



DEVELOPMENT REVIEW BOARD
SUPPLEMENTAL SUBMITTAL

(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)

PROJECT NO. PR-2019-002063
Application No. _____

TO:

- Planning Department/Chair
- Hydrology
- Transportation Development
- ABCWUA
- Code Enforcement
- Parks & Rec

*(Please attach this sheet with each collated set for each board member)

NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.

DRB SCHEDULED HEARING DATE: 5/26/2021 HEARING DATE OF DEFERRAL: 6/8/2021

SUBMITTAL DESCRIPTION: Resubmitting Preliminary Plat, Infrastructure List, and Justification Letter as requested for approval

CONTACT NAME: Hiram Crook

TELEPHONE:

505.828.2200 EMAIL: hiram@goodwinengineers.com



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

June 4, 2021

Ms. Jolene Wolfley
Acting DRB Chair
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

**Re: Sage Ranch Subdivision
Request Approval of Preliminary Plat, Sidewalk Waiver, Vacation of Public Easement
and Sidewalk Deferral
PR-2019-002063**

Dear Ms. Wolfley;

On behalf of our client, I am requesting a Preliminary Plat, Vacation of Public Easement, Sidewalk Waiver and Sidewalk Deferral approval for the above referenced project. This project will include a 33-lot single family residential development. The subdivision will be developed within the existing 3.76 acres. The Sage Market Place is adjacent to the proposed development. The single-entry road Sage Ranch Ct will terminate into a hammerhead at the east of the project. This project was previously approved in March 2018 and has expired due to timing. We are resubmitting for approval as the project has not been modified in any way from its original approval. Below are justifications for the requested actions.

1. Vacation of Easement: IDO 14-16-6-6-(k)3b
 - a. The new utility easement will better serve the public welfare by meeting the needs of the hammerhead configuration of the current design of the subdivision. The previously platted design was a cul-de-sac configuration that will not meet the current 32-lot design.
2. Sidewalk Waiver: IDO 14-16-6-6-(P)3j
 - a. The area is of lower-intensity land use to the extent that normal installation of sidewalks will not contribute to the public welfare and the absence of sidewalk will not create a gap in the sidewalk system to 1 or more sides of the subject property. Due to a 10' concrete rundown and an 18' driveway on opposite ends of the hammerhead, sidewalk connectivity is not available. Therefore, we have removed the sidewalk along lots 13-P1 and 19-P1 and will use unilateral ramps as a designation to cross the hammerhead at the t-intersection within the subdivision.
3. Sidewalk Deferral:
 - a. Request of sidewalk deferral is due to the construction of the sidewalk to be built at the time of the home by the developer.

Please call me if you have any questions.

Sincerely,

MARK GOODWIN & ASSOCIATES, P.A.

Hiram L. Crook
Staff Engineer

INFRASTRUCTURE LIST

Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: PR-2019-002063
DRB Application No.: _____

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST
Sage Ranch Subdivision (Preliminary Plat)
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

SAGE RANCH WITHIN THE TOWN OF ATRISCO GRANT PROJECTED SECTION 33 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO DECEMBER, 2017, SAGE RANCH WITHIN THE TOWN OF ATRISCO GRANT PROJECTED SECTION 33 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO DECEMBER, 2017

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Engineer
		28' FF	PAVING Res Pvmnt C&G (Both sides)	Sage Ranch Court SW	Snow Vista Blvd SW	End of Hammerhead	/	/	/
		5'	Sidewalk (North & South) (1)	Sage Ranch Court SW	Snow Vista Blvd SW	End of Hammerhead	/	/	/
		25' FF	Res Pvmnt C&G	Sage Ranch Hammerhead	Lot 14	Lot 19	/	/	/
		5'	Sidewalk (East side)				/	/	/
		8"	WATER Waterline	Sage Ranch Court SW	Exist W SV	End of Hammerhead	/	/	/
		8"	Waterline	Sage Ranch Hammerhead	Lot 14	Lot 19	/	/	/
		8"	Waterline	20' Easement	Sage Ranch Ct.	Exist. 8" WL Town of Atrisco Grant Lot 7	/	/	/
			SANITARY SEWER						
		8"	SAS	Sage Ranch Court SW	Lot 1 & 33	End of Hammerhead	/	/	/
		8"	SAS	Hammerhead	Lot 19	Lot 14	/	/	/
		8"	SAS	17' Easement	Hammerhead	Exist. Sewer in 20' Easmt	/	/	/
			STORM DRAIN						
			Relocate Existing Type Double "A" Inlet /Storm Pipe	Snow Vista Blvd			/	/	/
			10' Concrete Rundown	Sage Ranch Court SW	Hammerhead	Pond	/	/	/
			10' Concrete Rundown	Sage Ranch Court SW	Pond East	Exist Rundown	/	/	/
			First Flush Pond	Tract A	End of Hammerhead North		/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of

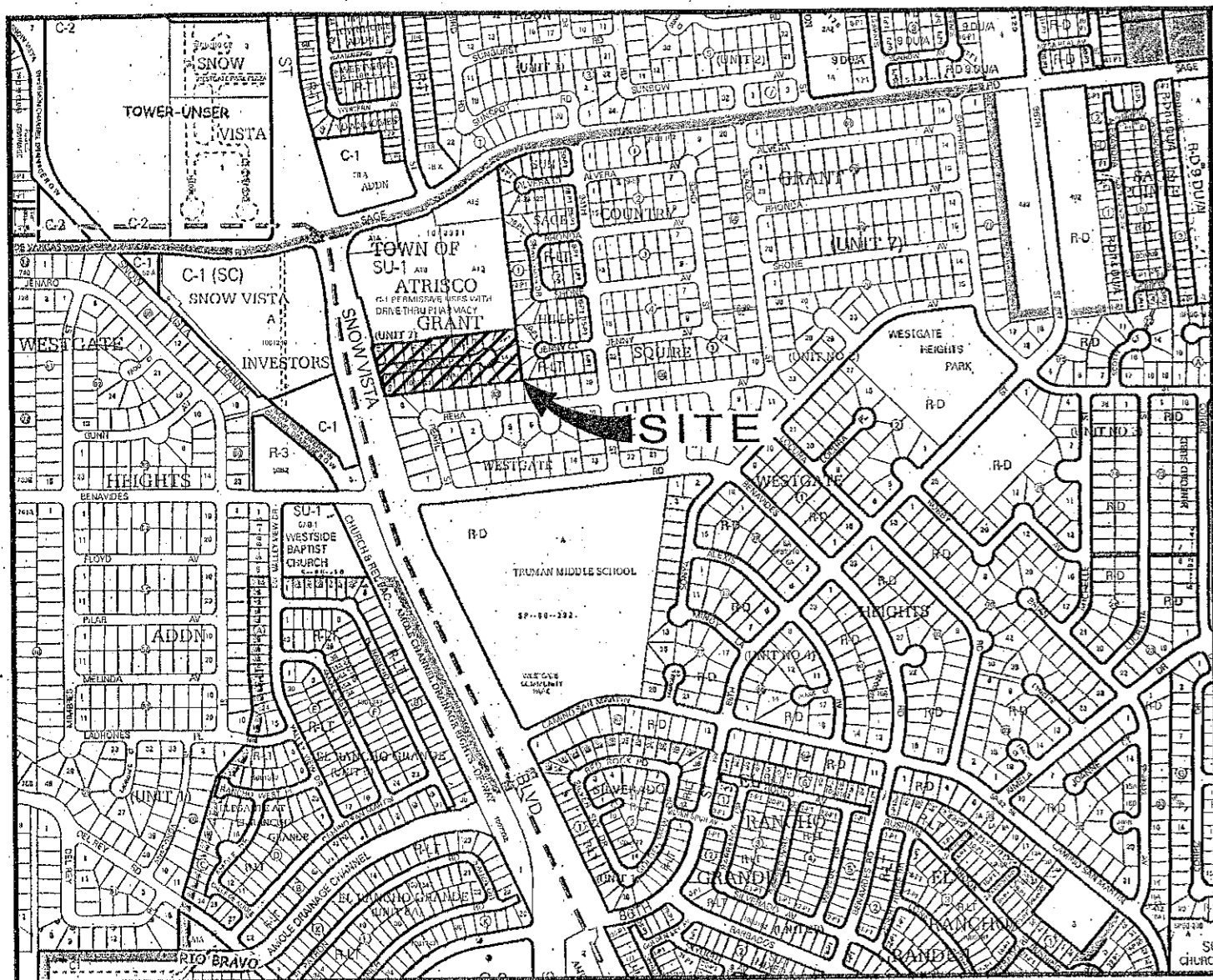
Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification	
							Private Inspector P.E.	City Cnst Engineer
							/	/
							/	/

Approval of Creditable Items:	Approval of Creditable Items:
Impact Fee Administrator Signature	City User Dept. Signature
Date	Date

- Sidewalks to be deferred
- Water infrastructure to include valves, fittings, service connections, and fire hydrants
- SAS infrastructure to include manholes and service connections
- Storm Drain infrastructure includes manholes, inlets, channels, bends, and sidewalk culverts.
- Grading and Drainage Certification and perimeter wall construction required prior to release of SIA and Financial Guaranty. (Financial Guaranty not required for Grading and Drainage Plan)
-

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS	
Hiram L. Crook	DRB CHAIR - date	PARKS & GENERAL SERVICES - date
MARK GOODWIN & ASSOCIATES	TRANSPORTATION DEVELOPMENT - date	AMAFCA - date
<i>[Signature]</i>	UTILITY DEVELOPMENT - date	CODE ENFORCEMENT - date
SIGNATURE - date	CITY ENGINEER - date	- date
MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: N/A	DESIGN REVIEW COMMITTEE REVISIONS	

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



LOCATION MAP SCALE: NTS M-9-Z

SUBDIVISION DATA

GROSS ACREAGE	3.7442 AC
ZONE ATLAS NO.	M-9-Z
NO. OF EXISTING TRACTS/LOTS	1 TRACT/26 LOTS
NO. OF TRACTS/LOTS CREATED	2 TRACTS/32 LOTS
DATE OF SURVEY	OCTOBER, 2017
MILES OF FULL WIDTH STREETS CREATED	.016 MILES
AREA OF PUBLIC RIGHT-OF-WAY DEDICATED	0.7154 AC

FREE CONSENT AND DEDICATION

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY DEDICATE ALL STREETS, PUBLIC RIGHT-OF-WAYS SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS AND DO HEREBY GRANT: ALL ACCESS, UTILITY AND DRAINAGE EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

OWNER'S ACKNOWLEDGMENT:

OWNER: Vuelo, LLC

Mrs. Janie Rowe, Manager _____ DATE _____

STATE OF NEW MEXICO
COUNTY OF BERNALILLO)

ON THIS _____ DAY OF _____, 2017, THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY Mrs. Janie Rowe, Manager, Vuelo, LLC.

NOTARY PUBLIC, MY COMMISSION EXPIRES _____

LEGAL DESCRIPTION

A TRACT OF LAND SITUATE WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 33, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO BEING ALL OF LOTS 1-P1 THROUGH 26-P1, TRACT A, TOGETHER WITH SAGE RANCH COURT RIGHT-OF-WAY OF SAGE RANCH SUBDIVISION AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAGE RANCH, FILED FOR RECORD IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON OCTOBER 31, 2006, IN VOLUME 2006C, PAGE 337 BEING 3.7442 ACRES MORE OR LESS.

PURPOSE OF PLAT

1. TO SUBDIVIDE LOTS 1-P1 THROUGH 26-P1, TRACT A, WITH SAGE RANCH COURT RIGHT-OF-WAY OF SAGE RANCH SUBDIVISION, INTO 2 TRACTS AND 32 RESIDENTIAL LOTS AS SHOWN HEREON.
2. DEDICATE PUBLIC STREET RIGHT-OF-WAY AS SHOWN HEREON.
3. VACATE EASEMENTS AND RIGHT-OF-WAY AS SHOWN HEREON.
4. GRANT NEW EASEMENTS AS SHOWN HEREON.

NOTES

1. BEARINGS ARE GRID BASED ON THE NEW MEXICO STATE PLANE COORDINATE SYSTEM (CENTRAL ZONE).
2. DISTANCES ARE GROUND DISTANCES.
3. BEARINGS AND DISTANCES ARE FIELD AND RECORD.
4. BASIS OF BOUNDARY ARE THE FOLLOWING PLATS OF RECORD ENTITLED:

 PLAT FOR "SAGE RANCH" (10-31-2006, 2006C-337)
 PLAT FOR "WESTGATE HEIGHTS ADDITION UNIT NO. 2 BLOCK 63" (06-16-72, D5-26)
 PLAT FOR "SUN SAGE HILLS" (06-25-99, 99C-162)
 PLAT FOR "PARCELS A-1-A, A-1-B, A-1-C, A-1-D AND A-1-E TOWN OF ATRISCO GRANT, UNIT 7 (10-24-05, 2005C-352)
 PLAT FOR "TRACT A, SNOW VISTA INVESTORS" (08-03-01, 2001C-225)
 ALL BEING RECORDS OF BERNALILLO COUNTY, NEW MEXICO.
5. FIELD SURVEY PERFORMED OCTOBER, 2017.
6. CITY OF ALBUQUERQUE, NEW MEXICO ZONE: R-LT

 "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION"
 "DO NOT DISTURB"
 "PLS # 7719"
8. MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

PRELIMINARY PLAT FOR
SAGE RANCH SUBDIVISION
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 33
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
APRIL, 2021

PROJECT NUMBER: 1003991

APPLICATION NUMBER: _____

PLAT APPROVAL

UTILITY APPROVALS:

PUBLIC SERVICE COMPANY OF NEW MEXICO _____ Date _____

NEW MEXICO GAS COMPANY _____ Date _____

QWEST CORPORATION D/B/A CENTURYLINK QC _____ Date _____

COMCAST D/B/A XFINITY _____ Date _____

CITY APPROVALS:

CITY SURVEYOR _____ Date _____

REAL PROPERTY DIVISION _____ Date _____

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ Date _____

ALBUQUERQUE-BERNALILLO COUNTY WATER UTILITY AUTHORITY _____ Date _____

PARKS AND RECREATION DEPARTMENT _____ Date _____

AMAFCA _____ Date _____

CITY ENGINEER _____ Date _____

DRB CHAIRPERSON, PLANNING DEPARTMENT _____ Date _____

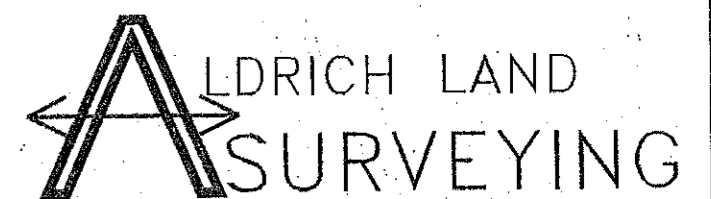
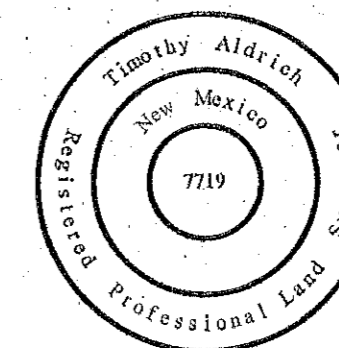
CODE ENFORCEMENT _____ Date _____

SURVEYOR'S CERTIFICATION

"I, TIMOTHY ALDRICH, A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF."

TIMOTHY ALDRICH, P.S. NO. 7719

DATE _____



P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

A17031 PRELIM PLAT.dwg	Drawn: SPS	Checked: TA	Sheet 1 of 4
Scale: AS SHOWN	Date: 4/28/2021	Job: A17031	

PRELIMINARY PLAT FOR
SAGE RANCH SUBDIVISION
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 33
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 APRIL, 2021

PARCEL A-1-D
 TOWN OF ATRISCO GRANT, UNIT
 7 (10-24-05, 2005C-352)

ACS MONUMENT
 AND BENCHMARK
 "9-M9"
 N=1475861.718
 E=1493497.517
 G-G=0.999682417
 Δα=-00°16'55.12"
 ELEVATION=5148.039
 CENTRAL ZONE
 (NAD83/NAVD88)

EXISTING 20' PUBLIC WATERLINE EASEMENT
 (10-24-05, 2005C-352)
 PARCEL A-1-B
 TOWN OF ATRISCO GRANT, UNIT 7
 (10-24-05, 2005C-352)

EXISTING 20' PUBLIC
 WATERLINE EASEMENT
 (10-24-05, 2005C-352)

EXISTING 10' PUBLIC
 UTILITY EASEMENT
 (10-24-05, 2005C-352)

PRIVATE DRAINAGE POND EASEMENT FOR THE
 JOINT BENEFIT AND USE OF PARCELS A-1-A,
 A-1-B, A-1-D, AND A-1-E SAID EASEMENT
 TO BE MAINTAINED BY THE OWNER OF EACH
 TRACT FOR THE BENEFIT OF ALL TRACTS
 (10-24-05, 2005C-352)

EXISTING 20' PRIVATE
 SANITARY SEWER EASEMENT
 (10-24-05, 2005C-352)

EXISTING 20' PUBLIC
 WATERLINE EASEMENT
 (10-24-05, 2005C-352)

EXISTING 10' PUBLIC
 UTILITY EASEMENT
 (10-24-05, 2005C-352)

SNOW VISTA BOULEVARD SW
 (200 R/W)

EXISTING 10' PUBLIC
 UTILITY EASEMENT
 (10-24-2005,
 2005C-352)
 V=18DRB-70030

EXISTING 100'
 UTILITY EASEMENT
 (02-05-64, D3-90)

N83°59'27"E
 142.28'

N83°59'27"E
 135.00'

N83°59'27"E
 135.00'

EXISTING 20' PUBLIC WATERLINE EASEMENT
 AND PUBLIC PEDESTRIAN EASEMENT
 (10-24-05, 2005C-352)

EXISTING 7' PUBLIC UTILITY EASEMENT
 (10-31-2006, 2006C-337)
 V=18DRB-70030

EXISTING 10' PUBLIC UTILITY EASEMENT
 (10-31-2006, 2006C-337)
 V=18DRB-70030

EXISTING 10' PUBLIC UTILITY EASEMENT
 (10-31-2006, 2006C-337)
 V=18DRB-70030

EXISTING 20' PUBLIC SANITARY SEWER
 EASEMENT AND A PRIVATE DRAINAGE
 EASEMENT AND PEDESTRIAN EASEMENT
 (10-24-05, 2005C-352)

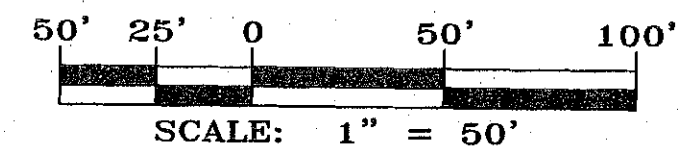
25' EXISTING PUBLIC SANITARY
 SEWER EASEMENT
 AND DRAINAGE EASEMENT
 (6/25/99, 99C-162)

(A) EXISTING 20' SANITARY SEWER
 AND DRAINAGE EASEMENT AND
 PEDESTRIAN EASEMENT
 (10-31-06, 2006C-337)
 V=18DRB-70030

SAGE RANCH COURT SW
 EXISTING 47'
 RIGHT-OF-WAY
 (29,136.77 sf.)
 V=18DRB-70032

WESTGATE HEIGHTS ADDITION
 UNIT NO. 2 BLOCK 63
 (06-16-72, D5-26)
 7' EXISTING PUBLIC UTILITY EASEMENT
 (06-16-72, D5-26)

S84°05'03"W



LEGEND

LIMITS OF EXISTING
 EASEMENT VACATED
 BY THIS PLAT.
 V=18DRB-70030

PROPERTY LINE
 ELIMINATED
 BY THIS PLAT.

LIMITS OF EXISTING
 RIGHT-OF-WAY
 VACATED BY THIS
 PLAT.
 V=18DRB-70032

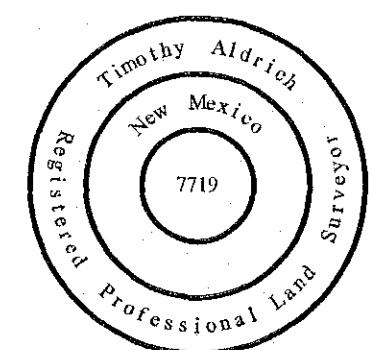
ACS MONUMENT
 AND BENCHMARK
 "11-M9"
 N=1474735.261
 E=1493878.618
 G-G=0.999682709
 Δα=-00°16'52.37"
 ELEVATION=5139.276
 CENTRAL ZONE
 (NAD83/NAVD88)

Curve Table

Curve #	Radius	Length	Delta	Chord Direction	Chord Length
C1	26.61'	14.78'	31°49'44"	N1°03'49"E	14.59'
C2	49.05'	1.10'	1°16'59"	N16°20'11"E	1.10'

Parcel Line Table

Line #	Direction	Length
L1	S6°00'33"E	6.00
L2	N6°01'49"W	6.00



**ALDRICH LAND
 SURVEYING**

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

PUBLIC UTILITY EASEMENTS (PUE) shown on this plat are granted for the common and joint use of:

Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.

New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.

West for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.

Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

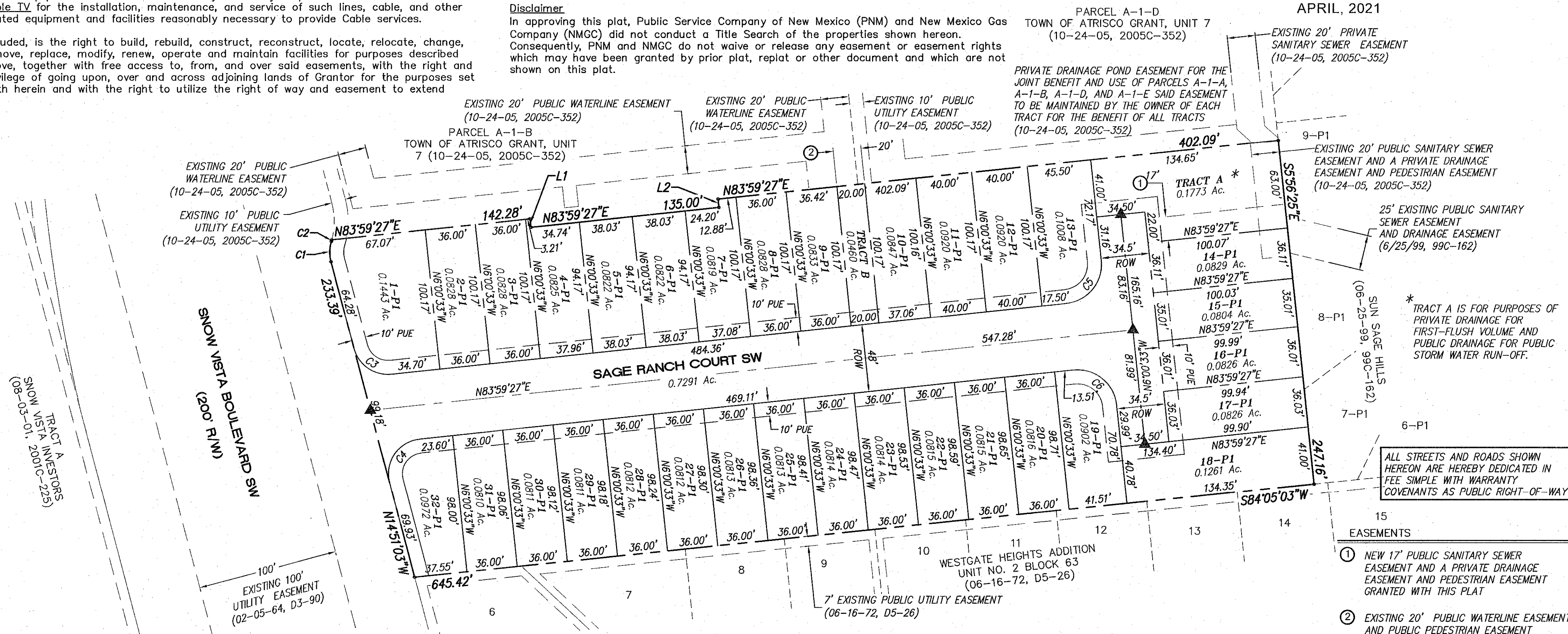
Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend

services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat. Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

Disclaimer

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

PRELIMINARY PLAT FOR
SAGE RANCH SUBDIVISION
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 33
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
APRIL, 2021



ALL STREETS AND ROADS SHOWN HEREON ARE HEREBY DEDICATED IN FEE SIMPLE WITH WARRANTY COVENANTS AS PUBLIC RIGHT-OF-WAY

DRAINAGE EASEMENT LANGUAGE FOR SUBDIVISION PLAT

Areas designated on the accompanying plat as "drainage easements" are hereby dedicated by the owner as a perpetual easement for the common use and benefit of the various lots within the subdivisions for the purpose of permitting the conveyance of storm water runoff and the constructing and maintaining of drainage facilities in accordance with standards prescribed by the City of Albuquerque. Grantor shall construct drainage facilities in the easement in accordance with standards prescribed by the City and plans and specifications approved by the City Engineer in accordance with the Drainage Report with engineer's stamp date 4/28/21 and the Grading and Drainage Plan with engineer's stamp date 4/28/21 which report and plans are on file in the office of the City Engineer File # MOADOZZA. No fence, wall, planting, building or other obstruction may be placed or maintained in easement area without approval of the City Engineer of the City of Albuquerque. There also shall be no alteration of the grades or contours in said easement area without the approval of the City Engineer. It shall be the duty of the lot owners of this subdivision to maintain said drainage easement and facilities at their cost in accordance with standards prescribed by the City of Albuquerque. The City shall have the right to enter periodically to inspect the facilities. In the event said lot owners fail to adequately and properly maintain drainage easement and facilities, at any time following fifteen (15) days written notice to said lot owners, the City may enter upon said area, perform said maintenance, and the cost of performing said maintenance shall be paid by applicable lot owners proportionately on the basis of lot ownership. In the event lot owners fail to pay the cost of maintenance within thirty (30) days after demand for payment made by the City, the City may file a lien against all lots in the subdivision for which proportionate payment has not been made. The obligations imposed herein shall be binding upon the owner, his heirs, and assigns and shall run with all lots within this subdivision.

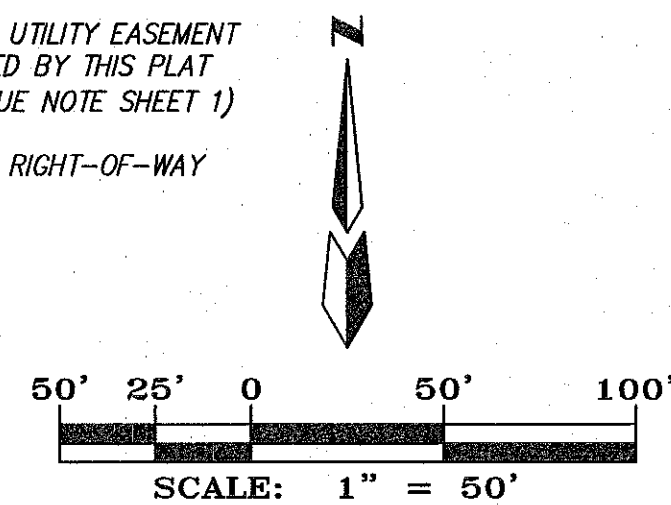
The Grantor agrees to defend, indemnify, and hold harmless, the City, its officials, agents and employees from and against any and all claims, actions, suits, or proceedings of any kind brought against said parties for or on account of any matter arising from the drainage facility provided for herein or the Grantor's failure to construct, maintain, or modify said drainage facility.

LEGEND

- 21-P1 LOT NUMBER
- LOT 10 EXISTING LOT NUMBER
- ▲ C.O.A. CENTERLINE MONUMENT
- REFERS TO END OF TANGENT OR CURVE ON RIGHT-OF-WAY BLOCK CORNERS (does not constitute any set corners)

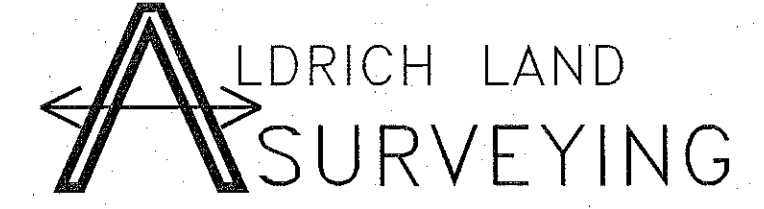
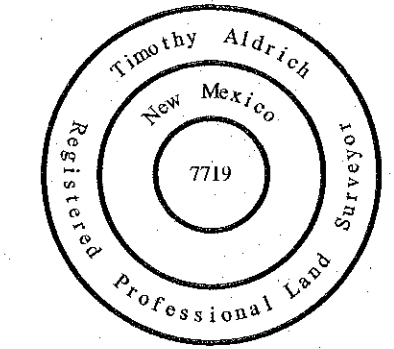
ABBREVIATIONS

- 10' PUE = PUBLIC UTILITY EASEMENT GRANTED BY THIS PLAT (SEE PUE NOTE SHEET 1)
- ROW = PUBLIC RIGHT-OF-WAY



Curve #	Radius	Length	Delta	Chord Direction	Chord Length
C1	26.61'	14.78'	31°49'44"	N1°03'49"E	14.59'
C2	49.05'	1.10'	1°16'59"	N16°20'11"E	1.10'
C3	25.00'	35.41'	81°09'30"	S55°25'48"E	32.52'
C4	25.00'	43.13'	98°50'30"	S34°34'12"W	37.98'
C5	28.00'	43.98'	90°00'00"	N38°59'27"E	39.60'
C6	28.00'	43.98'	90°00'00"	N51°00'33"W	39.60'

Line #	Direction	Length
L1	S6°00'33"E	6.00
L2	N6°01'49"W	6.00



P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

PRELIMINARY PLAT FOR
SAGE RANCH SUBDIVISION
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 33
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 APRIL, 2021

Drainage Basin Treatments

Various standards specify how drainage basins should be stabilized and allow for ongoing maintenance. **Item D in this list provides the basic instruction for you to follow.** A landscape sheet should ideally identify how the stabilization will occur.

A. Environmental Protection Agency

2017 Construction General Permit

2.2.14 Stabilize exposed portions of the site. Implement and maintain stabilization measures (e.g., seeding protected by erosion controls until vegetation is established, sodding, mulching, erosion control blankets, hydromulch, gravel) that minimize erosion from exposed portions of the site in accordance with Parts 2.2.14a and 2.2.14b.

B. City of Albuquerque Design Process Manual

Section 6-12(A)

5. Landscape stormwater management facilities. A stormwater management facility can be an attractive addition to the site, rather than just an unimproved dirt area. In addition, landscaping will minimize the potential for erosion and therefore minimize the amount of required maintenance.

Section 6-11(H)(5) Side Slope and Bottom Treatments

1. Vegetation will be accepted if seeded per the City of Albuquerque Standard Specifications for Public Works Construction (City Standard Specifications).
2. Aggregate or rip-rap may be used as an erosion control mulch for 3:1 and steeper slopes.
3. A geotechnical investigation and report may be required at the discretion of the City Engineer.

C. Integrated Development Ordinance

5-6(C)(13) Stormwater Management Features
 5-6(C)(13)(a) Required landscape and buffer areas shall be designed to serve as stormwater management areas to the maximum extent

practicable and consistent with their required locations and vegetation.
 5-6(C)(13)(b) Required landscape and buffer areas shall be designed pursuant to the DPM and the City Standard Specifications for Public Works Construction.
 5-6(C)(13)(c) In the R-ML, R-MH, Mixed-use, and NR-SU zone districts, and on lots containing multi-family dwellings or non-residential uses in the R-A, R-1, R-MC, and R-T zone districts, surface runoff including runoff from roofs and parking areas shall be directed into depressed water collection areas that are located in landscape areas and that meet all applicable standards in the DPM.

**D. City of Albuquerque Standard Specifications
 As applied to Drainage Ponds**

Please identify ponds on the landscaping plan. Please provide landscaping details for and provide details regarding final stabilization for the pond:

- a. The bottom and sides must be seeded with a native mix per City Standard specification 1012.2 depending on soil type for that City area. Please reference this native seed selection and the section on plan sheet.

1012.2.2 NATIVE GRASS AND WILDFLOWER MEADOWS

1012.2.2.1 Native grass and wildflower meadow seeding shall be installed to the extents shown on the plans. Seed mix for meadow plantings shall differ from those identified in 1012.2.1.4 as follows:

1012.2.2.2 Wildflower Seed: Fresh, clean, and dry new seed, of mixed species as follows:

a. Wildflower seed mix shall be developed based on soil type from seed mixes listed in Section 1012.2.1.4 and applied at a rate of 50# PLS/AC or as specified on the plans

1012.2.2.3 Native-Grass Seed: Fresh, clean, and dry new seed, of mixed species as follows:

a. Native-grass seed mix shall be 50% / 50% (by weight) combination of Bouteloua gracilis 'Hachita' - Blue Grama, and Buchloe dactyloides - Buffalo grass, applied at a rate of 100# PLS/AC, or as specified on the plans

1012.2.2.4 Wildflower and Native-Grass Seed: Fresh, clean, and dry new seed, of mixed species as follows:

a. Wildflower and native grass seed mix shall be an equal combination of 1012.2.2.2 and 1012.2.2.3 above applied at rates noted.

1012.2.2.5 Seed Carrier: Inert material, sharp clean sand, or perlite.

- b. For pond bottoms: Gravel ¼ to 1 inch is the preferred mulch to promote germination of seed unless the area is on an irrigation system. If the area is irrigated, then hydromulch may be used.

Please note on landscaping plan sheet the type of mulch that will be used.

For slopes:

1012.3.7.6 Aggregate Mulch

a. If slope is accessible by appropriate equipment, steep slopes can be mulched with aggregate mulch with written approval of the LANDSCAPE ARCHITECT or ENGINEER. Immediately following seeding operation, all seeded areas shall receive aggregate mulch as noted in the plans. The mulch shall be placed in a layer approximately one stone deep over seeded areas. Seeding and mulch shall be completed simultaneously in strips from the top of the slope to the bottom so that seeded areas are not damaged by equipment use over seeded areas.

- c. Native grass establishment must be achieved by the contractor within a 3 year time frame. Temporary irrigation or water trucks must be used when rain is lacking. Seeds must germinate in one year or reseeding will likely be needed. Please note on the landscaping plan sheet that maintenance will be per City of Albuquerque Specification 1012.3.9.1 and 1012.3.9.2.

1012.3.9 MEADOW MAINTENANCE

1012.3.9.1 Maintain and establish areas designated as meadows by watering, weeding, mowing, trimming, replanting, and performing other operations as required to establish a healthy, viable meadow. Roll, re-grade, and replant bare or eroded areas and re-mulch. Provide materials and installation the same as those used in the original installation.

a. Fill in as necessary soil subsidence that may occur because of settling or other processes. Replace materials and meadow damaged or lost in areas of subsidence.

b. In areas where erosion control/germination materials have been disturbed by wind or maintenance operations, add new mats and anchor as required to prevent displacement.

1012.3.9.2 Watering:

a. Schedule watering to provide germination and establishment, prevent wilting, puddling, erosion, and displacement of seed or erosion control/germination materials.

- d. Contractor must weed the basin during/after the first growing season.

1012.3.10.2 CONTRACTOR shall control germination of weed species that are not included as part of the seed mix. Weed control may be mechanical or hand removal methods as determined by the CONTRACTOR with approval by the LANDSCAPE ARCHITECT or ENGINEER. Weed control shall be implemented as necessary at no cost to the OWNER until final acceptance of the Project.

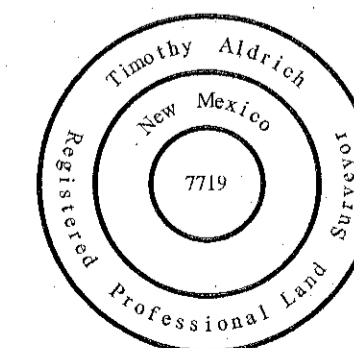
- e. Needs city inspection. Stormwater Quality Ordinance-final stabilization must be accepted by the City.

1012.3.11 WARRANTY

1012.3.11.1 If at the end of one complete growing season, it has been determined by the LANDSCAPE ARCHITECT or ENGINEER that insufficient germination has occurred in meadow areas the CONTRACTOR shall reseed such areas with no additional cost to the OWNER.

f. A corner area of the pond can be seriscape. It would likely be tied to permanent irrigation.

- g. Trees on the perimeter of the pond are encouraged. (See DPM 6-12A)



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