



<b>Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.</b>		
<b>Administrative Decisions</b>	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<b>Policy Decisions</b>
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> WTF Approval (Form W1)	<input checked="" type="checkbox"/> Site Plan – DRB (Form P2)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Subdivision of Land – Minor (Form S2)	<input type="checkbox"/> Annexation of Land (Form Z)
<b>Decisions Requiring a Public Meeting or Hearing</b>	<input type="checkbox"/> Subdivision of Land – Major (Form S1)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> Conditional Use Approval (Form ZHE)	<input type="checkbox"/> Vacation of Easement or Right-of-way (Form V)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Variance – DRB (Form V)	<b>Appeals</b>
<input type="checkbox"/> Expansion of Nonconforming Use or Structure (Form ZHE)	<input type="checkbox"/> Variance – ZHE (Form ZHE)	<input type="checkbox"/> Decision by EPC, LC, DRB, ZHE, or City Staff (Form A)
<b>APPLICATION INFORMATION</b>		
Applicant: Gallatin Development LLC & Clifford ABQ C/O Burke & Associates LLC		Phone:
Address: 3336 E 32ND ST Suite 217		Email:
City: Tulsa	State: OK	Zip: 74135-4442
Professional/Agent (if any): Tierra West, LLC		Phone: 505-858-3100
Address: 5571 Midway Park Place NE		Email: rrb@tierrawestllc.com
City: Albuquerque	State: NM	Zip: 87109
Proprietary Interest in Site: Owner		List <u>all</u> owners:
<b>BRIEF DESCRIPTION OF REQUEST</b>		
DRB- Site Development Plan Approval		
<b>SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)</b>		
Lot or Tract No.: TR C Bulk Land Plat of Tracts A Thru D	Block:	Unit:
Subdivision/Addition: Meridian Business Park II	MRGCD Map No.:	UPC Code: 101005814817330103
Zone Atlas Page(s): J-10-Z	Existing Zoning: NR-BP	Proposed Zoning: NR-BP
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (acres): 22.4273
<b>LOCATION OF PROPERTY BY STREETS</b>		
Site Address/Street: Gallatin PL NW	Between: Los Volcanes Rd NW	and: Fortuna Rd NW
<b>CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)</b>		
DRB-99-217, Z-84-47, 1000845		
Signature:	Date: 2-6-19	
Printed Name: VINCENT CARRICA	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent	
<b>FOR OFFICIAL USE ONLY</b>		
Case Numbers	Action	Fees
-		
-		
-		
Meeting/Hearing Date:		Fee Total:
Staff Signature:	Date:	Project #

**FORM P2: SITE PLAN – DRB**

**Please refer to the DRB public meeting schedules for hearing dates and deadlines. Your attendance is required.**

**A single PDF file of the complete application including all plans and documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.**

**INFORMATION REQUIRED FOR ALL SITE PLAN – DRB APPLICATIONS**

- N/A Interpreter Needed for Hearing? \_\_\_\_\_ if yes, indicate language: \_\_\_\_\_
- Site Plan and related drawings (10 copies, 24" x 36" folded to fit into an 8.5" x 14" pocket)
- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

**SITE PLAN – DRB**

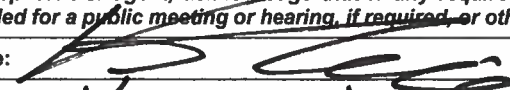

**MAJOR AMENDMENT TO SITE PLAN – DRB**

**EXTENSION OF SITE PLAN – DRB Does not require Public Hearing**

- Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B)
- Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)
- Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) (not required for Extension)
- Site Plan and related drawings reduced to 8.5" x 11" format (1 copy)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(G)(3)
- N/A Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(O)  
*Note: If requesting more than allowed by deviation, a Variance – ZHE or Variance – DRB will be required, as applicable.*
- Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information (not required for Extension)
- Required notices with content per IDO Section 14-16-6-4(K)(6)
  - Office of Neighborhood Coordination inquiry response, notifying letter, and proof of first class mailing
  - Proof of emailed notice to applicable Neighborhood Association representatives
  - Buffer map and list of property owners within 100 feet (excluding public rights-of-way), notifying letter, and proof of first class mailing
- Sign Posting Agreement
- Signed Traffic Impact Study (TIS) Form
- Completed Site Plan Checklist

**FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC**

- \_\_\_ Solid Waste Department signature on Site Plan
- \_\_\_ Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- \_\_\_ Approved Grading and Drainage Plan
- \_\_\_ Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (not required for Master Development Plans)
- \_\_\_ Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- \_\_\_ Infrastructure List, if required

<i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i>	
Signature: 	Date: <b>2-6-19</b>
Printed Name: <b>VINCENT CARRIA</b>	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Project Number: _____	Case Numbers: _____
_____	_____
_____	_____
Staff Signature: _____	
Date: _____	

*TW*

# TIERRA WEST, LLC

February 6, 2019

MS. Kym Dicome, Chairwoman  
Development Review Board  
P.O. Box 1293  
Albuquerque, NM 87103

**RE: DEVELOPMENT REVIEW BOARD (DRB)  
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT  
7601 LOS VOLCANES RD NW ALBUQUERQUE NM 87121  
ZONE ATLAS PAGE # J-10-Z**

Dear Ms. Dicome:

Tierra West LLC, on behalf of Gallatin Development LLC & Clifford ABQ C/O Burke & Associates LLC, requests approval of the Site Development Plan for Building Permit. The site is adjacent to and immediately east of Gallatin Rd and is currently developed. The exiting tenant, FedEx Freight, has plans to move to a new site across the interstate. The owners of the property are planning to modify the existing site to include a larger warehouse component along with the existing support facilities per the attached proposed site plan. The overall plan is to expand the existing warehouse footprint, while keeping the parking fields, support buildings, drainage structures /pond, landscaping and other facilities in place. The exception to this is the adjustment of the pavement areas immediately adjacent to the expanded warehouse, which is required to tie the proposed grades back into existing pavement surfaces, and the addition of two new driveways into the site.

The Site Plan complies with applicable provisions of the Integrated Development Ordinance (IDO), the DPM and other applicable City regulations and is in substantial compliance with prior approvals affecting the property. The actual impacts on the surrounding area due to the proposed increase in the warehouse size will decrease due to the less intense use of the proposed facilities as compared to the existing FedEx Freight operation. The City's existing infrastructure will therefore be adequate to serve the proposed development.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

cc: Angelo Brunacini, Owner

JN: 2018074  
RRB/vc/jg

5571 Midway Park Pl. NE  
(505) 858-3100  
Albuquerque, NM 87109  
fax (505) 858-1118  
1-800-245-3102  
tierrawestllc.com

December 19, 2018

Ms. Kym Dicome  
Development Review Board  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

**RE: REQUEST FOR DRB SITE PLAN FOR BUILDING PERMIT  
AND SITE PLAN FOR SUBDIVISION  
7601 LOS VOLCANES RD NW ALBUQUERQUE NM 87121  
ZONE ATLAS PAGE**

Dear Ms. Dicome:

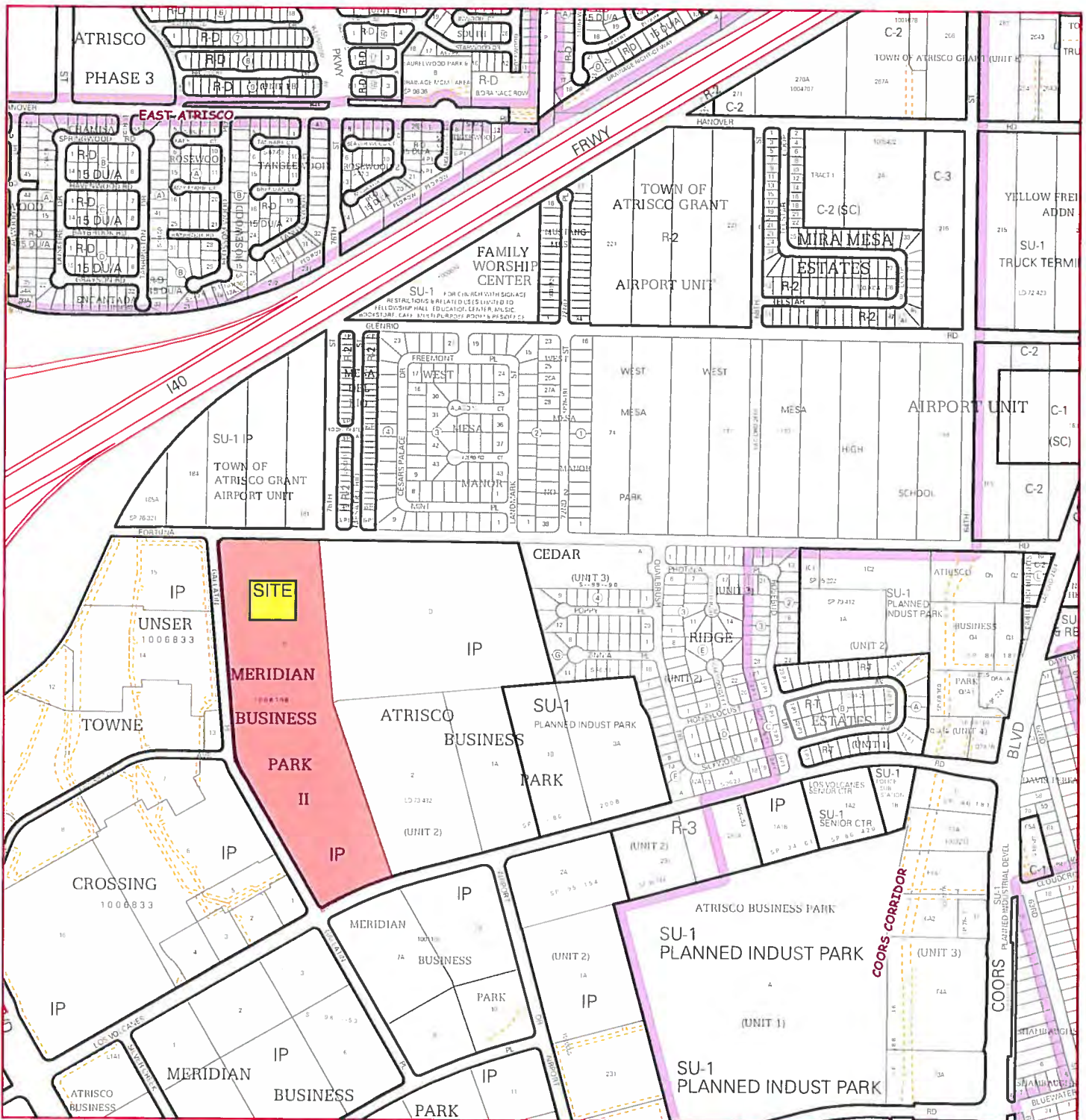
The purpose of this letter is to authorize Tierra West LLC to act as agent on behalf of Gallatin Development LLC & Clifford ABQ C/O Burke & Associates LLC, pertaining to any and all submittals made to the City of Albuquerque for the above-referenced site.

ANGELO BRUNACINI  
Print Name

  
Signature

Member  
Title

12/19/18  
Date



For more current information and more details visit: <http://www.cabq.gov/gis>

Map amended through: 2/4/2010

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**J-10-Z**

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

**PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES**

PA# 18-199 Date: 07-10-2018 Time: 1:30

Address: 7601 Los Volcanes NW

**AGENCY REPRESENTATIVES AT MEETING:**

Planning: Cheryl

Code Enforcement: \_\_\_\_\_

Fire Marshall: \_\_\_\_\_

Transportation: \_\_\_\_\_

Other: \_\_\_\_\_

**PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY!**

**THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL..**

*Additional research may be necessary to determine the exact type of application and/or process needed. Factors unknown at this time and/or thought of as minor could become significant as the case progresses.*

**REQUEST:** 14,800 sf of new industrial; 56,500 sf of new office warehouse;  
113,300 sf of new warehouse.

**SITE INFORMATION:**

Zone: NR-BP

Size: 21 acres

Use: \_\_\_\_\_

Overlay Zone: \_\_\_\_\_

Comp Plan Area Of: Change

Comp Plan Corridor: \_\_\_\_\_

Comp Plan Center: \_\_\_\_\_

MPOS or Sensitive Lands: \_\_\_\_\_

Parking: \_\_\_\_\_

MR Area: \_\_\_\_\_

Landscaping: \_\_\_\_\_

Street Trees: \_\_\_\_\_

Use Specific Standards: \_\_\_\_\_

Dimensional Standards: \_\_\_\_\_

\*Neighborhood Organization/s: \_\_\_\_\_

*\*This is preliminary information only. Neighborhood Organization information is only accurate when obtained from the Office of Neighborhood Coordination (ONC) at [www.cabq.gov/neighborhoods/resources](http://www.cabq.gov/neighborhoods/resources).*

**PROCESS:**

Type of Action: \_\_\_\_\_

Review and Approval Body: \_\_\_\_\_

Is this PRT a requirement? \_\_\_\_\_

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 18-199 Date: 07-10-2018 Time: 1:30  
Address: 7601 Los Volcanes

NOTES:

DRB Site Plan since adding more than 10%

Adding Warehouse, adding office bays  
Taking away shipping bays

Atvisco Business Park

Existing street view

Building height ok p 42 <sup>100</sup> 2-5-b NR-BP per standards

JW

# TIERRA WEST, LLC

February 7, 2019

Ms. Kym Dicome  
Development Review Board  
P.O. Box 1293  
Albuquerque, NM 87103

RE: **DEVELOPMENT REVIEW BOARD (DRB)  
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT  
7601 LOS VOLCANES RD NW ALBUQUERQUE NM 87121  
ZONE ATLAS PAGE# J-10-Z**

Dear Ms. Dicome:

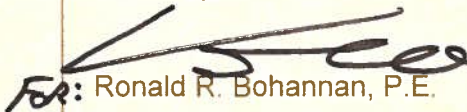
This letter is to inform you that on November 28, 2018 a required public notice was sent by certified mail to the following Neighborhood Associations per the City of Albuquerque's Integrated Development Ordinance (IDO):

- Los Volcanes Neighborhood Association

The neighborhood associations were notified of a pending request to the City for a request for Site Plan for Subdivision and a Site Plan for Building Permit to DRB. Per IDO section 14-16-6 6-4(K)(2)(e) the applicant shall be required to provide public notice 15 consecutive days before a monthly public meeting or hearing. Our good faith attempt to provide the information to the neighborhood associations was completed and within the requested timeframe. As of present day we have NOT received a response from any of the above listed Neighborhood Associations. Attached, please find evidence of the stamped certified mail receipt for your records and submission of the Site Plan for Building Permit to DRB.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

  
RR: Ronald R. Bohannon, P.E.

cc: Angelo Brunacini

Enclosure/s:

JN: 2018074  
RRB/vc/jg

5571 Midway Park Pl. NE  
Albuquerque, NM 87109  
(505) 858-3100 fax (505) 858-1118 1-800-245-3102  
tierrawestllc.com





**City of Albuquerque**  
P.O. Box 1293 Albuquerque, NM 87103  
**Planning Department**  
David S. Campbell, Director

**Tim Keller, Mayor**  
**Sarita Nair, CAO**

**DATE:** December 28, 2018

**SUBJECT:** Albuquerque Archaeological Ordinance - Compliance Documentation

**Case Number(s):** Z-97-114, Z-98-51, S-99-94, DRB-98-165  
**Agent:** Tierra West  
**Applicant:** Gallatin Development LLC & Clifford ABQ C/O Burke and Associates LLC  
**Legal Description:** TR C Bulk Land Plat of Tracts A through D  
**Zoning:** NR-BP  
**Acreage:** 22.4 acres  
**Zone Atlas Page(s):** J-10

**CERTIFICATE OF NO EFFECT:**  Yes  No

**CERTIFICATE OF APPROVAL:**  Yes  No

**SUPPORTING DOCUMENTATION:**

Examination of historic, recent, and contemporary aerial photography through AGIS and Google Earth

**SITE VISIT:** N/A

**RECOMMENDATIONS:**

CERTIFICATE OF NO EFFECT ISSUED - ref O-07-72 Section 4B(2): property has been disturbed through previous land use/development

**SUBMITTED BY:**

Ethan Kalosky, MA  
Cultural Resource Specialist  
Acting City Archaeologist  
Parametrix

December 28, 2018

Date

**SUBMITTED TO:**

Russell Brito, Planning Manager  
City of Albuquerque Planning Department



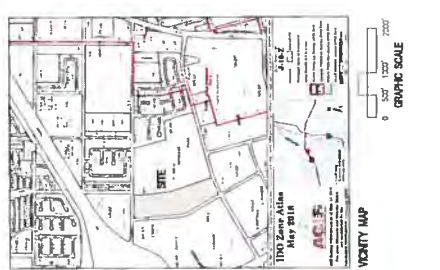
PROJECION  
 APPLICATION NO. [REDACTED]  
 THE PLAN IS SUBMITTED WITH THE STRONG SITE DEVELOPMENT PLAN APPROVED BY THE CITY OF LOS VOLCANES AND THE CONSTRUCTION PERMITS IN THE OFFICE OF THE CITY ENGINEER AND THE PUBLIC WORKS DEPARTMENT.

DATE: 11/17/2019

PROJECT INFORMATION

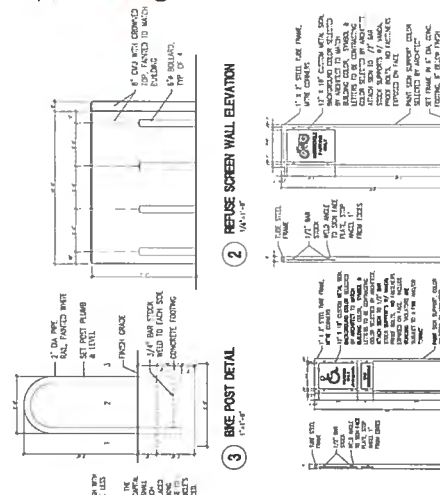
PROJECT: NEW OFFICE/AMBIENCE  
 LOCATION: 7601 LOS VOLCANES, NEW MEXICO  
 OWNER: THE PROPERTY DEVELOPER  
 ARCHITECT: BRUCCINI ARCHITECTS  
 LEGAL DESCRIPTION: TRACT 6, MEDIAN BUSINESS DISTRICT  
 NET SITE AREA: 13,211 SQ FT  
 BUILDING AREA: 14,371 SQ FT

FAR: 1.25 = 125 SPACES  
 REQUIRED: 16,514 SQ FT  
 PROVIDED: 14,371 SQ FT



GENERAL NOTES

- ALL SITE WORK SHALL BE CONDUCTED WITH PERMITS 14-16-19.
- ALL UTILITIES SHALL BE FULLY REVEALED AND PROTECTED PRIOR TO CONSTRUCTION. THE CITY ENGINEER SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- LOCAL SAFETY REQUIREMENTS SHALL BE OBTAINED FROM THE CITY ENGINEER'S OFFICE.
- ALL LIGHT FIXTURES SHALL BE FULLY SHIELDED AND APPROVED BY THE CITY ENGINEER'S OFFICE.
- ROOF TOP AND GROUND MOUNTED EQUIPMENT SHALL BE SCREENED AND BEHIND A WALL WITH A MINIMUM HEIGHT OF 10 FEET.
- STREET LIGHTING SHALL BE PROVIDED AT ALL CORNERS AND ALONG THE SIDEWALKS.
- STREET LIGHTING SHALL BE PROVIDED AT ALL CORNERS AND ALONG THE SIDEWALKS.
- STREET LIGHTING SHALL BE PROVIDED AT ALL CORNERS AND ALONG THE SIDEWALKS.



PERMITS

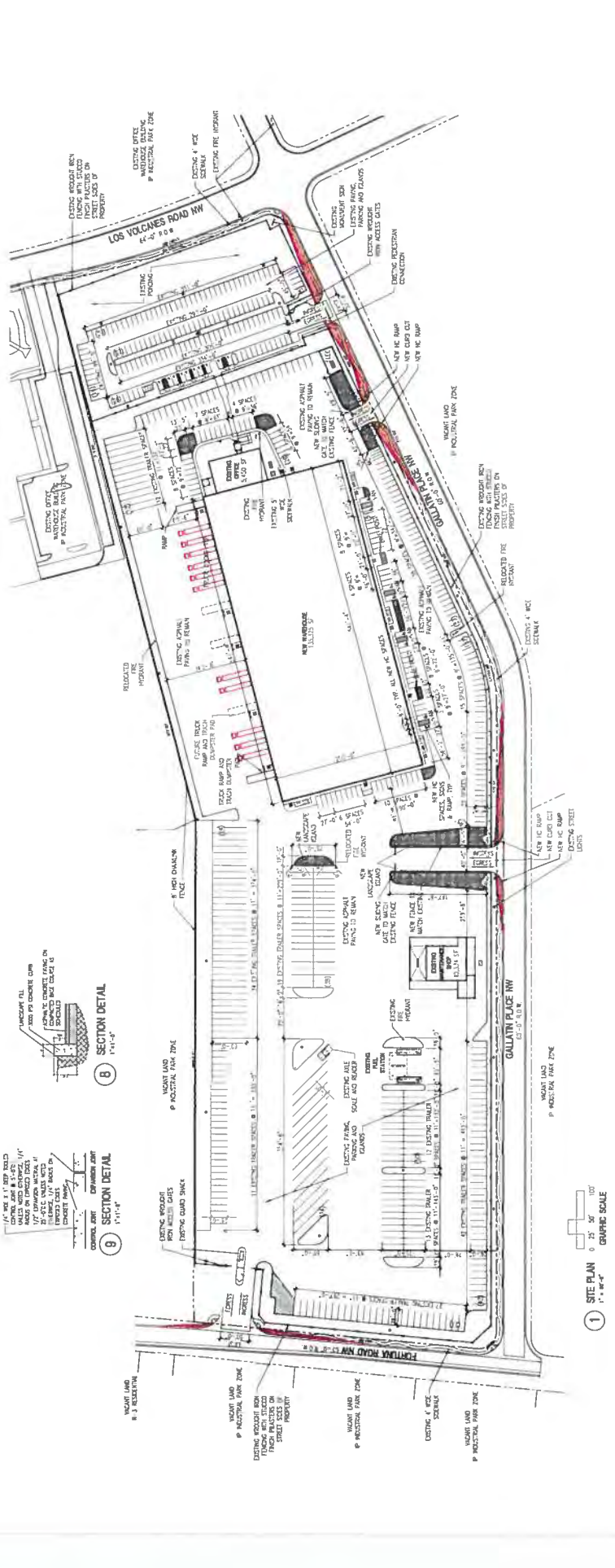
DATE: JANUARY 17, 2019

PROJECT: 7601 LOS VOLCANES ROAD NW FOR BUILDING PERMIT

ARCHITECT: BRUCCINI ARCHITECTS

PROFESSIONAL SEAL: [REDACTED]

SITE DEVELOPMENT PLAN  
 FOR BUILDING PERMIT  
 7601 LOS VOLCANES ROAD NW  
 ALBUQUERQUE, NEW MEXICO

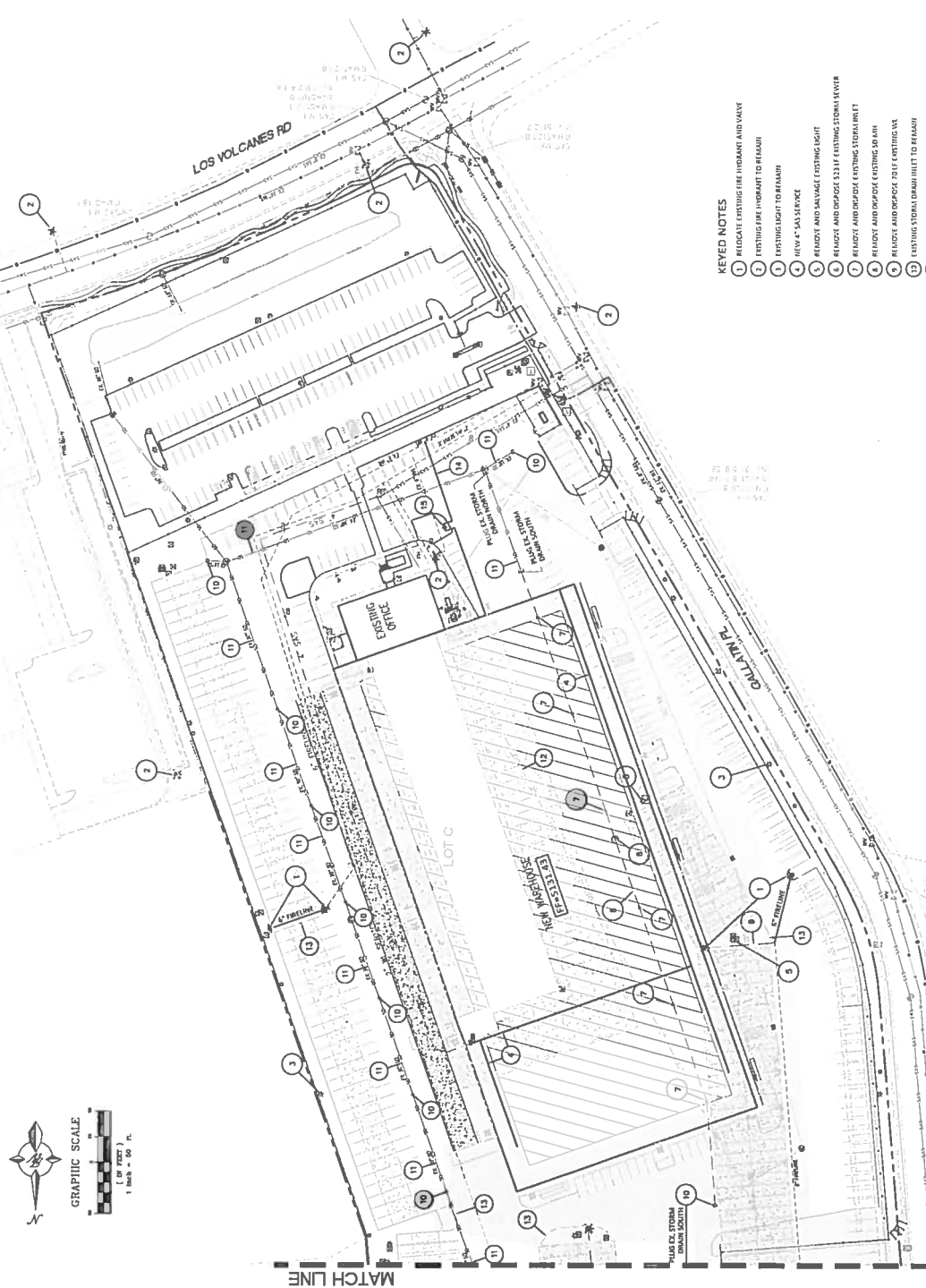


**LEGEND**

- CURB & GUTTER
- BOUNDARY LINE
- FACILITY
- BUILDING
- CONCRETE
- UNITS OF CURB CONSTRUCTION
- EXISTING CURB & GUTTER
- EXISTING STORM SEWER LINE (TO REMAIN)
- EXISTING STORM SEWER LINE (TO BE REMOVED)
- EXISTING SANITARY SEWER LINE (TO REMAIN)
- EXISTING SANITARY SEWER LINE (TO BE REMOVED)
- EXISTING WATER MAIN (TO REMAIN)
- EXISTING WATER MAIN (TO BE REMOVED)
- EXISTING ELECTRICAL LINE
- EXISTING SIGNAL CLEAR OUT
- DOUBLE CEMENT
- EXISTING SD MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING SAN MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING POWER POLE
- EXISTING LIGHT STANDARD (TO REMAIN)
- EXISTING LIGHT STANDARDS (TO BE REMOVED)
- PROPOSED FIRE HYDRANT

**GENERAL UTILITY NOTES:**

1. ALL WATER AND SANITARY WORK TO BE DONE IN ACCORDANCE WITH LOCAL ORDINANCES AND SPECIFICATIONS TO THE LATEST EDITION.
2. ALL NEUTRAL BARRIERS FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
4. CLEARANCES ARE TO BE MAINTAINED THROUGHOUT CONSTRUCTION.
5. ALL PAVING THE MATERIAL TO BE USED PER U.P.C.
6. FIRE LINE AND DOMESTIC WATER LINE MUST HAVE BACKFLOW PREVENTORS NOT TO BE REMOVED UNLESS OTHERWISE NOTED.
7. ALL E.C. PIPES AND MANHOLE SHALL HAVE CONCRETE COLLARS POURED AND ADJUSTED TO FRESH GRADE.
8. ALL TIE-IN, TIE-INS AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1916.50 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
10. FINISHING INDUSTRY ELECTRICAL FACILITIES AT THIS SITE QUANTITY SERVING EXISTING BUILDINGS, THE APPLICANT SHALL COORDINATE WITH THE ELECTRICAL CONTRACTOR TO DETERMINE THE LOCATION OF EXISTING ELECTRICAL UTILITIES SHALL BE THE DEVELOPER'S RESPONSIBILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING FACILITIES MAY NOT BE SUITABLE FOR PHYSICAL USE OR SAFETY CLEARANCE CONSTRAINTS.
11. FINISHING REVIEW ALL TECHNICAL RECORDS, ISSUES AND SAFETY CLEARANCES FROM THE DEVELOPER. FINISHING SHALL BE INDICATED ON THE UTILITY SHEET. UTILITY FACILITIES SHALL BE INDICATED ON THE UTILITY SHEET. ADEQUATE SAFETY CLEARANCES.
12. SCHEDULING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF THE FACILITIES, MAINTENANCE AND REPAIR PURPOSES.
13. ALL BUILDINGS CONSTRUCTION TYPE IS II-B.



**KEYED NOTES**

- 1) RELOCATE EXISTING FIRE HYDRANT AND VALVE
- 2) EXISTING FIRE HYDRANT TO REMAIN
- 3) EXISTING LIGHT TO REMAIN
- 4) NEW 4" GAS SERVICE
- 5) REMOVE AND SALVAGE EXISTING LIGHT
- 6) REMOVE AND DISPOSE 531' OF EXISTING STORM SEWER
- 7) REMOVE AND DISPOSE EXISTING STORM FIT
- 8) REMOVE AND DISPOSE EXISTING SD MH
- 9) REMOVE AND DISPOSE EXISTING VE
- 10) EXISTING STORM DRAIN INLET TO REMAIN
- 11) EXISTING STORM DRAIN TO REMAIN
- 12) EXISTING ELECTRICAL CONDUITS TO BE REPROCESSED
- 13) REMOVE & DISPOSE EXISTING CURB
- 14) NEW 6" FIRELINE (SEE FIRE PROTECTION PLAN FOR LOCATION)
- 15) NEW POST INDICATOR VALVE

**CAUTION:**

ALL EXISTING UTILITIES SHOULD BE OBTAINED FROM RESEARCH AS PARTS. SUPPLY THE INFORMATION PROVIDED BY OTHERS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING EXISTING FACILITIES MAY NOT BE SUITABLE FOR PHYSICAL USE OR SAFETY CLEARANCE CONSTRAINTS. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

OWNER'S SEAL	7601 LOS VOLCANES RD NW ALBUQUERQUE, NM 87121		DATE	1-25-19
	MASTER UTILITY		DRAWING	201607-40
DESIGNER'S SEAL	TIERRA WEST, LLC ALBUQUERQUE, NEW MEXICO 87109 (505) 835-3100 www.tierrawest.com		SHEET /	MU-1
	RALPH S. ROHWAN P.C. 2789		JOB /	2018074

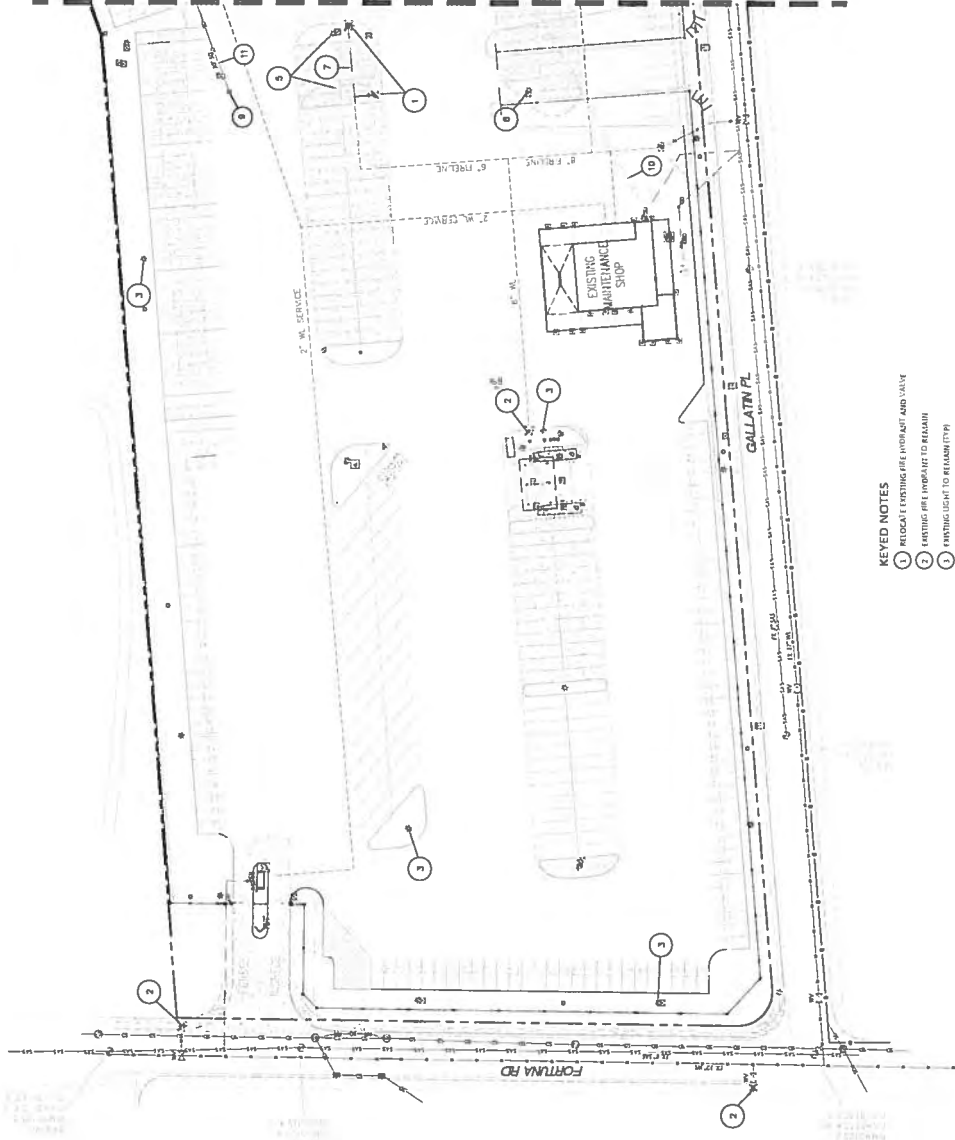
MATCH LINE

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- PAVEMENT
- ASBESTOS
- CONCRETE
- - - EXISTING STORM SEWER LINE (10" x 14" DIA)
- - - EXISTING STORM SEWER LINE (10" x 14" DIA) TO BE REMOVED
- - - EXISTING STORM SEWER LINE (10" x 14" DIA) TO BE RELOCATED
- - - EXISTING SANITARY SEWER LINE
- - - EXISTING WATER MAIN (10" x 14" DIA)
- - - EXISTING VALVE LINE (10" x 14" DIA)
- - - EXISTING ELECTRIC LINE
- - - EXISTING SINGLE CLEANOUT
- - - EXISTING DOUBLE CLEANOUT
- - - EXISTING 30" MANHOLE
- - - EXISTING MANHOLE
- - - EXISTING GAS MANHOLE
- - - EXISTING FINE FIBER OPTIC
- - - EXISTING WATER MAIN
- - - EXISTING POWER POLE
- - - EXISTING LIGHT STANDARDS (TO REMAIN)
- - - EXISTING LIGHT STANDARDS (TO BE REMOVED)
- - - PROPOSED FIRE HYDRANT

GENERAL UTILITY NOTES:

1. ALL WATER AND GASES UTILITY WORK IS TO BE DONE IN ACCORDANCE WITH CDA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. ALL DIMENSIONS SHOWN ARE TO FACE UNLESS OTHERWISE NOTED.
3. REFER TO ARCHITECTURAL PLANS FOR WATER USE AREAS LOCATIONS.
4. CLEAN OUTS ARE TO BE BUILT PER UNDERGROUND PLUMBING CODE STANDARDS.
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND ROOMS THE WATER LINE MUST HAVE BACKFLOW PREVENTERS. ALL BACKFLOW PREVENTERS MUST BE INSTALLED UPSTREAM OF EACH FIRE LINE AND ROOMS THE WATER LINE.
7. ALL GAS SERVICE AND MAIN SHALL HAVE CONCRETE COLLARS POURED AND BE ADAPTED TO FRESH GASKET.
8. ALL CRAWLSPACE, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926 SUBPART P.
9. ALL UTILITY OPENINGS SHOWN ARE FOR REFERENCE ONLY.
10. PER HAS NUMBERED ELECTRICAL FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH THE UTILITY PROVIDER TO DETERMINE THE LOCATION OF EXISTING ELECTRICAL UTILITIES WITHIN THE EXISTING FACILITY. ALL UTILITIES SHALL BE LOCATED OUT TO PHYSICAL USE ON SAFETY CLEARANCE CONSTRAINTS.
11. PER HAS REVIEW ALL TECHNICAL NOTES, ISSUES AND SAFETY CLEARANCE CONSTRAINTS. THE APPLICANT SHALL BE RESPONSIBLE FOR THE SAFETY CLEARANCE CONSTRAINTS AND THE SAFETY CLEARANCE CONSTRAINTS SHALL BE SHOWN ON THE SITE PLAN AND UTILITIES PLAN. ALL UTILITIES SHALL BE LOCATED ON THE SITE PLAN AND UTILITIES PLAN IN ACCORDANCE WITH THE SAFETY CLEARANCE CONSTRAINTS AND THE SAFETY CLEARANCE CONSTRAINTS SHALL BE SHOWN ON THE SITE PLAN AND UTILITIES PLAN.
12. SCHEDULING SHALL BE DISCUSSED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF THE FACILITY FOR MAINTENANCE AND REPAIR PURPOSES.
13. ALL REVISIONS, CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CDA STANDARDS AND SPECIFICATIONS LATEST EDITION.



KEYED NOTES

- 1 RELOCATE EXISTING FIRE HYDRANT AND VALVE
- 2 EXISTING FIRE HYDRANT TO REMAIN
- 3 EXISTING LIGHT TO REMAIN (TYPE)
- 4 NEW 4" GAS SERVICE
- 5 REMOVE AND SALVAGE EXISTING LIGHT
- 6 REMOVE AND SALVAGE EXISTING LIGHT
- 7 RELOCATE AND EXPOSE 42" EXISTING GAS
- 8 EXISTING STORM SEWER TO BE REMOVED
- 9 EXISTING STORM SEWER HYDRANT TO REMAIN
- 10 EXISTING ELECTRICAL COMPONENTS TO BE REMOVED. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.

**CAUTION:**  
 THIS PLAN IS A SUMMARY OF THE INFORMATION PROVIDED BY THE APPLICANT AND THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



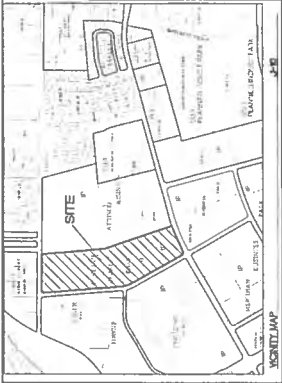
GRAPHIC SCALE



ENGINEER'S SEAL	7601 LOS VOLCANES RD NW ALBUQUERQUE, NM 87121	DRAWN BY D.M.
	MASTER UTILITY	DATE 1-25-19
		DRAWING 2018074-MU
		SHEET 1
		MU-2
		2018074
		2018074

TERESA VEZTE, LLC  
 3571 MORNING PARK PL, NE  
 ALBUQUERQUE, NM 87110  
 (505) 825-3100  
 www.teresa-vezte.com

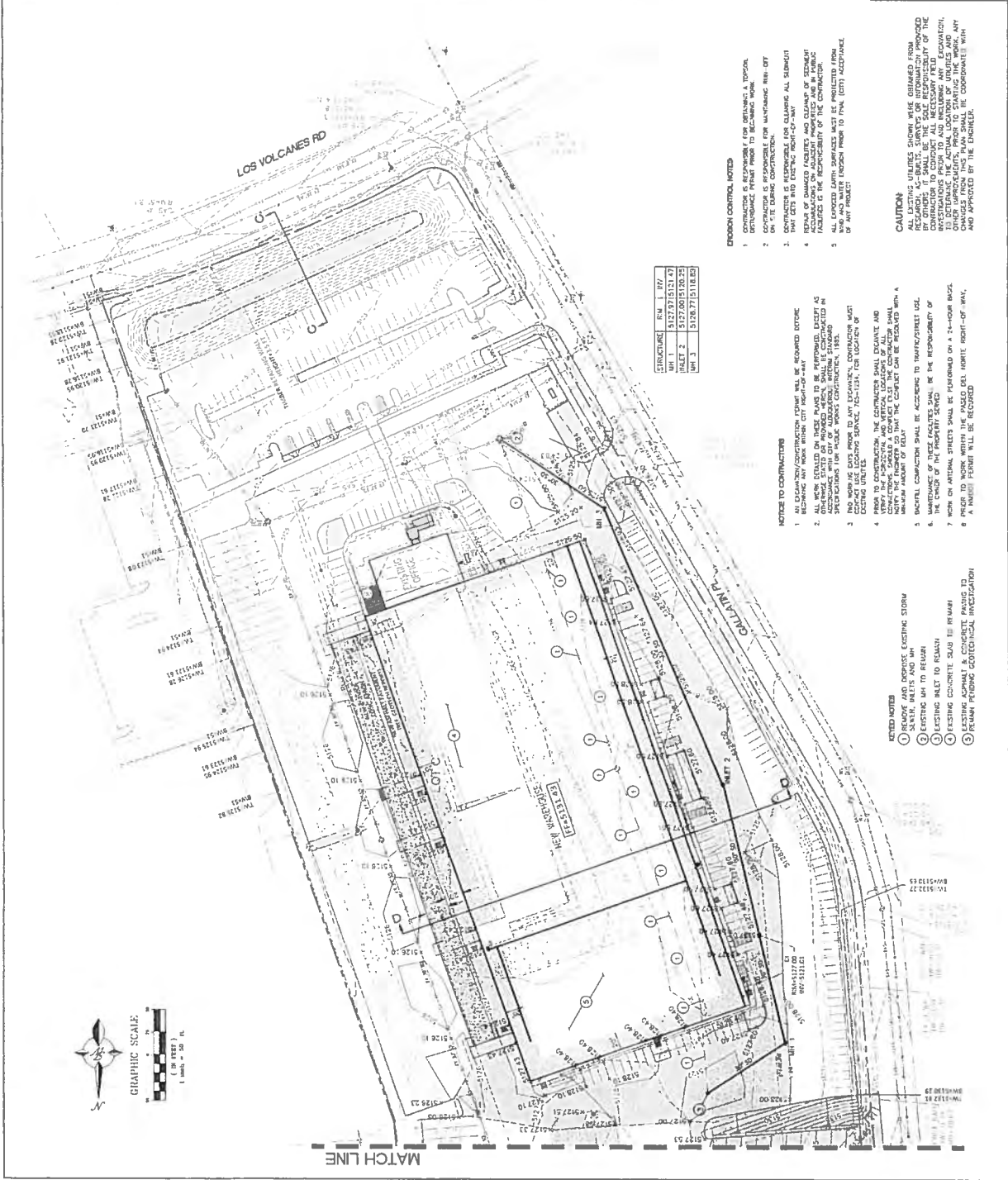
RONALD B. BOHANNAN  
 P.E. 7188



3500000000

- LEGEND**
- CURB & GUTTER
  - BOUNDARY LINE
  - EXISTING
  - BUILDING
  - CONCRETE
  - LIMITS OF PAVEMENT CONSTRUCTION
  - EXISTING CURB & GUTTER
  - EXISTING STORM SEWER LINE (TO REMAIN)
  - EXISTING WATER MAIN (TO REMAIN)
  - EXISTING SANITARY SEWER LINE
  - EXISTING WATERLINE (TO BE REMOVED)
  - EXISTING ELECTRICAL LINE
  - EXISTING SINGLE CLEAN OUT
  - EXISTING 30" MANHOLE
  - EXISTING INLET
  - EXISTING 505 MANHOLE
  - EXISTING FIRE HYDRANT
  - EXISTING WATER METER
  - EXISTING POWER POLE
  - EXISTING LIGHT STANDARD (TO REMAIN)
  - EXISTING LIGHT STANDARD (TO BE REMOVED)
  - PROPOSED FIRE HYDRANT

DESIGNED BY  
DATE  
2018.07.18  
DRAWN BY  
DATE  
2018.07.18  
SHEET /  
CR-1  
7601 LOS VOLCANES RD NW  
ALBUQUERQUE, NM 87211  
GRADING AND DRAINAGE  
PLAN  
TESTATA WEST LLC  
5571 HADWAY PLACE, N.E.  
ALBUQUERQUE, NM 87109  
www.testatawest.com  
RONALD P. ROHMANN  
P.L.L.C.



- DRAGON CONTROL NOTES**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPICAL CONSTRUCTION PERMIT FROM SHERIFF'S OFFICE.
  - CONTRACTOR IS RESPONSIBLE FOR OBTAINING A PERMIT FROM THE CITY OF ALBUQUERQUE.
  - CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF ALBUQUERQUE.
  - CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF ALBUQUERQUE.
  - CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF ALBUQUERQUE.

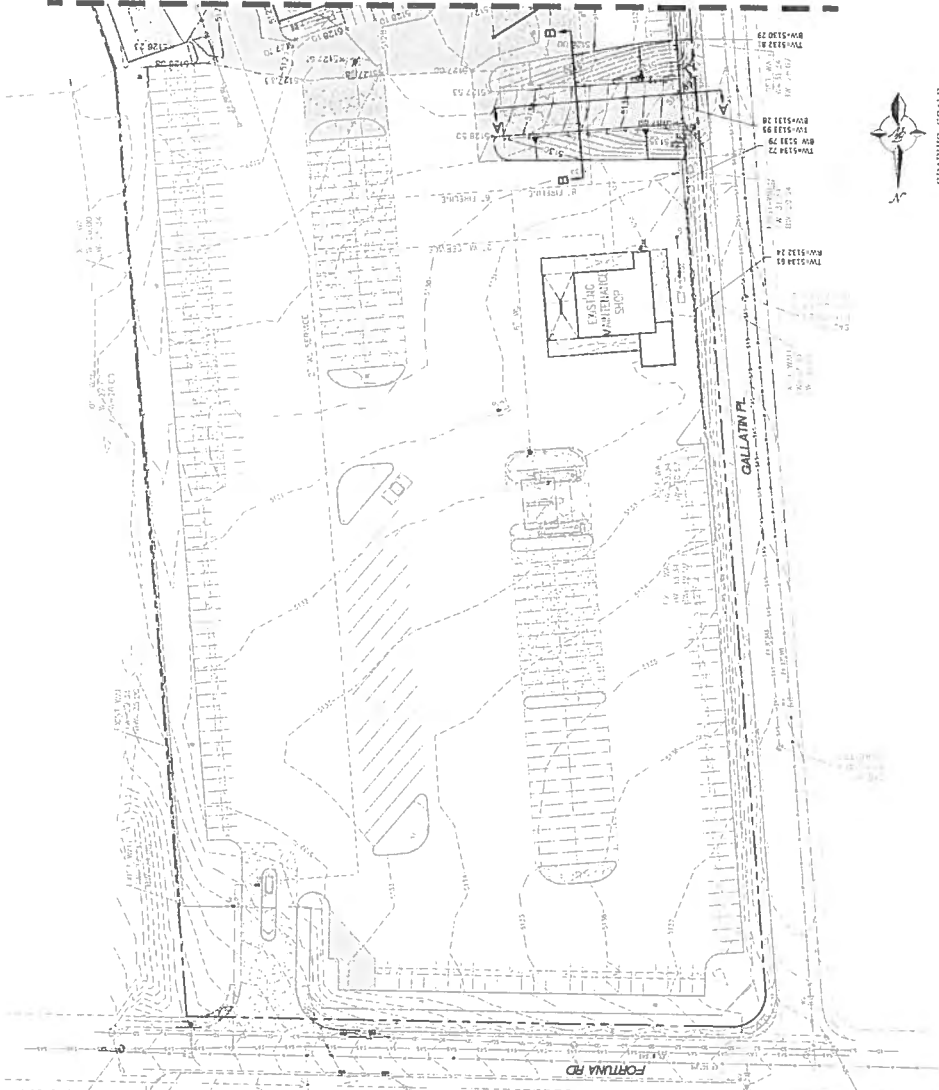
**CAUTION**  
CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF ALBUQUERQUE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF ALBUQUERQUE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF ALBUQUERQUE.

- NOTICE TO CONTRACTORS**
- ALL EXISTING/CONSTRUCTION ITEMS WILL BE REMOVED EXCEPT AS NOTED OTHERWISE.
  - ALL WORK SHALL BE ACCORDING TO THE CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
  - NO WORK SHALL BE PERFORMED ON A 14-HOUR BASIS UNLESS PERMITTED BY THE CITY OF ALBUQUERQUE.
  - ALL WORK SHALL BE ACCORDING TO THE CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
  - ALL WORK SHALL BE ACCORDING TO THE CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
  - ALL WORK SHALL BE ACCORDING TO THE CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
  - ALL WORK SHALL BE ACCORDING TO THE CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
  - ALL WORK SHALL BE ACCORDING TO THE CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.

- NOTED NOTES**
- REMOVE AND EXPOSE EXISTING STORM SEWER, INLETS AND MANHOLES.
  - EXISTING INLET TO REPAIR.
  - EXISTING INLET TO REPAIR.
  - EXISTING CONCRETE EDGE TO REMAIN.
  - REPAIR EXISTING GEOTECHNICAL INVESTIGATION.

- LEGEND**
- CURB & CUTTER
  - BOUNDARY LINE
  - EASEMENT
  - BUILDING
  - CONCRETE
  - LIMITS OF IMPOSED CONSTRUCTION
  - EXISTING CURB & CUTTER
  - EXISTING STORM SEWER LINE (TO REMAIN)
  - EXISTING STORM SEWER LINE (TO BE REMOVED)
  - ADJUST EXISTING IN RISE AND SLOPE TO GRADE
  - EXISTING SANITARY SEWER LINE
  - EXISTING WATERLINE (TO REMAIN)
  - EXISTING WATERLINE (TO BE REMOVED)
  - EXISTING ELECTRIC LINE
  - EXISTING SINGLE CLEAN OUT
  - DOUBLE CLEAN OUT
  - EXISTING CO MANHOLE
  - EXISTING INLET
  - EXISTING GAS MANHOLE
  - EXISTING FIRE HYDRANT
  - EXISTING WATER METER
  - EXISTING POWER POLE
  - EXISTING LIGHT STANDARD (TO REMAIN)
  - EXISTING LIGHT STANDARD (TO BE REMOVED)
  - PROPOSED FIRE HYDRANT

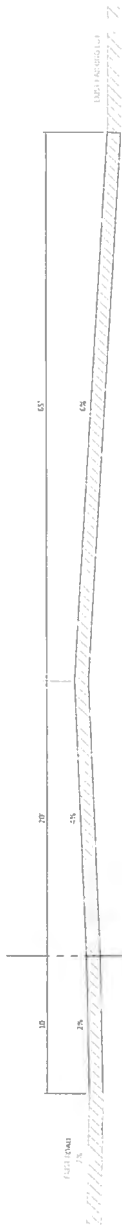
MATCH LINE



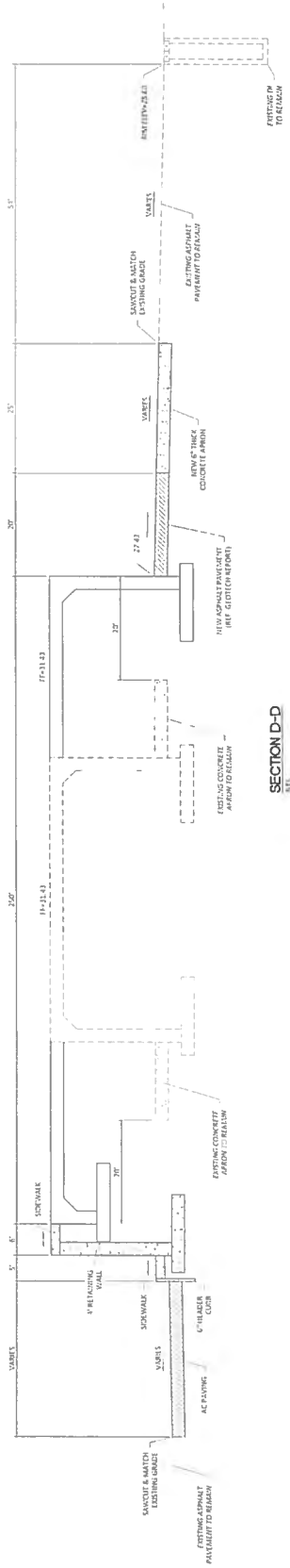
	<b>7601 LOS VOLCANES RD NW</b> <b>ALBUQUERQUE, NM 87121</b> <b>GRADING AND DRAINAGE</b> <b>PLAN</b>	DRAWN BY J. B. B.
	175228 9/2007 J.L.C. ALBUQUERQUE, NM 87109 www.livestandard.com	DATE 201004-08
PROJECT NO. 201004-08	SHEET / <b>GR-2</b>	DATE 201004

**CAUTION**  
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILT SURVEYS OR INFORMATION PROVIDED BY THE CONTRACTOR TO CONTRACT. ALL NECESSARY FIELD INVESTIGATIONS SHOULD BE CONDUCTED BY THE CONTRACTOR TO DETERMINE THE ACTUAL LOCATION OF UTILITIES. OTHER IMPROVEMENTS PRIOR TO STARTING THE WORK ANY AND APPROVED BY THE ENGINEER BE COMPLETED WITHIN THE PROJECT.





SECTION A-A  
INT.



SECTION D-D  
INT.



SECTION B-B  
INT.

SECTION C-C  
INT.

	<b>7601 LOS VOLCANES RD NW ALBUQUERQUE, NM 87121</b>
	<b>GRADING SECTIONS</b>
DRAWN BY DATE 2 0 19	PROJECT NO. 2018074-CR
SHEET NO. <b>CR-3</b>	PROJECT / 7258th STREET, ALBUQUERQUE, NM 87109 5371 MORWAY PARK BL, NE ALBUQUERQUE, NM 87109 www.lancef.com
PROJECT NO. 2018074	SHEET NO. 2018074



The Hiltop  
1923 Edinville  
Auburquerque, NM 87102  
Cell: 505-248-5408  
Fax: (505) 248-5400  
dany@hiltoplandscape.com



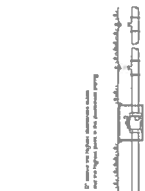
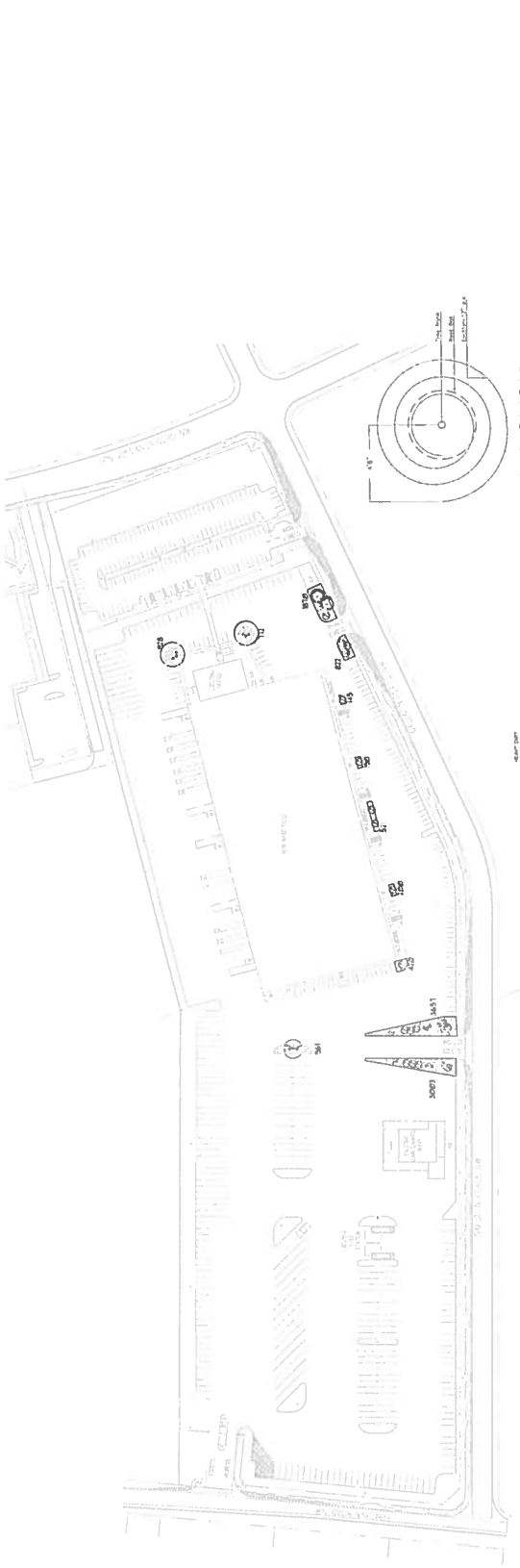
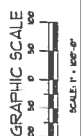
**Fed Ex Redevelopment**  
1601 Los Volcanes NW  
Albuquerque, NM

**Landscape Plan**

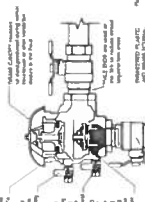
The design landscape plan shows the proposed landscape at a certain point in time. It is not intended to be a permanent plan. The landscape may change over time due to various factors such as weather, soil conditions, and the growth of plants. The designer is not responsible for the success or failure of the landscape plan.

**The Hiltop**  
LANDSCAPE ARCHITECTS & DESIGNERS

DATE: 11/10/10  
REVISION: 1  
DRAWN BY: [Signature]



**FEBCO MODEL 165**  
Common Yucca

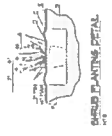


**FEBCO MODEL 165**  
Common Yucca



**TREES PLANTING DETAIL**

1. Crown  
2. Trunk  
3. Root System



**SHRUBS PLANTING DETAIL**

1. Crown  
2. Trunk  
3. Root System

**LANDSCAPE NOTES:**  
1. Landscape architect will be the responsible party for the property clear. The project owner will be responsible for the removal of trees, shrubs, and other vegetation.  
2. The design landscape plan shows the proposed landscape at a certain point in time. It is not intended to be a permanent plan. The landscape may change over time due to various factors such as weather, soil conditions, and the growth of plants.  
3. The designer is not responsible for the success or failure of the landscape plan.

**RESOLUTIONS:**  
1. The design landscape plan shows the proposed landscape at a certain point in time. It is not intended to be a permanent plan. The landscape may change over time due to various factors such as weather, soil conditions, and the growth of plants.  
2. The designer is not responsible for the success or failure of the landscape plan.

**CONSTRUCTION NOTES:**  
1. The design landscape plan shows the proposed landscape at a certain point in time. It is not intended to be a permanent plan. The landscape may change over time due to various factors such as weather, soil conditions, and the growth of plants.  
2. The designer is not responsible for the success or failure of the landscape plan.

**LANDSCAPE LEGEND**

CITY	SIZE	CORRESPONDING	420 LBS
0	10	10	1134
1	10	10	1134
2	10	10	1134
3	10	10	1134
4	10	10	1134
5	10	10	1134
6	10	10	1134
7	10	10	1134
8	10	10	1134
9	10	10	1134
10	10	10	1134

**EXISTING**

Item	Quantity
Existing Trees	1134
Existing Shrubs	1134

**LANDSCAPE CALCULATIONS**

Category	Quantity
TOTAL LOT AREA (A1)	1134
TOTAL BUILDING AREA (A2)	1134
TOTAL OPEN AREA (A3)	1134
TOTAL LANDSCAPE REQUIRED (A4)	1134
TOTAL EXISTING LANDSCAPE (A5)	1134
TOTAL LANDSCAPE TO BE PROVIDED (A6)	1134
TOTAL LANDSCAPE PROVIDED (A7)	1134

1. The design landscape plan shows the proposed landscape at a certain point in time. It is not intended to be a permanent plan. The landscape may change over time due to various factors such as weather, soil conditions, and the growth of plants.  
2. The designer is not responsible for the success or failure of the landscape plan.

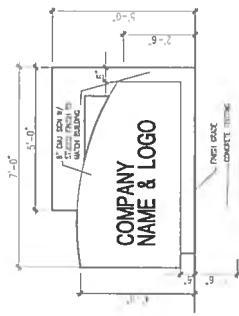
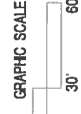


**EXTERIOR FINISHES**

TI-UP FINE PANELS- COLOR 1- LIGHT GRAY  
 COLOR 2- MEDIUM GRAY  
 COLOR 3- DARK GRAY  
 METAL ACCESS COLOR- RD  
 ALUMINUM WINDOW FINISHES CLEAR ANODIZED  
 WINDOW COLOR- 1" TINTED INCLUDED  
 OVERHEAD A IN COORS- LIGHT GRAY  
 ALL EXTERIOR FINISHES TO BE MATCHED EXACTLY TO THE EXTERIOR FINISHES OF THE ADJACENT BUILDING. ALL EXTERIOR FINISHES TO BE MATCHED EXACTLY TO THE EXTERIOR FINISHES OF THE ADJACENT BUILDING. ALL EXTERIOR FINISHES TO BE MATCHED EXACTLY TO THE EXTERIOR FINISHES OF THE ADJACENT BUILDING.

**BUILDING STORAGE CALC.**

WEST ELEVATION- BLDG. AREA=160.57 SF. STORAGE= 150.57  
 150 / 2500 = .06  
 EAST ELEVATION- BLDG. AREA=143.57 SF. STORAGE= 133.57  
 133.57 / 2500 = .05  
 NORTH ELEVATION- BLDG. AREA= 284.57 SF. STORAGE= 334.57  
 334.57 / 2500 = .13



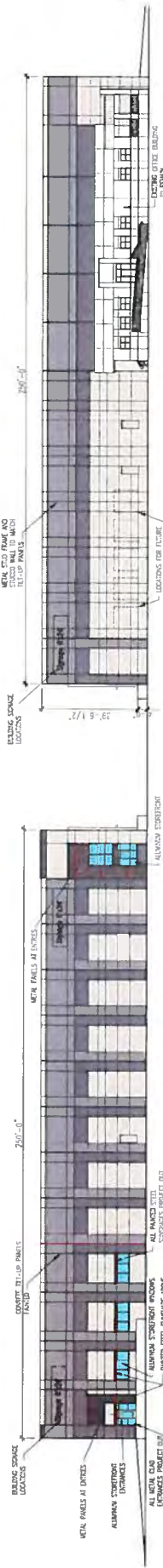
5 MONUMENT SIGN  
 1/12"=1'-0"  
 MATCH SIGN TO ADJACENT BUILDING SIGN. ALL LETTERS TO BE MATCHED EXACTLY TO THE ADJACENT BUILDING SIGN.



4 WEST ELEVATION  
 1"=32'-0"



3 EAST ELEVATION  
 1"=32'-0"



2 NORTH ELEVATION  
 1"=32'-0"



1 SOUTH ELEVATION  
 1"=32'-0"

**FORM DRWS: DRAINAGE REPORT/GRADING AND DRAINAGE PLAN / WATER & SANITARY SEWER AVAILABILITY**  
THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR SUBDIVISIONS AND SITE PLANS.

**PROJECT NAME:** Gallatin/Brunacini

**AGIS MAP #** J-10-Z

**LEGAL DESCRIPTIONS:** TR C Bulk Land Plat of Tracts A Thru D Meridian BusinessPark II  
\_\_\_\_\_  
\_\_\_\_\_

X **DRAINAGE REPORT/GRADING AND DRAINAGE PLAN**

A drainage report/grading and drainage plan, as per the Drainage Ordinance, was submitted to the City of Albuquerque Planning Department, Hydrology Division (2<sup>nd</sup> /Ground Floor, Plaza del Sol) on 2/05/2019 (date).

\_\_\_\_\_  
Applicant/Agent Date

\_\_\_\_\_  
Hydrology Division Representative Date

**NOTE: A GRADING AND DRAINAGE PLAN MUST BE APPROVED PRIOR TO DRB APPROVAL**

X **WATER AND SEWER AVAILABILITY STATEMENT**

A Water and Sewer Availability Statement for this project was requested to the ABCWUA (2<sup>nd</sup>/Ground floor, Plaza del Sol) on 1.08.19 (date).

\_\_\_\_\_  
Applicant/Agent Date

\_\_\_\_\_  
ABCWUA Representative Date

**PROJECT #** \_\_\_\_\_

**Jaimie Garcia**

---

**From:** Quevedo, Vicente M. <vquevedo@cabq.gov>  
**Sent:** Thursday, February 07, 2019 11:13 AM  
**To:** Jaimie Garcia  
**Subject:** Public Notice Inquiry\_Gallatin PL and Los Volcanes Rd\_DRB  
**Attachments:** Brunacini\_J-10-Z.PDF; Public Notice Inquiry\_Gallatin PL and Los Volcanes Rd\_DRB.xlsx

Jaimie,

See list of associations below and attached regarding your DRB submittal. In addition, we have included web links below that will provide you with additional details about the new Integrated Development Ordinance (IDO) requirements. The web links also include notification templates that you may utilize when contacting each association. Thank you.

Association Name	First Name	Last Name	Email	Address Line 1	City
Los Volcanes NA	Ted	Trujillo	<a href="mailto:nedcarla@live.com">nedcarla@live.com</a>	6601 Honeylocust Avenue NW	Albuquerque
Los Volcanes NA	Doug	Cooper	<a href="mailto:douglascooper@hotmail.com">douglascooper@hotmail.com</a>	6800 Silkwood Avenue NW	Albuquerque

**IDO – Public Notice Requirements & Template:** <https://www.cabq.gov/planning/urban-design-development/public-notice>

**IDO – Neighborhood Meeting Requirements & Template:** <https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

**IDO - Administration & Enforcement section:** <http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17-Part6.pdf>

Respectfully,

**Vicente M. Quevedo, MCRP**  
Neighborhood Liaison  
Office of Neighborhood Coordination  
City of Albuquerque – City Council  
(505) 768-3332

Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)



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**From:** webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov  
**Sent:** Wednesday, February 06, 2019 4:17 PM  
**To:** Office of Neighborhood Coordination <jgarcia@tierrawestllc.com>

**Cc:** Office of Neighborhood Coordination <onc@cabq.gov>

**Subject:** Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:

Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Jaimie Garcia

Telephone Number

505-858-3100

Email Address

[jgarcia@tierrawestllc.com](mailto:jgarcia@tierrawestllc.com)

Company Name

Tierra West, LLC

Company Address

5571 Midway Park Place NE

City

Albuquerque

State

NM

ZIP

87109

Legal description of the subject site for this project:

Physical address of subject site:

Subject site cross streets:

Gallatin PL and Los Volcanes Rd

Other subject site identifiers:

This site is located on the following zone atlas page:

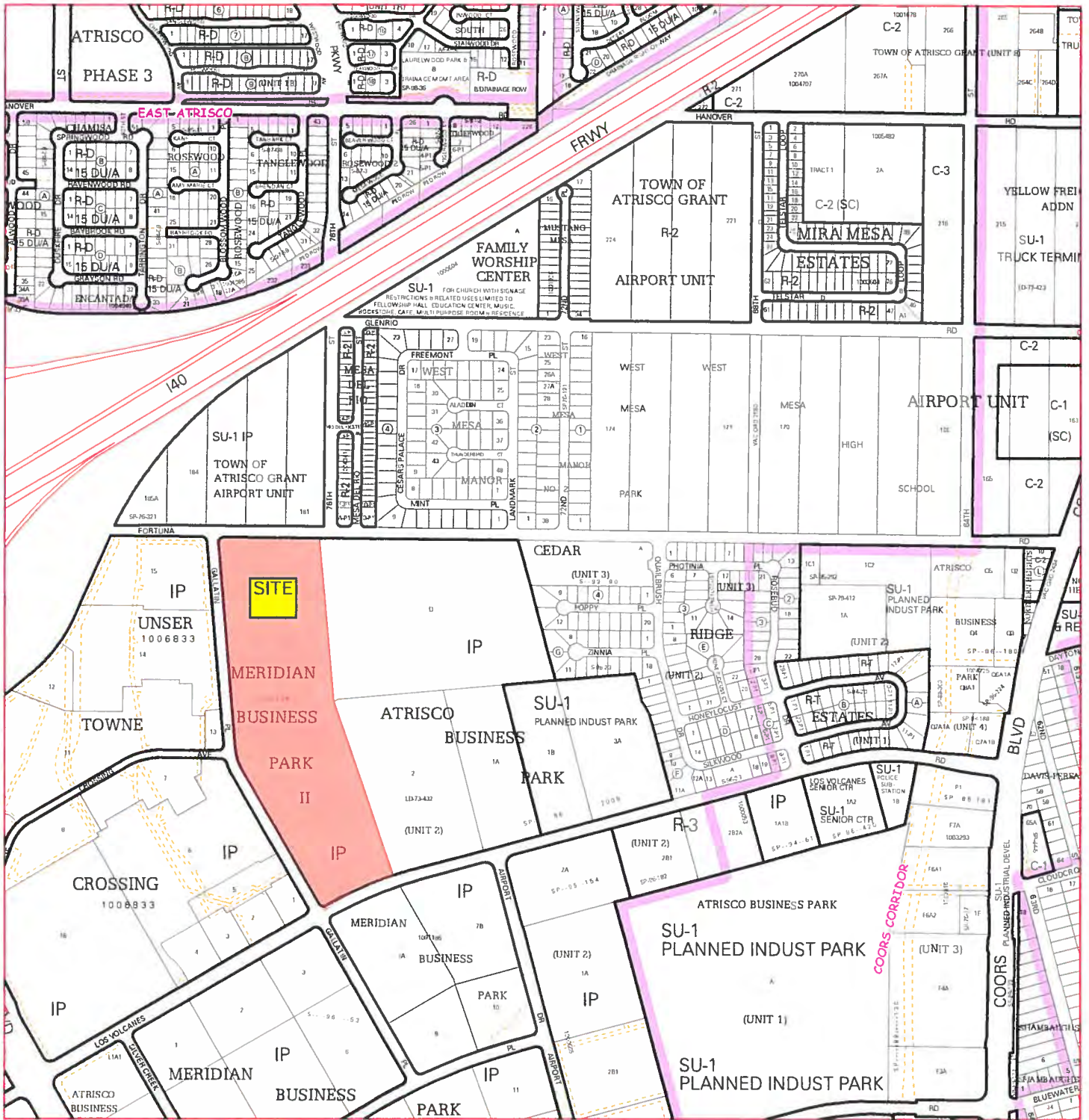
J-10-Z

=====  
This message has been analyzed by Deep Discovery Email Inspector.

---

If this email is spam, report it to [www.OnlyMyEmail.com](http://www.OnlyMyEmail.com)


Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
Los Volcanes NA	Ted	Trujillo	nedcarla@live.com	6601 Honeylocust Avenue NW	Albuquerque	NM	87121	5058508375	5058360336
Los Volcanes NA	Doug	Cooper	douglascooper@hotmail.com	6800 Silkwood Avenue NW	Albuquerque	NM	87121	5054171560	



For more current information and more details visit: <http://www.cabq.gov/gis>





Map amended through: 2/4/2010



Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:  
**J-10-Z**

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		



0 750 1,500 Feet



# TIERRA WEST, LLC

February 7, 2019

**RE: PUBLIC NOTICE  
SITE DEVELOPMENT PLAN FOR DEVELOPMENT REVIEW  
BOARD (DRB)- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT  
7601 LOS VOLCANES RD NW ALBUQUERQUE NM 87121  
ZONE ATLAS PAGE # J-10-Z**

To Whom it May Concern:

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K)(2) Mailed Public Notice, we are notifying you as a Neighborhood Association that Tierra West, LLC will be submitting an application for Site Plan-DRB to be reviewed and decided by the Development Review Board.

Tierra West LLC, on behalf of Gallatin Development LLC & Clifford ABQ C/O Burke & Associates LLC, requests approval of the Site Development Plan for Building Permit. The site is adjacent to and immediately east of Gallatin Rd and is currently developed. The exiting tenant has plans to move to a proposed site across the interstate. The owners of the property are planning to modify the existing site to include a larger warehouse component per the attached proposed site plan.

The anticipated public hearing for this request will be on March 6, 2019 at 9:00am in the Hearing Room (Basement Level) of Plaza Del Sol 600 2<sup>nd</sup> St NW, Albuquerque NM 87102. You can check the agenda for the relevant decision making body online here: <http://www.cabq.gov/planning/boards-commissions> or call the Planning Department at 505-924-3860.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me or Vince Carrica.

Tierra West LLC Contact(s):  
Ronald R. Bohannon, PE  
5571 Midway Park Place NE  
Albuquerque, NM 87109  
[rrb@tierrawestllc.com](mailto:rrb@tierrawestllc.com)  
505-858-3100

Vince Carrica, PE  
5571 Midway Park Place NE  
Albuquerque, NM 87109  
[vcarrica@tierrawestllc.com](mailto:vcarrica@tierrawestllc.com)  
505-858-3100

Sincerely,

Ronald R. Bohannon, P.E.

Enclosure/s

cc: Angelo Brunacini, Owner

JN: 2018074  
RRB/vc/jg

5571 Midway Park Pl. NE  
(505) 858-3100  
Albuquerque, NM 87109  
fax (505) 858-1118  
tierrawestllc.com  
1-800-245-3102

# Fortuna & Gallatin Pl. NW

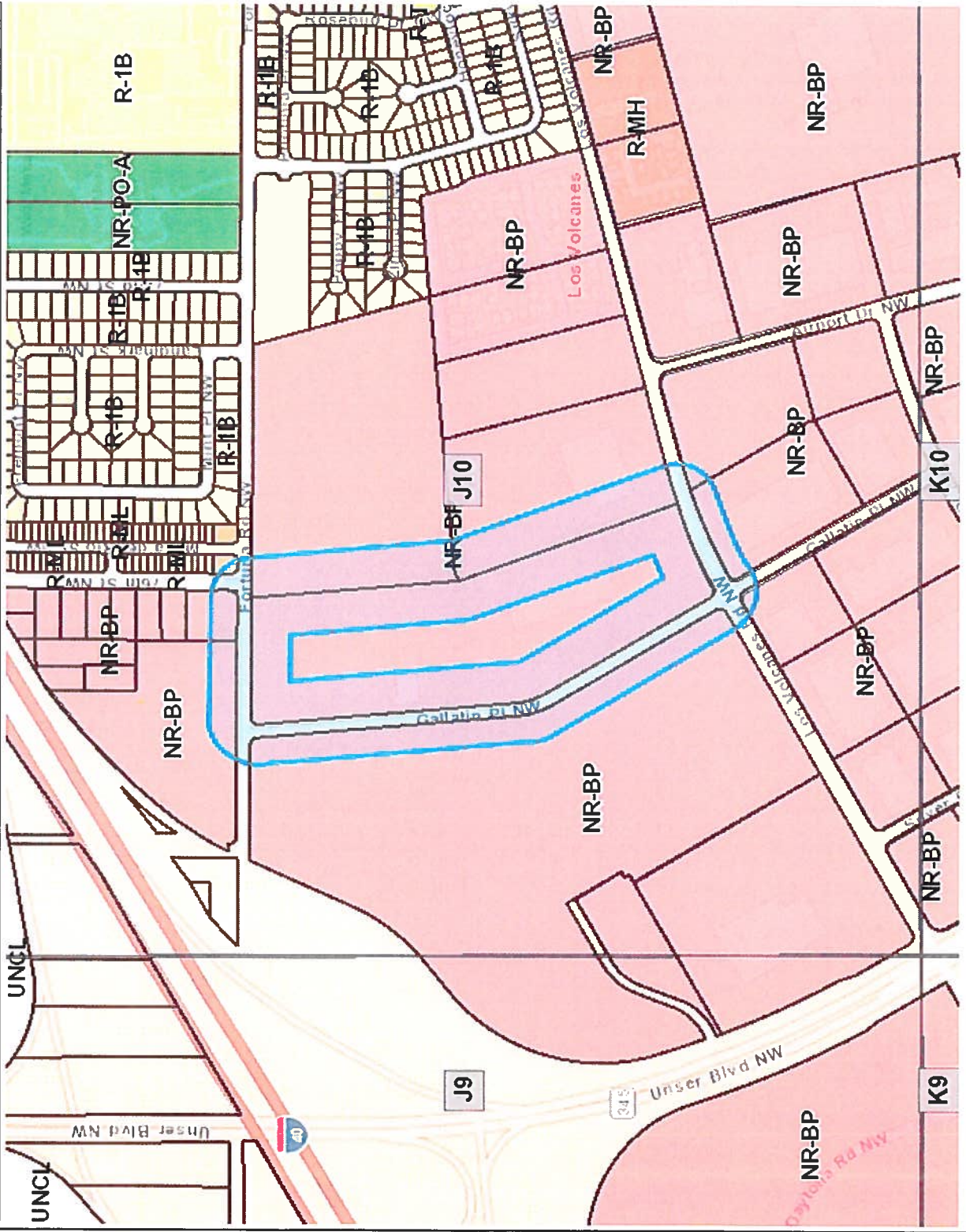


## Legend

- Zone Grid
- Bernalillo County Parcels
- IDO Zoning**
- R-A
- R-1A
- R-1B
- R-1C
- R-1D
- R-T
- R-MC
- R-ML
- R-MH
- MX-T
- MX-L
- MX-M
- MX-H
- MX-FB-ID
- MX-FB-FX
- MX-FB-UD
- NR-C
- NR-BP
- NR-LM
- NR-GM
- NR-SU
- NR-PO-A
- NR-PO-B
- NR-PO-C
- NR-PO-D
- PD
- PC
- UNCL

## Notes

Buffer: 166ft.  
ROW: Gallatin Pl. 66ft.



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**THIS MAP IS NOT TO BE USED FOR NAVIGATION**

1,202 Feet





MERIDIAN REALTY LTD CO  
PO BOX 6363  
ALBUQUERQUE NM 87197-6363

GDCLV LLC ATTN: GERALD LUCERO  
7301 LOS VOLCANES RD NW  
ALBUQUERQUE NM 87121-8452

GALLATIN DEVELOPMENT LLC &  
CLIFFORD ABQ C/O BURKE &  
ASSOCIATES LLC  
3336 E 32ND ST SUITE 217  
TULSA OK 74135-4442

ENCHANTMENT HOMES OF NM LLC  
PO BOX 67305  
ALBUQUERQUE NM 87193

IRON MOUNTAIN RECORDS MGMT INC  
1 FEDERAL ST FLOOR 7  
BOSTON MA 02110-2003

YANKEE FANS LLC C/O MAYME  
BRUNACINI  
4310 WELLESLEY DR NE  
ALBUQUERQUE NM 87107-4824

BD DEVELOPMENT II LLC  
PO BOX 6992  
ALBUQUERQUE NM 87192

LORENTZEN JOHN  
2909 YALE BLVD SE  
ALBUQUERQUE NM 87106

INLAND PROPERTIES INC  
2482 DOUGLAS RD  
V5C 6C9 CANADA

BEN E KEITH COMPANY  
601 E 7TH ST  
FORT WORTH TX 76102

# SIGN POSTING REQUIREMENTS

## POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property, which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproofed signs will be provided at the time of application. If the application is mailed, you must still stop at the Planning Division to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Planning Division at a charge of \$3.00 each.

### 1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be two to seven feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign in order to read it.

### 2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs maybe required on unpaved street frontages.
- B. If the land does not abut a public street, then in addition to a sign placed on the property a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

### 3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.


### 4. TIME

Signs must be posted from \_\_\_\_\_ To \_\_\_\_\_.

### 5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Planning Division staff. I understand (A) my obligation to keep the sign(s) posted for fifteen (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

 \_\_\_\_\_, 2.7.2019  
(Applicant or Agent) (Date)

I issued \_\_\_\_\_ signs for this application, \_\_\_\_\_, \_\_\_\_\_  
(Date) (Staff Member)

# CITY OF ALBUQUERQUE

## TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: Tierra West, LLC DATE OF REQUEST: 12/10/18 ZONE ATLAS PAGE(S): J-10-Z

CURRENT: ZONING NR-BP LEGAL DESCRIPTION: LOT OR TRACT # \_\_\_\_\_ BLOCK # \_\_\_\_\_  
 TR C Bulk Land Plat of Tracts A Thru D

PARCEL SIZE (AC/SQ. FT.) 22.4272 ac SUBDIVISION NAME Meridian Business Park

**REQUESTED CITY ACTION(S):**

ANNEXATION [ ]	SITE DEVELOPMENT PLAN:
ZONE CHANGE [ ]: From _____ To _____	SUBDIVISION* [X] AMENDMENT [ ]
SECTOR, AREA, FAC, COMP PLAN [ ]	BUILDING PERMIT [X] ACCESS PERMIT [ ]
AMENDMENT (Map/Text) [ ]	BUILDING PURPOSES [ ] OTHER [ ]

\*includes platting actions

**PROPOSED DEVELOPMENT:**

**GENERAL DESCRIPTION OF**

NO CONSTRUCTION/DEVELOPMENT [ ]	ACTION:
NEW CONSTRUCTION [X]	# OF UNITS: _____
EXPANSION OF EXISTING DEVELOPMENT [ ]	BUILDING SIZE: _____ (sq. ft.)

*Office warehouse - 56,520 sq ft    Exist Maint Shop - 10,379 sq ft  
 New warehouse - 135,325 sq ft    Exist Office - 5450 sq ft  
 Industrial Plan 513 - R 755    Total - 222,385 sq ft*

Note: changes made to development proposals / assumptions from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE [Signature] DATE 12/10/18  
 (To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -  
 2<sup>ND</sup> Floor West, 600 2<sup>ND</sup> St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [X] NO [ ] BORDERLINE [ ]

THRESHOLDS MET? YES [X] NO [ ] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: [ ]

Notes: *This will require a TIS*

If a TIS is required, a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

[Signature] DATE 12/12/18  
 TRAFFIC ENGINEER

Required TIS **must be completed prior to applying to the EPC and/or the DRB.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS  
 -FINALIZED   /  /  

-SUBMITTED   /  /    
 TRAFFIC ENGINEER  
 DATE

# SITE PLAN CHECKLIST

Project #: \_\_\_\_\_ Application #: \_\_\_\_\_

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

***I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.***

 2-6-19  
Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

*The electronic format must be organized in the above manner.*

The following checklist describes the minimum information necessary for each plan element. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

## SHEET #1 - SITE PLAN

### A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'  
1.0 - 5.0 acres 1" = 20'  
Over 5 acres 1" = 50'  
Over 20 acres 1" = 100'

# SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

## B. Proposed Development

### 1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

### 2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
  - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
  - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
  - 3. On street parking spaces
- B. Bicycle parking & facilities
  - 1. Bicycle racks – location and detail
  - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
  - 1. Ingress and egress locations, including width and curve radii dimensions
  - 2. Drive aisle locations, including width and curve radii dimensions
  - 3. End aisle locations, including width and curve radii dimensions
  - 4. Location & orientation of refuse enclosure, with dimensions
  - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
  - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

## SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- ~~NA~~ 3. Location and description of amenities, including patios, benches, tables, etc.
- E. Off-Street Loading
  - 1. Location and dimensions of all off-street loading areas
- ~~NA~~ F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
  - ~~NA~~ 1. Location and dimensions of vehicle stacking spaces and queuing lanes
  - ~~NA~~ 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
  - ~~NA~~ 3. Striping and Sign details for one-way drive through facilities

### 3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
  - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
  - ~~NA~~ 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
  - ~~X~~ 3. Location of traffic signs and signals related to the functioning of the proposal
  - ~~NA~~ 4. Identify existing and proposed medians and median cuts
  - 5. Sidewalk widths and locations, existing and proposed
  - 6. Location of street lights
  - 7. Show and dimension clear sight triangle at each site access point
  - ~~X~~ 8. Show location of all existing driveways fronting and near the subject site.
- ~~NA~~ B. Identify Alternate transportation facilities within site or adjacent to site
  - ~~NA~~ 1. Bikeways and bike-related facilities
  - ~~NA~~ 2. Pedestrian trails and linkages
  - ~~NA~~ 3. Transit facilities, including routes, bus bays and shelters existing or required

### 4. Phasing

- ~~NA~~ A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

## SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- ~~NR~~ 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
  - ~~X~~ A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
  - ~~X~~ B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
  - ~~X~~ C. Ponding areas either for drainage or landscaping/recreational use

## SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
  - A. Existing, indicating whether it is to be preserved or removed.
  - B. Proposed, to be established for general landscaping.
  - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- NA 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- NA 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- NA 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

### SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

#### A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

#### B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

# SITE PLAN CHECKLIST

## SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)

## SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

### A. General Information

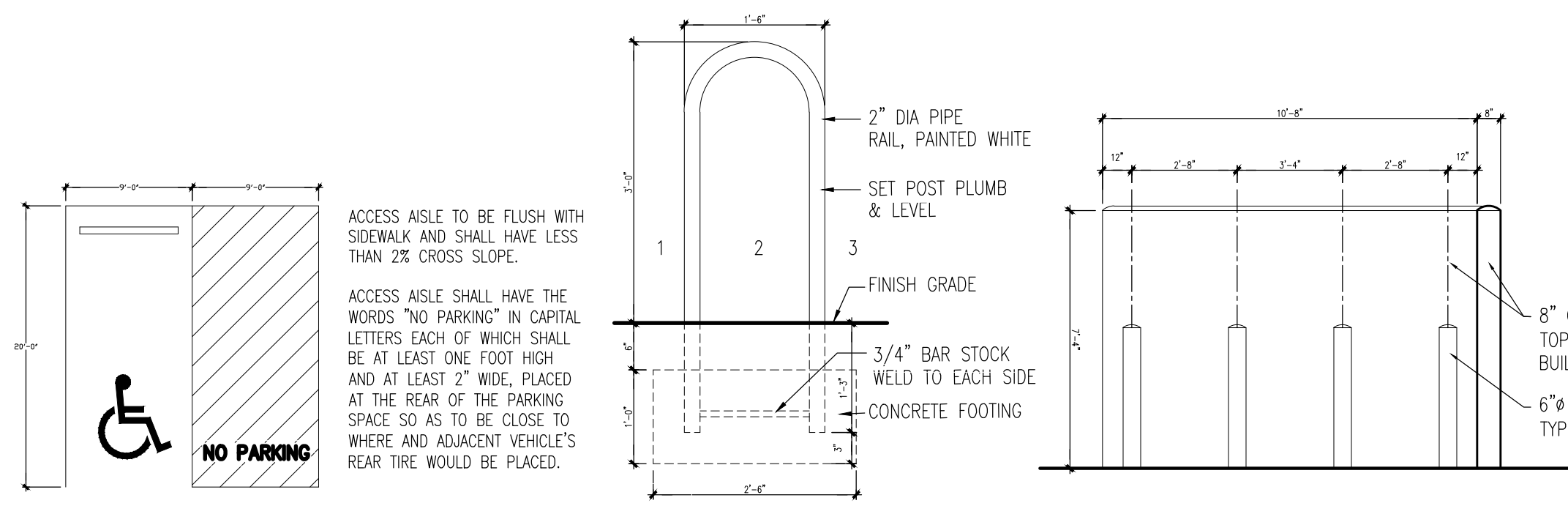
- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
  - 1. Identify facade orientation
  - 2. Dimensions of facade elements, including overall height and width
  - 3. Location, material and colors of windows, doors and framing
  - 4. Materials and colors of all building elements and structures
  - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

### B. Building Mounted Signage

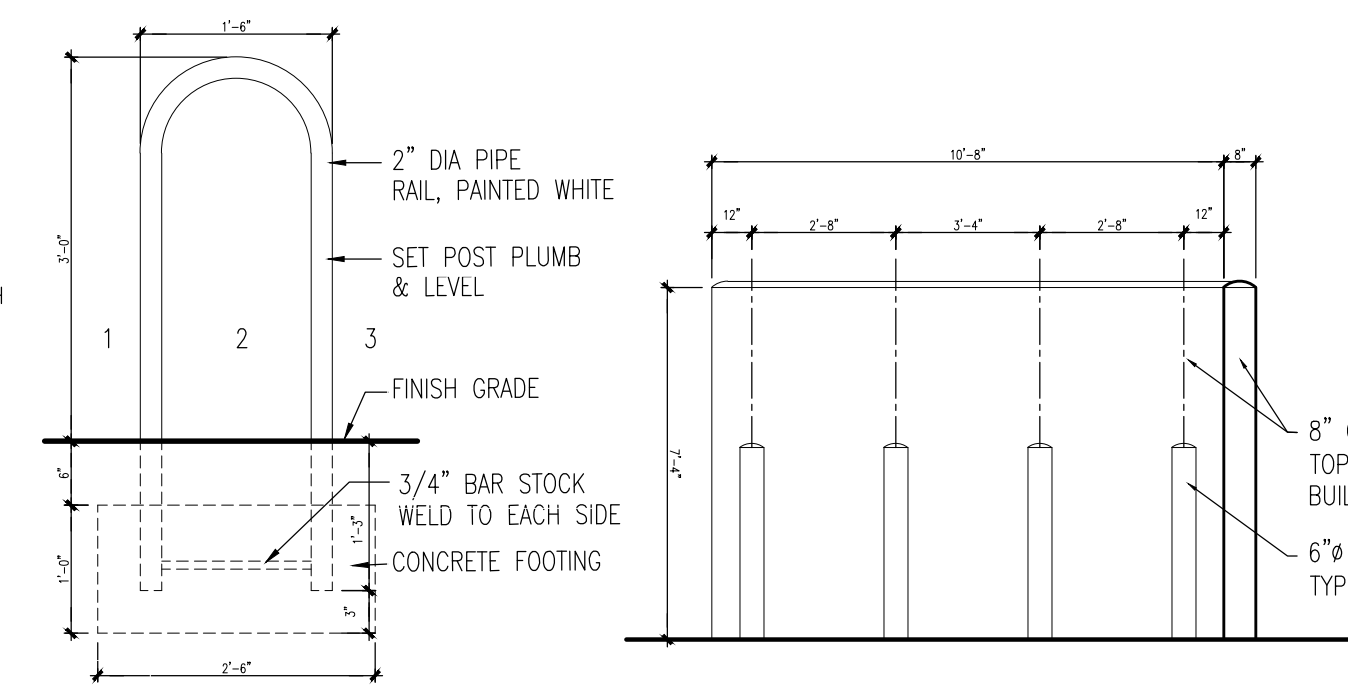
- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO







**4 ACCESSIBLE PARKING**  
1/8"=1'-0"



**3 BIKE POST DETAIL**  
1"=1'-0"

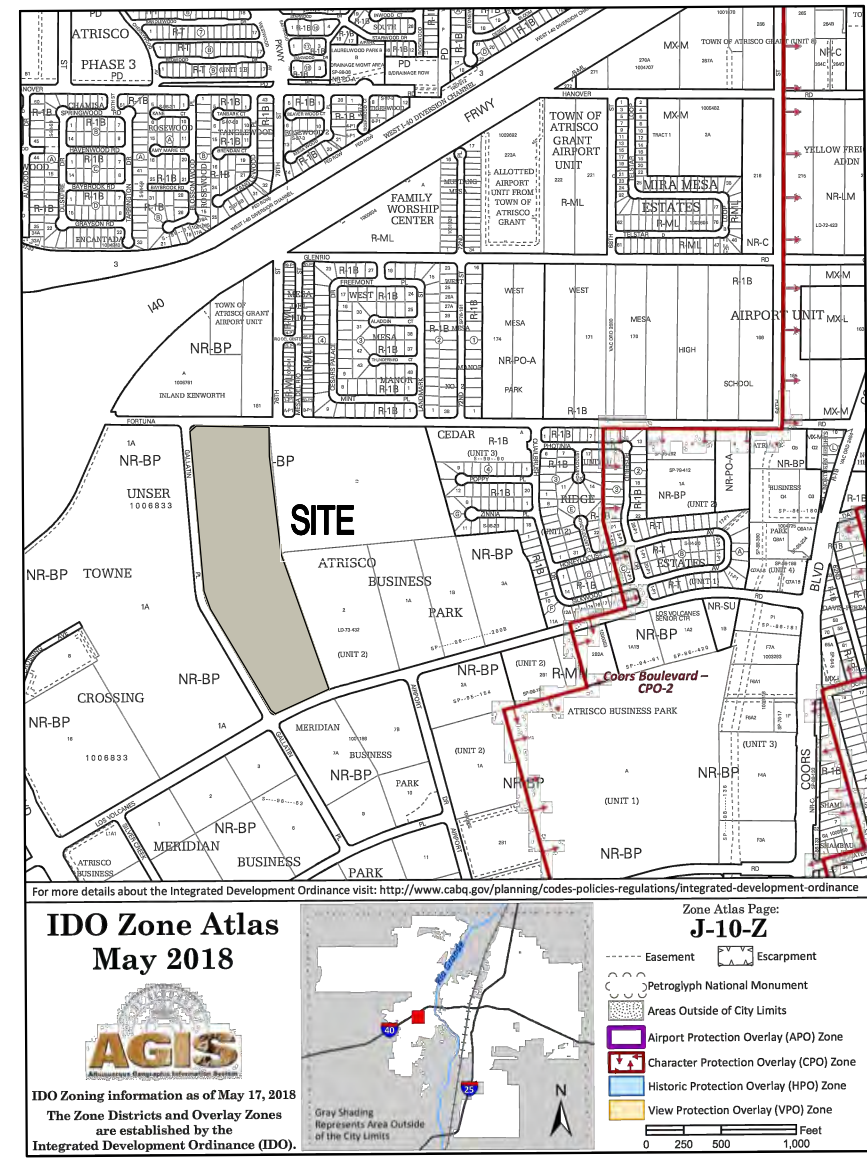
**2 REFUSE SCREEN WALL ELEVATION**  
1/4"=1'-0"

**LEGEND**

- PROPERTY LINE
- - - EASEMENT LINE
- ▲ HANDICAP PARKING PAVEMENT MARKING
- ▲ EXISTING FIRE HYDRANT
- ▲ RELOCATED FIRE HYDRANT
- ▲ EXISTING SITE LIGHTING
- SITE TRIANGLE

**GENERAL NOTES**

1. ALL SITE LIGHTING SHALL BE CONSISTENT WITH SECTION 14-16-9, AREA LIGHTING REGULATIONS & NIGHT SKY ORDINANCE.
2. PARKING LOT POLE MOUNTED LIGHTING SHALL BE 20'-0" HIGH, "GARDOCO LIGHTING" GLOW TOP MAG 18-1 OR EQUAL IN EARTH TONE COLOR.
3. PLACEMENT OF FIXTURES & STANDARDS SHALL CONFORM TO STATE & LOCAL SAFETY & ILLUMINATION REQUIREMENTS.
4. ALL LIGHT FIXTURES SHALL BE FULLY SHIELDED HORIZONTAL LAMPS WITH NO LIGHT, LENS OR BULB PROTRUDING BELOW THE BOTTOM OF THE CUT-OFF FIXTURE IN ORDER THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE AND NO SITE LIGHTING LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER.
5. ROOF TOP AND GROUND MOUNTED EQUIPMENT SHALL BE SCREENED FROM THE PUBLIC VIEW BY MATERIALS OF THE SAME NATURE AS THE BUILDINGS BASIC MATERIALS. THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF THE PARAPET OR SCREENED FROM VIEW FROM PUBLIC RIGHTS-OF-WAY AND THE SITE ACCESS EASEMENT.
6. SITE HANDICAP RAMPS SHALL BE BUILT BY COA STANDARD DRAWING #2441.
7. STREETLIGHTS SHALL MEET THE FOLLOWING SPECIFICATIONS: GE 100 WATT, BRONZE, LUMEN SHOEBOX TYPE WITH LEXINGTON BRONZE POLE PER PNM SPECIFICATION SL3.



**PROJECT INFORMATION**

**PROJECT:** NEW OFFICE/WAREHOUSE  
**LOCATION:** 7601 LOS VOLCANES, NW ALBUQUERQUE, NEW MEXICO  
**OWNER:** BRUNACINI DEVELOPMENT  
**ARCHITECT:** TATE FISHBURN ARCHITECT  
**LEGAL DESCRIPTION:** TRACT C MERIDIAN BUSINESS PARK 2  
**CURRENT ZONING CLASSIFICATION:** NR-BP  
**NET SITE AREA:** 973,984 SF 22.36 ACRES  
**BUILDING AREA:** OFFICE 30,000 GSF  
 WAREHOUSE 110,773 GSF  
 140,773 GSF

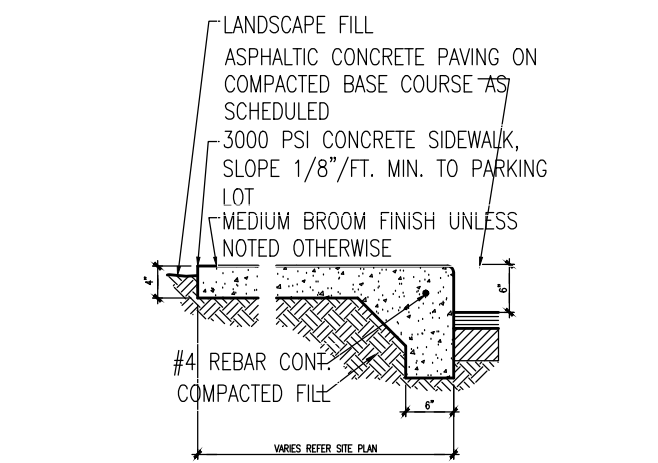
**FAR:** 14.5

**PARKING ANALYSIS:**

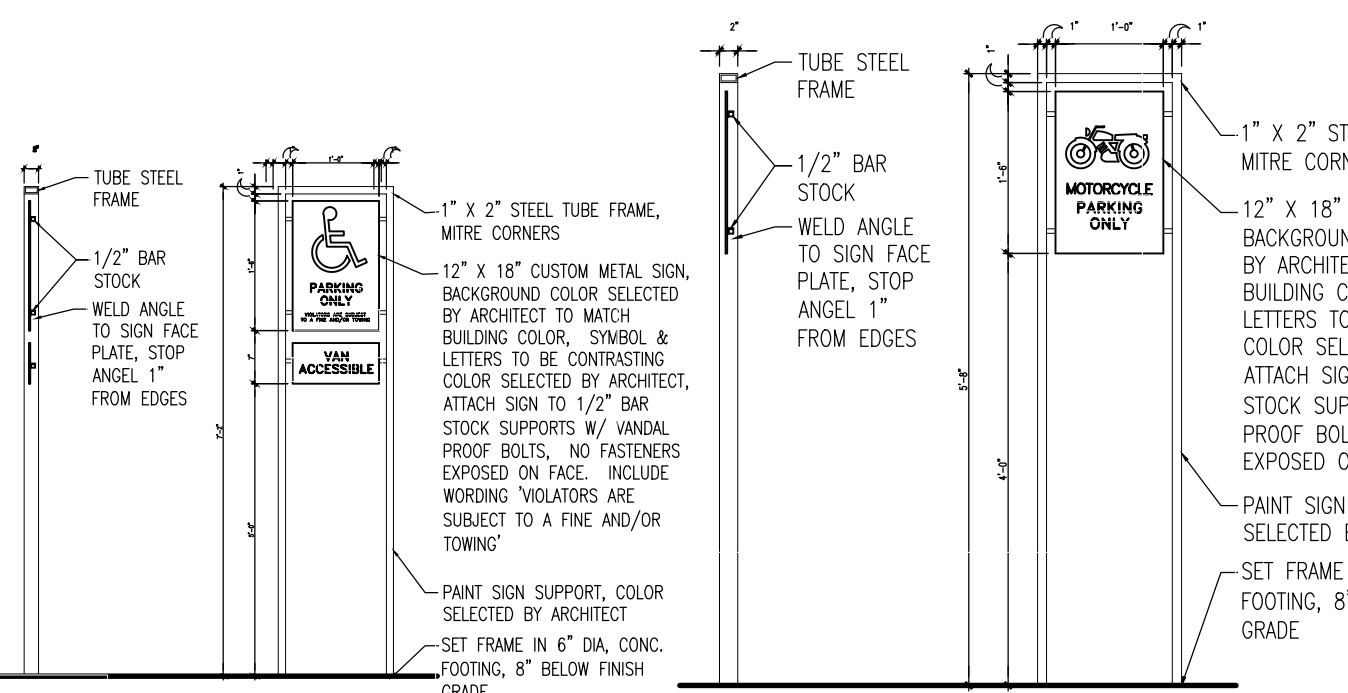
TYPE	OFF-STREET	OFFICE	WAREHOUSE	SPACES
OFF-STREET PARKING	OFFICE 30,000 GSF	1:286 = 105 SPACES	WAREHOUSE 110,773 GSF	0 SPACES
HANDICAP PARKING	REQUIRED 7 SPACES TOTAL (2 VAN)	PROVIDED 105 SPACES		
MOTORCYCLE PARKING	REQUIRED 4 SPACES	PROVIDED 4 SPACES		
BICYCLE PARKING	REQUIRED 11 SPACES	PROVIDED 12 SPACES		

**CURVE TABLE**

NUMBER	DELTA	CHORD DIRECTION	RADIUS	LENGTH	CHORD LENGTH
C1	8°23'18"	S 70°46'04" W	2255.83'	330.26'	329.97'
C2	90°00'23"	N 60°02'06" E	46'	72.26'	65.06'

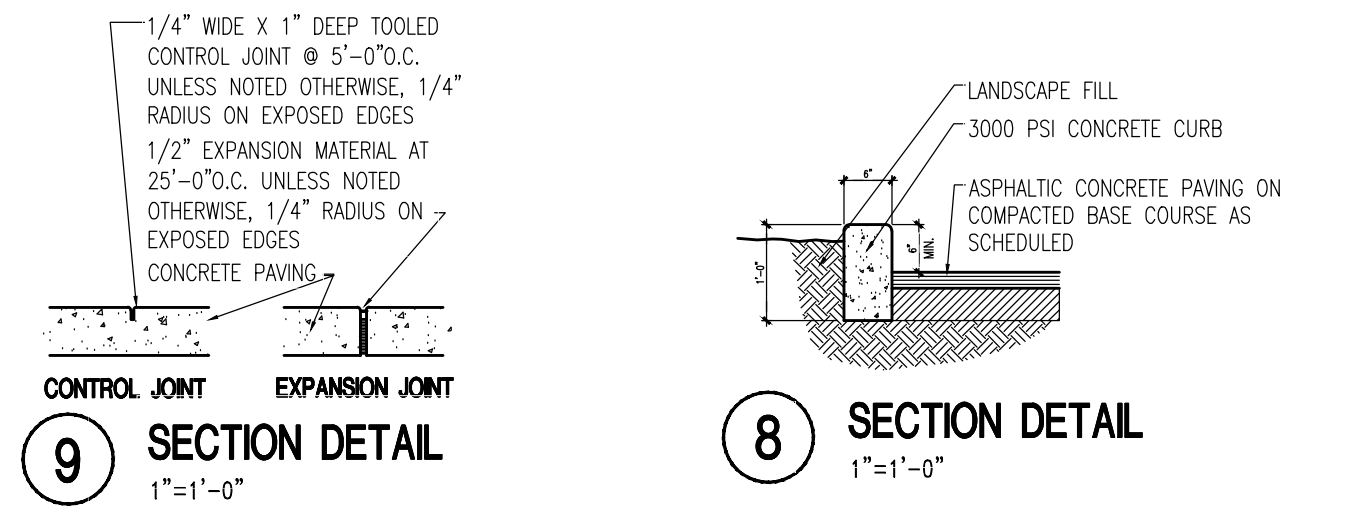


**7 SECTION DETAIL**  
1"=1'-0"



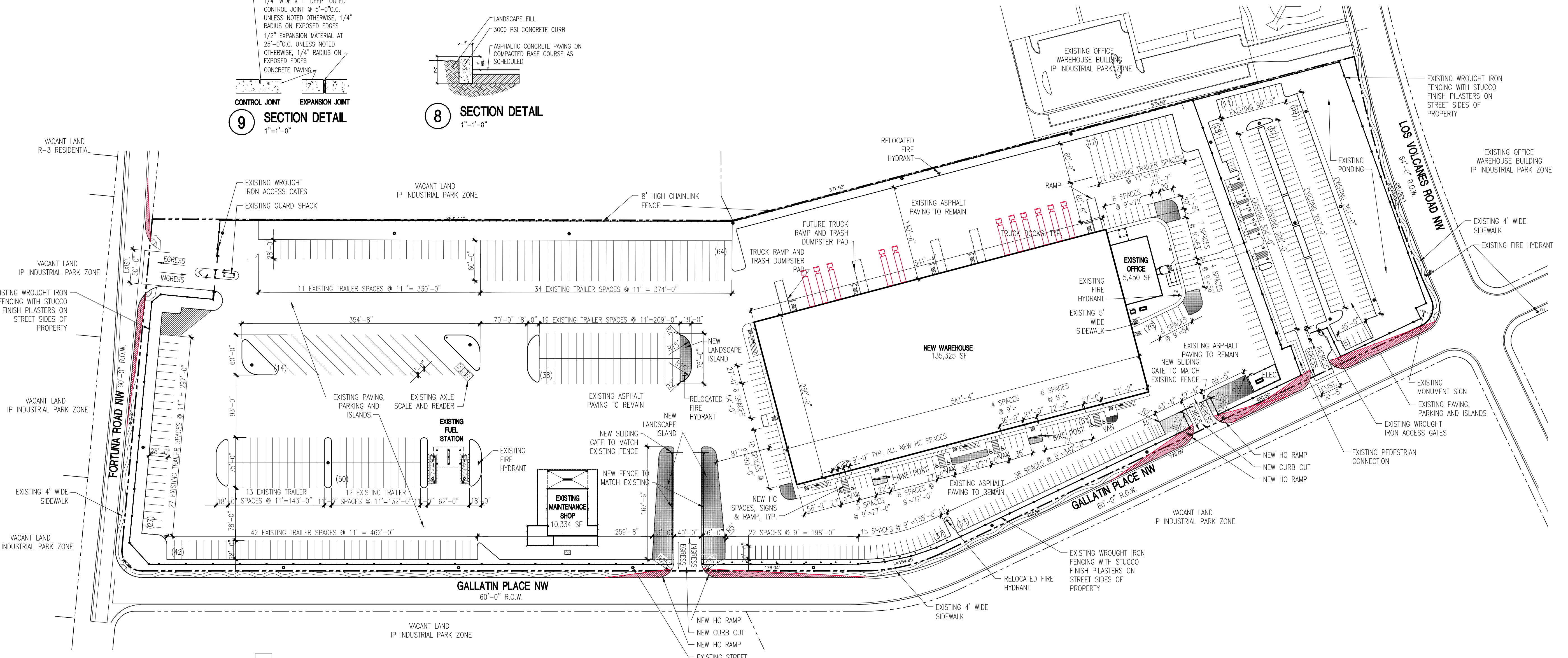
**6 HANDICAP PARKING SIGN**  
1"=1'-0"

**5 MOTORCYCLE PARKING SIGN**  
1"=1'-0"



**9 SECTION DETAIL**  
1"=1'-0"

**8 SECTION DETAIL**  
1"=1'-0"



**1 SITE PLAN**  
1"=80'-0"  
GRAPHIC SCALE

**BRUNACINI DEVELOPMENT**

**TATE FISHBURN ARCHITECT**

PROJECT NO. \_\_\_\_\_  
 APPLICATION NO. \_\_\_\_\_

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE EPC, DATED \_\_\_\_\_ AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES ( ) NO  
 IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN FOR BUILDING PERMIT:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION \_\_\_\_\_ DATE \_\_\_\_\_  
 ABC/MVA \_\_\_\_\_ DATE \_\_\_\_\_  
 PARKS & RECREATION DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_  
 CITY ENGINEER/HYDROLOGY \_\_\_\_\_ DATE \_\_\_\_\_  
 CODE ENFORCEMENT \_\_\_\_\_ DATE \_\_\_\_\_  
 \*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) \_\_\_\_\_ DATE \_\_\_\_\_  
 SOLID WASTE \_\_\_\_\_ DATE \_\_\_\_\_  
 DRB CHAIRPERSON, ALBUQUERQUE PLANNING DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_  
 \*ENVIRONMENTAL HEALTH, IF NECESSARY \_\_\_\_\_ DATE \_\_\_\_\_

ARCHITECT SEAL

STATE OF NEW MEXICO

TATE FISHBURN

REGISTERED ARCHITECT

17-2019

ENGINEER SEAL

PROJECT

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

**7601 LOS VOLCANES ROAD NW**

**ALBUQUERQUE, NEW MEXICO**

REVISIONS

DATE: JANUARY 17, 2019

NORTH SCALE

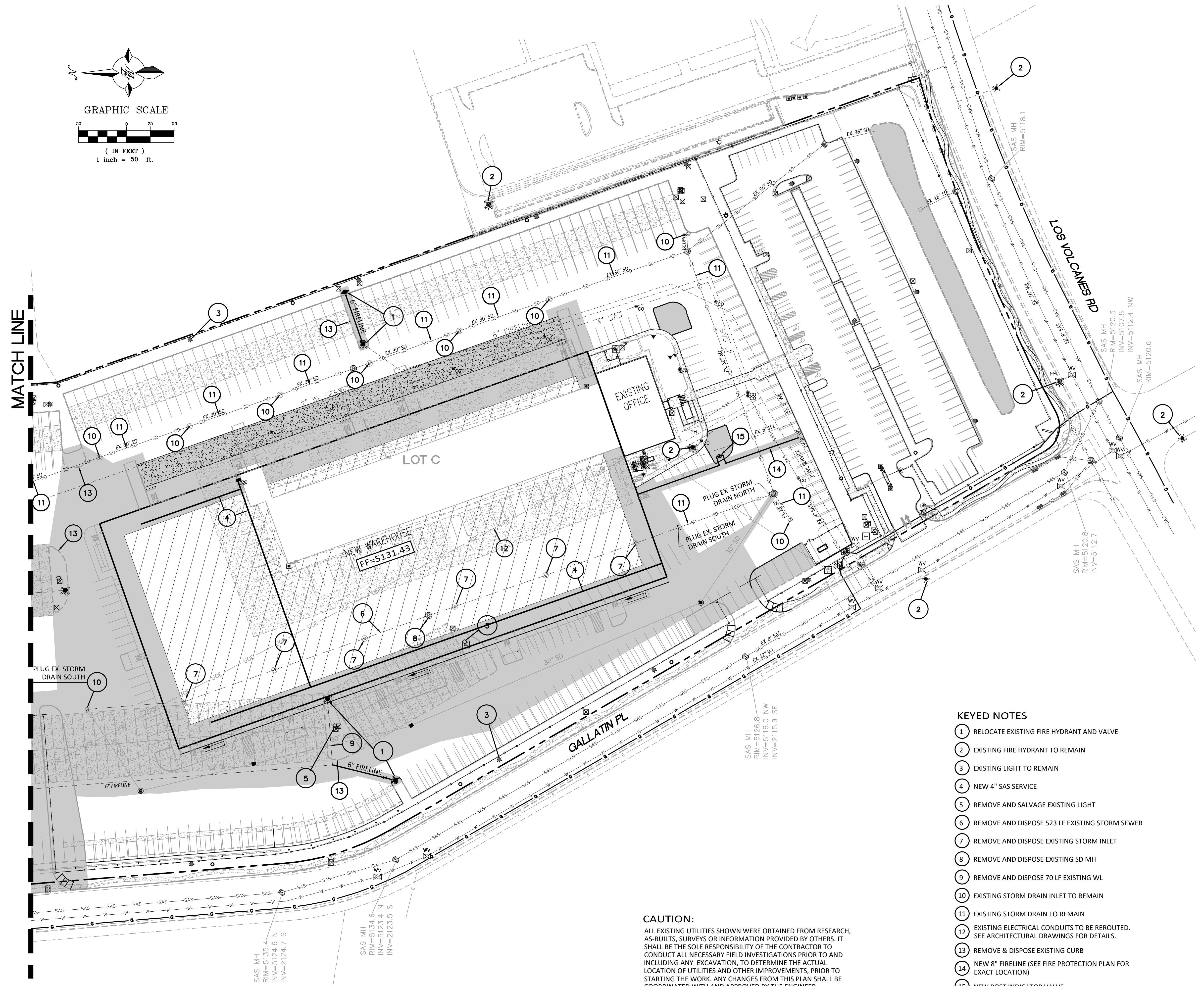
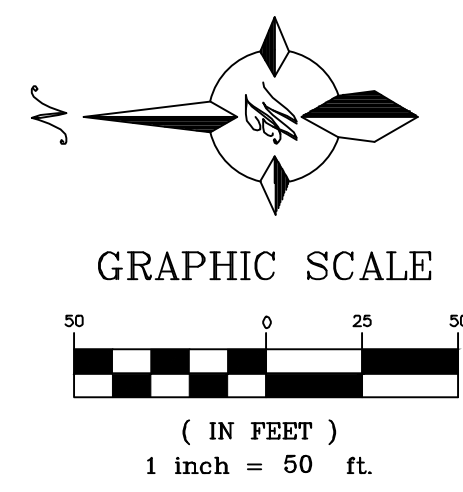
1"=80' OR AS NOTED

DRAWING NAME

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

SHEET NUMBER

**SDP-1**



**LEGEND**

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- BUILDING
- CONCRETE
- LIMITS OF ONSITE CONSTRUCTION
- EXISTING CURB & GUTTER
- EXISTING STORM SEWER LINE (TO REMAIN)
- EXISTING STORM SEWER LINE (TO BE REMOVED) ADJUST EXISTING MH RIM AND INLET GRATE TO GRADE
- EXISTING SANITARY SEWER LINE
- EXISTING WATERLINE (TO REMAIN)
- EXISTING WATERLINE (TO BE REMOVED)
- EXISTING ELECTRIC LINE
- EXISTING SINGLE CLEAN OUT
- DOUBLE CLEAN OUT
- EXISTING SD MANHOLE
- EXISTING SAS MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING POWER POLE
- EXISTING LIGHT STANDARD (TO REMAIN)
- EXISTING LIGHT STANDARD (TO BE REMOVED)
- PROPOSED FIRE HYDRANT

**GENERAL UTILITY NOTES:**

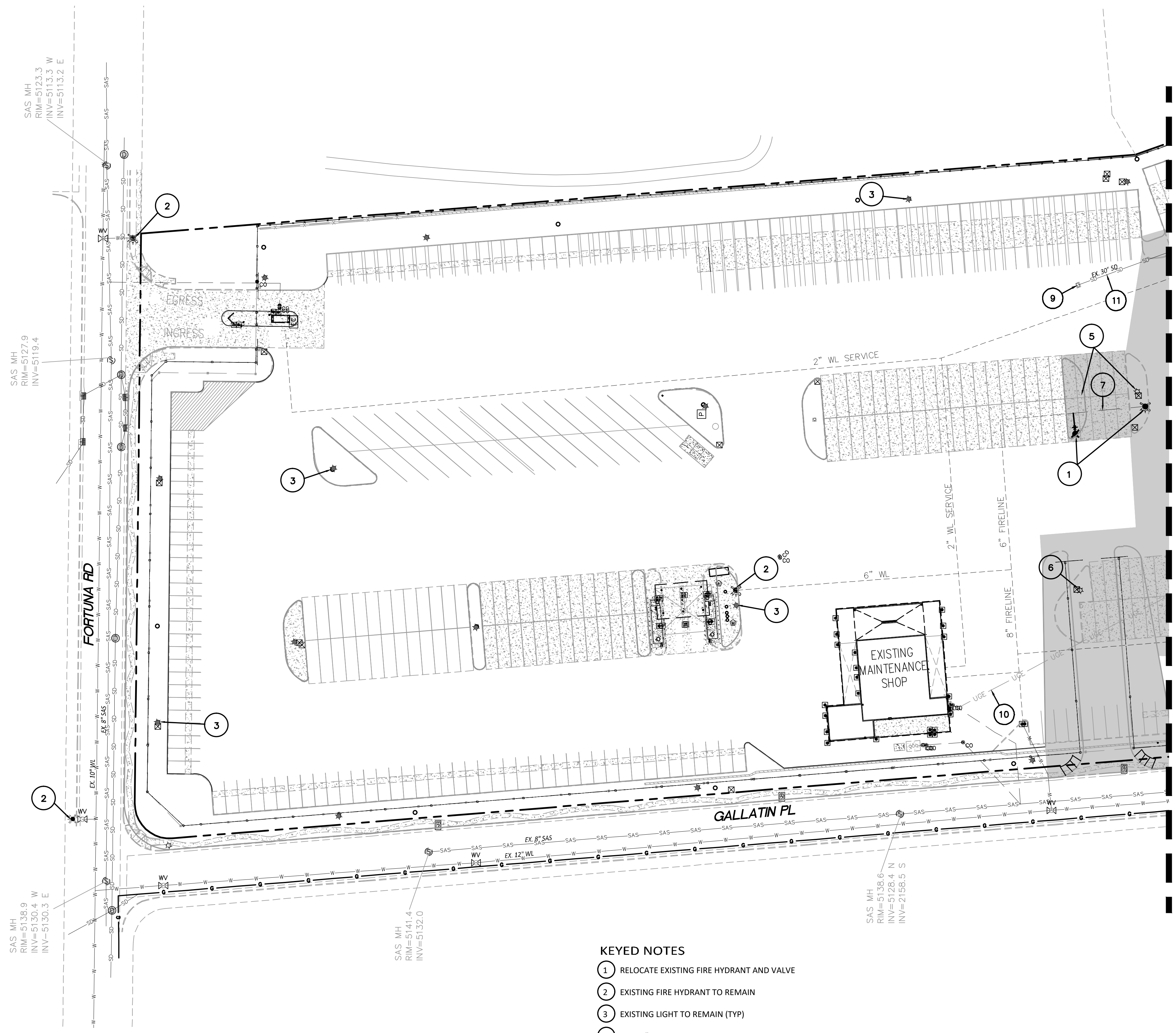
1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
7. ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
10. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
11. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
12. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.
13. ALL BUILDINGS - CONSTRUCTION TYPE IS II-B

**KEYED NOTES**

- 1 RELOCATE EXISTING FIRE HYDRANT AND VALVE
- 2 EXISTING FIRE HYDRANT TO REMAIN
- 3 EXISTING LIGHT TO REMAIN
- 4 NEW 4" SAS SERVICE
- 5 REMOVE AND SALVAGE EXISTING LIGHT
- 6 REMOVE AND DISPOSE 523 LF EXISTING STORM SEWER
- 7 REMOVE AND DISPOSE EXISTING STORM INLET
- 8 REMOVE AND DISPOSE EXISTING SD MH
- 9 REMOVE AND DISPOSE 70 LF EXISTING WL
- 10 EXISTING STORM DRAIN INLET TO REMAIN
- 11 EXISTING STORM DRAIN TO REMAIN
- 12 EXISTING ELECTRICAL CONDUITS TO BE REROUTED. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
- 13 REMOVE & DISPOSE EXISTING CURB
- 14 NEW 8" FIRELINE (SEE FIRE PROTECTION PLAN FOR EXACT LOCATION)
- 15 NEW POST INDICATOR VALVE

**CAUTION:**  
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ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	<b>7601 LOS VOLCANES RD NW          ALBUQUERQUE, NM 87121</b>  <b>MASTER UTILITY          PLAN</b>   5711 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	DRAWN BY pm  DATE 1-25-19  DRAWING 2018074-MU  SHEET # <b>MU-1</b>  JOB # 2018074
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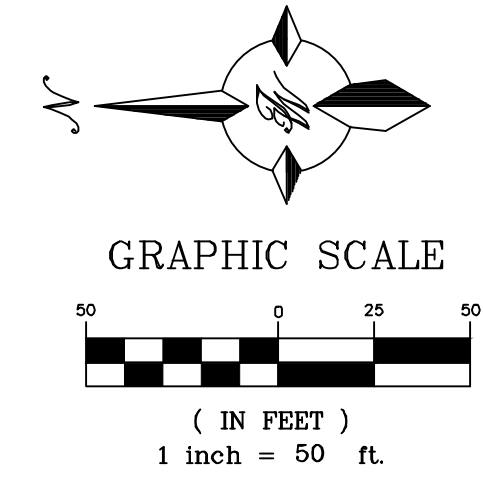
**LEGEND**

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	BUILDING
	CONCRETE
	EXISTING CURB & GUTTER
	EXISTING STORM SEWER LINE (TO REMAIN)
	EXISTING STORM SEWER LINE (TO BE REMOVED) ADJUST EXISTING MH RIM AND INLET GRATE TO GRADE
	EXISTING SANITARY SEWER LINE
	EXISTING WATERLINE (TO REMAIN)
	EXISTING WATERLINE (TO BE REMOVED)
	EXISTING ELECTRIC LINE
	EXISTING SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	EXISTING SD MANHOLE
	EXISTING INLET
	EXISTING SAS MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING POWER POLE
	EXISTING LIGHT STANDARD (TO REMAIN)
	EXISTING LIGHT STANDARD (TO BE REMOVED)
	PROPOSED FIRE HYDRANT

- GENERAL UTILITY NOTES:**
- ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
  - 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
  - REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
  - CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
  - ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
  - FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
  - ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
  - ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
  - ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
  - PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
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  - ALL BUILDINGS - CONSTRUCTION TYPE IS II-B

- KEYED NOTES**
- RELOCATE EXISTING FIRE HYDRANT AND VALVE
  - EXISTING FIRE HYDRANT TO REMAIN
  - EXISTING LIGHT TO REMAIN (TYP)
  - NEW 4" SAS SERVICE
  - REMOVE AND SALVAGE EXISTING LIGHT
  - REMOVE AND SALVAGE EXISTING LIGHT
  - REMOVE AND DISPOSE 62 LF EXISTING WL
  - EXISTING STORM DRAIN TO REMAIN
  - EXISTING STORM DRAIN INLET TO REMAIN
  - EXISTING ELECTRICAL CONDUITS TO BE REROUTED. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.

**CAUTION:**  
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ENGINEER'S SEAL	<b>7601 LOS VOLCANES RD NW ALBUQUERQUE, NM 87121</b>	DRAWN BY pm
	<b>MASTER UTILITY PLAN</b>	DATE 1-25-19
RONALD R. BOHANNAN P.E. #7868	 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	DRAWING 2018074-MU
		SHEET # <b>MU-2</b>
		JOB # 2018074

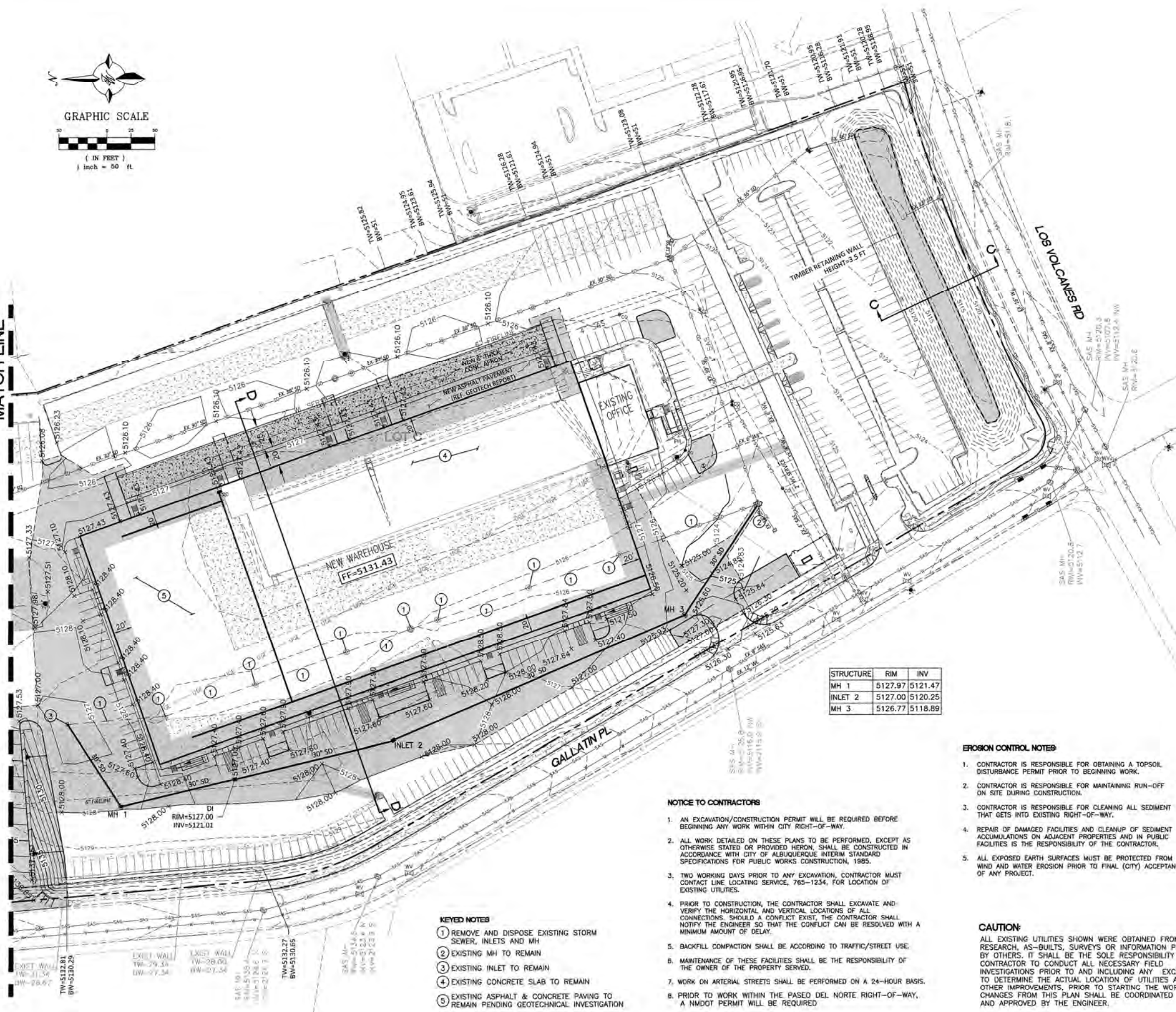


GRAPHIC SCALE



( IN FEET )  
1 inch = 50 ft

MATCH LINE



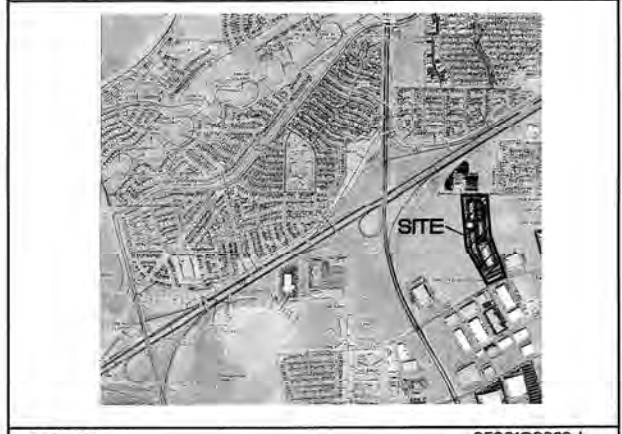
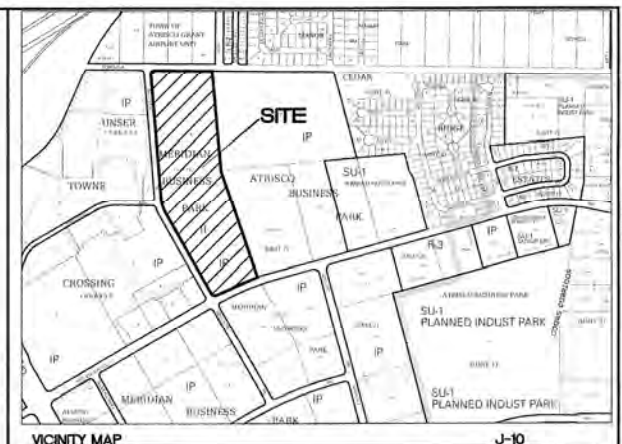
STRUCTURE	RIM	INV
MH 1	5127.97	5121.47
INLET 2	5127.00	5120.25
MH 3	5126.77	5118.89

- NOTICE TO CONTRACTORS**
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
  - ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
  - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
  - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
  - BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
  - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
  - WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
  - PRIOR TO WORK WITHIN THE PAVED DEL NORTE RIGHT-OF-WAY, A NMDOT PERMIT WILL BE REQUIRED.

- KEYED NOTES**
- REMOVE AND DISPOSE EXISTING STORM SEWER, INLETS AND MH
  - EXISTING MH TO REMAIN
  - EXISTING INLET TO REMAIN
  - EXISTING CONCRETE SLAB TO REMAIN
  - EXISTING ASPHALT & CONCRETE PAVING TO REMAIN PENDING GEOTECHNICAL INVESTIGATION

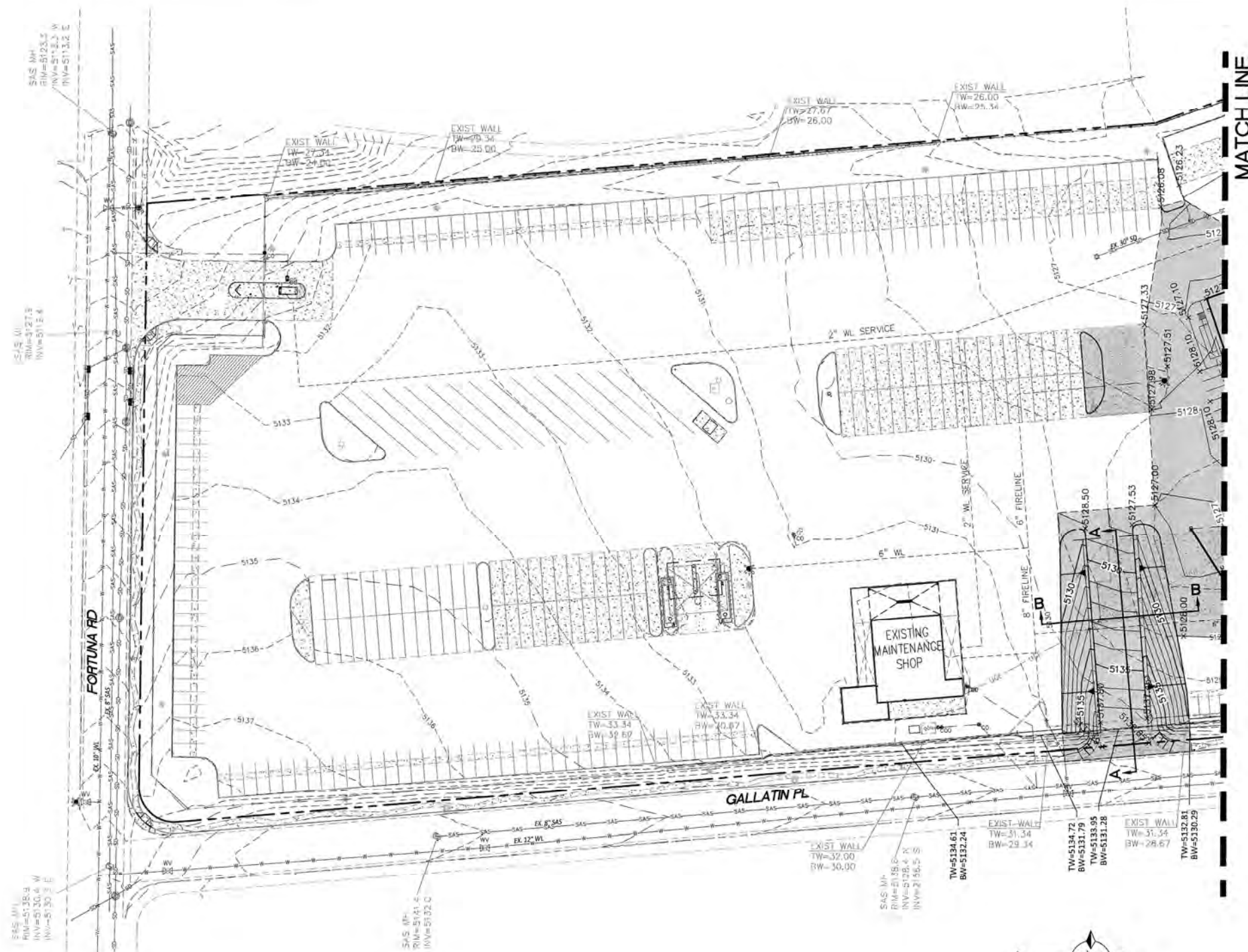
- EROSION CONTROL NOTES**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
  - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
  - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
  - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
  - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

**CAUTION:**  
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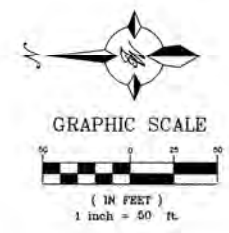
- LEGEND**
- CURB & GUTTER
  - BOUNDARY LINE
  - - - EASEMENT
  - ▭ BUILDING
  - ▭ CONCRETE
  - ▭ LIMITS OF ONSITE CONSTRUCTION
  - EXISTING CURB & GUTTER
  - SD — EXISTING STORM SEWER LINE (TO REMAIN)
  - SD — EXISTING STORM SEWER LINE (TO BE REMOVED) ADJUST EXISTING MH RIM AND INLET GRATE TO GRADE
  - SAS — EXISTING SANITARY SEWER LINE
  - EXISTING WATERLINE (TO REMAIN)
  - EXISTING WATERLINE (TO BE REMOVED)
  - EXISTING ELECTRIC LINE
  - EXISTING SINGLE CLEAN OUT
  - ∞ DOUBLE CLEAN OUT
  - ⊙ EXISTING SD MANHOLE
  - ⊙ EXISTING INLET
  - ⊙ EXISTING SAS MANHOLE
  - ⊙ EXISTING FIRE HYDRANT
  - ⊙ EXISTING WATER METER
  - ⊙ EXISTING POWER POLE
  - ⊙ EXISTING LIGHT STANDARD (TO REMAIN)
  - ⊙ EXISTING LIGHT STANDARD (TO BE REMOVED)
  - ⊙ PROPOSED FIRE HYDRANT

	<b>7601 LOS VOLCANES RD NW</b> <b>ALBUQUERQUE, NM 87121</b>	DRAWN BY pm
	<b>GRADING AND DRAINAGE PLAN</b>	DATE 2-5-19
	<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2018074-GR
RONALD R. BOHANNAN P.E. #7868		SHEET # <b>GR-1</b>
		JOB # 2018074



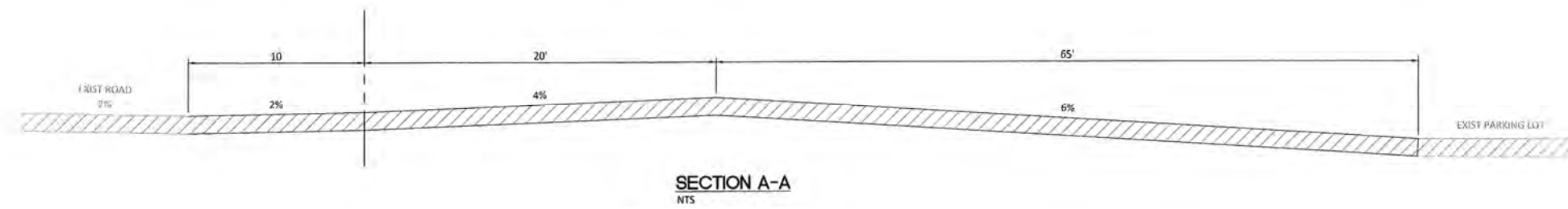
MATCH LINE

- LEGEND**
- CURB & GUTTER
  - BOUNDARY LINE
  - EASEMENT
  - BUILDING
  - CONCRETE
  - LIMITS OF ONSITE CONSTRUCTION
  - EXISTING CURB & GUTTER
  - EXISTING STORM SEWER LINE (TO REMAIN)
  - EXISTING STORM SEWER LINE (TO BE REMOVED)  
ADJUST EXISTING MH RIM AND INLET GRATE TO GRADE
  - EXISTING SANITARY SEWER LINE
  - EXISTING WATERLINE (TO REMAIN)
  - EXISTING WATERLINE (TO BE REMOVED)
  - EXISTING ELECTRIC LINE
  - EXISTING SINGLE CLEAN OUT
  - DOUBLE CLEAN OUT
  - EXISTING SD MANHOLE
  - EXISTING INLET
  - EXISTING SAS MANHOLE
  - EXISTING FIRE HYDRANT
  - EXISTING WATER METER
  - EXISTING POWER POLE
  - EXISTING LIGHT STANDARD (TO REMAIN)
  - EXISTING LIGHT STANDARD (TO BE REMOVED)
  - PROPOSED FIRE HYDRANT

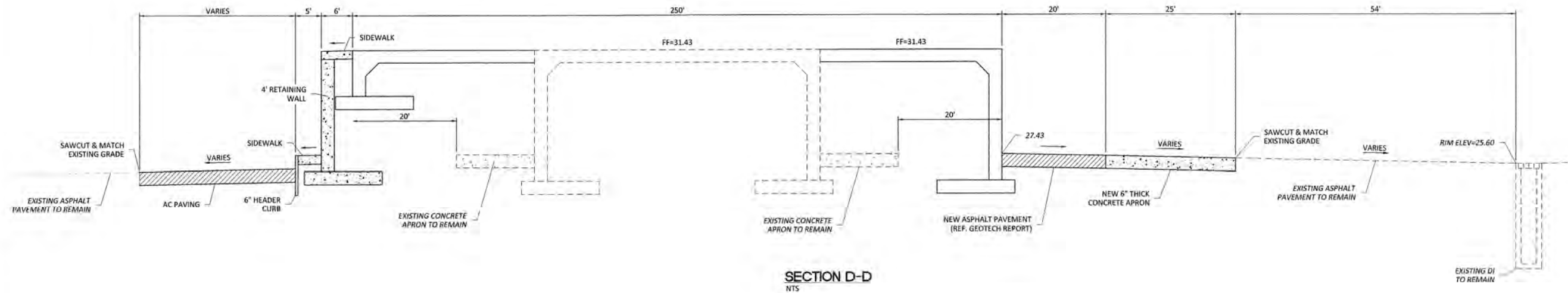


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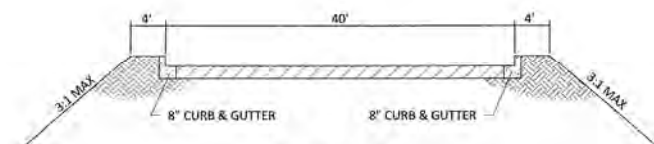
	<b>7601 LOS VOLCANES RD NW</b> <b>ALBUQUERQUE, NM 87121</b>	DRAWN BY pm
	<b>GRADING AND DRAINAGE PLAN</b>	DATE 2-5-19
<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2018074-GR	SHEET # <b>GR-2</b>
RONALD R. BOHANNAN P.E. #7868	JOB # 2018074	



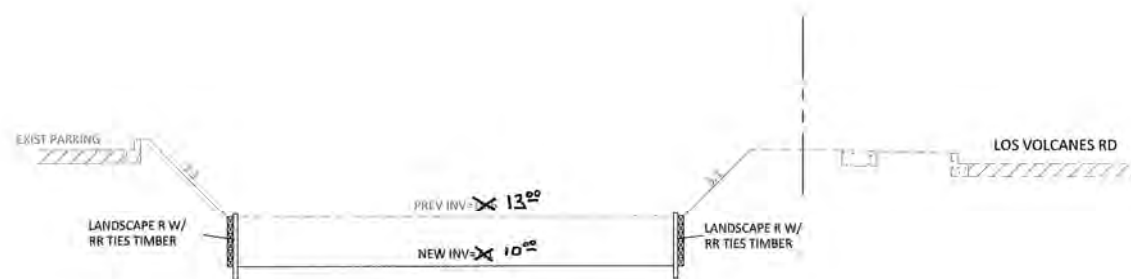
SECTION A-A  
NTS



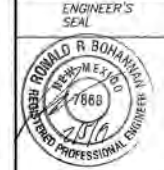
SECTION D-D  
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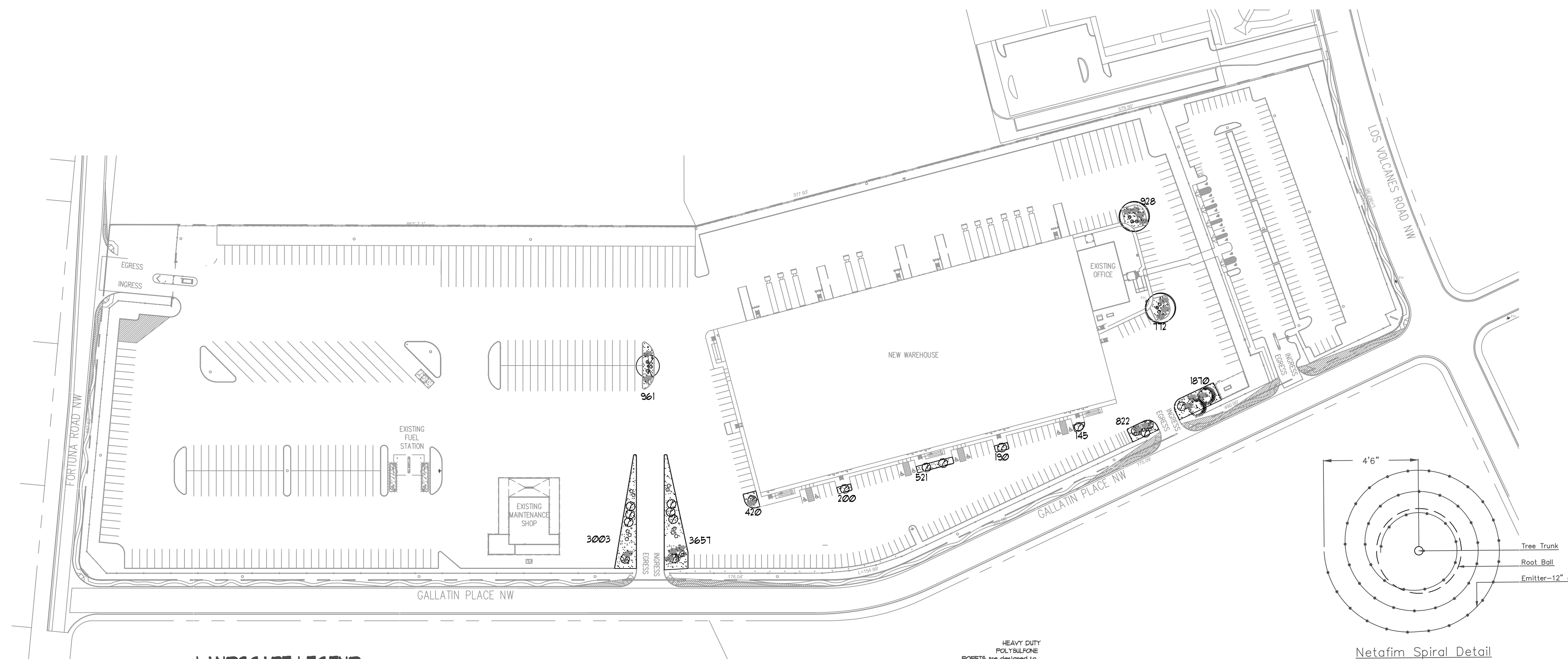


SECTION B-B  
NTS



SECTION C-C  
NTS

 RONALD R. BOHANNAN P.E. #7868	7601 LOS VOLCANES RD NW ALBUQUERQUE, NM 87121	DRAWN BY pm DATE 2-5-19 DRAWING 2018074-GR
	<b>GRADING SECTIONS</b>	SHEET # <b>GR-3</b>
TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com		JOB # 2018074



**LANDSCAPE LEGEND**

QTY	SIZE	COMMON/BOTANICAL	H2O USE
19	15 Gal.	Oklahoma Redbud <i>15x12</i> <i>Cercis reniformis</i>	144 2136 M
2	2" cal	Honey Locust <i>50x45</i> <i>Gleditsia triacanthos</i>	2025 4050 M
1	2" cal	Chinese Flatcane <i>40x35</i> <i>Pistacia chinensis</i>	1225 1225 M
2	6 - 8"	Austrian Pine <i>35x25</i> <i>Pinus nigra</i>	625 1250 M
9	5 Gal	India Hawthorne <i>3x5</i> <i>Raphiolepis indica</i>	25 225 M
22	5 Gal	Wintergreen Barberry <i>3x6</i> <i>Berberis julianae</i>	36 792 M
19	5 Gal	Buffalo Juniper <i>1x12</i> <i>Juniperus sabina 'Buffalo'</i>	144 2136 M
		Landscape Gravel / Filter Fabric <i>3/4" Crushed Grey</i>	
		Total Live Plants	13014
		Total Ground Cover	3153

**EXISTING LANDSCAPE CALCULATIONS**

TOTAL LOT AREA (sf)	976759
TOTAL BUILDING AREA (sf)	42230
TOTAL BUILDING AREA (sf)	15011
TOTAL LOT AREA (sf)	99512
LANDSCAPE REQUIREMENT	X .15
TOTAL LANDSCAPE REQUIRED (15%)	131926
TOTAL EXISTING LANDSCAPE	153081
NEW LANDSCAPE ISLANDS PROPOSED	13489
TOTAL LANDSCAPE AREA	167310
NEW LANDSCAPE ISLANDS PROPOSED	13489
TOTAL GROUND COVER REQUIRED	3372
TOTAL GROUND COVER PROVIDED	3153

**LANDSCAPE NOTES:**

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinances planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinances. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**

Irrigation shall be a complete underground system with Trees to receive 1 Netfim spiral (50' length) with 3 loops at a final radius of 45' from tree trunk, pined in place. Netfim shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 1/2" GPH Drip Emitters. Drip and Bubblers systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

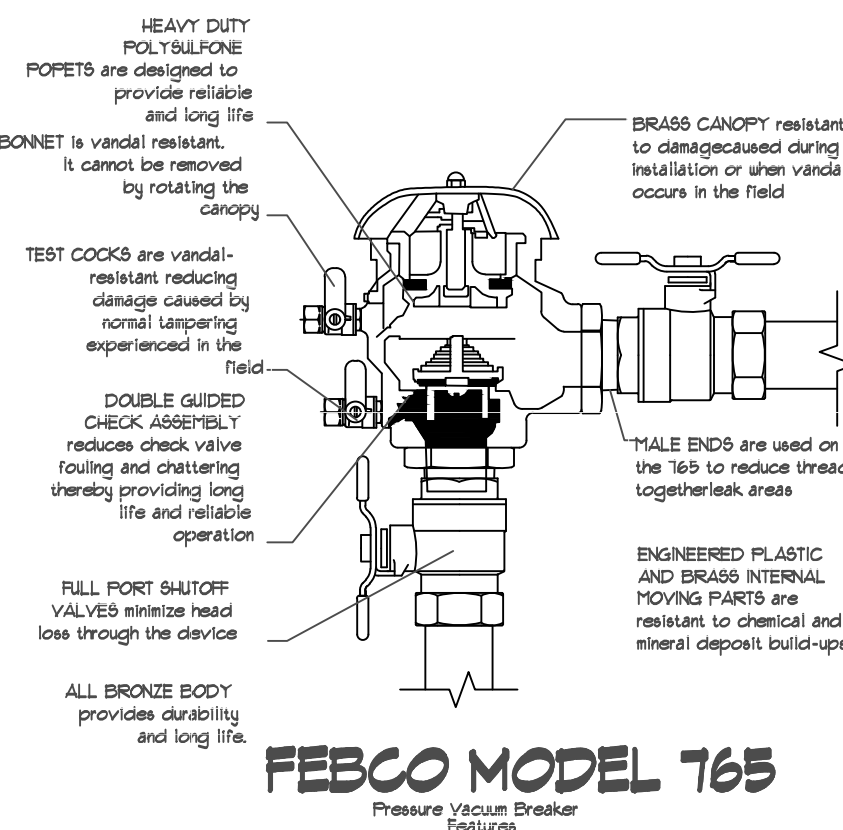
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valves shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

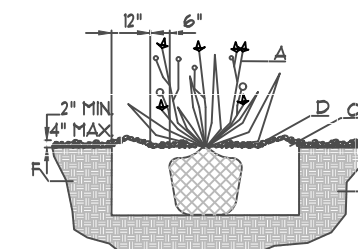
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

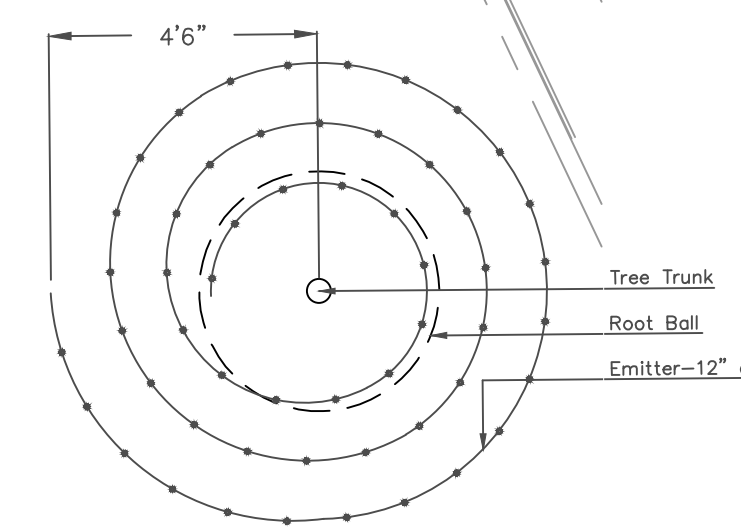


**FEBCO MODEL 765**  
Pressure Vacuum Breaker Features

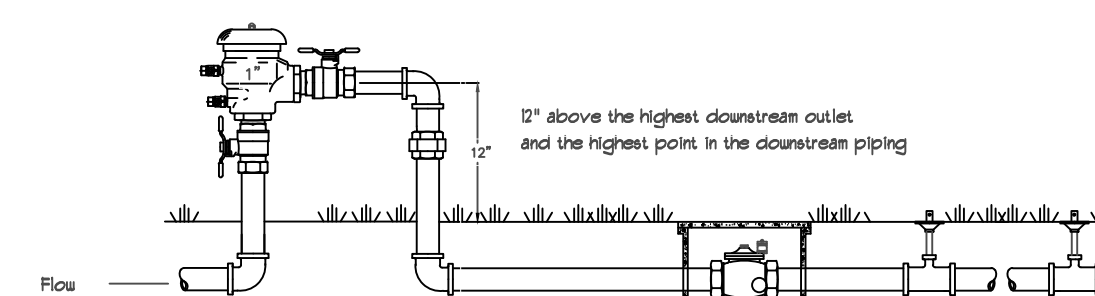


**SHRUB PLANTING DETAIL**  
NTS

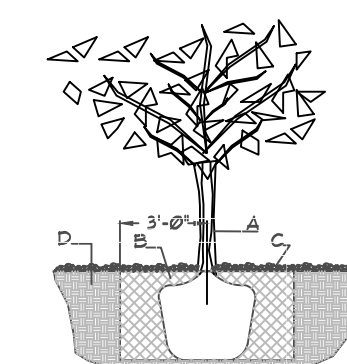
**GENERAL NOTES:**  
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.  
**CONSTRUCTION NOTES:**  
A. SHRUB  
B. BACKFILL WITH EXISTING SOIL  
C. EARTH BERRY AROUND WATER RETENTION BASIN  
D. 3" DEPTH OF GRAVEL MULCH  
E. FINISH GRADE  
F. UNDISTURBED SOIL



**Netfim Spiral Detail**

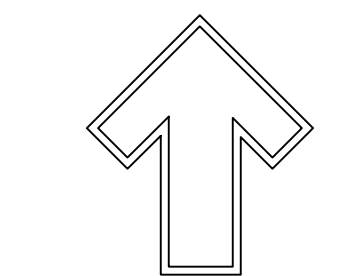
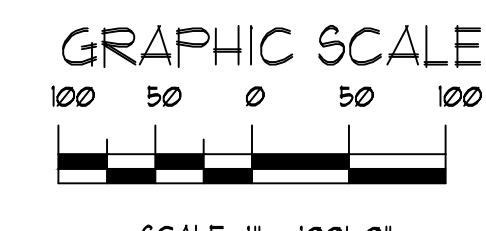


**FEBCO MODEL 765**  
Pressure Vacuum Breaker Outside Installation



**TREE PLANTING DETAIL**  
NTS

**GENERAL NOTES:**  
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.  
2. TOP OF ROOTCIRCLE INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.  
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.  
4. PRIOR TO BACKFILLING ALL BURIALS SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.  
**CONSTRUCTION NOTES:**  
A. TREE  
B. BACKFILL WITH EXISTING SOIL  
C. 3" DEPTH OF GRAVEL MULCH  
D. UNDISTURBED SOIL



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Landscape Architect



Fed Ex Redevelopment  
1601 Los Volcanes NW  
Albuquerque, NM

Landscape Plan

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DRAWN BY: dm  
REVISION: 1  
DATE: 1/24/2019

SHEET #  
LS-101



**EXTERIOR FINISHES**

TILT-UP CONC. PANELS- COLOR 1- LIGHT GRAY  
COLOR 2- MEDIUM GRAY  
COLOR 3- DARK GRAY

METAL ACCENT COLOR- RED

ALUMINUM WINDOW FRAMES- CLEAR ANODIZED

WINDOW GLAZING- 1" TINTED INSULATED  
TINT COLOR- SOLAR GRAY

OVERHEAD & HM DOORS- LIGHT GRAY

ALL BUILDING MOUNTED SIGNAGE TO BE LIGHTED EITHER INTERNALLY OR EXTERNALLY. ANY LIGHTING FOR SIGNAGE SHALL CONFORM TO NIGHT SKIES ACT. SIGNAGE MATERIAL TO BE EITHER RAISED METAL LETTERING OR TRANSLUCENT LEXAN PANELS OF ANY COLOR.

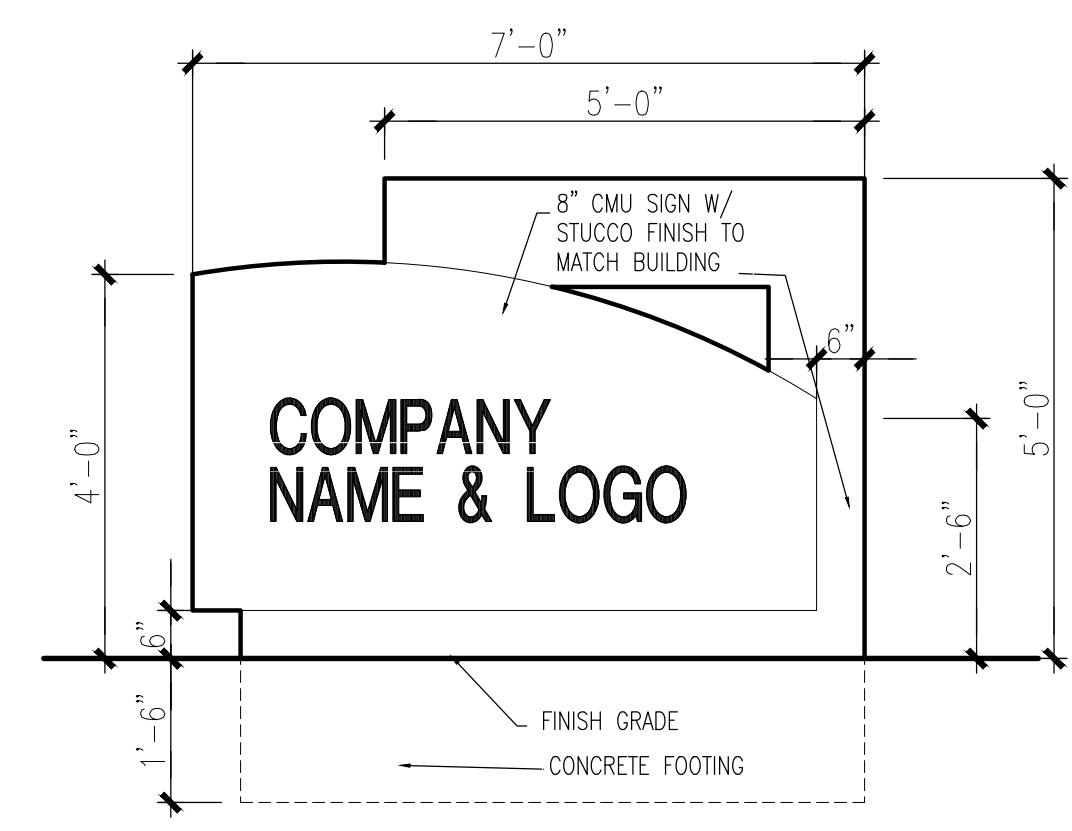
NOTE: SIGNAGE MAY BE AMENDED PROVIDED IT COMPLIES WITH THE ATRISCO BUSINESS PARK MASTERPLAN REGULATIONS.

**BUILDING SIGNAGE CALCS:**

WEST ELEVATION- BLDG. AREA-2,850 S.F. SIGNAGE- 150 S.F.  
150 / 2850 = 5%

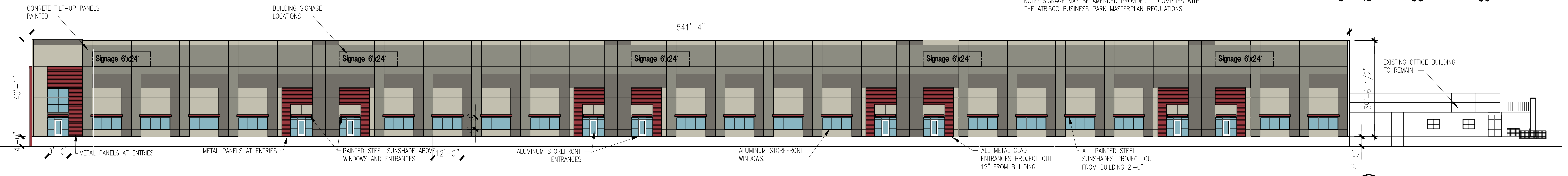
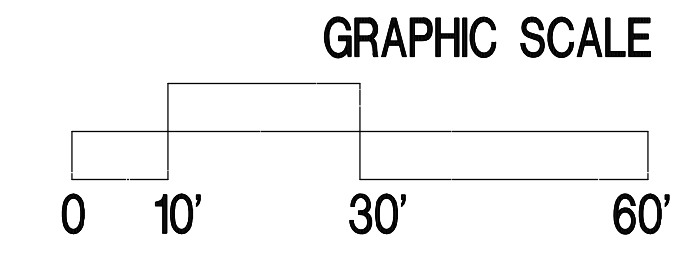
EAST ELEVATION- BLDG. AREA-4,515 S.F. SIGNAGE- 366 S.F.  
361 / 4515 = 8%

NORTH ELEVATION- BLDG. AREA-7,246 S.F. SIGNAGE- 334 S.F.  
334 / 7246 = 4.6%

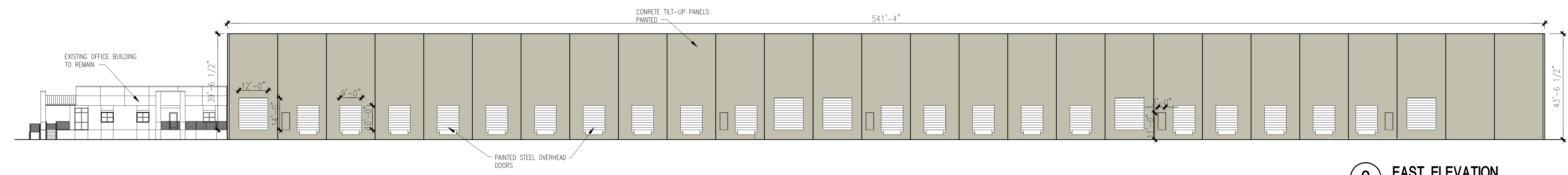


**5 MONUMENT SIGN**  
1/2"=1'-0"

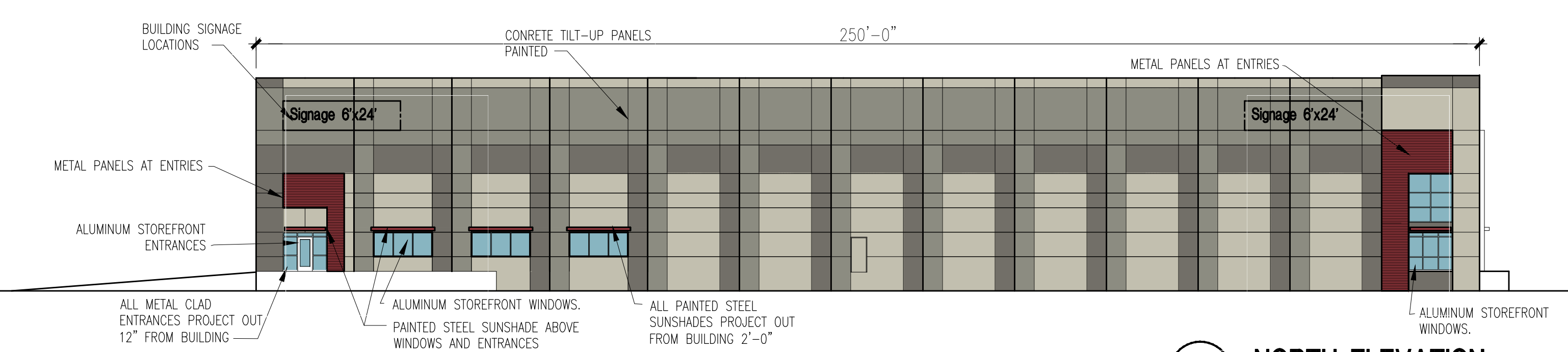
NOTE: SIGNAGE MAY BE AMENDED PROVIDED IT COMPLIES WITH THE ATRISCO BUSINESS PARK MASTERPLAN REGULATIONS.



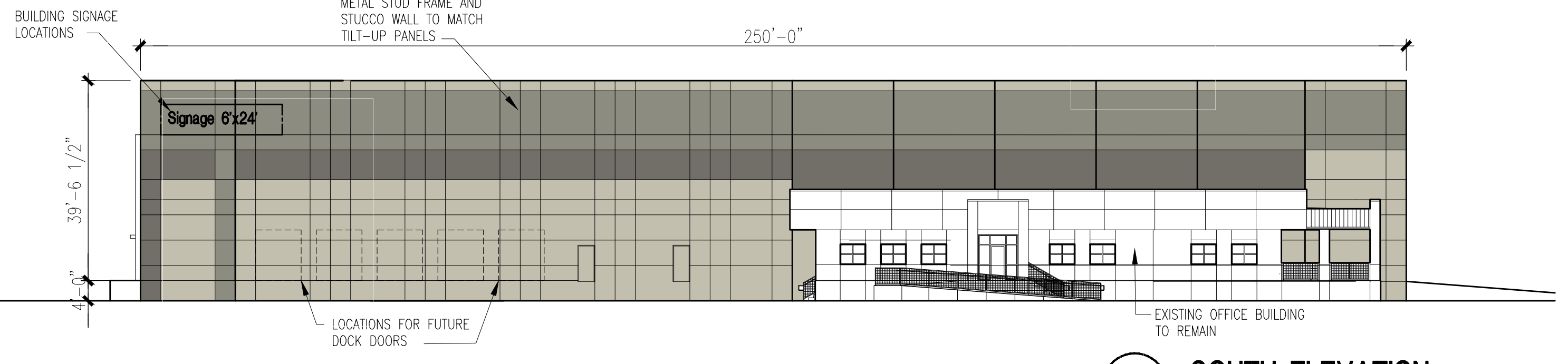
**4 WEST ELEVATION**  
1"=20'-0"



**3 EAST ELEVATION**  
1"=20'-0"



**2 NORTH ELEVATION**  
1"=20'-0"



**1 SOUTH ELEVATION**  
1"=20'-0"

SITE DEVELOPMENT PLAN  
FOR BUILDING PERMIT  
7601 LOS VOCANES ROAD NW  
ALBUQUERQUE, NEW MEXICO

REVISIONS

DATE JANUARY 17, 2019

SCALE 1/20"=1'-0"

DRAWING NAME ELEVATIONS

SHEET NUMBER SDP-2