamon Morning Development, LLC, who owns the property located at 2700 Rio Grande Blvd. As per the City of Albuquerque's Integrated Development Ordinance Section 14-16-6-4(K)(6), our firm would like to inform you that on behalf our client we are submitting for Preliminary Plat, Site Plan, Grading Plan, Sidewalk Deferral and Sidewalk Variance approval at this location. A letter was previously sent on January 17th, however, we are required to notify you again once the application is submitted.

The purpose of the Preliminary Plat submittal is to subdivide this 2.5 acre parcel into 8 lots, of which 1.9 acres will be separated from the existing dwelling (Lot 8) and developed into 7 additional single family residences.

The 1.9 acres is to be developed in accordance with the City's Integrated Development Ordinance, which is identified as a "private cluster dwelling development". The site will consist of a larger private common open space area, one public / private street, and 7 lots for single family homes.

A request is also being made for sidewalk waiver on the north side of the internal street and deferral of sidewalk construction on the south side of the internal street. The deferred sidewalk will be constructed during the time each individual home is being constructed on each lot.

We anticipate the DRB hearing to be held on February 27th, beginning at 9am, located at Plaza del Sol, 600 Second Street SW, 87102. However, we strongly encourage you to check the City's website at <http://www.cabq.gov/planning/boards-commissions/development-review-board/development-review-board-agenda-archives> to verify the date and time before attending the hearing.

For further information, please contact Diane Hoelzer of our office at 828-2200 or info@goodwinengineers.com.

Best Regards,

Kay Brashear

Mark Goodwin & Associates, PA
Office Manager
PO BOX 90606
Albuquerque, NM 87199
9016 Washington St. Ste. A
Albuquerque, NM 87113
(505) 828-2200



Like us on Facebook! <https://www.facebook.com/dmgassociates/>

Kay Brashear

From: Mail Delivery System <MAILER-DAEMON@forward4.bravehost.com>
To: president@alvaradoneighborhood.com; vp@alvaradoneighborhood.com
Sent: Monday, January 28, 2019 12:52 PM
Subject: Relayed: Cinnamon Morning Public Notification

This is the mail system at host forward4.bravehost.com.

Your message was successfully delivered to the destination(s) listed below. If the message was delivered to mailbox you will receive no further notifications. Otherwise you may still receive notifications of mail delivery errors from other systems.

The mail system

<president@alvaradoneighborhood.com>: delivery via
forward4.bravehost.com[/var/run/dovecot/lmtp]: 250 2.0.0
<president@alvaradoneighborhood.com> mJWqMWhdT1ypdwAAgSeOKw Saved

<vp@alvaradoneighborhood.com>: delivery via
forward4.bravehost.com[/var/run/dovecot/lmtp]: 250 2.0.0
<vp@alvaradoneighborhood.com> KHirMWhdT1zIMwAAgSeOKw Saved

Kay Brashear

From: Microsoft Outlook
To: abqrmeyners@gmail.com; kenny.jim@gmail.com
Sent: Monday, January 28, 2019 12:52 PM
Subject: Relayed: Cinnamon Morning Public Notification

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

abqrmeyners@gmail.com (abqrmeyners@gmail.com)

kenny.jim@gmail.com (kenny.jim@gmail.com)

Subject: Cinnamon Morning Public Notification

Kay Brashear

From: Microsoft Outlook
To: eawalth@comcast.net
Sent: Monday, January 28, 2019 12:52 PM
Subject: Relayed: Cinnamon Morning Public Notification

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

eawalth@comcast.net (eawalth@comcast.net)

Subject: Cinnamon Morning Public Notification

Kay Brashear

From: Microsoft Outlook
To: dlrhealing@aol.com
Sent: Monday, January 28, 2019 12:52 PM
Subject: Relayed: Cinnamon Morning Public Notification

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

[dlrhealing@aol.com \(dlrhealing@aol.com\)](mailto:dlrhealing@aol.com)

Subject: Cinnamon Morning Public Notification

7018 2290 0001 9900 4257

U.S. Postal Service
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

ALBUQUERQUE, NM 87107

Certified Mail Fee	\$3.50
Extra Services & Fees (check box, add fee as appropriate)	\$2.80
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.55
Total Postage and Fees	\$6.85

Sent To
 J. Kenny
 Street and Apt. No., or PO Box No.
 2416 Arbor Rd. NW
 City, State, ZIP+4®
 Albuquerque NM 87107

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7018 2290 0001 9900 4288

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ALBUQUERQUE, NM 87107

Certified Mail Fee	\$3.50
Extra Services & Fees (check box, add fee as appropriate)	\$2.80
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.55
Total Postage and Fees	\$6.85

Sent To
 D. Hunt
 Street and Apt. No., or PO Box No.
 2807 Candelaria
 City, State, ZIP+4®
 Albuquerque NM 87107

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7018 2290 0001 9900 4295

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ALBUQUERQUE, NM 87107

Certified Mail Fee	\$3.50
Extra Services & Fees (check box, add fee as appropriate)	\$2.80
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.55
Total Postage and Fees	\$6.85

Sent To
 E. Walther
 Street and Apt. No., or PO Box No.
 3212 Camino de los Artesanos
 City, State, ZIP+4®
 Albuquerque NM 87107

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7018 2290 0001 9900 4271

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ALBUQUERQUE, NM 87104

Certified Mail Fee	\$3.50
Extra Services & Fees (check box, add fee as appropriate)	\$2.80
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.55
Total Postage and Fees	\$6.85

Sent To
 R. Meyners
 Street and Apt. No., or PO Box No.
 3316 Calle de Daniel
 City, State, ZIP+4®
 Albuquerque NM 87104

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7018 2290 0001 9900 4264

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ALBUQUERQUE, NM 87107

Certified Mail Fee	\$3.50
Extra Services & Fees (check box, add fee as appropriate)	\$2.80
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.55
Total Postage and Fees	\$6.85

Sent To
 J. Merriman
 Street and Apt. No., or PO Box No.
 2107 Decker Rd.
 City, State, ZIP+4®
 Albuquerque NM 87107

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7018 2290 0001 9900 4301

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ALBUQUERQUE, NM 87104

Certified Mail Fee	\$3.50
Extra Services & Fees (check box, add fee as appropriate)	\$2.80
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.55
Total Postage and Fees	\$6.85

Sent To
 Debbie Kelley
 Street and Apt. No., or PO Box No.
 3417 Calle de Deborah
 City, State, ZIP+4®
 Albuquerque NM 87104

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

**Cinnamon Morning
Pre-Application Meeting**

Date: 1/31/19

Time: 3:00 PM

Location: MGA Office

<u>Name</u>	<u>Agency</u>
1. <u>Doyle Kimbrough</u> ^{New Mex mba} <u>@aol.com</u>	<u>Rio Grande Blvd N.A.</u>
2. <u>W. W. Kaitlin</u>	<u>Rio Grande Blvd NA</u>
3. <u>Diane Hoelzer-MGA</u>	<u>ewalth@comcast.net</u>
4. _____	_____
5. _____	_____

Concerns and Resolutions

- 1) Concerned that we are not meeting the dwelling
Cottage development standards. Res: We are proposing
a "cluster" dev. not a "cottage" dev.
- 2) Concern: has client considered gravel road for added
permeability? Res: pavement is more desirable
for homeowners and better facilitates conveyance
to open space where permeability and vegetation
can benefit from runoff.
- 3) Concern: dont want to see 2 story homes.
RES: client not planning on 2 story homes,
however, the IDO allows for 26' dwelling
height.

- 4) Concern: allowing Wildlife path for animals,
Res: Not desirable to allow certain wildlife
through neighborhood. Safety and security
of home owners and their pets must be
considered first.
- 5) Concern: Suggested possibly placing raised
planters in open-space area.
- 6.) Concern: Eleanor would like to be notified
if anyone calls with concerns or
questions.
- 7). Concern: Requested that the grading and
drainage plan be emailed to them.
Res: The grading and drainage plan
was emailed to both Doyle + Eleanor
on 1-31-19.

F:\A16\JOBS\A16051_Cinnamon_Morning_Project\EXHIBITS\BUFFER.dwg_1/16/2019 3:17:17 PM_SPS



SCALE: 1" = 200'

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Cinnamon Morning 100' Buffer Map

UPC	Property Address	Mailing Address	City	State	Zip	Owner
101306002010530530	2301 Pinon Encantada TRL NW	2301 Pinon Encantada Trl NW	Albuquerque	NM	87104	John Abbott
101306000810730531	2305 Pinon Encantada TRL NW	2301 Pinon Encantada Trl NW	Albuquerque	NM	87104	Anne Haines
10130600051930532	2309 Pinon Encantada TRL NW	2309 Pinon Encantada TRI NW	Albuquerque	NM	87104	Louis Hernandez
10120605111040404	2315 Pinon Encantada TRL NW	2315 Pinon Encantada TRL NW	Albuquerque	NM	87104	Paul Turner
101206486120402331	2200 Wilder LN NW	2200 Wilder LN NW	Albuquerque	NM	87104	Johnathon & Cindy McCormick
101206048912840243	2705 Rio Grande Blvd NW	17 B Bestview TRL	Edgewood	NM	87015	Najma Whatley
101206049013540244	2705 Rio Grande Blvd NW	P.O. Box 30145	Albuquerque	NM	87190	Robert San-Claire
101206049114140245	2709 Rio Grande Blvd NW	2709 Rio Grande Blvd	Albuquerque	NM	87104	Charles Jones
101206049814440246	2723 Rio Grande Blvd NW	2723 Rio Grande Blvd	Albuquerque	NM	87104	Robert & Laurel Clark
101206048610540231	2405 Iris NW	6721 Mariposa PL NW	Albuquerque	NM	87120	David Pacheco
101306000515630526	2718 Rio Grande Blvd NW	2718 Rio Grande Blvd NW	Albuquerque	NM	87104	Rolando & Emily Villegas
101306003015330524	2732 Rio Grande Blvd NW	2732 Rio Grande Blvd NW	Albuquerque	NM	87104	Edward Ordonez
101306004215130523	2744 Rio Grande Blvd NW	5803 Padre Robert Rd NW	Los Ranchos	NM	87107	Patrick & Melba Napoleone
101306003815231001	2306 Campbell RD NW	2306 Campbell RD NW	Albuquerque	NM	87104	Ronald & Margie Montoya
101306004513731004	3515 Campbell RD NW	3515 Campbell RD NW	Albuquerque	NM	87104	Daviel Geist
101306006300530604	2631 Matthew PL NW	2631 Matthew PL NW	Albuquerque	NM	87104	John Kelly
101306003410430603	2621 Matthew PL NW	2621 Matthew PL NW	Albuquerque	NM	87104	John Taylor
101306001715530525	2728 Rio Grande Blvd	2728 Rio Grande Blvd NW	Albuquerque	NM	87104	Alex Rodriguez



Property Owner
 P.O. Box 30145
 Albuquerque, NM 87139

Property Owner
 12 B Beckwith Trl
 Edgewood, NM 87015

Property Owner
 2200 Wilder Ln NW
 Albuquerque, NM 87104

Property Owner
 2315 Pinon Encantada Trl NW
 Albuquerque, NM 87104

imo
 D. Moss Goodman & Associates, PA
 Consulting Engineers

imo
 D. Moss Goodman & Associates, PA
 Consulting Engineers

imo
 D. Moss Goodman & Associates, PA
 Consulting Engineers

imo
 D. Moss Goodman & Associates, PA
 Consulting Engineers



Property Owner
 2716 Rio Grande Blvd NW
 Albuquerque, NM 87104

Property Owner
 6721 Mariposa Pl, NW
 Albuquerque, NM 87120

Property Owner
 2723 Rio Grande Blvd
 Albuquerque, NM 87104

Property Owner
 2709 Rio Grande Blvd
 Albuquerque, NM 87104

imo
 D. Moss Goodman & Associates, PA
 Consulting Engineers

imo
 D. Moss Goodman & Associates, PA
 Consulting Engineers

imo
 D. Moss Goodman & Associates, PA
 Consulting Engineers

imo
 D. Moss Goodman & Associates, PA
 Consulting Engineers



Property Owner
3515 Campbell RD NW
Albuquerque, NM 87104



Property Owner
2306 Campbell RD NW
Albuquerque, NM 87104



Property Owner
5803 Padre Robert Rd NW
Los Ranchos, NM 87107



Property Owner
2732 Rio Grande Blvd NW
Albuquerque, NM 87104



Property Owner
2631 Matthew Pl NW
Albuquerque, NM 87104



Property Owner
2611 Rio Grande Blvd
Albuquerque, NM 87104



Property Owner
2728 Rio Grande Blvd NW
Albuquerque, NM 87104



Property Owner
2621 Matthew Pl NW
Albuquerque, NM 87104





mg
 D. Mark Goodwin & Associates, PA
 Consulting Engineers
 601 BOYD BLVD., ALBUQUERQUE, NM 87104

Property Owner
 2309 Pinon Encantada TRI NW
 Albuquerque, NM 87104

mg
 D. Mark Goodwin & Associates, PA
 Consulting Engineers
 601 BOYD BLVD., ALBUQUERQUE, NM 87104



Property Owner
 2301 Pinon Encantada TRI NW
 Albuquerque, NM 87104



mg
 D. Mark Goodwin & Associates, PA
 Consulting Engineers
 601 BOYD BLVD., ALBUQUERQUE, NM 87104

Property Owner
 2301 Pinon Encantada TRI NW
 Albuquerque, NM 87104



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

January 28, 2019

Property Owner
Mailing Address
Albuquerque, NM 87104

Re: Cinnamon Morning Subdivision Preliminary Plat Request

Dear Property Owner,

Our firm represents Cinnamon Morning Development, LLC, who owns the property located at 2700 Rio Grande Blvd. On behalf of our client we are seeking approval for Preliminary Plat, Site Plan, Grading Plan, Sidewalk Variance, and Temporary Sidewalk Deferral from the Development Review Board at the City of Albuquerque.

As per the City of Albuquerque's Integrated Development Ordinance Section 14-16-6-4(K)(6), our firm is required to inform home owners within 100' of the property that we are making such application, thus the reason for this letter.

The purpose of the Preliminary Plat submittal is to subdivide this 2.5 acre parcel into 8 lots, of which 1.9 acres will be separated from the existing dwelling (Lot 8) and developed into 7 additional single family residences.

The 1.9 acres is to be developed in accordance with the City's Integrated Development Ordinance, which is identified as a "private cluster dwelling development". The site will consist of a larger private common open space area, one public / private street, and 7 lots for single family homes.

A request is also being made for sidewalk waiver on the north side of the internal street and deferral of sidewalk construction on the south side of the internal street. The deferred sidewalk will be constructed during the time each individual home is being constructed on each lot.

A copy of the Preliminary Plat and Zone Atlas Map have been enclosed for further information.

We anticipate the DRB hearing to be held on February 27th, beginning at 9am, located at Plaza del Sol, 600 Second Street SW, 87102. However, we strongly encourage you to check the City's website at <http://www.cabq.gov/planning/boards-commissions/development-review-board/development-review-board-agenda-archives> to verify the date and time before attending the hearing.

For further information, please contact Diane Hoelzer of our office at 828-2200 or diane@goodwinengineers.com.

Sincerely,
MARK GOODWIN & ASSOCIATES, PA

Kay Brashear
Office Manager

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: Cinnamon Morning Development, LLC DATE OF REQUEST: 01/21/19 ZONE ATLAS PAGE(S): G-12/G-13

CURRENT:

ZONING R-A
PARCEL SIZE (AC/SQ. FT.) 2.5 Ac

LEGAL DESCRIPTION:

LOT OR TRACT # 3A, Alvarado Gardens Unit 1 BLOCK # _____
SUBDIVISION NAME Cinnamon Morning Subdivision

REQUESTED CITY ACTION(S):

ANNEXATION []
ZONE CHANGE []: From _____ To _____
SECTOR, AREA, FAC, COMP PLAN []
AMENDMENT (Map/Text) []

SITE DEVELOPMENT PLAN:

SUBDIVISION* [X] AMENDMENT []
BUILDING PERMIT [] ACCESS PERMIT []
BUILDING PURPOSES [] OTHER []

*includes platting actions

PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT []
NEW CONSTRUCTION [X]
EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION:

OF UNITS: 8
BUILDING SIZE: 2250 (sq. ft.)

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE Diane Hoelzer, PE DATE 1/21/19

(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2nd St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO [X] BORDERLINE []

THRESHOLDS MET? YES [] NO [X] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []

Notes:

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**



TRAFFIC ENGINEER

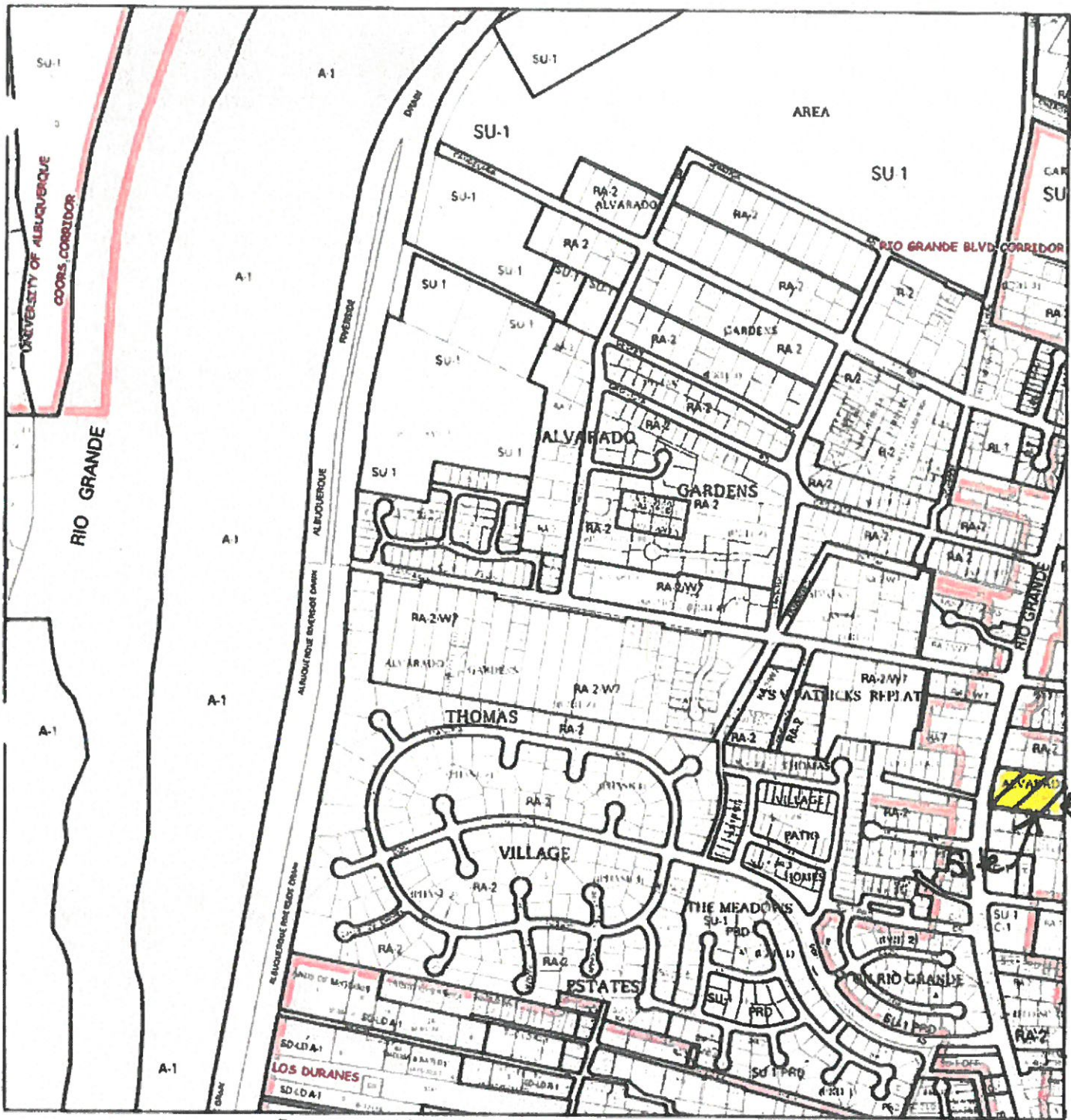
1/22/19

DATE

Required TIS **must be completed prior to applying to the EPC and/or the DRB.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / /
-FINALIZED / / TRAFFIC ENGINEER _____ DATE _____

Revised January 20, 2011



For more current information and details visit <http://www.cabq.gov/gis>

Map amended through: 1/28/2016

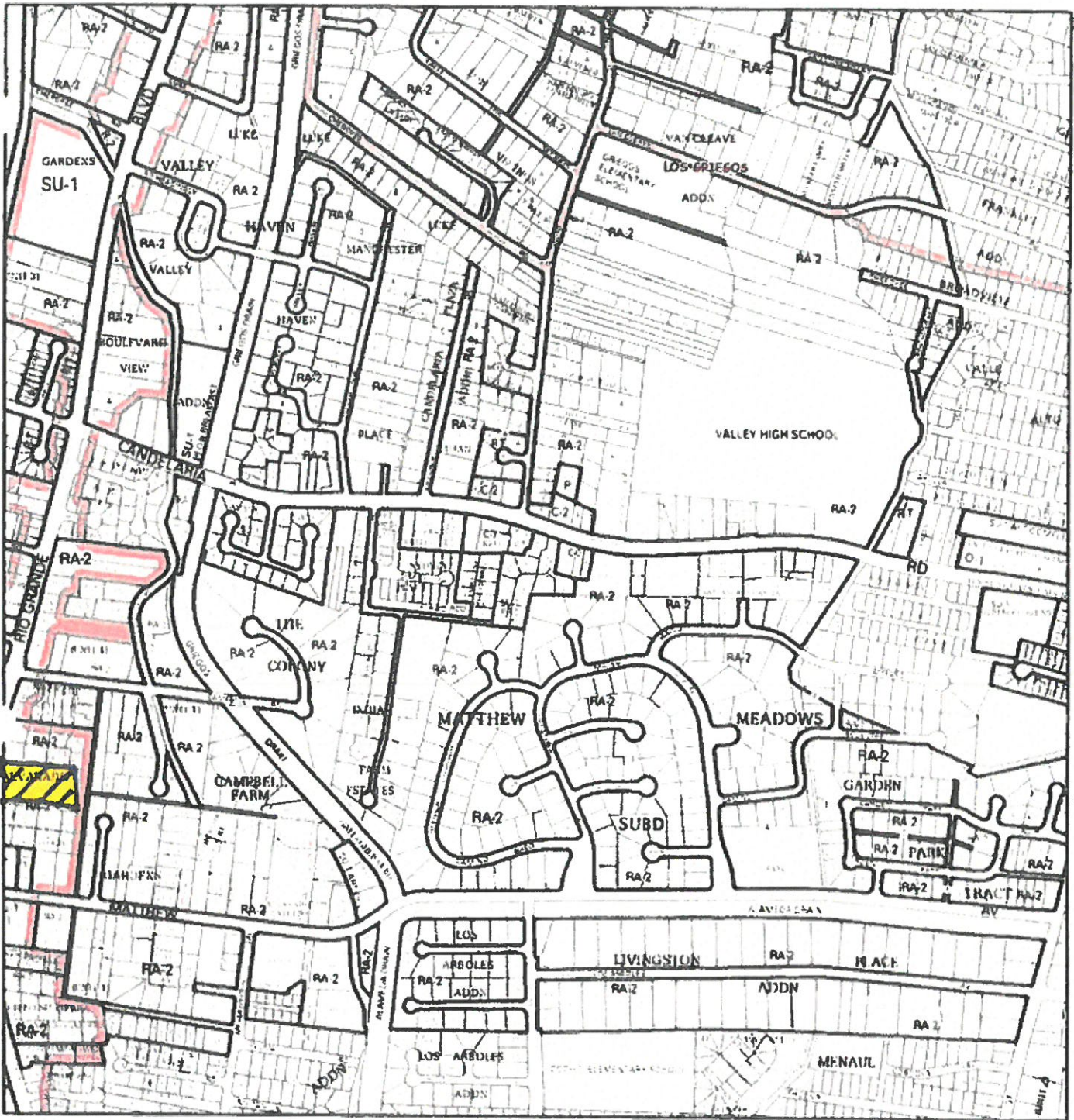
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page.
G-12-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

0 750 1,500 Feet



For more current information and details visit <http://www.cabq.gov/gis>

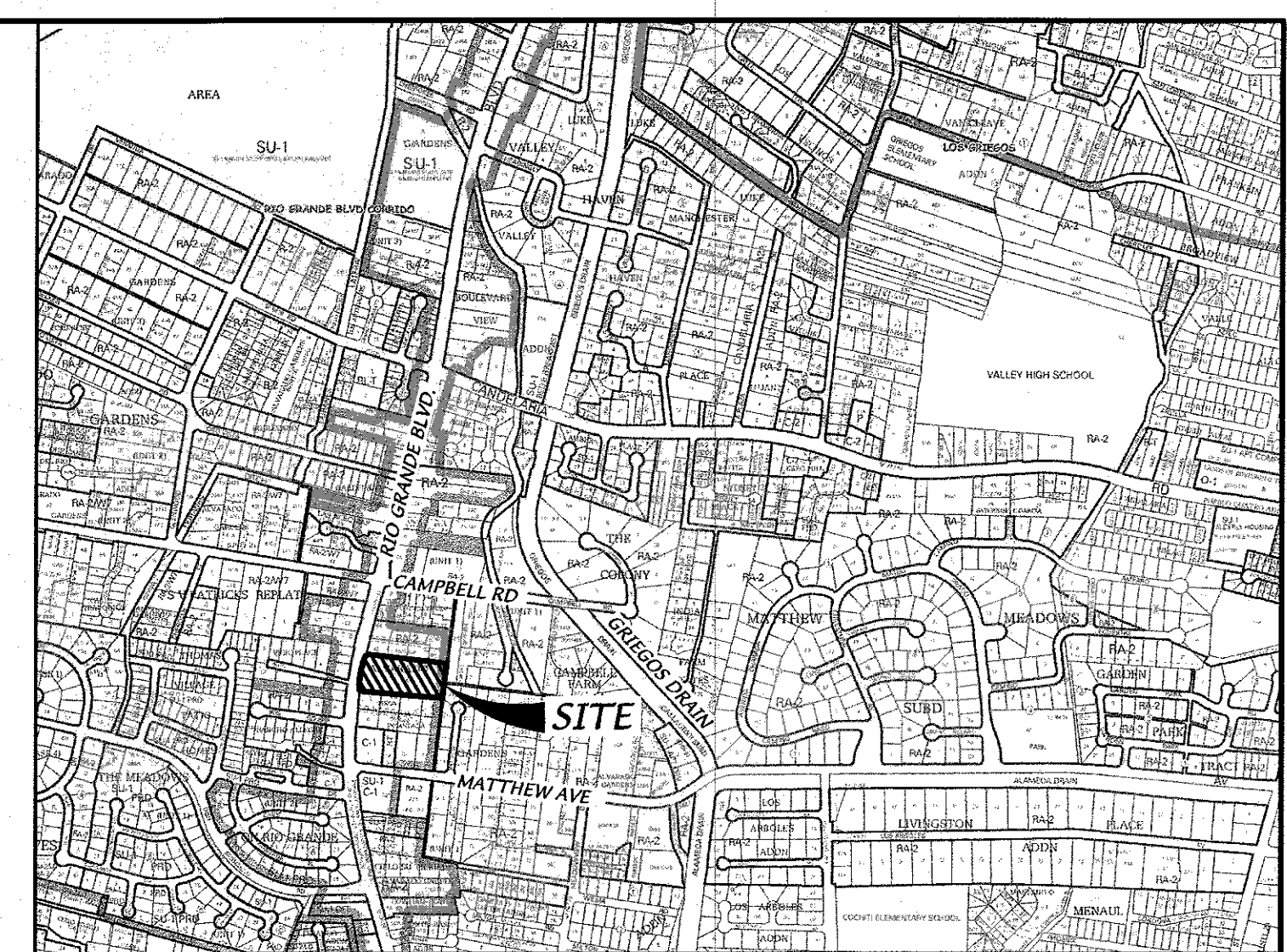
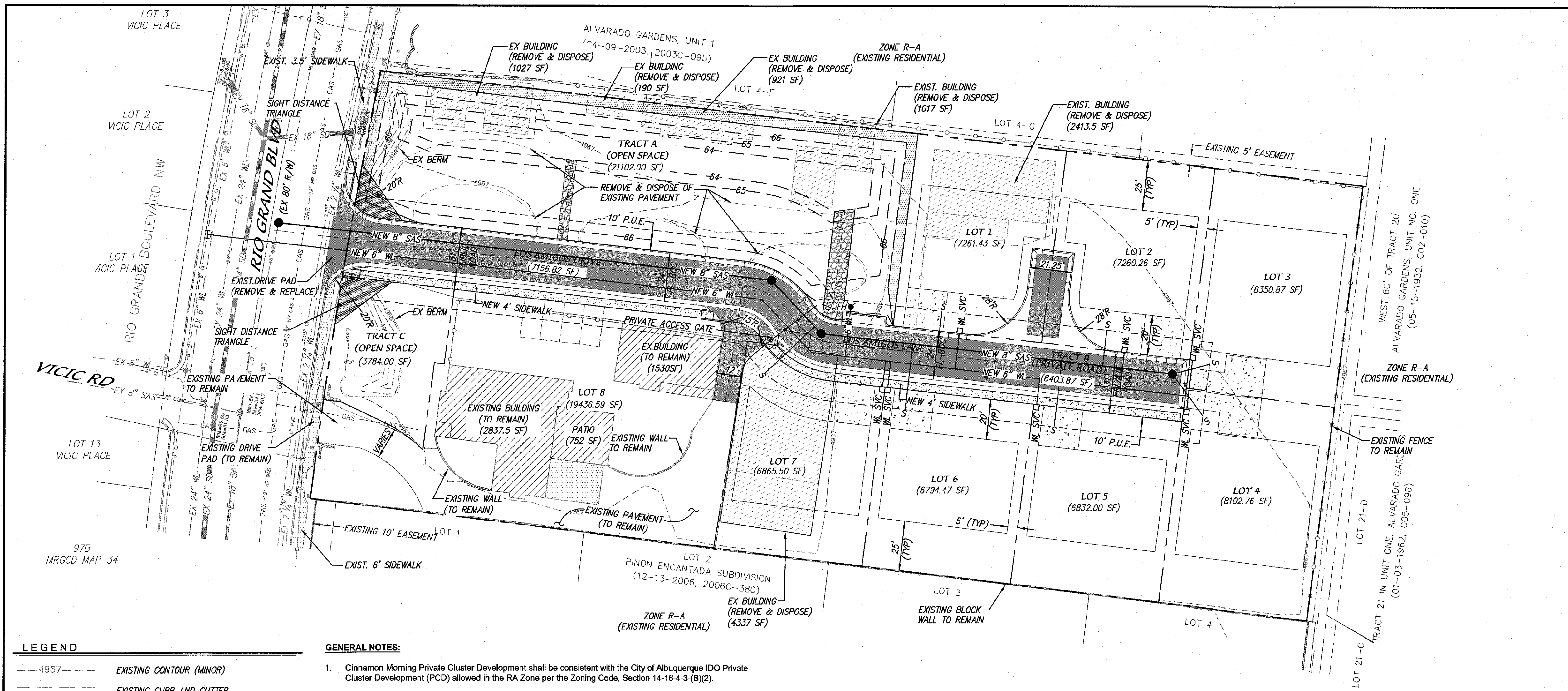
Map amended through: 1/28/2016

Note: Gray Shading Represents Area Outside of the City Limits

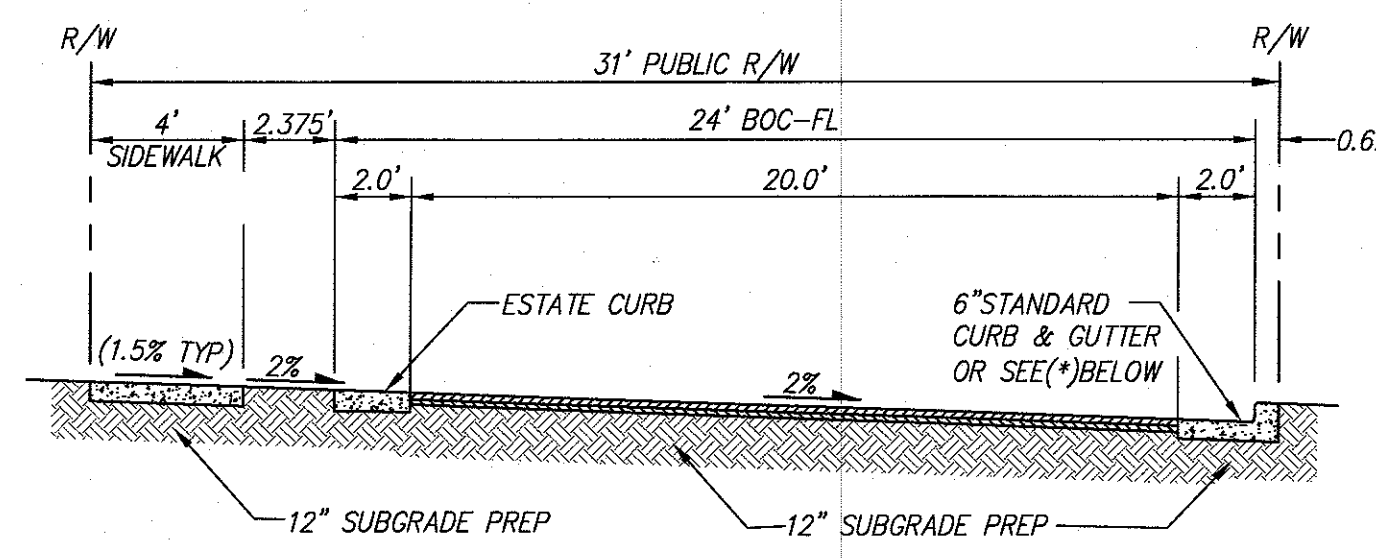
Zone Atlas Page:
G-13-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Well Overlay Zone



VICINITY MAP () ZONE ATLAS: G-12-Z & G-13-Z



STREET SECTION DETAIL

LEGEND

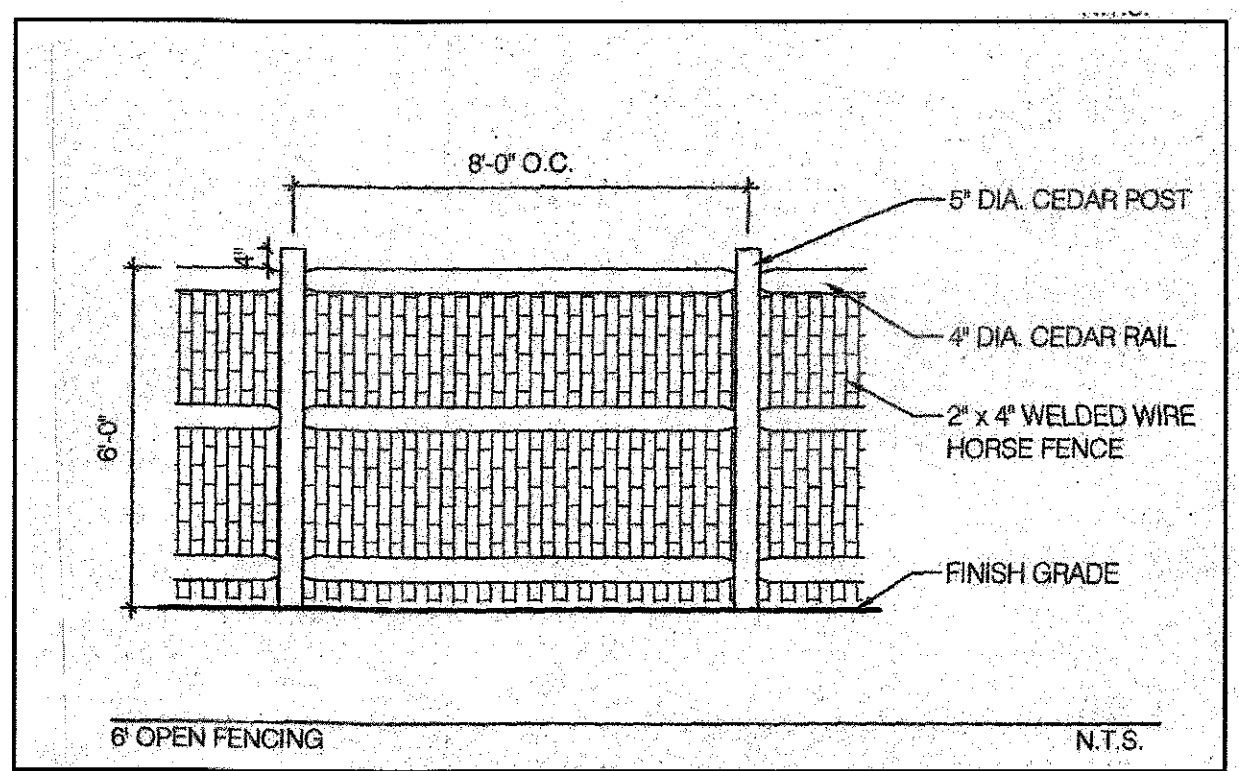
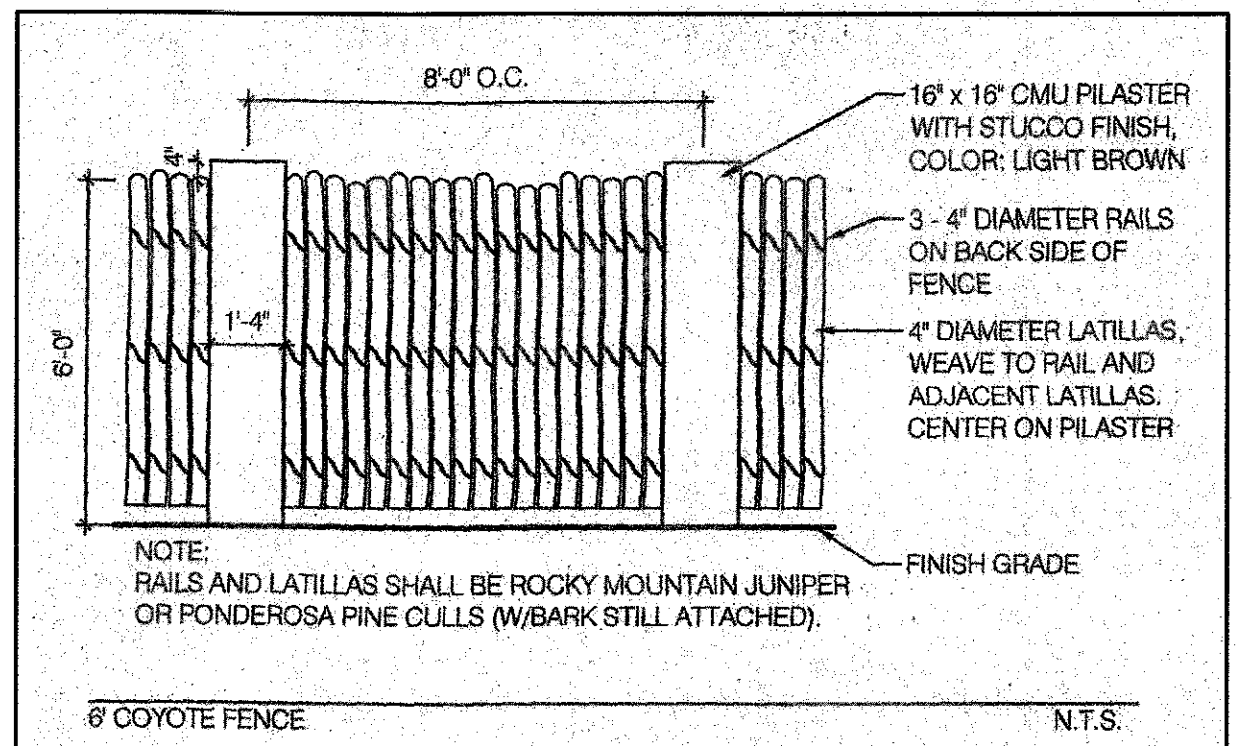
- 4967 --- EXISTING CONTOUR (MINOR)
- --- EXISTING CURB AND GUTTER
- --- EXISTING CONCRETE
- --- EXISTING WALL
- --- EXISTING FENCE - IRON PIPE/CHAIN LINK
- --- EXISTING TOP CURB/FLOW LINE
- x 65.00 EXISTING SPOT ELEVATION
- --- EXISTING SANITARY SEWER MANHOLE
- --- EXISTING SANITARY SEWER CLEANOUT
- --- EXISTING STORM DRAIN MANHOLE
- --- EXISTING CATCH BASIN/DROP INLET
- --- EXISTING OVERHEAD ELECTRIC/UTILITY LINE
- --- EXISTING POLE
- --- EXISTING ANCHOR
- --- EXISTING ELECTRIC TRANSFORMER/PEDESTAL
- --- EXISTING WATER VALVE
- --- EXISTING FIRE HYDRANT
- --- EXISTING WATER METER
- --- EXISTING SIGN
- --- EXISTING BOLLARD
- --- EXISTING TELEPHONE/FIBER OPTIC PEDESTAL
- --- NEW SANITARY SEWER MANHOLE
- --- NEW SANITARY SEWER SERVICE LINE
- --- NEW SANITARY SEWER LINE
- --- NEW FIRE HYDRANT
- --- NEW WATERLINE
- --- NEW WATER SERVICE LINE
- --- NEW LOT/PROPERTYLINE
- --- NEW SIDEWALK
- --- NEW PAVEMENT
- --- EXISTING BUILDING TO REMAIN
- --- EXISTING BUILDING (REMOVE & DISPOSE)
- --- NEW SIGHT DISTANCE TRIANGLE

GENERAL NOTES:

1. Cinnamon Morning Private Cluster Development shall be consistent with the City of Albuquerque IDO Private Cluster Development (PCD) allowed in the RA Zone per the Zoning Code, Section 14-16-4-3-(B)(2).
2. The number of lots allowed in the PCD is determined by dividing the site area by the minimum lot size permitted in the underlying zone and rounded to the nearest whole number. This property is zoned R-A, with a minimum size of 10,890 SF per lot. The gross site area of the site is 109,348.67 SF (2.5103 acres). The portion of the site that will consist of the private cluster development is 1.8998 acres (82,757.2 SF) The number of lots allowed at Cinnamon Morning Cluster Development are as follows:
 $82,757.2 / 10,890 = 7.6$ Lots
The number Lots proposed for Cinnamon Morning Cluster Development is 7.
3. All lots in Cinnamon Morning Cluster Development shall be developed for single-family detached dwelling units. The minimum setbacks for the PCD are as follows:
Front: 15 feet, as measured from Tract B (private road), except driveways shall not be less than 20 linear feet.
Rear: 25 feet
Side: 10 feet between building structure, or 5' to property line (typical).
4. The cluster development project site shall include a common open space set aside for agriculture landscaping, on-site ponding, outdoor recreation, or any other combination thereof allowed in the zone district, and for the use and enjoyment of the HOA residents.
5. The common open space area shall be 30 percent of the gross area of the cluster development project site or 100 percent of the area gained through lots size reduction, whichever is greater. The two methods for calculating the minimum provide open space area is found in the adjacent table, this sheet.
6. The minimum private common open space area required is 24,827.1 SF. The private common open space provided is 24,865 SF (Tract A and C).
7. The common open space may be walled or fenced but shall be partially visible from Rio Grande Blvd. public right of way through openings in, and/or with trees visible above the wall or fence.
8. Maintenance of the common open space area shall be the responsibility of the cluster development Homeowners Association. Tract A and C will be dedicated to the H.O.A.
9. The cluster development site's common open space area is set aside for agriculture, landscaping, on-site ponding, outdoor recreation, or possible combination of one or more.
10. If the responsible property owners (H.O.A.) fail or refuse to act on maintenance obligations as set forth in the land use easement, the City of Albuquerque shall have the authority to perform such maintenance as necessary to protect public health and safety. Under no circumstance will the City maintain the private cluster open space (PCOS) area for a period longer than one (1) year. The cost of such maintenance shall be assessed against the properties within Cinnamon Morning Cluster Development. Failure to pay assessed charges may result in a municipal lien against each of the individual lots at Cinnamon Morning Cluster Development. Under no circumstances will the City maintain recreational uses.
11. The fencing adjacent to the PCOS (Tract A and C), along Rio Grande Blvd boundary shall maintain public view of the PCOS.
12. Stormwater runoff from the cluster development shall be conveyed to the private Tract A through surface drainage.
13. There shall be no sidewalk provided along the north side of Los Amigos Drive or Lane. A sidewalk waiver shall be required by the Development Review Board (DRB).
14. Onsite pavement will consist of 3" A.C. over 12" subgrade preparation.
15. This project will be constructed in one phase.

Lot ID #	Lot Size Gross SF	Minimum Required SF	Actual Deficit SF	Tracts A & C Open Space	Private Drive (Tract B)
1	7261.43	10890.00	-3628.57	Lot 1	7261.43
2	7260.26	10890.00	-3629.74	Lot 2	7260.26
3	8350.87	10890.00	-2539.13	Lot 3	8350.87
4	8102.76	10890.00	-2787.24	Lot 4	8102.76
5	6832.00	10890.00	-4058.00	Lot 5	6832.00
6	6794.47	10890.00	-4095.53	Lot 6	6794.47
7	6865.50	10890.00	-4024.50	Lot 7	6865.50
				Total	82757.2
				Acres	1.900
				30% Total	24827.1

Private Cluster Open Space Rule for Cluster Development 14-16-4-3-B(2)(d)1:
The Common open space area shall be 30% of the gross area of the project site or 100% of the area gained through lot size reductions, whichever is greater (=26,679.49 SF).



ENGINEERS

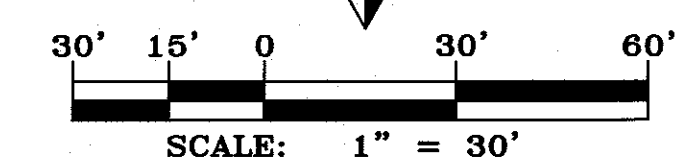
D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200

SURVEYOR

ALDRICH LAND SURVEY
P.O. BOX 30701
ALBUQUERQUE, N.M. 87190-0701
(505) 884-1990

OWNERS

CINNAMON MORNING BED AND BREAKFAST
2700 RIO GRAND BLVD NE
ALBUQUERQUE, NEW MEXICO



SCALE: 1" = 30'

APPLICATION NUMBER: _____
PROJECT NUMBER: _____

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE DEVELOPMENT REVIEW BOARD (DRB), DATED 11-30-18, AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO. IF YES, THEN SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

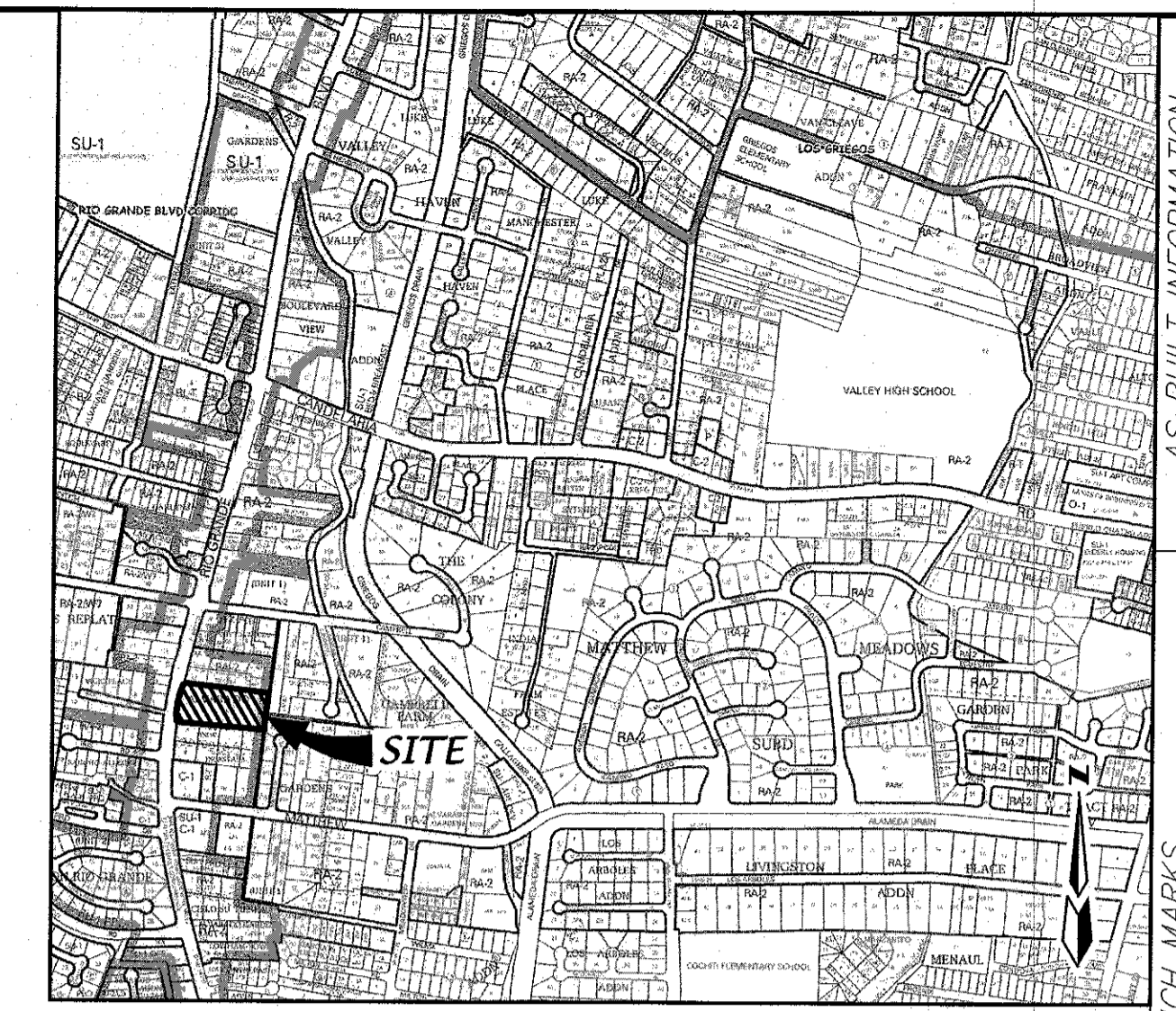
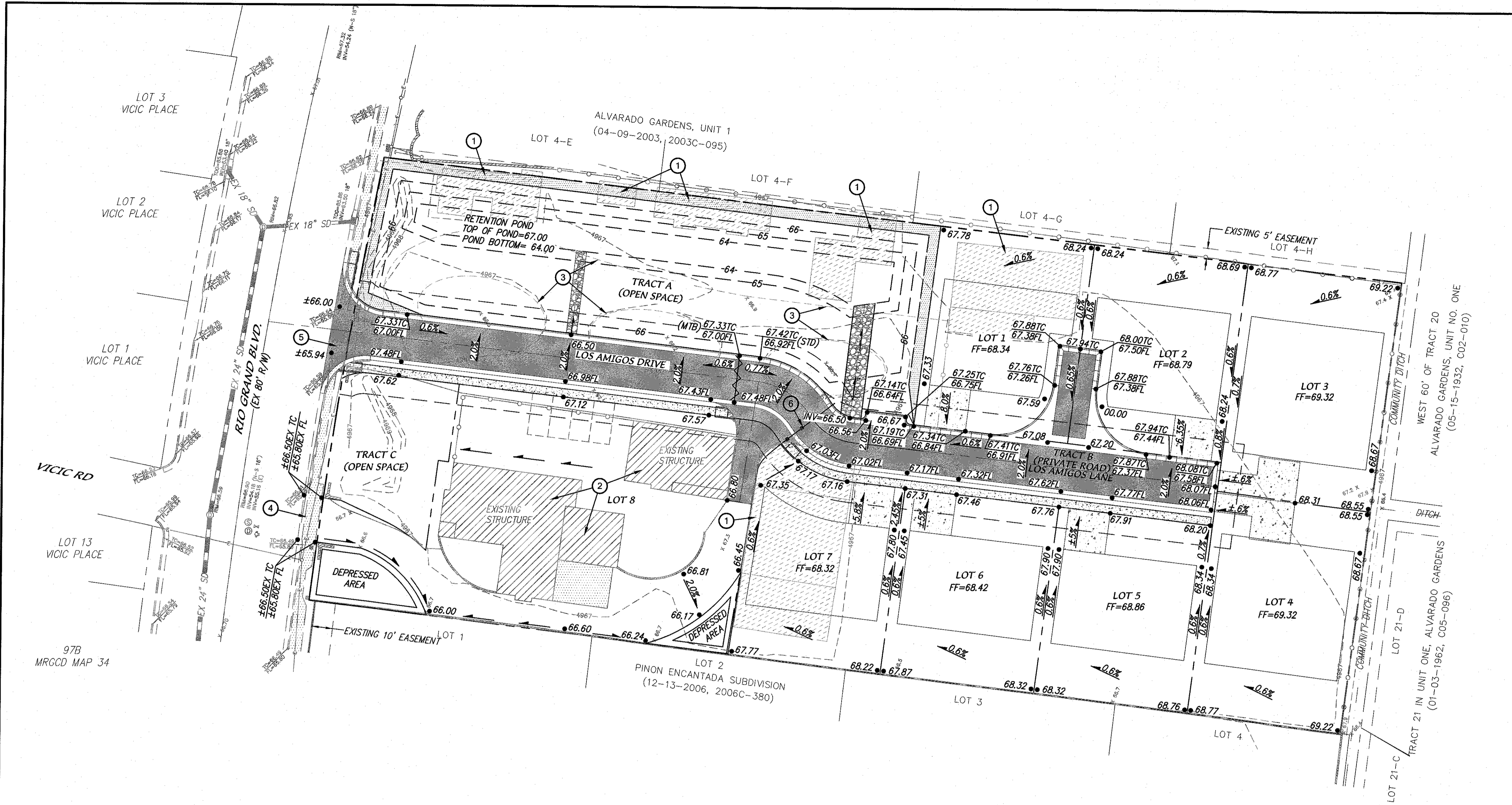
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

- Traffic Engineering, Transportation Division _____ Date _____
- ABCWUA _____ Date _____
- Parks and Recreation Department _____ Date _____
- City Engineer _____ Date _____
- Solid Waste Management _____ Date _____
- DRB Chairperson, Planning Department _____ DATE _____

SITE DEVELOPMENT PLAN and UTILITY PLAN for CINNAMON MORNING CLUSTER DEVELOPMENT

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: DMG Drawn: DER Checked: DMG Sheet 1 of 2
Scale: AS SHOWN Date: 02/01/2019 Job: A16051



LEGAL DESCRIPTION

A TRACT OF LAND SITUATE WITHIN PROJECT SECTION 1 & 6, TOWNSHIP 10 NORTH, RANGE 2 & 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO BEING ALL OF LOT 3A, ALVARADO GARDENS AS SHOWN AND DESIGNATED ON SAID PLAT FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO AND CONTAINS 2.617 ACRES MORE OR LESS.

NOTES

- CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
- CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
- THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
- THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.
- SITE DOES NOT LIE IN A 100 YEAR FLOOD ZONE.
- ALL SITE WALLS SHALL CONFORM TO THE GENERAL HEIGHT AND DESIGN REGULATIONS CONTAINED IN SECTION 14-16-3-19 OF THE CITY ZONING CODE.

GRADING AND DRAINAGE PLAN

EXISTING CONDITIONS - PROJECT SITE IS BASICALLY FLAT. RAINFALL ON THE SITE REMAINS ON THE SITE. NO OFFSITE RUNOFF ENTERS THE SITE FROM ANY DIRECTION. THERE ARE A COUPLE OF DEPRESSION AREAS ON SITE THAT COLLECT RUNOFF FROM THE SITE.

PROPOSED CONDITIONS - RUNOFF FROM EACH OF THE 7 LOTS IN THE CLUSTER DEVELOPMENT WILL FLOW TO THE STREET AND BE CONVEYED AS SURFACE STREET RUNOFF TO THE OPEN SPACE RETENTION POND ON TRACT A. THE RETENTION POND IS DESIGNED FOR THE 100 YEAR-10 DAY STORM VOLUME WHICH IS 15,345 CU.FT. THE MAXIMUM WATER SURFACE ELEVATION AT THIS VOLUME IS 4966.0 FEET.

LANDSCAPE BUFFER NOTES:

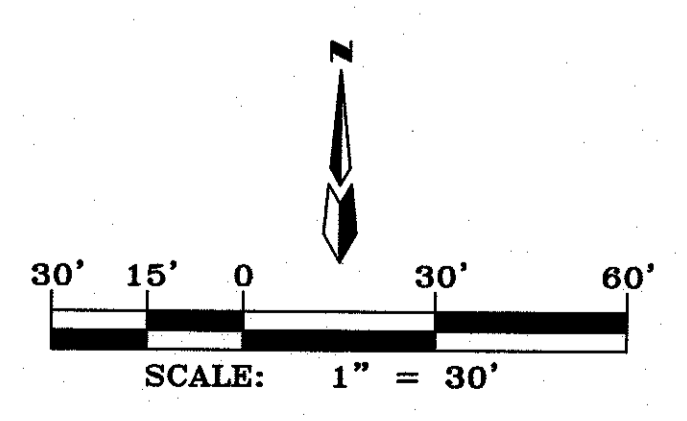
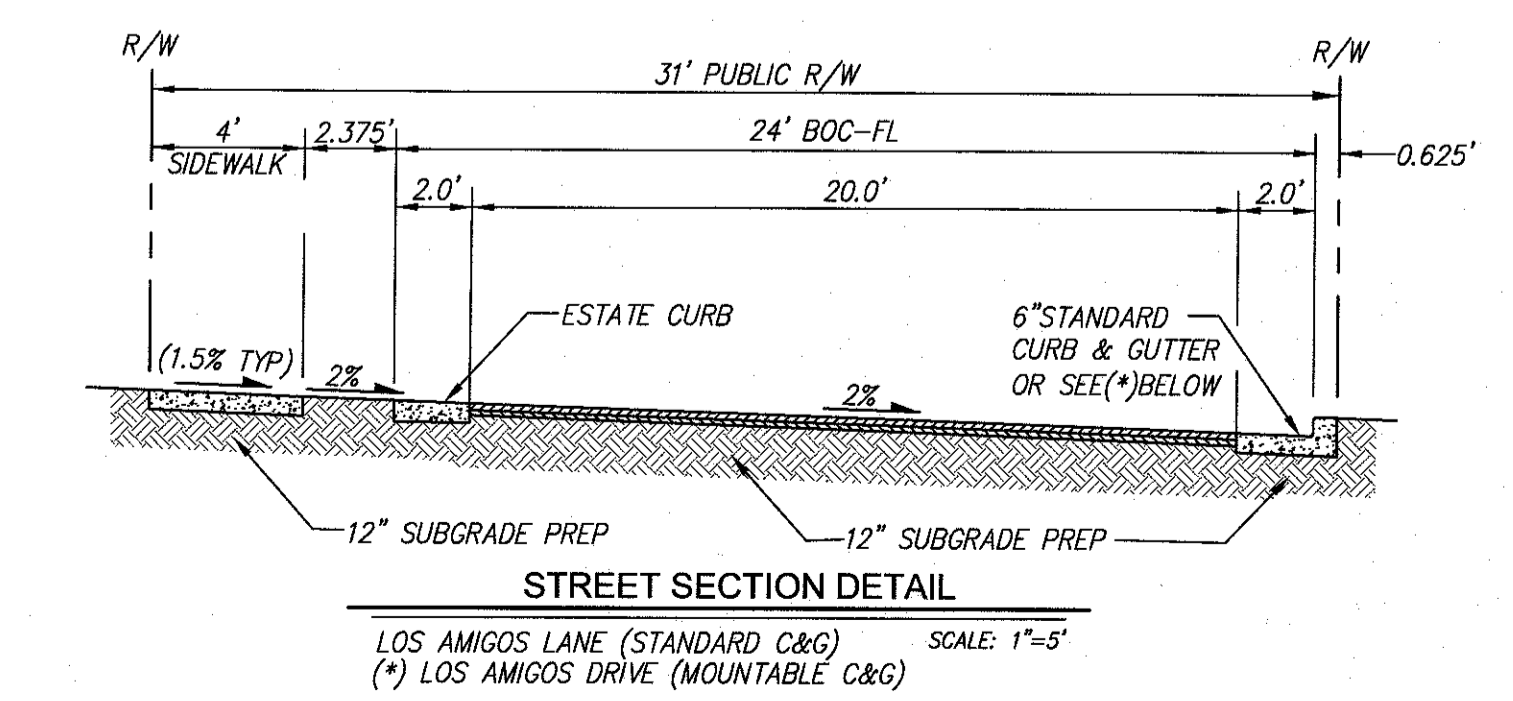
- FINAL GRADE OF DIRT TO BE 1 TO 2 INCHES BELOW TOP OF CURB AND TOP OF SIDEWALK GRADE.
- SURFACE BETWEEN BACK OF CURB AND SIDEWALK TO BE COVERED WITH GRAVEL MULCH (MINIMUM 3/4") OR LANDSCAPE COBBLES. DO NOT FILL ENTIRE SWALE.
- LANDSCAPE FABRIC IS RECOMMENDED, BUT NOT REQUIRED, BETWEEN THE DIRT AND THE STONE. IF LANDSCAPE FABRIC IS TO BE USED IT IS TO BE PERMEABLE.

LEGEND

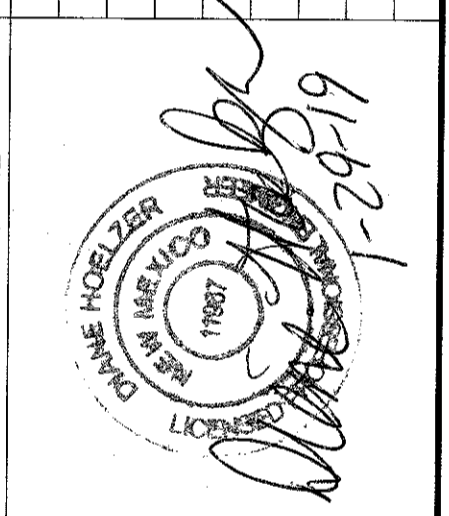
---	EXISTING CONTOUR (MINOR)	○	EXISTING BOLLARD
---	EXISTING CURB AND GUTTER	○	EXISTING TELEPHONE/FIBER OPTIC PEDESTAL
---	EXISTING CONCRETE	---	NEW ESTATE/MOUNTABLE CURB & GUTTER
---	EXISTING WALL	---	NEW 6" STANDARD CURB & GUTTER
---	EXISTING FENCE - IRON PIPE/CHAIN LINK	---	NEW LOT/PROPERTYLINE
---	EXISTING TOP CURB/FLOW LINE	---	NEW SIDEWALK
x 85.00	EXISTING SPOT ELEVATION	←	NEW FLOW DIRECTION ARROW
○	EXISTING SANITARY SEWER MANHOLE	0.7%	NEW SLOPE
○	EXISTING SANITARY SEWER CLEANOUT	● 66.60	NEW SPOT ELEVATION
○	EXISTING STORM DRAIN MANHOLE	66.96TC	NEW TOP OF CURB ELEVATION
○	EXISTING CATCH BASIN/DROP INLET	66.46FL	NEW FLOWLINE ELEVATION
---	EXISTING OVERHEAD ELECTRIC/UTILITY LINE	FF=68.79	NEW FINISHED FLOOR ELEVATION
○	EXISTING POLE	---	NEW PAVEMENT
---	EXISTING ANCHOR	---	EXISTING BUILDING TO REMAIN
---	EXISTING ELECTRIC TRANSFORMER/PEDESTAL	---	EXISTING BUILDING (REMOVE & DISPOSE)
---	EXISTING WATER VALVE	---	WATERBLOCK
---	EXISTING FIRE HYDRANT	---	
---	EXISTING WATER METER	---	
---	EXISTING SIGN	---	

KEYED NOTES:

- EXISTING STRUCTURE TO BE REMOVED & DISPOSED
- EXISTING STRUCTURE TO REMAIN
- EXISTING PAVEMENT TO BE REMOVED & DISPOSED
- EXISTING DRIVE PAD TO REMAIN
- EXISTING DRIVE PAD TO BE REMOVED & DISPOSED
- NEW ACCESS GATE FOR PRIVATE ROADWAY



AS BUILT INFORMATION		BENCH MARKS		CONTRACTOR		WORKED BY		INSPECTORS		ACCEPTANCE BY		DRAWINGS		MICRO-FILM INFORMATION	
NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE



dmg MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT

TITLE: **SITE DEVELOPMENT PLAN
CINNAMON MORNING CLUSTER DEVELOPMENT
GRADING & DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. _____ ZONE MAP NO. **G-12/G-13** SHEET **2** OF **2**


DESIGNED BY **DLH** DATE **09/18**
DRAWN BY **DER** DATE **09/18**
CHECKED BY **DMG** DATE **09/18**

SITE PLAN CHECKLIST

Project #: 1011642 Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.



Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - 3. On street parking spaces
- B. Bicycle parking & facilities
 - 1. Bicycle racks – location and detail
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.

E. Off-Street Loading

- 1. Location and dimensions of all off-street loading areas

F. Vehicle Stacking and Drive-Through or Drive-Up Facilities

- 1. Location and dimensions of vehicle stacking spaces and queuing lanes
- 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
- 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

A. Locate and identify adjacent public and private streets and alleys.

- 1. Existing and proposed pavement widths, right-of-way widths and curve radii
- 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
- 3. Location of traffic signs and signals related to the functioning of the proposal
- 4. Identify existing and proposed medians and median cuts
- 5. Sidewalk widths and locations, existing and proposed
- 6. Location of street lights
- 7. Show and dimension clear sight triangle at each site access point
- 8. Show location of all existing driveways fronting and near the subject site.

B. Identify Alternate transportation facilities within site or adjacent to site

- 1. Bikeways and bike-related facilities
- 2. Pedestrian trails and linkages
- 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- NA 7. Identify type, location and size of plantings (common and/or botanical names).
 - NA A. Existing, indicating whether it is to preserved or removed.
 - NA B. Proposed, to be established for general landscaping.
 - NA C. Proposed, to be established for screening/buffering.
- NA 8. Describe irrigation system – Phase I & II . . .
- NA 9. Planting Beds, indicating square footage of each bed
- NA 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- NA 11. Responsibility for Maintenance (statement)
- NA 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- NA 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- NA 14. Planting or tree well detail
- NA 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- NA 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- NA 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS (N.A.)

A. General Information

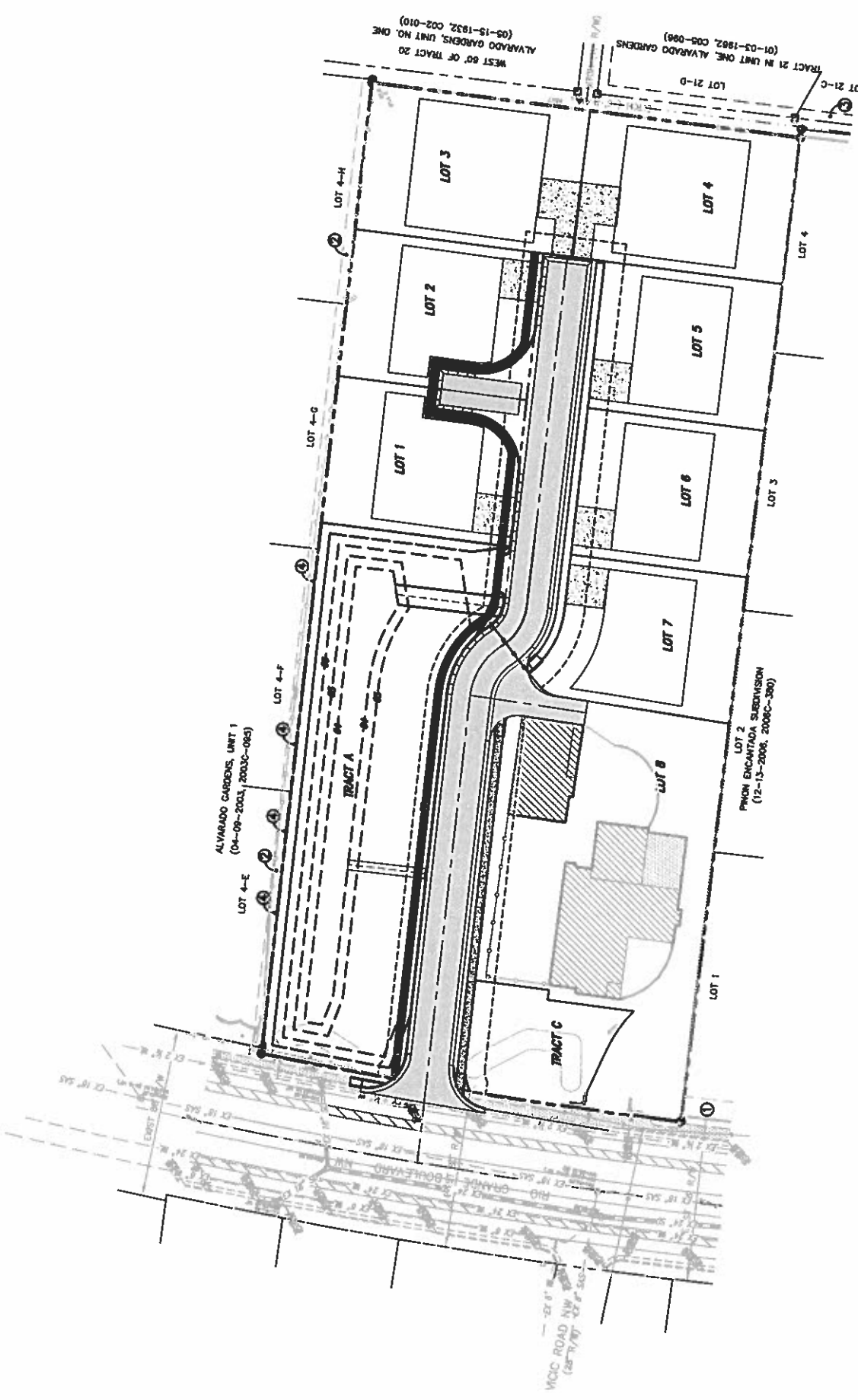
- NA A. Scale
- NA B. Bar Scale
- NA C. Detailed Building Elevations for each facade
 - NA 1. Identify facade orientation
 - NA 2. Dimensions of facade elements, including overall height and width
 - NA 3. Location, material and colors of windows, doors and framing
 - NA 4. Materials and colors of all building elements and structures
 - NA 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- NA 1. Site location(s)
- NA 2. Sign elevations to scale
- NA 3. Dimensions, including height and width
- NA 4. Sign face area - dimensions and square footage clearly indicated
- NA 5. Lighting
- NA 6. Materials and colors for sign face and structural elements.
- NA 7. List the sign restrictions per the IDO

CINNAMON MORNING
SIDEWALK WAIVER EXHIBIT
1-15-19

WAIVERED SIDEWALK



CINNAMON MORNING
 DEFERRED SIDEWALK EXHIBIT
 1-15-19

DEFERRED SIDEWALK

