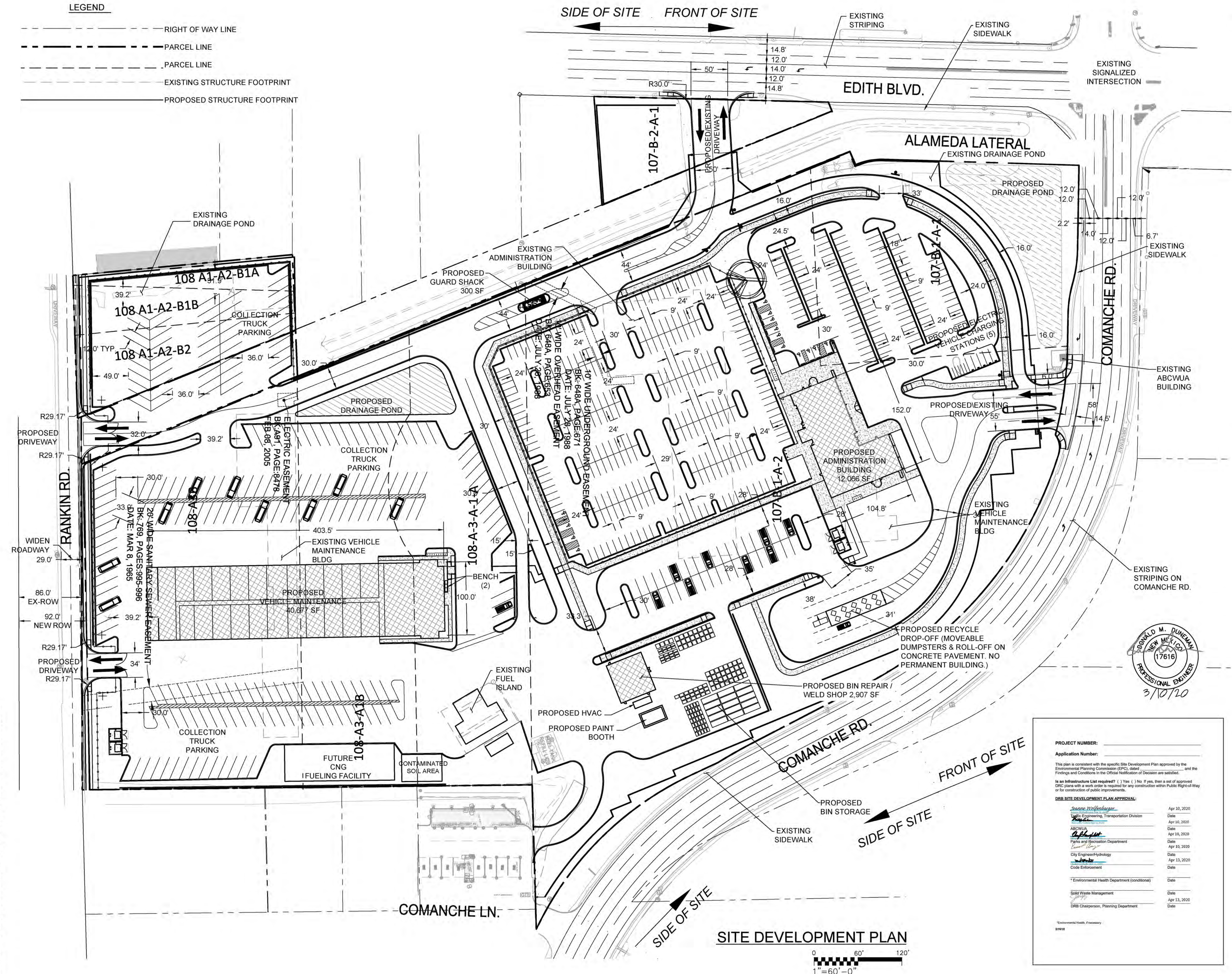


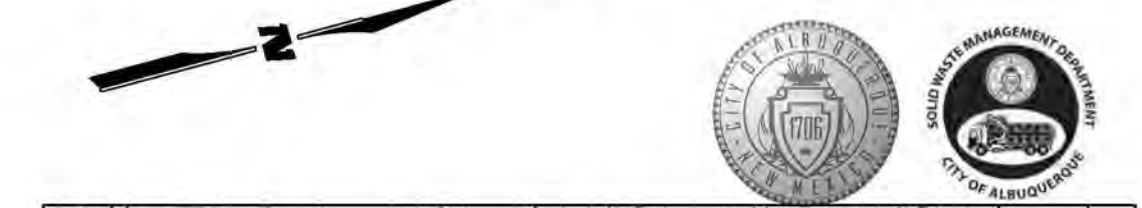
LEGEND

- - - - - RIGHT OF WAY LINE
- - - - - PARCEL LINE
- - - - - PARCEL LINE
- - - - - EXISTING STRUCTURE FOOTPRINT
- - - - - PROPOSED STRUCTURE FOOTPRINT

SIDE OF SITE FRONT OF SITE



SWMD Maintenance & Administration Building Project
 City of Albuquerque
 Department of Municipal Development
 Solid Waste Maintenance Department



SITE DATA
LEGAL DESCRIPTION: ALL OR A PORTION OF A NORTHERLY PORTION OF TRACT 107B1A1, TRACT 107B1A2 EXCLUDING PORTION TO RIGHT-OF-WAY & EXCLUDING A NORTHERLY PORTION, TRACT 107B1A2 EXCLUDING PORTION TO RIGHT-OF-WAY, TRACT IN THE SW CORNER-TRACT 107B1B, TRACT 108A3A1A, TRACT 108A3A1B, AND TRACT 108A3B, TRACTS 108A1A2B1B & 108A1A2B2, TRACT 108A1A2B1A, TRACT 107B2A2 EXCLUDING PORTION TO THE RIGHT-OF-WAY, TRACT 107B2A1 EXCLUDING PORTION TO THE RIGHT-OF-WAY, MRGCD MAP #33

ZONING:
 EXISTING ZONING: NR-LM Non-Residential Light Manufacturing

SITE AREA: APPROXIMATELY 21.97 ACRES

PROPOSED USE: VEHICLE MAINTENANCE BUILDING; ADMINISTRATION BUILDING; RECYCLING DROP-OFF AREA; WELD SHOP & BIN REPAIR BUILDING; BIN STORAGE AREA; GUARD SHACK; FUEL ISLAND (EXISTING); CNG FUELING FACILITY; PARKING FOR VISITORS/EMPLOYEES, LIGHT DUTY TRUCKS AND COLLECTION TRUCKS; AND DRAINAGE PONDS.

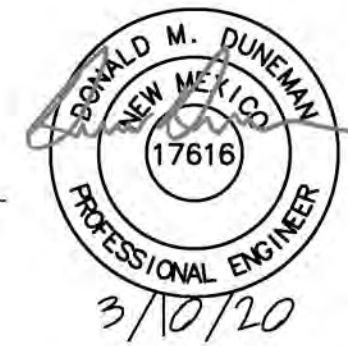
PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:
VEHICULAR ACCESS & CIRCULATION: THE PROPOSED DEVELOPMENT WILL CONTINUE TO USE THE EXISTING SITE ACCESS TO EDITH BOULEVARD, COMANCHE ROAD, AND RANKIN ROAD. ADMINISTRATION BUILDING EMPLOYEES AND VISITORS WILL ENTER/EXIT THE SITE FROM COMANCHE ROAD. VEHICLE MAINTENANCE AND COLLECTION TRUCK DRIVER EMPLOYEES WILL ENTER THE SITE FROM COMANCHE ROAD OR EDITH BOULEVARD, AND EXIT THE SITE FROM EDITH BOULEVARD. LIGHT DUTY TRUCKS (SWMD WHITE FLEET) WILL ENTER/EXIT THE SITE FROM RANKIN ROAD OR EDITH BOULEVARD. DELIVERY TRUCKS WILL ENTER/EXIT THE SITE FROM RANKIN ROAD OR EDITH BOULEVARD. RECYCLE DROP-OFF CUSTOMERS WILL ENTER/EXIT THE SITE FROM COMANCHE ROAD. ALL ACCESS POINTS ARE FULL ACCESS.

PEDESTRIAN ACCESS: THE PROPOSED DEVELOPMENT'S PEDESTRIAN ACCESS INTO THE SITE WILL BE FROM COMANCHE ROAD. SIDEWALK AND BICYCLE LANES EXIST ON COMANCHE ROAD, AND SIDEWALK AND BICYCLE ROUTE EXISTS ON EDITH BOULEVARD.

INTERNAL CIRCULATION: SEE SITE CIRCULATION EXHIBIT.

MAXIMUM BUILDING HEIGHTS AND SETBACKS: MAXIMUM BUILDING HEIGHTS FOR ALL BUILDINGS SHALL BE PER THE NR-LM ZONE.

PHASING: PROPOSED DEVELOPMENT WILL BE CONSTRUCTED SO AS TO MAINTAIN SOLID WASTE DEPARTMENT OPERATIONS DURING CONSTRUCTION. THE PROPOSED VEHICLE MAINTENANCE BUILDING WILL BE CONSTRUCTED FIRST. STAFF AND OPERATIONS WILL BE MOVED INTO THIS NEW FACILITY. THE REMAINDER OF THE PROPOSED DEVELOPMENT WILL THEN BE CONSTRUCTED.



PROJECT NUMBER: _____
Application Number: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>Janice Wolfenbarger</i>	Apr 10, 2020
Public Engineering, Transportation Division	Apr 10, 2020
ABCVWA	Apr 10, 2020
Parks and Recreation Department	Apr 10, 2020
City Engineering/Inspection	Apr 13, 2020
Code Enforcement	_____
*Environmental Health Department (conditional)	_____
Solid Waste Management	Apr 13, 2020
DRB Chairperson, Planning Department	_____

*Environmental Health, Fee Waiver
 3/10/20

SITE PLAN DRB

JRMA
ARCHITECTS ENGINEERS
 JR MILLER & ASSOCIATES
 2700 SATURN STREET
 BREA, CA 92821
 714-524-1870

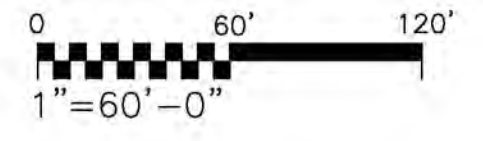
WILSON & COMPANY
ARCHITECTS ENGINEERS
 WILSON & COMPANY, INC.
 4401 MASTHEAD ST NE
 ALBUQUERQUE, NM 87109
 505-348-4000

DECEMBER 10, 2019
SHEET No. SP-1

COA PROJECT No. 7006.92 JRMA No. 4907

M:\ITR\14-100-132-012_DISCIPLINES\SHEETS 2_SHEETS 2_SHEETS 2.DWG\3.13.2020 5:24 PM

SITE DEVELOPMENT PLAN



SWMD Maintenance & Administration Building Project

City of Albuquerque
Department of Municipal Development
Solid Waste Maintenance Department



VICINITY MAP
ZONE ATLAS PAGE, G-15-Z

SITE DATA CONTINUED

SITE LIGHTING: SITE LIGHTING SHALL COMPLY WITH THE LIGHTING REGULATIONS OF THE INTEGRATED DEVELOPMENT ORDINANCE SECTION 14-16-5-8, OUTDOOR LIGHTING. THE MAXIMUM HEIGHT FOR PARKING LOT LIGHTS SHALL BE A MAXIMUM OF 30 FT.

WALLS, FENCES & SCREENING: GARDEN WALLS WILL BE PLACED IN HIGH VISIBILITY AREAS TO SCREEN VIEWS.

WALLS: 8' MINIMUM HEIGHT, CONCRETE MASONRY, SPLIT FACE INTEGRAL BROWN AND GREY COLOR.

FENCES: 8' MINIMUM HEIGHT, CHAINLINK.

REFUSE CONTAINER & ENCLOSURE: ADMINISTRATION BUILDING: (1-2) 5 CY AT SE CORNER OF BUILDING; VEHICLE MAINTENANCE: (1-2) 5 CY BIN AT SOUTH END OF PROPERTY (SE OF BUILDING).

SITE AMENITIES: SEE LANDSCAPE PLAN.

PARKING: PARKING REQUIRED - SECTION 14-16-5-5 OFF STREET VEHICLE PARKING

- (A) AUTOMOBILE PARKING OFFICE: 3.5 SPACES PER 1,000 SF GFA
- HEAVY VEHICLE ... FUELING, AND REPAIR: 1 SPACE PER 1,000 SF GFA
- LIGHT MANUFACTURING: 1 SPACE PER 1,000 SF GFA
- (A) BICYCLE PARKING - PER TABLE 5-5-5
- (B) MOTORCYCLE PARKING - PER TABLE 5-5-4
- (C) DISABLED PARKING - PER TABLE ON SECTION (3-8)

PARKING ANALYSIS

VEHICLE MAINTENANCE BUILDING			
GROUND FLOOR: OFFICE	8,563 SF	3.5 SPACES/1000 SF GFA	30 STALLS
MAIN SHOP	32,114 SF	1 SPACE/1000 SF GFA	32 STALLS
SECOND FLOOR: OFFICE	8,563 SF	3.5 SPACES/1000 SF GFA	30 STALLS
ADMINISTRATION BUILDING			
GROUND FLOOR: OFFICE	12,066 SF	3.5 SPACES/1000 SF GFA	42 STALLS
SECOND FLOOR: OFFICE	12,645 SF	3.5 SPACES/1000 SF GFA	44 STALLS
BIN REPAIR & WELD SHOP BUILDING			
GROUND FLOOR: LIGHT MANUF.	2,907 SF	1 SPACE/1000 SF GFA	3 STALLS
TOTAL AUTOMOBILE PARKING REQUIRED			181 STALLS
TOTAL AUTOMOBILE PARKING PROVIDED			419 STALLS

GUARD SHACK BUILDING
PROVIDE 2 STALLS FOR GUARDS (INCLUDED ABOVE)

MOTORCYCLE PARKING
5 SPACES PROVIDED PER TABLE 5-5-4, 151 - 300 REQUIRED

BICYCLE PARKING
18 SPACES PROVIDED PER TABLE 5-5-5, 3 SPACES OR 10% OF REQUIRED

DISABLED PARKING
8 SPACES PER DPM, 101 - 300 REQUIRED: 14 STALLS PROVIDED

ELECTRIC VEHICLE PARKING WITH CHARGING STATIONS
5 SPACES PROVIDED PER SECTION 5.5(C)(5)(d)(2)

SITE PLAN DRB



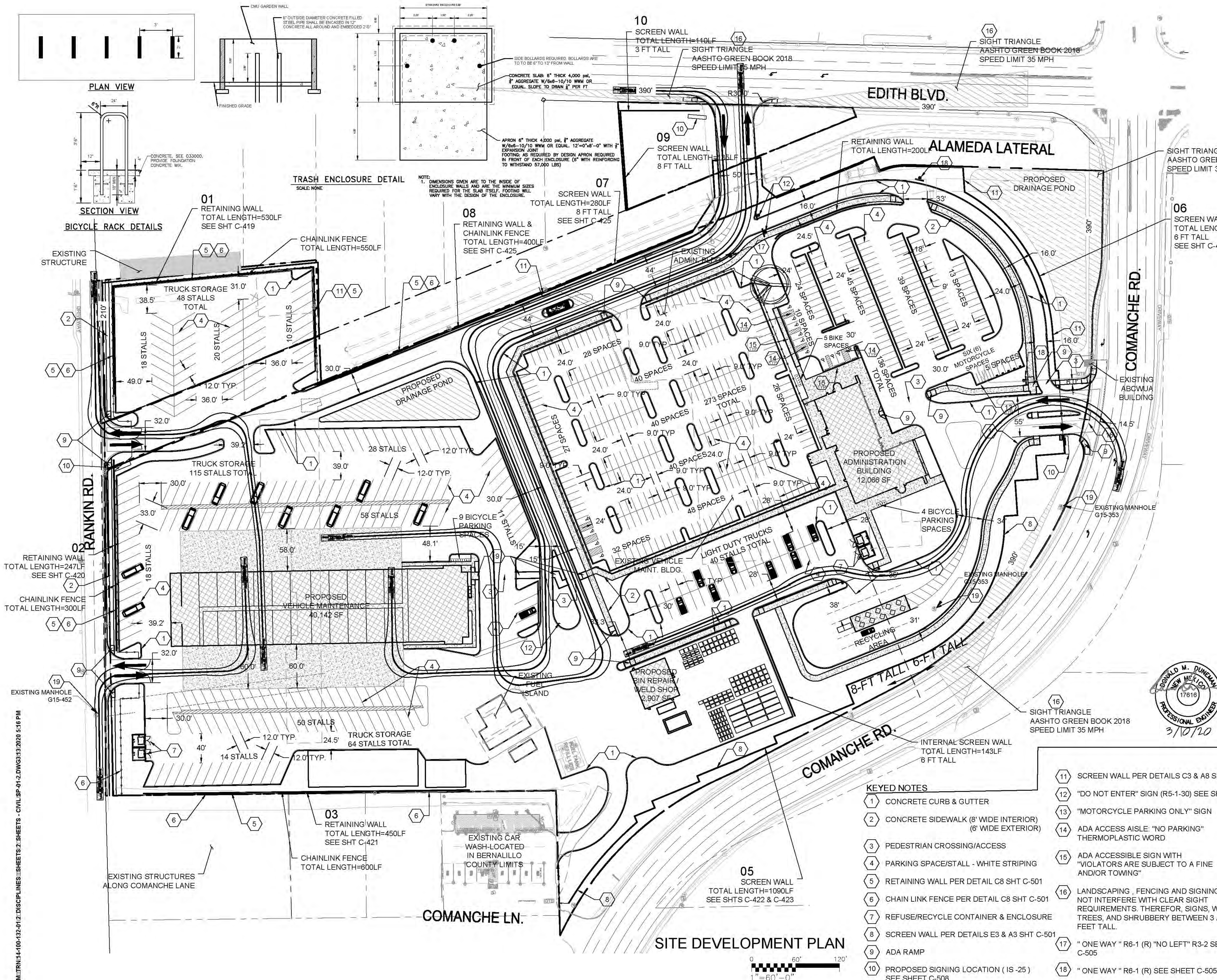
JR MILLER & ASSOCIATES
2700 SATURN STREET
BREA, CA 92821
714-524-1870



WILSON & COMPANY, INC.
4401 MASTHEAD ST NE
ALBUQUERQUE, NM 87109
505-348-4000

DECEMBER 10, 2019
SHEET No. SP-2

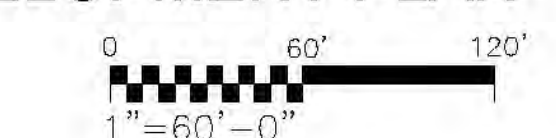
COA PROJECT No. 7006.92 JRMA No. 4907



KEYED NOTES

- 1 CONCRETE CURB & GUTTER
- 2 CONCRETE SIDEWALK (8' WIDE INTERIOR) (8' WIDE EXTERIOR)
- 3 PEDESTRIAN CROSSING/ACCESS
- 4 PARKING SPACE/STALL - WHITE STRIPING
- 5 RETAINING WALL PER DETAIL C8 SHT C-501
- 6 CHAIN LINK FENCE PER DETAIL C8 SHT C-501
- 7 REFUSE/RECYCLE CONTAINER & ENCLOSURE
- 8 SCREEN WALL PER DETAILS E3 & A3 SHT C-501
- 9 ADA RAMP
- 10 PROPOSED SIGNING LOCATION (IS -25) SEE SHEET C-508
- 11 SCREEN WALL PER DETAILS C3 & A8 SHT C-501
- 12 "DO NOT ENTER" SIGN (R5-1-30) SEE SHEET C-505
- 13 "MOTORCYCLE PARKING ONLY" SIGN
- 14 ADA ACCESS AISLE: "NO PARKING" THERMOPLASTIC WORD
- 15 ADA ACCESSIBLE SIGN WITH "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING"
- 16 LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFOR, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL.
- 17 "ONE WAY" R6-1 (R) "NO LEFT" R3-2 SEE SHEET C-505
- 18 "ONE WAY" R6-1 (R) SEE SHEET C-505
- 19 EXISTING MANHOLE SHALL BE PROVIDED ACCESS FOR MAINTENANCE AND OPERATIONS, ADJUST MANHOLE TO GRADE

SEE SHEET C-501 FOR ADDITIONAL SCREEN AND RETAINING WALL HEIGHT INFORMATION.



SITE DEVELOPMENT PLAN

M:\ITR\14-100-132-01\DISCIPLINES\14-100-132-01-2.DWG\132020 5:16 PM

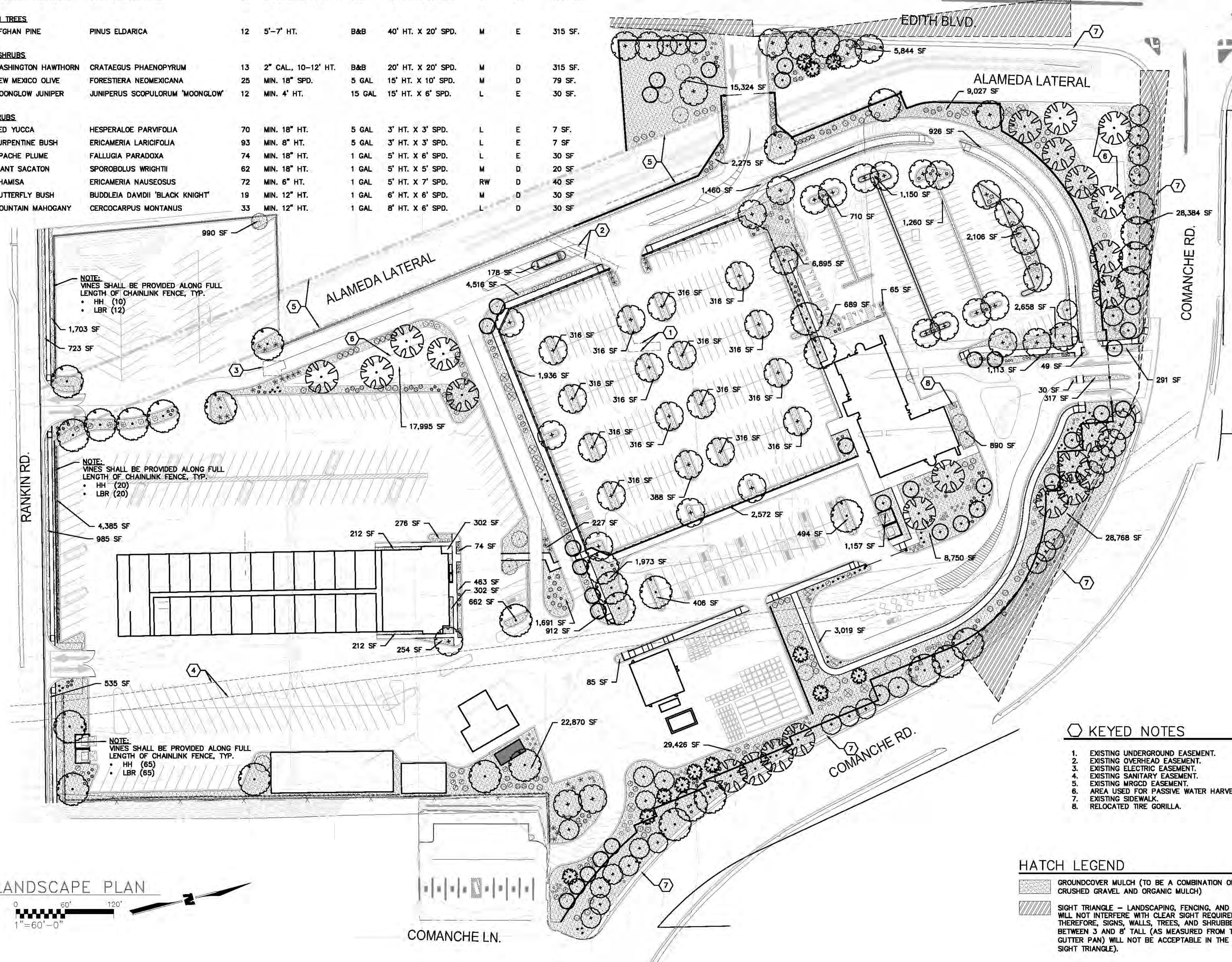


PLANT LEGEND

KEY	COMMON NAME	BOTANICAL NAME	QUANTITY	INSTALLED SIZE	REMARKS	MATURE SIZE	WATER USE	DECID./EV.	COVERAGE
SHADE TREES									
AE	ALLEE ELM	ULMUS PARVIFOLIA 'EMER II'	57	2" CAL., 12'-14' HT.	B&B	40' HT. X 35' SPD.	M	D	962 SF.
SBE	'SENSATION' BOX ELDER	ACER NEGUNDO 'SENSATION'	28	2" CAL., 10'-12' HT.	B&B	30' HT. X 25' SPD.	M	D	490 SF.
AC	ACCOLADE ELM	ULMUS JAPONICA X WILSONIANA 'MORTON' 32	2	2" CAL., 10'-12' HT.	B&B	50' HT. X 40' SPD.	M	D	1256 SF.
GRT	GOLDEN RAIN TREE	KOELREUTERIA PANICULATA	17	2" CAL., 8'-10' HT.	B&B	25' HT. X 20' SPD.	M	D	315 SF.
DW	DESERT WILLOW	CHILOPSIS LINEARIS	15	2" CAL., 8'-10' HT.	B&B	25' HT. X 20' SPD.	RW	D	315 SF.
WH	WESTERN HACKBERRY	CELTIS OCCIDENTALIS	23	2" CAL., 12'-14' HT.	B&B	40' HT. X 40' SPD.	M	D	1256 SF.
EVERGREEN TREES									
AFP	AFGHAN PINE	PINUS ELDARICA	12	5'-7' HT.	B&B	40' HT. X 20' SPD.	M	E	315 SF.
VERTICAL SHRUBS									
WA	WASHINGTON HAWTHORN	CRATAEGUS PHAENOPYRUM	13	2" CAL., 10'-12' HT.	B&B	20' HT. X 20' SPD.	M	D	315 SF.
NMO	NEW MEXICO OLIVE	FORESTIERA NEOMEXICANA	25	MIN. 18" SPD.		5 GAL 15' HT. X 10' SPD.	M	D	79 SF.
MJ	MOONGLOW JUNIPER	JUNIPERUS SCOPULORUM 'MOONGLOW'	12	MIN. 4' HT.		15 GAL 15' HT. X 6' SPD.	L	E	30 SF.
LARGE SHRUBS									
* RY	RED YUCCA	HESPERALOE PARVIFOLIA	70	MIN. 18" HT.		5 GAL 3' HT. X 3' SPD.	L	E	7 SF.
TB	TURPENTINE BUSH	ERICAMERIA LARICIFOLIA	93	MIN. 8" HT.		5 GAL 3' HT. X 3' SPD.	L	E	7 SF.
AP	APACHE PLUME	FALLUGIA PARADOXA	74	MIN. 18" HT.		1 GAL 5' HT. X 6' SPD.	L	E	30 SF.
GS	GIANT SACATON	SPOROBOLUS WRIGHTII	62	MIN. 18" HT.		1 GAL 5' HT. X 5' SPD.	M	D	20 SF.
CH	CHAMISA	ERICAMERIA NAUSEOSUS	72	MIN. 6" HT.		1 GAL 5' HT. X 7' SPD.	RW	D	40 SF.
BB	BUTTERFLY BUSH	BUDDLEIA DAVIDI 'BLACK KNIGHT'	19	MIN. 12" HT.		1 GAL 6' HT. X 6' SPD.	M	D	30 SF.
MM	MOUNTAIN MAHOGANY	CERCOCARPUS MONTANUS	33	MIN. 12" HT.		1 GAL 8' HT. X 6' SPD.	L	D	30 SF.

PLANT LEGEND

KEY	COMMON NAME	BOTANICAL NAME	QUANTITY	INSTALLED SIZE	REMARKS	MATURE SIZE	WATER USE	DECID./EV.	COVERAGE
SMALL SHRUBS/GROUNDCOVERS/GRASSES/PERENNIALS/VINES									
BM	BLUE MIST SPIREA	CARYOPTERIS CLANDONENSIS 'BLUE MIST'	67	MIN. 12" HT.		5 GAL 3' HT. X 3' SPD.	L	D	7 SF.
TLS	THREE-LEAF SUMAC	RHUS TRILOBATA	15	MIN. 6" HT.		1 GAL 6' HT. X 6' SPD.	L	D	30 SF.
BCJ	BLUE CHIP JUNIPER	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	27	MIN. 10" SPD.		5 GAL 12" HT. X 6' SPD.	M	E	30 SF.
GLS	GRO-LOW SUMAC	RHUS AROMATICA 'GRO-LOW'	103	MIN. 12" SPD.		5 GAL 2' HT. X 4' SPD.	L	D	12 SF.
LBR	LADY BANKS ROSE	ROSA BANKSIAE	97	MIN. 6" HT.		1 GAL 6' HT. X 15' SPD.	L	E	45 SF.
HH	HALL'S HONEYSUCKLE	LONICERA JAPONICA 'HALLIANA'	95	MIN. 6" HT.		1 GAL 6' HT. X 15' SPD.	M	E	45 SF.



CITY LANDSCAPE ORDINANCE COMPLIANCE

- LANDSCAPING RESPONSIBILITY FOR MAINTENANCE.**
- THE CITY OF ALBUQUERQUE WILL BE RESPONSIBLE FOR ALL LANDSCAPE MAINTENANCE AT THE PROPOSED ADMINISTRATIVE FACILITY.
- COMPLIANCE WITH WATER CONSERVATION ORDINANCE.**
- NO SPRAY IRRIGATION IS PROPOSED
 - PLANT SPECIES WILL BE LOW OR MEDIUM USE SPECIES PER THE OFFICIAL ALBUQUERQUE PLANT PALETTE AND SIZING LIST.
 - THIS PLAN HAS NO TURF OR HIGH WATER USE LANDSCAPING.
 - AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED FOR ALL PLANT MATERIAL. THE SYSTEM WILL BE CONTROLLED BY AN AUTOMATIC CONTROLLER. PLANTS WILL BE IRRIGATED BY LOW FLOW BUBBLERS. A REDUCED PRESSURE BACKFLOW PREVENTER WILL BE INSTALLED IN A HEATED ENCLOSURE TO PROTECT THE DOMESTIC WATER SUPPLY FROM CROSS-CONTAMINATION.
- COMPLIANCE WITH GENERAL LANDSCAPING STANDARDS (PER 14-16-5-6 OF THE COA INTEGRATED DEVELOPMENT ORDINANCE):**
- THIS PLAN PROVIDES VISUALLY ATTRACTIVE LANDSCAPE BUFFERS AT THE PERIMETER OF THE FACILITY, A VISUALLY ATTRACTIVE STREETScape, AND INTERSPERSED TREES IN LANDSCAPE AREAS TO PROVIDE SHADE AND REDUCE LARGE EXPANSIONS OF PAVEMENT AND PARKED CARS.
 - GROUNDCOVER MULCH SHALL COMPRISE A COMBINATION OF CRUSHED GRAVEL (NOT TO EXCEED 75% OF TOTAL AREA) AND ORGANIC MULCH SUCH AS SHREDDED BARK, PECAN SHELLS, ETC.
 - REFERENCE CITY OF ALBUQUERQUE STANDARD DETAILS FOR TREE AND SHRUB PLANTING.
- LANDSCAPE CALCULATIONS:**
- TOTAL LOT AREA: 959,827 SF
 - LESS TOTAL BUILDING AREA: 57,064 SF
 - LESS R.O.W. LANDSCAPING: 20,867 SF
 - NET LOT AREA: 882,096 SF
 - REQUIRED MINIMUM LANDSCAPE AREA (15% OF NET LOT AREA) - [5-6(C)(2)]: 132,314 SF
 - PROVIDED LANDSCAPE AREA: 226,170 SF (25.6% OF NET LOT AREA)
 - REQUIRED VEGETATIVE COVERAGE (75% OF REQUIRED LANDSCAPE AREA) - [5-6(C)(2)(C)]: 99,260 SF
 - PROVIDED VEGETATIVE COVERAGE: 99,913 SF (100% OF REQUIRED TOTAL COVERAGE)
 - REQUIRED GROUND LEVEL VEGETATIVE COVERAGE (25% OF TOTAL VEGETATIVE COVERAGE) - [5-6(C)(2)(C)]: 24,815 SF
 - PROVIDED GROUND LEVEL VEGETATIVE COVERAGE: 24,849 SF (100% OF REQUIRED TOTAL COVERAGE)
 - REQUIRED STREET TREES - [5-6(D)(1)]: 38 (1,325 LF ALONG COMANCHE, TREES AVERAGE 35' O.C.)
 - 10 (326 LF ALONG EDITH, TREES AVERAGE 35' O.C.)
 - PROVIDED STREET TREES: 38 TREES ALONG COMANCHE, 10 TREES ALONG EDITH
 - REQUIRED PARKING LOT INTERIOR LANDSCAPE - [5-6(F)(2)]: 39,495 SF (15% MINIMUM OF PARKING LOT AREAS CONTAINING 50 OR MORE SPACES)
 - PROVIDED PARKING LOT INTERIOR LANDSCAPE: 39,512 SF (100% OF PARKING LOT INTERIOR LANDSCAPE)
 - REQUIRED PARKING LOT TREES AT ONE TREE PER TEN SPACES - [5-6(F)(2)(C)]: 419 TOTAL SPACES
 - 42 REQUIRED TREES
 - PROVIDED PARKING LOT TREES PROVIDED: 47 TREES

LANDSCAPE PLAN



LANDSCAPE ARCHITECTS
Morrow Reardon Wilkinson Miller, Ltd.

210 La Veta NE, Albuquerque, NM 87108
PHONE: 505.268.2266
WEB: mrrwm.com



JR MILLER & ASSOCIATES
2700 SATURN STREET
BREA, CA 92621
714-524-1870



WILSON & COMPANY, INC.
4401 MASTHEAD ST NE
ALBUQUERQUE, NM 87109
505-346-4000

MAY 17, 2019
LP101

COA PROJECT No. 7006.92 JRMA No. 4907

P:\S\YEAR-2018\3618\3618-4\CAD\3618-4\CURRENT\3618-SHEET FILES\3618-OLD\3618-LP101-ERC.DWG(10/24/2018 9:02 AM)

SEE SHEETS C-106 - SITE PLAN
C-114 - UTILITY PLAN WATER & SAS

SEE SHEET C-107 - SITE PLAN
C-115 - UTILITY PLAN WATER & SAS

GENERAL NOTES

1. FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
2. IF THIS SHEET IS NOT 30"x42", THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.
3. EXISTING UTILITY LOCATIONS ARE APPROXIMATE ONLY AND SHALL BE FIELD LOCATED PRIOR TO CONSTRUCTION.
4. ALL DIMENSIONS ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

LEGEND

- BUILD FLEXIBLE PAVEMENT (ASPHALT), PER-DETAIL ON SHEET C-500
- BUILD RIGID PAVEMENT (PC CONCRETE), PER-DETAIL ON SHEET C-500
- BUILD PARKING LOT PAVEMENT, PER-DETAIL ON SHEET C-500
- GARDEN WALLS AND/OR RETAINING WALLS SEE PLAN & PROFILE SHEETS C-413 THROUGH C-421

Project Revision

	DRB SUBMITTAL	01.25.2019
	50% OWNER REVIEW	02.06.2019
	95% OWNER REVIEW	11.20.2019
	BOLG. DEPT. SUBMIT.	TBD

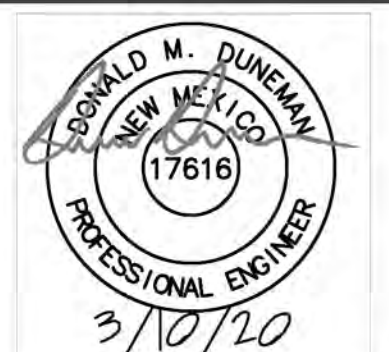


CITY OF ALBUQUERQUE
PROJECT NO. 700693

MAINTENANCE & ADMINISTRATION BUILDING PROJECT
4600 EDITH BLVD NE
ALBUQUERQUE, NM 87107



ONE ALBUQUERQUE



JRMA & ASSOCIATED SHALL RETAIN ALL COPYRIGHT, PATENT AND OTHER RESERVED RIGHTS INCLUDING THE COPYRIGHT FOR THIS DOCUMENT INCLUDING REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.
SITE PLAN AND PAVING PLAN OVERALL

AS NOTED
BY REP

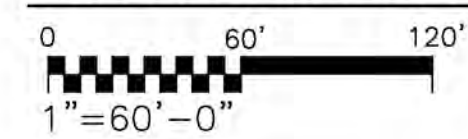
AS NOTED
BY SG6

DWN CHK

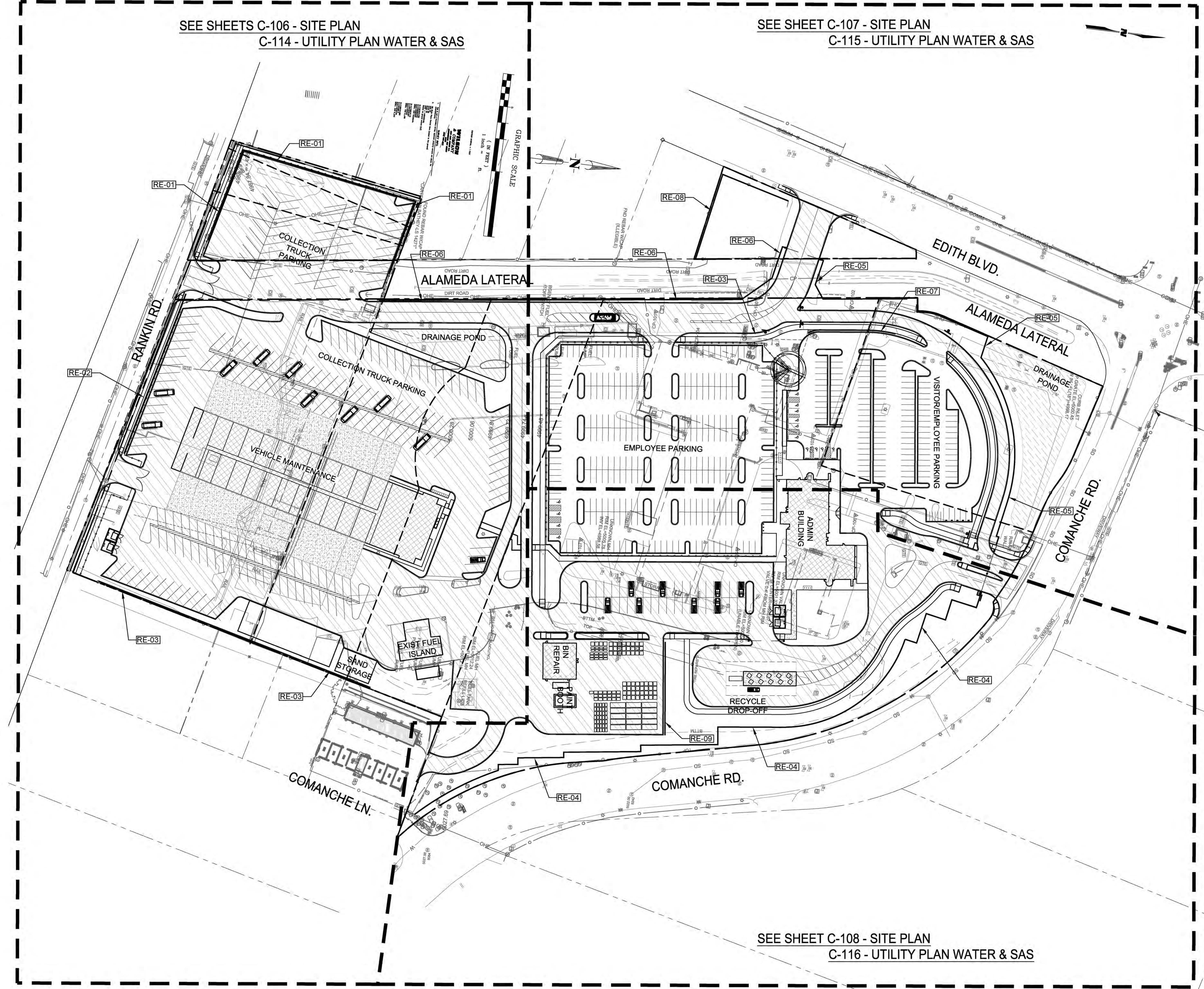
JRMA Project No.
4907-B
W&C - 14-100-132-01

C-105

SITE PLAN AND PAVING PLAN OVERALL

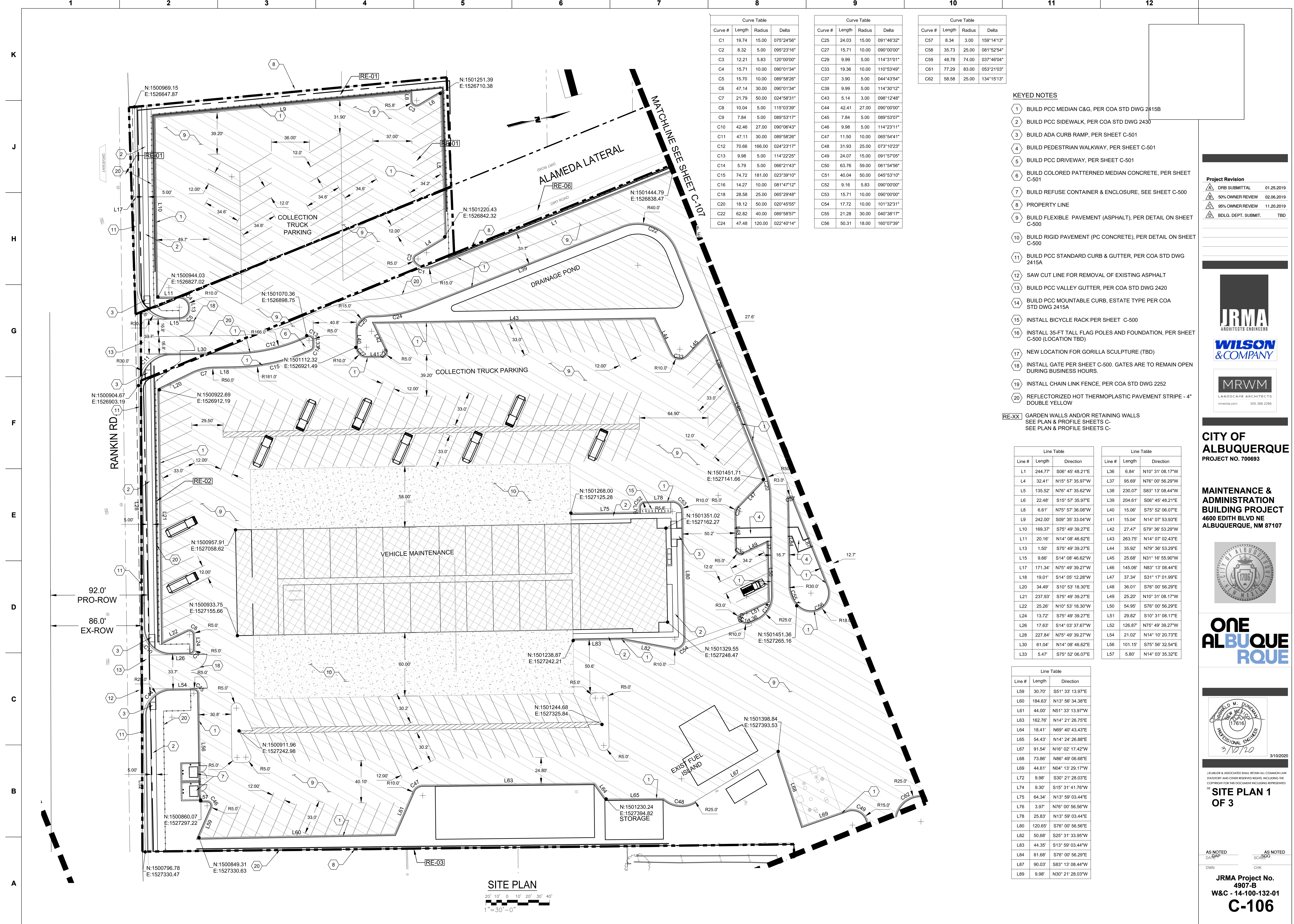


SEE SHEET C-108 - SITE PLAN
C-116 - UTILITY PLAN WATER & SAS



K
J
H
G
F
E
D
C
B
A

1 2 3 4 5 6 7 8 9 10 11 12



Curve #	Length	Radius	Delta
C1	19.74	15.00	075°24'56"
C2	8.32	5.00	095°23'16"
C3	12.21	5.83	120°00'00"
C4	15.71	10.00	090°01'34"
C5	15.70	10.00	089°58'26"
C6	47.14	30.00	090°01'34"
C7	21.79	50.00	024°58'31"
C8	10.04	5.00	115°03'39"
C9	7.84	5.00	089°53'17"
C10	42.46	27.00	090°06'43"
C11	47.11	30.00	089°58'26"
C12	70.66	166.00	024°23'17"
C13	9.98	5.00	114°22'25"
C14	5.79	5.00	066°21'43"
C15	74.72	181.00	023°39'10"
C16	14.27	10.00	081°47'12"
C18	28.58	25.00	065°29'48"
C20	18.12	50.00	020°45'55"
C22	62.82	40.00	089°58'57"
C24	47.48	120.00	022°40'14"

Curve #	Length	Radius	Delta
C25	24.03	15.00	091°46'32"
C27	15.71	10.00	090°00'00"
C29	9.99	5.00	114°31'01"
C33	19.36	10.00	110°53'49"
C37	3.90	5.00	044°43'54"
C39	9.99	5.00	114°30'12"
C43	5.14	3.00	098°12'48"
C44	42.41	27.00	090°00'00"
C45	7.84	5.00	089°53'07"
C46	9.98	5.00	114°23'11"
C47	11.50	10.00	065°54'41"
C48	31.93	25.00	073°10'23"
C49	24.07	15.00	091°57'05"
C50	63.76	59.00	061°54'56"
C51	40.04	50.00	045°53'10"
C52	9.16	5.83	090°00'00"
C53	15.71	10.00	090°00'00"
C54	17.72	10.00	101°32'31"
C55	21.28	30.00	040°38'17"
C56	50.31	18.00	160°07'39"

Curve #	Length	Radius	Delta
C57	8.34	3.00	159°14'13"
C58	35.73	25.00	081°52'54"
C59	48.78	74.00	037°46'04"
C61	77.29	83.00	053°21'03"
C62	58.58	25.00	134°15'13"

- KEYED NOTES**
- BUILD PCC MEDIAN C&G, PER COA STD DWG 24158
 - BUILD PCC SIDEWALK, PER COA STD DWG 2430
 - BUILD ADA CURB RAMP, PER SHEET C-501
 - BUILD PEDESTRIAN WALKWAY, PER SHEET C-501
 - BUILD PCC DRIVEWAY, PER SHEET C-501
 - BUILD COLORED PATTERNED MEDIAN CONCRETE, PER SHEET C-501
 - BUILD REFUSE CONTAINER & ENCLOSURE, SEE SHEET C-500
 - PROPERTY LINE
 - BUILD FLEXIBLE PAVEMENT (ASPHALT), PER DETAIL ON SHEET C-500
 - BUILD RIGID PAVEMENT (PC CONCRETE), PER DETAIL ON SHEET C-500
 - BUILD PCC STANDARD CURB & GUTTER, PER COA STD DWG 2415A
 - SAW CUT LINE FOR REMOVAL OF EXISTING ASPHALT
 - BUILD PCC VALLEY GUTTER, PER COA STD DWG 2420
 - BUILD PCC MOUNTABLE CURB, ESTATE TYPE PER COA STD DWG 2415A
 - INSTALL BICYCLE RACK PER SHEET C-500
 - INSTALL 35-FT TALL FLAG POLES AND FOUNDATION, PER SHEET C-500 (LOCATION TBD)
 - NEW LOCATION FOR GORILLA SCULPTURE (TBD)
 - INSTALL GATE PER SHEET C-500. GATES ARE TO REMAIN OPEN DURING BUSINESS HOURS.
 - INSTALL CHAIN LINK FENCE, PER COA STD DWG 2252
 - REFLECTORIZED HOT THERMOPLASTIC PAVEMENT STRIPE - 4" DOUBLE YELLOW
 - RE-XX GARDEN WALLS AND/OR RETAINING WALLS SEE PLAN & PROFILE SHEETS C- SEE PLAN & PROFILE SHEETS C-

Line #	Length	Direction
L1	244.77'	S06°45'48.21"E
L4	32.41'	N15°57'35.97"W
L5	135.52'	N76°47'35.62"W
L6	22.48'	S15°57'35.97"E
L8	6.61'	N75°57'36.08"W
L9	242.00'	S09°35'33.04"W
L10	169.37'	S75°49'39.27"E
L11	20.16'	N14°08'46.62"E
L13	1.50'	S75°49'39.27"E
L15	9.66'	S14°08'46.62"W
L17	171.34'	N75°49'39.27"W
L18	19.01'	S14°05'12.28"W
L20	34.49'	S10°53'18.30"E
L21	237.93'	S75°49'39.27"E
L22	25.26'	N10°53'18.30"W
L24	13.72'	S75°49'39.27"E
L26	17.63'	S14°03'37.67"W
L28	227.84'	N75°49'39.27"W
L30	61.04'	N14°08'46.62"E
L33	5.47'	S75°52'06.07"E

Line #	Length	Direction
L36	6.84'	N10°31'08.17"W
L37	95.69'	N76°00'56.29"W
L38	230.07'	S83°13'08.44"W
L39	204.61'	S06°45'48.21"E
L40	15.06'	S75°52'06.07"E
L41	15.04'	N14°07'53.93"E
L42	27.47'	S79°36'53.29"W
L43	263.75'	N14°07'02.43"E
L44	35.92'	N79°36'53.29"E
L45	25.68'	N31°16'55.90"W
L46	145.06'	N83°13'08.44"E
L47	37.34'	S31°17'01.99"E
L48	36.01'	S76°00'56.29"E
L49	25.20'	N10°31'08.17"W
L50	54.95'	S76°00'56.29"E
L51	29.82'	S10°31'08.17"E
L52	126.87'	N75°49'39.27"W
L54	21.02'	N14°10'20.73"E
L56	101.15'	S75°56'32.54"E
L57	5.80'	N14°03'35.32"E

Line #	Length	Direction
L59	30.70'	S51°33'13.97"E
L60	184.63'	N13°56'34.38"E
L61	44.00'	N51°33'13.97"W
L63	162.76'	N14°21'26.75"E
L64	18.41'	N69°40'43.43"E
L65	54.43'	N14°24'26.88"E
L67	91.54'	N16°02'17.42"W
L68	73.86'	N86°49'06.68"E
L69	44.61'	N04°13'29.17"W
L72	9.98'	S30°21'28.03"E
L74	9.30'	S15°31'41.76"W
L75	64.34'	N13°59'03.44"E
L76	3.97'	N76°00'56.56"W
L78	25.83'	N13°59'03.44"E
L80	120.65'	S76°00'56.56"E
L82	50.68'	S25°31'33.95"W
L83	44.35'	S13°59'03.44"W
L84	81.68'	S76°00'56.29"E
L87	90.03'	S83°13'08.44"W
L89	9.98'	N30°21'28.03"W

Project Revision

DRB SUBMITTAL	01.25.2019
50% OWNER REVIEW	02.06.2019
95% OWNER REVIEW	11.20.2019
BDLG. DEPT. SUBMIT.	TBD

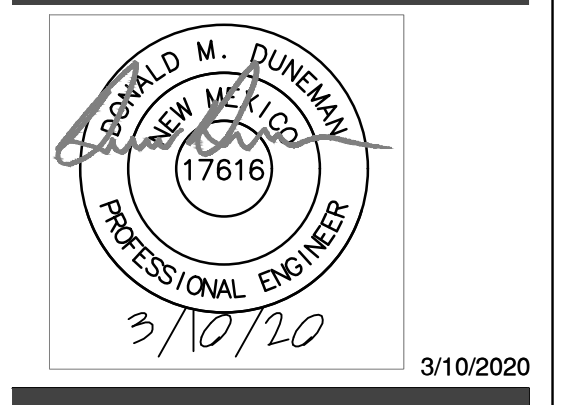


CITY OF ALBUQUERQUE
PROJECT NO. 700693

MAINTENANCE & ADMINISTRATION BUILDING PROJECT
4600 EDITH BLVD NE
ALBUQUERQUE, NM 87107



ONE ALBUQUERQUE



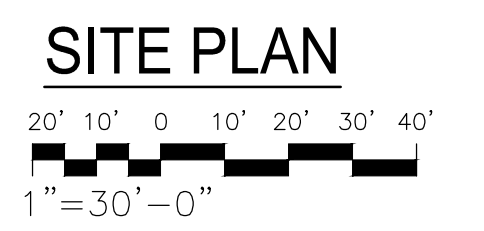
SITE PLAN 1 OF 3

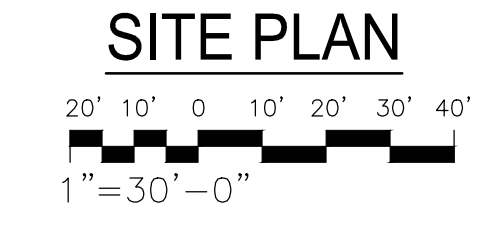
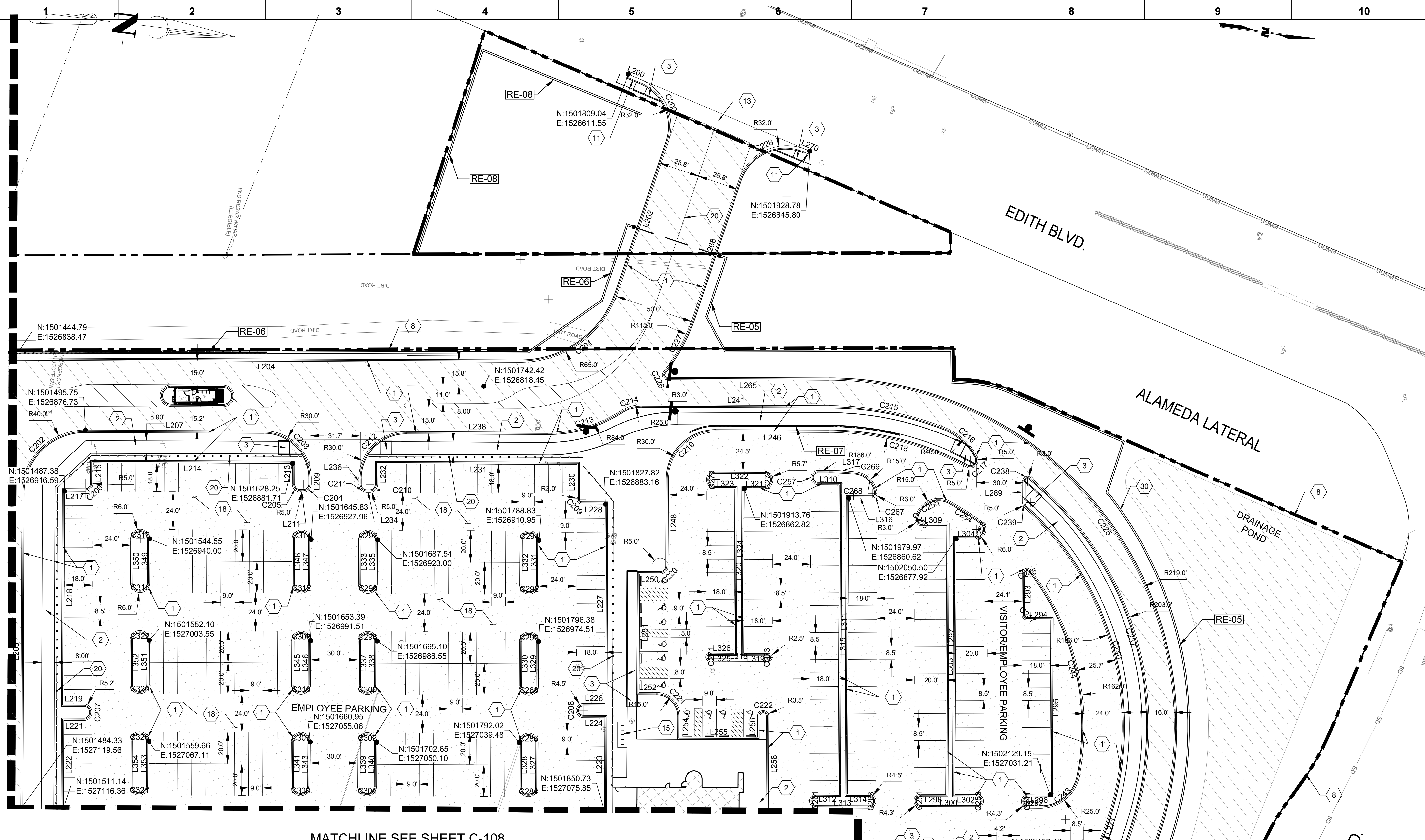
AS NOTED
DATE: 3/10/20

AS NOTED
DATE: 3/10/20

DWN: JRMA
CHK: SCB

JRMA Project No. 4907-B
W&C - 14-100-132-01
C-106





SITE PLAN
1" = 30'-0"

MATCHLINE SEE SHEET C-108

MATCHLINE SEE SHEET C-108

- KEYED NOTES**
- 1 BUILD PCC MEDIAN C&G, PER COA STD DWG 2415B
 - 2 BUILD PCC SIDEWALK, PER COA STD DWG 2430
 - 3 BUILD ADA CURB RAMP, PER SHEET C-501
 - 4 BUILD PEDESTRIAN WALKWAY, PER SHEET C-501
 - 5 BUILD PCC DRIVEWAY, PER SHEET C-501
 - 6 BUILD COLORED PATTERNED MEDIAN CONCRETE, PER SHEET C-501
 - 7 BUILD REFUSE CONTAINER & ENCLOSURE, SEE SHEET C-500
 - 8 PROPERTY LINE
 - 9 BUILD FLEXIBLE PAVEMENT (ASPHALT), PER DETAIL ON SHEET C-500
 - 10 BUILD RIGID PAVEMENT (PC CONCRETE), PER DETAIL ON SHEET C-500
 - 11 BUILD PCC STANDARD CURB & GUTTER, PER COA STD DWG 2415A
 - 12 SAW CUT LINE FOR REMOVAL OF EXISTING ASPHALT
 - 13 BUILD PCC VALLEY GUTTER, PER COA STD DWG 2420
 - 14 BUILD PCC MOUNTABLE CURB, ESTATE TYPE PER COA STD DWG 2415A
 - 15 INSTALL BICYCLE RACK PER SHEET C-500
 - 16 INSTALL 35-FT TALL FLAG POLES AND FOUNDATION, PER SHEET C-500 (LOCATION TBD)
 - 17 NEW LOCATION FOR GORILLA SCULPTURE (TBD)
 - 18 INSTALL GATE PER SHEET C-500. GATES TO REMAIN OPEN DURING BUSINESS HOURS.
 - 19 INSTALL CHAIN LINK FENCE, PER COA STD DWG 2252
 - 20 REFLECTORIZED HOT THERMOPLASTIC PAVEMENT STRIPE - 4" DOUBLE YELLOW
 - 21 REFLECTORIZED HOT THERMOPLASTIC PAVEMENT STRIPE - 4" DASHED WHITE (3' STRIPE, 9' GAP)
 - RE-XX GARDEN WALLS AND/OR RETAINING WALLS SEE PLAN & PROFILE SHEETS C- SEE PLAN & PROFILE SHEETS C-

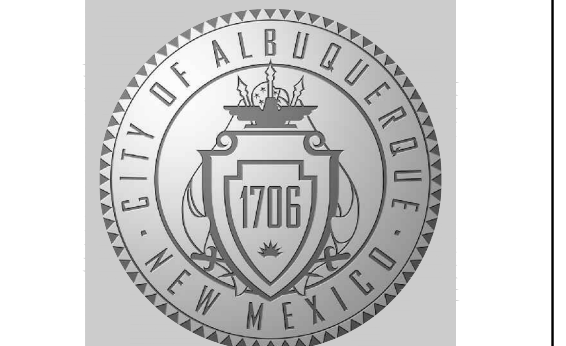
Project Revision

Revision	Description	Date
A	DRB SUBMITTAL	01.25.2019
B	50% OWNER REVIEW	02.06.2019
C	95% OWNER REVIEW	11.20.2019
D	BDLG. DEPT. SUBMIT.	TBD

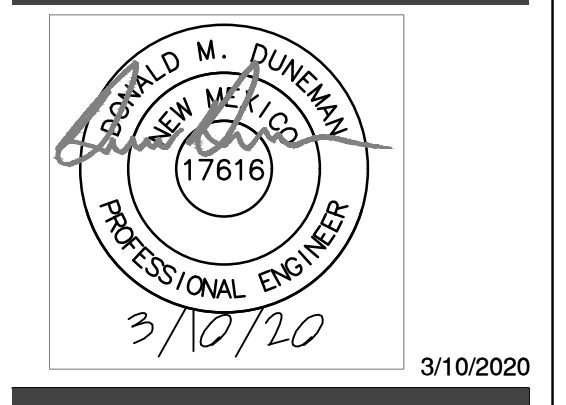


CITY OF ALBUQUERQUE
PROJECT NO. 700693

MAINTENANCE & ADMINISTRATION BUILDING PROJECT
4600 EDITH BLVD NE
ALBUQUERQUE, NM 87107



ONE ALBUQUERQUE



SITE PLAN 2 OF 3

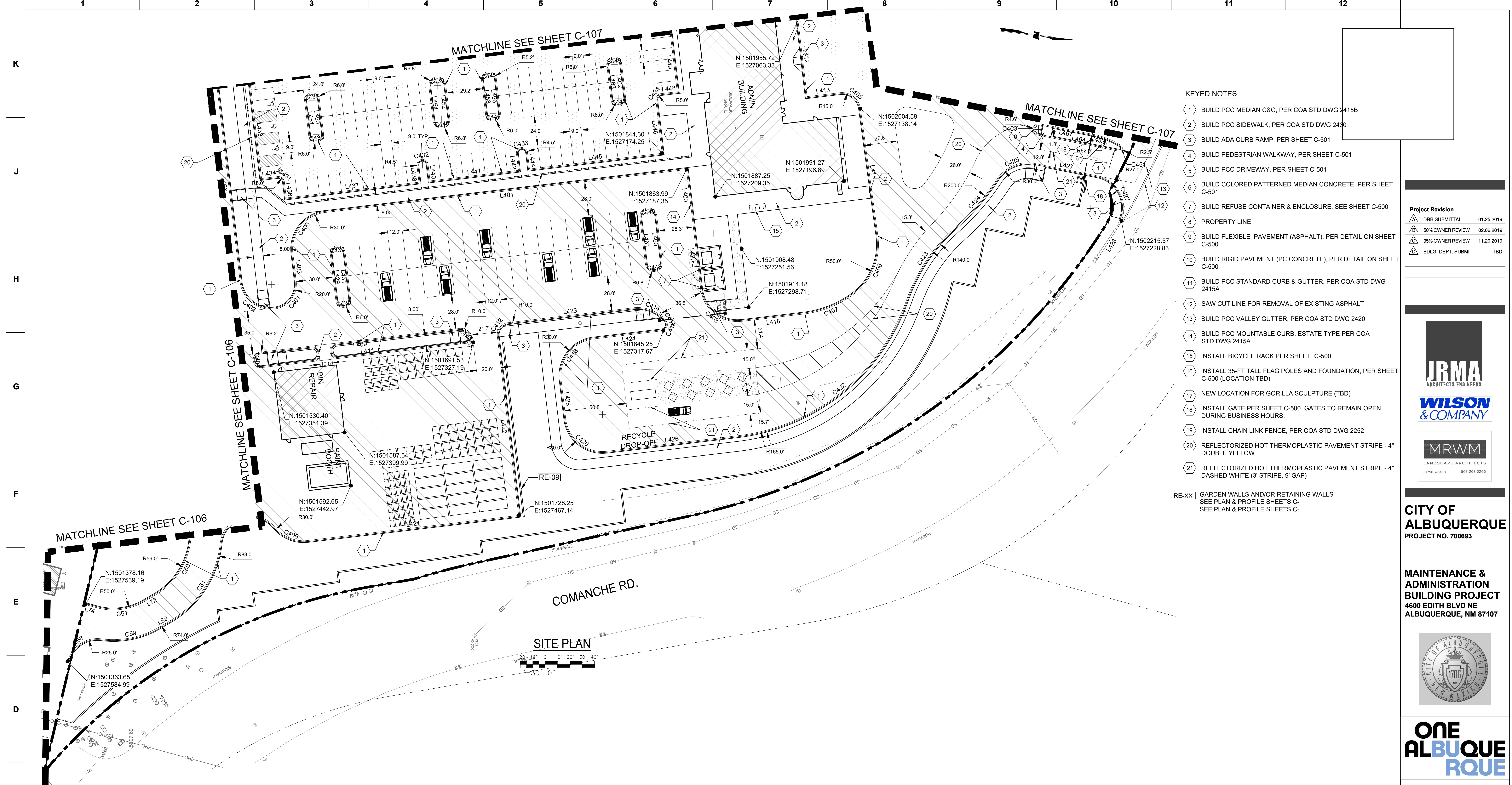
AS NOTED PER SCALES
OWN: DATE
CHK: DATE

IRMA Project No. 4907-B
W&C - 14-100-132-01
C-107

Line #	Length	Direction	Line #	Length	Direction		
L200	8.04'	N15° 57' 41.51"E	L230	22.00'	S83° 13' 08.44"W		
L202	100.28'	S78° 26' 33.55"E	L231	126.00'	S06° 46' 51.56"E		
L204	320.65'	S06° 45' 48.21"E	L232	13.00'	N83° 13' 08.44"E		
L205	199.78'	S83° 13' 08.44"W	L234	2.00'	S06° 46' 51.56"E		
L207	113.00'	N06° 45' 48.21"W	L236	3.53'	S83° 13' 08.44"W		
L209	3.55'	N83° 13' 08.44"E	L238	89.60'	N06° 45' 48.21"W		
L211	2.00'	S06° 46' 51.56"E	L241	118.49'	N06° 46' 42.42"W		
L213	13.00'	S83° 13' 08.44"W	L246	71.50'	S06° 46' 42.42"E		
L214	126.00'	S06° 46' 51.56"E	L248	54.87'	N83° 13' 14.03"E		
L215	13.00'	N83° 13' 08.44"E	L250	13.00'	S06° 46' 45.97"E		
L217	13.00'	S06° 46' 51.56"E	L251	75.00'	N83° 13' 14.03"E		
L218	134.50'	N83° 13' 08.44"E	L252	11.00'	N06° 46' 45.97"W		
L219	12.75'	N06° 46' 51.56"W	L254	13.01'	N83° 13' 14.03"E		
L221	12.75'	S06° 46' 51.56"E	L255	49.00'	N06° 46' 06.79"W		
L222	56.18'	N83° 13' 08.44"E	L256	13.51'	S83° 13' 14.03"W		
L223	59.05'	S83° 13' 08.44"W	L258	80.56'	N83° 13' 17.20"E		
L224	13.50'	S06° 46' 51.56"E	L259	10.42'	S73° 49' 49.21"E		
L226	13.50'	N06° 46' 51.56"W	L261	11.81'	S11° 04' 04.83"W		
L227	126.00'	S83° 13' 08.44"W	L263	80.56'	N78° 55' 46.93"W		
L228	15.00'	S06° 46' 51.56"E	L265	102.61'	S06° 46' 42.42"E		
L268	91.50'	N78° 26' 33.55"W	L303	161.50'	S83° 13' 17.20"W		
L270	2.16'	N15° 57' 41.51"E	L304	12.82'	N06° 46' 42.80"W		
L309	16.96'	N06° 46' 42.80"W	L309	16.96'	N06° 46' 42.80"W		
L310	13.50'	N06° 46' 42.80"W	L310	13.50'	N06° 46' 42.80"W		
L311	195.50'	N83° 13' 17.20"E	L311	195.50'	N83° 13' 17.20"E		
L312	13.50'	S06° 46' 42.80"E	L312	13.50'	S06° 46' 42.80"E		
L313	33.00'	N06° 46' 44.96"E	L313	33.00'	N06° 46' 44.96"E		
L314	13.50'	S06° 46' 42.80"E	L314	13.50'	S06° 46' 42.80"E		
L315	187.00'	S83° 13' 17.20"W	L315	187.00'	S83° 13' 17.20"W		
L316	14.93'	N06° 46' 42.80"W	L316	14.93'	N06° 46' 42.80"W		
L317	6.99'	S06° 46' 40.61"E	L317	6.99'	S06° 46' 40.61"E		
L318	37.00'	N06° 46' 45.97"W	L318	37.00'	N06° 46' 45.97"W		
L319	15.50'	S06° 46' 45.97"E	L319	15.50'	S06° 46' 45.97"E		
L320	104.00'	S83° 13' 14.86"W	L320	104.00'	S83° 13' 14.86"W		
L321	12.32'	N06° 46' 45.97"W	L321	12.32'	N06° 46' 45.97"W		
L322	30.64'	S06° 46' 42.42"E	L322	30.64'	S06° 46' 42.42"E		
L323	12.32'	N06° 46' 46.38"W	L323	12.32'	N06° 46' 46.38"W		
L324	104.00'	N83° 13' 14.86"E	L324	104.00'	N83° 13' 14.86"E		
L325	15.50'	S06° 46' 45.97"E	L325	15.50'	S06° 46' 45.97"E		
L326	15.50'	N06° 46' 45.97"W	L326	15.50'	N06° 46' 45.97"W		
L327	28.00'	S83° 13' 08.44"W	L327	28.00'	S83° 13' 08.44"W		
L328	28.00'	N83° 13' 08.44"E	L328	28.00'	N83° 13' 08.44"E		
L329	28.00'	S83° 13' 08.44"W	L329	28.00'	S83° 13' 08.44"W		
L330	28.00'	N83° 13' 08.44"E	L330	28.00'	N83° 13' 08.44"E		
L331	28.00'	S83° 13' 08.44"W	L331	28.00'	S83° 13' 08.44"W		
L332	28.00'	S83° 13' 08.44"E	L332	28.00'	S83° 13' 08.44"E		
L333	28.00'	N83° 13' 08.44"W	L333	28.00'	N83° 13' 08.44"W		
L334	28.00'	S83° 13' 08.44"E	L334	28.00'	S83° 13' 08.44"E		
L335	28.00'	S83° 13' 08.44"W	L335	28.00'	S83° 13' 08.44"W		
L336	28.00'	S83° 13' 08.44"E	L336	28.00'	S83° 13' 08.44"E		
L337	28.00'	S83° 13' 08.44"W	L337	28.00'	S83° 13' 08.44"W		
L338	28.00'	S83° 13' 08.44"E	L338	28.00'	S83° 13' 08.44"E		
L339	28.00'	N83° 13' 08.44"E	L339	28.00'	N83° 13' 08.44"E		
L340	28.00'	S83° 13' 08.44"W	L340	28.00'	S83° 13' 08.44"W		
L341	28.00'	N83° 13' 08.44"E	L341	28.00'	N83° 13' 08.44"E		
L342	47.13	30.00	090°01'03"	L342	47.13	30.00	090°01'03"
L343	48.17	84.00	032°51'25"	L343	48.17	84.00	032°51'25"
L344	14.33	25.00	032°50'30"	L344	14.33	25.00	032°50'30"
L345	74.53	203.00	021°02'08"	L345	74.53	203.00	021°02'08"
L346	28.22	40.00	040°25'00"	L346	28.22	40.00	040°25'00"
L347	28.00'	S83° 13' 08.44"W	L347	28.00'	S83° 13' 08.44"W		
L348	28.00'	S83° 13' 08.44"E	L348	28.00'	S83° 13' 08.44"E		
L349	28.00'	S83° 13' 08.44"W	L349	28.00'	S83° 13' 08.44"W		
L350	90.44	186.00	027°51'32"	L350	90.44	186.00	027°51'32"
L351	28.00'	S83° 13' 08.44"W	L351	28.00'	S83° 13' 08.44"W		
L352	28.00'	N83° 13' 08.44"E	L352	28.00'	N83° 13' 08.44"E		
L353	28.00'	S83° 13' 08.44"W	L353	28.00'	S83° 13' 08.44"W		
L354	28.00'	N83° 13' 08.44"E	L354	28.00'	N83° 13' 08.44"E		

Curve #	Length	Radius	Delta	Curve #	Length	Radius	Delta
C200	47.81	32.00	085°35'45"	C240	214.14	186.00	065°57'54"
C201	81.32	65.00	071°40'45"	C241	13.52	4.30	180°00'00"
C202	62.84	40.00	090°01'03"	C242	34.48	25.00	079°00'49"
C203	47.13	30.00	089°58'57"	C243	138.15	162.00	048°51'34"
C204	7.85	5.00	090°00'00"	C244	7.44	3.00	142°07'34"
C205	7.85	5.00	090°00'00"	C245	4.71	3.00	090°00'00"
C206	7.85	5.00	090°00'00"	C246	13.52	4.30	180°00'00"
C207	16.49	5.25	180°00'00"	C247	15.00	6.00	143°15'10"
C208	14.14	4.50	180°00'00"	C248	24.11	162.00	008°31'40"
C209	4.71	3.00	090°00'00"	C249	29.73	15.00	113°34'23"
C210	7.85	5.00	090°00'00"	C250	4.96	3.00	094°38'47"
C211	7.85	5.00	090°00'00"	C251	14.14	4.50	180°00'00"
C212	47.13	30.00	090°01'03"	C252	29.73	15.00	113°34'23"
C213	48.17	84.00	032°51'25"	C253	14.14	4.50	179°59'56"
C214	14.33	25.00	032°50'30"	C254	5.04	3.00	096°19'03"
C215	74.53	203.00	021°02'08"	C255	20.32	15.00	077°37'36"
C216	28.22	40.00	040°25'00"	C256	17.12	162.00	006°03'21"
C217	12.78	5.00	146°24'24"	C257	6.75	3.00	128°52'09"
C218	90.44	186.00	027°51'32"	C258	4.20	5.00	048°07'08"
C219	47.12	30.00	090°00'04"				

IRMA Project No. 4907-B
W&C - 14-100-132-01
C-107



- KEYED NOTES**
- 1 BUILD PCC MEDIAN C&G, PER COA STD DWG 2415B
 - 2 BUILD PCC SIDEWALK, PER COA STD DWG 2430
 - 3 BUILD ADA CURB RAMP, PER SHEET C-501
 - 4 BUILD PEDESTRIAN WALKWAY, PER SHEET C-501
 - 5 BUILD PCC DRIVEWAY, PER SHEET C-501
 - 6 BUILD COLORED PATTERNED MEDIAN CONCRETE, PER SHEET C-501
 - 7 BUILD REFUSE CONTAINER & ENCLOSURE, SEE SHEET C-500
 - 8 PROPERTY LINE
 - 9 BUILD FLEXIBLE PAVEMENT (ASPHALT), PER DETAIL ON SHEET C-500
 - 10 BUILD RIGID PAVEMENT (PC CONCRETE), PER DETAIL ON SHEET C-500
 - 11 BUILD PCC STANDARD CURB & GUTTER, PER COA STD DWG 2415A
 - 12 SAW CUT LINE FOR REMOVAL OF EXISTING ASPHALT
 - 13 BUILD PCC VALLEY GUTTER, PER COA STD DWG 2420
 - 14 BUILD PCC MOUNTABLE CURB, ESTATE TYPE PER COA STD DWG 2415A
 - 15 INSTALL BICYCLE RACK PER SHEET C-500
 - 16 INSTALL 35-FT TALL FLAG POLES AND FOUNDATION, PER SHEET C-500 (LOCATION TBD)
 - 17 NEW LOCATION FOR GORILLA SCULPTURE (TBD)
 - 18 INSTALL GATE PER SHEET C-500. GATES TO REMAIN OPEN DURING BUSINESS HOURS.
 - 19 INSTALL CHAIN LINK FENCE, PER COA STD DWG 2252
 - 20 REFLECTORIZED HOT THERMOPLASTIC PAVEMENT STRIPE - 4" DOUBLE YELLOW
 - 21 REFLECTORIZED HOT THERMOPLASTIC PAVEMENT STRIPE - 4" DASHED WHITE (3' STRIPE, 9' GAP)
- RE-XX** GARDEN WALLS AND/OR RETAINING WALLS
SEE PLAN & PROFILE SHEETS C-
SEE PLAN & PROFILE SHEETS C-

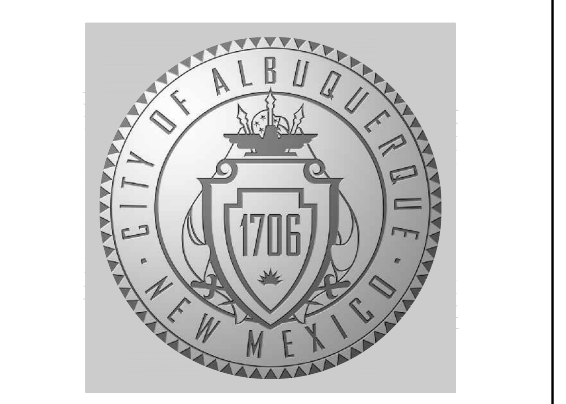
Project Revision

Rev	Description	Date
1	DRB SUBMITTAL	01.25.2019
2	50% OWNER REVIEW	02.06.2019
3	95% OWNER REVIEW	11.20.2019
4	BOLG. DEPT. SUBMIT.	TBD

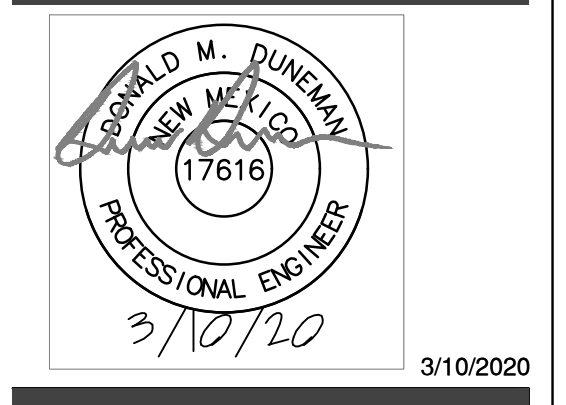


CITY OF ALBUQUERQUE
PROJECT NO. 700693

MAINTENANCE & ADMINISTRATION BUILDING PROJECT
4600 EDITH BLVD NE
ALBUQUERQUE, NM 87107



ONE ALBUQUERQUE



SITE PLAN 3 OF 3

AS NOTED
DATE: 3/10/20

JRMA Project No. 4907-B
W&C - 14-100-132-01
C-108

Line Table

Line #	Length	Direction
L400	40.92'	S83° 13' 08.44"W
L401	294.00'	S06° 46' 51.56"E
L403	22.66'	N83° 13' 08.44"E
L406	159.81'	S83° 13' 08.44"W
L407	2.50'	S83° 13' 08.44"W
L409	161.99'	S06° 46' 51.56"E
L411	171.99'	N06° 46' 51.56"W
L412	65.34'	N83° 13' 17.20"E
L413	26.69'	N06° 48' 04.88"W
L415	104.16'	N82° 11' 39.17"E
L418	50.20'	S06° 45' 59.71"E
L420	55.79'	S83° 13' 08.44"W
L421	171.59'	N06° 46' 29.09"W
L422	145.80'	S83° 13' 08.44"W
L423	101.79'	N06° 46' 51.56"W
L424	56.76'	S06° 45' 59.71"E
L425	31.50'	N83° 13' 08.44"E
L426	106.48'	N06° 45' 59.71"W
L427	50.96'	N11° 10' 11.64"E
L428	31.33'	S57° 11' 16.51"E

Line Table

Line #	Length	Direction
L429	38.00'	N83° 13' 08.44"E
L431	38.00'	S83° 13' 08.44"W
L433	78.82'	N83° 13' 08.44"E
L434	13.00'	N06° 46' 51.56"W
L436	13.00'	N83° 13' 08.44"E
L437	108.00'	N06° 46' 51.56"W
L438	13.50'	S83° 13' 08.44"W
L440	13.50'	N83° 13' 08.44"E
L441	72.00'	N06° 46' 51.56"W
L442	13.50'	S83° 13' 08.44"W
L444	13.50'	N83° 13' 08.44"E
L445	108.00'	N06° 46' 51.56"W
L446	43.00'	S83° 13' 08.44"W
L448	13.00'	N06° 46' 51.56"W
L449	48.95'	S83° 13' 08.44"W
L450	28.00'	S83° 13' 08.44"W
L451	28.00'	N83° 13' 08.44"E
L452	28.00'	S83° 13' 08.44"W
L454	28.00'	N11° 10' 11.64"E
L456	28.00'	S83° 13' 08.44"W

Line Table

Line #	Length	Direction
L458	28.00'	N83° 13' 08.44"E
L460	38.00'	S83° 13' 08.44"W
L461	38.00'	N83° 13' 08.44"E
L462	28.00'	S83° 13' 08.44"W
L463	28.00'	N83° 13' 08.44"E
L464	66.89'	N11° 10' 11.64"E
L467	44.70'	S11° 04' 04.83"W

Curve Table

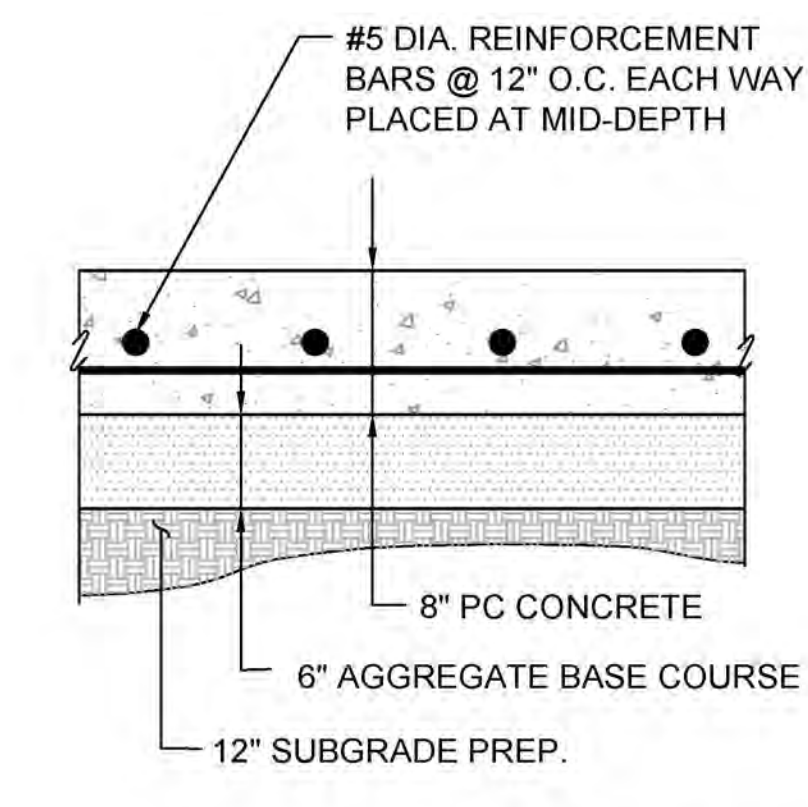
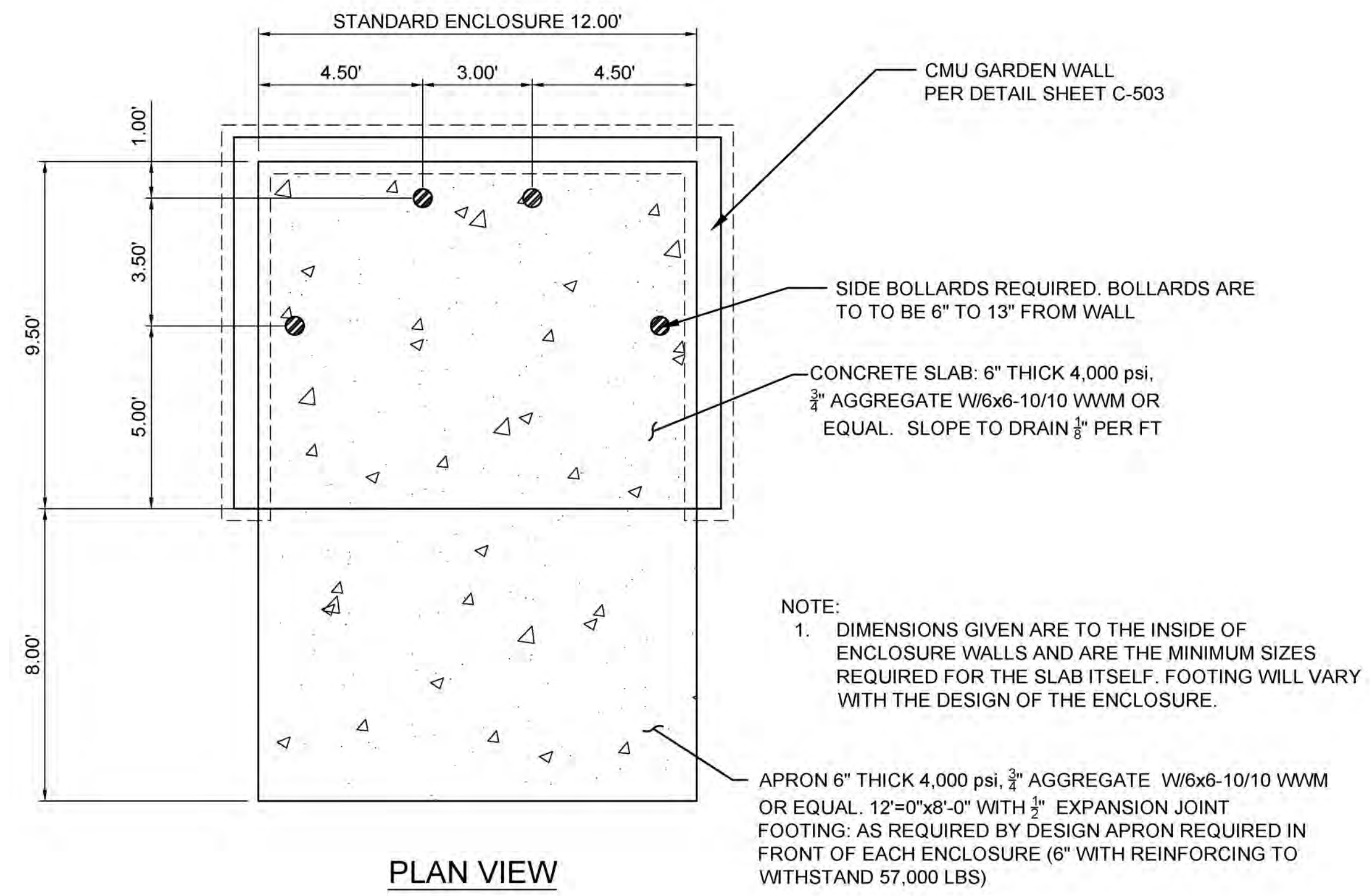
Curve #	Length	Radius	Delta
C400	47.12	30.00	090°00'00"
C401	31.42	20.00	090°00'00"
C402	39.27	25.00	090°00'00"
C403	15.71	10.00	090°00'00"
C404	19.63	6.25	180°00'00"
C405	23.30	15.00	088°59'44"
C406	53.94	50.00	061°46'38"
C407	43.36	85.00	029°13'43"
C408	47.12	30.00	089°59'06"
C409	30.01	30.00	057°19'11"
C412	15.71	10.00	090°00'00"
C414	29.57	30.00	056°28'54"
C415	1.78	5.00	020°22'45"
C416	7.93	5.21	087°16'12"
C418	47.13	30.00	090°00'52"
C420	47.12	30.00	089°59'08"
C422	184.45	165.00	064°02'58"
C423	71.32	140.00	029°11'21"
C424	51.77	200.00	014°49'52"
C425	35.41	30.00	067°37'42"

Curve Table

Curve #	Length	Radius	Delta
C427	52.61	27.00	111°38'32"
C429	18.85	6.00	180°00'00"
C430	18.85	6.00	180°00'00"
C431	7.85	5.00	090°00'00"
C432	14.14	4.50	180°00'00"
C433	14.14	4.50	180°00'00"
C434	7.85	5.00	090°00'00"
C435	18.85	6.00	180°00'00"
C437	18.85	6.00	180°00'00"
C439	21.46	6.83	180°00'00"
C440	21.46	6.83	180°00'00"
C441	18.85	6.00	180°00'00"
C442	18.85	6.00	180°00'00"
C443	21.46	6.83	180°00'00"
C445	21.46	6.83	180°00'00"
C447	18.85	6.00	180°00'00"
C449	18.85	6.00	180°00'00"
C451	6.90	2.50	158°11'38"
C452	23.71	62.00	021°54'28"
C453	14.42	4.59	179°59'36"

GENERAL NOTES

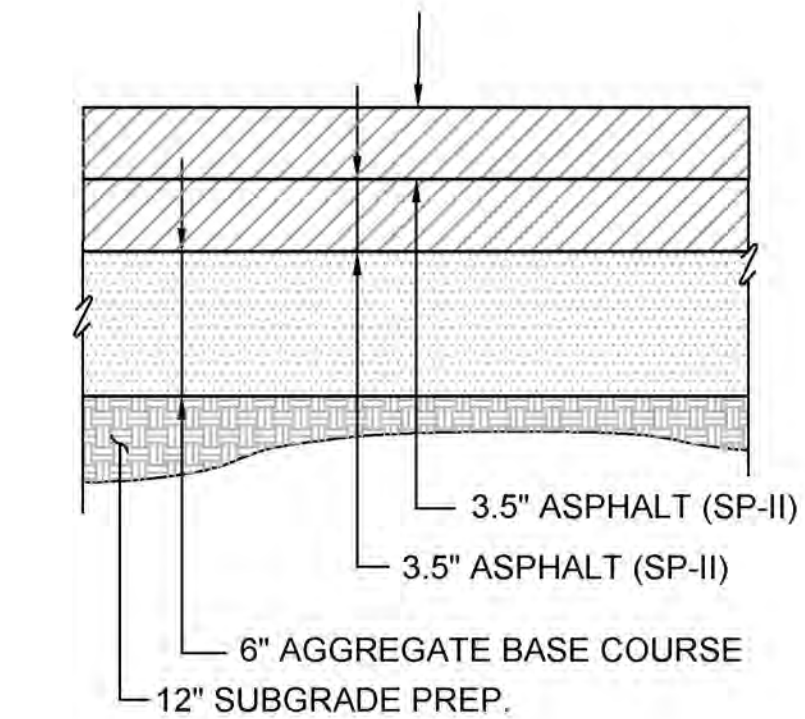
1. FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
2. IF THIS SHEET IS NOT 30"x42", THEN IT IS A REDUCED SIZE PLOT. USE GRAPHIC SCALE ACCORDINGLY.
3. EXISTING UTILITY LOCATIONS ARE APPROXIMATE ONLY AND SHALL BE FIELD LOCATED PRIOR TO CONSTRUCTION.
4. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.



- NOTES:
1. SEE COA STD DWG 2451 TYPE 5 EXPANSION JOINT AND TYPE 6 TRANSITION JOINT IN CONCRETE PAVING DETAILS.
 2. 4,000 PSI CONCRETE
 3. USE FOR 37-FTX55-FT SAND STORAGE AREA

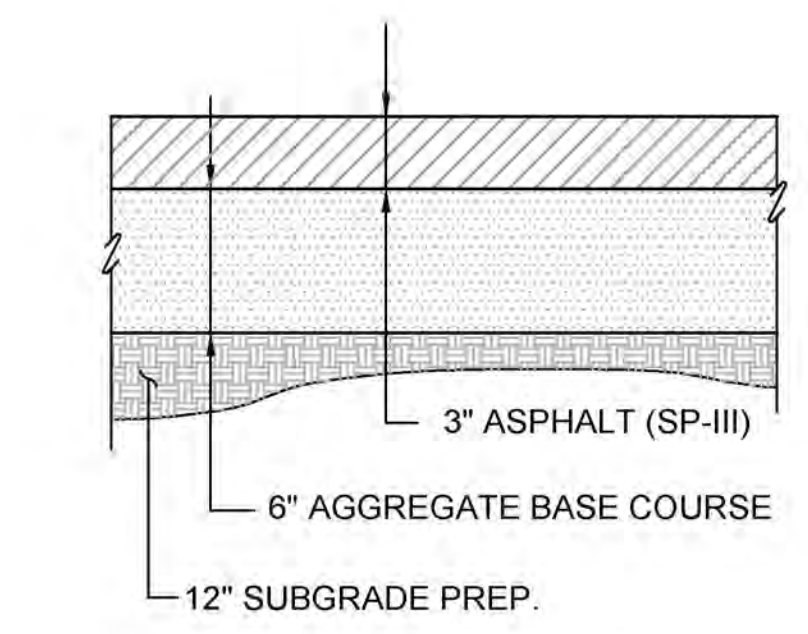
RIGID PAVEMENT SECTION - 8" CONCRETE PAVEMENT

SCALE: NONE



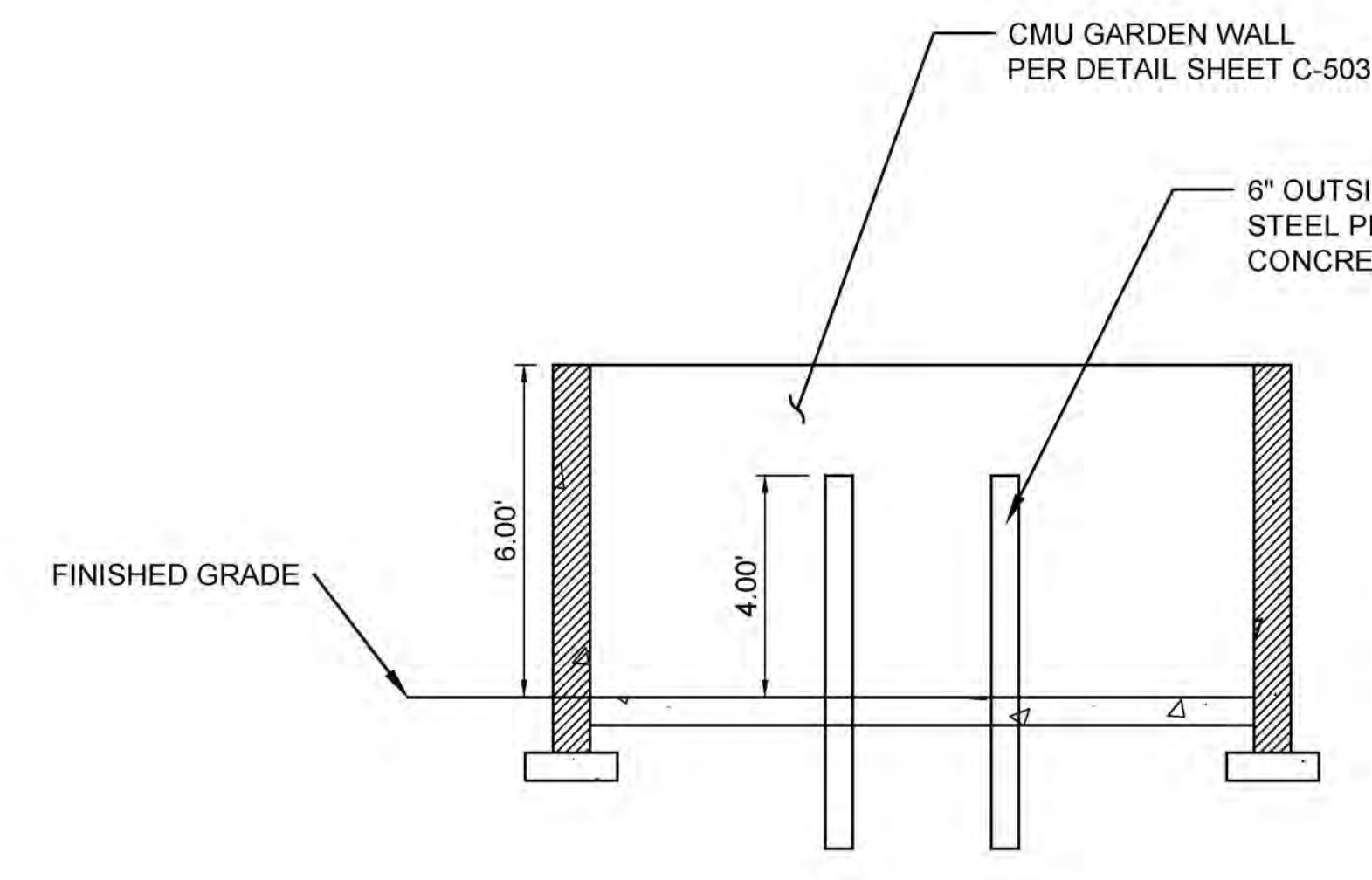
FLEXIBLE PAVEMENT SECTION

SCALE: NONE



PARKING LOT PAVEMENT DETAIL

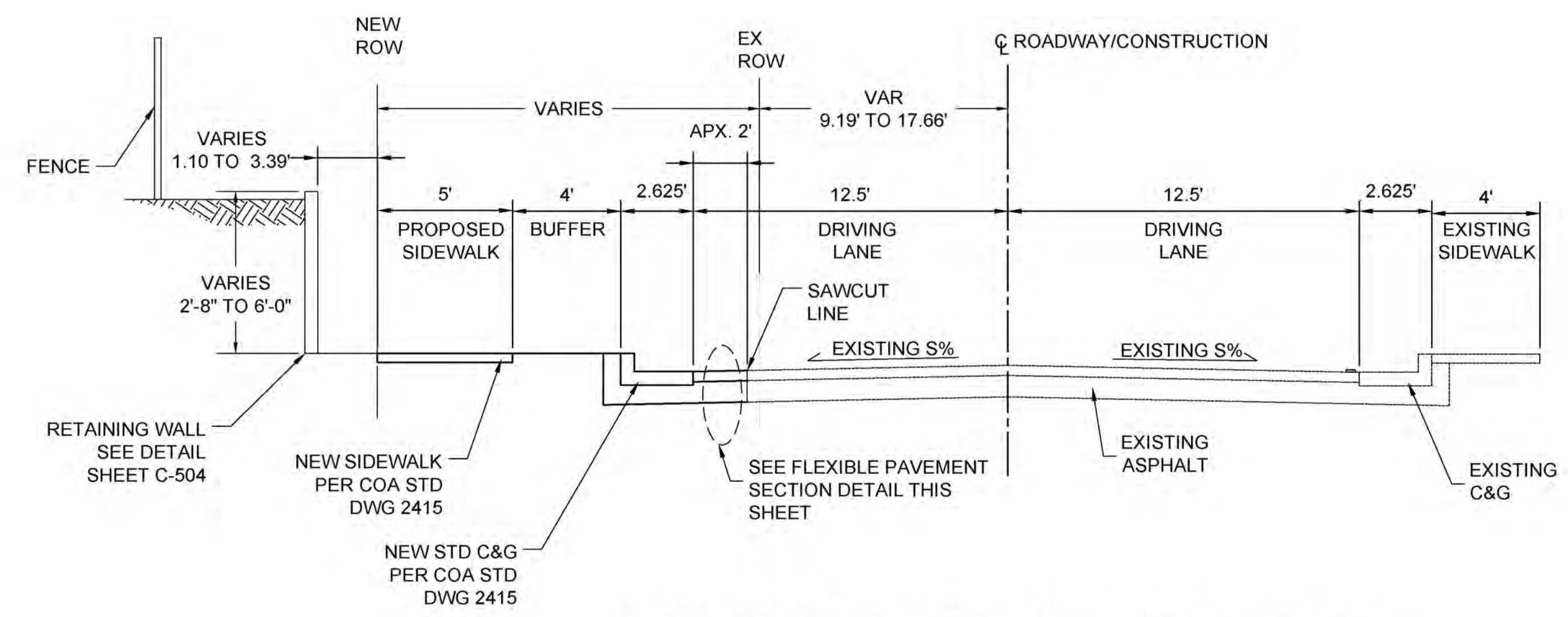
SCALE: NONE



SECTION VIEW

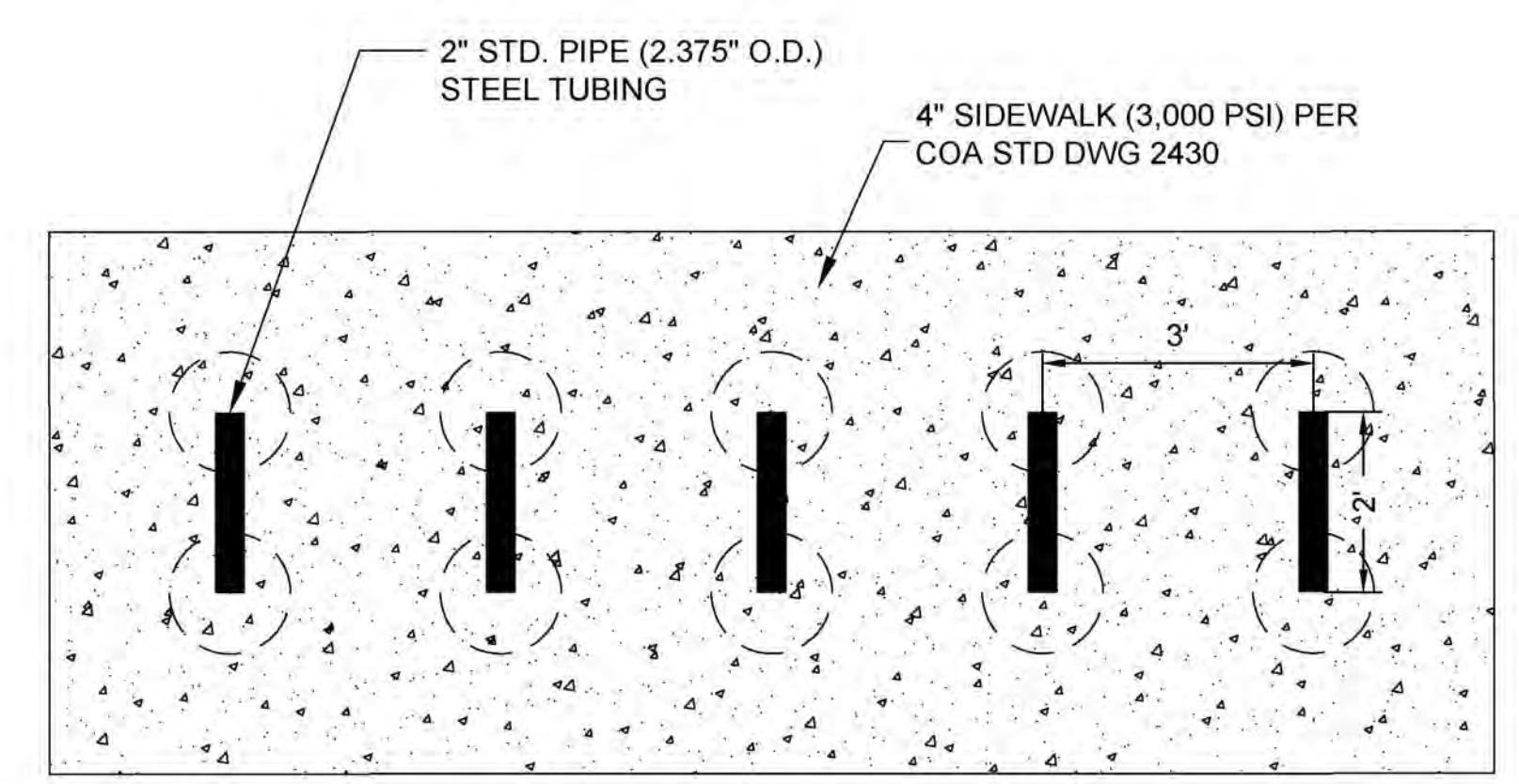
TRASH ENCLOSURE DETAIL

SCALE: NONE

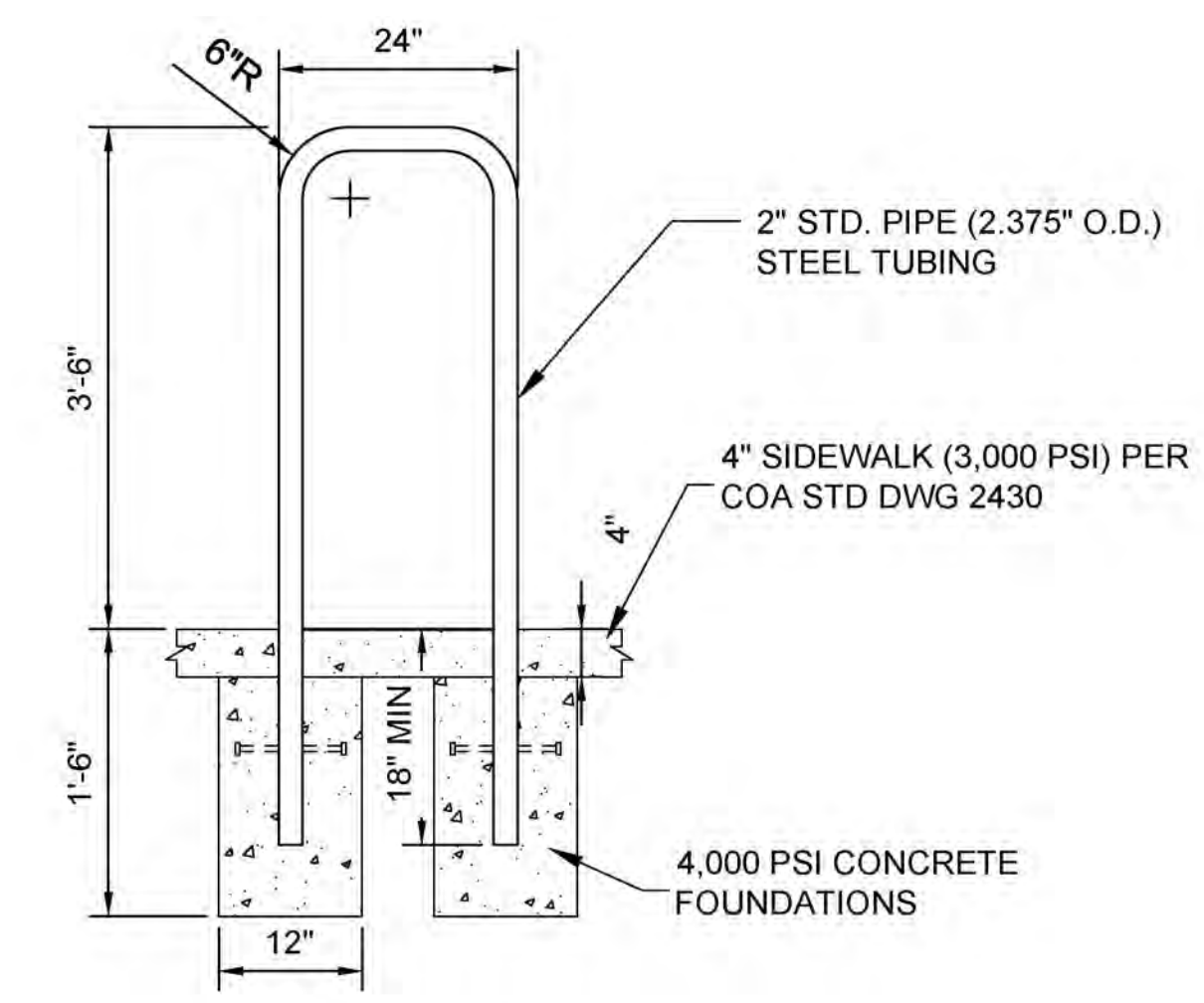


ROADWAY TYPICAL SECTION - RANKIN RD.

SCALE: .25"=1'



PLAN VIEW



SECTION VIEW

BICYCLE RACK DETAILS

SCALE: NONE

1. POST PAINT SHALL BE SHERWIN WILLIAMS 6069 FRENCH ROAST OR APPROVED EQUAL

FLAG POLE DETAIL

SCALE: NONE

SLIDING GATE DETAIL

SCALE: NONE

Project Revision

DRB SUBMITTAL	01.25.2019
50% OWNER REVIEW	02.06.2019
99% OWNER REVIEW	11.20.2019
BOLG. DEPT. SUBMIT.	TBD



CITY OF ALBUQUERQUE
PROJECT NO. 700693

MAINTENANCE & ADMINISTRATION BUILDING PROJECT
4600 EDITH BLVD NE
ALBUQUERQUE, NM 87107



ONE ALBUQUERQUE



AS NOTED
BY RHP

AS NOTED
BY SGG

DWN

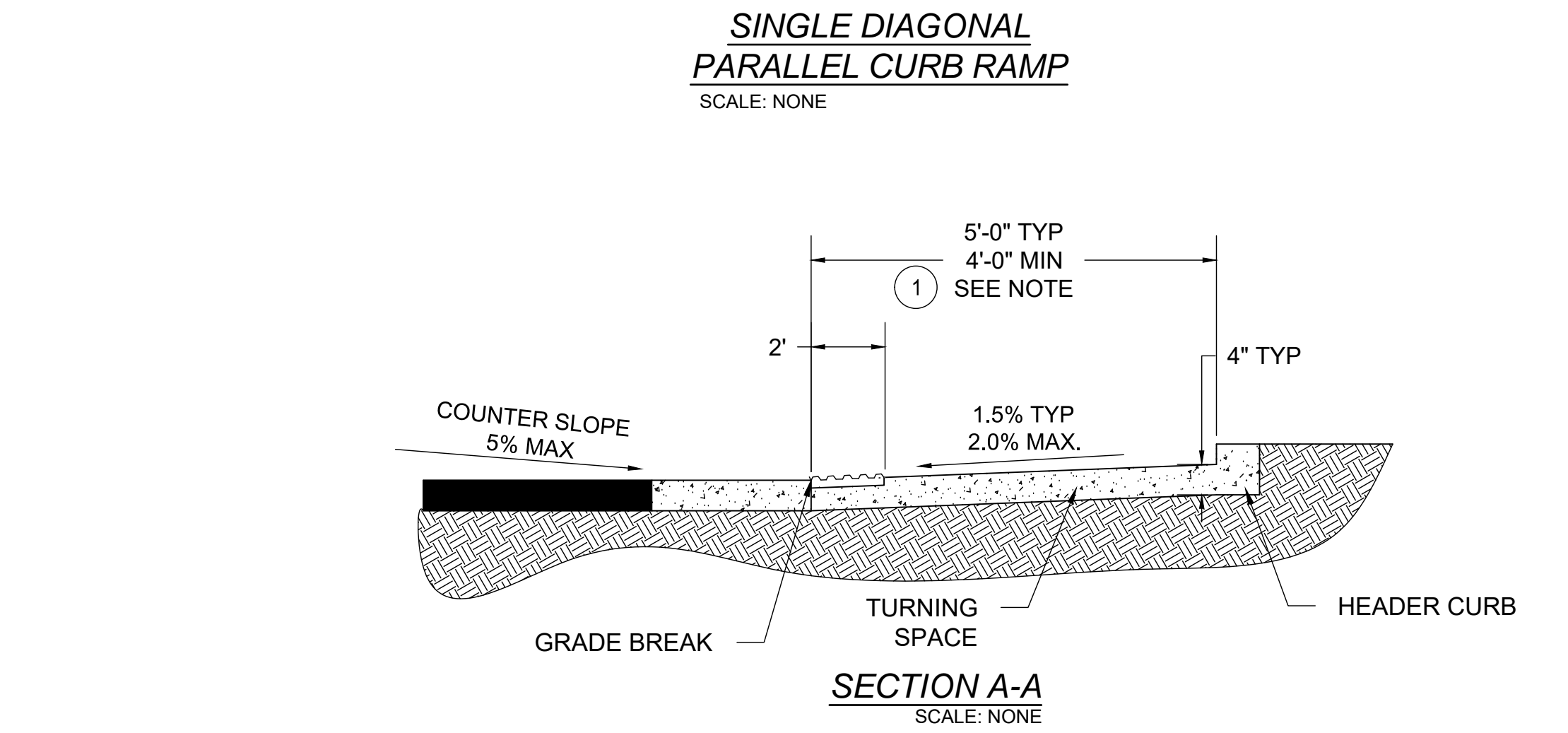
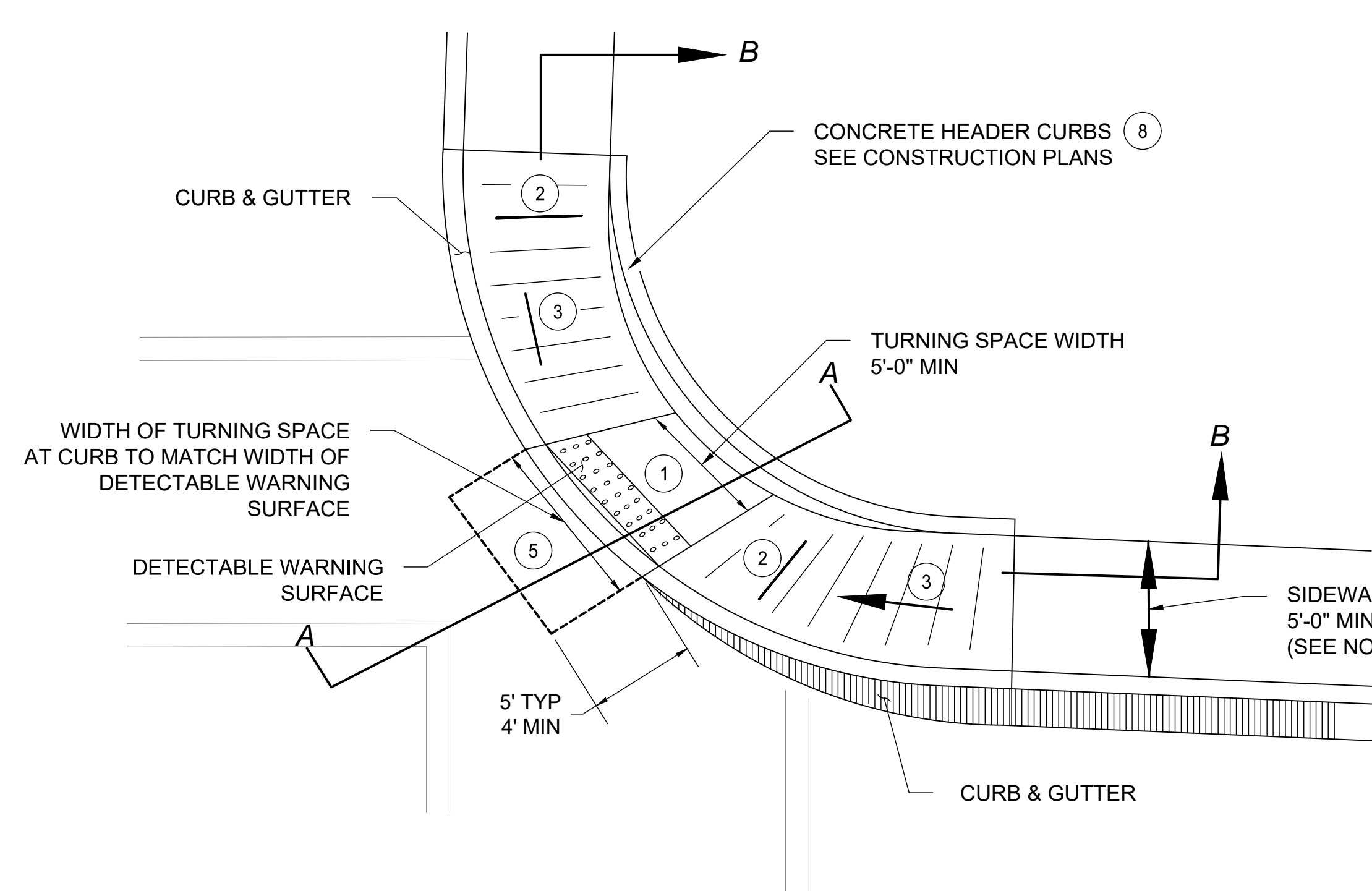
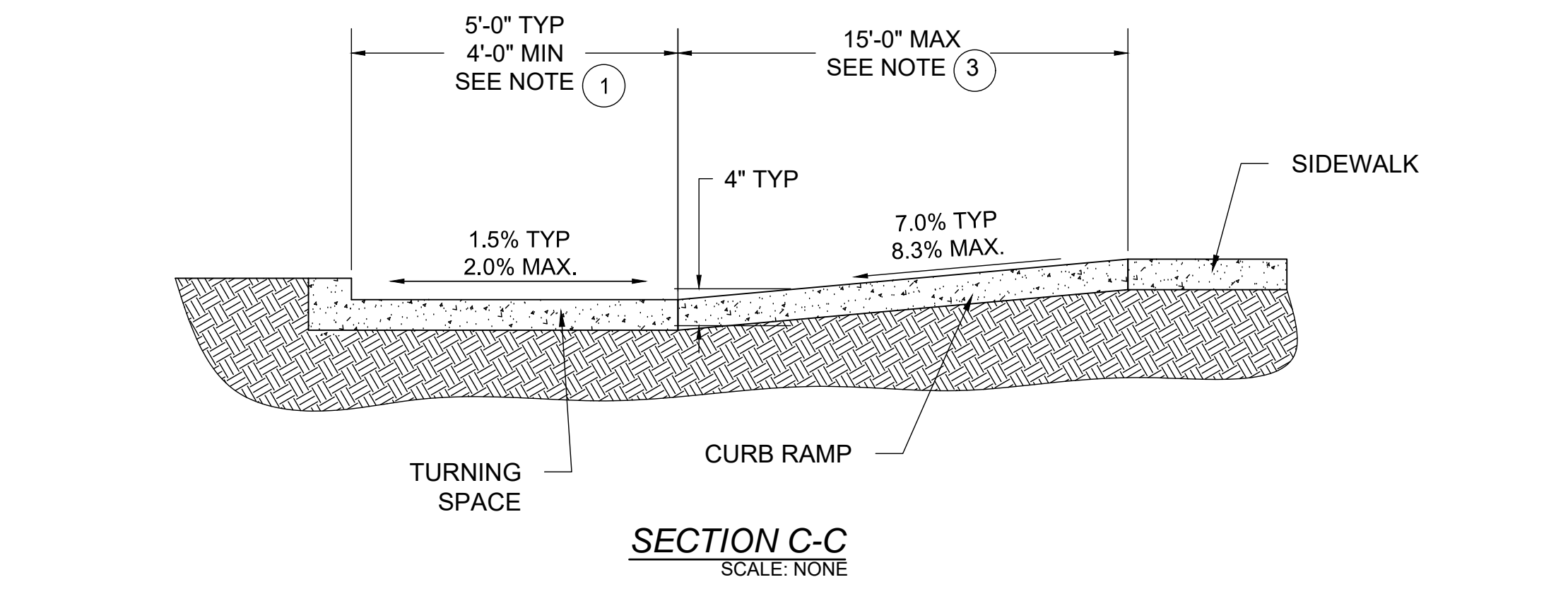
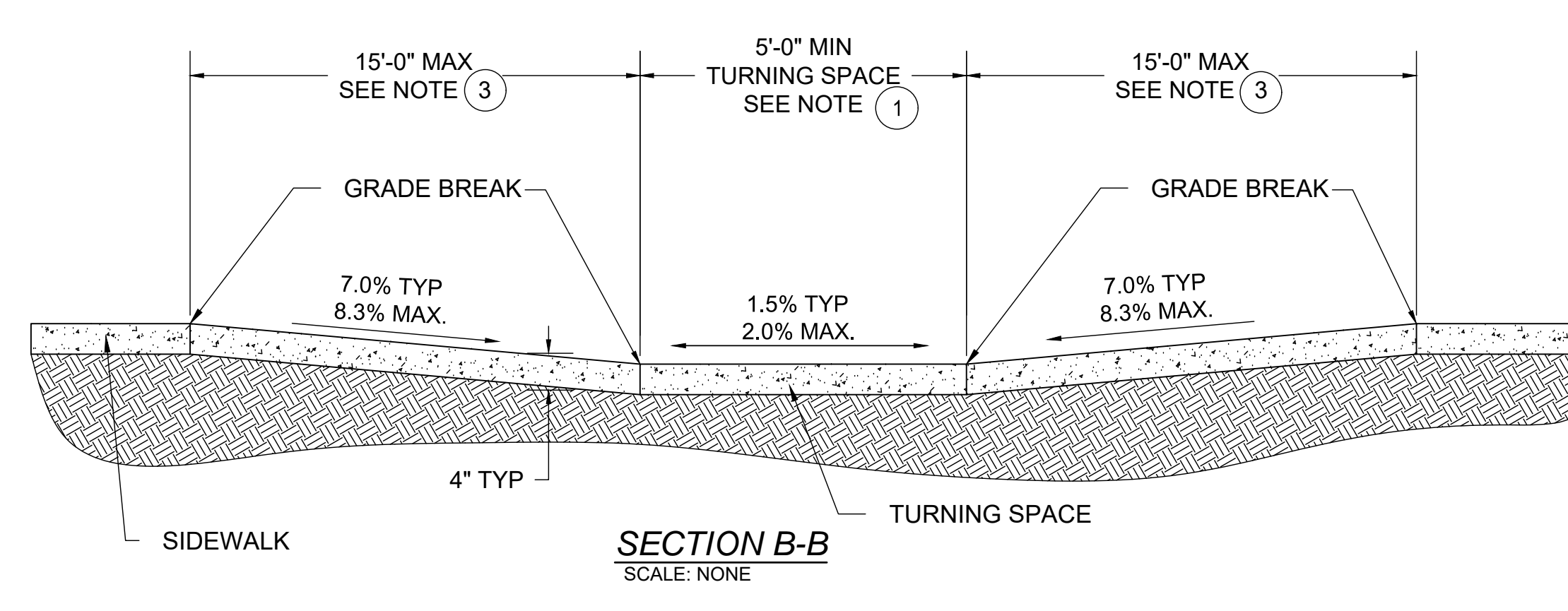
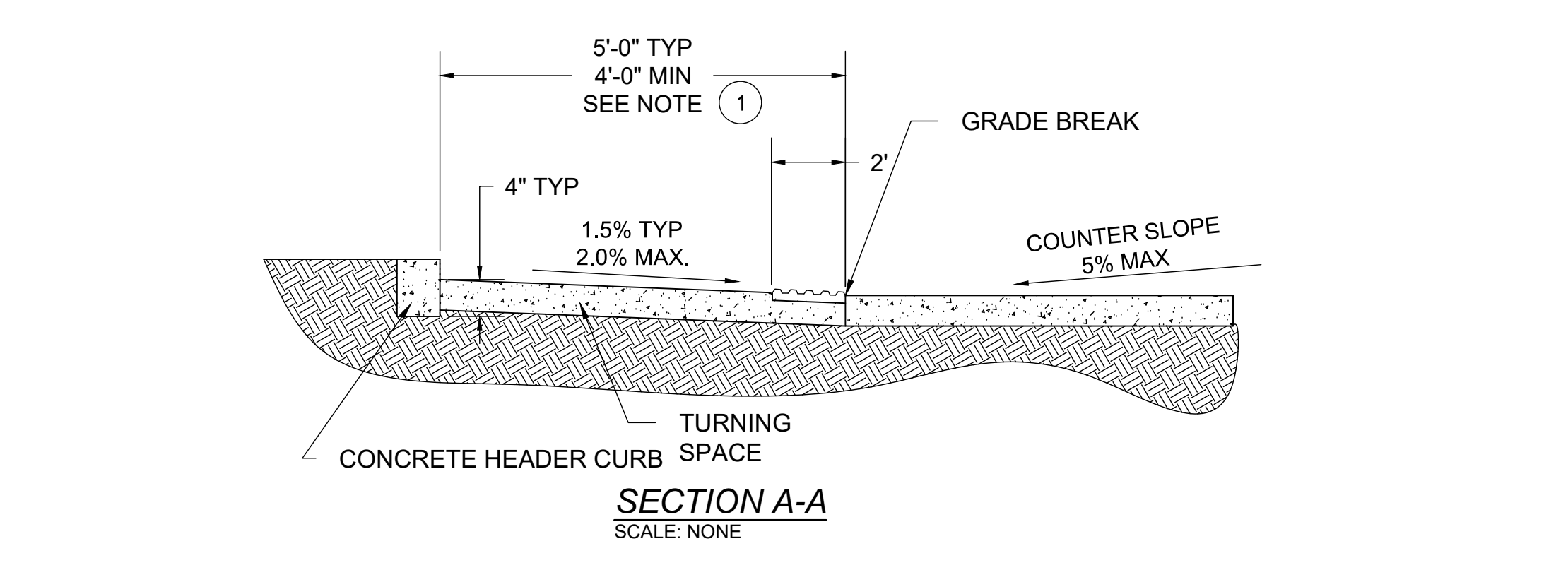
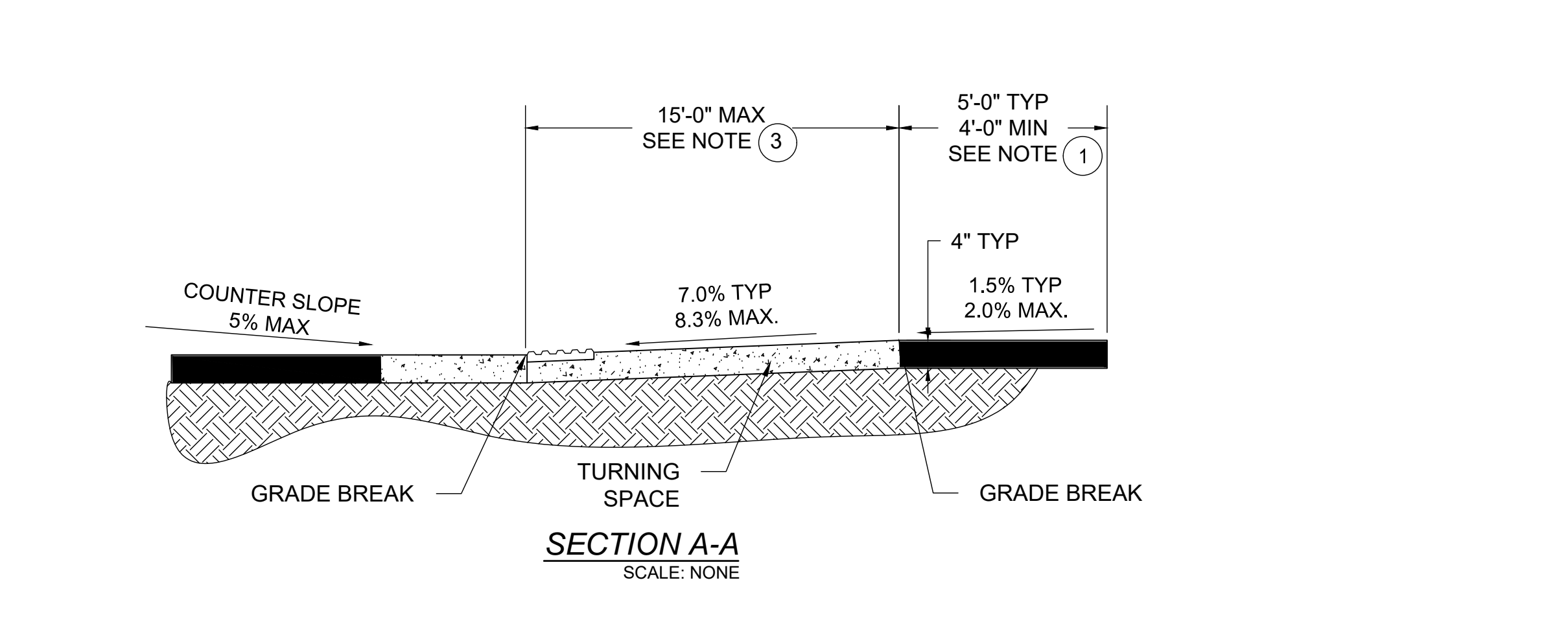
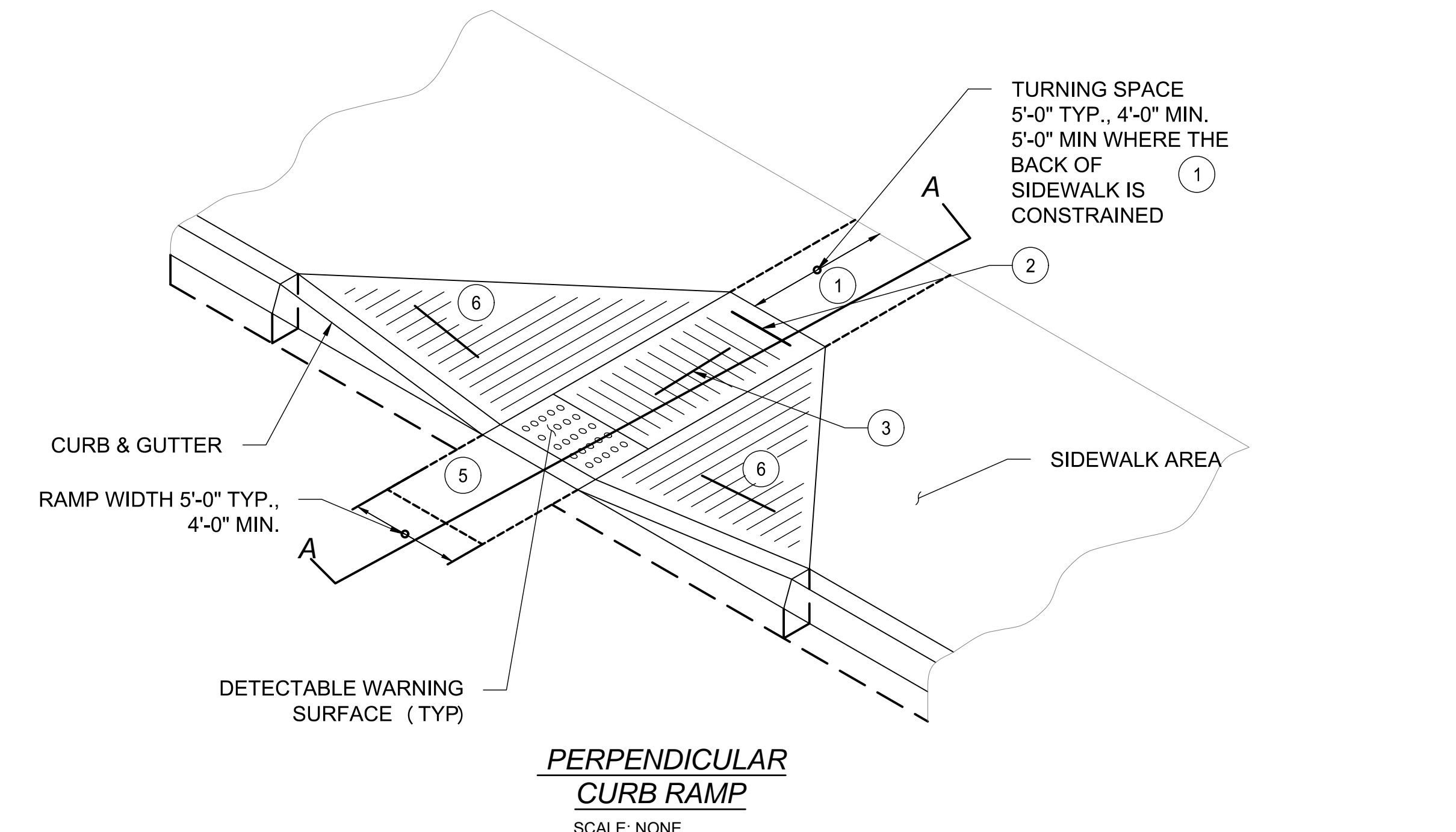
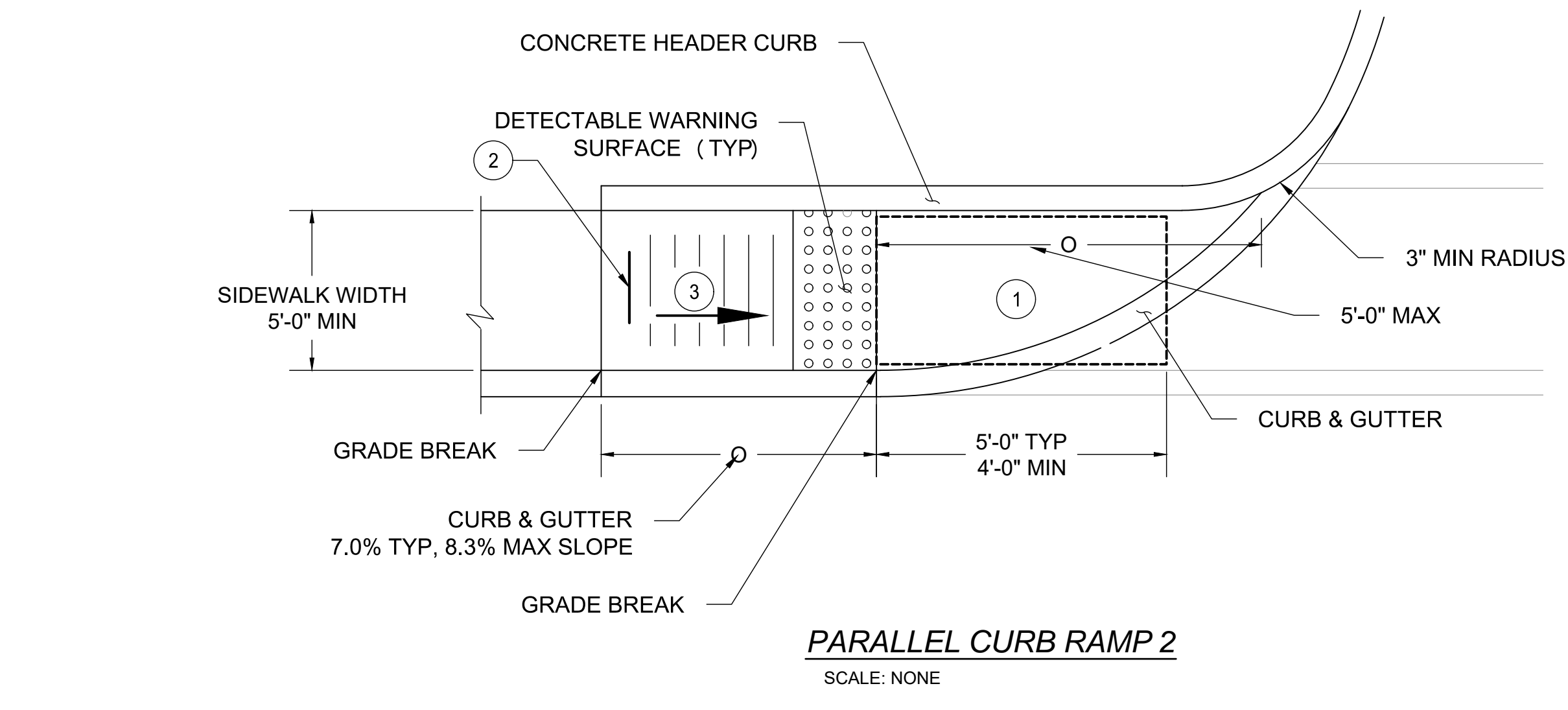
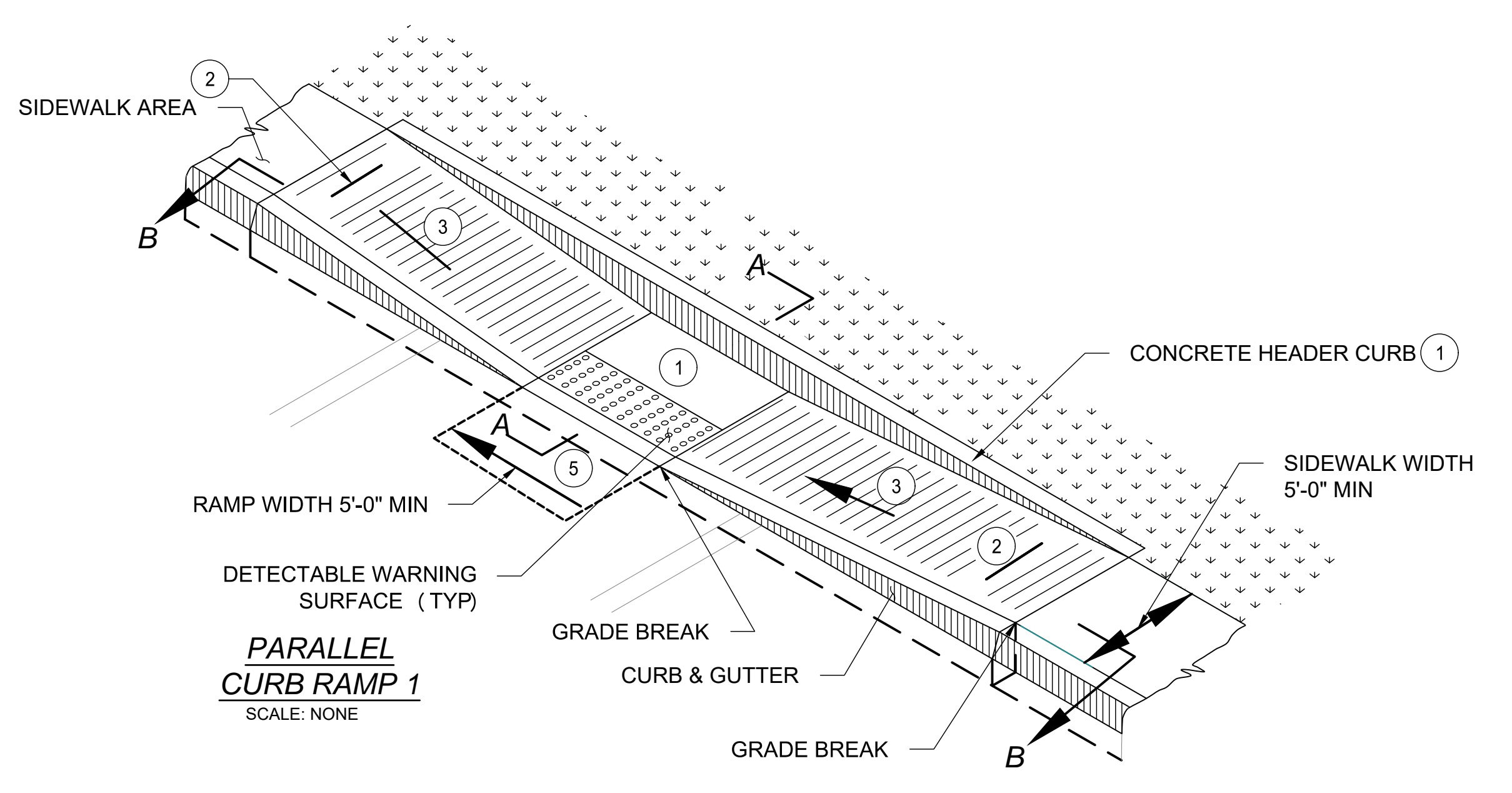
CHK

JRMA Project No. 4907-B

W&C - 14-100-132-01

C-500

M:\TRM\14-100-132-012_DISCIPLINES_SHEETS_SHEETS.CIVIL\C-501-DWG 01/09/2019

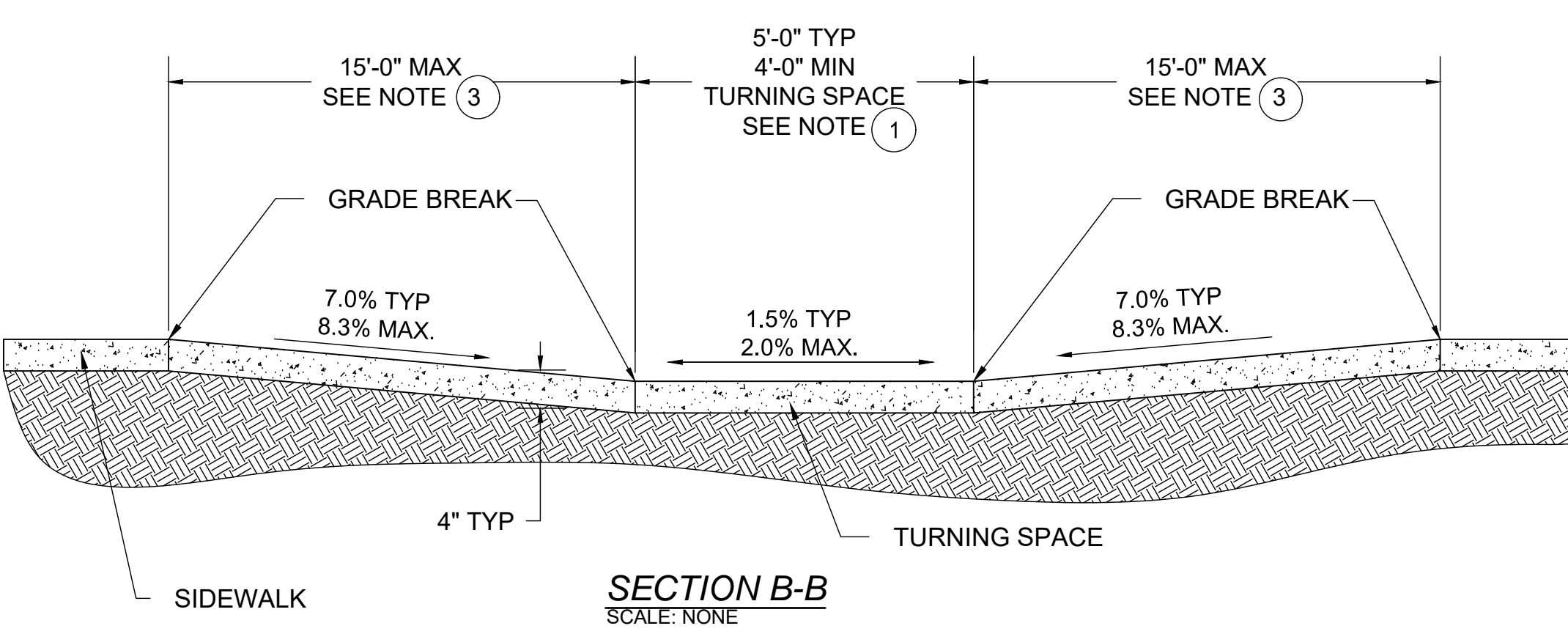
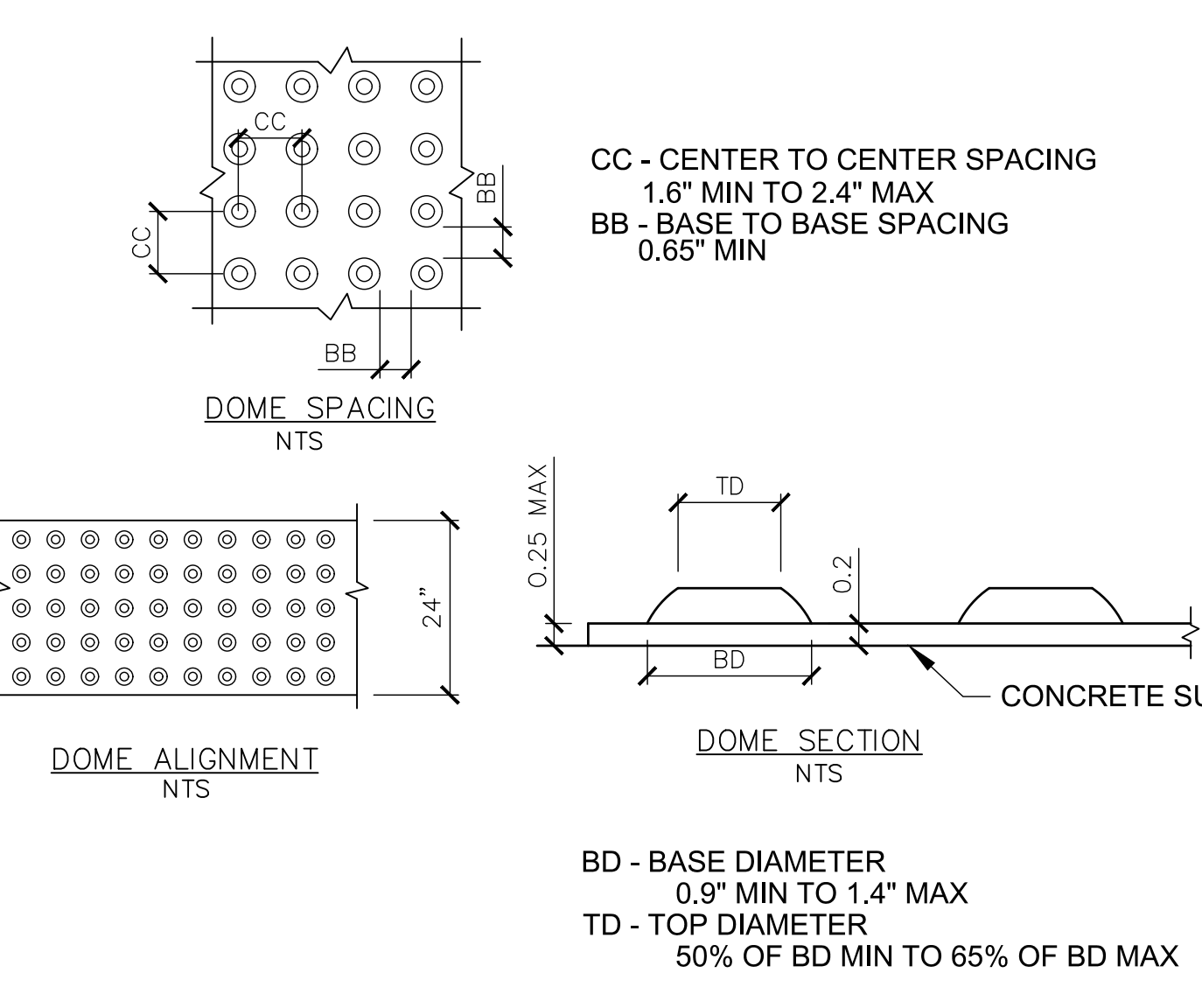


ADA RAMP DETAIL NOTES:

- SEE CITY OF ALBUQUERQUE STANDARD DRAWING 2441 FOR ADDITIONAL CONSTRUCTION NOTES.
- DETECTABLE WARNING SURFACES SHALL BE INSTALLED ON ALL ADA RAMPS.
- SIDEWALKS AND ADA RAMPS ARE TO BE LOCATED AS SPECIFIED ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
- THE TOP OF THE JOINT FILLER FOR ALL ADA RAMP TYPES SHALL BE FLUSH WITH THE ADJACENT CONCRETE.
- DETECTABLE WARNING SURFACES SHALL BE CAST IN PLACE REPLACEABLE TACTILE SYSTEM IN THE COLOR YELLOW, OR ENGINEER APPROVED EQUAL. APPROVED SYSTEMS INCLUDE ALERTILE, ADATILE, AND ACCESSTILE, OR ENGINEER APPROVED EQUAL.
- THE LEAST POSSIBLE ADA RAMP SLOPE SHALL BE USED FOR COMPLIANCE. ADA RAMP SLOPE SHALL NOT EXCEED 12:1. WHERE EXISTING TERRAIN IS STEEP ADA RAMPS NEED NOT EXCEED 15 FEET IN LENGTH.
- FOR CURB AND GUTTER (C & G), HEADER CURB AND VALLEY GUTTER REFER TO CITY OF ALBUQUERQUE STANDARD DRAWINGS 2415A AND 2415B, AND 2441.
- LANDINGS SHALL BE A MINIMUM OF 60"x60" UNLESS OTHERWISE DIRECTED BY THE ENGINEER. SLOPES SHALL NOT EXCEED 2% IN ALL DIRECTIONS.
- PAINT HEADER CURBS ALONG ADA RAMPS YELLOW AS DIRECTED BY THE ENGINEER.

KEYED NOTES

- TURNING SPACE SHALL HAVE MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 2.0% (RECOMMEND 1.5%). TURNING SPACE SHALL BE 4.0 FT BY 4.0 FT MIN (RECOMMEND 5.0 FT BY 5.0 FT) AT THE TOP OF THE CURB RAMP AND SHALL BE PERMITTED TO OVERLAP OTHER TURNING SPACES AND CLEAR SPACES. WHERE THE TURNING SPACE IS CONSTRAINED AT THE BACK OF SIDEWALK, THE TURNING SPACE SHALL BE 4.0 FT MIN BY 5.0 FT MIN. THE 5.0 FT SHALL BE PROVIDED IN THE DIRECTION OF THE RAMP RUN.
 - CROSS SLOPE SHALL BE 2.0% MAX (RECOMMENDED 1.5%). EXCEPTION: THE CROSS SLOPE OF CURB RAMPS AT PEDESTRIAN STREET CROSSING WITHOUT YIELD OR STOP CONTROL, TRAFFIC SIGNALS DESIGNED FOR THE GREEN PHASE, AND AT MIDBLOCK PEDESTRIAN STREET CROSSING, THE CROSS SLOPE IS PERMITTED TO MATCH STREET OR HIGHWAY GRADE.
 - RUNNING SLOPE OF THE CURB RAMP SHALL BE 8.3% MAX (RECOMMENDED 7.0%) BUT SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 15.0 FT TO AVOID CHASING THE SLOPE INDEFINITELY WHEN CONNECTING TO STEEP GRADES. WHEN APPLYING THE 15 FOOT MAX LENGTH, THE RUNNING SLOPE OF THE CURB RAMP SHALL BE EXTENDED AS FLAT AS MAXIMUM EXTENT PRACTICABLE.
 - GRADE BREAKS AT THE TOP AND BOTTOM OF CURB RAMPS RUNS SHALL BE PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN. GRADE BREAKS SHALL NOT BE PERMITTED ON THE SURFACE OF RAMP RUNS AND TURNING SPACE. SURFACE SLOPES THAT MEET AT GRADE BREAKS SHALL BE FLUSH.
 - COUNTER SLOPE OF THE GUTTER OR STREET AT THE FOOT OF A CURB RAMP, RUN OR TURNING SPACE SHALL BE 5% MAX.
 - FLARED SIDES ARE TO HAVE A SLOPE OF 10% MAX (RECOMMEND 9%), MEASURED PARALLEL TO THE BACK OF THE CURB. UNLESS THE FLARED SIDES ARE PROTECTED FROM CROSS TRAVEL BY LANDSCAPING, STREET FURNITURE, CHAINS, FENCING, OR RAILINGS.
- NOTES:**
- DO NOT SCORE OR MAKE GROOVES IN SLOPED SURFACE. LINES SHOWN ON STANDARD DETAILS ARE FOR ILLUSTRATION ONLY.
 - DETAILS OF THE DETECTABLE WARNING SURFACE ARE SHOWN IN THIS SHEET.



2700 SATURN ST | BRE, CA 92821
T. 714.524.1870 | F. 714.524.1875
WWW.JRMA.COM

Project Revision

DRB SUBMITTAL	01.25.2019
50% OWNER REVIEW	02.6.2019
95% OWNER REVIEW	11.20.2019

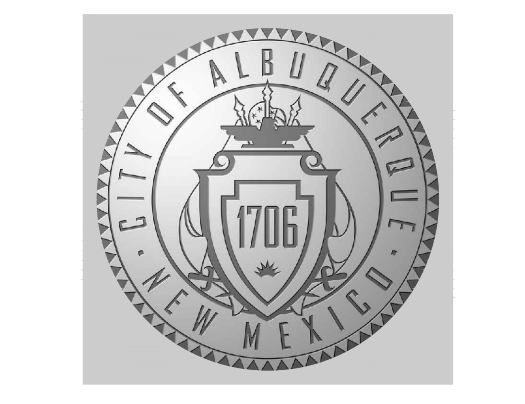


4401 MASTHEAD
STREET NE, Suite 150
ALBUQUERQUE, NM 87109
PHONE: (505) 348-4000



CITY OF ALBUQUERQUE
PROJECT NO. 700693

MAINTENANCE & ADMINISTRATION BUILDING PROJECT
4600 EDITH BLVD NE
ALBUQUERQUE, NM 87107



ONE ALBUQUERQUE

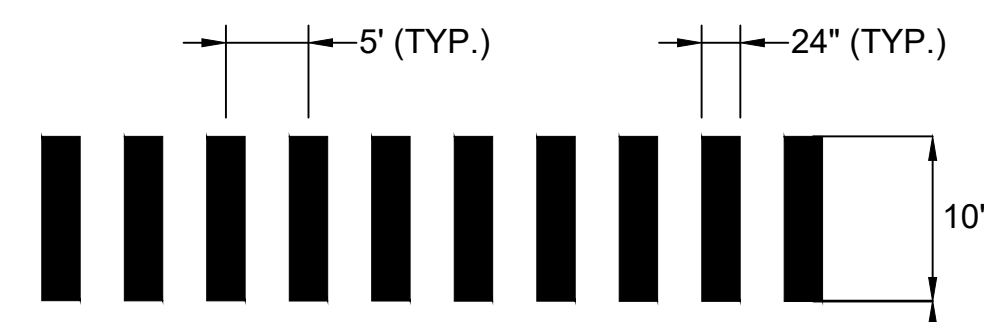
PRELIMINARY NOT FOR CONSTRUCTION

ADA RAMP DETAILS

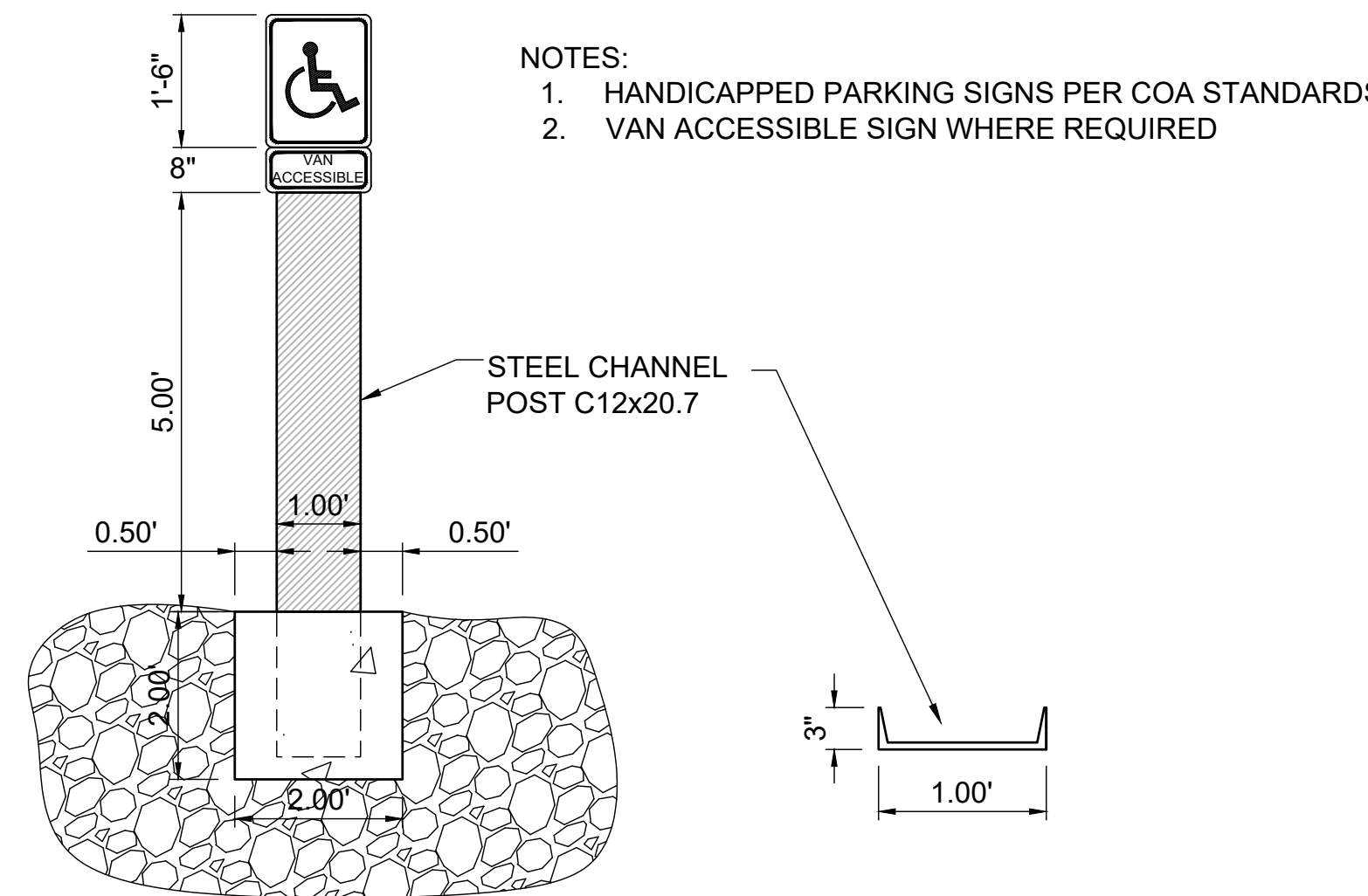
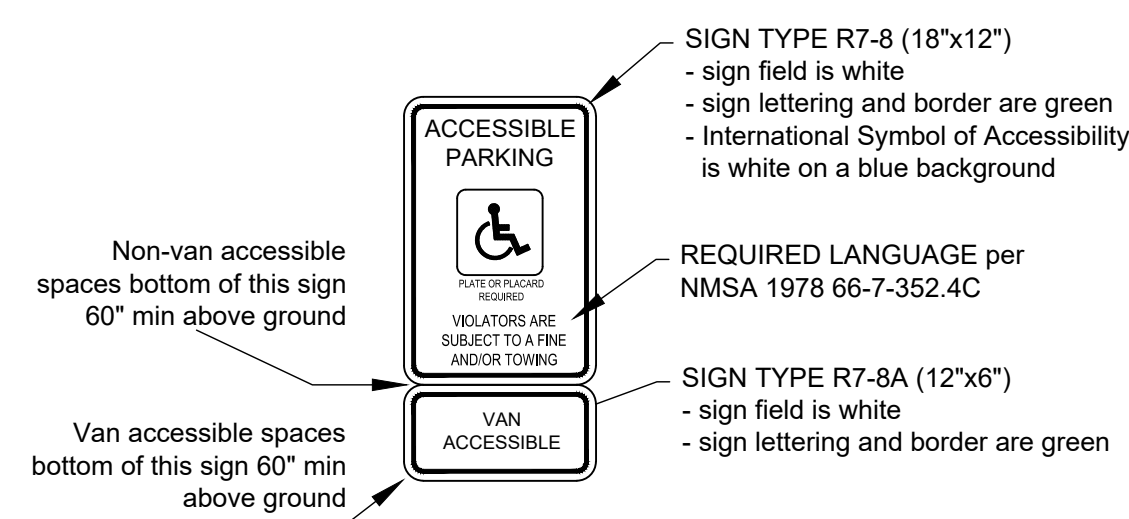
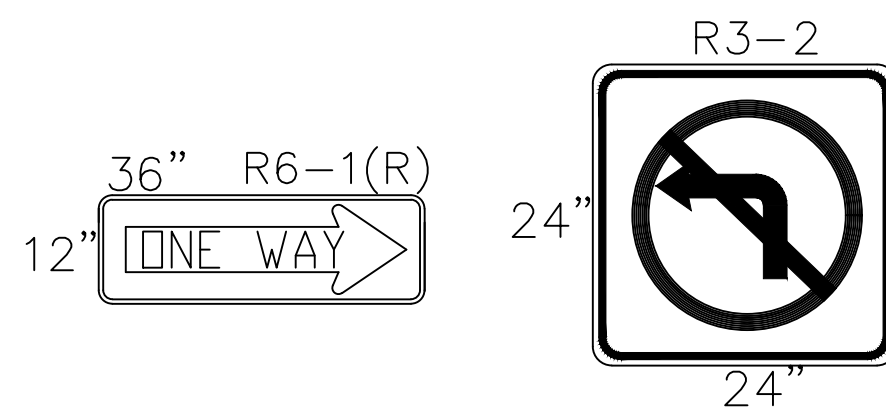
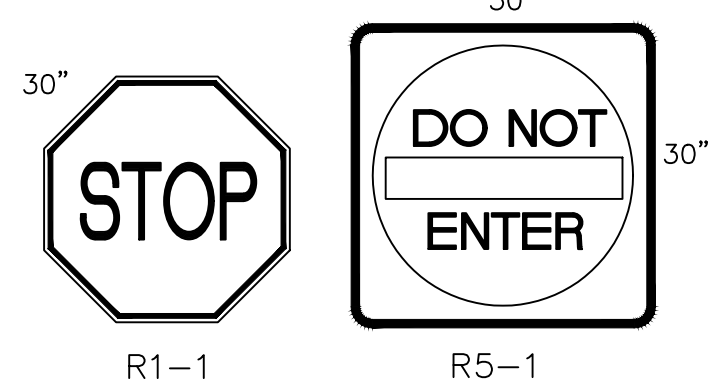
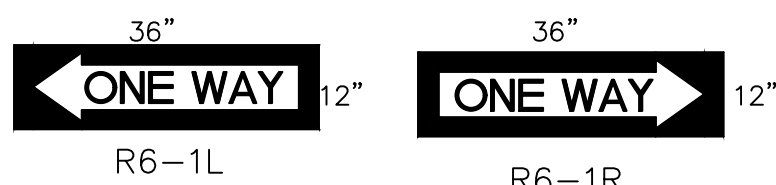
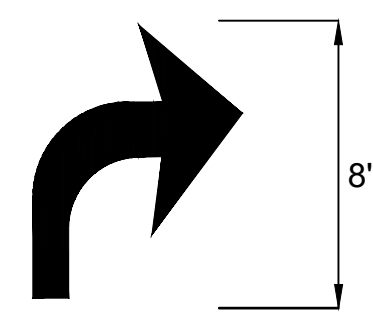
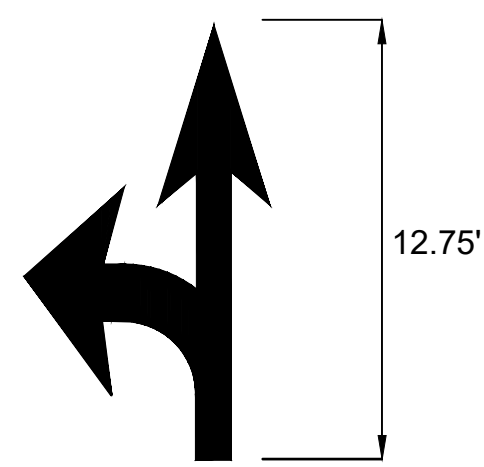
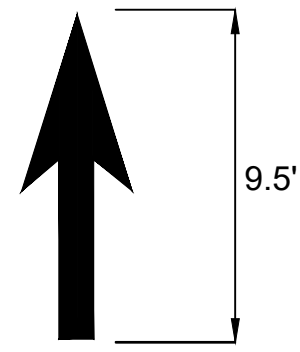
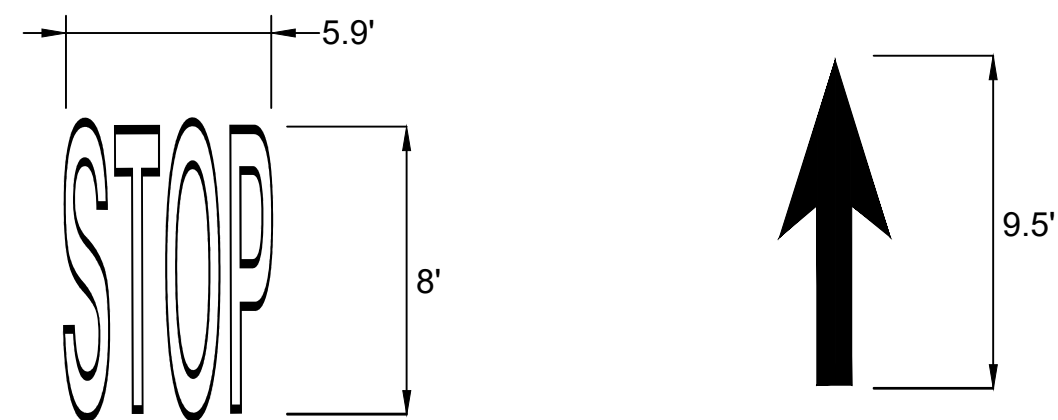
AS NOTED	AS NOTED
DATE	SCALE
DAP	SGG
DWN	CHK

JRMA Project No.
4907-B
W&C - 14-100-132-01

C-501



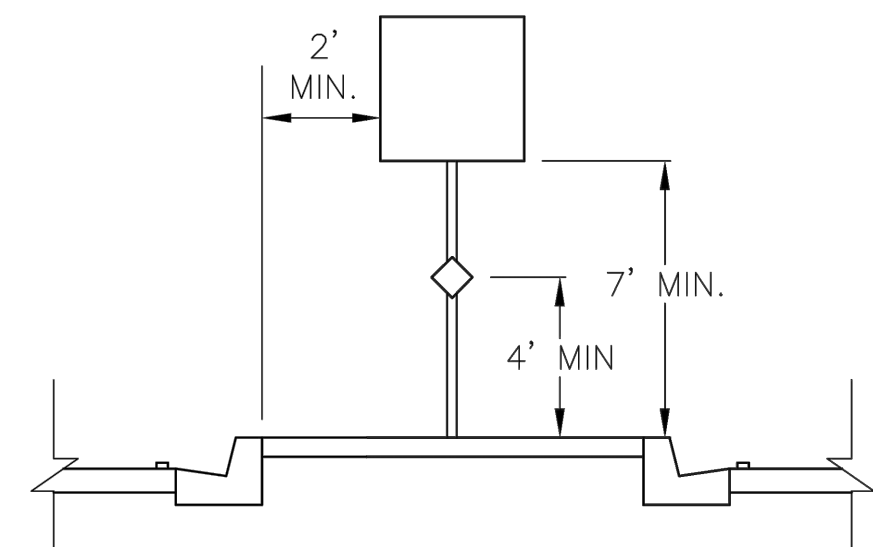
CROSSWALK
N.T.S.



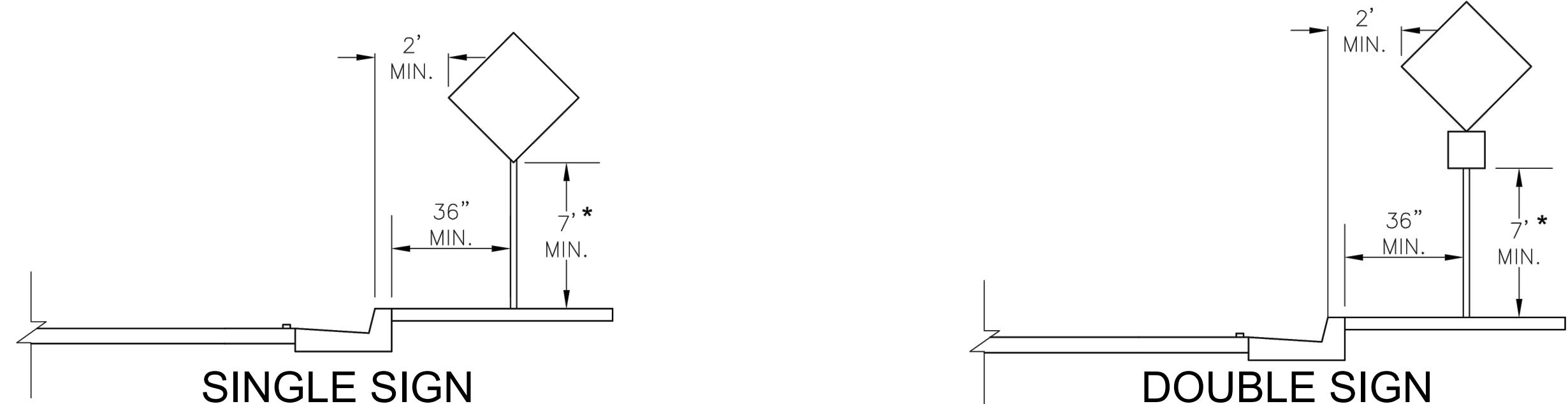
PARKING SIGN
SCALE: NONE

PARKING SIGN-SECTION
SCALE: NONE

NOTES:
1. HANDICAPPED PARKING SIGNS PER COA STANDARDS
2. VAN ACCESSIBLE SIGN WHERE REQUIRED

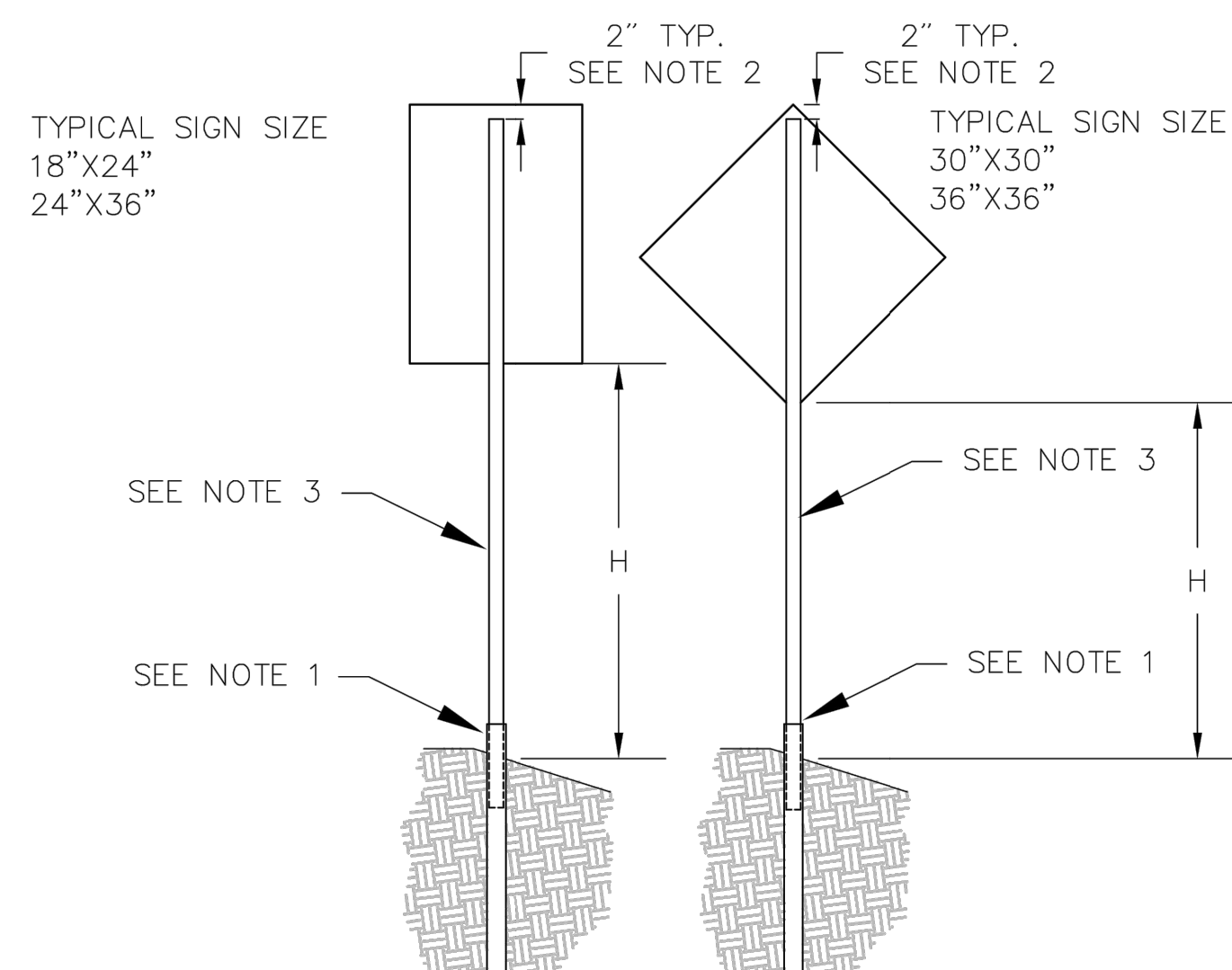


SIGN ON MEDIAN NOSE



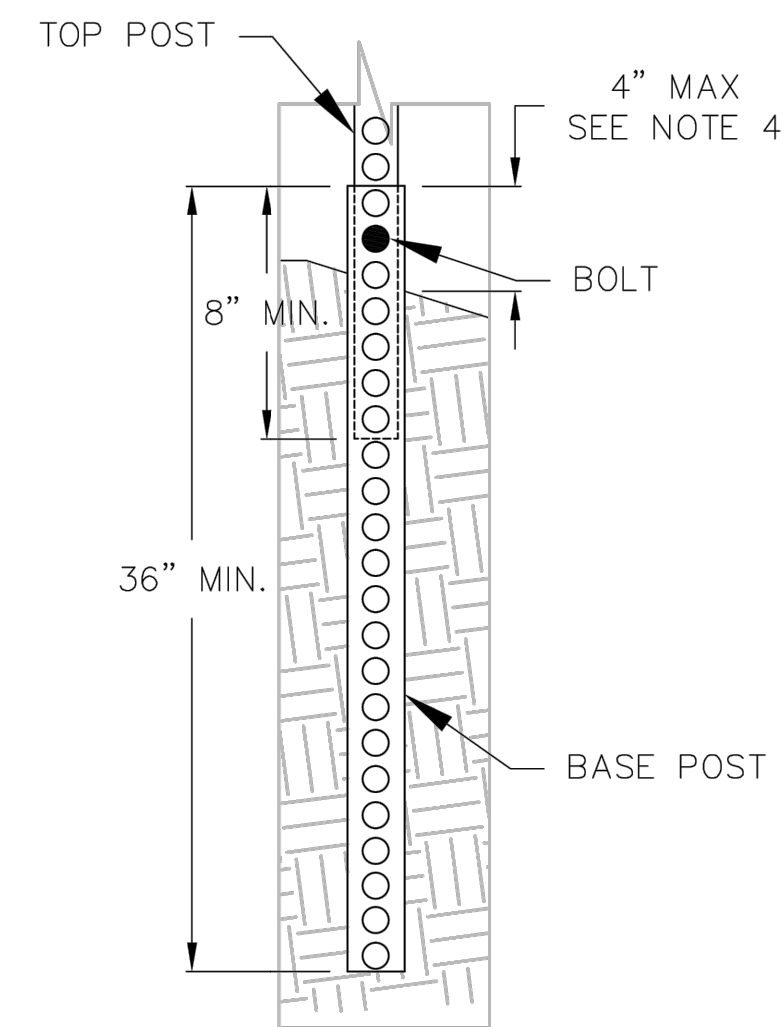
ROADSIDE SIGN IN URBAN AREAS

GENERAL NOTES:
1. HORIZONTAL CLEARANCES APPLY TO INSTALLATIONS LEFT AND RIGHT SIDE OF ROADWAY.
2. SUPPLEMENTAL SIGNS SHALL NOT BE ATTACHED DIRECTLY TO PRIMARY PANEL INSTALLATIONS.
3. SPACING BETWEEN SUPPLEMENTAL PANELS AND PRIMARY PANELS SHALL NOT EXCEED 6".



SIGN POST REQUIREMENTS			
POST TYPE	POST SIZE	MAX. CLEAR HEIGHT "H" (FT.)	MAX. SIGN AREA (SQ. FT.)
SQUARE TUBING	2"x2" (12 GA.)	9	8
SQUARE TUBING	2"x2" (12 GA.)	8	9
SQUARE TUBING	2"x2" (12 GA.)	7	10

SINGLE POST INSTALLATION
(TOTAL SIGN AREA NOT TO EXCEED 10 SQ. FT.)



***SQUARE TUBING**
(SLEEVE BASE)

BASE POST INSTALLATION

*NOTE: SEE MANUFACTURER'S DRAWINGS FOR SPECIFIC ASSEMBLY INFORMATION (POST TO BASE OVERLAP), INCLUDING TYPES OF NUTS, BOLTS, WASHERS, AND OTHER PARTS REQUIRED FOR PRODUCT USE.

GENERAL NOTES:
1. STEEL POSTS, BASE POSTS, AND SLIP BASES FOR ALUMINUM PANEL SIGNS SHALL BE SELECTED FROM THE APPROVED PRODUCT LIST. ALL SIGNS MOUNTED WITHIN THE CLEAR ZONE SHALL BE MOUNTED ON A NCHRP REPORT 350 APPROVED SIGN POST/BASE POST BREAKAWAY SYSTEM UNLESS INSTALLATION IS LOCATED BEHIND A NON-GATING LONGITUDINAL BARRIER.
2. TOP EDGE OF POSTS SHALL NOT EXTEND PAST TOP EDGE OF SIGN.
3. ALL SQUARE TUBING SIGN POST REQUIREMENTS ARE BASED ON A 10 OR 12 GAUGE THICKNESS. ASTM A570 GRADE 50 STEEL. A MINIMUM YIELD STRENGTH OF 60,000 PSI AND 70 MPH WIND LOAD. SEE THE MUTCD FOR FURTHER GUIDANCE.
4. BASE POST SHALL NOT EXTEND MORE THAN 4" ABOVE GROUND LEVEL AND SHALL BE OF THE SAME WEIGHT/GAUGE AND TYPE AS THE SIGN POST.

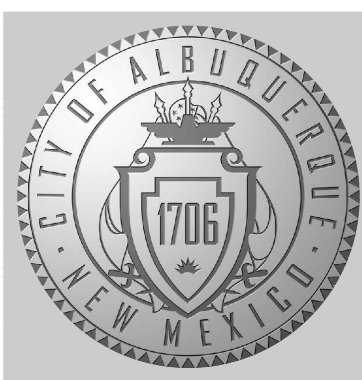
Project Revision

DRB SUBMITTAL	01.25.2019
50% OWNER REVIEW	02.06.2019
95% OWNER REVIEW	11.20.2019
BDLG. DEPT. SUBMIT.	TBD

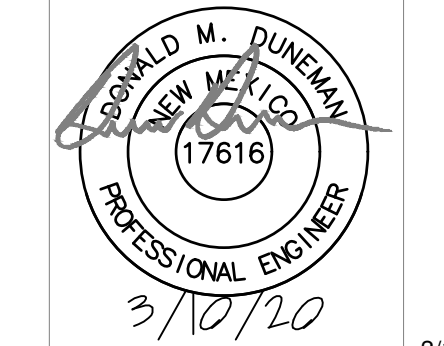


CITY OF ALBUQUERQUE
PROJECT NO. 700693

MAINTENANCE & ADMINISTRATION BUILDING PROJECT
4600 EDITH BLVD NE
ALBUQUERQUE, NM 87107



ONE ALBUQUERQUE

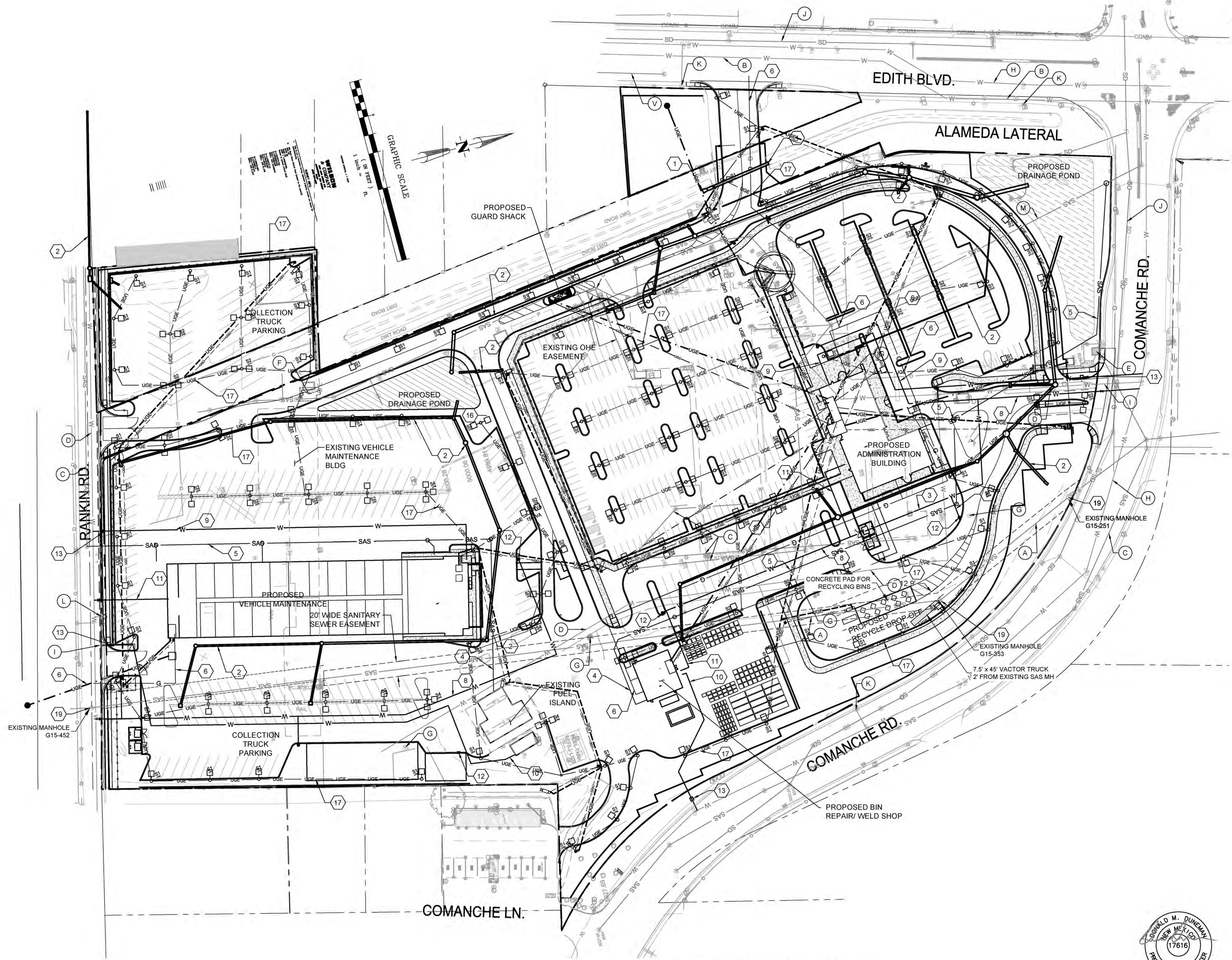


JR MILLER & ASSOCIATED SHALL RETAIN ALL COMMERCIAL LAW STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT FOR THIS DOCUMENT INCLUDING REPRESENTED BY

SIGNING PAVEMENT MARKING DETAILS

AS NOTED DATE: _____ AS NOTED SCALE: _____
DWN: _____ CHK: _____

JRMA Project No. 4907-B
W&C - 14-100-132-01
C-505



PROPOSED UTILITIES

- 1 EXTEND 42" CULVERT
- 2 PROPOSED STORM DRAIN
- 3 8" WATER LINE (PRIVATE)
- 4 4" SAS LINE (PRIVATE)
- 5 8" SAS LINE (PRIVATE)
- 6 NATURAL GAS SERVICE LINE
- 7 NOT USED
- 8 6" WATER LINE (PRIVATE)
- 9 3" DOMESTIC WATER (PRIVATE)
- 10 2" DOMESTIC WATER (PRIVATE)
- 11 6" FIRE WATER SUPPLY LINE (PRIVATE)
- 12 FIRE HYDRANT (PRIVATE)
- 13 NEW WATER METER
- 14 NOT USED
- 15 NOT USED
- 16 NEW ELECTRICAL TRANSFORMER
- 17 NEW ELECTRIC LINE
- 18 NEW WATER SERVICE LINE & FIRE WATERLINE (PRIVATE)
- 19 EXISTING MANHOLE SHALL BE PROVIDED ACCESS FOR MAINTENANCE AND OPERATIONS, ADJUST MANHOLE TO GRADE

EXISTING UTILITIES

- A EXISTING 48" SAS INTERCEPTOR (PUBLIC)
- B EXISTING 72" SAN JUAN CHAMA TRANSMISSION MAIN (PUBLIC)
- C EXISTING 8" SAS (PUBLIC)
- D EXISTING 6" WATER LINE (PUBLIC)
- E EXISTING ABCWUA ODOR STATION TO BE REMOVED (PUBLIC)
- F EXISTING ELECTRIC TRANSFORMER
- G EXISTING FIRE HYDRANT (PRIVATE) TO BE REMOVED & DISPOSED
- H EXISTING 12" WATER LINE (COMANCHE RD. & EDITH BLVD.) (PUBLIC)
- I EXISTING 2" WATER (DOMESTIC) METER
- J EXISTING STORM DRAIN LINE
- K EXISTING FIRE HYDRANT (PUBLIC) TO REMAIN IN PLACE
- L EXISTING FIRE HYDRANT (PUBLIC) TO BE RELOCATED TO BACK OF NEW CURB & GUTTER
- M EXISTING 8" SAS LINE (PRIVATE)

CONCEPTUAL UTILITY PLAN



JR MILLER & ASSOCIATES
2700 SATURN STREET
BREA, CA 92821
714-524-1870

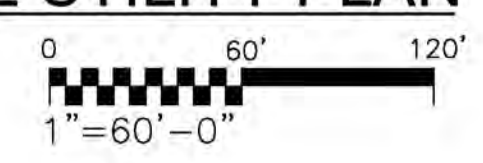
WILSON & COMPANY, INC.
4401 MASTHEAD ST NE
ALBUQUERQUE, NM 87109
505-348-4000



DECEMBER 10, 2019
SHEET No. UT-1

COA PROJECT No. 7006.92 JRMA No. 4907

CONCEPTUAL UTILITY PLAN



M:\ITR\14-100-132-012_DISCIPLINES\SHEETS 2_SHEETS 2.SHEETS 2 - CIVIL UT-01-1.DWG 4/2020 12:37 PM



DRAINAGE REPORT

INTRODUCTION

THE PROJECT SITE IS LOCATED IN NORTHEAST ALBUQUERQUE AT 4600 EDITH BOULEVARD. THE SITE IS BOUNDED BY THE ALAMEDA DRAIN/EDITH BLVD. TO THE WEST, COMANCHE RD TO THE NORTH, RANKIN RD TO THE SOUTH, AND COMMERCIAL BUSINESSES TO THE EAST OF THE SITE. THE SITE IS NOT LOCATED WITHIN A DESIGNATED FEMA FLOOD PLAIN MAP. SEE FIRM MAPS 35001C0119G AND 35001C0332G. THE DRAINAGE REPORT HAS BEEN PREPARED IN ACCORDANCE WITH THE LATEST REVISION TO VOLUME 2 SECTION 22.2 OF THE CITY OF ALBUQUERQUE PROCESS MANUAL.

EXISTING CONDITIONS

THE EXISTING SITE TOPOGRAPHY GENERALLY SLOPES FROM EAST TO WEST. THE EXISTING DRAINAGE INFRASTRUCTURE DIVERTS ALL THE SITES FLOWS THROUGH A SERIES OF WATER/OIL SEPARATORS AND INLETS INTO TWO PONDS LOCATED ON THE NORTH AND SOUTH OF THE SITE. THE LARGER DETENTION POND TO THE NORTH HAS AN OUTLET STRUCTURE THAT DISCHARGES THROUGH A 30" CORRUGATED METAL PIPE (CMP) INTO A DRAINAGE SYSTEM IN COMANCHE RD. THE POND DISCHARGE INFRASTRUCTURE HAS MAXIMUM DISCHARGE CAPACITY OF 47.6 CUBIC FEET PER SECOND (CFS). THE NORTHERN THREE QUARTERS OF THE SITE DRAINS INTO THIS POND. THE REMAINDER OF THE SITE DRAINS INTO THE SMALLER RETENTION POND TO THE SOUTHWEST CORNER OF THE SITE.

THE COMMERCIAL BUSINESSES TO THE EAST OF THE SITE ALSO DRAIN FROM THE EAST TO WEST. THE BUILDINGS ON THESE COMMERCIAL SITES ARE APPROXIMATELY 10'-15' HIGHER THAN THE SITES EXISTING GRADE. THE OFFSITE FLOWS WILL FLOW DIRECTLY TO THE EAST AND THE NORTHERN HALF WILL EVENTUALLY DRAIN INTO THE NORTH POND AND THE SOUTH HALF FLOWS INTO THE SOUTH RETENTION POND. THE AREA TO THE NORTH OF THE SITE IS COMANCHE RD WHICH HAS DRAINAGE INFRASTRUCTURE IN PLACE TO PREVENT FLOWS FROM BEING DISCHARGED TO THE PROJECT SITE. RANKIN RD TO THE SOUTH DRAINS EAST TO WEST AND THE FLOWS DO NOT ENTER THE PROPERTY. THE AREA TO THE WEST DRAINS EAST TO WEST AND THOSE FLOWS WILL ENTER THE ALAMEDA DRAIN.

PROPOSED CONDITIONS

THE PROPOSED SITE WILL MAINTAIN THE GENERAL FLOW DIRECTION OF EAST TO WEST AND SOUTH TO NORTH. ALL THE BASINS EXCEPT BASIN 206 WILL EVENTUALLY DRAIN INTO THE NEW POND LOCATED IN BASIN 220. BASINS 201-204 WILL CAPTURE THE DRAINAGE FROM THE MAINTENANCE AREA AND COMMERCIAL VEHICLE PARKING LOT AND BE ROUTED THROUGH A NEW POND IN BASIN 204. THIS POND WILL BE LINED AND WILL HAVE A WATER QUALITY OUTLET TO REMOVE THE OIL CAPTURED FROM THE SITE RUNOFF. THE NEW POND IN BASIN 220 WILL BE CONNECTED TO THE EXISTING POND DRAINAGE INFRASTRUCTURE THAT DISCHARGES TO THE STORM DRAIN SYSTEM IN COMANCHE RD. THIS POND WILL RETAIN THE FIRST FLUSH REQUIREMENTS AS WELL AS HAVE A WATER QUALITY OUTLET TO REMOVE OIL FROM THE RUNOFF. THE POND DISCHARGE WILL RETAIN THE EXISTING SYSTEM DISCHARGE CAPACITY OF 47.6 CFS. THE EXISTING RETENTION POND LOCATED ON THE SOUTHWEST CORNER WILL BE REMOVED AND RELOCATED FOR BASIN 201.

CALCULATIONS

THE CALCULATIONS SHOWN BELOW REPRESENT THE FLOWS FOR A 100-YEAR 6-HOUR DESIGN EVENT. THE HYDROLOGY IS PER THE "SECTION 22.2 OF THE DEVELOPMENT PROCESS MANUAL FOR THE CITY OF ALBUQUERQUE, NEW MEXICO, LATEST REVISION.

LEGEND

- XX— EXISTING CONTOURS
- XX— PROPOSED CONTOURS
- FF FINISHED FLOOR
- X% SLOPE ARROW
- ===== PROPOSED RETAINING WALL

CONCEPTUAL GRADING & DRAINAGE PLAN



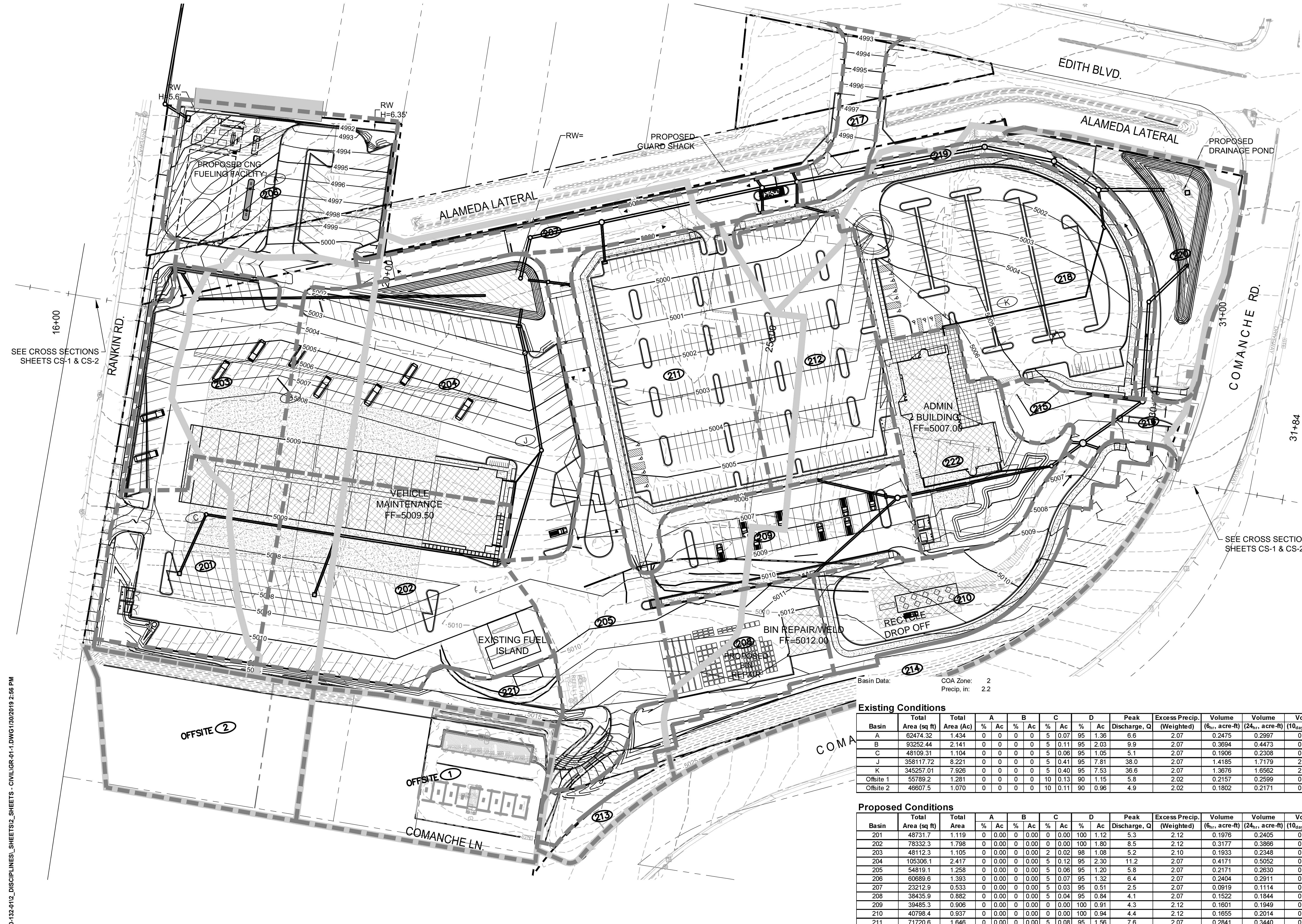
JR MILLER & ASSOCIATES
 2700 SATURN STREET
 BREA, CA 92821
 714-524-1870



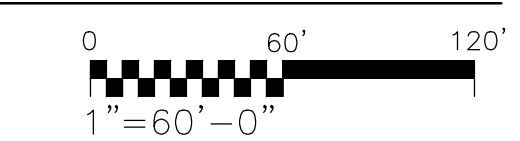
WILSON & COMPANY, INC.
 4401 MASTHEAD ST NE
 ALBUQUERQUE, NM 87109
 505-348-4000

February 01, 2019
 SHEET No. GR-1

COA PROJECT No. 7006.92 JRMA No. 4907



CONCEPTUAL GRADING & DRAINAGE PLAN



Pond Basin 220

Elevation (ft)	Depth (ft)	Area (sq ft)	Area (ac)	ΔVolume (ac-ft)	Total Volume (ac-ft)
4989	0	2836.7	0.065	0	0.000
4990	1	3466	0.080	0.072	0.072
4991	2	4210	0.097	0.088	0.160
4992	3	5112	0.117	0.107	0.267
4993	4	6112	0.140	0.129	0.396
4994	5	7149.47	0.164	0.152	0.548
4995	6	8214	0.189	0.176	0.725
4996	7	9301.91	0.214	0.201	0.926
4997	8	10418	0.239	0.226	1.152

Pond Basin 204

Elevation (ft)	Depth (ft)	Area (sq ft)	Area (ac)	ΔVolume (ac-ft)	Total Volume (ac-ft)
4995	0	4615.65	0.106	0	0.000
4996	1	5395	0.124	0.115	0.115
4997	2	6231	0.143	0.133	0.248
4998	3	7122	0.164	0.153	0.402
4999	4	8178	0.188	0.176	0.577

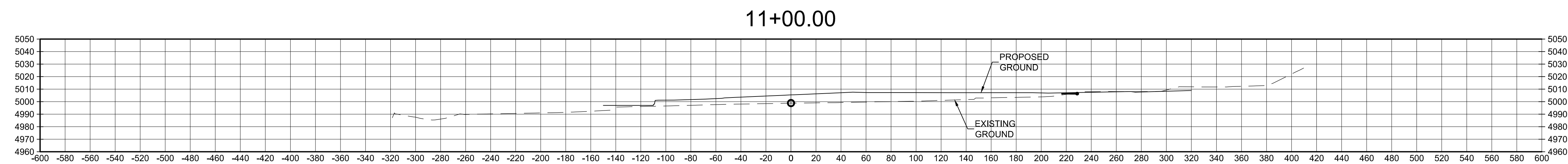
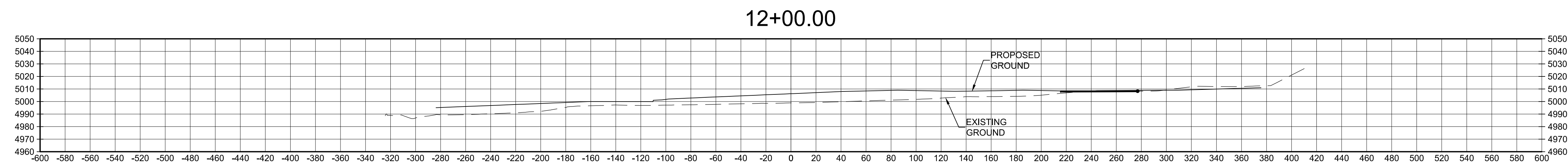
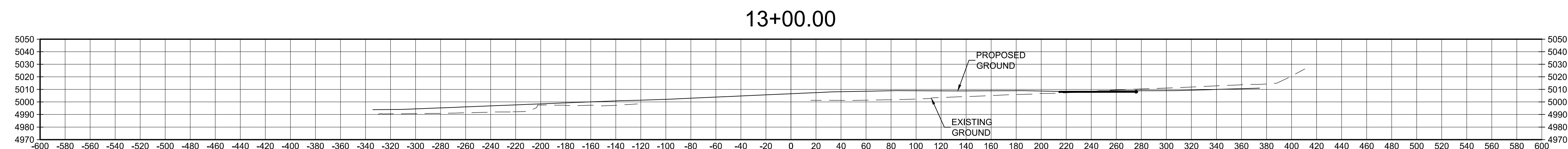
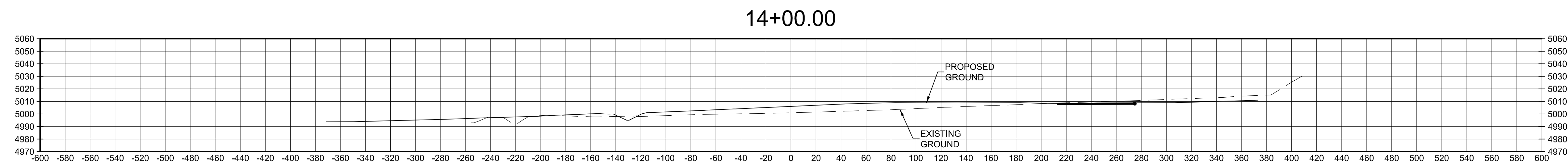
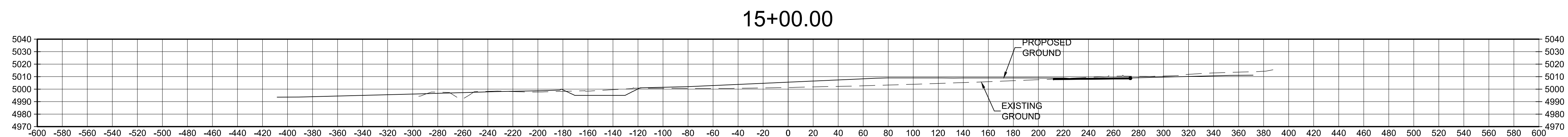
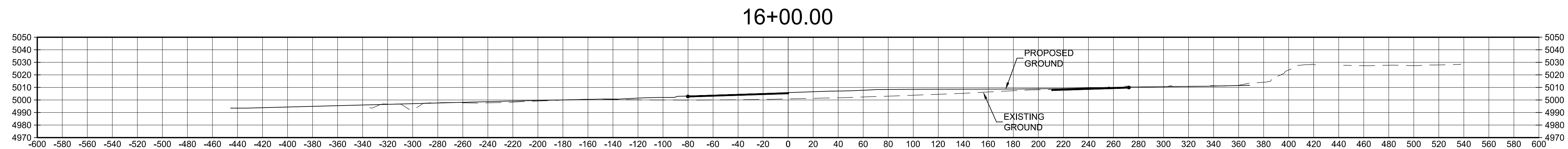
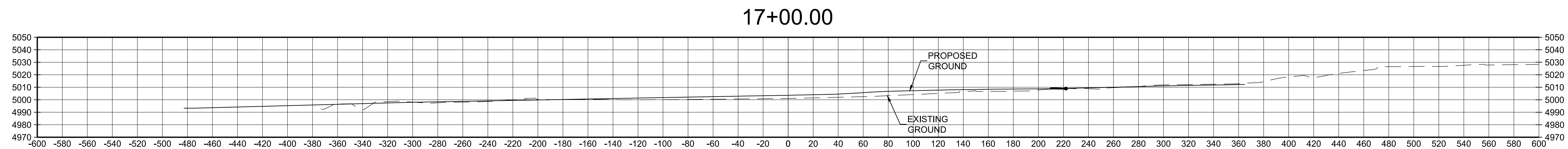
Existing Conditions

Basin	Total Area (sq ft)	Total Area (Ac)	% A	% B	% C	% D	Peak Discharge, Q	Excess Precip. (Weighted)	Volume (6hr, acre-ft)	Volume (24hr, acre-ft)	Volume (10day, acre-ft)			
A	62474.32	1.434	0	0	0	5	0.07	1.36	6.6	2.07	0.2475	0.2997	0.4144	
B	93252.44	2.141	0	0	0	5	0.11	95	2.03	9.9	2.07	0.3694	0.4473	0.6185
C	48109.31	1.104	0	0	0	5	0.06	95	1.05	5.1	2.07	0.1908	0.2308	0.3191
J	358117.72	8.221	0	0	0	5	0.41	95	7.81	38.0	2.07	1.4185	1.7179	2.3753
K	345257.01	7.926	0	0	0	5	0.40	95	7.53	36.6	2.07	1.3676	1.6562	2.2900
Offsite 1	55789.2	1.281	0	0	0	10	0.13	90	1.15	5.8	2.02	0.2157	0.2599	0.3569
Offsite 2	46607.5	1.070	0	0	0	10	0.11	90	0.96	4.9	2.02	0.1802	0.2171	0.2982

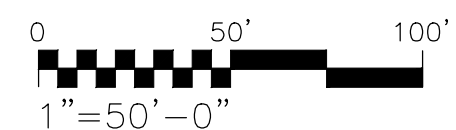
Proposed Conditions

Basin	Total Area (sq ft)	Total Area (Ac)	% A	% B	% C	% D	Peak Discharge, Q	Excess Precip. (Weighted)	Volume (6hr, acre-ft)	Volume (24hr, acre-ft)	Volume (10day, acre-ft)			
201	48731.7	1.119	0	0.00	0	0.00	100	1.12	5.3	2.12	0.1976	0.2405	0.3347	
202	78332.3	1.798	0	0.00	0	0.00	100	1.80	8.5	2.12	0.3177	0.3866	0.5380	
203	48112.3	1.105	0	0.00	0	0.02	98	1.08	5.2	2.10	0.1933	0.2348	0.3259	
204	105306.1	2.417	0	0.00	0	0.00	5	0.12	95	2.30	2.07	0.4171	0.5052	0.6985
205	54819.1	1.258	0	0.00	0	0.06	95	1.20	5.8	2.07	0.2171	0.2630	0.3636	
206	60689.6	1.393	0	0.00	0	0.00	5	0.07	95	1.32	2.07	0.2404	0.2911	0.4025
207	23212.9	0.533	0	0.00	0	0.03	95	0.51	2.5	2.07	0.0919	0.1114	0.1540	
208	38435.9	0.882	0	0.00	0	0.04	95	0.84	4.1	2.07	0.1522	0.1844	0.2549	
209	39485.3	0.906	0	0.00	0	0.00	100	0.91	4.3	2.12	0.1601	0.1949	0.2712	
210	40798.4	0.937	0	0.00	0	0.00	100	0.94	4.4	2.12	0.1655	0.2014	0.2802	
211	71720.6	1.646	0	0.00	0	0.08	95	1.56	7.6	2.07	0.2841	0.3440	0.4757	
212	56735.8	1.302	0	0.00	0	0.00	5	0.07	95	1.24	2.07	0.2247	0.2722	0.3763
213	6289	0.144	0	0.00	0	0.01	95	0.14	0.7	2.07	0.0249	0.0302	0.0417	
214	38158.4	0.876	0	0.00	0	0.02	98	0.86	4.1	2.10	0.1533	0.1862	0.2585	
215	10070.4	0.231	0	0.00	0	0.02	90	0.21	1.1	2.02	0.0389	0.0469	0.0644	
216	5757.7	0.132	0	0.00	0	0.01	95	0.13	0.6	2.07	0.0228	0.0276	0.0382	
217	12735.2	0.292	0	0.00	0	0.20	0.06	80	0.23	1.3	1.92	0.0468	0.0558	0.0755
218	91702.4	2.105	0	0.00	0	0.10	0.21	90	1.89	9.6	2.02	0.3546	0.4272	0.5866
219	10749.7	0.247	0	0.00	0	0.01	95	0.23	1.1	2.07	0.0426	0.0516	0.0713	
220	37404.1	0.859	0	0.00	0	0.15	0.13	85	0.73	3.8	1.97	0.1411	0.1691	0.2305
221	16720.6	0.384	0	0.00	0	0.00	100	0.38	1.8	2.12	0.0678	0.0825	0.1148	
222	41098	0.943	0	0.00	0	0.00	100	0.94	4.4	2.12	0.1667	0.2028	0.2823	
Offsite 1	55490.4	1.274	0	0.00	0	0.13	90	1.15	5.8	2.02	0.2145	0.2585	0.3550	
Offsite 2	46467.9	1.067	0	0.00	0	0.11	90	0.96	4.8	2.02	0.1797	0.2165	0.2973	

\\WILSONCO.COM\DRIVER\14-108-132-012_DISCIPLINES_SHEETS_SHEETS_CIVIL\GR-01-1.DWG(1/30/2019 2:56 PM)



CROSS SECTIONS



\\WILSONCO.COM\DRIVER\TRN14-100-132-012_DISCIPLINES_SHEETS_CIVILCS-01-1.DWG(1/23/2019 4:58 PM)

CONCEPTUAL GRADING & DRAINAGE CROSS SECTIONS



JR MILLER & ASSOCIATES
2700 SATURN STREET
BREA, CA 92821
714-524-1870

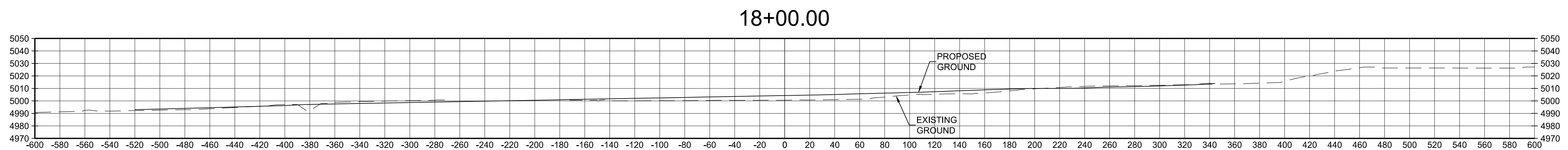
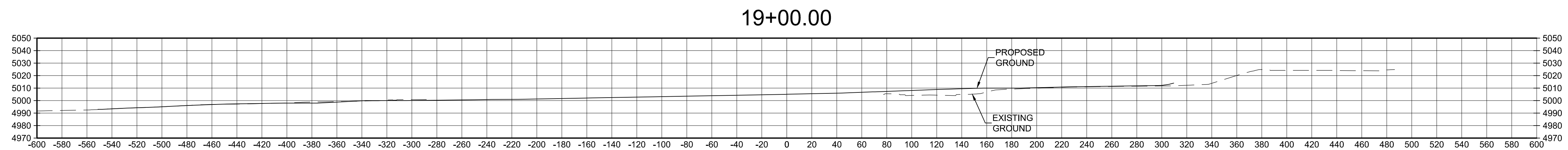
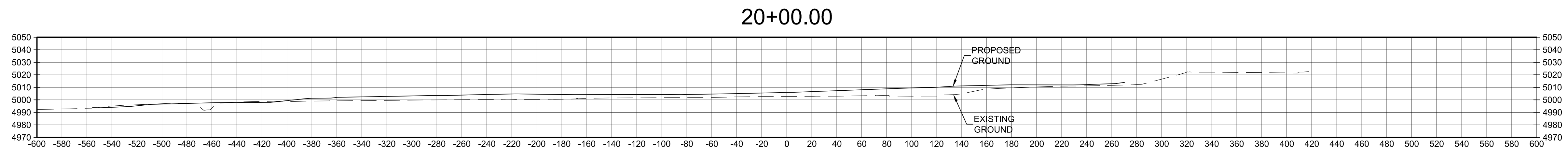
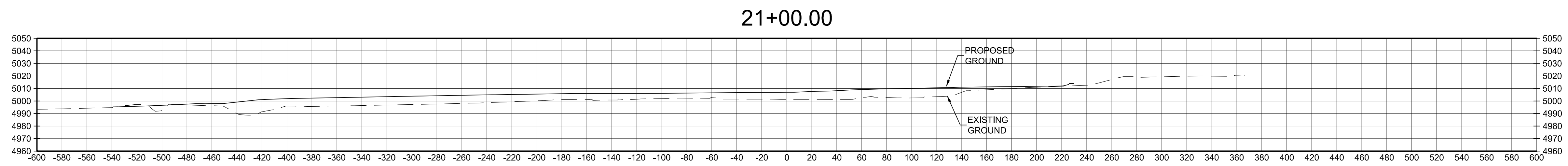
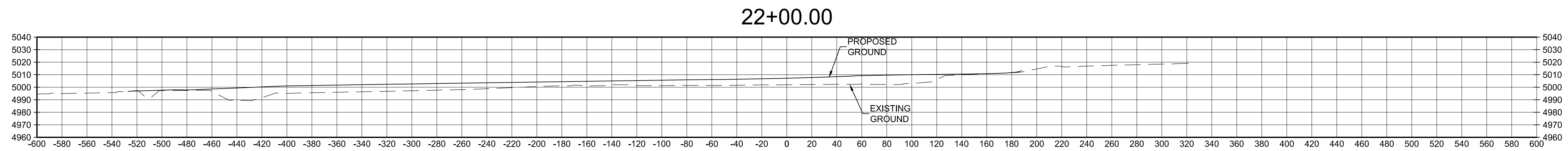
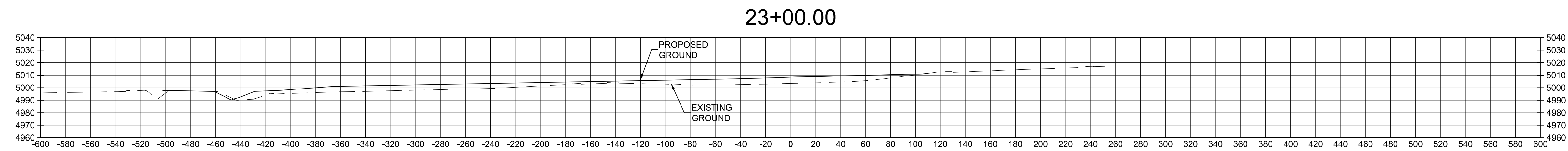
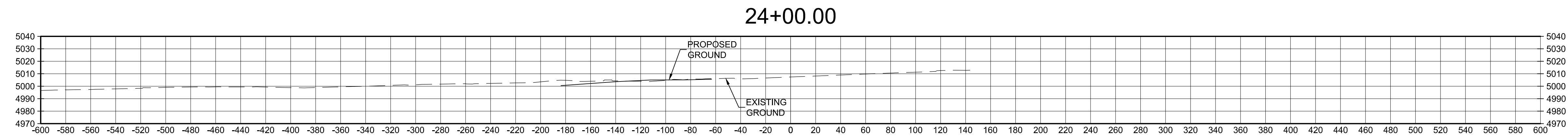


WILSON & COMPANY, INC.
4401 MASTHEAD ST NE
ALBUQUERQUE, NM 87109
505-348-4000

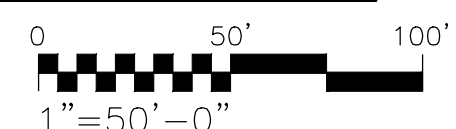
February 01, 2019

SHEET No. CS-1

COA PROJECT No. 7006.92 JRMA No. 4907



CROSS SECTIONS



\\WILSONCO.COM\DRIVER\TRN14-100-132-012_DISCIPLINES_SHEETS_CIVILCS-01-1.DWG(1/23/2019 4:58 PM)

CONCEPTUAL GRADING & DRAINAGE CROSS SECTIONS



JR MILLER & ASSOCIATES
2700 SATURN STREET
BREA, CA 92821
714-524-1870



WILSON & COMPANY, INC.
4401 MASTHEAD ST NE
ALBUQUERQUE, NM 87109
505-348-4000

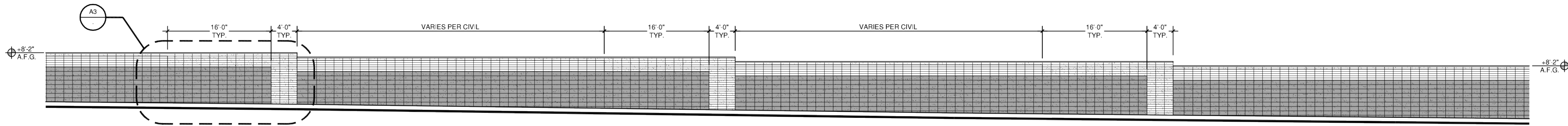
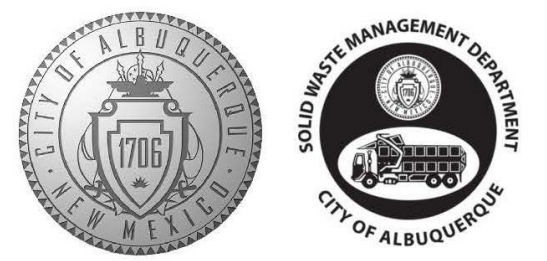
February 01, 2019

SHEET No. CS-2

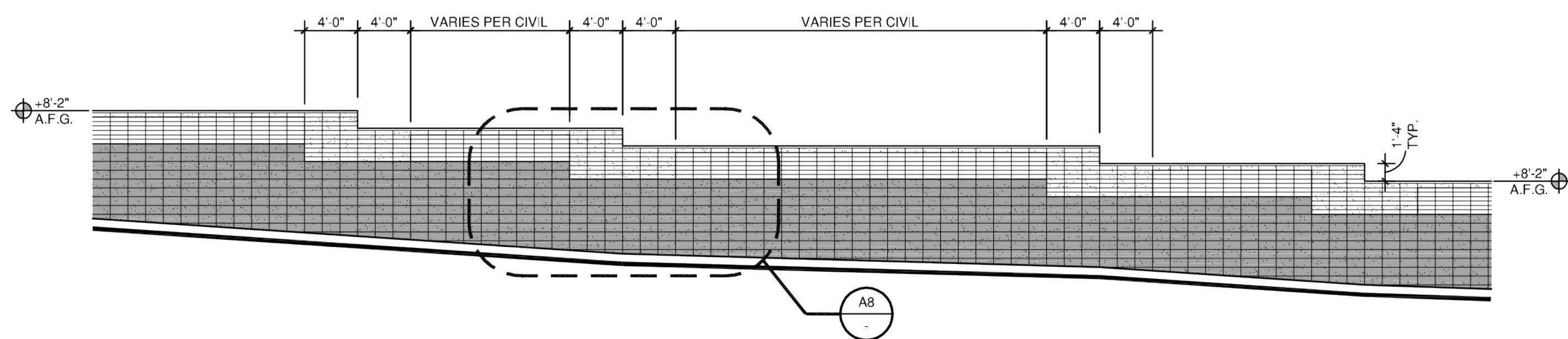
COA PROJECT No. 7006.92 JRMA No. 4907

SWMD Maintenance & Administration Buildings Project

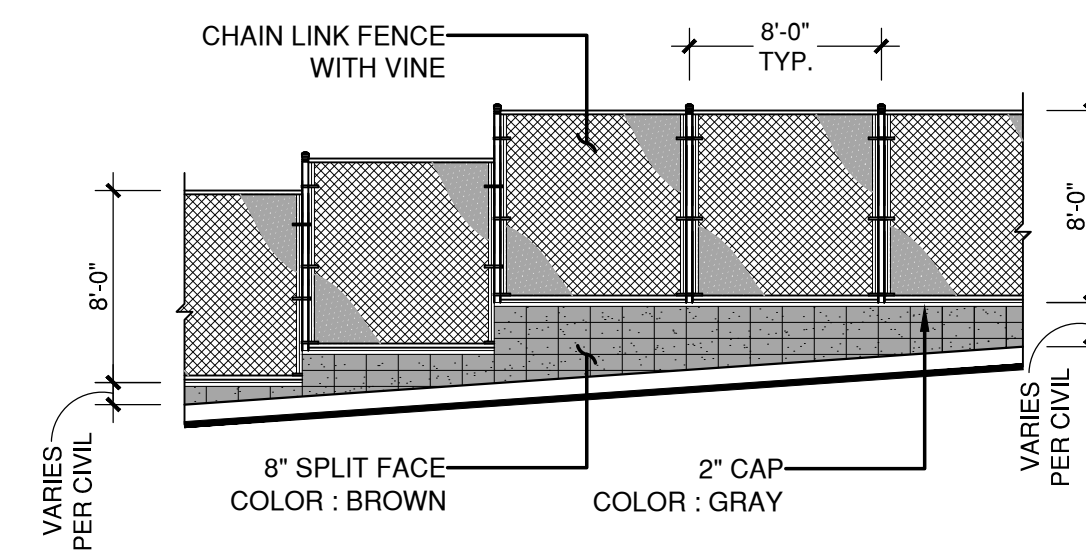
City of Albuquerque
Department of Municipal Development
Solid Waste Management Department



E3 SCREEN WALL ELEVATION
 $\frac{3}{8}'' = 1'-0''$
SCREEN WALL HEIGHT INFORMATION: 05: SCREEN WALL HEIGHT = 8-FT 06: SCREEN WALL HEIGHT = 8-FT 07: SCREEN WALL HEIGHT = 8-FT

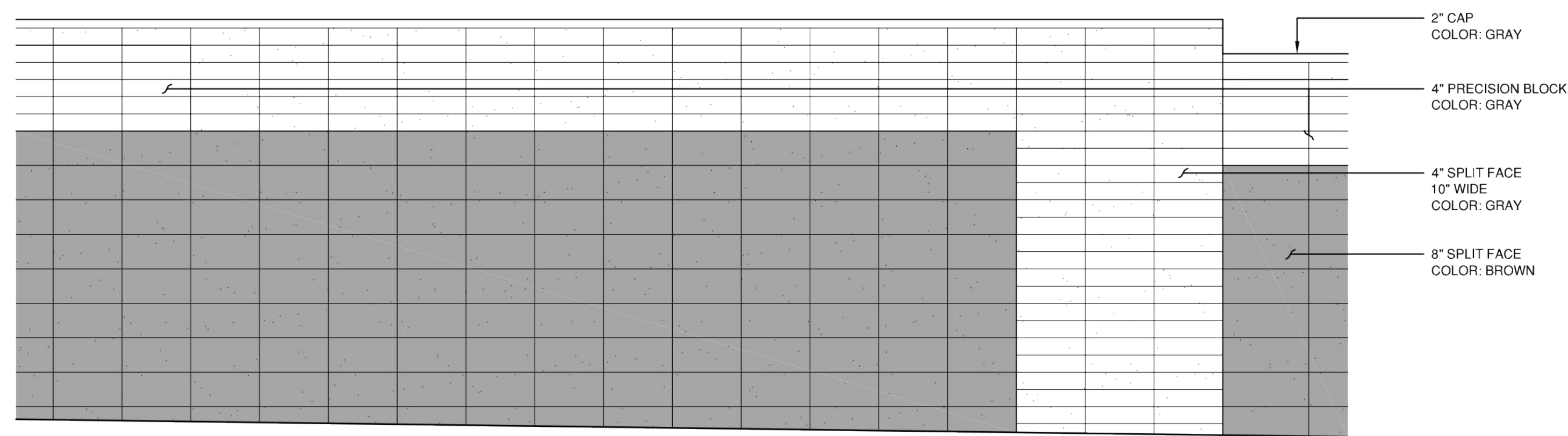


C3 SCREEN WALL ELEVATION
 $\frac{3}{8}'' = 1'-0''$
SCREEN WALL HEIGHT INFORMATION: 01: RETAINING WALL HEIGHT = 4-FT TO 6.5-FT (SITE IS HIGHER THAN SURROUNDING AREA)
 SCREEN WALL HEIGHT = 6-FT
 TOTAL HEIGHT = VARIES 10-FT TO 12.5-FT

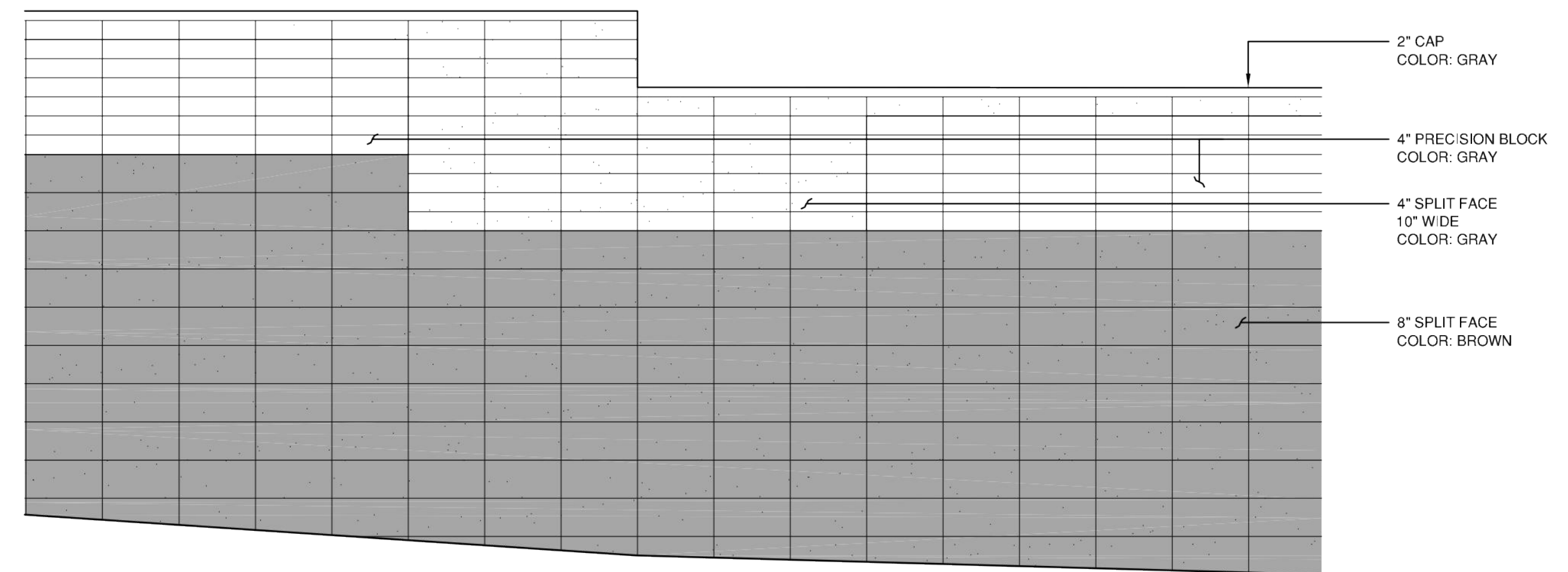


C8 RETAINING WALL & CHAINLINK FENCE ELEVATION
 $\frac{3}{8}'' = 1'-0''$

- RETAINING WALL HEIGHT INFORMATION:**
- 02: RETAINING WALL HEIGHT = 4.5-FT TO 7.5-FT (SITE IS HIGHER THAN RANKIN RD)
CHAINLINK HEIGHT = 8-FT
 - 03: RETAINING WALL HEIGHT = 2-FT TO 7-FT (SURROUNDING AREA IS HIGHER THAN SITE)
CHAINLINK HEIGHT = 8-FT
 - 04: RETAINING WALL HEIGHT = 2-FT (SURROUNDING AREA IS HIGHER THAN SITE)
CHAINLINK HEIGHT = 8-FT
 - 08: RETAINING WALL HEIGHT = 3-FT (SITE IS HIGHER THAN SURROUNDING AREA)
CHAINLINK HEIGHT = 8-FT



A3 SCREEN WALL DETAIL
 $\frac{1}{2}'' = 1'-0''$



A8 SCREEN WALL DETAIL
 $\frac{1}{2}'' = 1'-0''$

SCREEN WALL ELEVATIONS



JR MILLER & ASSOCIATES
2700 SATURN STREET
BREA, CA 92821
714-524-1870

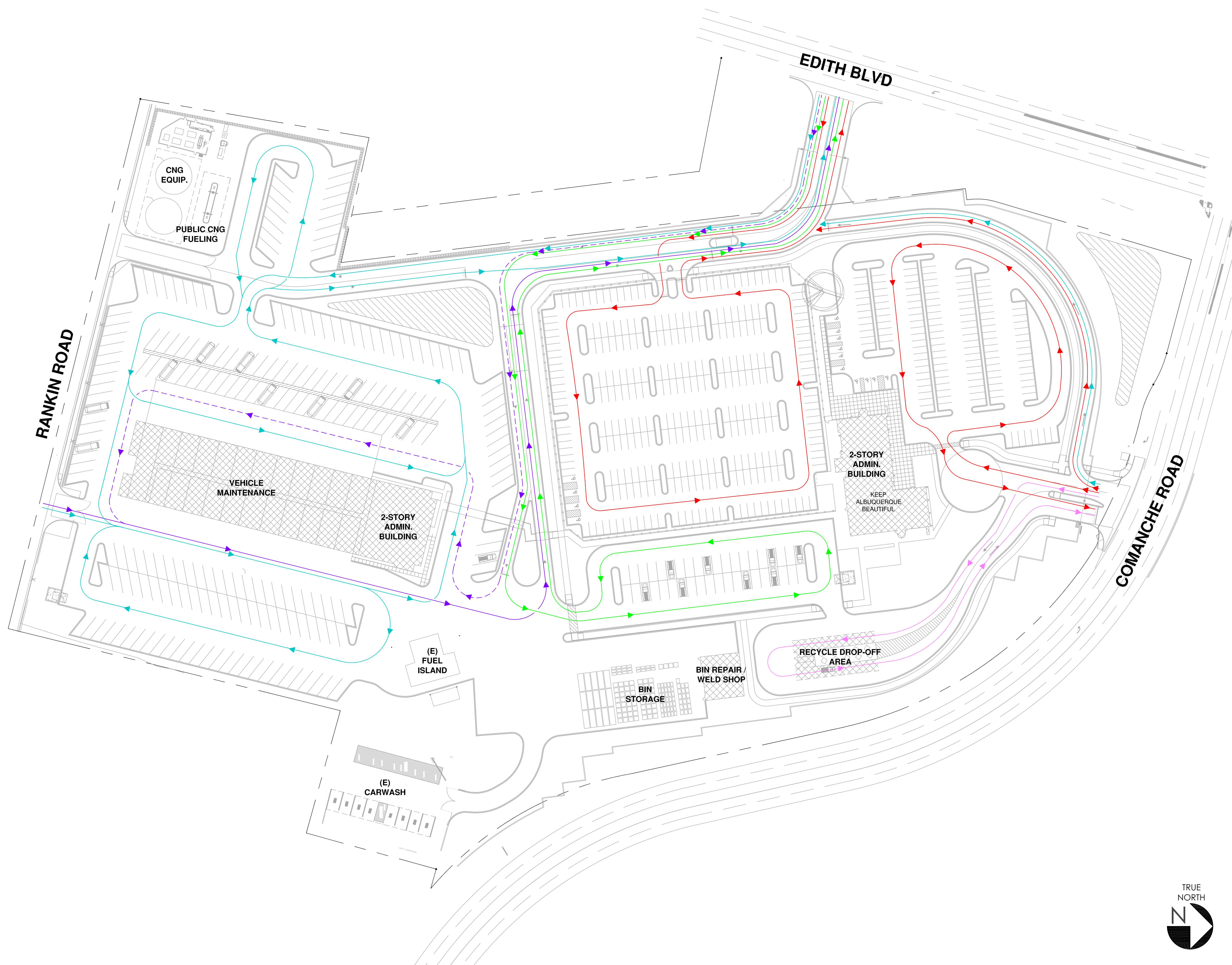
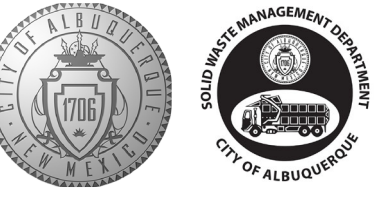


WILSON & COMPANY, INC.
4401 MASTHEAD ST NE
ALBUQUERQUE, NM 87109
505-348-4000

February 1, 2019

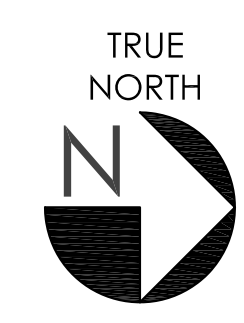
SHEET No. C-501

COA PROJECT No. 7006.92 JRMA No. 4907



- LEGEND**
- EMPLOYEE / VISITORS
 - LIGHT DUTY TRUCKS
 - COLLECTION TRUCKS
 - DELIVERY TRUCKS
 - DELIVERY TRUCKS (ALTERNATE ROUTE)
 - RECYCLE DROP-OFF

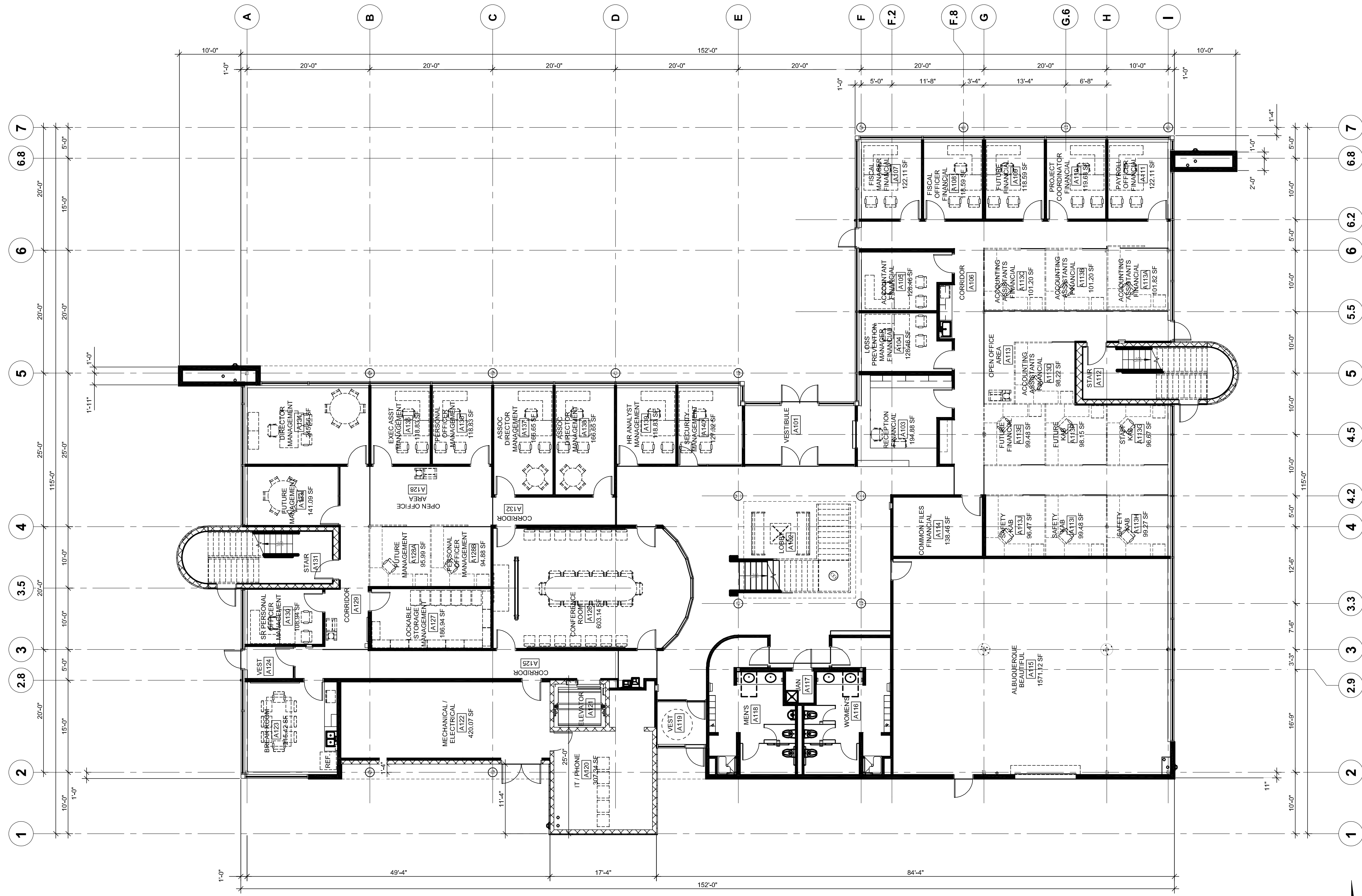
SITE CIRCULATION PLAN



JRMA
 ARCHITECTS ENGINEERS
 JR MILLER & ASSOCIATES
 2700 SATURN STREET
 BREA, CA 92821
 714-524-1870

WILSON & COMPANY
 WILSON & COMPANY, INC.
 4401 MASTHEAD ST NE
 ALBUQUERQUE, NM 87109
 505-348-4000

February 1, 2019
 SHEET No. SC-1



M:\ITR\14-006-132-012_DISCIPLINES\ARCHITECTURAL\CAD EXPORTS\DRB SUBMITTALS\SWMD ADMIN - PLANS - DRB.DWG(12/22/2019 4:51 PM)

FIRST FLOOR PLAN - ADMINISTRATION BUILDING
1/8" = 1'-0"

**ADMINISTRATION BUILDING
FIRST FLOOR PLAN**



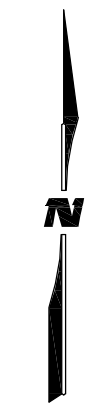
JR MILLER & ASSOCIATES
2700 SATURN STREET
BREA, CA 92821
714-524-1870

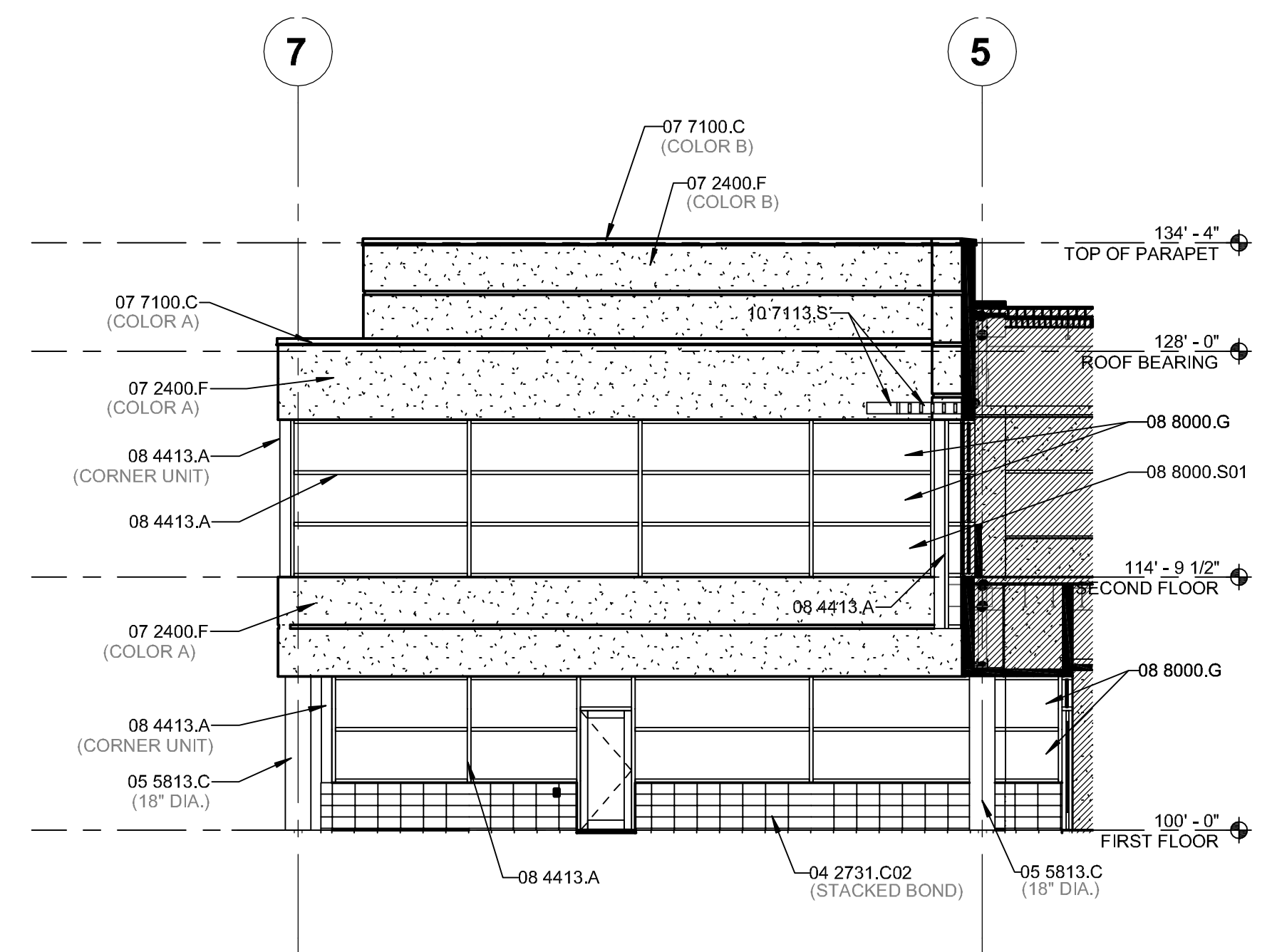
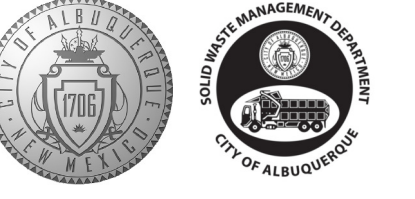


WILSON & COMPANY, INC.
4401 MASTHEAD ST NE
ALBUQUERQUE, NM 87109
505-348-4000

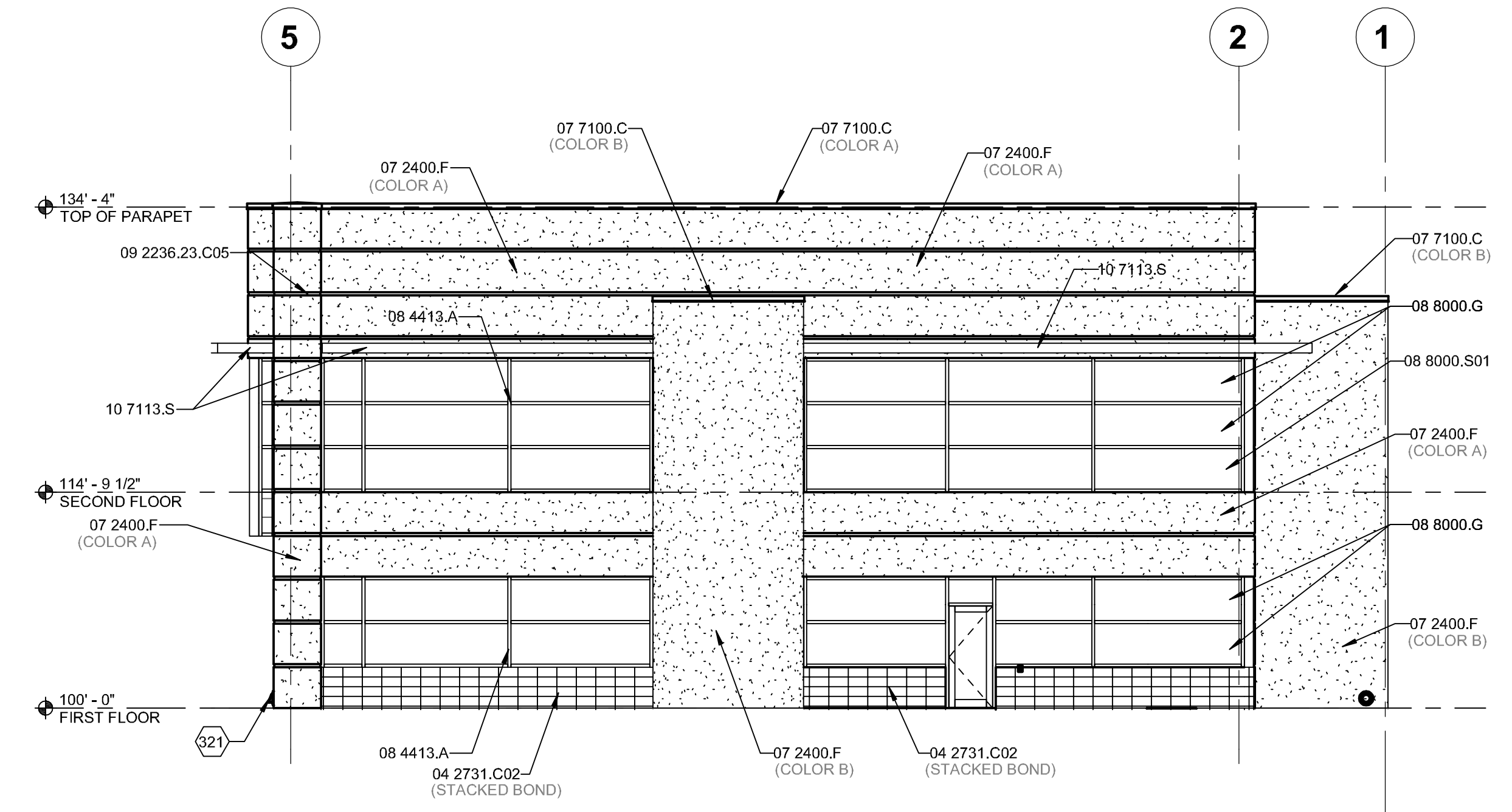
February 1, 2019
SHEET No. A-1

COA PROJECT No. 7006.92 JRMA No. 4907





PARTIAL WEST ELEVATION - ADMINISTRATION BUILDING
 1/8" = 1'-0"



PARTIAL WEST ELEVATION - ADMINISTRATION BUILDING
 1/8" = 1'-0"

REFERENCE KEYNOTES

- 04 2731.C02 CONCRETE MASONRY UNITS TYPE B
- 05 5813.C COLUMN ENCLOSURE
- 07 2400.F FINISH COAT
- 07 7100.C COPING
- 08 1113.S STEEL DOOR
- 08 3323.V OVERHEAD COILING DOOR
- 08 4313.G GLAZED ALUMINUM DOOR
- 08 4413.A ALUMINUM FRAMED CURTAIN WALL
- 08 4413.B01 BREAK METAL
- 08 4500.T02 TRANSLUCENT ROOF ASSEMBLY
- 08 8000.G GLAZING
- 08 8000.S01 SPANDREL GLASS
- 09 2236.23.C05 CHANNEL SCREED
- 10 7113.S SUN CONTROL DEVICE

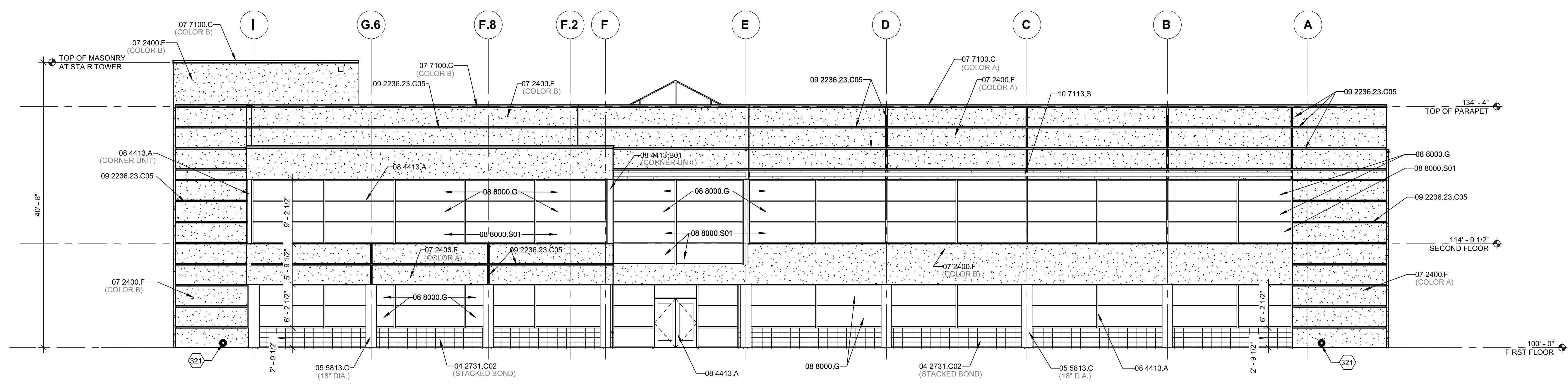
SHEET KEYNOTES

- 321 PLUMBING DOWNSPOUT NOZZLE.

LEGEND

- EXTERIOR INSULATION AND FINISH SYSTEM FINISH COAT - COLOR A
- EXTERIOR INSULATION AND FINISH SYSTEM FINISH COAT - COLOR B
- EXTERIOR INSULATION AND FINISH SYSTEM AESTHETIC JOINT - MATCH ADJACENT FIELD COLOR

ADMINISTRATION BUILDING EXTERIOR ELEVATIONS



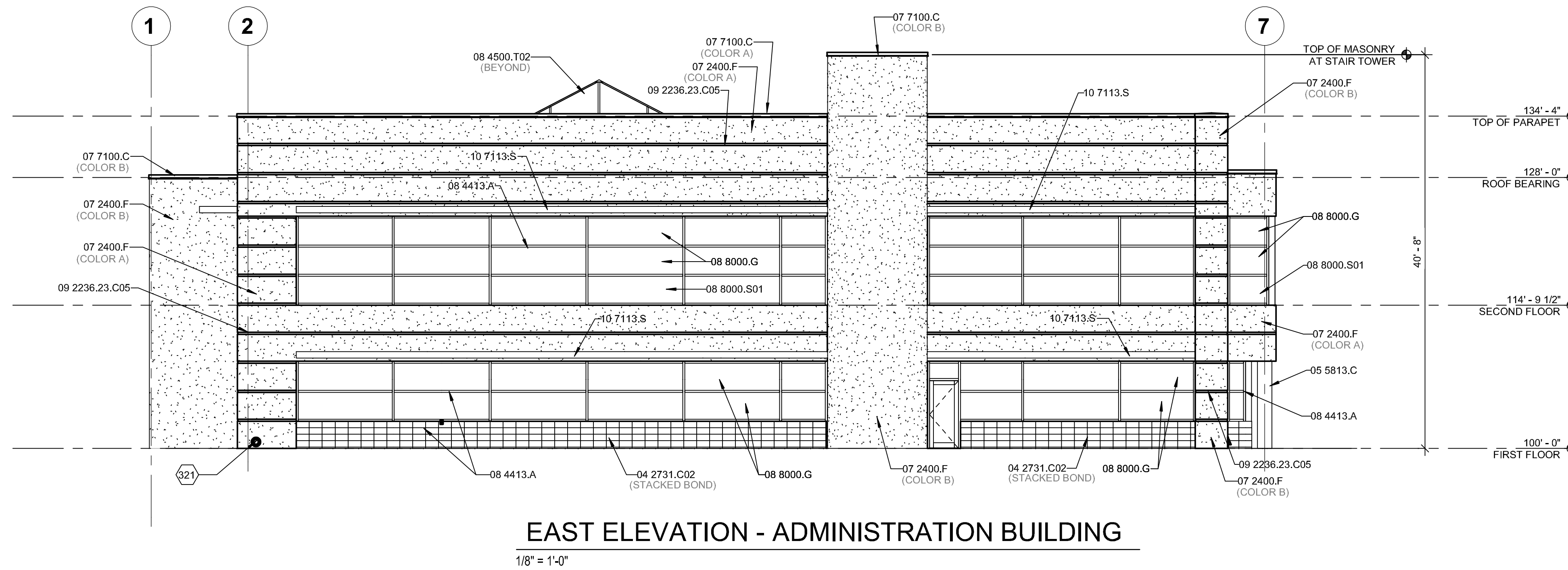
NORTH ELEVATION - ADMINISTRATION BUILDING
 1/8" = 1'-0"

JRMA
 ARCHITECTS ENGINEERS
 JR MILLER & ASSOCIATES
 2700 SATURN STREET
 BREAA, CA 92821
 714-524-1870

WILSON & COMPANY
 WILSON & COMPANY, INC.
 4401 MASTHEAD ST NE
 ALBUQUERQUE, NM 87109
 505-348-4000

January 25, 2019
 SHEET No. A-3
 COA PROJECT No. 7006.92 JRMA No. 4907

M:\TRN\14-008-132-012_DISCIPLINES\ARCHITECTURAL\CAD EXPORTS\DRB SUBMITTALS\SWMD ADMIN - ELEVATIONS - DRB.DWG (1/24/2019 7:50 AM)



REFERENCE KEYNOTES

- 04 2731.C02 CONCRETE MASONRY UNITS TYPE B
- 05 5813.C COLUMN ENCLOSURE
- 07 2400.F FINISH COAT
- 07 7100.C COPING
- 08 1113.S STEEL DOOR
- 08 3323.V OVERHEAD COILING DOOR
- 08 4313.G GLAZED ALUMINUM DOOR
- 08 4413.A ALUMINUM FRAMED CURTAIN WALL
- 08 4413.B01 BREAK METAL
- 08 4500.T02 TRANSLUCENT ROOF ASSEMBLY
- 08 8000.G GLAZING
- 08 8000.S01 SPANDREL GLASS
- 09 2236.23.C05 CHANNEL SCREED
- 10 7113.S SUN CONTROL DEVICE

SHEET KEYNOTES

- 321 PLUMBING DOWNSPOUT NOZZLE.

LEGEND

- EXTERIOR INSULATION AND FINISH SYSTEM
FINISH COAT - COLOR A
- EXTERIOR INSULATION AND FINISH SYSTEM
FINISH COAT - COLOR B
- EXTERIOR INSULATION AND FINISH SYSTEM
AESTHETIC JOINT - MATCH ADJACENT FIELD COLOR

**ADMINISTRATION BUILDING
 EXTERIOR ELEVATIONS**



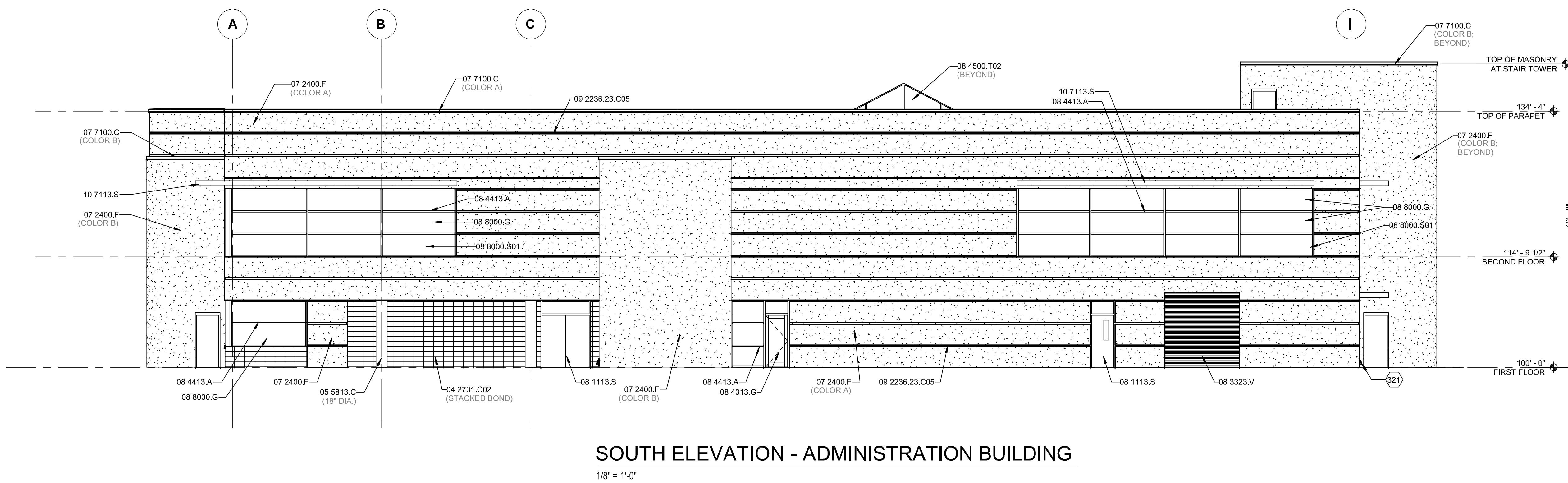
JR MILLER & ASSOCIATES
 2700 SATURN STREET
 BREA, CA 92821
 714-524-1870



WILSON & COMPANY, INC.
 4401 MASTHEAD ST NE
 ALBUQUERQUE, NM 87109
 505-348-4000

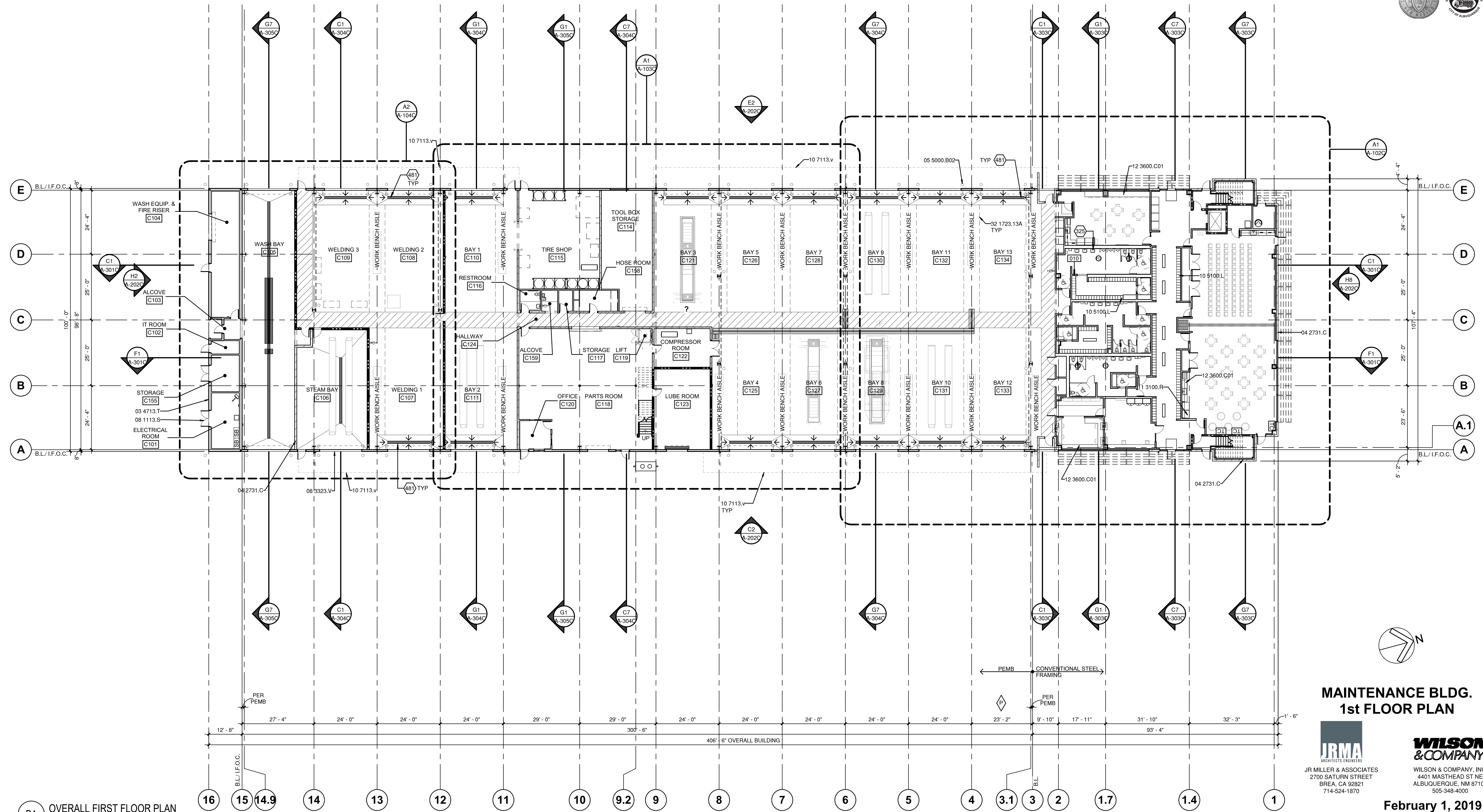
January 25, 2019
SHEET No. A-4

COA PROJECT No. 7006.92 JRMA No. 4907



SWMD Maintenance & Administration Buildings Project

City of Albuquerque
 Department of Municipal Development
 Solid Waste Management Department



B1 OVERALL FIRST FLOOR PLAN
 1/16" = 1'-0"

MAINTENANCE BLDG. 1st FLOOR PLAN



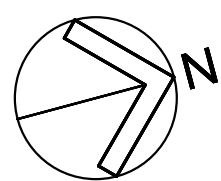
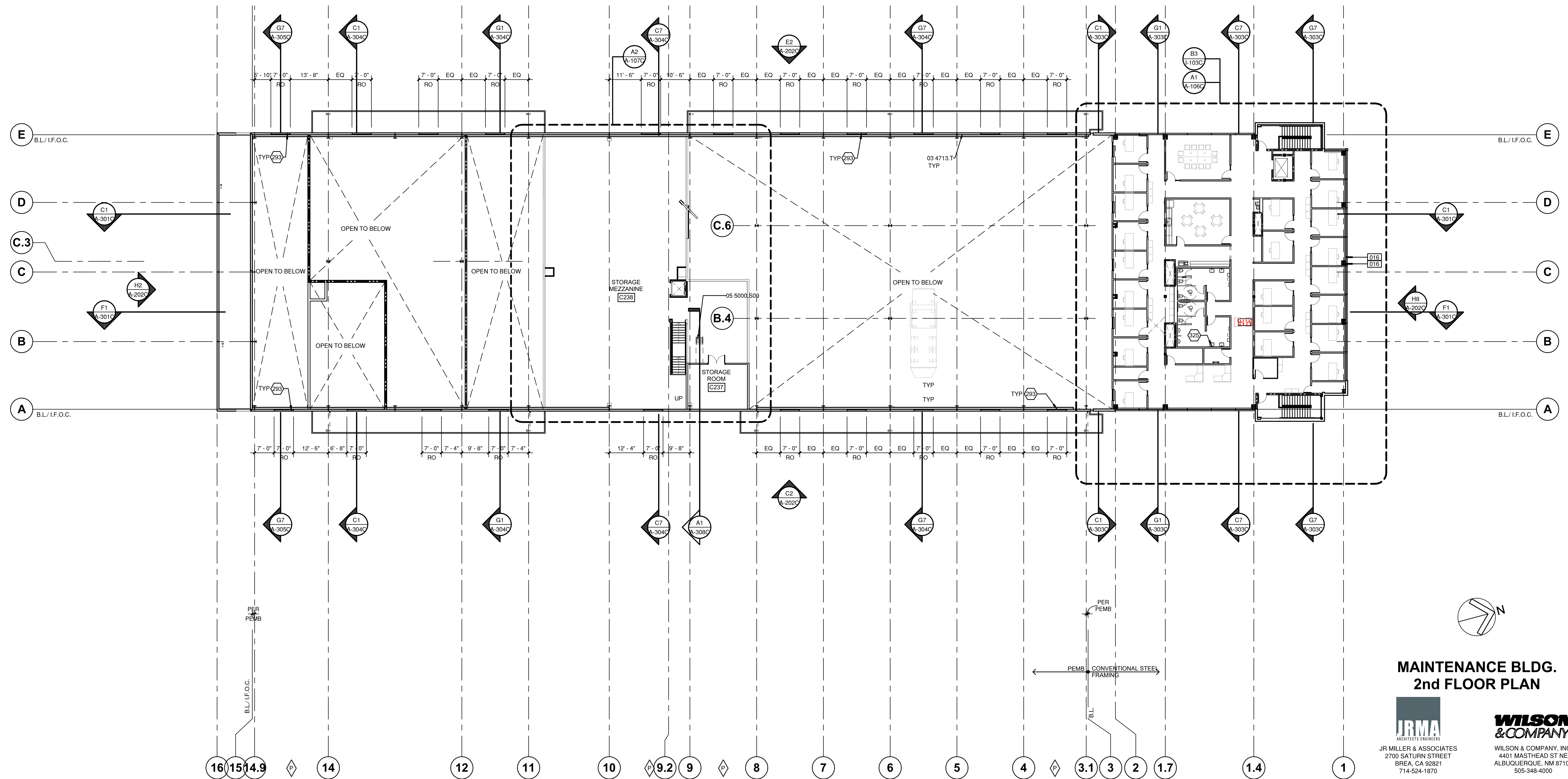
JR MILLER & ASSOCIATES
 2700 SATURN STREET
 BREA, CA 92821
 714-524-1870



WILSON & COMPANY, INC.
 4401 MASTHEAD ST NE
 ALBUQUERQUE, NM 87109
 505-348-4000

February 1, 2019
SHEET No. A-101C

COA PROJECT No. 7006.92 JRMA No. 4907-B



**MAINTENANCE BLDG.
2nd FLOOR PLAN**



JR MILLER & ASSOCIATES
2700 SATURN STREET
BREA, CA 92821
714-524-1870

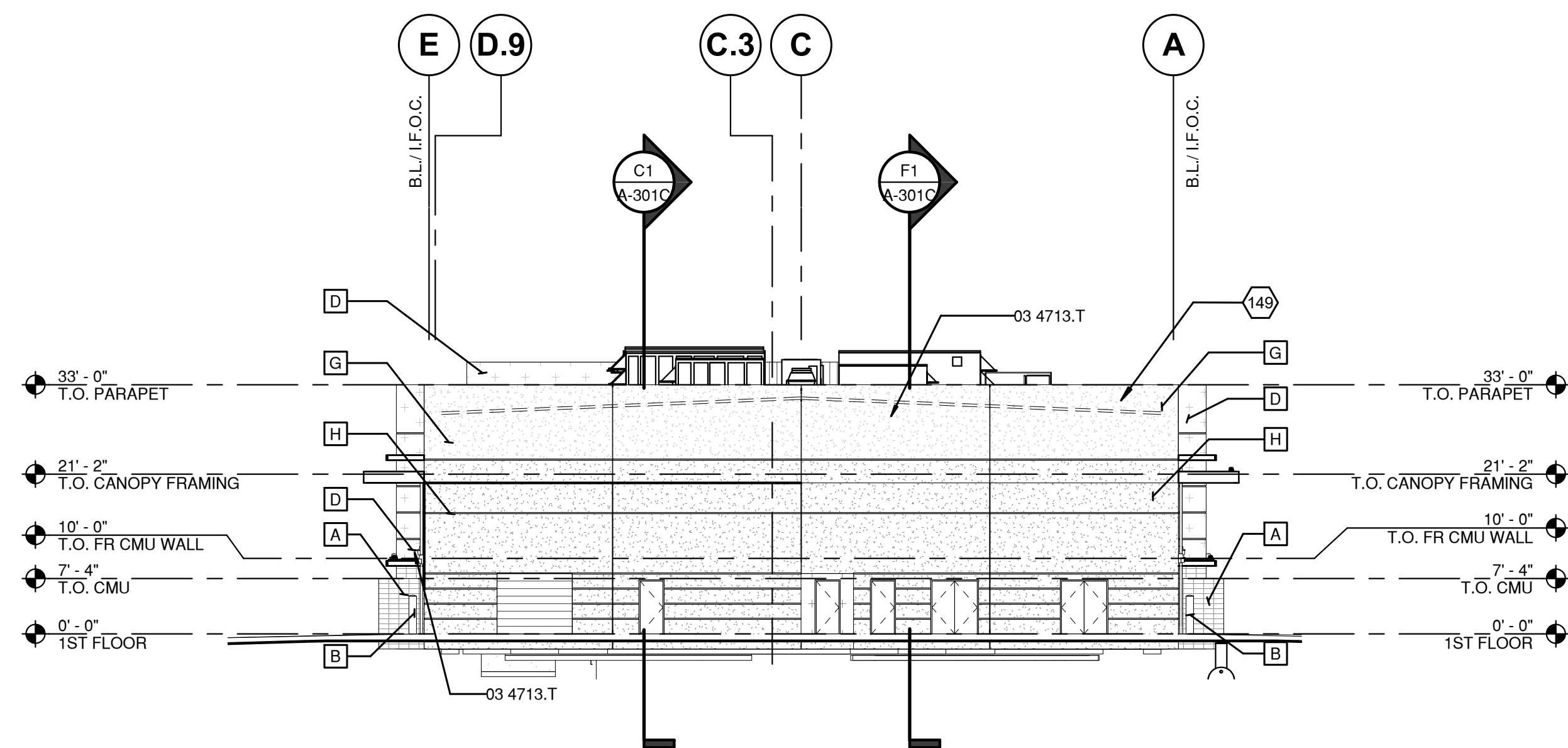
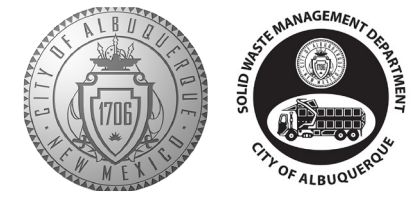


WILSON & COMPANY, INC.
4401 MASTHEAD ST NE
ALBUQUERQUE, NM 87109
505-348-4000

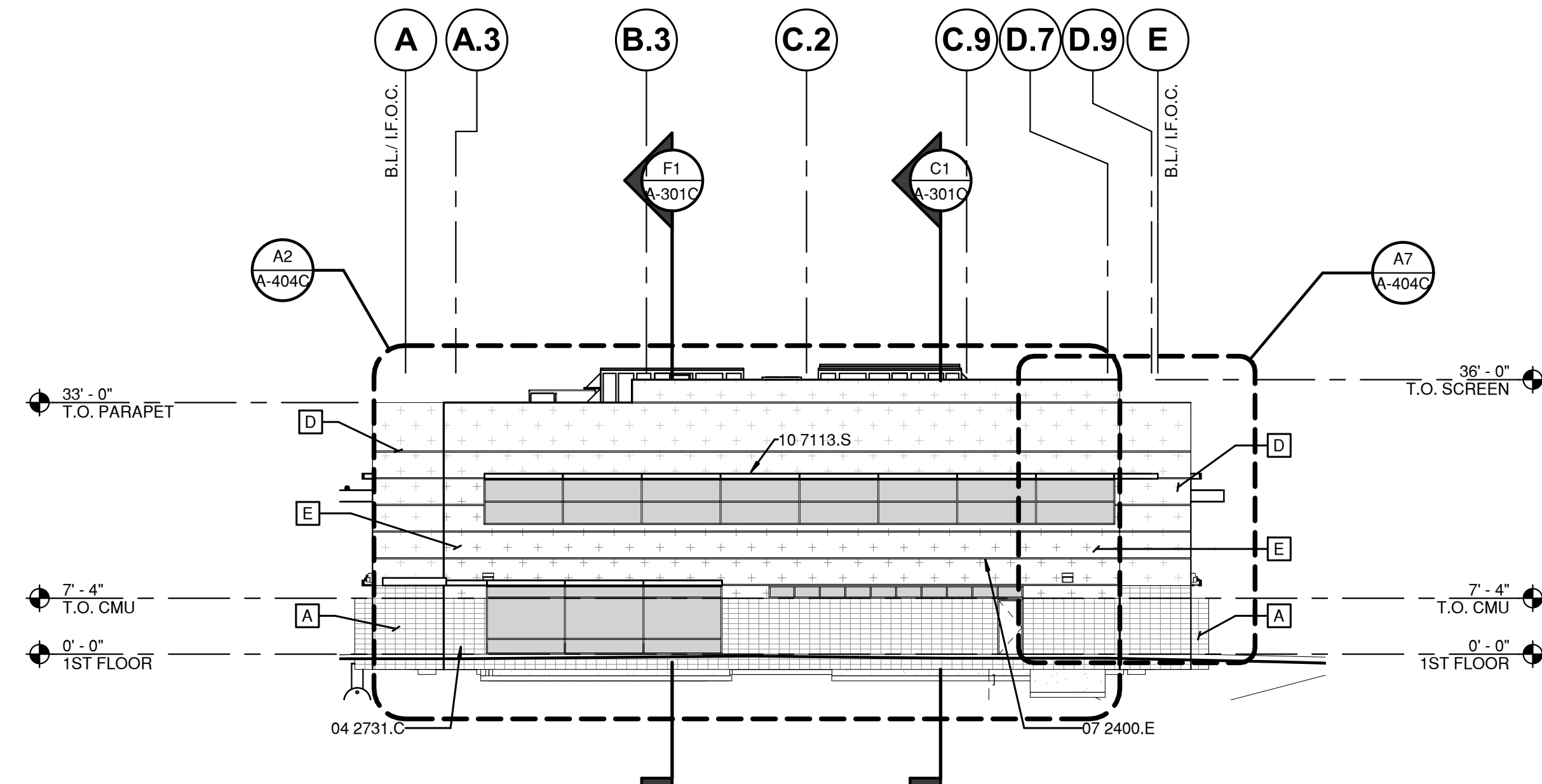
February 1, 2019
SHEET No. A-105C

COA PROJECT No. 7006.92 JRMA No. 4907-B

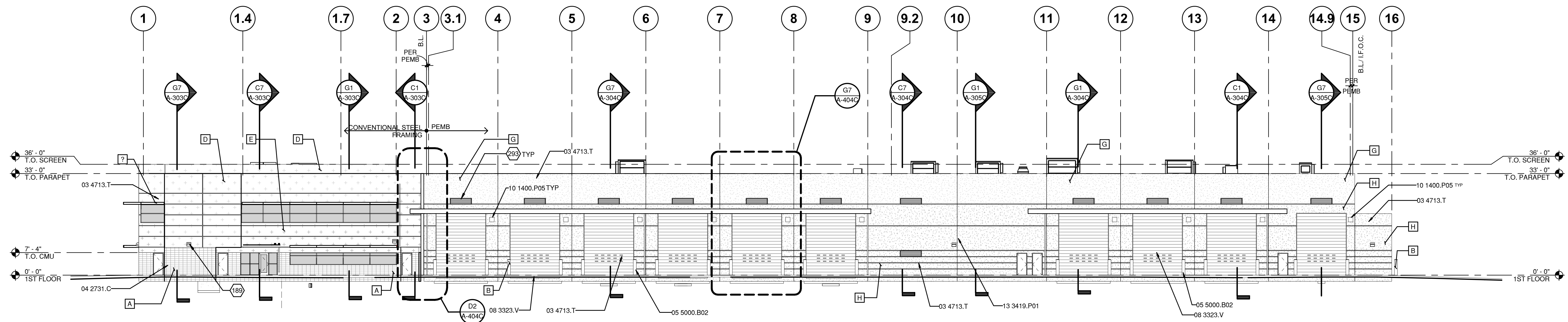
B1 OVERALL SECOND FLOOR PLAN
1/16" = 1'-0"



H2 SOUTH ELEVATION
1/16" = 1'-0"



H8 NORTH ELEVATION
1/16" = 1'-0"



E2 WEST ELEVATION
1/16" = 1'-0"

FINISH KEYNOTES

#	MANUFACTURER	PRODUCT/ COLOR
B		PAINTED CAUTION YELLOW
C		EIFS: PAINTED GRAY
D		EIFS: PAINTED WHITE
E		EIFS: PAINTED TAN
G		PAINTED TO MATCH EIFS WHITE
H		PAINTED TO MATCH EIFS TAN

REFERENCE KEYNOTES

03 4713.T	TILT-UP PRECAST CONCRETE UNIT(S)
04 2731.C	CONCRETE MASONRY UNITS
05 5000.B02	BOLLARD
07 2400.E	EXTERIOR INSULATION AND FINISH SYSTEM
07 9513.E	EXPANSION JOINT COVER
08 1113	HOLLOW METAL DOORS AND FRAMES
08 3323.V	OVERHEAD COILING DOOR
08 4313.A	ALUMINUM FRAMED STOREFRONT
10 1400.P05	PLAQUE
10 7113.S	SUN CONTROL DEVICE
10 7113.V	METAL ROOF CANOPY
13 3419.P01	PRE-ENGINEERED BUILDING FRAME

SHEET KEYNOTES

149	DASHED LINE INDICATES ROOF LINE.
189	ELECTRICAL LIGHT FIXTURE.
293	MECHANICAL LOUVER.
488	PLUMBING ROOF DRAIN DOWNSPOUT

MAINTENANCE BLDG.
EXTERIOR ELEVATIONS



JR MILLER & ASSOCIATES
2700 SATURN STREET
BREA, CA 92821
714-524-1870

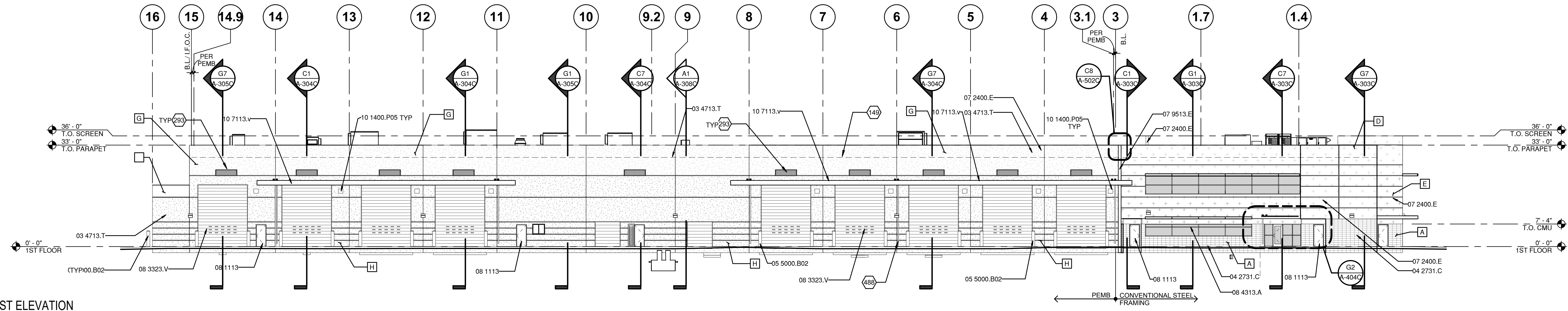


WILSON & COMPANY, INC.
4401 MASTHEAD ST NE
ALBUQUERQUE, NM 87109
505-348-4000

February 1, 2019
SHEET No. A-202C

SWMD Maintenance & Administration Buildings Project

City of Albuquerque
Department of Municipal Development
Solid Waste Management Department



C2 EAST ELEVATION
1/16" = 1'-0"

FINISH KEYNOTES			REFERENCE KEYNOTES		SHEET KEYNOTES	
#	MANUFACTURER	PRODUCT/ COLOR				
B		PAINTED CAUTION YELLOW	03 4713.T	TILT-UP PRECAST CONCRETE UNIT(S)	149	DASHED LINE INDICATES ROOF LINE.
C		EIFS: PAINTED GRAY	04 2731.C	CONCRETE MASONRY UNITS	189	ELECTRICAL LIGHT FIXTURE.
D		EIFS: PAINTED WHITE	05 5000.B02	BOLLARD	293	MECHANICAL LOUVER.
E		EIFS: PAINTED TAN	07 2400.E	EXTERIOR INSULATION AND FINISH SYSTEM	488	PLUMBING ROOF DRAIN DOWNSPOUT
G		PAINTED TO MATCH EIFS WHITE	07 9513.E	EXPANSION JOINT COVER		
H		PAINTED TO MATCH EIFS TAN	08 1113	HOLLOW METAL DOORS AND FRAMES		
			08 3323.V	OVERHEAD COILING DOOR		
			08 4313.A	ALUMINUM FRAMED STOREFRONT		
			10 1400.P05	PLAQUE		
			10 7113.S	SUN CONTROL DEVICE		
			10 7113.V	METAL ROOF CANOPY		
			13 3419.P01	PRE-ENGINEERED BUILDING FRAME		

MAINTENANCE BLDG. EXTERIOR ELEVATIONS



JR MILLER & ASSOCIATES
2700 SATURN STREET
BREA, CA 92821
714-524-1870



WILSON & COMPANY, INC.
4401 MASTHEAD ST NE
ALBUQUERQUE, NM 87109
505-348-4000

February 1, 2019
SHEET No. A-203C

SWMD Maintenance & Administration Buildings Project

City of Albuquerque
Department of Municipal Development
Solid Waste Management Department



D7 PERSPECTIVE VIEW



D1 PERSPECTIVE VIEW

MAINTENANCE BLDG.
PERSPECTIVE VIEWS



JR MILLER & ASSOCIATES
2700 SATURN STREET
BREA, CA 92821
714-524-1870

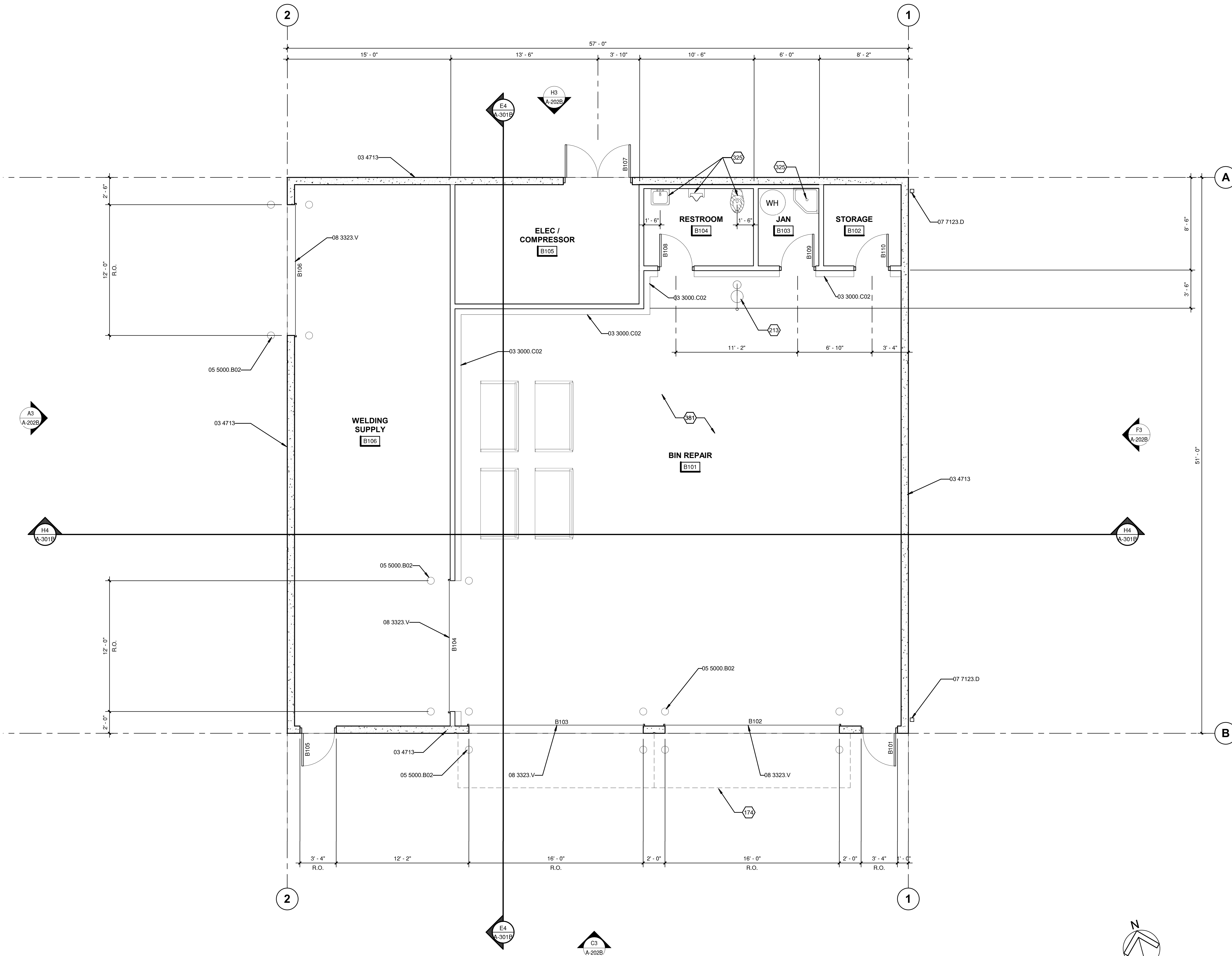
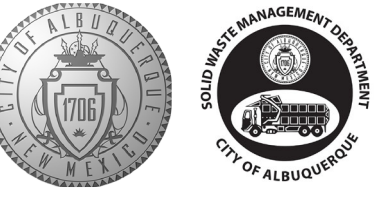


WILSON & COMPANY, INC.
4401 MASTHEAD ST NE
ALBUQUERQUE, NM 87109
505-348-4000

February 1, 2019

SHEET No. A-201C

COA PROJECT No. 7006.92 JRMA No. 4907-B



REFERENCE KEYNOTES

- | | |
|-------------|-----------------------|
| 03 3000.C02 | CONCRETE CURB |
| 03 4713 | TILT-UP CONCRETE |
| 05 5000.B02 | BOLLARD |
| 07 7123.D | DOWNSPOUT |
| 08 3323.V | OVERHEAD COILING DOOR |

SHEET KEYNOTES

- | | |
|-----|---|
| 174 | DASHED LINE INDICATES CANOPY ABOVE. |
| 213 | EYEWASH/SHOWER. |
| 325 | PLUMBING FIXTURE. |
| 381 | STRUCTURAL CAST-IN-PLACE CONCRETE SLAB. |

BIN REPAIR FLOOR PLAN



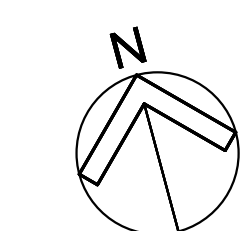
JR MILLER & ASSOCIATES
 2700 SATURN STREET
 BREAA, CA 92821
 714-524-1870

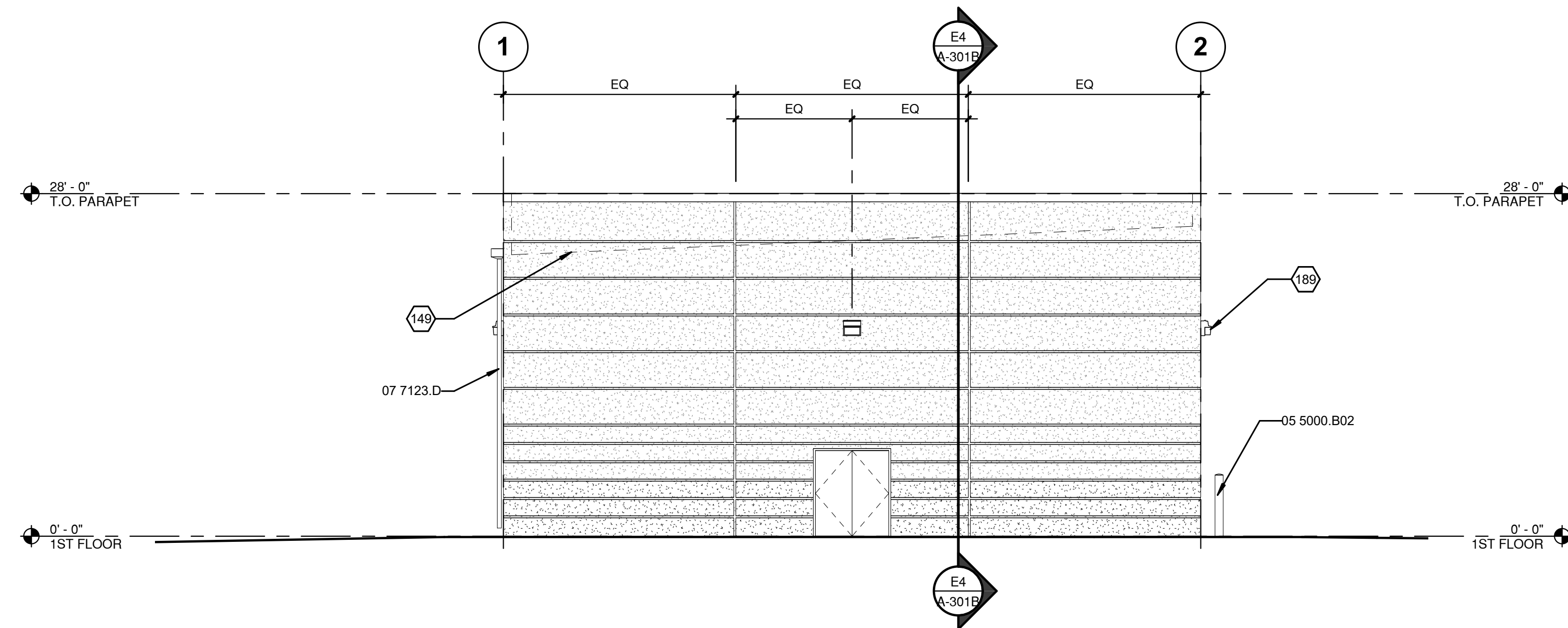
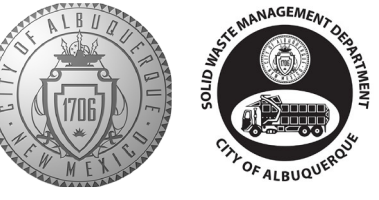


WILSON & COMPANY, INC.
 4401 MASTHEAD ST NE
 ALBUQUERQUE, NM 87109
 505-348-4000

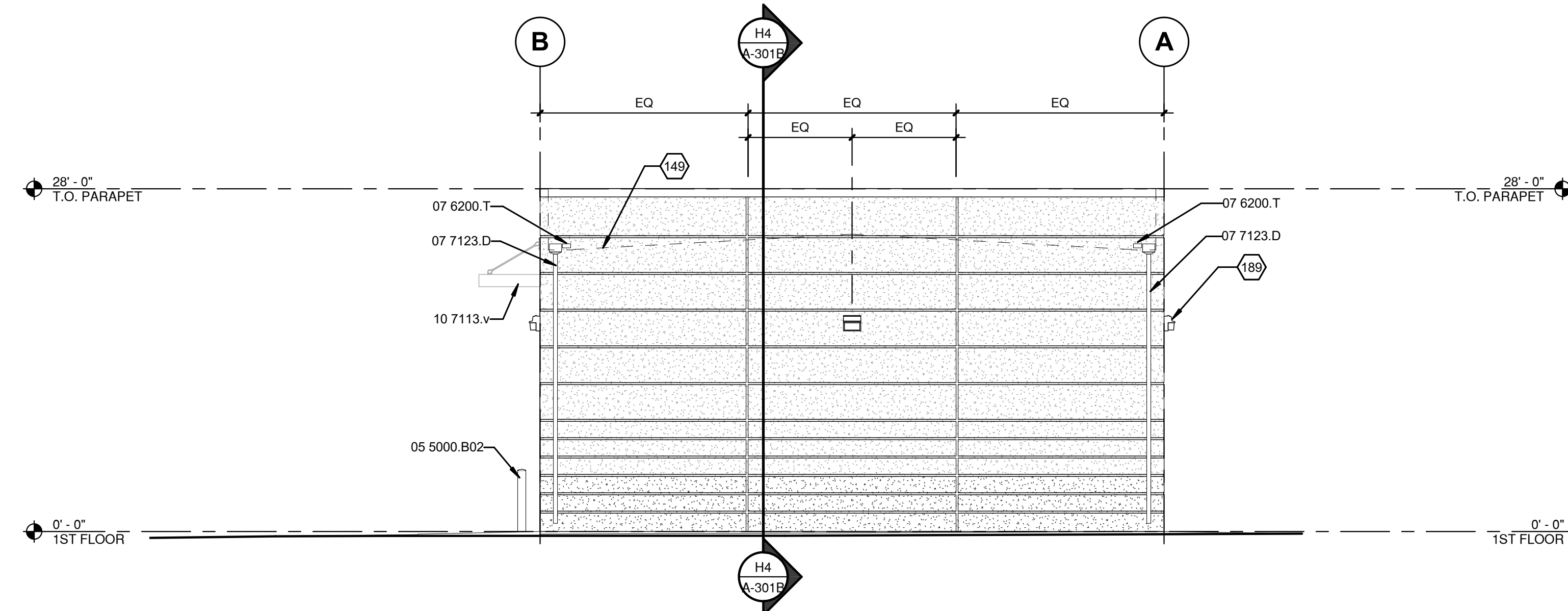
February 1, 2019
 SHEET No. A-101B

COA PROJECT No. 7006.92 JRMA No. 4907-B





H3 NORTH ELEVATION
 1/8" = 1'-0"



F3 EAST ELEVATION
 1/8" = 1'-0"

REFERENCE KEYNOTES

- | | |
|-------------|-----------------------|
| 03 4713 | TILT-UP CONCRETE |
| 05 5000.B02 | BOLLARD |
| 07 6200.T | THRU-WALL SCUPPER |
| 07 7123.D | DOWNSPOUT |
| 08 3323.V | OVERHEAD COILING DOOR |
| 10 7113.v | METAL ROOF CANOPY |

SHEET KEYNOTES

- | | |
|-----|----------------------------------|
| 149 | DASHED LINE INDICATES ROOF LINE. |
| 189 | ELECTRICAL LIGHT FIXTURE. |

LEGEND

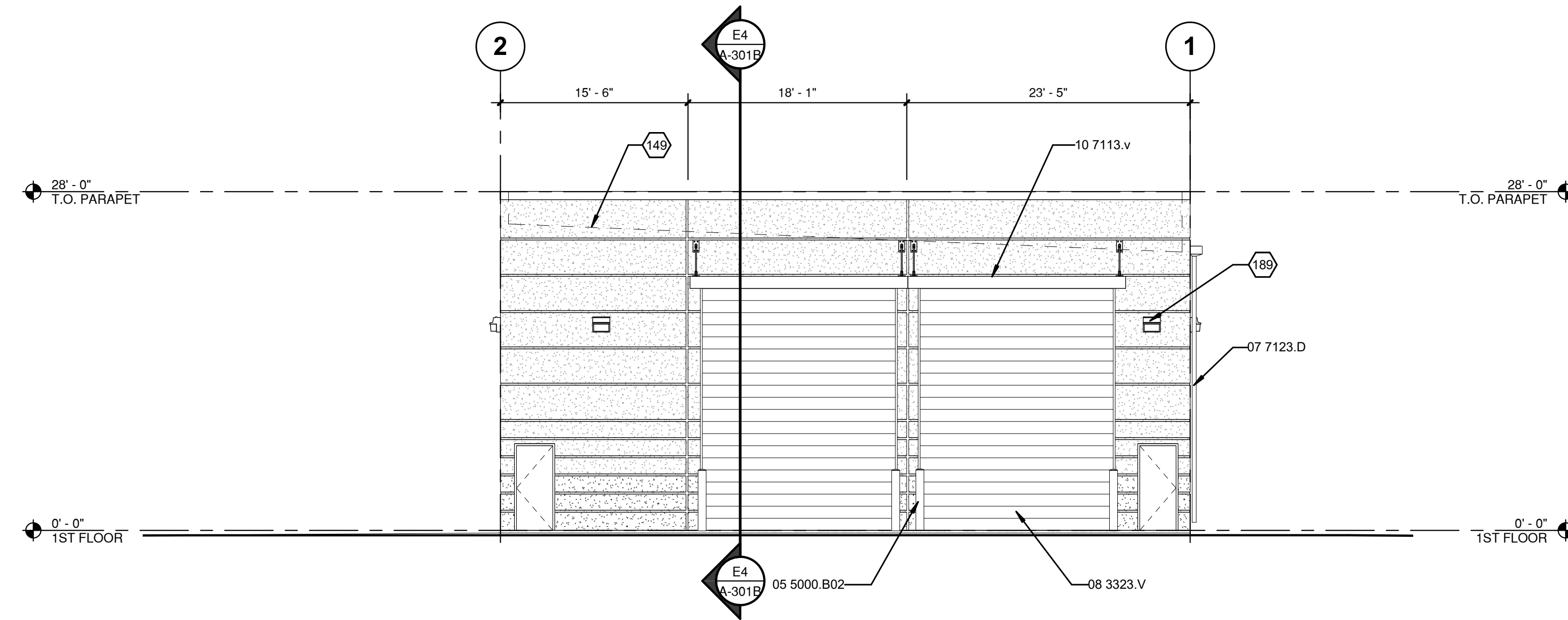
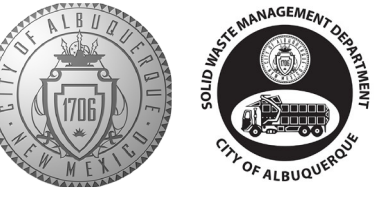
- | | |
|--|--------------------------------|
| | PRECAST CONCRETE - WHITE COLOR |
| | PRECAST CONCRETE - TAN COLOR |
| | PRECAST CONCRETE - GRAY COLOR |

**BIN REPAIR
 EXTERIOR ELEVATIONS**

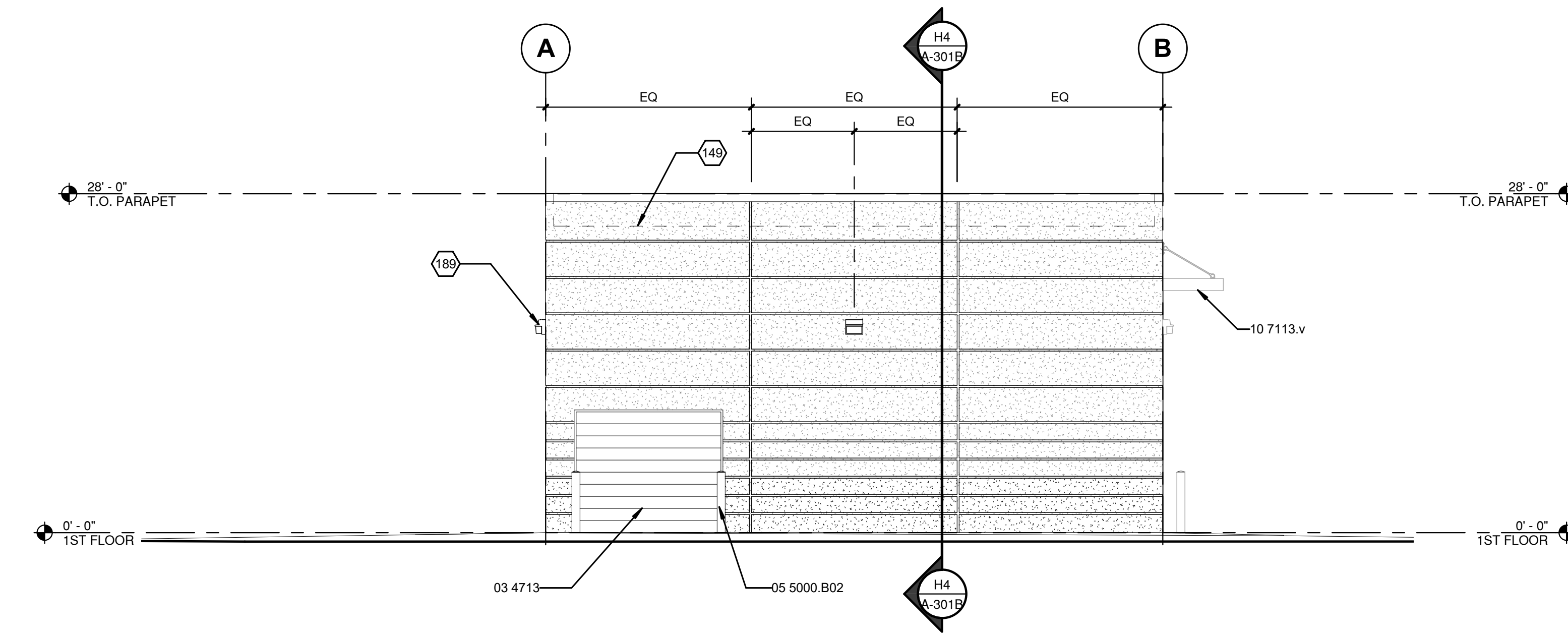
JRMA
 ARCHITECTS ENGINEERS
 JR MILLER & ASSOCIATES
 2700 SATURN STREET
 BREA, CA 92821
 714-524-1870

**WILSON
 & COMPANY**
 WILSON & COMPANY, INC.
 4401 MASTHEAD ST NE
 ALBUQUERQUE, NM 87109
 505-348-4000

February 1, 2019
 SHEET No. A-202B



C3 SOUTH ELEVATION
 1/8" = 1'-0"



A3 WEST ELEVATION
 1/8" = 1'-0"

REFERENCE KEYNOTES

03 4713	TILT-UP CONCRETE
05 5000.B02	BOLLARD
07 6200.T	THRU-WALL SCUPPER
07 7123.D	DOWNSPOUT
08 3323.V	OVERHEAD COILING DOOR
10 7113.v	METAL ROOF CANOPY

SHEET KEYNOTES

149	DASHED LINE INDICATES ROOF LINE.
189	ELECTRICAL LIGHT FIXTURE.

LEGEND

	PRECAST CONCRETE - WHITE COLOR
	PRECAST CONCRETE - TAN COLOR
	PRECAST CONCRETE - GRAY COLOR

BIN REPAIR
 EXTERIOR ELEVATIONS



JR MILLER & ASSOCIATES
 2700 SATURN STREET
 BREA, CA 92821
 714-524-1870

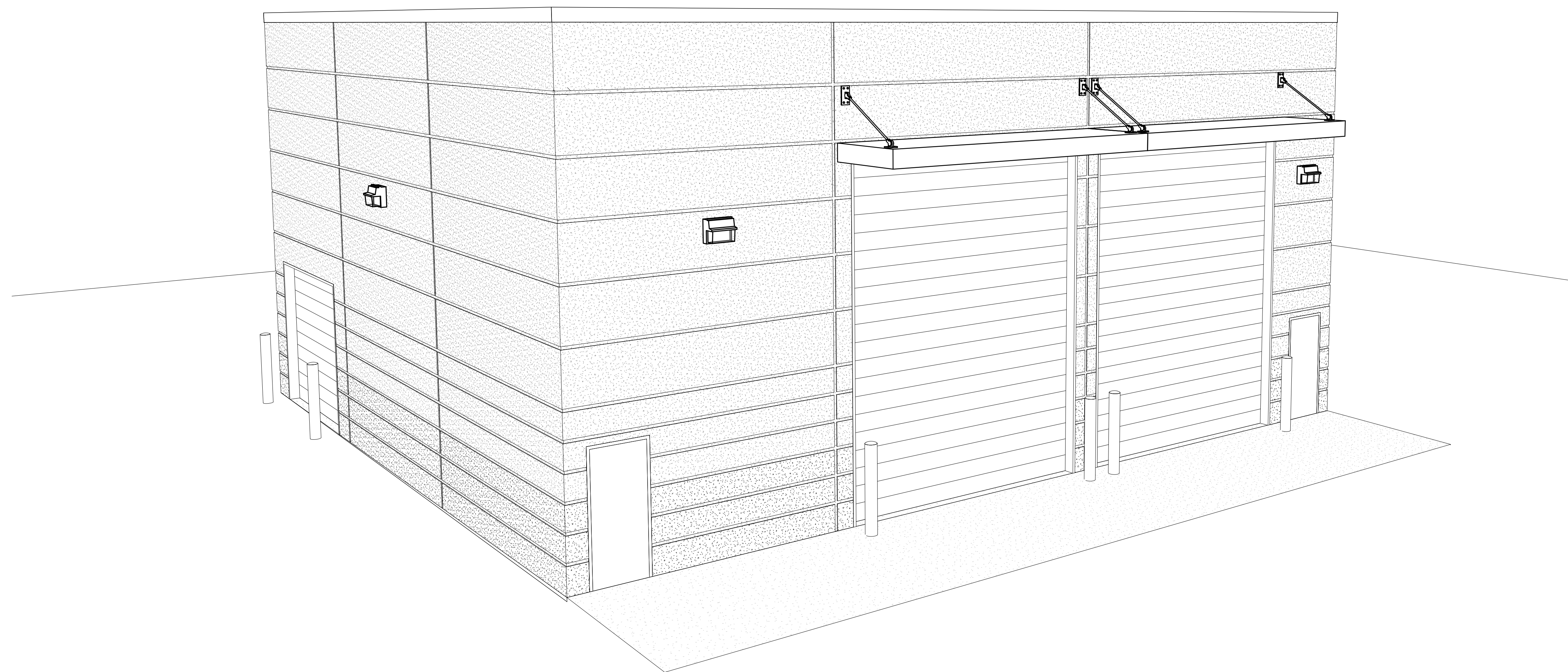


WILSON & COMPANY, INC.
 4401 MASTHEAD ST NE
 ALBUQUERQUE, NM 87109
 505-348-4000

February 1, 2019
 SHEET No. A-203B

SWMD Maintenance & Administration Buildings Project

City of Albuquerque
Department of Municipal Development
Solid Waste Management Department



C3 SOUTH PERSPECTIVE

BIN REPAIR PERSPECTIVE VIEWS



JR MILLER & ASSOCIATES
2700 SATURN STREET
BREA, CA 92821
714-524-1870

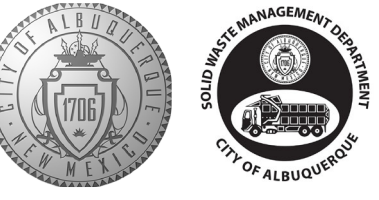


WILSON & COMPANY, INC.
4401 MASTHEAD ST NE
ALBUQUERQUE, NM 87109
505-348-4000

February 1, 2019

SHEET No. A-201B

COA PROJECT No. 7006.92 JRMA No. 4907-B

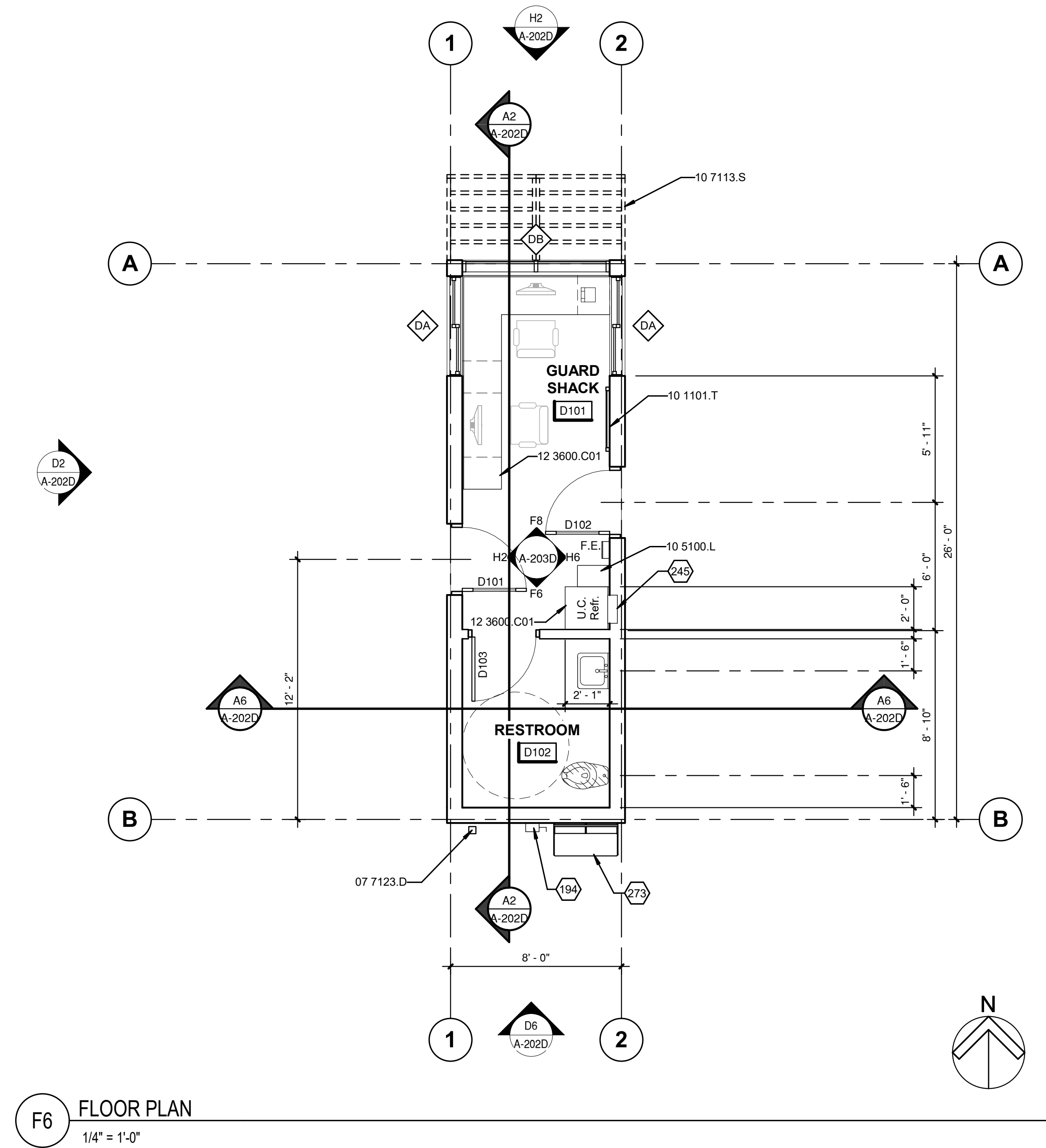
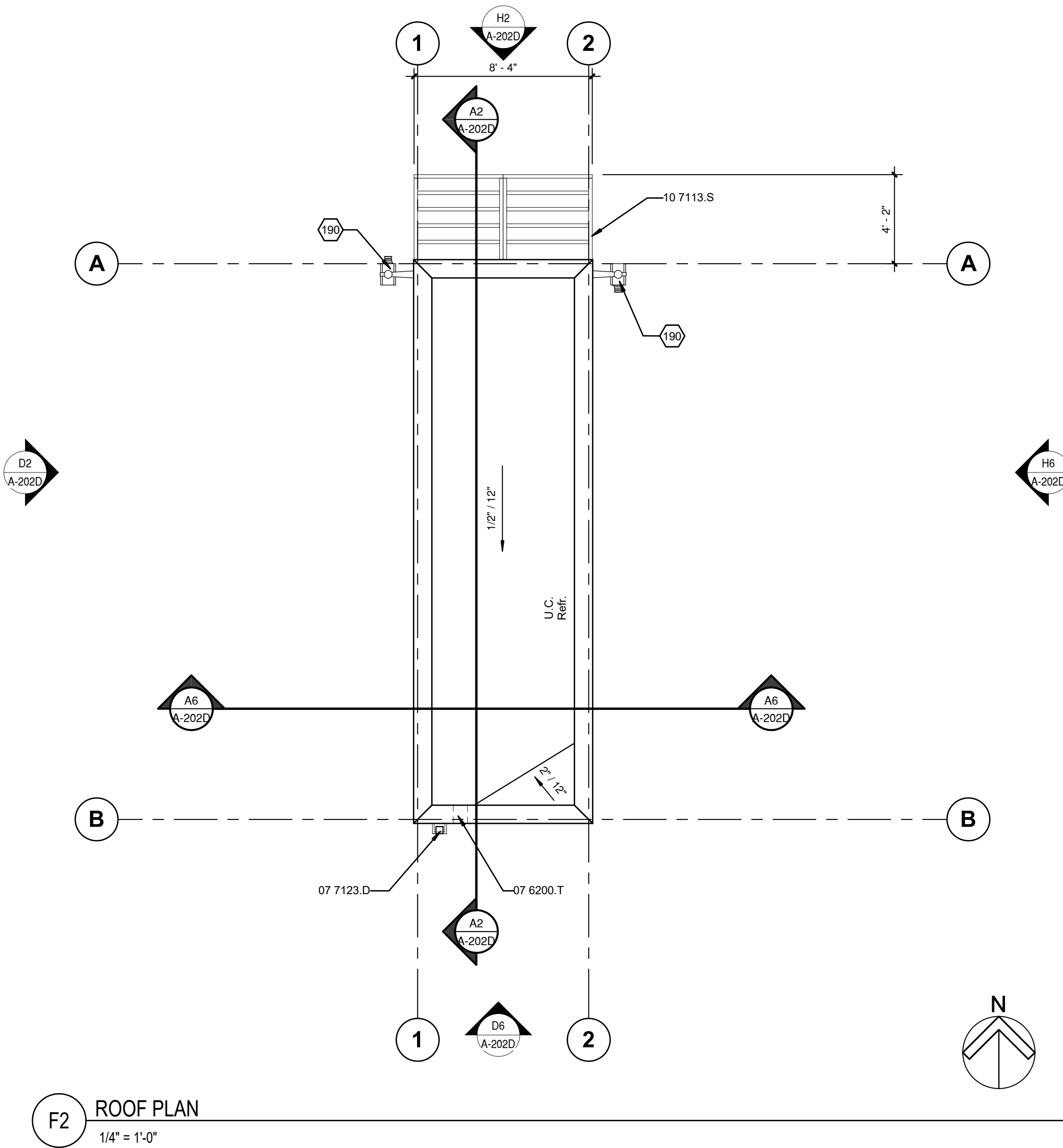


REFERENCE KEYNOTES

07 6200.T	THRU-WALL SCUPPER
07 7123.D	DOWNSPOUT
10 1101.T	TACKBOARD
10 5100.L	LOCKER
10 7113.S	SUN CONTROL DEVICE
12 3600.C01	COUNTERTOP

SHEET KEYNOTES

190	SECURITY CAMERA
194	ELECTRICAL DISCONNECT SWITCH
245	FIRE ALARM CONTROL PANEL
273	MECHANICAL HVAC UNIT
277	MECHANICAL HVAC GRILLE



GUARD SHACK FLOOR & ROOF PLAN



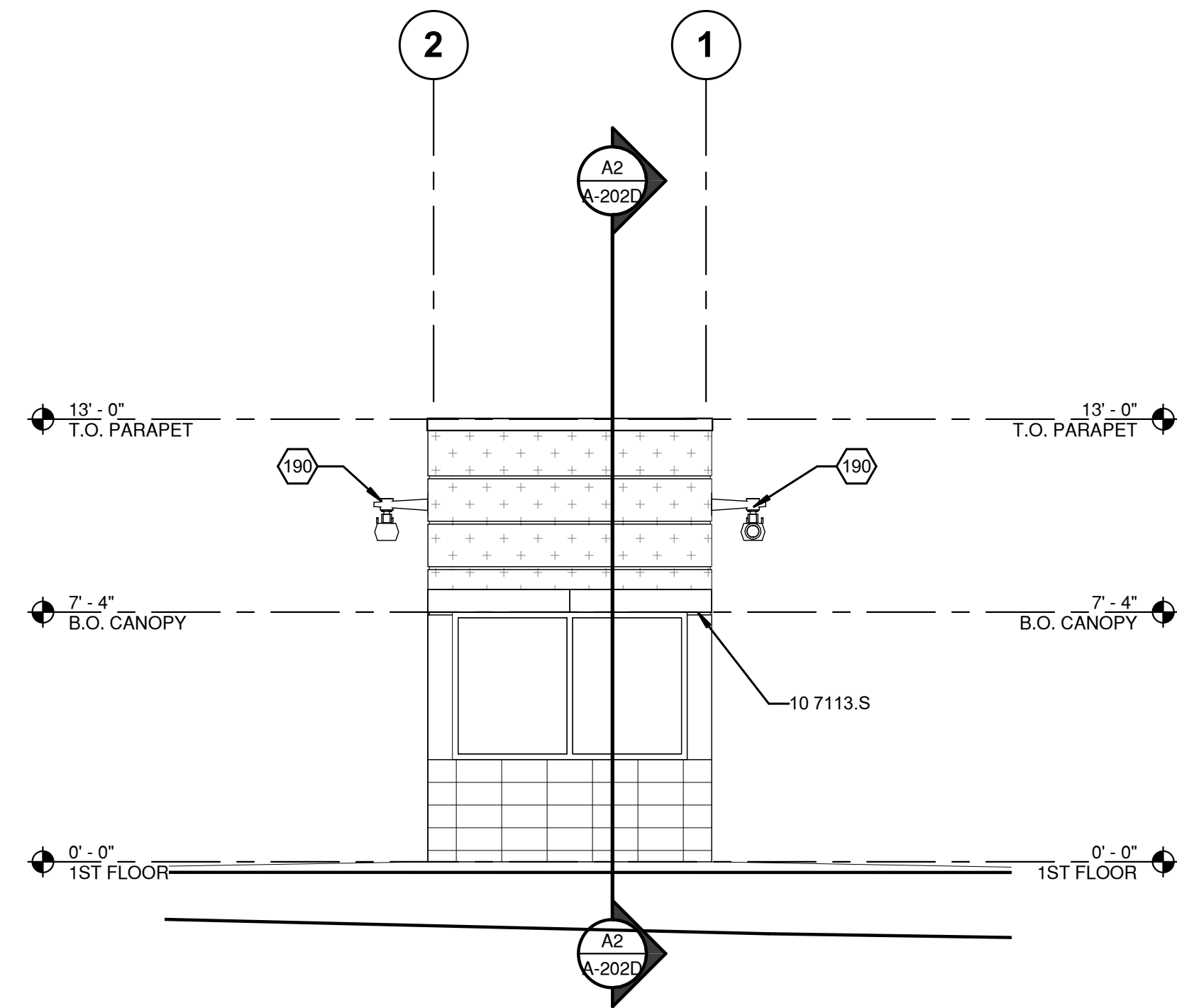
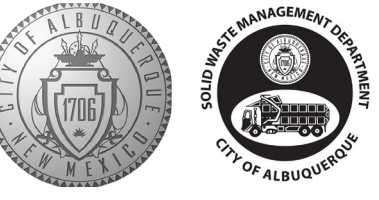
JR MILLER & ASSOCIATES
 2700 SATURN STREET
 BREA, CA 92821
 714-524-1870



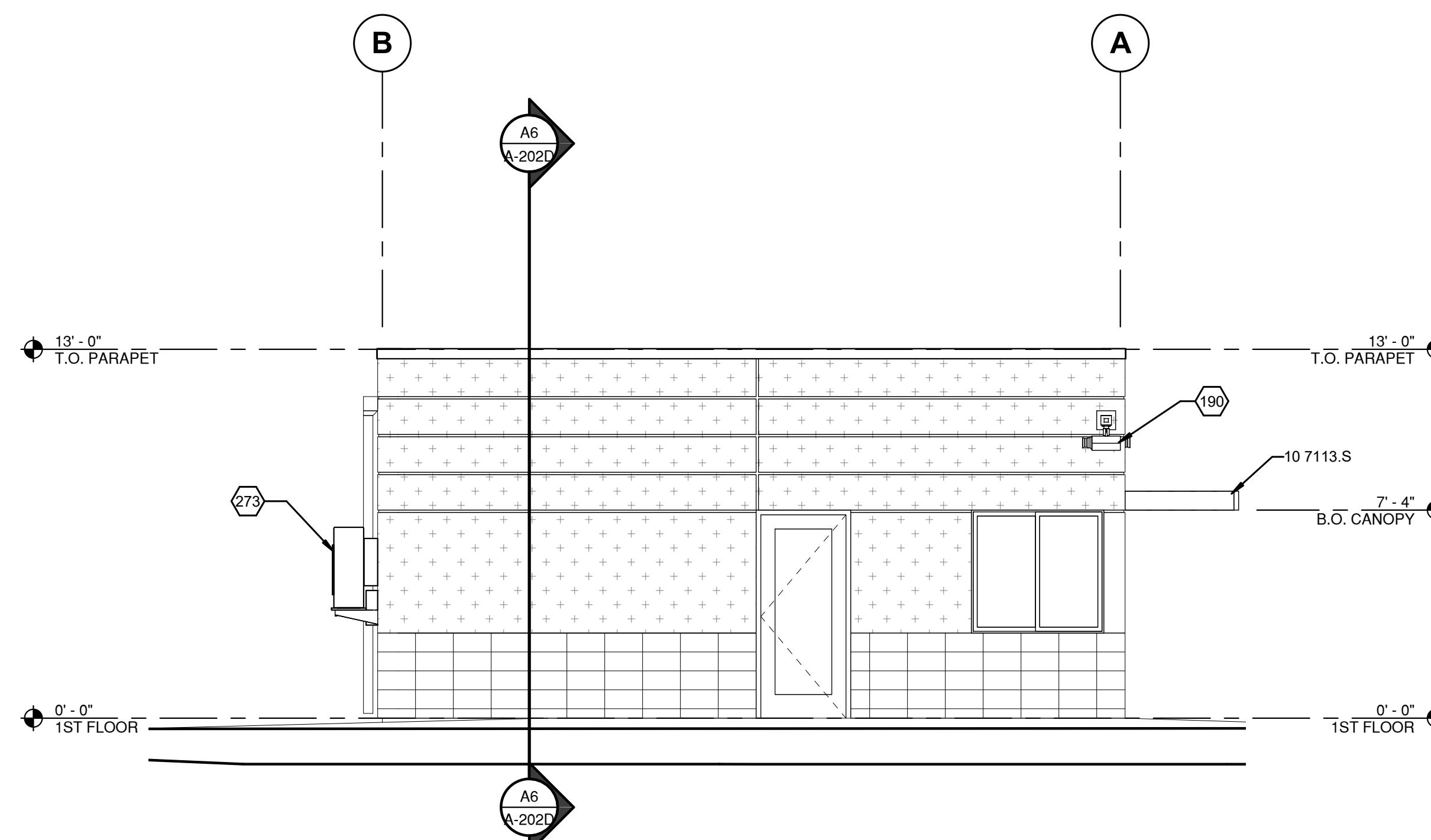
WILSON & COMPANY, INC.
 4401 MASTHEAD ST NE
 ALBUQUERQUE, NM 87109
 505-348-4000

February 1, 2019
 SHEET No. A-101D

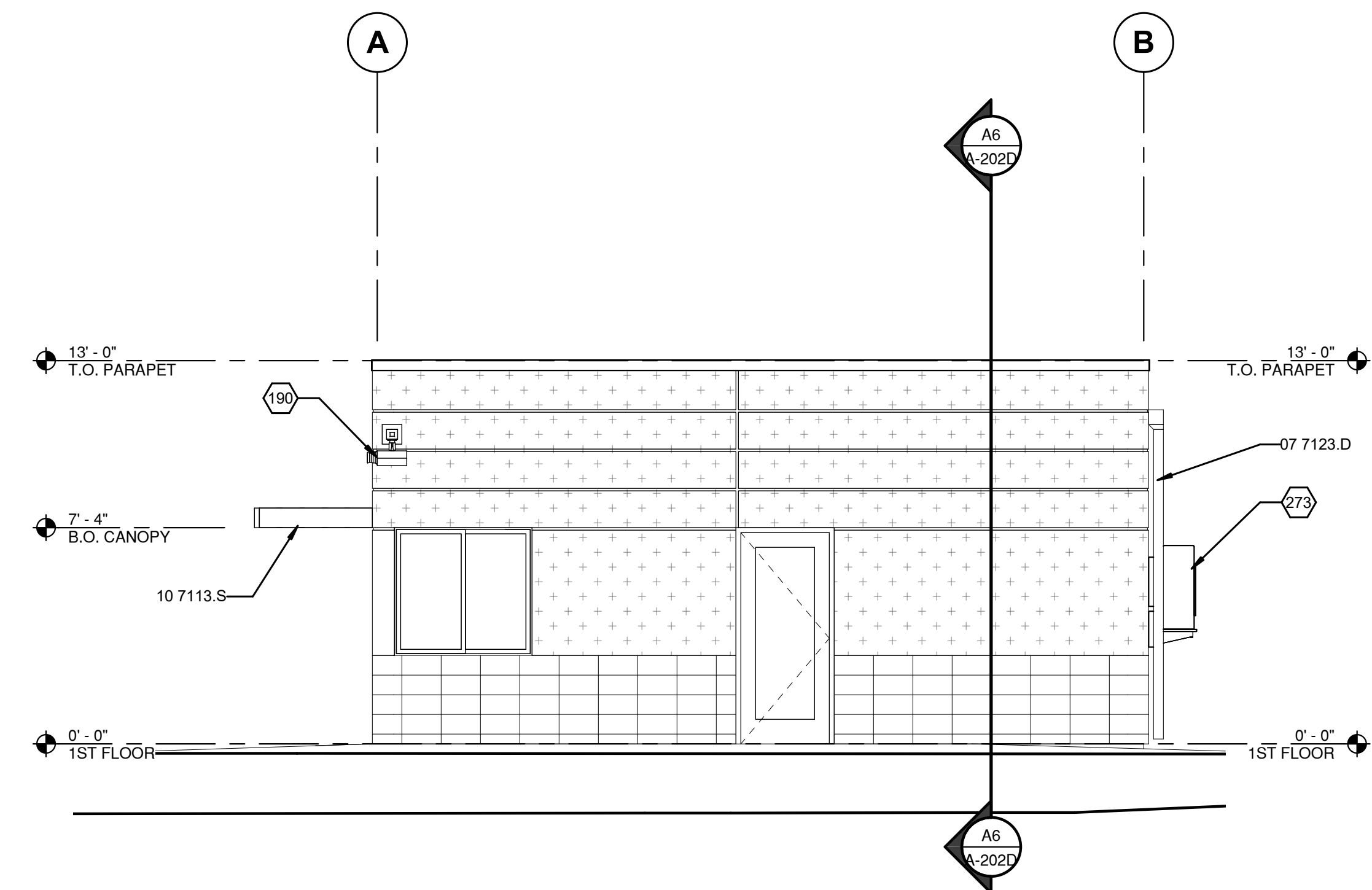
COA PROJECT No. 7006.92 JRMA No. 4907-B



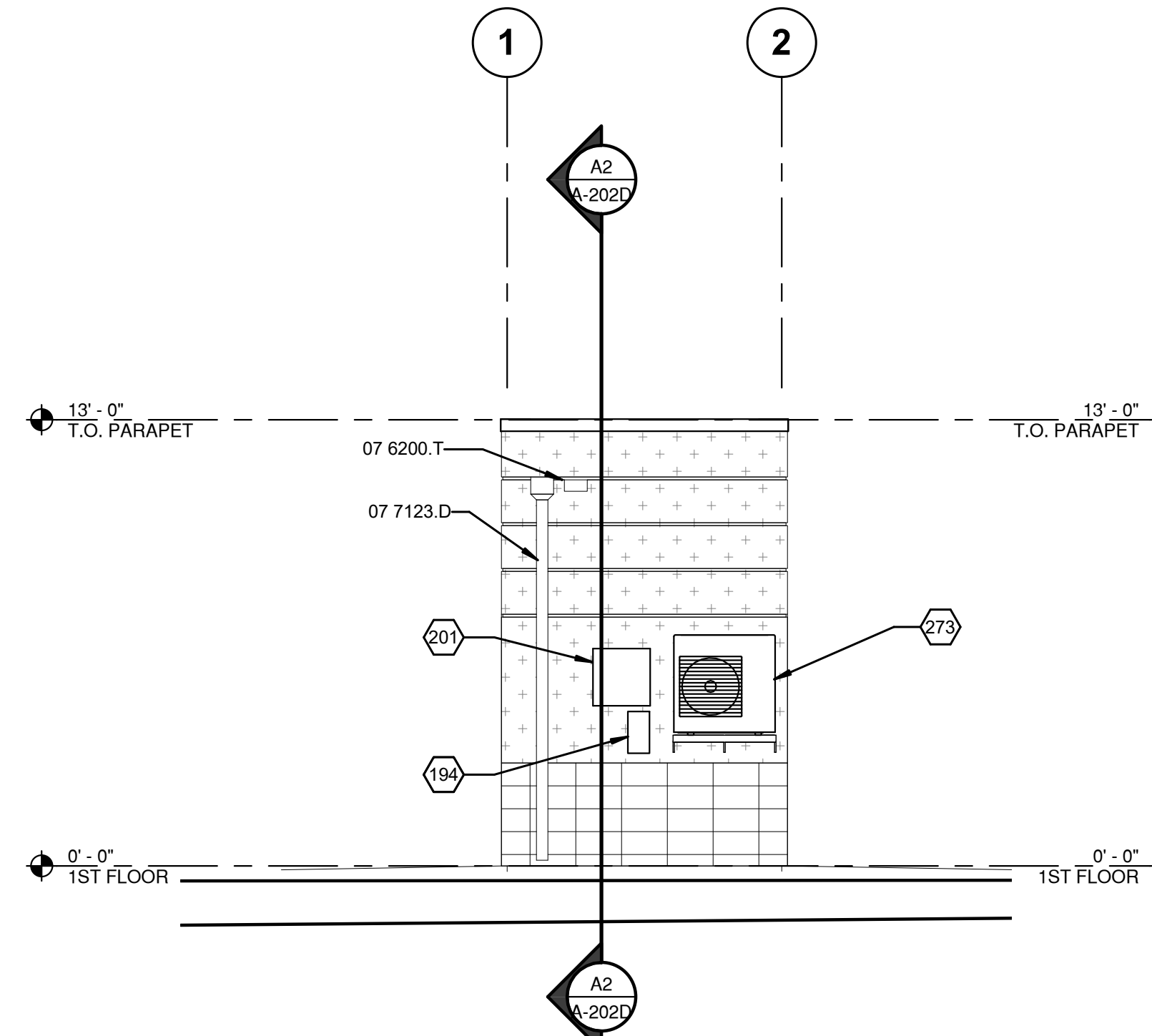
H2 WEST ELEVATION
 1/4" = 1'-0"



H6 NORTH ELEVATION
 1/4" = 1'-0"



D2 SOUTH ELEVATION
 1/4" = 1'-0"



D6 EAST ELEVATION
 1/4" = 1'-0"

REFERENCE KEYNOTES

- 06 4100.B04 BASE CABINET
- 07 6200.T THRU-WALL SCUPPER
- 07 7123.D DOWNSPOUT
- 10 7113.S SUN CONTROL DEVICE
- 12 3600.C01 COUNTERTOP

SHEET KEYNOTES

- 190 SECURITY CAMERA.
- 194 ELECTRICAL DISCONNECT SWITCH
- 201 ELECTRICAL PANEL.
- 273 MECHANICAL HVAC UNIT.

LEGEND

- EIFS - TAN COLOR
REFER TO PREFABRICATED GUARD SHACK SPECIFICATIONS.
- ADHERED MASONRY VENEER, 8x16 STACK BOND, RAKED JOINTS
COLOR & FINISH TO MATCH VEHICLE MAINTENANCE BUILDING
REFER TO PREFABRICATED GUARD SHACK SPECIFICATIONS.

GUARD SHACK
 EXTERIOR ELEVATIONS



JR MILLER & ASSOCIATES
 2700 SATURN STREET
 BREA, CA 92821
 714-524-1870

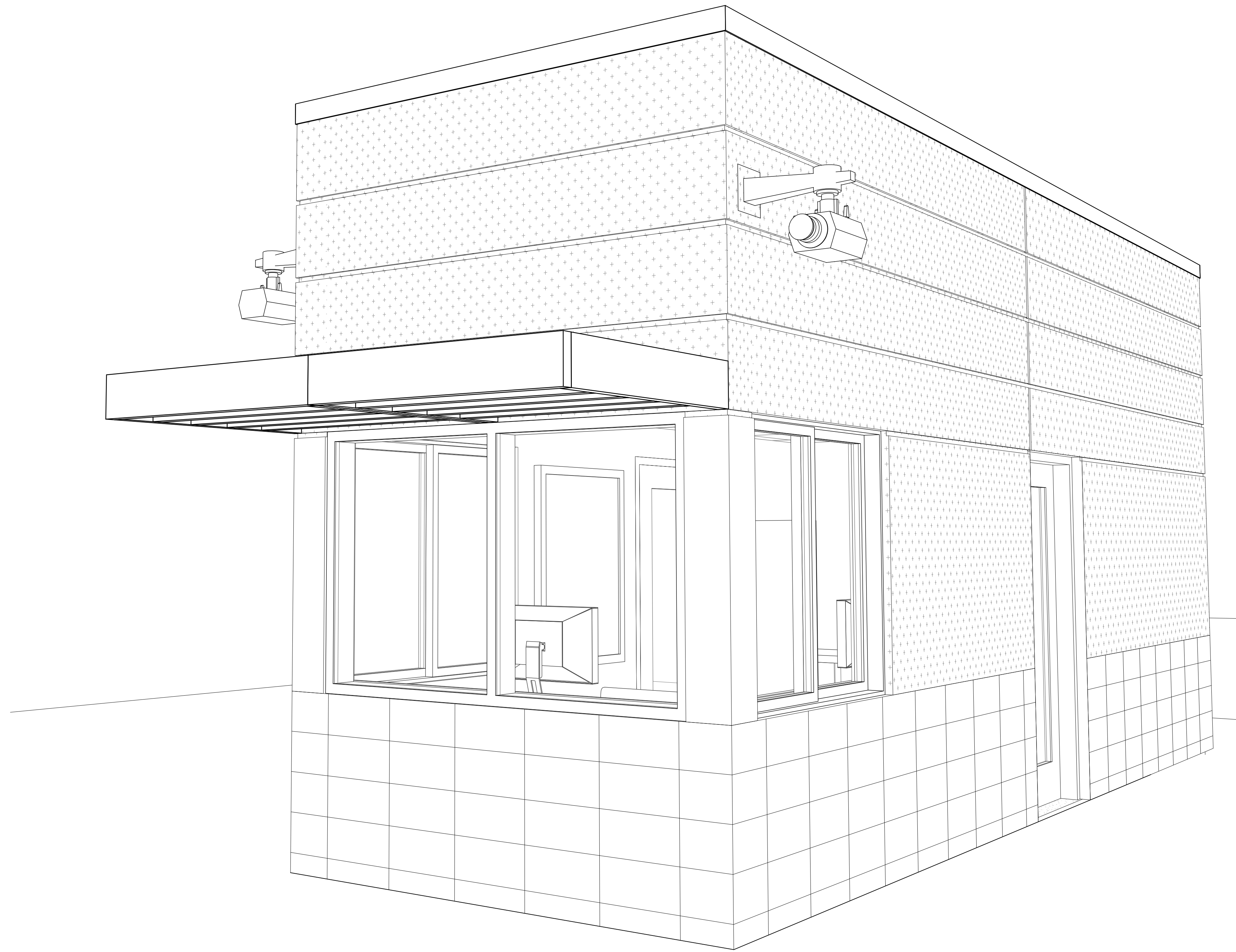


WILSON & COMPANY, INC.
 4401 MASTHEAD ST NE
 ALBUQUERQUE, NM 87109
 505-348-4000

February 1, 2019
 SHEET No. A-202D

SWMD Maintenance &
Administration Buildings Project

City of Albuquerque
Department of Municipal Development
Solid Waste Management Department



E7 PERSPECTIVE VIEW

**GUARD SHACK
PERSPECTIVE VIEWS**



JR MILLER & ASSOCIATES
2700 SATURN STREET
BREA, CA 92821
714-524-1870

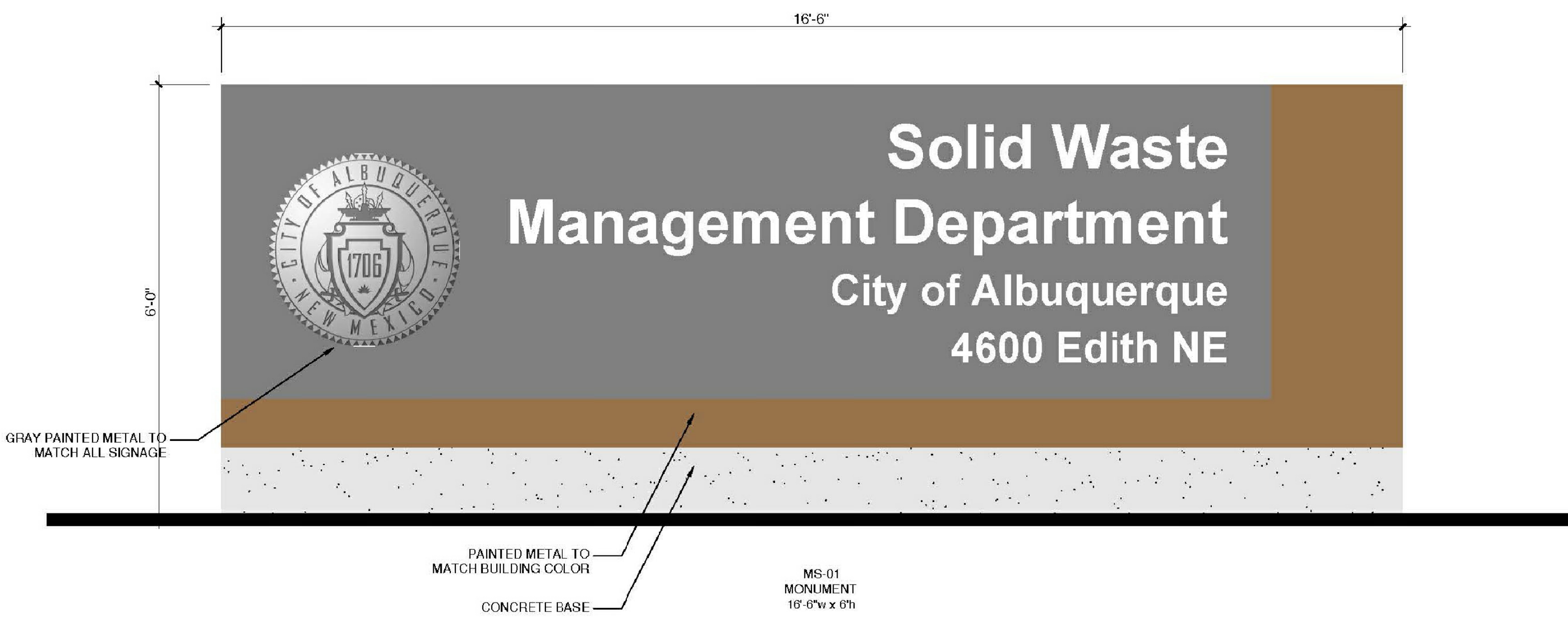


WILSON & COMPANY, INC.
4401 MASTHEAD ST NE
ALBUQUERQUE, NM 87109
505-348-4000

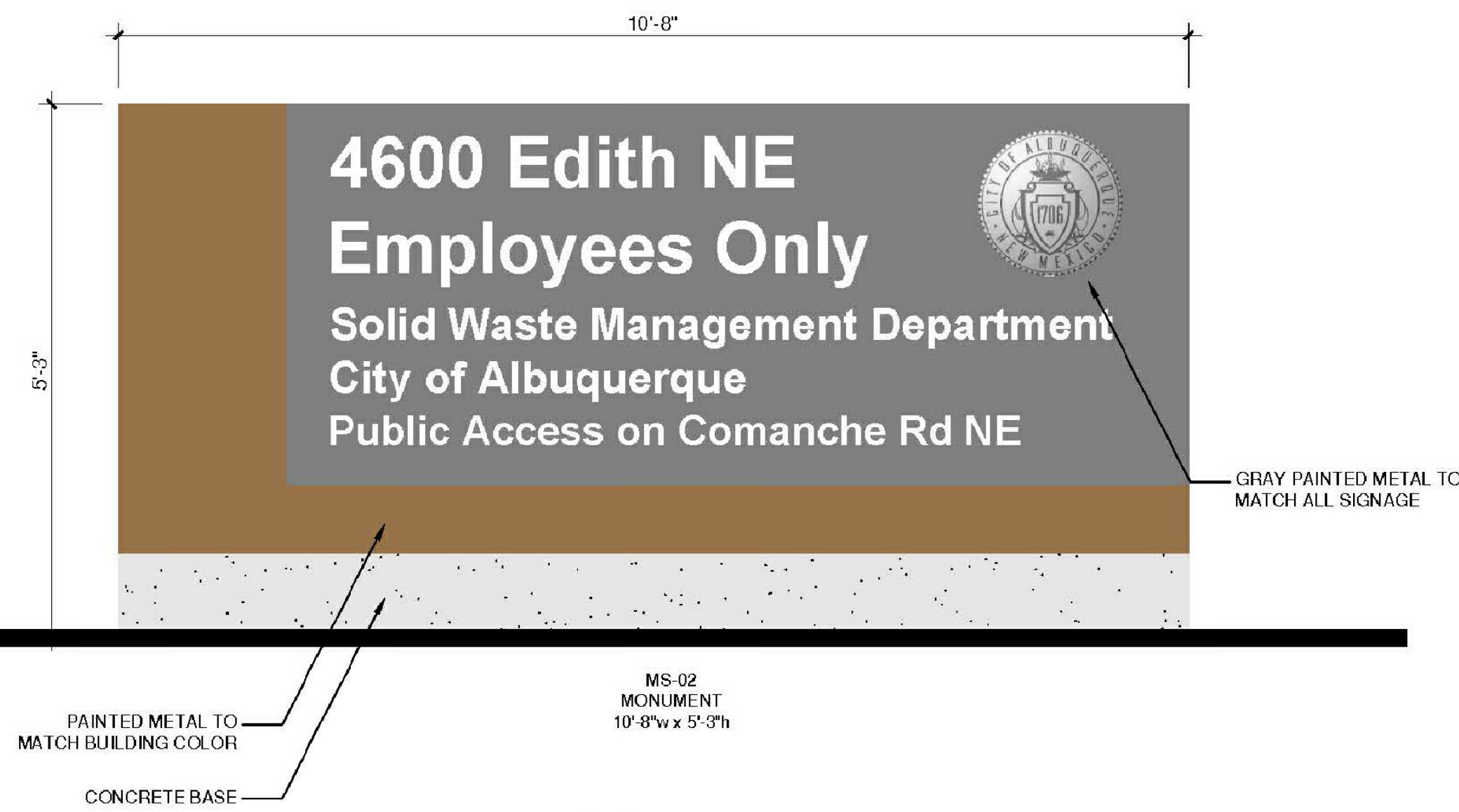
February 1, 2019

SHEET No. A-201D

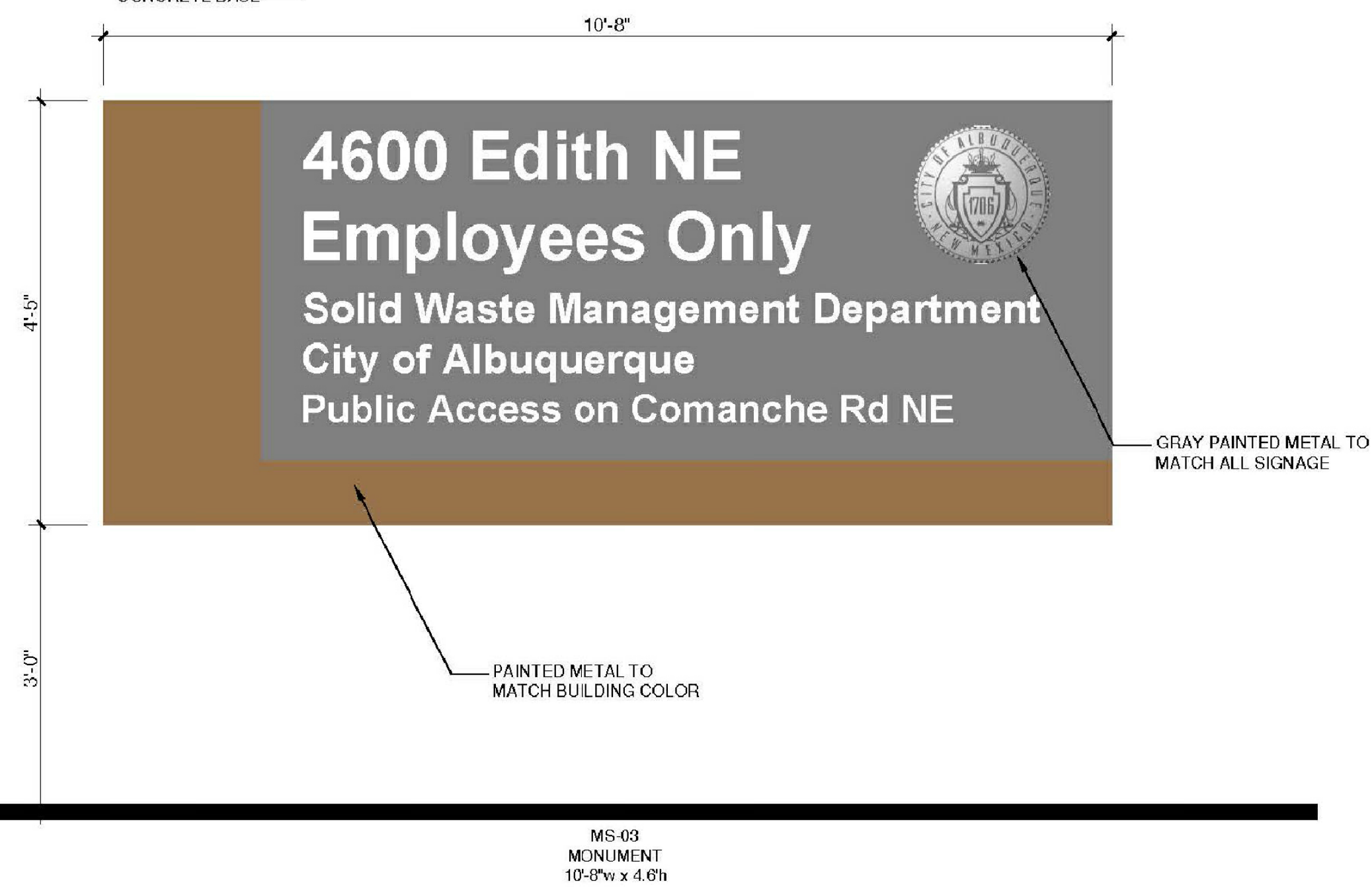
COA PROJECT No. 7006.92 JRMA No. 4907-B



Comanche Rd Driveway



Edith Blvd Driveway



Rankin Rd Driveway

SIGNAGE ELEVATIONS



JR MILLER & ASSOCIATES
2700 SATURN STREET
BREA, CA 92821
714-524-1870



WILSON & COMPANY, INC.
4401 MASTHEAD ST NE
ALBUQUERQUE, NM 87109
505-348-4000

February 1, 2019












PR-2019-002046 Site Plan - #2


Final Audit Report

2020-04-13


Created:	2020-04-10
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAA5A6tqbU2eP_IoxtWA05-TT721_YaBrE5

"PR-2019-002046 Site Plan - #2" History


-  Document created by Jay Rodenbeck (jrodenbeck@cabq.gov)
2020-04-10 - 9:59:29 PM GMT - IP address: 198.206.237.4
-  Document emailed to Jolene Wolfley (jwolfley@cabq.gov) for signature
2020-04-10 - 10:10:37 PM GMT
-  Document emailed to Jeanne Wolfenbarger (jwolfenbarger@cabq.gov) for signature
2020-04-10 - 10:10:37 PM GMT
-  Document emailed to Charlotte Labadie (vmontano@cabq.gov) for signature
2020-04-10 - 10:10:37 PM GMT
-  Document emailed to Cheryl Somerfeldt (csomerfeldt@cabq.gov) for signature
2020-04-10 - 10:10:37 PM GMT
-  Document emailed to Ernest Armijo (earmijo@cabq.gov) for signature
2020-04-10 - 10:10:37 PM GMT
-  Document emailed to Kristopher Cadena (kcadena@abcwua.org) for signature
2020-04-10 - 10:10:37 PM GMT
-  Email viewed by Cheryl Somerfeldt (csomerfeldt@cabq.gov)
2020-04-10 - 10:11:06 PM GMT - IP address: 70.58.228.198
-  Document e-signed by Cheryl Somerfeldt (csomerfeldt@cabq.gov)
Signature Date: 2020-04-10 - 10:11:19 PM GMT - Time Source: server - IP address: 70.58.228.198
-  Email viewed by Ernest Armijo (earmijo@cabq.gov)
2020-04-10 - 10:17:03 PM GMT - IP address: 143.120.132.57
-  Document e-signed by Ernest Armijo (earmijo@cabq.gov)
Signature Date: 2020-04-10 - 10:17:35 PM GMT - Time Source: server - IP address: 143.120.132.57

 Email viewed by Kristopher Cadena (kcadena@abcwua.org)


2020-04-10 - 10:20:02 PM GMT- IP address: 216.243.115.198

 Document e-signed by Kristopher Cadena (kcadena@abcwua.org)


Signature Date: 2020-04-10 - 10:25:23 PM GMT - Time Source: server- IP address: 216.243.115.198- Signature captured from device with phone number:XXXXXXXX9912

 Email viewed by Jeanne Wolfenbarger (jwolfenbarger@cabq.gov)


2020-04-10 - 10:38:49 PM GMT- IP address: 143.120.132.68

 Email viewed by Jolene Wolfley (jwolfley@cabq.gov)

2020-04-10 - 10:39:21 PM GMT- IP address: 198.206.237.4

 Document e-signed by Jeanne Wolfenbarger (jwolfenbarger@cabq.gov)

Signature Date: 2020-04-10 - 10:44:33 PM GMT - Time Source: server- IP address: 143.120.132.68

 Email viewed by Charlotte Labadie (vmontano@cabq.gov)


2020-04-13 - 1:54:41 PM GMT- IP address: 198.206.237.4

 Document e-signed by Charlotte Labadie (vmontano@cabq.gov)

Signature Date: 2020-04-13 - 1:55:11 PM GMT - Time Source: server- IP address: 198.206.237.4

 Document e-signed by Jolene Wolfley (jwolfley@cabq.gov)

Signature Date: 2020-04-13 - 3:08:43 PM GMT - Time Source: server- IP address: 198.206.237.4

 Signed document emailed to Kristopher Cadena (kcadena@abcwua.org), Jeanne Wolfenbarger (jwolfenbarger@cabq.gov), Ernest Armijo (earmijo@cabq.gov), Jolene Wolfley (jwolfley@cabq.gov), and 3 more

2020-04-13 - 3:08:43 PM GMT