



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS		<input checked="" type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2)	
<input type="checkbox"/> Major – Preliminary Plat (Form P1)	<input type="checkbox"/> Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)	
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	MISCELLANEOUS APPLICATIONS		<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Major - Final Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)	
<input type="checkbox"/> Amendment to Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS	
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)	
	<input type="checkbox"/> Sidewalk Waiver (Form V2)		
SITE PLANS		<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)	

BRIEF DESCRIPTION OF REQUEST

Major Site Plan Amendment to allow for construction of two new building and associated site modifications.
Plan has been reviewed and approved by EPC.

APPLICATION INFORMATION

Applicant: **La Vida Llena (Joe Gomez)** Phone: **505-991-5557**
 Address: **10501 Lagrima De Oro Road NE** Email: **jgomez@lavidallena.com**
 City: **Albuquerque** State: **NM** Zip: **87111**
 Professional/Agent (if any): **The Deign Group (David Aube)** Phone: **505-998-6430**
 Address: **120 Vassar Drive SE, Suite 100** Email: **daube@designgroupnm.com**
 City: **Albuquerque** State: **NM** Zip: **87106**
 Proprietary Interest in Site: **Owner** List all owners: **La Vida Llena**

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)


Lot or Tract No.: **La Vida Llena** Block: **0000** Unit:
 Subdivision/Addition: **La Vida Llena** MRGCD Map No.: UPC Code: **102106137909740340**
 Zone Atlas Page(s): **F-21-Z** Existing Zoning: **RM-L** Proposed Zoning **RM-L**
 # of Existing Lots: **1** # of Proposed Lots: **1** Total Area of Site (Acres): **16.89**

LOCATION OF PROPERTY BY STREETS

Site Address/Street: **La Vida Llena** Between: **La Vida Llena** and: **La Vida Llena**

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

#2019-002114 (1003807), SI-2019-00117, VA-2019-00152, VA-2019-00179, SP-82-12

Signature:  Date: **8-6-2019**
 Printed Name: **La Vida Llena** Applicant or Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting Date: Fee Total:
 Staff Signature: Date: Project #

FORM P2: SITE PLAN – DRB


Please refer to the DRB public meeting schedules for meeting dates and deadlines. Your attendance is required.

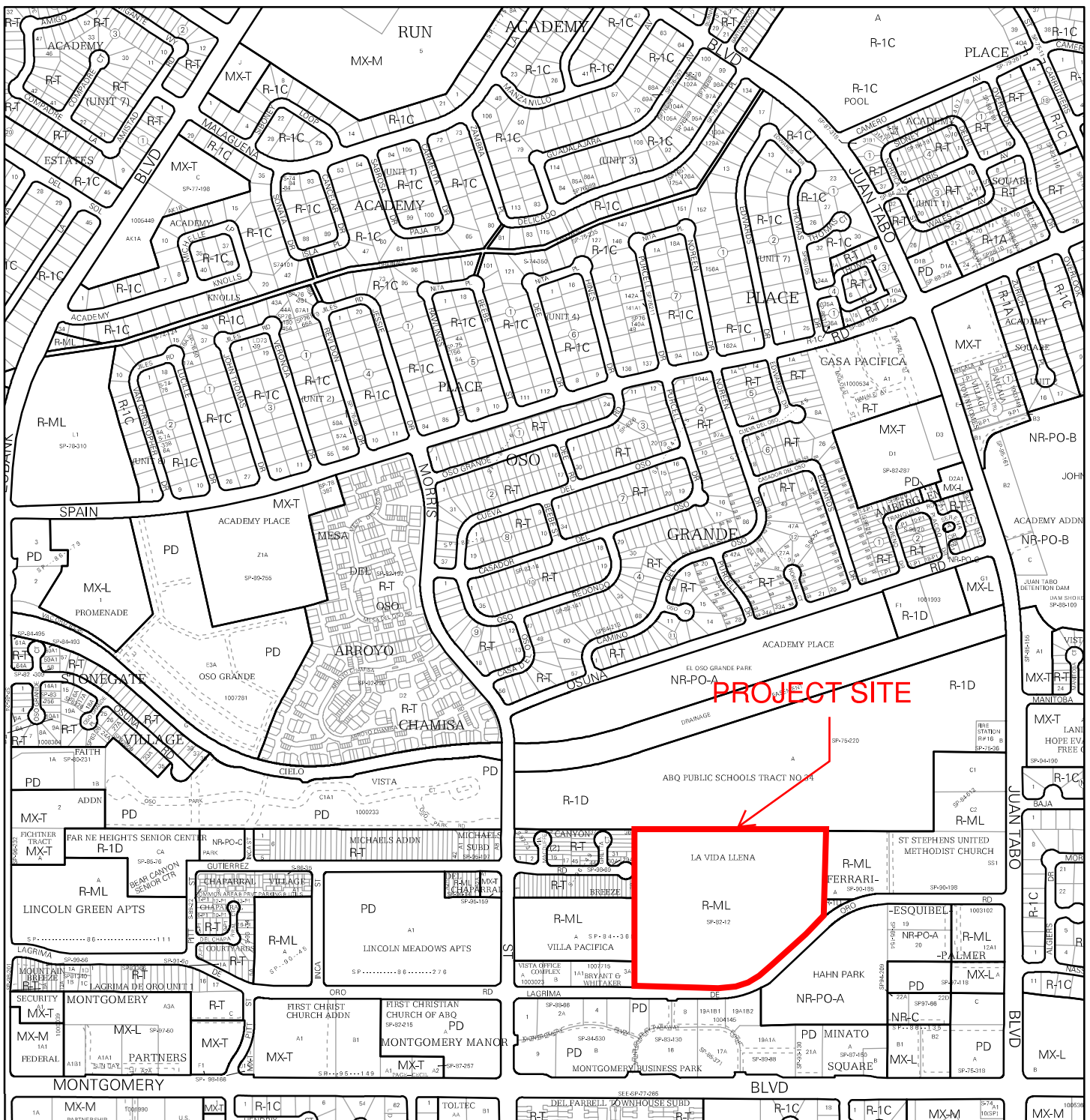
A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form P2 at the front followed by the remaining documents in the order provided on this form.

- SITE PLAN – DRB**
- MAJOR AMENDMENT TO SITE PLAN – DRB**
- EXTENSION OF SITE PLAN – DRB**
 - ___ Interpreter Needed for Hearing? ___ if yes, indicate language: _____
 - ___ PDF of application as described above
 - ___ Zone Atlas map with the entire site clearly outlined and labeled
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) (not required for Extension)
 - ___ Signed Traffic Impact Study (TIS) Form
 - ___ Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information (not required for Extension)
 - ___ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(G)(3)
 - ___ Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(O)
Note: If requesting more than allowed by deviation, a Variance – ZHE or Variance – DRB will be required, as applicable.
 - ___ Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B) (not required for Extension)
 - ___ Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)
 - ___ Office of Neighborhood Coordination neighborhood meeting inquiry response
 - ___ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
 - ___ If a meeting was requested or held, copy of sign-in sheet and meeting notes
 - ___ Sign Posting Agreement
 - ___ Required notices with content per IDO Section 14-16-6-4(K)(6)
 - ___ Office of Neighborhood Coordination notice inquiry response
 - ___ Copy of notification letter and proof of first class mailing
 - ___ Proof of emailed notice to affected Neighborhood Association representatives
 - ___ Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, and proof of first class mailing
 - ___ Completed Site Plan Checklist
 - ___ Site Plan and related drawings (7 copies, 24" x 36" folded to fit into an 8.5" x 14" pocket)
 - ___ Copy of the original approved Site Plan or Master Development Plan (for amendments only) (1 copy, 24" x 36")
 - ___ Site Plan and related drawings reduced to 8.5" x 11" format (1 copy)
 - ___ Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone
 - ___ Infrastructure List, if required
- FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC**
 - N/A Interpreter Needed for Hearing? NO if yes, indicate language: _____
 - PDF of application as described above
 - Zone Atlas map with the entire site clearly outlined and labeled
 - Letter of authorization from the property owner if application is submitted by an agent
 - Solid Waste Department signature on Site Plan
 - Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
 - Approved Grading and Drainage Plan
 - Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (not required for Master Development Plans)
 - Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
 - Site Plan and related drawings (7 copies, 24" x 36" folded to fit into an 8.5" x 14" pocket)
 - Site Plan and related drawings reduced to 8.5" x 11" format (1 copy)
 - Infrastructure List, if required

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting, if required, or otherwise processed until it is complete.

Signature: <u>David A. Aube</u>	Date: <u>8-6-19</u>
Printed Name: <u>DAVID A AUBE</u>	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY	
Case Numbers:	Project Number:
Staff Signature:	
Date:	



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:
F-21-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading Represents Area Outside of the City Limits

0 250 500 1,000 Feet

February 13, 2019

Dan Serrano, Chairman
Environmental Planning Commission
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87102

Dear Mr. Serrano,

The purpose of this letter is to provide authorization to Consensus Planning and Hartman + Majewski Design Group to act as our agents on behalf of La Vida Llena (owner of the property) for all requests related to the proposed expansion at 10501 Lagrima Del Oro NE. This includes an Administrative Amendment that will be submitted to the City Planning Director and a subsequent Major Site Plan Amendment to the Environmental Planning Commission (EPC).

Sincerely,



E. DeAnn Eaton
Chief Executive Officer
Haverland Carter Lifestyle Group



5

PROJECT LOCATION:

10701 Lagrima de Oro, NE
between Morris Street NE
and Juan Tabo Blvd. NE

LEGAL DESCRIPTIONS:

AMENDED PLAT LAND IN Sec
33, T11N, R4E, LA VIDA
LLENA Containing 16.89 AC.

ZONE ATLAS PAGE:

F-21-Z

TOTAL ACREAGE:

16.8937 ACRES

EXISTING ZONING:

R-ML Multi-family Low
Density

PROPOSED USES:

Independent Living, Assisted
Living, Memory Care and
Skilled Nursing Facility

LANDS OF
FERRARI-ESQUIBEL-PALMER
PLAT 10-1-1988, NE 1/4 Sec 34

PROJECT NUMBER: _____

Application Number: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	_____	Date	_____
ABCWUA	_____	Date	_____
Parks and Recreation Department	_____	Date	_____
City Engineer/Hydrology	_____	Date	_____
Code Enforcement	_____	Date	_____
* Environmental Health Department (conditional)	_____	Date	9/5/19
<i>John Miller</i> Solid Waste Management	_____	Date	_____
DRB Chairperson, Planning Department	_____	Date	_____

*Environmental Health, if necessary

July 31, 2019

Chair
Debbie O'Malley
County of Bernalillo
Commissioner, District 1

Vice Chair
Klarissa J. Peña
City of Albuquerque
Councilor, District 3

Maggie Hart Stebbins
County of Bernalillo
Commissioner, District 3

Trudy E. Jones
City of Albuquerque
Councilor, District 8

Timothy M. Keller
City of Albuquerque
Mayor

Steven Michael Quezada
County of Bernalillo
Commissioner, District 2

Ken Sanchez
City of Albuquerque
Councilor, District 1

Ex-Officio Member
Pablo R. Rael
Village of Los Ranchos
Board Trustee

Executive Director
Mark S. Sanchez

Website
www.abcwua.org

David Aube
Design Group
120 Vassar Dr. SE, Suite 100
Albuquerque, New Mexico 87106

**RE: Water and Sanitary Sewer Availability Statement #190606
La Vida Llena
10501 LAGRIMA DE ORO RD NE**

Dear Mr. Aube:

Project Description: The subject site is located on Lagrima De Oro Rd. east of Morris St. within the City of Albuquerque. The proposed development consists of approximately 16.9 acres and the property is currently zoned R-ML for multifamily low density. The property lies within the Pressure Zone 6E in the Montgomery trunk. The request for availability indicates plans to construct a new, five story, 76,100 square foot, assisted living/independent living/health care rooms as well as a new 3 story, 47,400 square foot, assisted living facility.

Existing Conditions: Water infrastructure in the area consists of the following:

- Eight-inch PVC distribution main (project #26-1406.83) along Lagrima De Oro Rd.
- Eight-inch PVC distribution main (project #26-1406-83) transecting a northeastern section of the site.
- Ten-inch AC distribution main (project #20-049-28-80) along the north property border.

Sanitary sewer infrastructure in the area consists of the following:

- Eight-inch PVC collector line (project #26-1646-86) along Lagrima De Oro Rd.

Water Service: New metered water service to the property can be provided via routine connection to the existing infrastructure mentioned within the "Existing Conditions" section of this document. From the Fire Marshal approved "Fire One Plan" and supporting proposed "Utility Plans" it is understood that a section of onsite public water line as well as an existing service will need to be relocated to accommodate the proposed development. For this reason, service to the new buildings is contingent upon relocation of the affected waterline, relocation of the existing service, and installation of the three required fire hydrants. Due to the nature of the hydrants and their preclusion from use by adjacent properties, the proposed hydrants are to be considered private. All proposed public distribution main shall be within a dedicated 20-foot public waterline easement and the meter service shall be centered within a 35 X 35-foot public water meter vault easement. Please note that all public infrastructure shall be located in alignments conducive to operating and maintaining of the infrastructure.

All metered service and fire lines that will not be utilized are to be removed by shutting the valve near the distribution main and capping the line near the valve. For fire lines, the valve access shall be grouted and collar removed. Service is also contingent upon compliance with the Fire Marshal's instantaneous fire flow requirements. Water service will not be sold without adequate fire protection. Water service will only be sold in conjunction with sanitary sewer service.

Sanitary Sewer Service: Sanitary sewer service can be provided via routine connection to the existing infrastructure mentioned within the "Existing Conditions" section of this document. All food service establishments must install a grease trap upstream of the domestic private sewer connection prior to discharge into the public sanitary sewer lines.

Fire Protection: From the request for availability the instantaneous fire flow requirements for the project are 2,625 gallons-per-minute and three new hydrants. As modeled using InfoWater™ computer software, the fire flow can be met. Analysis was performed by simulating the desired flow from existing hydrant 365 internal to the site. Any changes to the proposed connection points shall be coordinated through Utility Development. All new required hydrants as well as their exact locations must be determined through the City of Albuquerque Fire Marshal's Office and verified through the Utility Development Office prior to sale of service. Please note that the engineer designing the fire line is responsible for determining pressure losses and sizing of the private water line(s) downstream of the public water line to serve the proposed fire hydrants and/or fire suppression system.

Cross Connection Prevention: Per the Cross Connection Ordinance, all new non-residential premises must have a reduced pressure principle backflow prevention assembly approved by the Water Authority and installed at each domestic service connection at a location accessible to the Water Authority. All new fire line services to fire protection systems shall be equipped with a reduced pressure principle backflow prevention assembly approved by the Water Authority and Fire Marshal having jurisdiction at each service connection. A double check valve assembly approved by the Water Authority and Fire Marshal having jurisdiction may be installed instead of a reduced pressure backflow prevention assembly provided the fire protection system contains ANSI/NSF Standard 60 or 61 water piping throughout the entire fire protection system, the fire sprinkler drain discharges into atmosphere, and there are no reservoirs, fire department connections, connections from auxiliary water supplies, antifreeze nor other additives. The Water Authority requests that all backflow (containment) devices be located above ground just outside the easement or roadway right-of-way. Contact Cross Connection at 289-3439 for more information.

Easements: Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated rights-of-way. A minimum width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. Easements for standard sized water meters need to be five feet by five feet and include the length of the water service if located on private property. For larger meters that require a meter vault, a 35 feet by 35 feet easement is required. Actual easement widths may vary depending on the depth of the

lines to be installed. Acceptable easements must be documented prior to approval of service.

Pro Rata: Pro Rata is not owed and the property can utilize the services available upon completion of the requirements of this statement to connect to water and sanitary sewer.

Design and Construction of all required improvements will be at the developer / property owner's expense. Improvements must be coordinated through the City of Albuquerque via the Work Order process. Designs must be performed by a licensed, New Mexico registered, professional engineer. Construction must be performed by a licensed and bonded public utility contractor.

Costs and Fees: In addition to installation and construction costs, any new metered water services will be subject to both water and sanitary sewer Utility Expansion Charges (UEC) payable at the time of service application. All charges and rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized.

Water Use: Where available, outdoor water usage shall utilize reclaimed water. All new commercial developments shall be subject to the requirements for water usage and water conservation requirements as defined by the Water Authority, particularly the Water Waste Ordinance. Where available, outdoor water usage shall utilize reclaimed water.

Closure: This availability statement provides a commitment from the Water Authority to provide services to the development, as long as identified conditions are met. It will remain in effect for a period of one year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at kcadena@abcwua.org if you have questions regarding the information presented herein or need additional information.

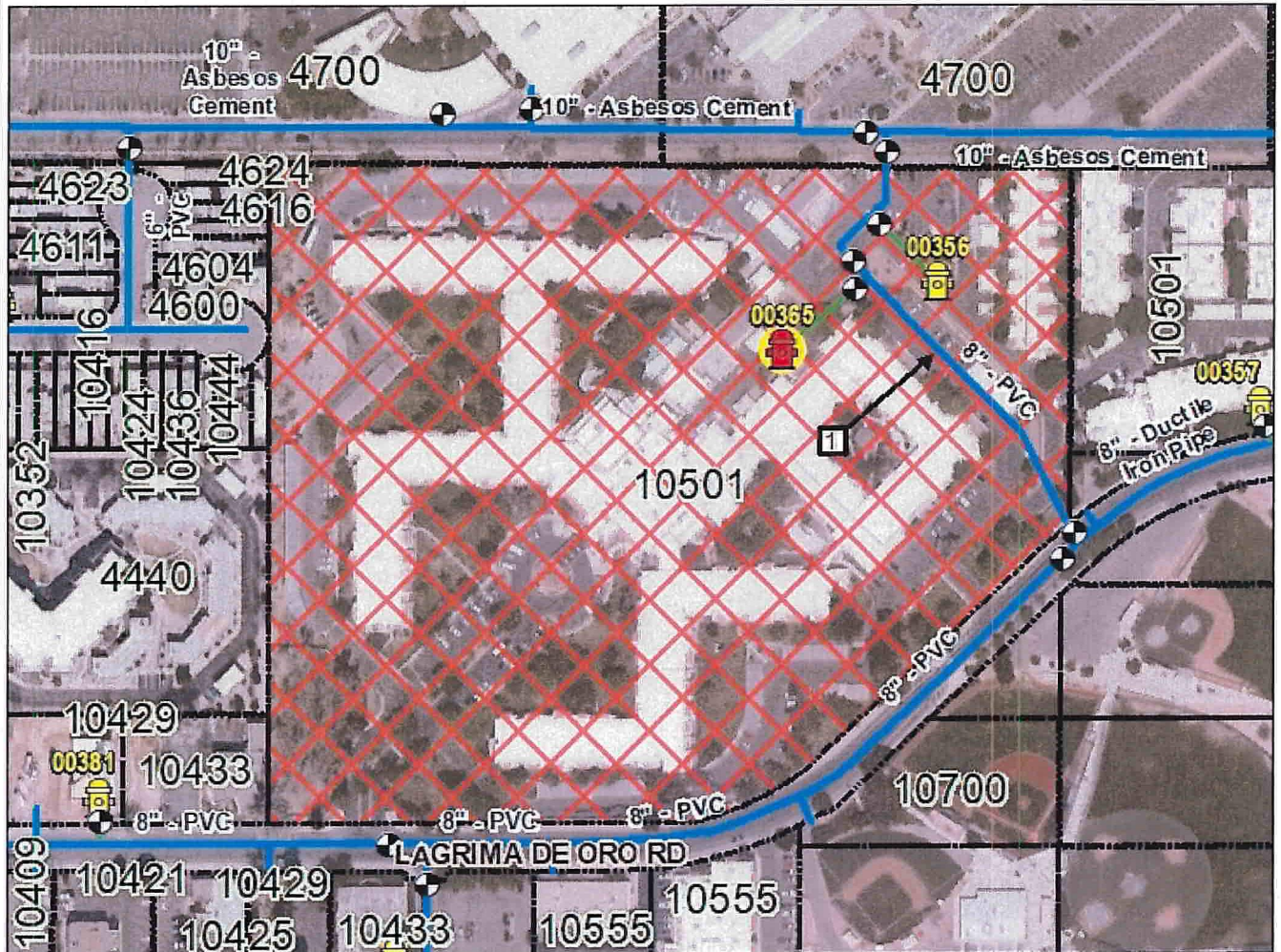
Sincerely,



Mark S. Sanchez
Executive Director

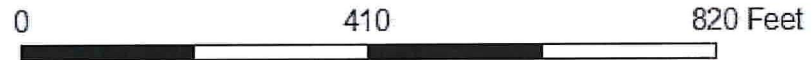
Enclosures: Infrastructure Maps (2)
f/ Availability Statement190606



190606 - Water



Legend

-  Valve
-  Analysis Point
-  Hydrant



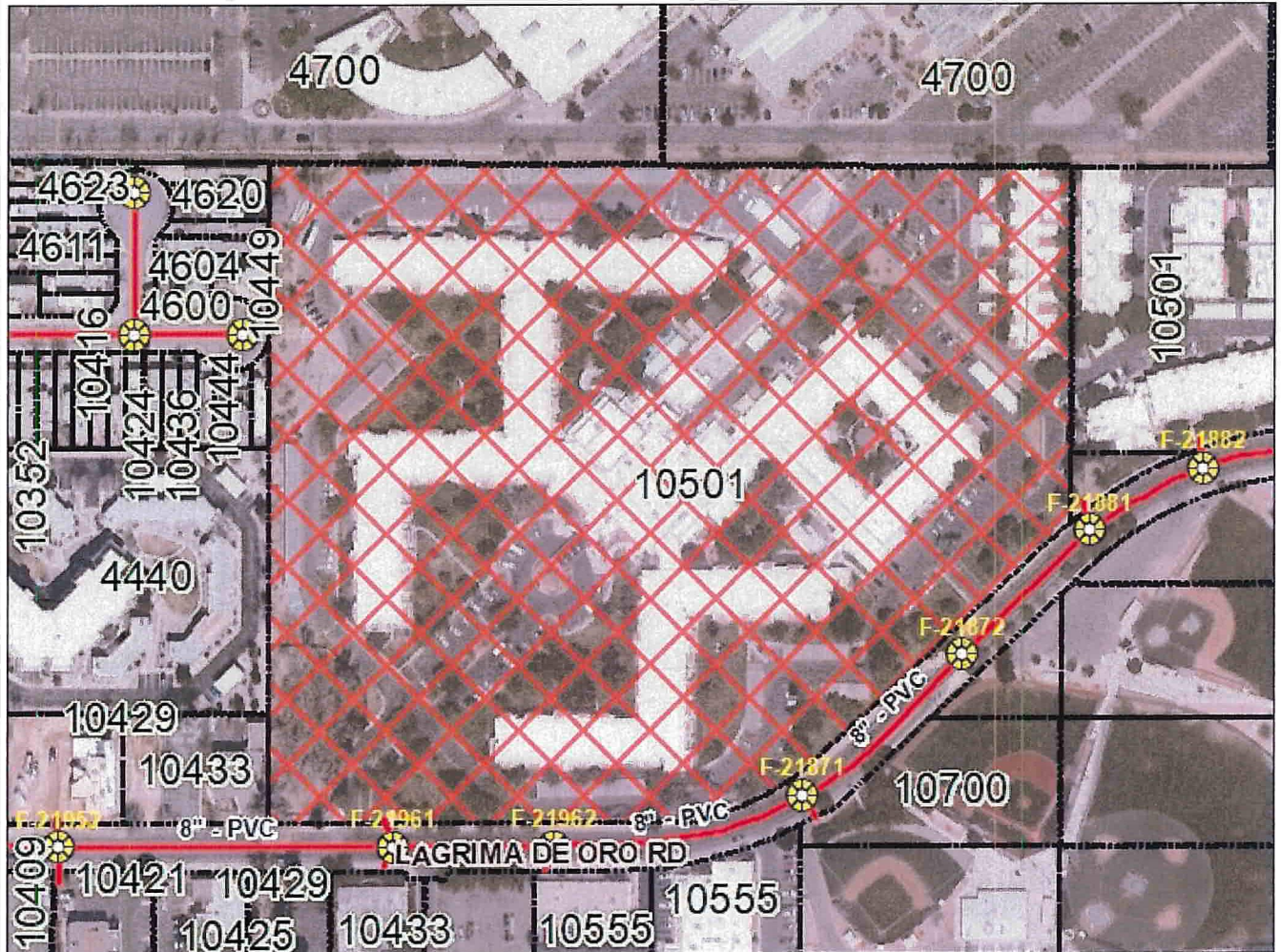
-  --- General Map Keyed Notes
-  1. --- Line to be relocated

Pipe

SUBTYPE

-  Distribution Line
-  Hydrant Leg
-  Project Location

190606 - Sanitary Sewer



Legend

 Sewer Manhole

Sewer Pipe

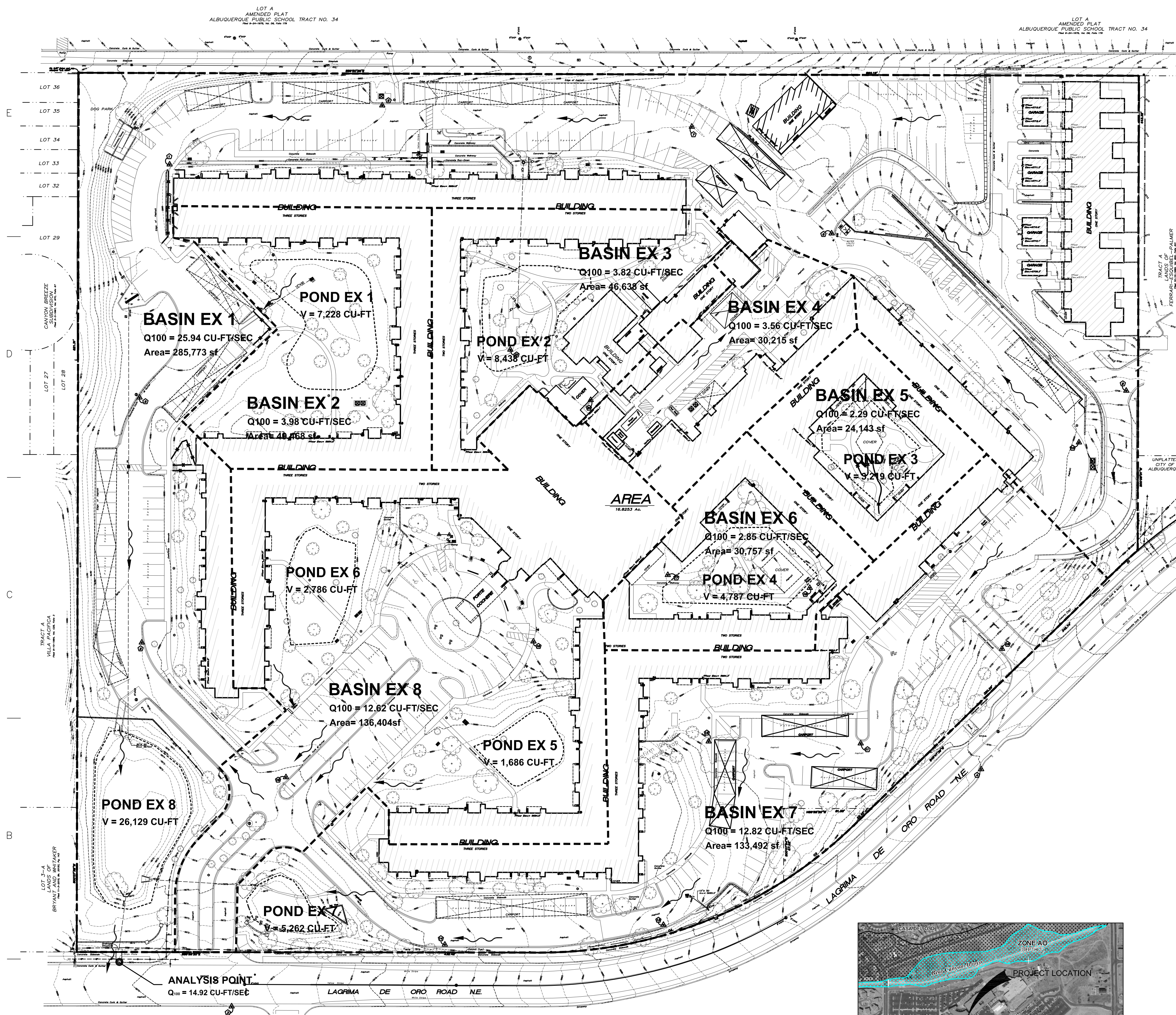
SUBTYPE

 COLLECTOR

 Project Location

0 410 820 Feet





I. PURPOSE AND SCOPE

THE PURPOSE OF THIS DRAINAGE PLAN IS TO PRESENT THE EXISTING AND PROPOSED DRAINAGE CONDITIONS FOR LA VIDA LLENA LIFE PLAN COMMUNITY, LOCATED AT 10701 LAGRIMA DE ORO ROAD NE IN ALBUQUERQUE, NM. THE ZONE ATLAS PAGE FOR THE SITE IS F-21-Z.

II. SITE DESCRIPTION AND HISTORY

THE PROJECT SITE IS LOCATED ON THE NORTH SIDE OF LAGRIMA DE ORO ROAD NE, BETWEEN MORRIS STREET NE AND JUAN TABO BOULEVARD NE.

THE SITE IS CURRENTLY COMPOSED OF 16.8 ACRE LOT WITH SEVERAL MULTI-RESIDENT BUILDINGS, A COMMONS AREA AS WELL AS A SKILLED NURSING WING. THE SITE ALSO CONTAINS SEVERAL SINGLE RESIDENT TOWNHOUSES (CASITAS) AND A MAINTENANCE BUILDING. A MAJORITY OF THE SITE WAS DESIGNED AND CONSTRUCTED IN 1979 AND 1984.

III. COMPUTATIONAL PROCEDURES

HYDROLOGY ANALYSIS WAS PERFORMED UTILIZING THE DESIGN CRITERIA BASED ON SECTION 22.2, HYDROLOGY, OF THE DEVELOPMENT PROCESS MANUAL, RELEASED JUNE 1997. TABLES WITHIN SECTION 22.2 WERE USED TO AID IN THE STUDY OF THE SITE HYDROLOGY.

IV. PRECIPITATION

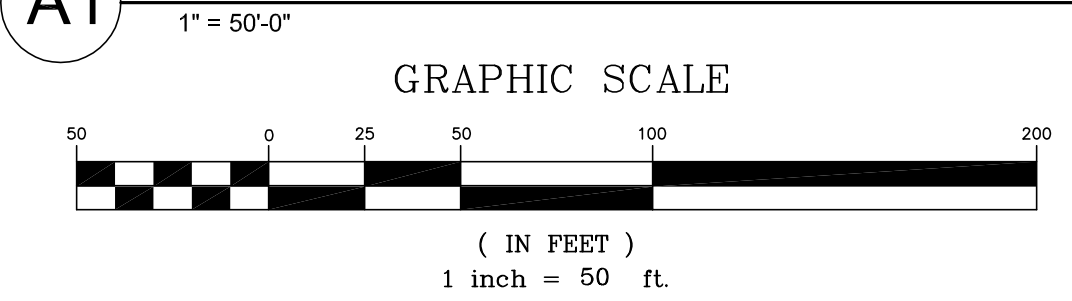
THE STORM EVENT USED FOR THE FOLLOWING CALCULATIONS IS THE 100YR-6HR STORM. THE PROJECT SITE IS LOCATED IN ZONE 4 (EAST OF EUBANK BOULEVARD NE).

Drainage Summary								
Project:	La Vida Llena							
Project Number:	2811							
Date:	04/19/19							
By:	Dave A							
Site Location:	10701 Lagrima De Oro Road NE							
Precipitation Zone:	4 Per Table A-1 COA DPM Section 22.2							
Existing summary:								
Basin Name	Ex 1	Ex 2	Ex 3	Ex 4	Ex 5	Ex 6	Ex 7	Ex 8
Area (sf)	285773	48468	46638	30215	24143	30757	133492	138404
Area (acres)	6.56	1.11	1.07	0.69	0.55	0.71	3.06	3.13
%A Land treatment	40	55	55	0	25	35	35	40
%B Land treatment	0	0	0	5	15	0	0	0
%C Land treatment	5	0	0	0	0	10	0	0
%D Land treatment	55	45	45	95	60	55	65	60
Soil Treatment (acres)								
Area "A"	2.62	0.61	0.59	0.00	0.14	0.25	1.07	1.25
Area "B"	0.00	0.00	0.00	0.03	0.08	0.00	0.00	0.00
Area "C"	0.33	0.00	0.00	0.00	0.07	0.00	0.00	0.00
Area "D"	3.61	0.50	0.48	0.66	0.33	0.39	1.99	1.88
Excess Runoff (acre-feet)								
100yr. 6hr.	1.0087	0.1510	0.1453	0.1481	0.0899	0.1105	0.5097	0.4968
10yr. 6hr.	0.5893	0.0848	0.0816	0.0941	0.0533	0.0648	0.3056	0.2938
2yr. 6hr.	0.3154	0.0432	0.0415	0.0556	0.0290	0.0347	0.1694	0.1602
100yr. 24hr.	1.2342	0.1822	0.1754	0.1959	0.1107	0.1348	0.6342	0.6143
Peak Discharge (cfs)								
100 yr.	25.94	3.98	3.82	3.56	2.29	2.85	12.82	12.62
10 yr.	15.91	2.32	2.23	2.40	1.43	1.76	8.04	7.80
2yr.	8.29	1.12	1.07	1.44	0.76	0.93	4.38	4.14

Pond Routing and Volumes (Existing)

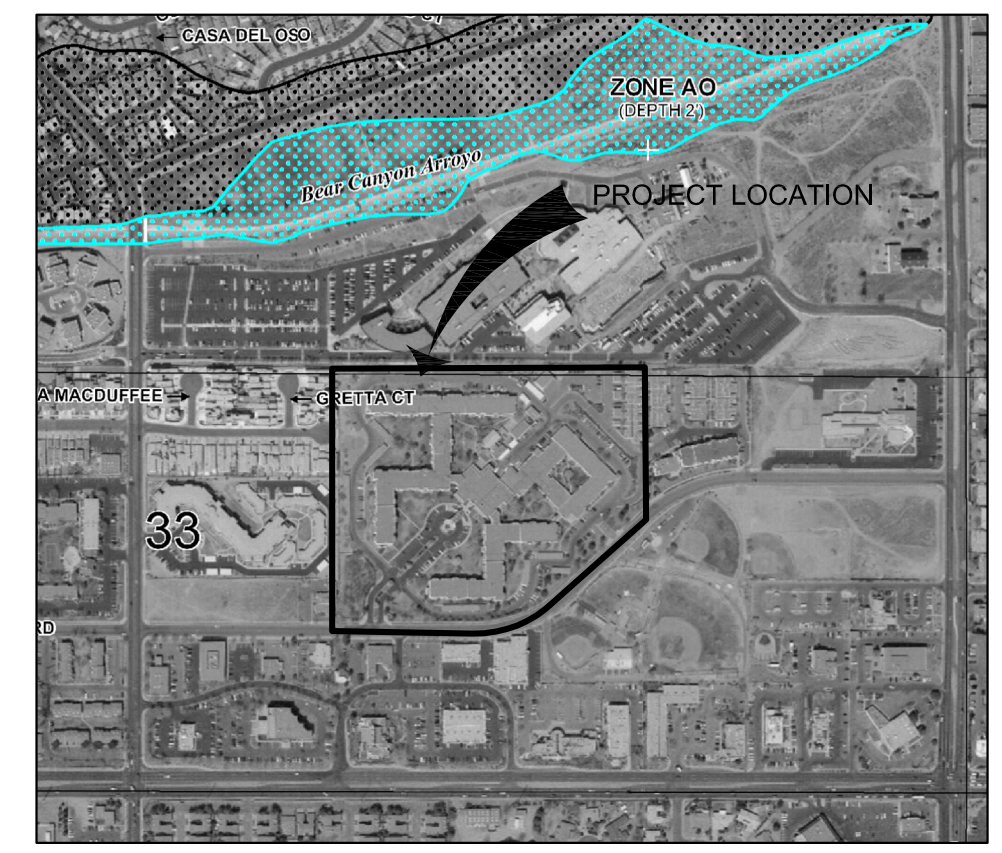
	Pond EX1	Pond EX2	Pond EX3	Pond EX4	Pond EX5	Pond EX6	Pond EX7	Pond EX8
Incoming Flow Rate	Qin	45.90	3.98	3.82	3.56	2.29	2.85	13.24
Allowable Discharge Rate	Qout	14.92	0	0.00	3.56	0.32	0.10	8.20
Hydrology Zone		4	4	4	4	4	4	4
Area Total	A1	6.57	1.11	1.07	0.69	0.55	0.71	3.06
Area Type A	Aa	40	55	55	0	25	35	40
Area Type B	Ab	0	0	0	5	15	0	0
Area Type C	Ac	5	0	0	0	0	10	0
Area Type D Impervious	Ad	55	45	45	95	60	55	60
Excess runoff rates								
A	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80
B	1.08	1.08	1.08	1.08	1.08	1.08	1.08	1.08
C	1.46	1.46	1.46	1.46	1.46	1.46	1.46	1.46
D	2.64	2.64	2.64	2.64	2.64	2.64	2.64	2.64
Weighted E (Excess Runoff)		1.85	1.63	1.63	2.56	1.95	1.88	2.00
Time of Concentration		0.2	0.2	0.2	1.2	2.2	3.2	4.2
Time to Peak		0.228	0.236	0.236	0.194	0.923	1.628	2.319
Time of Base		0.419	0.846	0.845	0.810	0.842	0.843	0.811
Duration of Peak		0.138	0.113	0.113	0.238	0.150	0.138	0.163
Time for end of peak		0.365	0.348	0.348	0.432	0.173	1.765	2.482
Time when storage begins		0.074	0.000	0.000	0.154	0.129	0.057	1.436
Time incoming is less than discharge		0.401	0.846	0.845	0.432	0.875	1.848	2.508
Volume Required during storm		7.199	1.908	1.830	0.000	0.882	1.314	1.441
		26133	6627	6642	0	3202	4770	5231

DRAINAGE PLAN EXISTING CONDITIONS

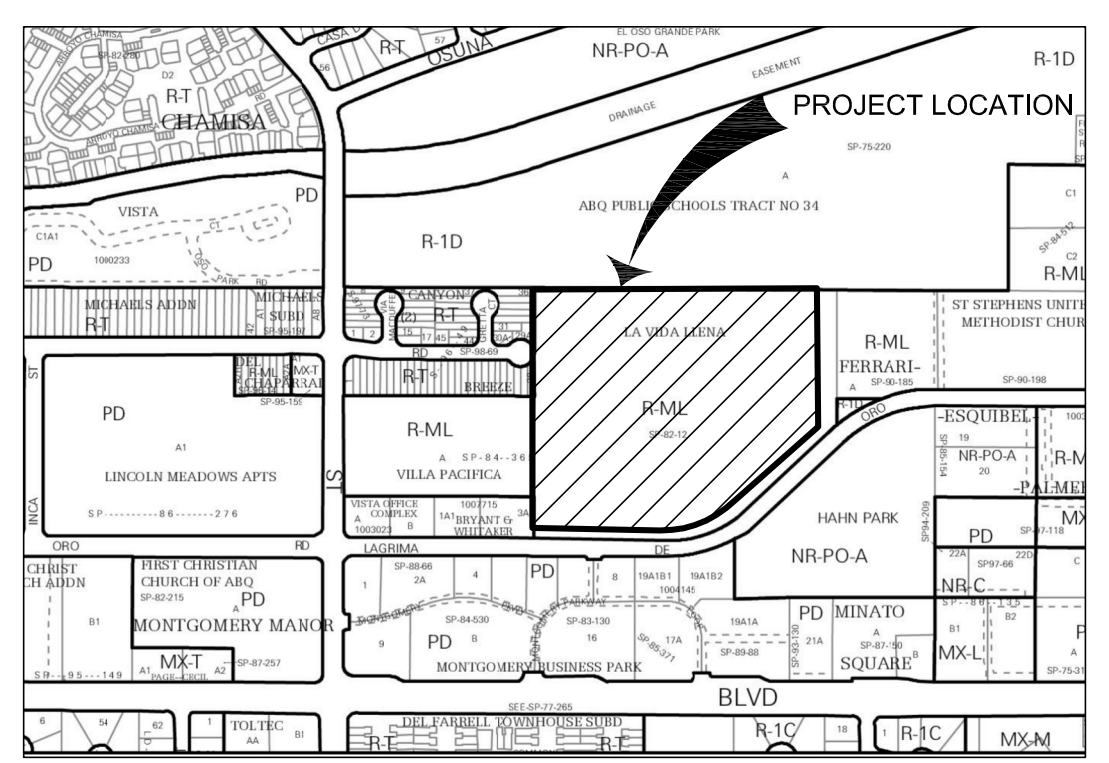


FLOOD ZONE DETERMINATION

The surveyed area, as shown hereon, appears to lie within "ZONE X" (areas determined to be outside the 0.2% annual chance floodplain), shown on National Flood Insurance Program Flood Insurance Rate Map 35001C0144G REVISED 09/26/2008.



A3 FEMA FLOOD ZONE
NOT TO SCALE



A5 ZONE ATLAS PAGE F-21
NOT TO SCALE



THE HARTMAN + MAJEWSKI
DESIGN GROUP
Architects • Engineers • Interior Design
Planners • Urban Designers • LEED®

120 Vassar Drive SE Suite 100
Albuquerque New Mexico 87105
T 505 242 6880 • F 505 242 6881

CONSULTANT

STAMP



PROJECT NAME
LA VIDA LLENA
10501 LAGRIMA DE ORO NE

HAVERLAND CARTER GROUP
10701 Montgomery Boulevard NE
ALBUQUERQUE NM, 87111

REVISIONS:

No.	DATE	DESCRIPTION

Copyright: Design Group

Drawn by
Checked by
Date: 7-31-2019
Project number: 2811
Cad file name

SHEET TITLE:
DRAINAGE PLAN EXISTING CONDITIONS

SHEET NUMBER:

CD-1



THE HARTMAN + MAJEWSKI
Design Group
Architects • Engineers • Interior Design
Planners • Urban Designers • LEED®

120 Vassar Drive SE Suite 100
Albuquerque, New Mexico 87106
T 505 242 6880 • F 505 242 6881

CONSULTANT

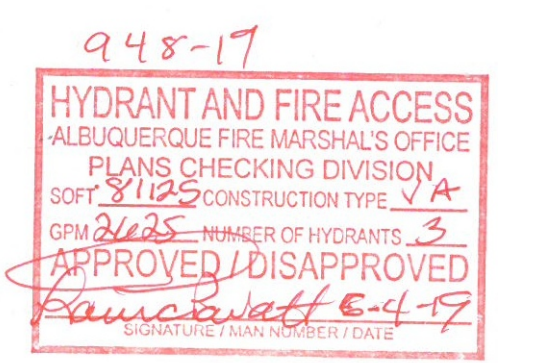
STAMP

PROJECT NAME

MASTERPLAN BUILDOUT
PHASE 3
IL + COMMONS

10501 LAGRIMA DE ORO, NE,
ALBUQUERQUE, NEW MEXICO 87111

HAVERLAND CARTER
LIFESTYLE GROUP



REVISIONS

No.	Description	Date

Copyright: Design Group

Drawn by: DAA
Checked by: DAA
Date: May 24, 2019
Project number: 2811
CAD file name:

SHEET TITLE

FIRE 1 PLAN

SHEET NUMBER

FIRE -1

GENERAL SHEET NOTES

- FIRE SEPARATION BETWEEN FLOORS CONTAINING SLEEPING QUARTERS WILL BE 1 HOUR RATED ASSEMBLIES. PLEASE REFER TO FIRE 2 PLAN FOR FLOOR ASSEMBLY RATING INFORMATION AS WELL AS FOR RATED DEMISING WALL INFORMATION.
- SECURITY GATES (BOTH PERSONNEL AND VEHICULAR) CAN BE CONTROLLED BY KEYS OR ACCESS CODES LOCATED WITHIN KNOX BOXES.
- PREMISE IDENTIFICATION WILL BE ADDED PER CITY OF ALBUQUERQUE FIRE DEPARTMENT REQUIREMENTS.
- ACCESS AND LOADING ZONES WILL BE IDENTIFIED IN THE FIELD PER DIRECTION FROM THE CITY OF ALBUQUERQUE FIRE DEPARTMENT.
- VEHICLES OR OBSTRUCTIONS SHALL NOT BE LOCATED WITHIN 15' OF A FIRE HYDRANT OR 5' OF THE FDC.
- THERE WILL BE A TOTAL OF 4 FIRE HYDRANTS SURROUNDING THE SITE. PER APPENDIX C OF IFC FOR FIRE FLOWS LESS THAN 2000 GPM THE SPACING BETWEEN FIRE HYDRANTS CAN BE 400' AVERAGE. ACTUAL AVERAGE SPACING FOR THIS SITE IS 475'.
- FIRE LANES WILL BE DESIGNED TO SUPPORT AT LEAST 75,000 POUNDS AND WILL HAVE SLOPES LESS THAN 10% GRADE.

BUILDING INFORMATION

I-1, I-2, S-2, R-2, B, AND A MIXED OCCUPANCY BUILDING. FULLY SPRINKLED
INDEPENDENT LIVING IN EXISTING IS CONSIDERED I-1 (CONDITION 1)
ASSISTED LIVING IS CONSIDERED I-1 (CONDITION 2)
PUBLIC PARKING GARAGE IS CONSIDERED S-2
INDEPENDENT LIVING IN NEW BUILDING IS CONSIDERED R-2 (MULTI FAMILY RESIDENTIAL)
COMMON AREAS ARE TYPICALLY B (BUSINESS OCCUPANCY)
DINING AND LARGE GATHERING AREAS ARE CONSIDERED ASSEMBLY SPACES
INTERNATIONAL FIRE CODE 2015, APPENDIX B (FOR IL ADDITION - LARGEST BLDG)
FIRE FLOW PER IFC TABLE B105.1(2) IS 5250 GPM (NON SPRINKLED BUILDING)
PER IFC TABLE B105.1(1) FIRE FLOW CAN BE REDUCED TO 50% IF BUILDING PROTECTED BY AUTOMATIC SPRINKLER SYSTEM IN COMPLIANCE WITH 913.3.1.3 OF THE IFC.
THEREFORE REQUIRED FIRE FLOW IS 2,625 GPM.
INTERNATIONAL FIRE CODE 2015, APPENDIX C
SPACING AND NUMBER OF HYDRANTS FOR PROPOSED BUILDING PER TABLE C102.1
MINIMUM NUMBER OF HYDRANTS = 3
AVERAGE SPACING BETWEEN HYDRANTS = 600' PER FOOTNOTE F, ALLOWING A 50% INCREASE IN SPACING FOR SPRINKLED BUILDINGS
MAXIMUM DISTANCE FROM ANY POINT ON FIRE LANE TO HYDRANT = 375' PER FOOTNOTE F, ALLOWING A 50% INCREASE IN SPACING FOR SPRINKLED BUILDINGS
PERIMETER ROAD CONTAINS 7 HYDRANTS OVER A TRAVEL LENGTH OF 2800'.
AVERAGE SPACING IS 407'

NEW BUILDING AREA BY FLOOR

Phase 2 MC+AL New
Sub Level: 3,280 sf
First: 16,784 sf
Second: 13,637 sf
Third: 13,637 sf
Total: 47,338 sf

Phase 2 MC+AL Renovation
First: 4,055 sf
Second: 3,121 sf
Total: 7,176 sf

Phase 3a IL
1st floor parking: 11,955 sf
1st floor vestibule/lobby: 1,422 sf
1st floor total: **13,377 sf**

2nd-5th floor each (with balconies): 16,937 sf

Total IL Residential (with balconies): **67,748 sf** above podium

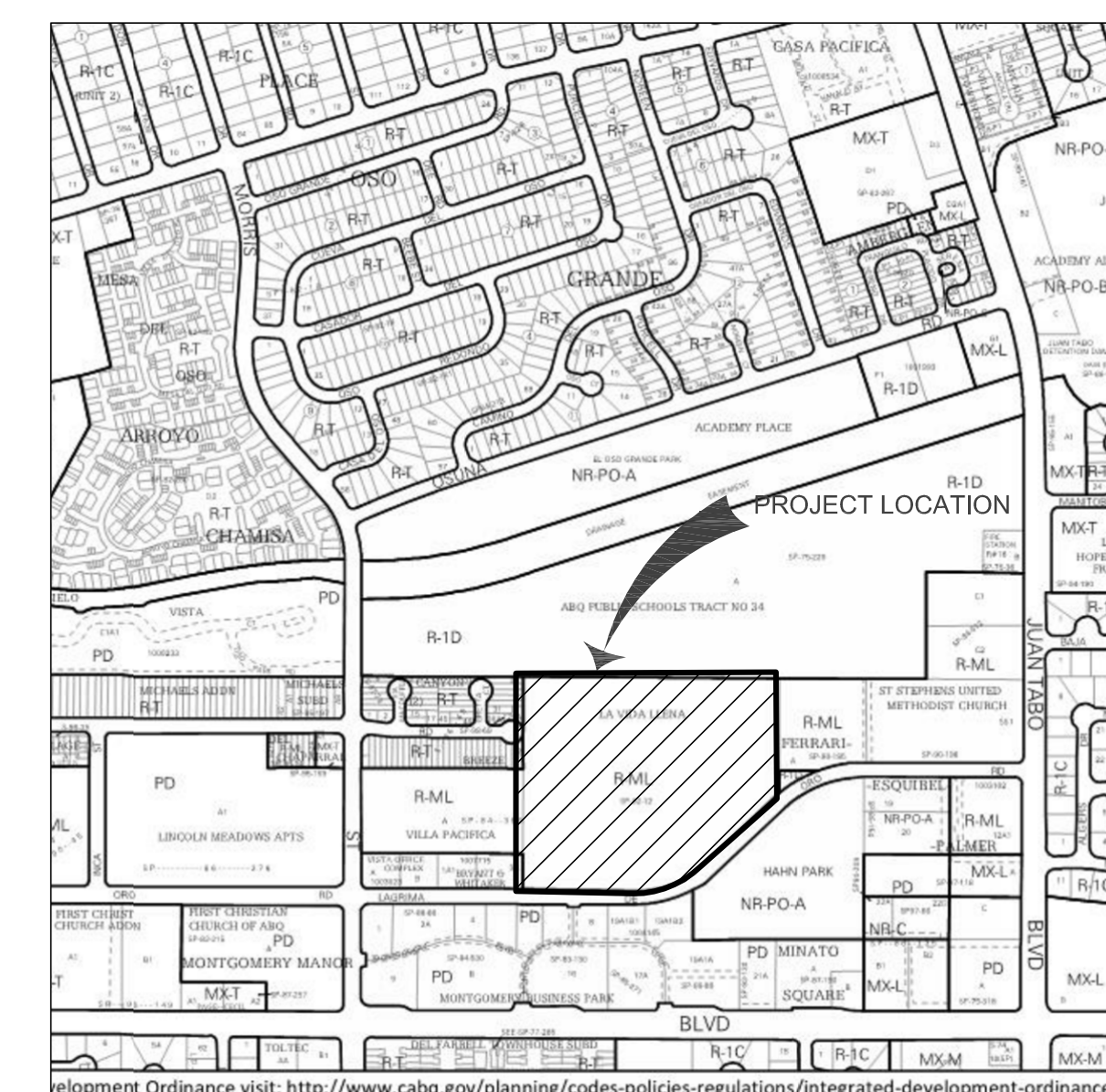
Phase 3b IL Commons
1st floor total IL Commons: **8,192 sf**

TABULATED NEW BUILDING AREAS AND FIRE FLOWS

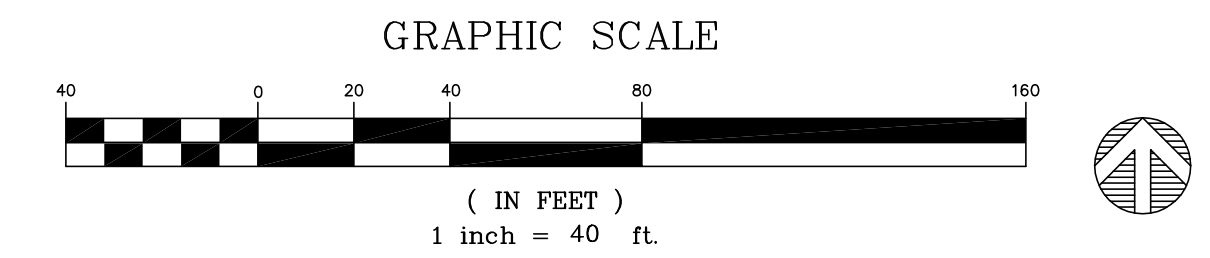
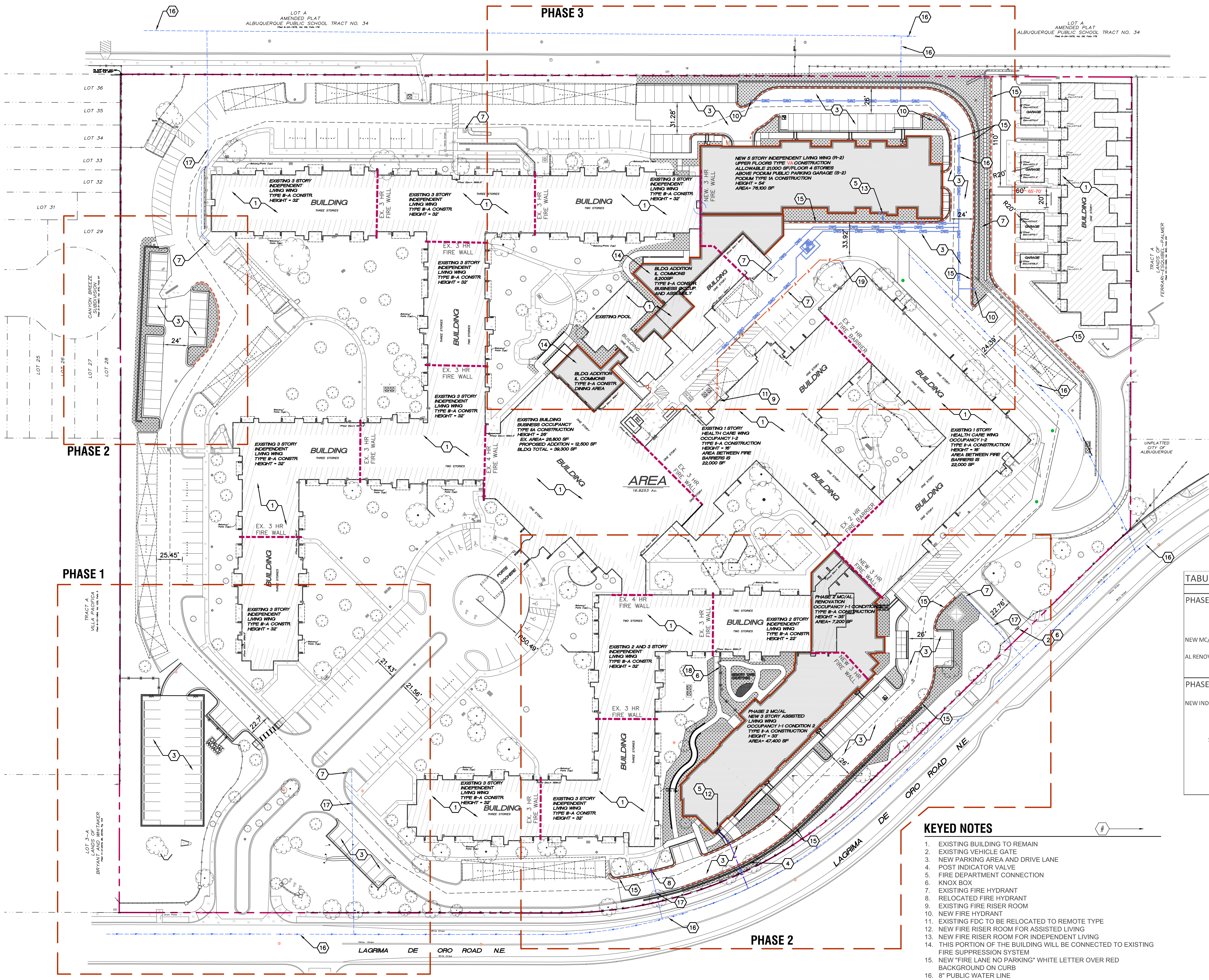
PHASE	AREA	Construction Type	Fire Flow per IFC Appendix B Flow per Table	
			Table B105.1(2)	B105.2
PHASE 2				
NEW MC/AL WING	47338	II-A	2250	1125
AL RENOVATION/ADDITION	7,716	III-A	1500	1000 Minimum
PHASE 3				
NEW INDEPENDENT LIVING				
S-2 PARKING GARAGE	13377	I-A	1500	1000 Minimum
RESIDENTIAL AREAS	67748	VA	5250	2625 50% of Table B105.1(2) Based on 81,125 sf total building area

KEYED NOTES

- EXISTING BUILDING TO REMAIN
- EXISTING VEHICLE GATE
- NEW PARKING AREA AND DRIVE LANE
- POST INDICATOR VALVE
- FIRE DEPARTMENT CONNECTION
- KNOX BOX
- EXISTING FIRE HYDRANT
- RELOCATED FIRE HYDRANT
- EXISTING FIRE RISER ROOM
- NEW FIRE HYDRANT
- EXISTING FDC TO BE RELOCATED TO REMOTE TYPE
- NEW FIRE RISER ROOM FOR ASSISTED LIVING
- NEW FIRE RISER ROOM FOR INDEPENDENT LIVING
- THIS PORTION OF THE BUILDING WILL BE CONNECTED TO EXISTING FIRE SUPPRESSION SYSTEM
- NEW "FIRE LANE NO PARKING" WHITE LETTER OVER RED BACKGROUND ON CURB
- 8" PUBLIC WATER LINE
- 6" FIRE HYDRANT SUPPLY WATERLINE
- 4" PERSONNEL GATE
- NEW LOCATION OF REMOTE FDC FOR EXISTING FACILITY



A6 ZONE ATLAS PAGE F-21
NOT TO SCALE



A1 FIRE 1 PLAN
1" = 40'-0"

P:\3011_MasterplanPhase3Buildout\02_Modeling\CAD\Fire 1_Plan.dwg, 5/29/2019 2:11:18 PM

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339

OFFICIAL NOTIFICATION OF DECISION

June 13, 2019

La Vida Llena
10501 Lagrima De Oro Rd NE
ABQ, NM 87111

Project #2019-002114 (1003807)
SI-2019-00117 – Major Amendment Site Development Plan
VA-2019-00152 – Variance
VA-2019-00179 – Variance

LEGAL DESCRIPTION:

The above action for all or a portion of Amended Plat Land in Section 33 T11N R4E La Vida Llena, zoned R-ML, located at 10501 Lagrima de Oro Rd. NE, between Morris St. NE, and Juan Tabo Blvd. NE, containing approximately 17 acres. (C-8)
Staff Planner: Cheryl Somerfeldt

PO Box 1093
On June 13, 2019 the Environmental Planning Commission (EPC) voted to APPROVE Project 2019-002114/SI-2019-00117, a Major Amendment Site Development Plan, VA-2019-00152, a Variance, and VA-2019-00179, a Variance, based on the following Findings.

Albuquerque

FINDINGS, SI-2019-00117, Major Amendment to a Prior Approval, Site Development Plan

- NM 87103
- www.cabq.gov
1. This is a request for a Major Amendment to a Prior Approval, Site Development Plan for the La Vida Llena Retirement Community complex for all or a portion of Amended Plat Land in Section 33 T11N R4E La Vida Llena, located at 10501 Lagrima de Oro Road NE, and containing approximately 16.9 acres.
 2. The applicant wishes to add two new buildings and a parking area to the existing Site Development Plan for Building Permit. This approved Site Plan-EPC will replace the pre-existing Site Development Plan.
 3. The proposed "Assisted Living Facility or Nursing Home" use is Permissive within the existing R-ML zone.
 4. The Site Development Plan for Building Permit that originally permitted the La Vida Llena (LVL) complex was approved by the Environmental Planning Commission (EPC) in June of 1981 (Z-80-135) in conjunction with the zone change to SU-1 for Retirement Center/Nursing Home. LVL opened its doors in 1983.
 5. In 2012, LVL opened a 4-story building containing 58 Independent Living units at the southwest corner of Lagrima de Oro and Juan Tabo.

OFFICIAL NOTICE OF DECISION

Project #2019-002114

June 13, 2019

Page 2 of 13

6. In May of 2018, the Integrated Development Ordinance (IDO) converted the property's previous zoning, SU-1 for Retirement Center/Nursing Home, which was Site Plan controlled, to R-ML with an existing Site Plan pursuant to City Council adopted conversion rules: the existing use, Assisted Living Facility or Nursing Home, is first permitted in the R-ML zone.
7. The Albuquerque/Bernalillo County Comprehensive Plan and the City of Albuquerque Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
8. The subject site is located in an Area of Change as designated by the Comprehensive Plan. Areas of Change are intended to be the focus of urban-scale development that benefits job growth and housing opportunities.
9. The Comprehensive Plan designates Montgomery Boulevard NE to the south as a Major Transit Corridor which is intended to prioritize high-frequency transit in Corridors consistent with regional transportation plans. Applicable policies include:
 - 5.1.10 Major Transit Corridors: Foster corridors that prioritize high-frequency transit service with pedestrian-oriented development.
 - a) Encourage higher-density residential developments within ¼ mile of transit stops or stations.
 - b) Minimize negative impacts on nearby neighborhoods by providing transitions between development along Transit Corridors and abutting single-family residential areas.
 - 5.6 City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.
 - 9.1.1 Housing Options: Support the development, improvement, and conservation of housing for a variety of income levels and types of residents and households.
 - a) Increase the supply of housing that is affordable for all income levels.
 - c) Assure the availability of a wide distribution of quality housing for all persons regardless of race, color, religion, sex, national origin, ancestry, age, or disabled status.
 - e) Provide for the development of quality housing for elderly residents.
 - 9.2.2 High Quality: Encourage quality and innovation in new housing design and construction, materials, and energy and water conservation.
10. The attached Site Development Plan has been evaluated for conformance with applicable regulations and policies of the City adopted Integrated Development Ordinance (IDO) and the Comprehensive Plan. The Conditions of Approval correspond to the Site Development Plan elements that do not conform to the requirements of applicable IDO regulations.
11. The applicant notified the District 8 Coalition of Neighborhood Associations and property owners within 100 feet of the subject site as required. A neighborhood meeting occurred with the District 8 Coalition of Neighborhood Associations on May 23, 2019.

OFFICIAL NOTICE OF DECISION

Project #2019-002114

June 13, 2019

Page 3 of 13

12. The applicant performed outreach with its residents since 2017.
13. In total, staff received two (2) letters in opposition to the request from residents of La Vida Llana including a petition with seven (7) names.
14. In total, staff received seventeen (17) letters in support to the request from residents of La Vida Llana.
15. Staff received a letter of support from CNM (Central New Mexico Community College), the property owner to the north.
16. Staff has not received comments in support or opposition from the District 8 Coalition of Neighborhood Associations or from the property owners to the west of La Vida Llana.

CONDITIONS OF APPROVAL, SI-2019-00117, Major Amendment to a Prior Approval, Site Development Plan

1. The applicant shall coordinate with the staff planner to ensure that all Conditions of Approval are met and then submit a vetted, final version after DRB review and approval of technical standards to the staff planner for filing at the Planning Department in the project file.
2. The Site Development Plan shall comply with the General Regulations of the IDO, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.
3. The Site Plan shall note any Variance-EPC that has been granted/approved.
4. The Site Plan be reviewed and approved by the Development Review Board (DRB) subsequent to EPC approval for review of technical standards.
5. Pursuant to Table 5-1-1, Usable Open Space is required to be 200 square foot per Efficiency unit. The Site Plan shall meet the applicable regulation for Usable Open Space and the applicant shall show this in a calculation on the Site Plan.
6. The Site Plan shall provide, pursuant to IDO Section 5-5(E)(4)(e), where the primary use includes 100 or more dwelling units, 20 percent of required bicycle spaces should be in secured long term storage lockers, approximately 6 lockers.
7. The Site Plan shall illustrate to the satisfaction of the City Engineer, pursuant to 5-7(F)(1)(a), retaining walls limited to 6-feet unless a higher wall is approved by the City Engineer as necessary. Pursuant to 5-7(F)(1)(b), Retaining walls higher than 6-feet tall shall be terraced. Pursuant to 5-7(F)(2), the terraces should be broken by at least 4-foot wide planters/pockets for landscaping unless reduced by approval by the City Engineer.
8. The Site Plan shall provide, pursuant to IDO Section 5-9(E)(2), a minimum 6-foot high opaque wall as required to visually screen the new parking lots bordering Protected Lots, which includes the townhouses to the west. The proposed wall on the west side of the parking lot shall be increased from 42" to 72".

OFFICIAL NOTICE OF DECISION

Project #2019-002114

June 13, 2019

Page 4 of 13

9. Conditions of Approval from other agencies:

Transportation Development Services

- Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB)
- Site plan shall comply and be in accordance with all applicable City of Albuquerque requirements, including the Development Process Manual and current ADA criteria.

The following comments need to be addressed prior to DRB:

- Please provide referenced detail sheet C-501 for review along with this set.

Police Department/Planning

- Ensure adequate lighting throughout the project, to include parking areas, pedestrian walkways, and courtyards.
- Limit and clearly delineate access to the property; i.e. Resident Parking and Visitor Parking.
- Install No Trespassing signs that cite the City Ordinance so that they are visible immediately upon entering the property.

Solid Waste Management Department

- The new/proposed bldg #38/IL Wing on Pg. SP-EPC-1 appears to hinder refuse driver's turnaround/back up access to existing refuse compactor. Adjust per SWM requirements.

Albuquerque Bernalillo County Water Utility Authority (ABCWUA)

- From the proposed Utility Plan, it is understood that several fire lines, sanitary sewer services, and a large meter service are required for the two proposed structures. In addition to the desired infrastructure there is also need for the public waterline (onsite) to be relocated. Prior to these infrastructure improvements being performed, an Availability Statement must first be executed for the site.
- As a condition of approval please request an availability statement here:
http://www.abcwua.org/Availability_Statements.aspx
- Request shall include a City Fire Marshal approved Fire 1 Plan and a zone map showing the site location.
- Please note that a work order process will be required for the relocation of the existing public onsite waterline.
- Please note that all onsite public waterline shall be within a public waterline easement. Existing waterline easements that will not be utilized should be abandoned.
- All onsite hydrants shall be considered private and painted safety orange.

OFFICIAL NOTICE OF DECISION

Project #2019-002114

June 13, 2019

Page 5 of 13

Public Service Company of New Mexico (PNM)

- There are numerous electric utility easements on the property serving La Vida Llana. It is the applicant's obligation to abide by any conditions or terms of those easements and required clearances. The applicant will need to coordinate with PNM's New Service Delivery Department regarding proposed building location, proposed tree species and building heights in order to ensure sufficient safety clearances and to avoid interference with the existing overhead and underground distribution facilities. Any relocation, changes or realignment of existing electric utilities will be the developer's expense. PNM's standard is for trees to be planted outside the PNM easement.
- It will be necessary to contact the PNM New Service Delivery Department to coordinate electric service regarding this project. Contact: Andrew Gurule, PNM Service Center, 4201 Edith Boulevard NE, Albuquerque, NM 87107, Phone: (505) 241-0589.

OFFICIAL NOTICE OF DECISION

Project #2019-002114

June 13, 2019

Page 6 of 13

FINDINGS, VA-2019-00152, Variance to R-ML Building Height

1. This is a request for a 12-foot 9-inch (ALMC building) and a 29-foot 1.5-inch (IL building) Variance to the 35-foot maximum building height in the R-ML Zone pursuant to IDO Table 2-3-9, for the La Vida Llena Retirement Community complex for all or a portion of Amended Plat Land in Section 33 T11N R4E La Vida Lena, located at 10501 Lagrima de Oro Road NE, and containing approximately 16.9 acres.
2. The applicant wishes to add two new buildings and a parking area to the existing Site Development Plan for Building Permit.
3. The proposed use of “Assisted Living Facility or Nursing Home” is Permissive within the existing R-ML zone.
4. The Site Development Plan for Building Permit that originally permitted the La Vida Llena (LVL) complex was approved by the Environmental Planning Commission (EPC) in June of 1981 (Z-80-135) in conjunction with the zone change to SU-1 for Retirement Center/Nursing Home. LVL opened its doors in 1983.
5. In 2012, LVL opened a 4-story building containing 58 Independent Living units in very close proximity at the southwest corner of Lagrima de Oro and Juan Tabo.
6. In May of 2018, the Integrated Development Ordinance (IDO) converted the property’s previous zoning, SU-1 for Retirement Center/Nursing Home, which was Site Plan controlled, to R-ML with an existing Site Plan pursuant to City Council adopted conversion rules: the existing use, Assisted Living Facility or Nursing Home, is first permitted in the R-ML zone.
7. The Albuquerque/Bernalillo County Comprehensive Plan and the City of Albuquerque Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
8. The subject site is located in an Area of Change as designated by the Comprehensive Plan. Areas of Change are intended to be the focus of urban-scale development that benefits job growth and housing opportunities.
9. The Comprehensive Plan designates Montgomery Boulevard NE to the south as a Major Transit Corridor which is intended to prioritize high-frequency transit in Corridors consistent with regional transportation plans. Applicable policies include:
 - 5.1.10 Major Transit Corridors: Foster corridors that prioritize high-frequency transit service with pedestrian-oriented development.
 - a) Encourage higher-density residential developments within ¼ mile of transit stops or stations.
 - b) Minimize negative impacts on nearby neighborhoods by providing transitions between development along Transit Corridors and abutting single-family residential areas.
 - 5.6 City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

OFFICIAL NOTICE OF DECISION

Project #2019-002114

June 13, 2019

Page 7 of 13

- 9.1.1 Housing Options: Support the development, improvement, and conservation of housing for a variety of income levels and types of residents and households.
 - a) Increase the supply of housing that is affordable for all income levels.
 - c) Assure the availability of a wide distribution of quality housing for all persons regardless of race, color, religion, sex, national origin, ancestry, age, or disabled status.
 - e) Provide for the development of quality housing for elderly residents.
- 9.2.2 High Quality: Encourage quality and innovation in new housing design and construction, materials, and energy and water conservation.

10. Pursuant to IDO Section 6-6(M)(3) Review and Decision Criteria, "an application for a Variance-EPC shall be approved if it meets all of the following criteria":

- 1) 6-6(N)(3)(a) There are special circumstances applicable to the subject property that are not self-imposed and that do not apply generally to other property in the same zone district and vicinity, including but not limited to size, shape, topography, location, surroundings, and physical characteristics, and such special circumstances were created either by natural forces or by government eminent domain actions for which no compensation was paid. Such special circumstances of the property either create an extraordinary hardship in the form of a substantial and unjustified limitation on the reasonable use or return on the property, or practical difficulties result from strict compliance with the minimum standards.

The applicant argues and the EPC agrees the existing topography and the shape of the lot as special circumstances applicable to the subject property that are not self-imposed and do not apply generally to other property in the same zone district and vicinity, and which create practical difficulties. Although one of these aspects alone may not pose an extraordinary hardship, the two together limits the area where buildings may be constructed on the subject site. The Site Plan locates the proposed buildings in the configuration shown, adjacent to the front and rear property line in order to limit the effect on surrounding properties while managing difficulties with the topography and lot shape and adding stories.

- 2) 6-6(N)(3)(b) The Variance will not be materially contrary to the public safety, health, or welfare.

The applicant cites reasons regarding the research into the well-being of seniors why the proposed project will contribute to the health and welfare of the public. There is no evidence to the contrary that extra height and closeness of the parking area, as long as there is the required screening wall and landscaped buffer will be un-safe or unhealthy or contrary to public welfare. The property to the north is occupied by the local community college, CNM. The nursing program coordinates with LVL for student interaction with residents and there is cross access from users of each site, which contributes to public welfare. The property immediately across the street to the south (zoned NR-PO-A) is occupied by little league baseball fields and other properties across Lagrima de Oro are zoned PD and used for office use, which means residences will not be affected.

OFFICIAL NOTICE OF DECISION

Project #2019-002114

June 13, 2019

Page 8 of 13

- 3) The Variance does not cause significant material adverse impacts on surrounding properties or infrastructure improvements in the vicinity.

To the north the subject site is adjacent to the CNM campus, which is zoned R-1D low density residential. CNM, a subdivision of the State, is immune from compliance with City zoning, and has developed the campus with buildings of considerably large mass and large parking lots as is needed by a community college. Therefore, because low density residential development does not occur on the lot, it is not a "Protected Lot" pursuant to IDO Section 5-9. In addition, the subject site is below the natural grade of the adjacent CNM property, and therefore, the height impact will be lessened. CNM has submitted a letter in support of the LVL project proposal.

To the south of the subject site, across the street, are little-league baseball fields zoned NR-PO-A. Other properties across Lagrima de Oro are zoned PD and are used for commercial office use. Further to the south is the commercial area along Montgomery Boulevard NE, a Major Transit Corridor. Therefore, because they are non-residential uses, the request will not materially adversely affect these properties.

- 4) The Variance will not materially undermine the intent and purpose of this IDO or the applicable zone district.

The purpose of the IDO is to:

1-3(A) Implement the adopted Albuquerque/Bernalillo County Comprehensive Plan (ABC Comp Plan), as amended.

1-3(B) Ensure that all development in the City is consistent with the spirit and intent of any other plans and policies adopted by City Council.

1-3(C) Ensure the provision of adequate public facilities and services for new development.

1-3(D) Protect the quality and character of residential neighborhoods.

1-3(E) Promote the economic development and fiscal sustainability of the City.

1-3(F) Provide for the efficient administration of City land use and development regulations.

1-3(G) Protect the health, safety, and general welfare of the public.

1-3(H) Provide for orderly and coordinated development patterns.

1-3(I) Encourage the conservation and efficient use of water and other natural resources.

1-3(J) Implement a connected system of parks, trails, and open spaces to promote improved outdoor activity and public health.

1-3(K) Provide reasonable protection from possible nuisances and hazards and to otherwise protect and improve public health.

1-3(L) Encourage efficient and connected transportation and circulation systems for motor vehicles, bicycles, and pedestrians.

The purpose of the R-ML zone district is to provide for a variety of low- to medium-density housing options. The primary land uses are townhouses and low-density multi-family buildings, as well as civic and institutional uses, such as Assisted Living, to serve the surrounding residential areas.

In general, the request will not materially undermine the intent and purpose of applicable zone district because it provides expanded housing options and parking options for senior residents. This Variance is appropriate given the history and context of the subject site and the surrounding area.

OFFICIAL NOTICE OF DECISION

Project #2019-002114

June 13, 2019

Page 9 of 13

- 5) The Variance approved is the minimum necessary to avoid extraordinary hardship or practical difficulties.

This Variance is the minimum necessary to avoid extraordinary hardship or practical difficulties for this institutional facility that provides a needed service for seniors at this facility.

11. The applicant notified the District 8 Coalition of Neighborhood Associations and property owners within 100 feet of the subject site as required. A neighborhood meeting occurred with the District 8 Coalition of Neighborhood Associations on May 23, 2019.
12. The applicant performed outreach with its residents since 2017.
13. In total, staff received two (2) letters in opposition to the request from residents of La Vida Llana including a petition with seven (7) names.
14. In total, staff received seventeen (17) letters in support to the request from residents of La Vida Llana.
15. Staff received a letter of support from CNM (Central New Mexico Community College), the property owner to the north.
16. Staff has not received comments in support or opposition from the District 8 Coalition of Neighborhood Associations or from the property owners to the west of La Vida Llana.

OFFICIAL NOTICE OF DECISION

Project #2019-002114

June 13, 2019

Page 10 of 13

FINDINGS, VA-2019-00179, Variance to Neighborhood Edges

1. This is a request for a 30-foot Variance from the required 50-foot parking area separation pursuant to Neighborhood Edges IDO Section 5-9(F)(1), for the La Vida Llena Retirement Community complex for all or a portion of Amended Plat Land in Section 33 T11N R4E La Vida Lena, located at 10501 Lagrima de Oro Road NE, and containing approximately 16.9 acres.
2. The applicant wishes to add two new buildings and a parking area to the existing Site Development Plan for Building Permit.
3. The proposed use of “Assisted Living Facility or Nursing Home” is Permissive within the existing R-ML zone.
4. The Site Development Plan for Building Permit that originally permitted the La Vida Llena (LVL) complex was approved by the Environmental Planning Commission (EPC) in June of 1981 (Z-80-135) in conjunction with the zone change to SU-1 for Retirement Center/Nursing Home. LVL opened its doors in 1983.
5. In 2012, LVL opened a 4-story building containing 58 Independent Living units at the southwest corner of Lagrima de Oro and Juan Tabo.
6. In May of 2018, the Integrated Development Ordinance (IDO) converted the property’s previous zoning, SU-1 for Retirement Center/Nursing Home, which was Site Plan controlled, to R-ML with an existing Site Plan pursuant to City Council adopted conversion rules: the existing use, Assisted Living Facility or Nursing Home, is first permitted in the R-ML zone.
7. The Albuquerque/Bernalillo County Comprehensive Plan and the City of Albuquerque Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
8. The subject site is located in an Area of Change as designated by the Comprehensive Plan. Areas of Change are intended to be the focus of urban-scale development that benefits job growth and housing opportunities.
9. The Comprehensive Plan designates Montgomery Boulevard NE to the south as a Major Transit Corridor which is intended to prioritize high-frequency transit in Corridors consistent with regional transportation plans. Applicable policies include:
 - 5.1.10 Major Transit Corridors: Foster corridors that prioritize high-frequency transit service with pedestrian-oriented development.
 - a) Encourage higher-density residential developments within ¼ mile of transit stops or stations.
 - b) Minimize negative impacts on nearby neighborhoods by providing transitions between development along Transit Corridors and abutting single-family residential areas.
 - 5.6 City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.
 - 9.1.1 Housing Options: Support the development, improvement, and conservation of housing for a variety of income levels and types of residents and households.

OFFICIAL NOTICE OF DECISION

Project #2019-002114

June 13, 2019

Page 11 of 13

- a) Increase the supply of housing that is affordable for all income levels.
- c) Assure the availability of a wide distribution of quality housing for all persons regardless of race, color, religion, sex, national origin, ancestry, age, or disabled status.
- e) Provide for the development of quality housing for elderly residents.
- 9.2.2 High Quality: Encourage quality and innovation in new housing design and construction, materials, and energy and water conservation.

10. Pursuant to IDO Section 6-6(M)(3) Review and Decision Criteria, "an application for a Variance-EPC shall be approved if it meets all of the following criteria":

- 1) 6-6(N)(3){a} There are special circumstances applicable to the subject property that are not self-imposed and that do not apply generally to other property in the same zone district and vicinity, including but not limited to size, shape, topography, location, surroundings, and physical characteristics, and such special circumstances were created either by natural forces or by government eminent domain actions for which no compensation was paid. Such special circumstances of the property either create an extraordinary hardship in the form of a substantial and unjustified limitation on the reasonable use or return on the property, or practical difficulties result from strict compliance with the minimum standards.

The applicant cites the existing topography and the shape of the lot as special circumstances applicable to the subject property that are not self-imposed and do not apply generally to other property in the same zone district and vicinity, and which create practical difficulties. Staff finds that although one of these aspects alone may not pose an extraordinary hardship, the two together limits the area where elements may be constructed on the subject site.

The applicant also describes the existing development as constructed under the prior SU-1 zone which was controlled by an EPC approved Site Plan and would have permitted expansion per EPC approval. The applicant is constrained by existing development and coordinating new development with the existing, which affects the alignment of the parking area on the west property line, making it not possible to locate this parking area 50-foot from the adjacent lot.

- 2) 6-6(N)(3)(b) The Variance will not be materially contrary to the public safety, health, or welfare.

The applicant states the Variance requests will not be materially contrary to public safety, health, or welfare. There is no evidence that extra height and closeness of the parking area, as long as there is the required screening wall and landscaped buffer will be un-safe or unhealthy or contrary to public welfare. The applicant cites reasons regarding the research into the well-being of seniors why the proposed project will contribute to the health and welfare of the public.

The property to the north is occupied by the local community college, CNM. The nursing program coordinates with LVL for student interaction with residents and there is cross access from users of each site, which contributes to public welfare. The property to the west is occupied by townhouses and a 6-foot screening wall will mitigate potential issues.

OFFICIAL NOTICE OF DECISION

Project #2019-002114

June 13, 2019

Page 12 of 13

- 3) The Variance does not cause significant material adverse impacts on surrounding properties or infrastructure improvements in the vicinity.

The applicant states the Variances will not cause significant material adverse impacts on surrounding properties or infrastructure improvements in the vicinity.

To the west, the subject site is bordered by a low-density residential use which has protected status. Planning staff has not received any comments from these property owners, and even if there is not a full 50-foot separation of new parking spaces, it will be required that the applicant meet the other Neighborhood Edges provisions, including a 6-foot opaque wall and a minimum 15-foot wide landscape buffer. The subject site is at a higher elevation than the townhouses, and the required 6-foot opaque wall and the proposed 15-25 foot landscape buffer will effectively screen parked cars from view.

- 4) The Variance will not materially undermine the intent and purpose of this IDO or the applicable zone district.

The purpose of the IDO is to:

1-3(A) Implement the adopted Albuquerque/Bernalillo County Comprehensive Plan (ABC Comp Plan), as amended.

1-3(B) Ensure that all development in the City is consistent with the spirit and intent of any other plans and policies adopted by City Council.

1-3(C) Ensure the provision of adequate public facilities and services for new development.

1-3(D) Protect the quality and character of residential neighborhoods.

1-3(E) Promote the economic development and fiscal sustainability of the City.

1-3(F) Provide for the efficient administration of City land use and development regulations.

1-3(G) Protect the health, safety, and general welfare of the public.

1-3(H) Provide for orderly and coordinated development patterns.

1-3(I) Encourage the conservation and efficient use of water and other natural resources.

1-3(J) Implement a connected system of parks, trails, and open spaces to promote improved outdoor activity and public health.

1-3(K) Provide reasonable protection from possible nuisances and hazards and to otherwise protect and improve public health.

1-3(L) Encourage efficient and connected transportation and circulation systems for motor vehicles, bicycles, and pedestrians.

The purpose of the R-ML zone district is to provide for a variety of low- to medium-density housing options. The primary land uses are townhouses and low-density multi-family buildings, as well as civic and institutional uses, such as Assisted Living, to serve the surrounding residential areas.

In general, the request will not materially undermine the intent and purpose of applicable zone district because it provides expanded housing options and parking options for senior residents.

- 5) The Variance approved is the minimum necessary to avoid extraordinary hardship or practical difficulties.

The site hardship supports the Variance to Neighborhood Edges 50-foot separation, which is the minimum necessary.

OFFICIAL NOTICE OF DECISION

Project #2019-002114

June 13, 2019

Page 13 of 14

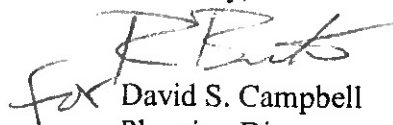
11. The applicant notified the District 8 Coalition of Neighborhood Associations and property owners within 100 feet of the subject site as required. A neighborhood meeting occurred with the District 8 Coalition of Neighborhood Associations on May 23, 2019.
12. The applicant performed outreach with its residents since 2017.
13. In total, staff received two (2) letters in opposition to the request from residents of La Vida Llena including a petition with seven (7) names.
14. In total, staff received seventeen (17) letters in support to the request from residents of La Vida Llena.
15. Staff received a letter of support from CNM (Central New Mexico Community College), the property owner to the north.
16. Staff has not received comments in support or opposition from the District 8 Coalition of Neighborhood Associations or from the property owners to the west of La Vida Llena.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **JUNE 28, 2019**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6 of the IDO, Administration and Enforcement. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's recommendation.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

Sincerely,


David S. Campbell
Planning Director

OFFICIAL NOTICE OF DECISION

Project #2019-002114

June 13, 2019

Page 14 of 14

DSC/CS

cc: La Vida Llana, 10501 Lagrima De Oro Rd., NE, ABQ, NM 87111
Consensus Planning, Inc., Jackie Fishman, 302 8th St., NW, ABQ, NM 87102
Donald Couchman, Dist. 8 Coalition of NA's 6441 Concordia Rd NE, ABQ, NM 87111
Mary Kurkjian, Dist. 8 Coalition of NA's, 13709 Canada del Oso Pl., NE, ABQ, NM 87111
Marge Meyer, 10501 Lagrima de Oro NE, #874, ABQ, NM 87111
Richard Pettit, 10501 Lagrima de Oro NE, ABQ, NM 87111
Don & Glyndon Hossink, 10501 Lagrima de Oro NE, ABQ, NM 87111
Mary Ellen Simms, 1100 Lagrima de Oro Rd NE, ABQ, NM 87111
Chris Enke, 10501 Lagrima de Oro NE #38D, ABQ, NM 87111
Milo Myers, 10501 Lagrima de Oro, ABQ, NM 87111
Len Boscarine, 11100 Lagrima de Oro NE, ABQ, NM 87111
Pat Kneen, 10501 Lagrima de Oro NE #159, ABQ, NM 87111
Linda Plein, 11100 Lagrima de Oro NE, ABQ, NM 87111
Olen Thompson, 10501 Lagrima de Oro NE #248, ABQ, NM 87111
Dr. M. Krasnow, 10501 Lagrima de Oro NE, ABQ, NM 87111
Alan Varela, avarela@cabq.gov
Sue Norton, sndlv/860@comcast.net
Zoe Rae, zhrae@aol.com
Kay Grant, kkkkaty6@comcast.net
Don Norton, sndlv/860@comcast.net
DeAnn Eaton, deaton@haverlandcarter.com
Linda Givens, lgivens@lavidallena.com

August 6 , 2019

THE HARTMAN | MAJEWSKI
DESIGN GROUP
Architects • Engineers • Interior Design
Planners • Urban Designers • LEED®

120 Vassar Drive SE Suite 100
Albuquerque New Mexico 87106
T 505 242 6880 • F 505 242 6881



Kym Dicome, DRB Chair
City of Albuquerque
Development Review Board
600 Second Street NW
Albuquerque, New Mexico 87102

Re: **La Vida Llana**
Request for DRB Approval- Major Amendment to EPC Site Plan
COA Project #2019-002114 (1003807)

Dear DRC Chair:

On behalf of our client, La Vida Llana (LVL), The Hartman + Majewski Design Group (DG) and Consensus Planning are writing to request Design Review Board (DRB) approval of a Major Amendment to EPC Site Plan la Vida Llana located on the north side of Lagrima De Oro Road NE between Morris and Juan Tabo NE. The IDO zoning designation for this property is R-ML. This zoning is not affected by this Application.

The Official Notice of Decision from the Environmental Planning Commission received on June 13, 2019, is included within this application. This letter contains responses outlining how each condition has been addressed, and required minor plan revisions to accommodate the conditions. Responses to conditions are as follows for SI-2019-00117 Major Amendment to a Prior Approved Site Development Plan:

CONDITION 1:

We met with our staff planner Cheryl Somerfeldt on August 5, 2019 to review the application and conditions.

CONDITION 2:

The Site Plan has been reviewed and to our knowledge is in compliance with the General Regulation of the IDO.

CONDITION 3:

Note have been added to the Site Plan identifying the Variances-EPC.

CONDITION 4:

This letter and this submittal to the DRB serves as the response to Condition 1.

CONDITION 5:

We have computed the available open space on the campus. The required open space is 94,900sf, and the available open space (within the ring road of the campus) is 138,420 sf. The area identified did not include the residential unit balconies that would further increase the available open space. The area outside of the ring road was not calculated as the requirements have already been satisfied.

CONDITION 6:

Bike Racks have been added as well as a secure locker type facility within the parking level of the Independent Living Building to satisfy the 20% of required parking spaces being inside a locker. Plan now shows 32 total parking with 6 enclosed in covered/lockers.

CONDITION 7:

We have discussed the walls with the City Engineer (Shahab Biazar) and because the walls are only 1' tall as viewed from the adjacent parcels the walls are permitted to exceed the 6' height limit as required by IDO Table 5-7-1. There is an existing segmented block wall that exceeds the 6' tall and we will be connecting to the existing wall. We have created terraced retaining walls where possible.

CONDITION 8:

The Wall has been adjusted to be 3'6" tall above the curb line. The curb is used to make up the remaining 6" to achieve over the required 72" tall screen wall as viewed from the adjacent residential at the small parking lot located at the western side of the site.

CONDITION 9:

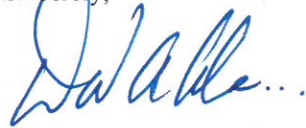
- References to sheet C-501 for details have been removed.
- Solid Waste has approved the site plan for access.

The EPC approval included a request for height Variance for the two proposed buildings. These variances only included Findings and did not include Conditions that would need to be clarified as part of this letter.

The EPC approval also include a request setback from protected lots located along the western side of the site. The variances only included Findings and did not include Conditions that would need to be clarified as part of this letter.

We respectfully request that the **Development Review Board** review and approve the requested application. Please do not hesitate to contact me at 505-998-6430 if you have any questions or require additional information.

Sincerely,



David Aube, PE
Principal

cc: DeAnn Eaton, LVL
Joe Gomez, LVL
Jackie Fishman, Consensus Planning
Mark Wade, AIA, DG
P:\2439_GAHP-plazaciudana\C2_Agency\DRB Comments\DRB Justification Ltr_2019.08.06.doc



THE HARTMAN + MAJEWSKI
DESIGN GROUP
 Architects • Engineers • Interior Design
 Planners • Urban Designers • LEED®

120 Vassar Drive SE Suite 100
 Albuquerque New Mexico 87106
 T 505 242 6880 • F 505 242 6881

CONSULTANT

STAMP

PROJECT NAME
 LA VIDA LLENA
 10501 LAGRIMA DE ORO NE

HAVERLAND CARTER GROUP
 10701 Montgomery Boulevard NE
 ALBUQUERQUE NM, 87111

REVISIONS:

No.	DATE	DESCRIPTION
1	ASI 1	10.31.14

Copyright: Design Group

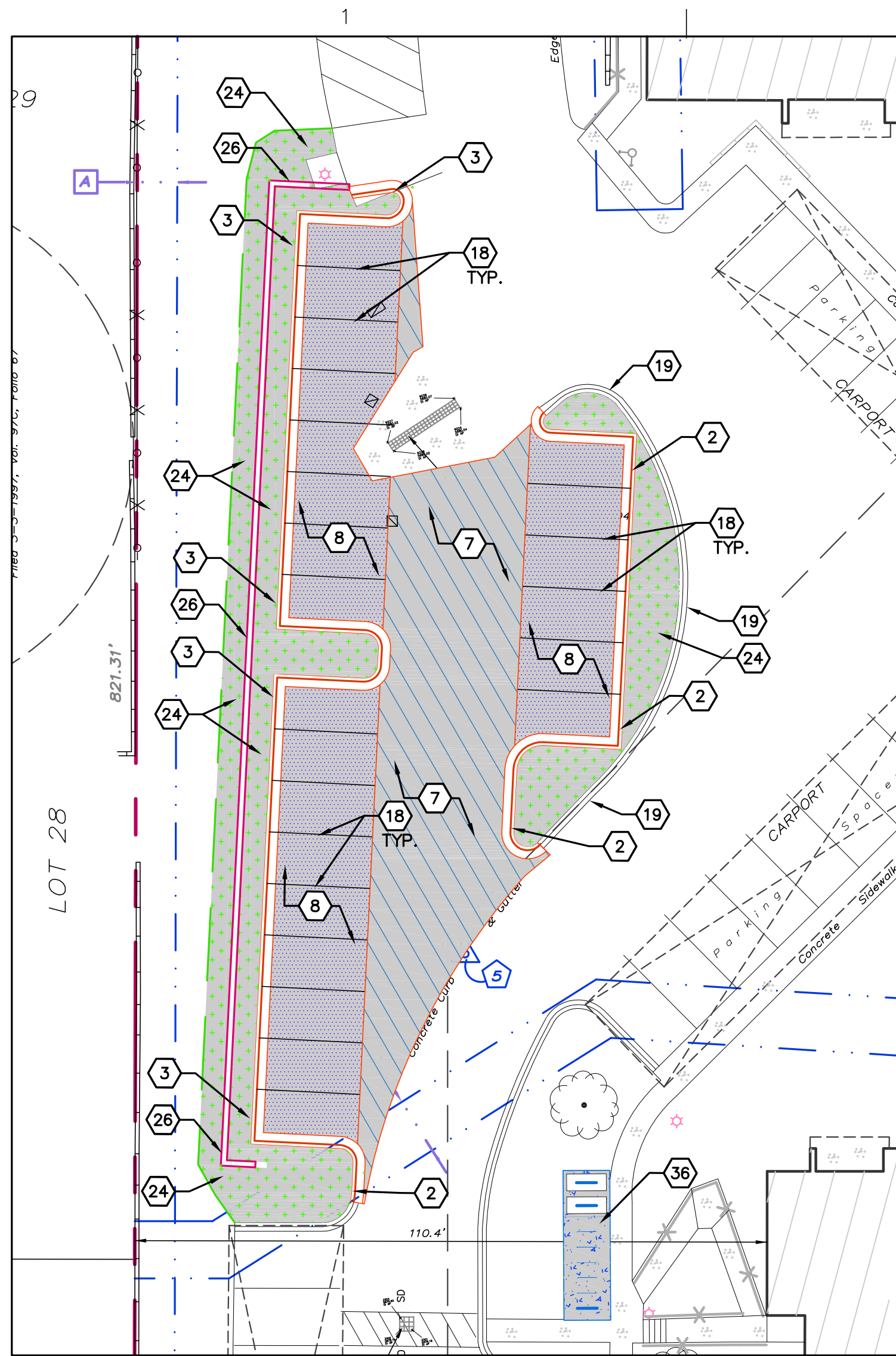
Drawn by
 Checked by
 Date 7-31-2019
 Project number 2811
 Cad file name

SHEET TITLE:

ENLARGED SITE PLAN

SHEET NUMBER:

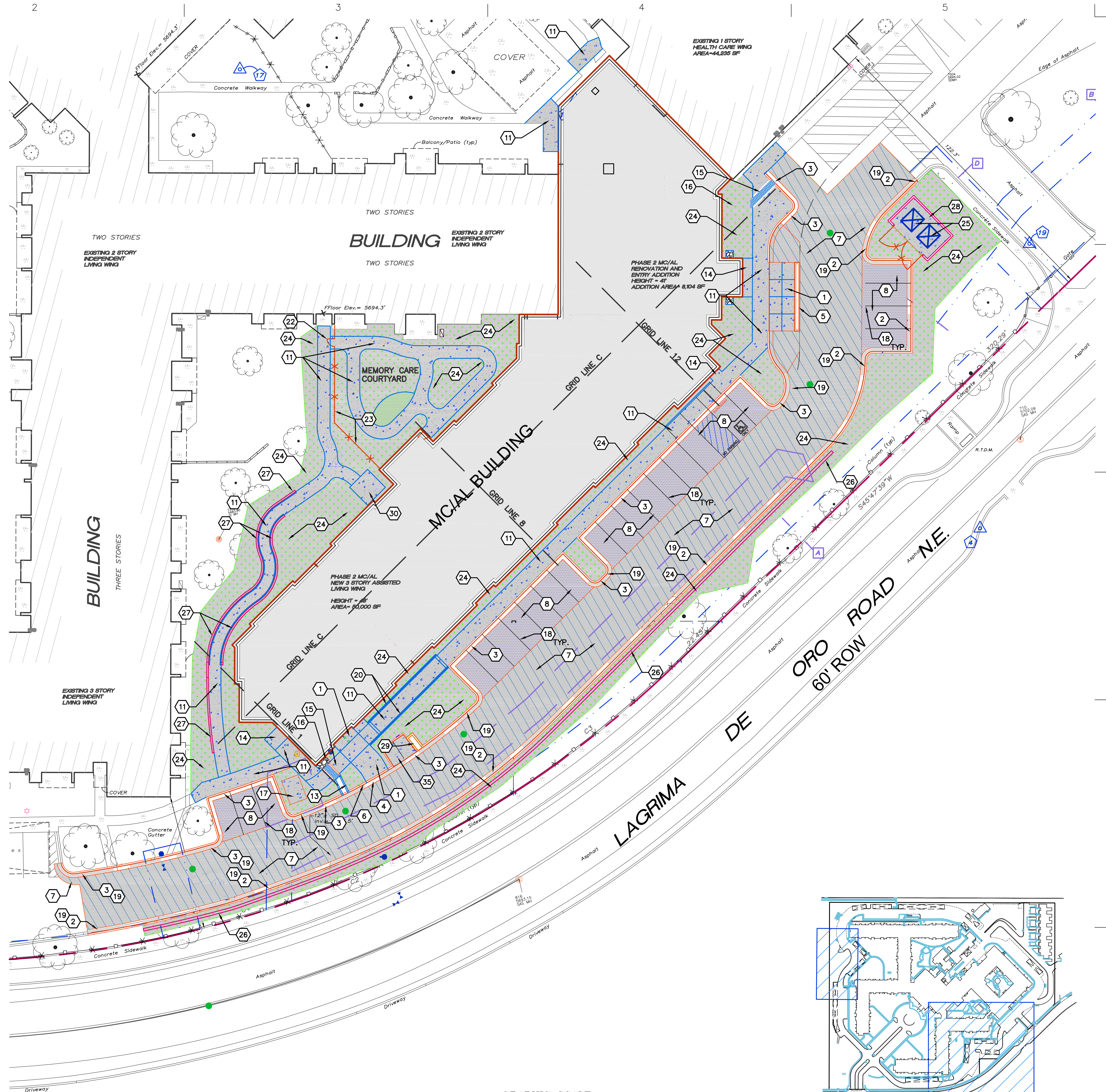
SP-EPC-2



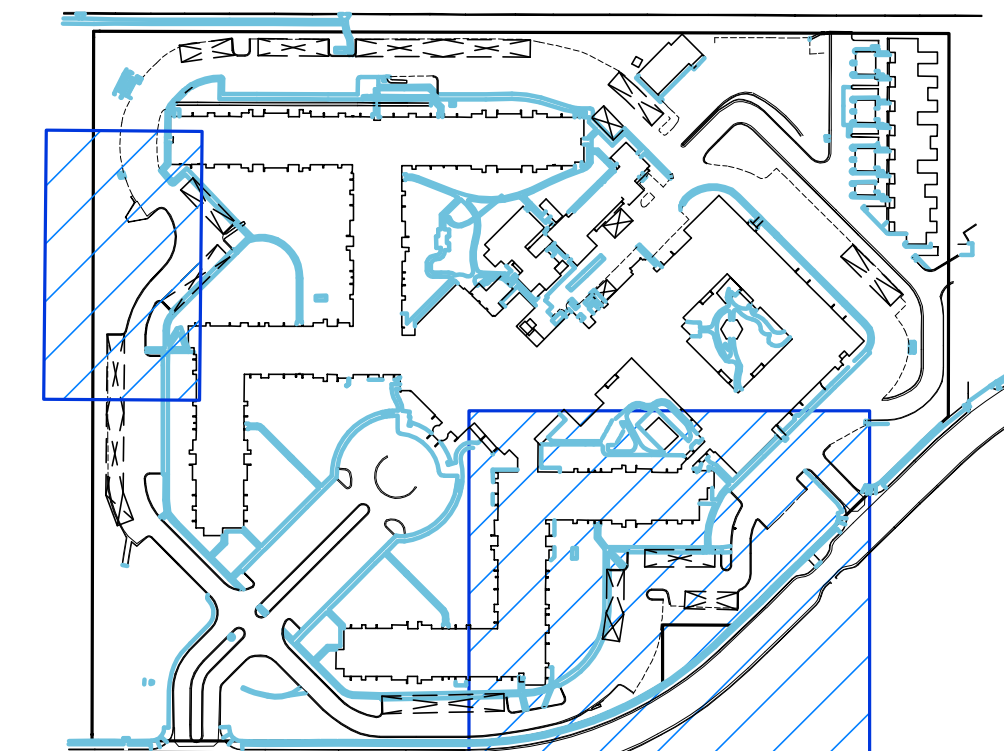
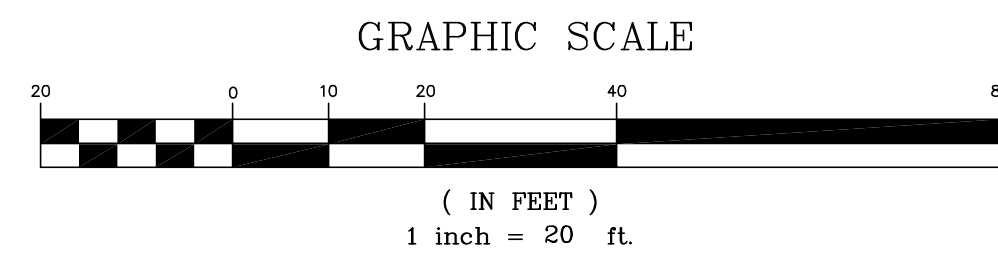
C1 ENLARGED SITE PLAN
 1" = 20'-0"

PAVING PLAN KEYED NOTES

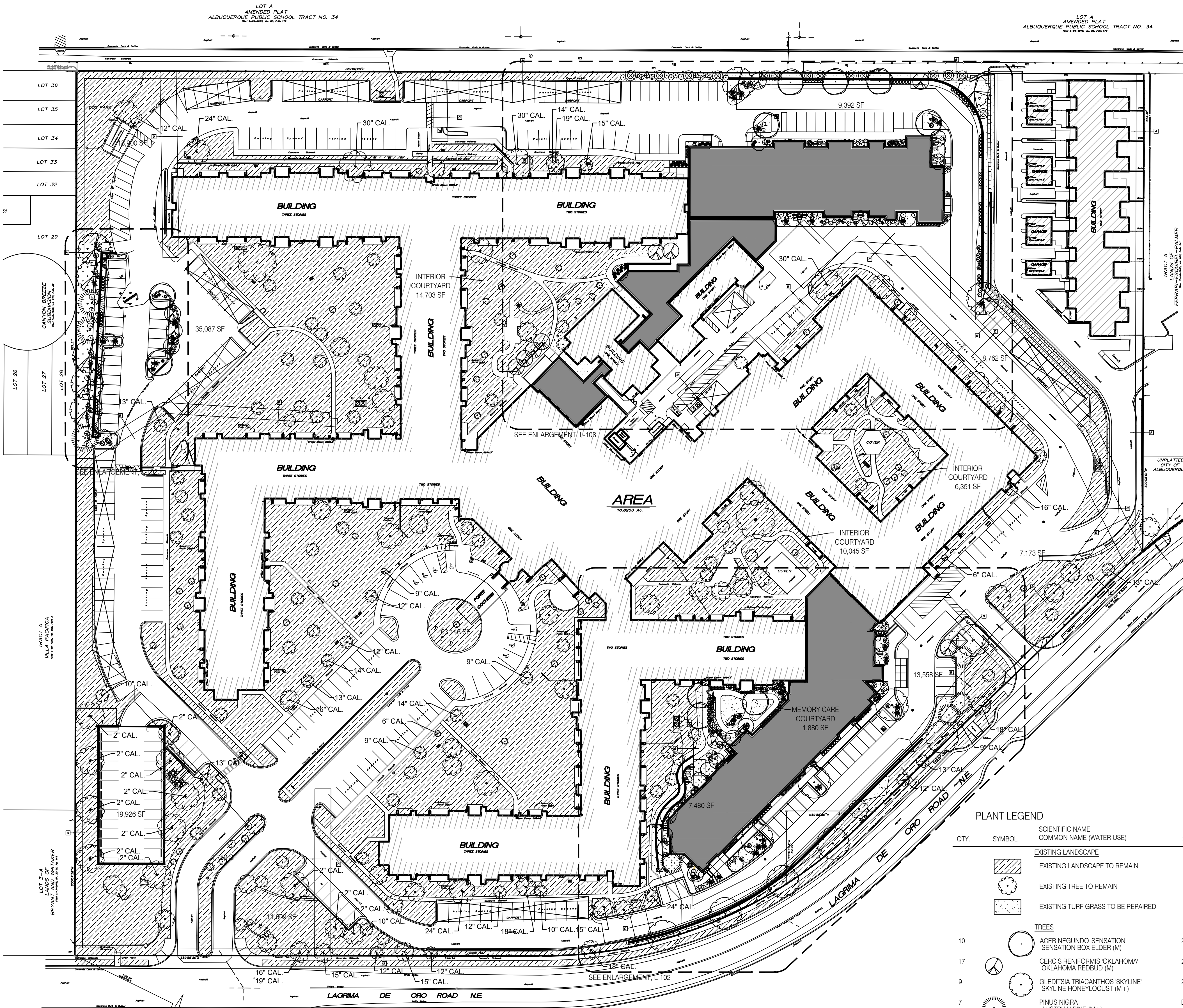
1. CONCRETE PAVEMENT.
2. 6" STANDARD CURB AND GUTTER.
3. 6" DEPRESSED CURB AND GUTTER.
4. RUNDOWN DEPRESSED GUTTER.
5. 6" HEADER CURB.
6. CURB TRANSITION.
7. MAIN DRIVE ASPHALT PAVEMENT.
8. PARKING LOT ASPHALT PAVEMENT.
9. CMU RETAINING WALL, 4'-0" TALL MAX.
10. CONCRETE CURB ACCESS RAMP.
11. CONCRETE SIDEWALK.
12. TURNDOWN EDGE ON SIDEWALK.
13. CONCRETE RUNDOWN CHANNEL.
14. CONCRETE STOOP.
15. CONCRETE SIDEWALK CULVERT.
16. RIP RAP EROSION PROTECTION.
17. CONCRETE EQUIPMENT PAD UNDER NEW TRANSFORMER.
18. 4" WIDE WHITE TRAFFIC PARKING.
19. PAINT CURB RED WITH 6" TALL WHITE LETTERS READING "NO PARKING FIRE LANE".
20. HANDRAIL.
21. PAINT CURB YELLOW WHERE HEIGHT IS BETWEEN 1/4" AND 6" TALL.
22. 4' WIDE X 6' TALL PERSONNEL GATE.
23. 6' TALL DECORATIVE WROUGHT IRON FENCE. PROVIDE CONCRETE HEADER CURB BELOW FENCE TO ALLOW BOTTOM OF FENCE TO BE A UNIFORM ELEVATION. SEE LANDSCAPING PLANS FOR DETAILS.
24. COOLING TOWER FOR MECHANICAL SYSTEM.
25. KEYSTONE BLOCK WALL WITH MAX HEIGHT 6' PER MANUFACTURERS RECOMMENDATIONS.
26. CAST IN PLACE CONCRETE RETAINING WALL UP TO 3' TALL.
27. MECHANICAL YARD WITH CONCRETE PAVEMENT, 6' TALL CMU SCREEN WALL, AND GATES.
28. CONCRETE TAILWALL 18" TALL.
29. CONCRETE SEATING AREA. CONCRETE SIDEWALK, SEE LANDSCAPING PLAN FOR SITE FURNISHINGS.
30. RESERVED PARKING SYMBOL.
31. 12" TALL WHITE LETTERS "NO PARKING"
32. UNLOADING ZONE
33. VAN ACCESSIBLE RESERVED PARKING SIGN, MOUNTED TO FACE OF BUILDING.
34. ADA COMPLIANT CURB ACCESS RAMP.
35. MC PARKING STALL WITH LETTERING AND SIGN.
36. BICYCLE PARKING.



A2 ENLARGED SITE PLAN
 1" = 20'-0"



A5 KEY PLAN
 NOT TO SCALE



GENERAL LANDSCAPE NOTES
 LANDSCAPE DESIGN
 ALL PLANTING AREAS SHALL BE TOP DRESSED WITH MULCHES AS DEFINED IN THE MULCHES AND BOULDERS LEGEND.

IRRIGATION
 IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TURF AREAS, AND TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE. TURF AREAS SHALL BE WATERED WITH FOLIAR SPRAY OR ROTORHEADS WITH HEAD-TO-HEAD COVERAGE. HEAD SPACING SHALL BE ADJUSTED AS NECESSARY ON RECONFIGURED TURF AREAS.

RESPONSIBILITY OF MAINTENANCE
 MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF LA VIDA LLENA.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
 THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

PNM COORDINATION
 COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING
 WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST FIVE FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE
 LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA. (NOTE: CHANGES ARE BEING MADE TO THE EXISTING LANDSCAPE AT THE PROJECT ENTRIES.)

LANDSCAPE AREA COVERAGE

TOTAL SITE AREA:	735,890 SF (16.89 AC)
BUILDING AREA (BUILDING ENVELOPE):	- 231,670 SF
NET AREA:	504,220 SF
REQUIRED LANDSCAPE AREA (15% OF NET AREA):	75,633 SF
PROVIDED LANDSCAPE AREA:	
EXISTING TO REMAIN LANDSCAPE AREA:	195,224 SF
PROPOSED LANDSCAPE AREA:	+ 17,184 SF
TOTAL LANDSCAPE AREA:	212,408 SF (42%)

LANDSCAPE LIVE VEGETATIVE COVERAGE
 LANDSCAPE COVERAGE REQUIREMENTS SPECIFY TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 75%. A MINIMUM OF 25% SHALL BE PROVIDED AS GROUND-LEVEL PLANTS (SHRUBS, GRASSES, ETC.).

FOR PROPOSED LANDSCAPE AREA (17,184 SF)

PROVIDED LIVE VEGETATIVE MATERIAL COVERAGE	46,492 SF (271% OF LANDSCAPE AREA)
PROVIDED GROUND-LEVEL PLANT COVERAGE	10,014 SF (58% OF LIVE VEGETATIVE COVERAGE)

LANDSCAPE TURF
 NO MORE THAN 10% OF REQUIRED LANDSCAPE AREAS SHALL BE TURF GRASS SPECIES REQUIRING IRRIGATION FOR SURVIVAL AFTER THE FIRST 2 GROWING SEASONS. ALL TURF AREAS ARE EXISTING AND EXISTING TO BE REPAIRED.

PARKING LOT AREA
 AT LEAST 15% OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR MORE SPACES, SHALL BE LANDSCAPED.

TOTAL PARKING LOT AREA:	300,280 SF
LANDSCAPE AREA:	100,670 SF (33% OF PARKING LOT AREA)

PARKING LOT TREES
 PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.

PARKING SPACES: 439
PARKING LOT TREES REQUIRED: 44

EXISTING PARKING LOT TREES PROVIDED: 209

Ø AT BREAST HEIGHT	CREDIT	NUMBER OF EXISTING	TOTAL CREDIT
<4"	1	11	11
4"-7"	2	2	4
8"-12"	4	20	80
13"-24"	6	15	90
≥24"	8	3	24
			209

PROPOSED NEW PARKING LOT TREES: 13
TOTAL LOT TREES PROVIDED: 222

STREET TREES
 LAGRIMA DE ORO ROAD REQUIRES STREET TREES. STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 25' O.C.

LAGRIMA DE ORO ROAD FRONTAGE IS 1,126'
STREET TREES REQUIRED: 45
EXISTING STREET TREES PROVIDED: 64

CREDITS FOR PRESERVING TREES

Ø AT BREAST HEIGHT	CREDIT	NUMBER OF EXISTING	TOTAL CREDIT
8"-12"	4	4	16
13"-24"	6	8	48
			64

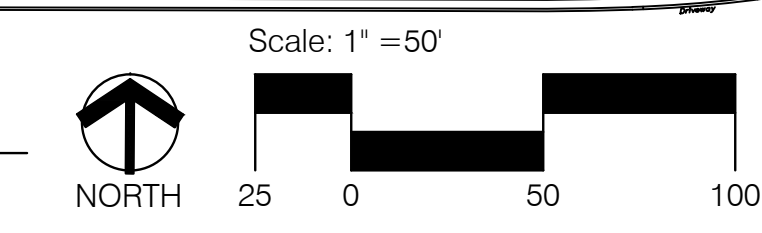
PROPOSED NEW STREET TREES: 5
TOTAL STREET TREES: 69

PLANT LEGEND

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME (WATER USE)	SIZE	INSTALLED SIZE MATURE SIZE	QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME (WATER USE)	SIZE	INSTALLED SIZE MATURE SIZE
EXISTING LANDSCAPE									
	(Symbol)	EXISTING LANDSCAPE TO REMAIN			14	(Symbol)	JUNIPERUS SCOPULORUM 'SPARTAN' SPARTAN JUNIPER (L+)	15-GAL	12" HT. X 12" SPR.
	(Symbol)	EXISTING TREE TO REMAIN			9	(Symbol)	LAGERSTROEMIA INDICA SIOUX PINK PINK CRAPE MYRTLE (M)	15-GAL	12" HT. X 6" SPR.
	(Symbol)	EXISTING TURF GRASS TO BE REPAIRED			7	(Symbol)	PINUS MUGO PUNILIO DWARF MUGO PINE (M+)	5-GAL	4" HT. X 4" SPR.
TREES									
10	(Symbol)	ACER NEGUNDO 'SENSATION' SENSATION BOX ELDER (M)	2.5' B&B	8 HT. X 4' SPR. 40 HT. X 30' SPR.	27	(Symbol)	PRUNUS BESSEYI WESTERN SAND CHERRY (M)	5-GAL	5" HT. X 5' SPR.
17	(Symbol)	CERCIS RENIFORMIS 'OKLAHOMA' OKLAHOMA REDBUD (M)	2.5' B&B	8 HT. X 4' SPR. 15 HT. X 15' SPR.		(Symbol)	PRUNUS GLANDULOSA PINK FLOWERING ALMOND (M)	5-GAL	5" HT. X 5' SPR.
9	(Symbol)	GLEDITSIA TRIACANTHOS 'SKYLINE' SKYLINE HONEYLOCUST (M+)	2.5' B&B	8 HT. X 4' SPR. 45 HT. X 35' SPR.	87	(Symbol)	CALAMOGROSTIS A. KARL FOERSTER' KARL FOERSTER FEATHER REED GRASS (M)	5-GAL	30" HT. X 2' SPR.
7	(Symbol)	PINUS NIGRA AUSTRIAN PINE (M+)	B&B	8 HT. X 4' SPR. 35 HT. X 25' SPR.	39	(Symbol)	HELICTOTRICHON SEMPERVIRENS BLUE AVENA GRASS (M)	5-GAL	2" HT. X 2' SPR.
24	(Symbol)	PYRUS CALLERYANA 'CLEVELAND SELECT' CLEVELAND SELECT FLOWERING PEAR (M+)	2.5' B&B	8 HT. X 4' SPR. 30 HT. X 15' SPR.	27	(Symbol)	MISCANTHUS SINENSIS 'YAKU JIMA' DWARF MAIDEN GRASS (M)	5-GAL	3" HT. X 3' SPR.
8	(Symbol)	QUERCUS SHUMARDII SHUMARD OAK (M)	2.5' B&B	8 HT. X 4' SPR. 45 HT. X 40' SPR.	48	(Symbol)	PENNSETUM ALOPECUROIDES DWARF FOUNTAIN GRASS (M)	5-GAL	3" HT. X 3' SPR.
SHRUBS AND GROUNDCOVERS									
46	(Symbol)	ACHILLEA 'MOONSHINE' MOONSHINE YARROW (M)		1-GAL	2 HT. X 2' SPR.	3,660 SF	(Symbol)	REVEGETATIVE SEEDING SCIENTIFIC NAME/COMMON NAME	#PLS/AC
42	(Symbol)	BERBERIS THUNBERGII 'CRIMSON PYGMY' CRIMSON PYGMY BARBERRY (M+)		5-GAL	2 HT. X 2' SPR.		BOUTELOUA GRACILIS 'HACITA'/BLUE GRAMA	7.0	
23	(Symbol)	CARYOPTERIS CLAN 'DARK KNIGHT' DARK KNIGHT SPIREA (L+)		5-GAL	4 HT. X 4' SPR.		BOUTELOUA CURTIPLENDOULA 'NINER'/SIDEOTS GRAMA	5.0	
35	(Symbol)	FALLUGIA PARADOXA APACHE PLUME (L)		5-GAL	5 HT. X 5' SPR.		STIPA NEOMEXICANA 'NEEDLE AND THREAD' GRASS	2.0	
28	(Symbol)	JUNIPERUS HORIZ. 'BLUE CHIP' BLUE CHIP JUNIPER (L+)		5-GAL	1 HT. X 7' SPR.		CORYZOPSIS HYMENOCIDES 'INDIAN RICE GRASS'	2.0	
							KOeleria MACRANTHALLINE GRASS	1.0	
							PLEURAPHIA JAMESII 'VIVA/GALLETA'	1.0	
							KRASCHENINNIKOVIA LANATA/WINTERFAT	.25	
							PSILOSTROPHE COOPERI/PAPER FLOWER	.25	
							ERIOGONUM JAMESII VAR/SULPHUR BUCKWHEAT	.25	
							GALLARDIA ARISTATA/BLANKET FLOWER	.25	
							SPHAERALCEA PARVIFOLIA/NELSON SLOBEMALLOW	.25	
							DEMOTHERA PALLIDA/WHITE EVENING PRIMROSE	.25	
							BAILEYA MULTIRADIATA/DESERT MARIGOLD	.25	
							CASTILLEJA INTEGRANDIAN PAINTBRUSH	.25	

A1 OVERALL LANDSCAPE PLAN
 1" = 50'-0"

- KEYED EASEMENTS**
- A 7' Utility Easement granted by plat filed August 7, 1982 in Volume C20, Folio 16.
 - B 10' Utility Easement granted by plat filed August 7, 1982 in Volume C20, Folio 16.
 - C 15' Utility Easement granted by plat filed August 7, 1982 in Volume C20, Folio 16.
 - D 15' Waterline Easement granted by plat filed August 7, 1982 in Volume C20, Folio 16.
 - E 20' Waterline Easement granted by plat filed August 7, 1982 in Volume C20, Folio 16.



MULCHES AND BOULDERS

29	(Symbol)	OAKWOOD LANDSCAPE BOULDERS, MIN 3'x3'x3' (27 CF.)
15,850 SF	(Symbol)	1'-2" AMARETTO BROWN GRAVEL MULCH (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)
1,850 SF	(Symbol)	2'-4" BLUE SAIS ROCK MULCH (6" DEPTH, DEWITT PRO-5 WEED CONTROL, OR EQUAL)

PROJECT NAME
LA VIDA LLENA
LAGRIMA DE ORO

HAVERLAND CARTER GROUP
 10501 LAGRIMA DE ORO RD NE
 ALBUQUERQUE NM, 87111

REVISIONS:

No.	DATE	DESCRIPTION

Copyright: Design Group
 Drawn by: SC
 Checked by: CG
 Date: April 4-25-2019
 Project number: 2811
 Cad file name:

OVERALL LANDSCAPE PLAN
 SHEET NUMBER:
L-101



THE HARTMAN + MAJEWSKI
DESIGN GROUP
 Architects • Engineers • Interior Design
 Planners • Urban Designers • LEED®

120 Vassar Drive SE Suite 100
 Albuquerque New Mexico 87106
 T 505 242 6880 • F 505 242 6881

CONSULTANT



CONSENSUS

302 Eighth Street NW
 Albuquerque, NM 87102
 Phone (505) 764-9801

STAMP

PROJECT NAME

LA VIDA LLENA
 LAGRIMA DE ORO

HAVERLAND CARTER GROUP
 10501 LAGRIMA DE ORO RD NE
 ALBUQUERQUE NM, 87111

REVISIONS:

No.	DATE	DESCRIPTION

Copyright: Design Group

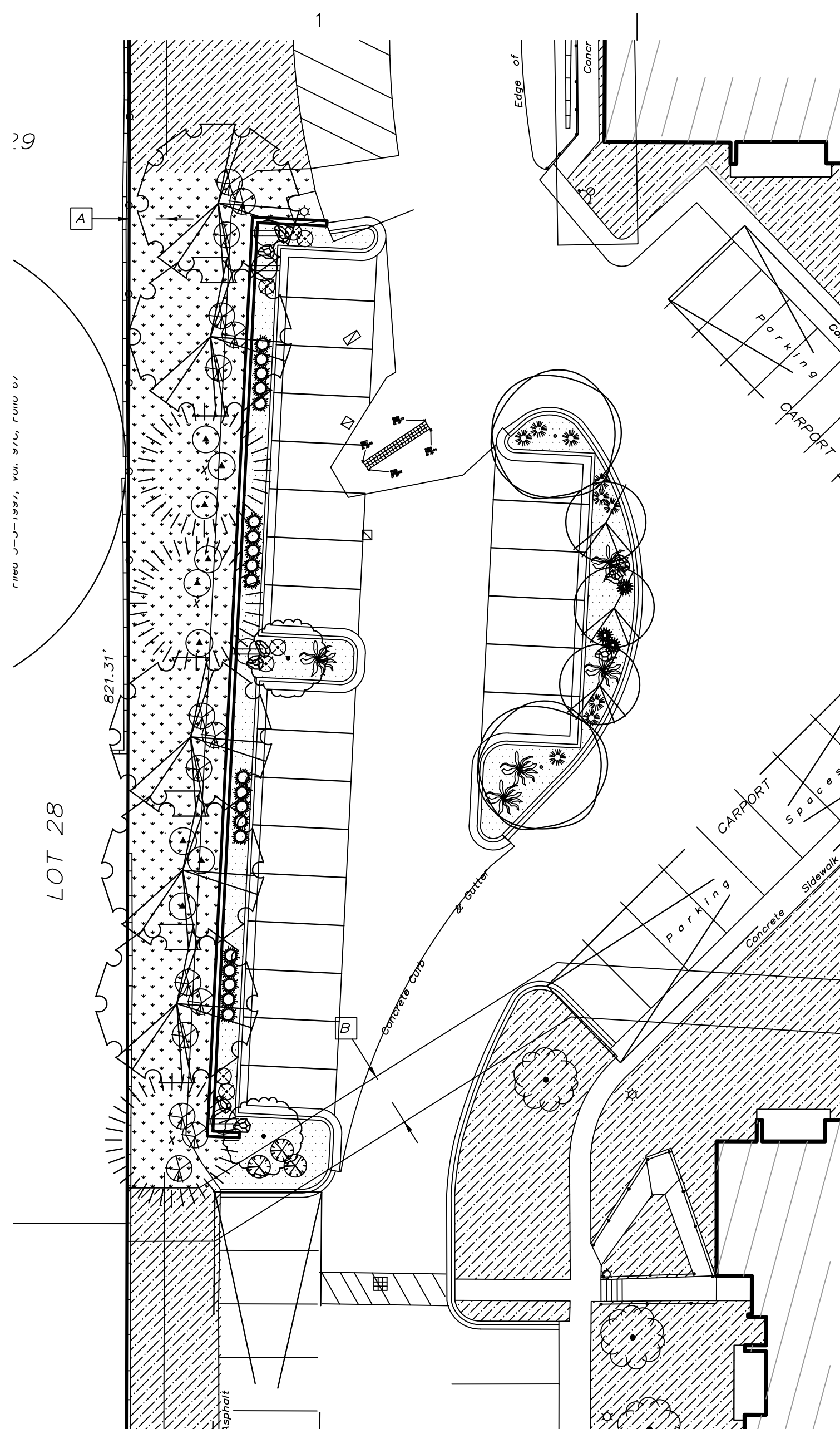
Drawn by	SC
Checked by	CG
Date	April 4-25-2019
Project number	2811
Cad file name	

SHEET TITLE:

ENLARGED
 LANDSCAPE PLAN

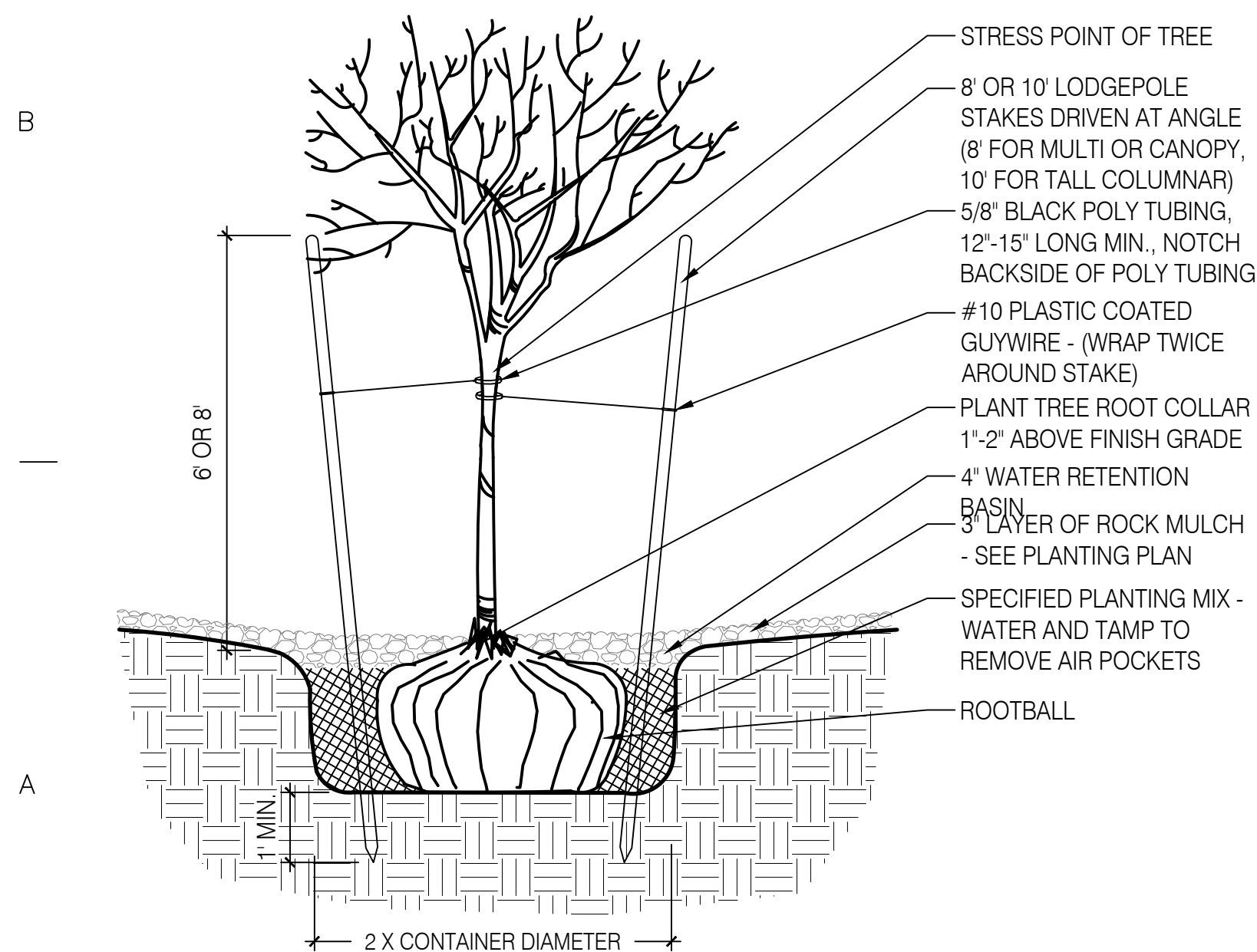
SHEET NUMBER:

L-102

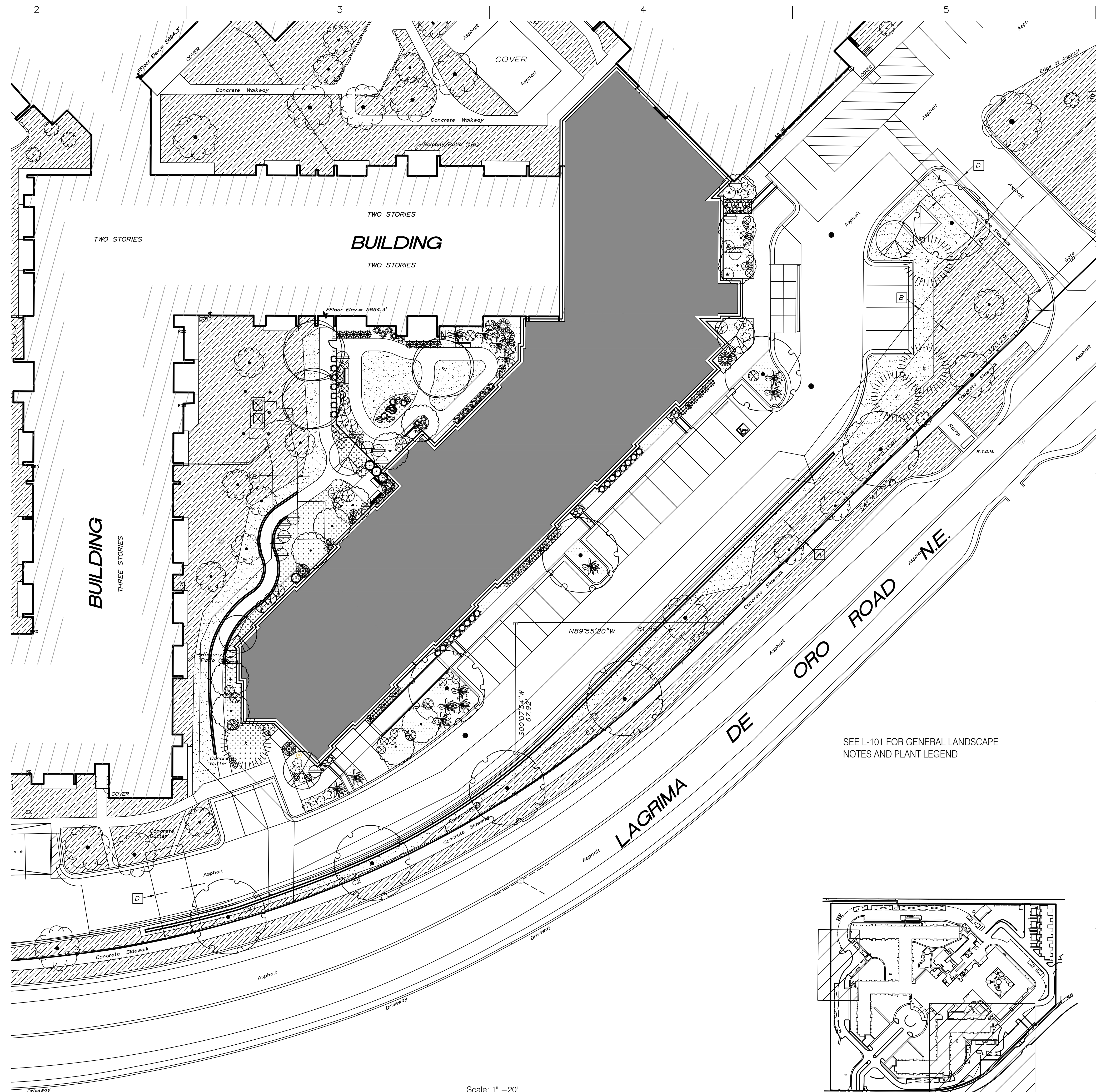


C1 ENLARGED LANDSCAPE PLAN
 1" = 20'-0"

- NOTES:
- A. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER.
 - B. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES.
 - C. REMOVE ROPE AND BURLAP AFTER PLANTING.



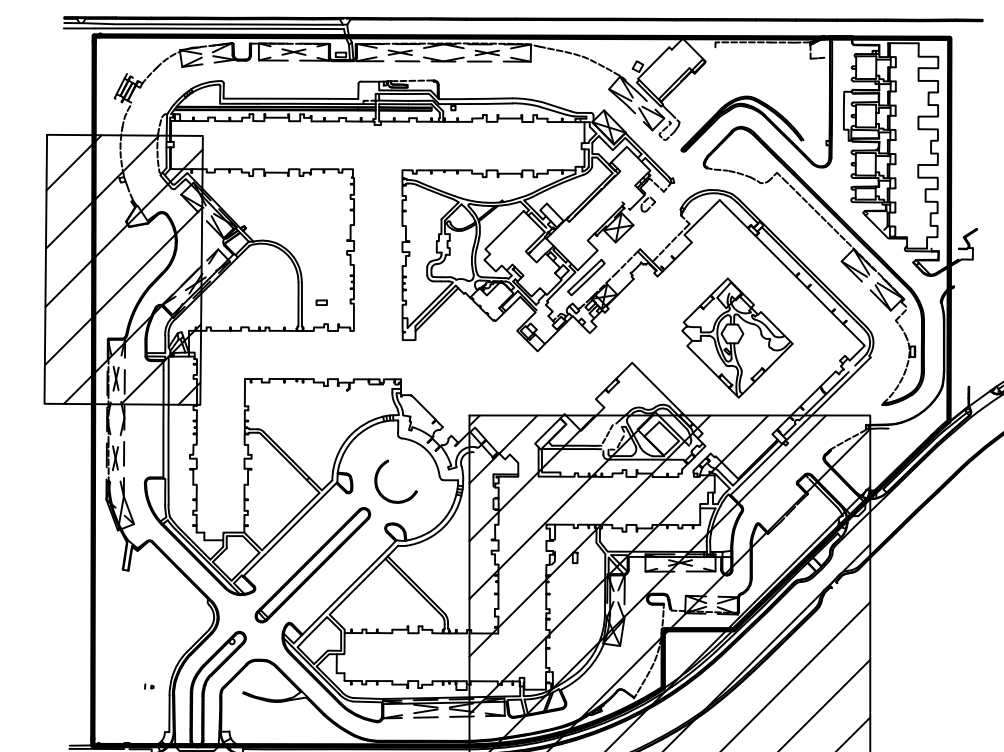
A1 TREE PLANTING DETAIL
 NTS



A2 ENLARGED LANDSCAPE PLAN
 1" = 20'-0"

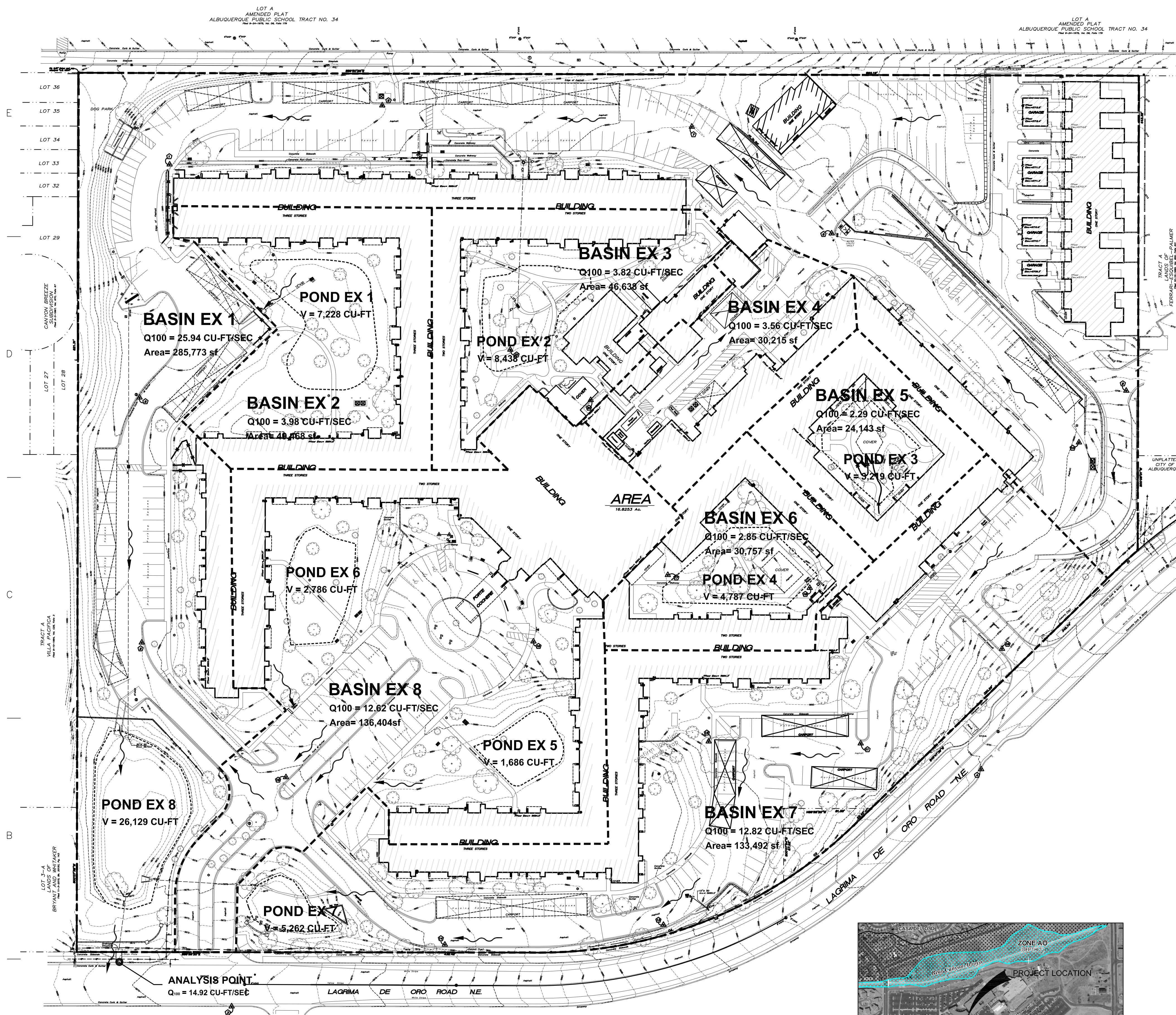


Scale: 1" = 20'



A5 KEY PLAN
 NOT TO SCALE





I. PURPOSE AND SCOPE

THE PURPOSE OF THIS DRAINAGE PLAN IS TO PRESENT THE EXISTING AND PROPOSED DRAINAGE CONDITIONS FOR LA VIDA LLENA LIFE PLAN COMMUNITY, LOCATED AT 10701 LAGRIMA DE ORO ROAD NE IN ALBUQUERQUE, NM. THE ZONE ATLAS PAGE FOR THE SITE IS F-21-Z.

II. SITE DESCRIPTION AND HISTORY

THE PROJECT SITE IS LOCATED ON THE NORTH SIDE OF LAGRIMA DE ORO ROAD NE, BETWEEN MORRIS STREET NE AND JUAN TABO BOULEVARD NE.

THE SITE IS CURRENTLY COMPOSED OF 16.8 ACRE LOT WITH SEVERAL MULTI-RESIDENT BUILDINGS, A COMMONS AREA AS WELL AS A SKILLED NURSING WING. THE SITE ALSO CONTAINS SEVERAL SINGLE RESIDENT TOWNHOUSES (CASITAS) AND A MAINTENANCE BUILDING. A MAJORITY OF THE SITE WAS DESIGNED AND CONSTRUCTED IN 1979 AND 1984.

III. COMPUTATIONAL PROCEDURES

HYDROLOGY ANALYSIS WAS PERFORMED UTILIZING THE DESIGN CRITERIA BASED ON SECTION 22.2, HYDROLOGY, OF THE DEVELOPMENT PROCESS MANUAL, RELEASED JUNE 1997. TABLES WITHIN SECTION 22.2 WERE USED TO AID IN THE STUDY OF THE SITE HYDROLOGY.

IV. PRECIPITATION

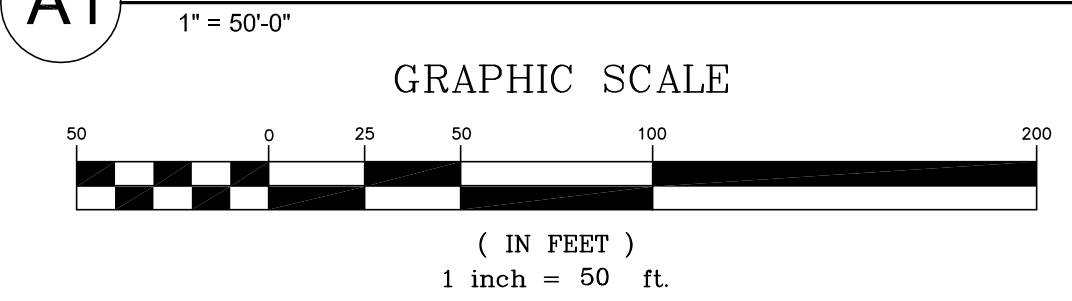
THE STORM EVENT USED FOR THE FOLLOWING CALCULATIONS IS THE 100YR-6HR STORM. THE PROJECT SITE IS LOCATED IN ZONE 4 (EAST OF EUBANK BOULEVARD NE).

Drainage Summary								
Project:	La Vida Llena							
Project Number:	2811							
Date:	04/19/19							
By:	Dave A							
Site Location:	10701 Lagrima De Oro Road NE							
Precipitation Zone:	4 Per Table A-1 COA DPM Section 22.2							
Existing summary:								
Basin Name	Ex 1	Ex 2	Ex 3	Ex 4	Ex 5	Ex 6	Ex 7	Ex 8
Area (sf)	285773	48468	46638	30215	24143	30757	133492	138404
Area (acres)	6.56	1.11	1.07	0.69	0.55	0.71	3.06	3.13
%A Land treatment	40	55	55	0	25	35	35	40
%B Land treatment	0	0	0	5	15	0	0	0
%C Land treatment	5	0	0	0	0	10	0	0
%D Land treatment	55	45	45	95	60	55	65	60
Soil Treatment (acres)								
Area "A"	2.62	0.61	0.59	0.00	0.14	0.25	1.07	1.25
Area "B"	0.00	0.00	0.00	0.03	0.08	0.00	0.00	0.00
Area "C"	0.33	0.00	0.00	0.00	0.07	0.00	0.00	0.00
Area "D"	3.61	0.50	0.48	0.66	0.33	0.39	1.99	1.88
Excess Runoff (acre-feet)								
100yr. 6hr.	1.0087	0.1510	0.1453	0.1481	0.0899	0.1105	0.5097	0.4968
10yr. 6hr.	0.5893	0.0848	0.0816	0.0941	0.0533	0.0648	0.3056	0.2938
2yr. 6hr.	0.3154	0.0432	0.0415	0.0556	0.0290	0.0347	0.1694	0.1602
100yr. 24hr.	1.2342	0.1822	0.1754	0.1959	0.1107	0.1348	0.6342	0.6143
Peak Discharge (cfs)								
100 yr.	25.94	3.98	3.82	3.56	2.29	2.85	12.82	12.62
10 yr.	15.91	2.32	2.23	2.40	1.43	1.76	8.04	7.80
2yr.	8.29	1.12	1.07	1.44	0.76	0.93	4.38	4.14

Pond Routing and Volumes (Existing)

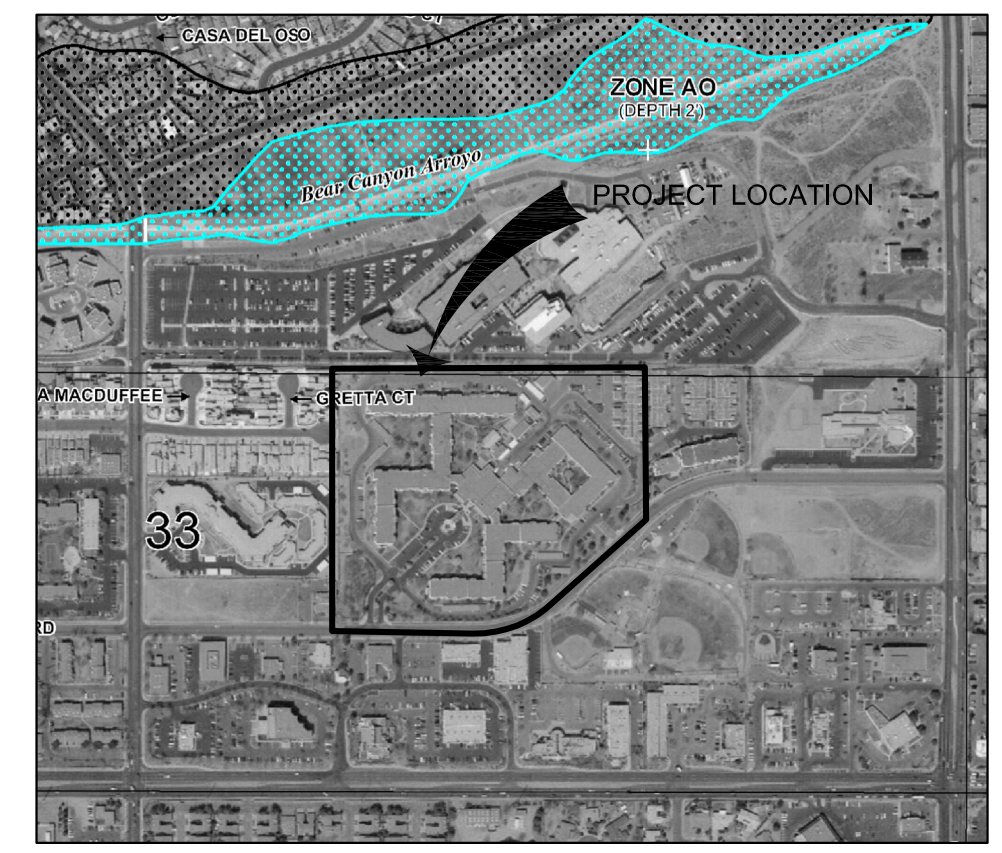
	Pond EX1	Pond EX2	Pond EX3	Pond EX4	Pond EX5	Pond EX6	Pond EX7	Pond EX8
Incoming Flow Rate	Qin	45.90	3.98	3.82	3.56	2.29	2.85	13.24
Allowable Discharge Rate	Qout	14.92	0	0.00	3.56	0.32	0.10	8.20
Hydrology Zone		4	4	4	4	4	4	4
Area Total	A1	6.57	1.11	1.07	0.69	0.55	0.71	3.06
Area Type A	Aa	40	55	55	0	25	35	40
Area Type B	Ab	0	0	0	5	15	0	0
Area Type C	Ac	5	0	0	0	0	10	0
Area Type D Impervious	Ad	55	45	45	95	60	55	60
Excess runoff rates								
A	0.80	0.80	0.80	0.80	0.80	0.80	0.80	0.80
B	1.08	1.08	1.08	1.08	1.08	1.08	1.08	1.08
C	1.46	1.46	1.46	1.46	1.46	1.46	1.46	1.46
D	2.64	2.64	2.64	2.64	2.64	2.64	2.64	2.64
Weighted E (Excess Runoff)		1.85	1.63	1.63	2.56	1.95	1.88	2.00
Time of Concentration		0.2	0.2	0.2	1.2	2.2	3.2	4.2
Time to Peak		0.228	0.236	0.236	0.194	0.923	1.628	2.319
Time of Base		0.419	0.846	0.845	0.810	0.842	0.843	0.811
Duration of Peak		0.138	0.113	0.113	0.238	0.150	0.138	0.163
Time for end of peak		0.365	0.348	0.348	0.432	0.173	1.765	2.482
Time when storage begins		0.074	0.000	0.000	0.154	0.129	0.057	1.436
Time incoming is less than discharge		0.401	0.846	0.845	0.432	0.875	0.875	1.848
Volume Required during storm		7.199	1.908	1.830	0.000	0.882	1.314	1.441
		26133	6627	6642	0	3202	4770	5231

DRAINAGE PLAN EXISTING CONDITIONS

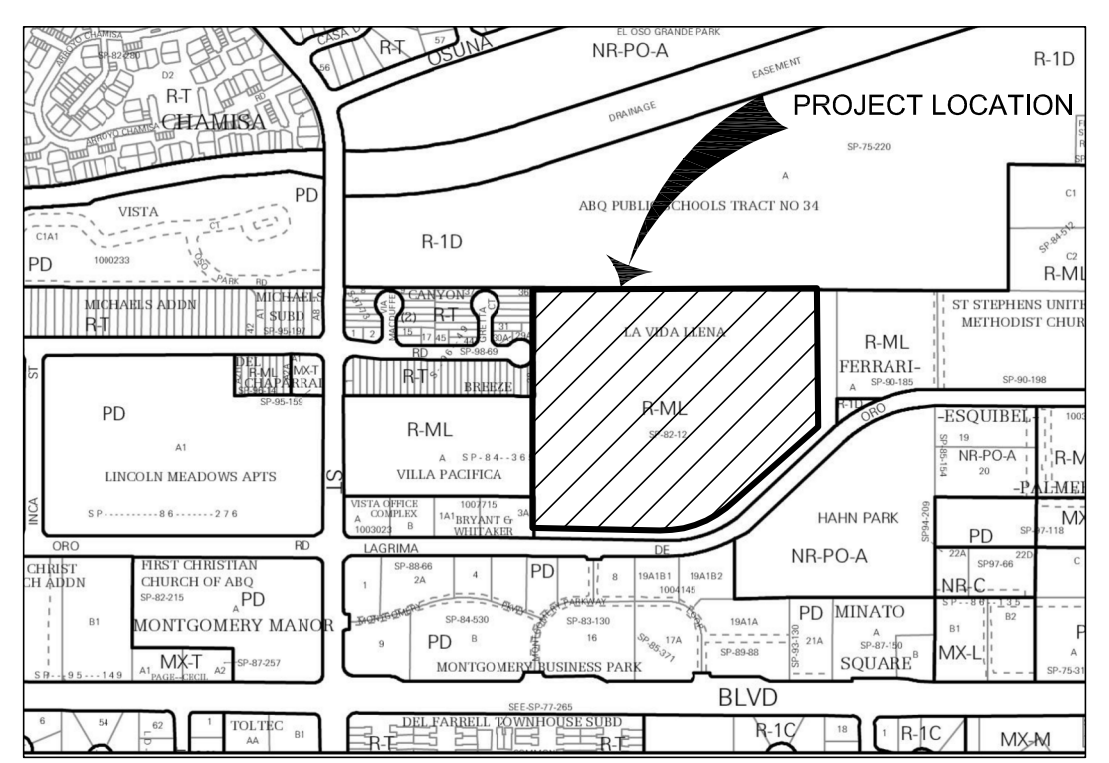


FLOOD ZONE DETERMINATION

The surveyed area, as shown hereon, appears to lie within "ZONE X" (areas determined to be outside the 0.2% annual chance floodplain), shown on National Flood Insurance Program Flood Insurance Rate Map 35001C0144G REVISED 09/26/2008.



A3 FEMA FLOOD ZONE
NOT TO SCALE



A5 ZONE ATLAS PAGE F-21
NOT TO SCALE



THE HARTMAN + MAJEWSKI
DESIGN GROUP
Architects • Engineers • Interior Design
Planners • Urban Designers • LEED®

120 Vassar Drive SE Suite 100
Albuquerque New Mexico 87105
T 505 242 6880 • F 505 242 6881

CONSULTANT

STAMP



PROJECT NAME
LA VIDA LLENA
10501 LAGRIMA DE ORO NE

HAVERLAND CARTER GROUP
10701 Montgomery Boulevard NE
ALBUQUERQUE NM, 87111

REVISIONS:

No.	DATE	DESCRIPTION

Copyright: Design Group

Drawn by
Checked by
Date: 7-31-2019
Project number: 2811
Cad file name

SHEET TITLE:
DRAINAGE PLAN EXISTING CONDITIONS

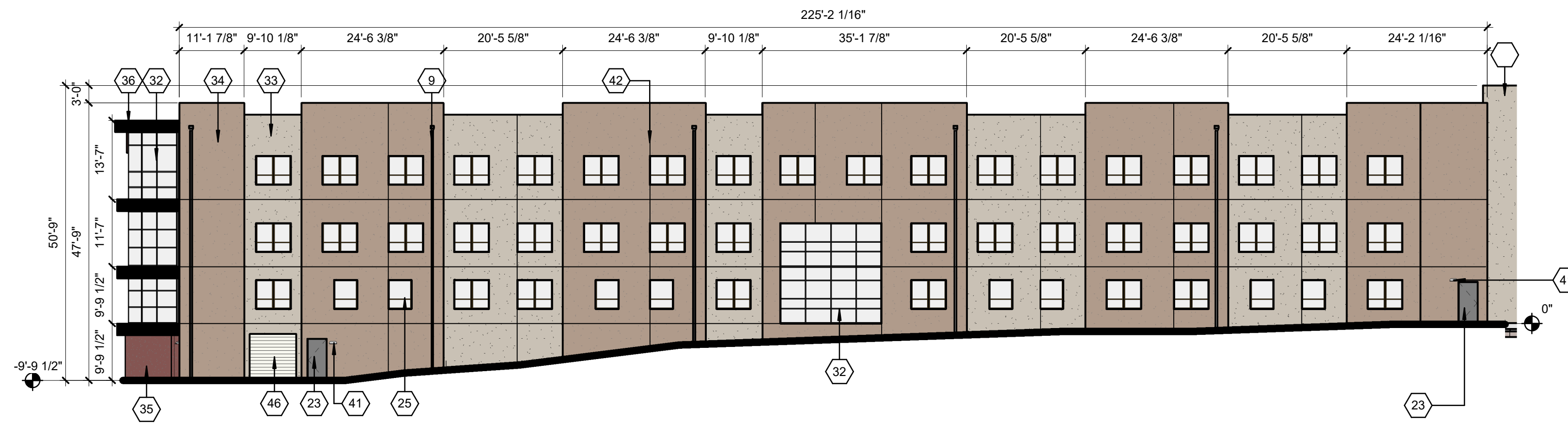
SHEET NUMBER:

CD-1

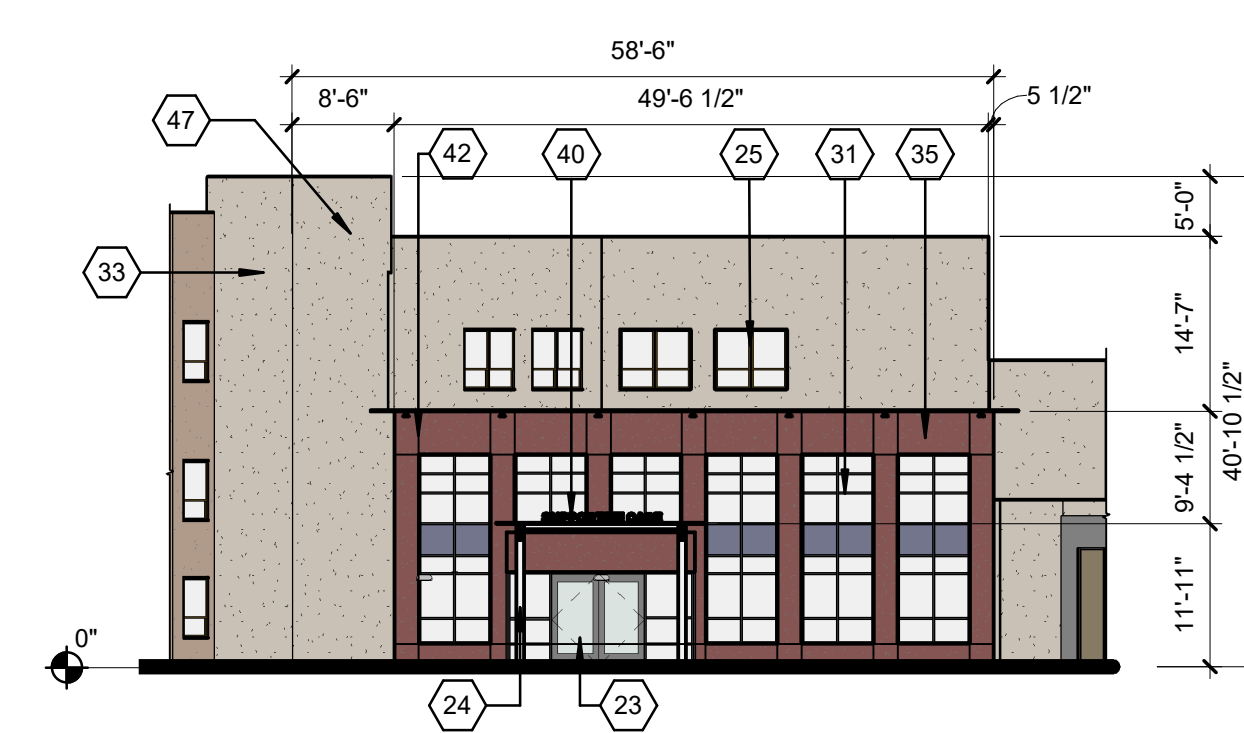
P:\2811_Masterplanphase\buildout\02_Model\02_Civil\Phase 3_IL_Commmons\PS-CD.dwg, 7/31/2019 10:24:45 AM



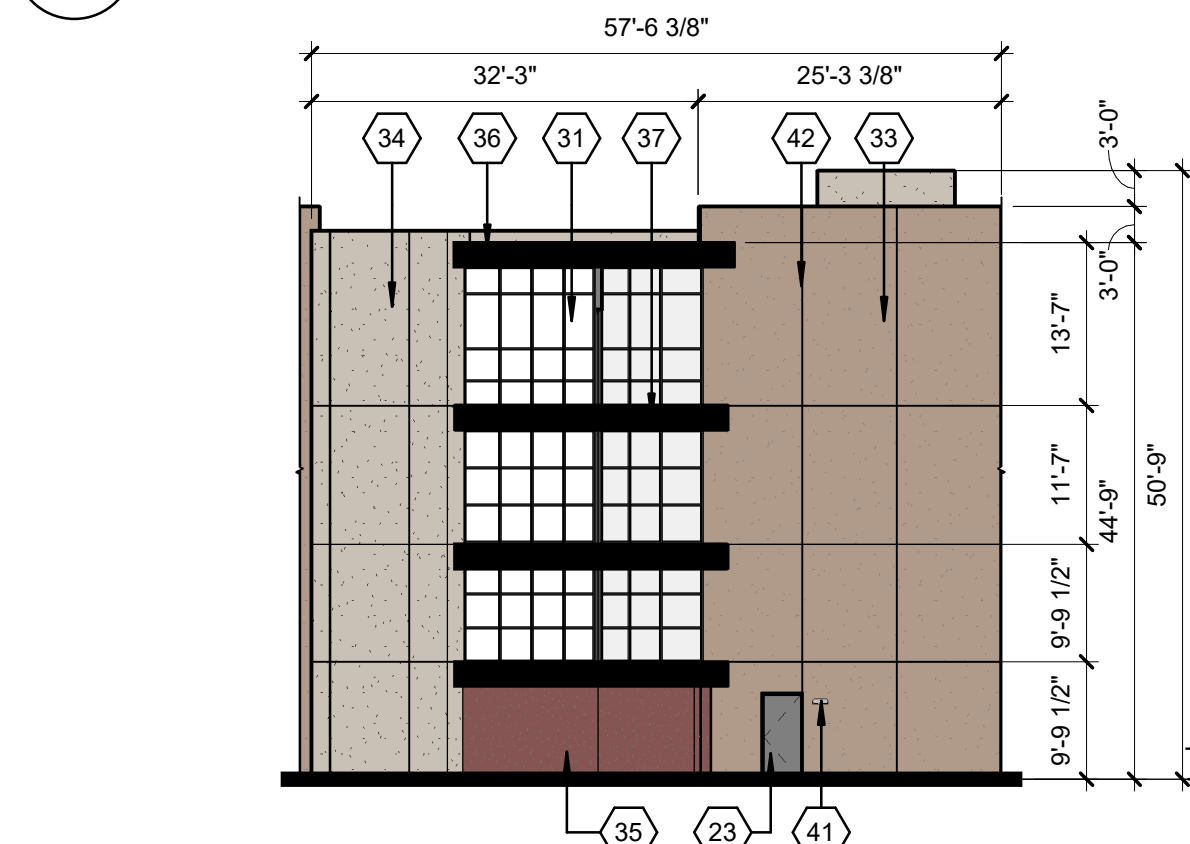
THE HARTMAN + MAJEWSKI
DESIGN GROUP
 Architects • Engineers • Interior Design
 Planners • Urban Designers • LEED®
 120 Vassar Dr SE Suite 100
 Albuquerque New Mexico 87106
 T 505 242 6880 • F 505 242 6881
 CONSULTANT



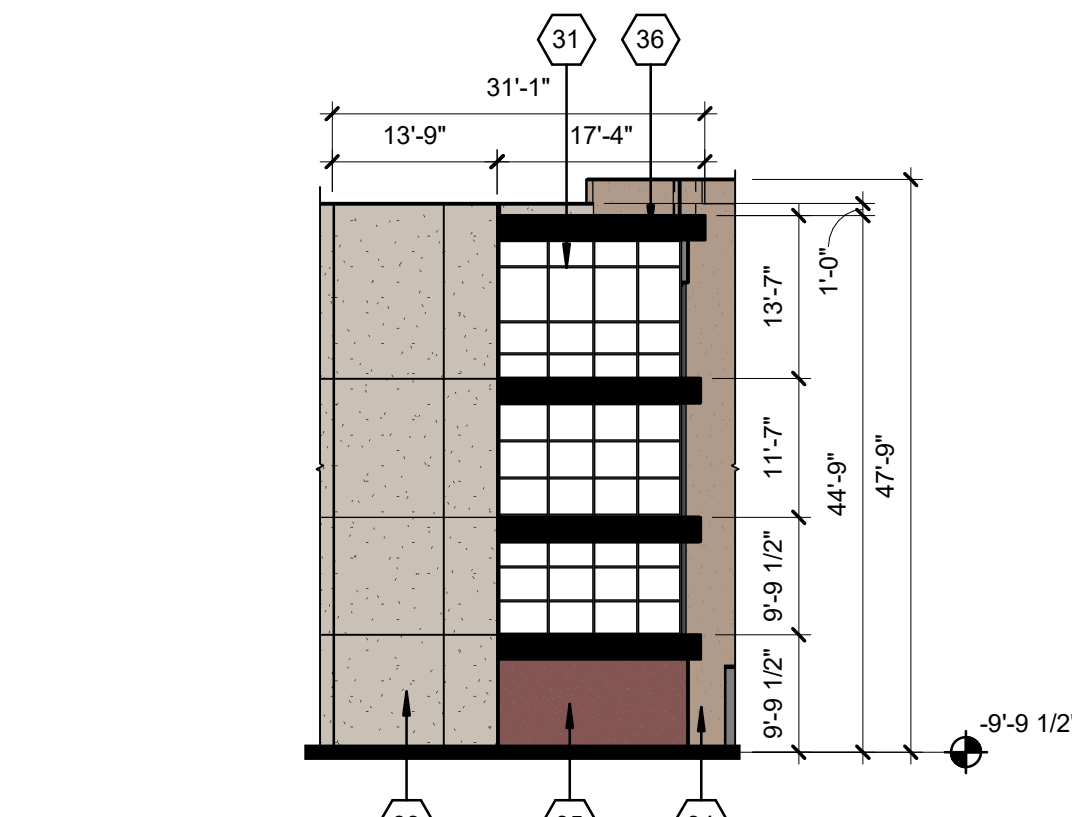
A BUILDING ELEVATION - SOUTHEAST
 1/16" = 1'-0"



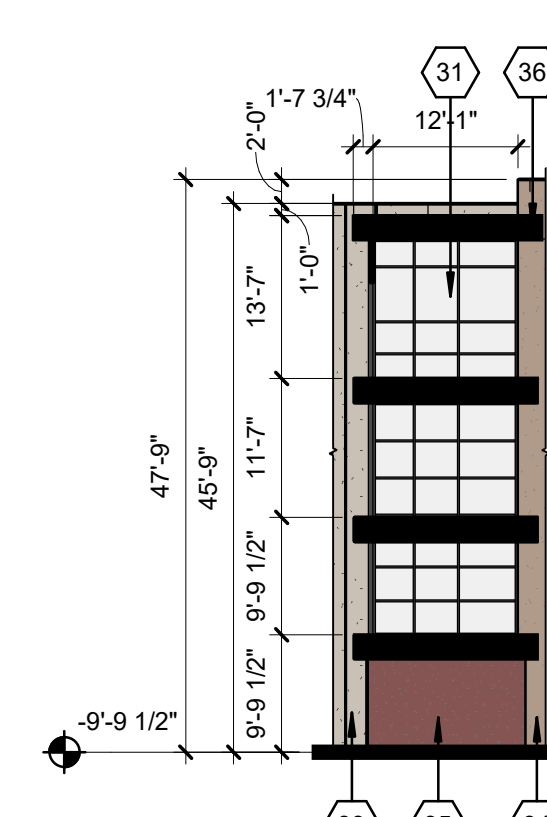
B BUILDING ELEVATION - EAST
 1/16" = 1'-0"



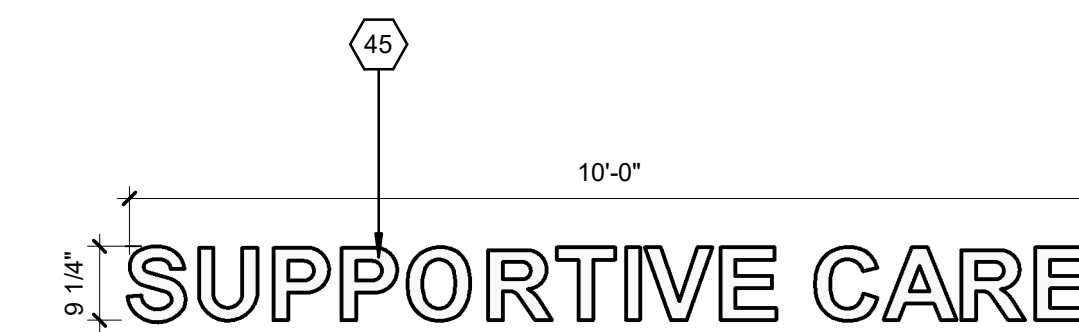
C BUILDING ELEVATION - SOUTHWEST
 1/16" = 1'-0"



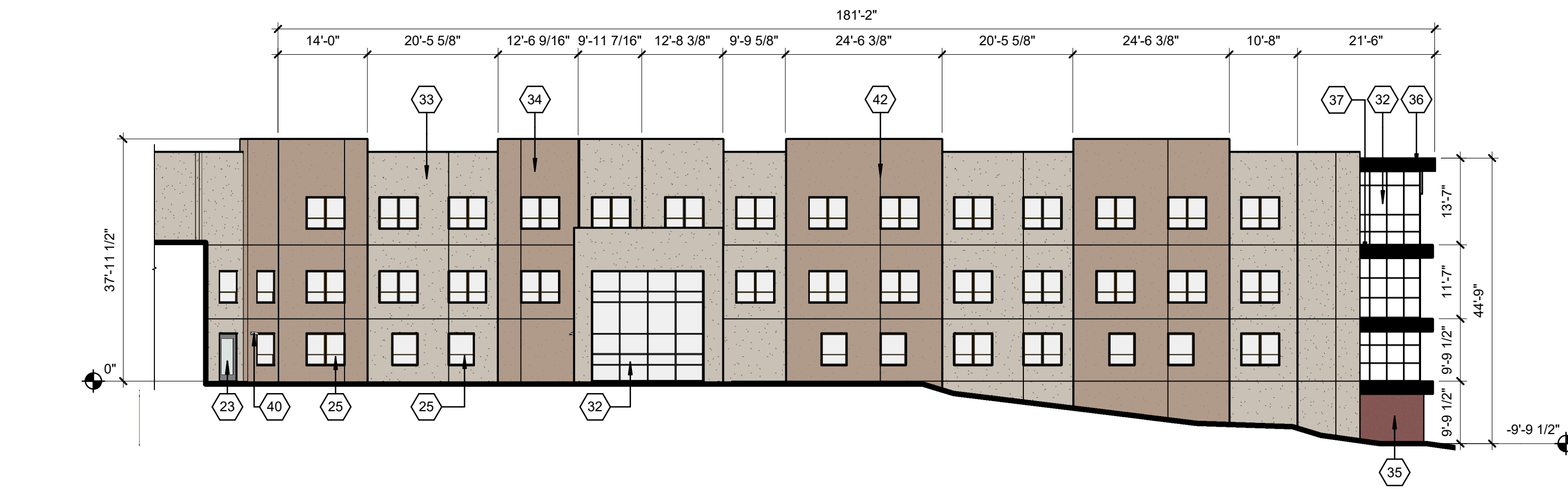
D BUILDING ELEVATION WEST
 1/16" = 1'-0"



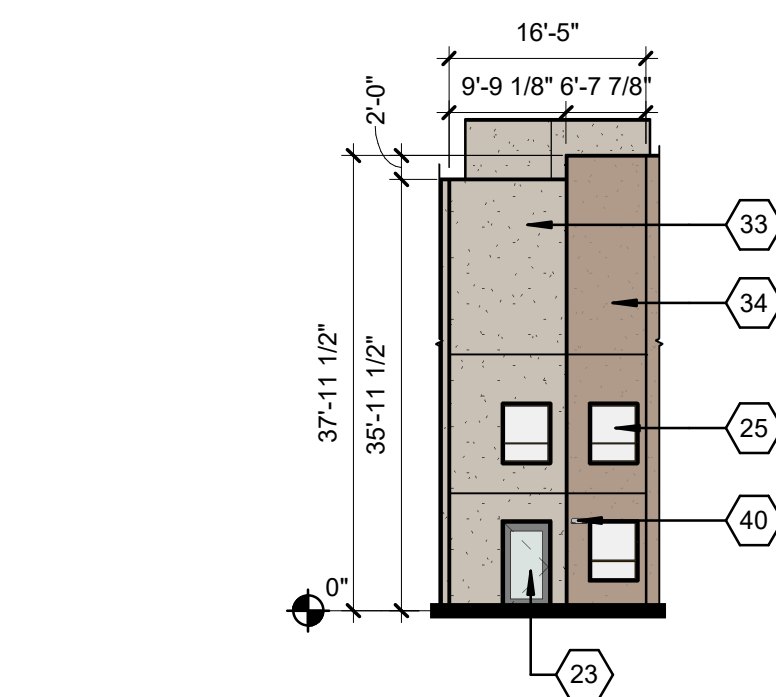
E BUILDING ELEVATION - SOUTH
 1/16" = 1'-0"



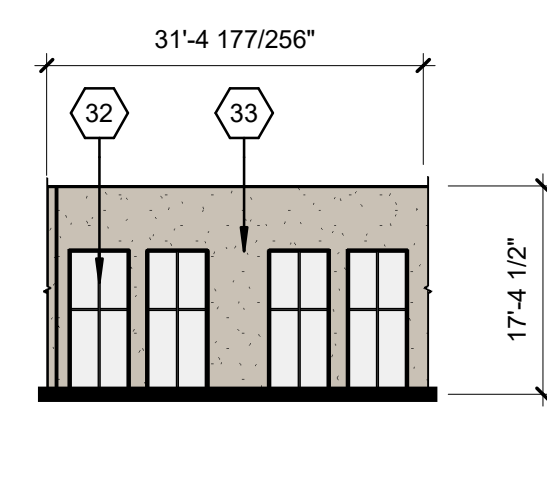
BUILDING SIGNAGE
 1/2" = 1'-0"



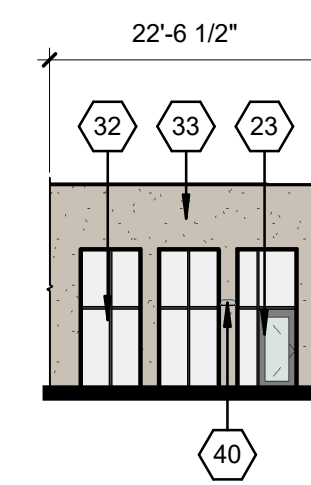
F BUILDING ELEVATION - NORTHWEST
 1/16" = 1'-0"



G BUILDING ELEVATION - WEST
 1/16" = 1'-0"



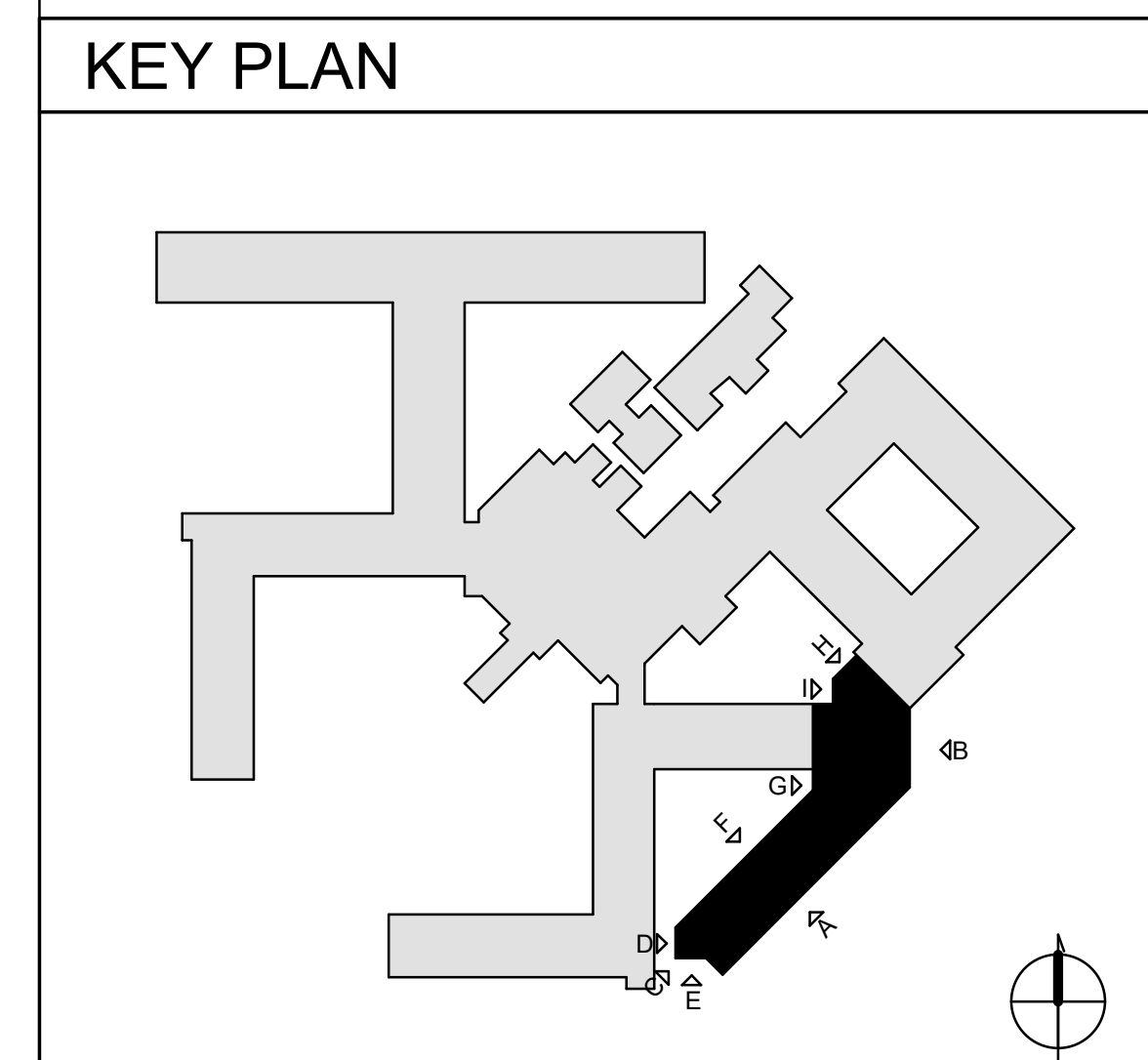
H BUILDING ELEVATION - NORTHWEST
 1/16" = 1'-0"



I BUILDING ELEVATION - WEST
 1/16" = 1'-0"

SHEET KEYNOTES

9	DOWNSPOUT
23	DOOR
24	CANOPY
25	VINYL WINDOW
31	CURTAIN WALL SYSTEM
32	STOREFRONT
33	STUCCO COLOR: LIGHT BROWN
34	STUCCO COLOR: DARK BROWN
35	STUCCO COLOR: RED
36	STUCCO COLOR: DARK GREY
37	STUCCO COLOR: LIGHT GREY
40	BUILDING SIGNAGE
41	LIGHT FIXTURE
42	STUCCO CONTROL JOINT
45	(SIGNAGE MATERIAL)
46	OVERHEAD GARAGE DOOR
47	ELEVATOR TOWER



STAMP

DESIGN DEVELOPMENT

MASTERPLAN BUILDOUT
 PHASE 2 MEMORY CARE
 + ASSISTED LIVING

10501 LAGRIMA DE ORO RD NE
 ALBUQUERQUE, NEW MEXICO 87111

HAVERLAND CARTER
 LIFESTYLE GROUP

REVISIONS

NO.	DATE	DESCRIPTION

Copyright: Design Group
 Drawn by: STAFF
 Checked by: MW
 Date: APRIL 12, 2019
 Project number: 2811

SHEET TITLE
**MEMORY CARE +
 ASSISTED LIVING**
 BUILDING ELEVATIONS -
 EPC
 SHEET NUMBER

A-203

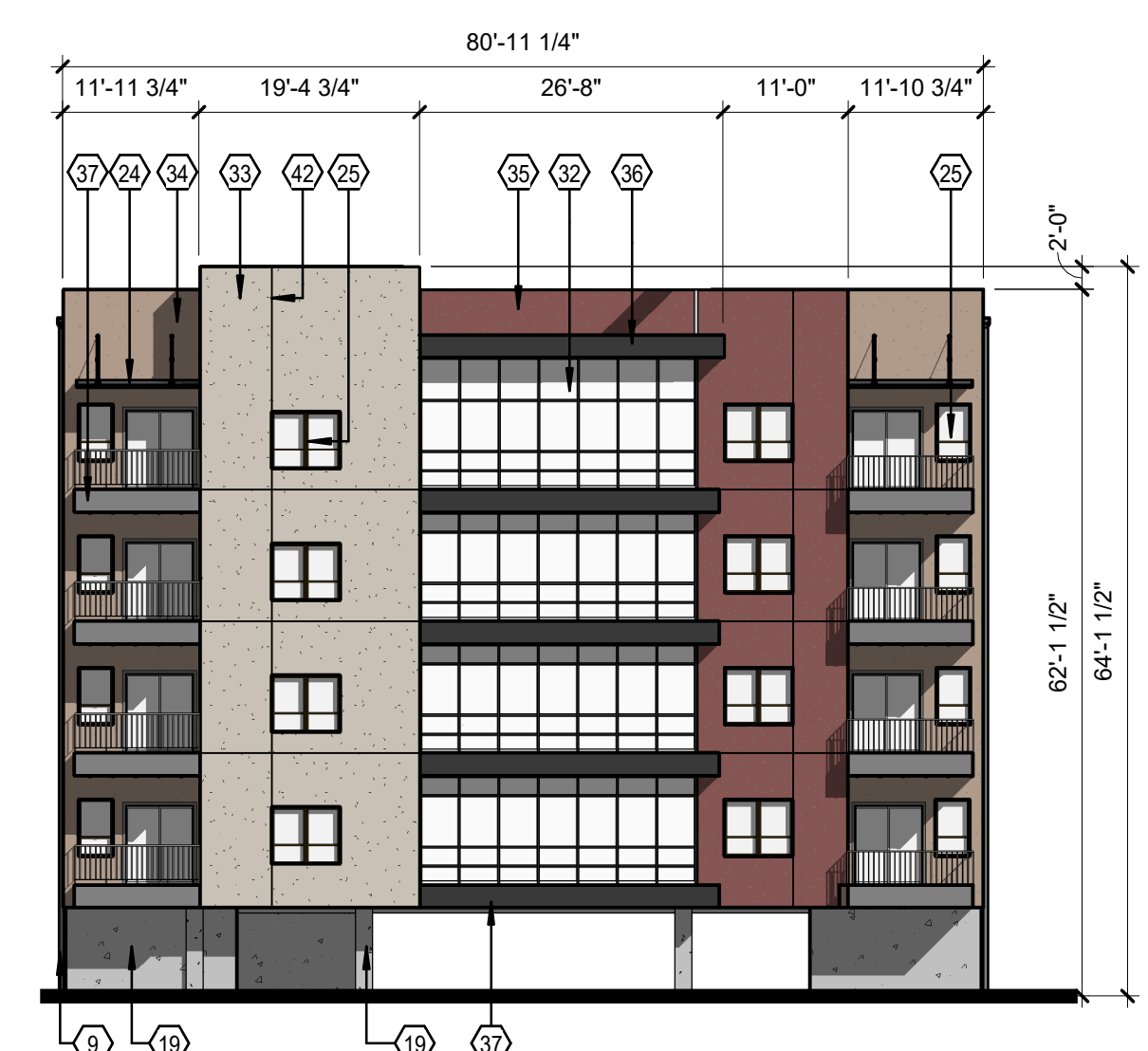
4/19/2019 11:18:10 AM



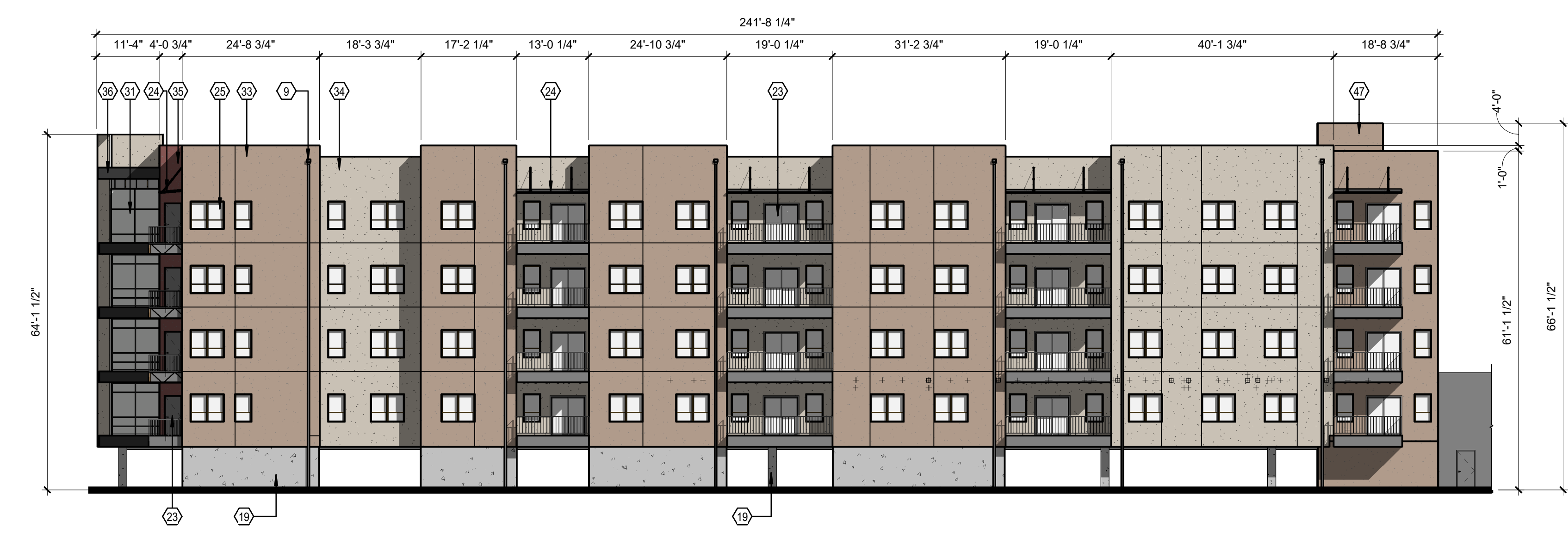
THE HARTMAN • MAJEWSKI
DESIGN GROUP
 Architects • Engineers • Interior Design
 Planners • Urban Designers • LEED®
 120 Vassar Dr SE Suite 100
 Albuquerque New Mexico 87106
 T 505 242 6880 • F 505 242 6881
 CONSULTANT



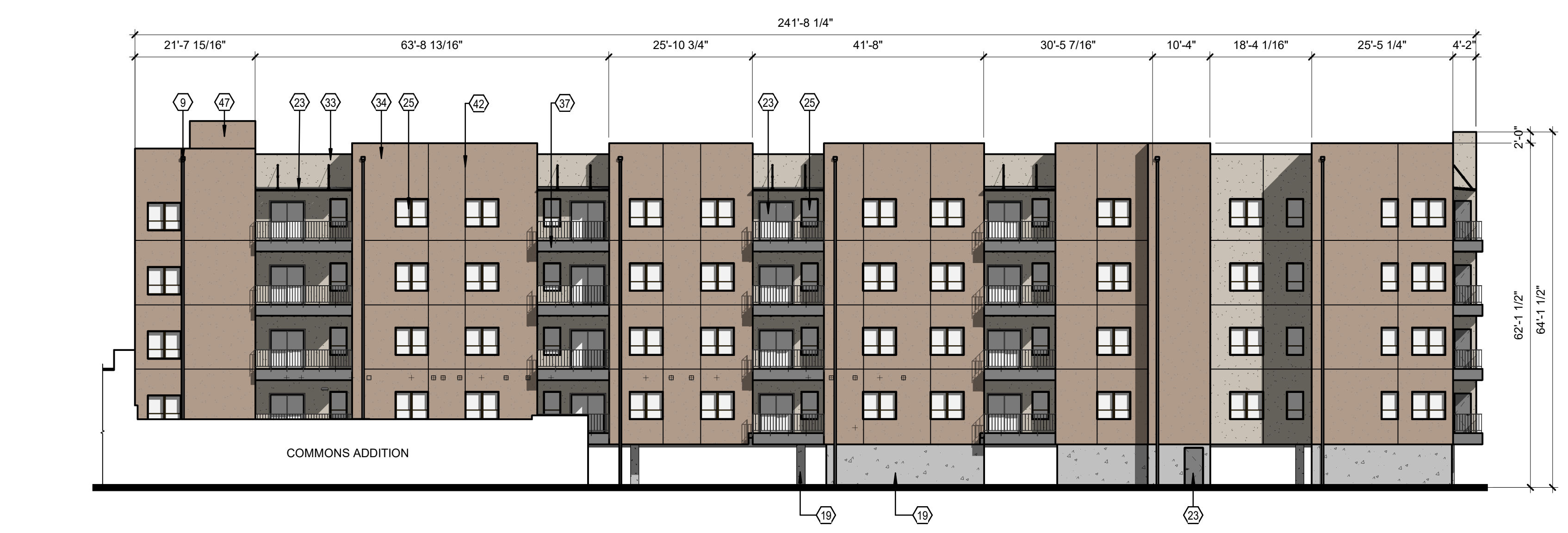
A BUILDING ELEVATION - WEST
 1/16" = 1'-0"



B BUILDING ELEVATION
 1/16" = 1'-0"



C BUILDING ELEVATION - NORTH
 1/16" = 1'-0"



D BUILDING ELEVATION - SOUTH
 1/16" = 1'-0"

STAMP

DESIGN DEVELOPMENT
 MASTERPLAN BUILDOUT
 PHASE 3 - IL ADDITION
 AND COMMONS

10501 LAGRIMA DE ORO RD NE,
 ALBUQUERQUE, NM 87111
 HAVERLAND CARTER
 LIFESTYLE GROUP

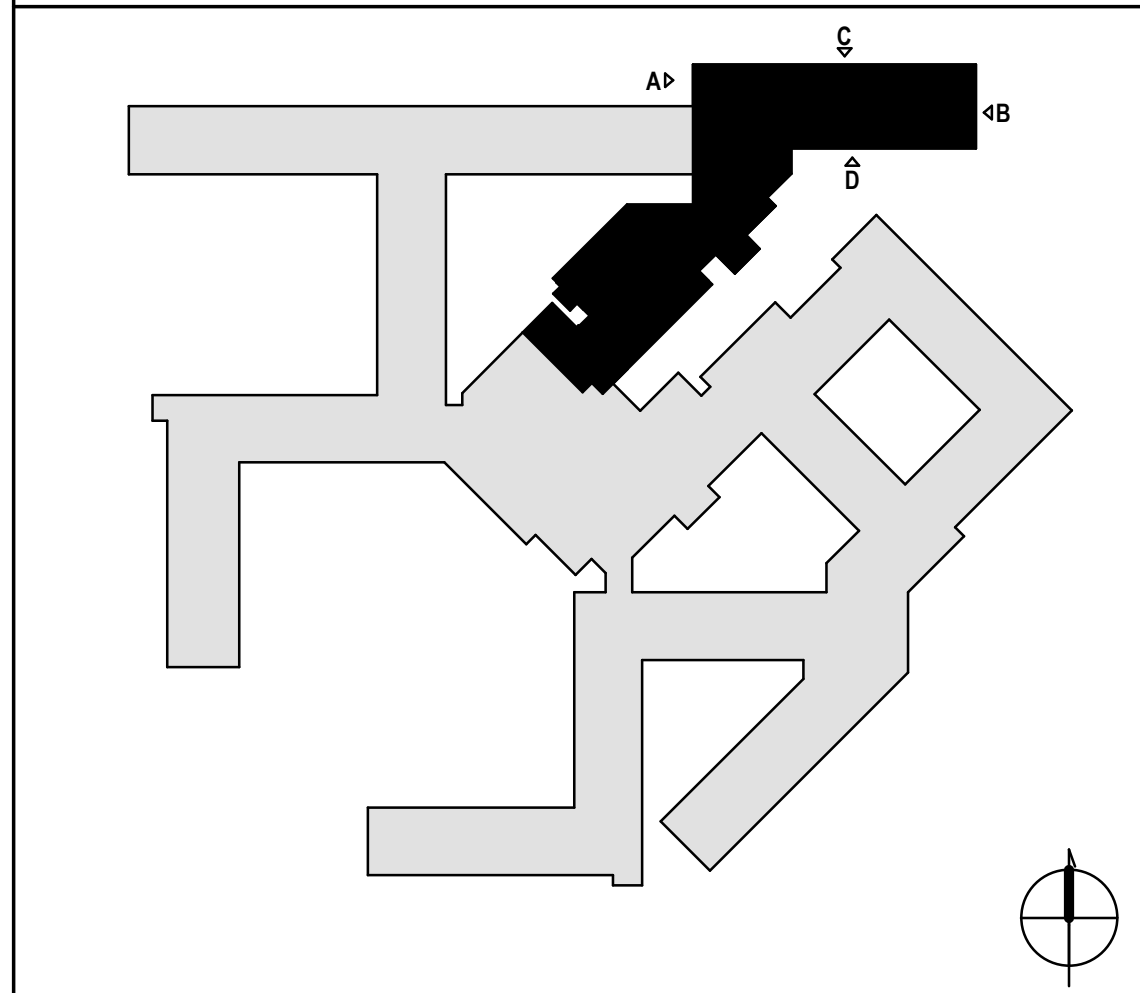
REVISIONS

NO.	DATE	DESCRIPTION

1 SHEET KEYNOTES

- 9 DOWNSPOUT
- 19 CAST IN PLACE CONCRETE
- 23 DOOR
- 24 CANOPY
- 25 VINYL WINDOW
- 31 CURTAIN WALL SYSTEM
- 32 STOREFRONT
- 33 STUCCO COLOR: LIGHT BROWN
- 34 STUCCO COLOR: DARK BROWN
- 35 STUCCO COLOR: RED
- 36 STUCCO COLOR: DARK GREY
- 37 STUCCO COLOR: LIGHT GREY
- 42 STUCCO CONTROL JOINT
- 47 ELEVATOR TOWER

KEY PLAN



Copyright: Design Group
 Drawn by _____ STAFF
 Checked by _____ MW
 Date _____ APRIL 12, 2019
 Project number _____ 2811

SHEET TITLE
INDEPENDENT LIVING
 BUILDING ELEVATIONS -
 EPC SUBMITTAL
 SHEET NUMBER

A-204

4/19/2019 10:56:15 AM



THE HARTMAN • MAJEWSKI

DESIGN GROUP

Architects • Engineers • Interior Design
Planners • Urban Designers • LEED®

120 Vassar Dr SE Suite 100
Albuquerque New Mexico 87106
T 505 242 6880 • F 505 242 6881

CONSULTANT

STAMP

DESIGN DEVELOPMENT

MASTERPLAN BUILDOUT
PHASE 3 - IL ADDITION
AND COMMONS

10501 LAGRIMA DE ORO RD NE,
ALBUQUERQUE, NM 87111

HAVERLAND CARTER
LIFESTYLE GROUP

REVISIONS

NO.	DATE	DESCRIPTION

Copyright: Design Group

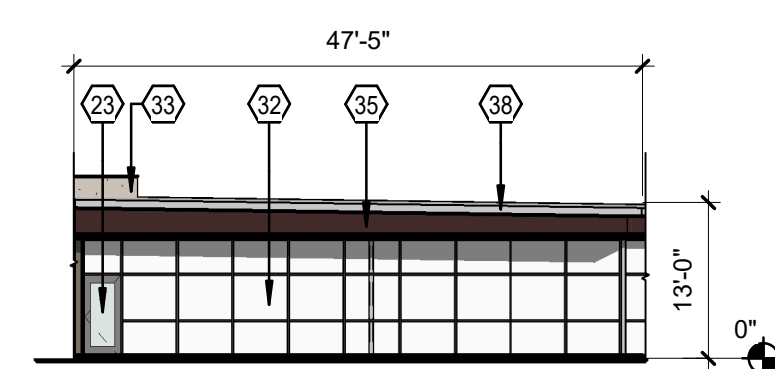
Drawn by STAFF
 Checked by MW
 Date APRIL 12, 2019
 Project number 2811

SHEET TITLE
INDEPENDENT LIVING
COMMONS

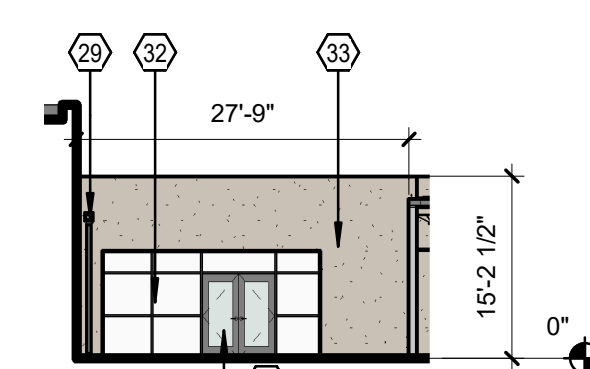
BUILDING ELEVATIONS -
EPC SUBMITTAL

SHEET NUMBER

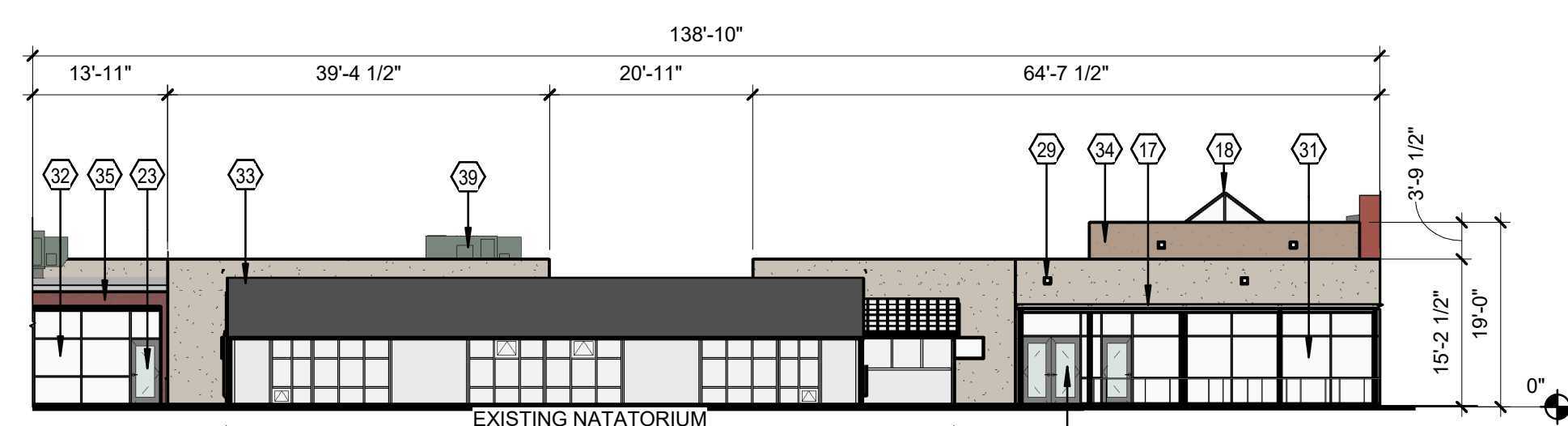
A-205



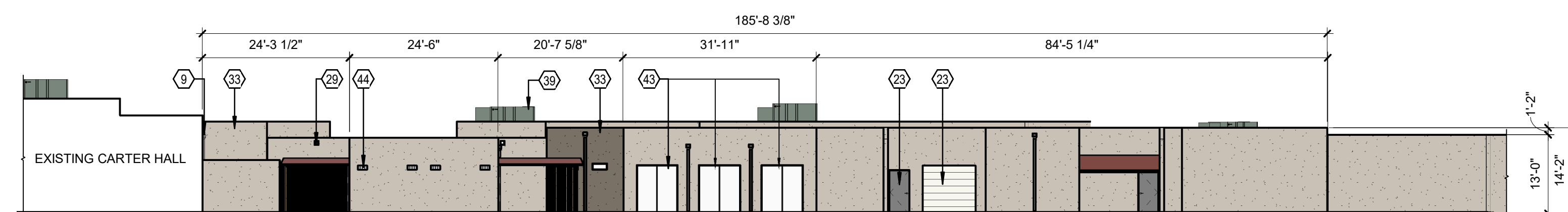
A PARTIAL BUILDING ELEVATION - NORTH
1/16" = 1'-0"



B PARTIAL BUILDING ELEVATION - NORTH
1/16" = 1'-0"



C BUILDING ELEVATION - WEST
1/16" = 1'-0"

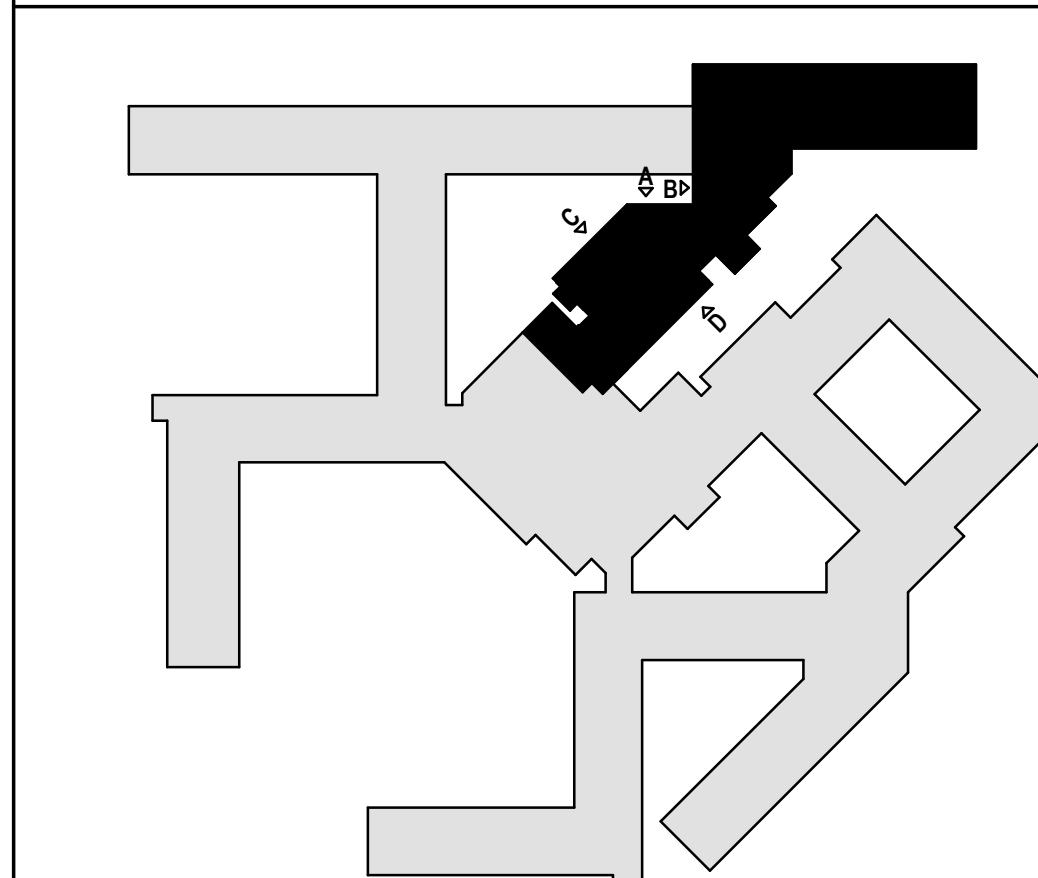


D BUILDING ELEVATION - SOUTH
1/16" = 1'-0"

1 SHEET KEYNOTES

- 9 DOWNSPOUT
- 17 STANDING SEAM METAL ROOF
- 18 SKYLIGHT
- 23 DOOR
- 29 SCUPPER
- 31 CURTAIN WALL SYSTEM
- 32 STOREFRONT
- 33 STUCCO COLOR: LIGHT BROWN
- 34 STUCCO COLOR: DARK BROWN
- 35 STUCCO COLOR: RED
- 38 METAL DECK ROOF
- 39 ROOFTOP UNIT
- 43 EXISTING STOREFRONT
- 44 Existing window

KEY PLAN



4/19/2019 10:56:20 AM

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: _____
Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: _____
DRB Application No.: _____

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

La Vida Llena

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

**Amended Plat Land in Section 33, T11N, R4E, La Vida Llena containing 16.89 ac.
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Inspector	P.E.	City Const Engineer
		8"	Sanitary Sewer Service Line	Lagrima De Oro	Ex. SAS Line	South Propoerty Line	/	/	/
		4'	Sanitary Sewer Manhole	Lagrima De Oro	Existing SAS Line		/	/	/
							/	/	/
		6"	Water Meter	Service Yard			/	/	/
		8"	Public Waterline	East Service Drive	Existing 8" WL in La Vida Llena	Existing 8" WL Stub from CNM	/	/	/
		6"	Public Waterline	Service Yard	East Service Drive	Water Meter	/	/	/
		6"	Public Waterline	North Service Drive	New 8" Public Waterline	Fire Hydrant	/	/	/
							/	/	/
							/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Inspector	Private P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

Approval of Creditable Items:
 Impact Fee Administrator Signature _____ Date _____
 City User Dept. Signature _____ Date _____

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
 Street lights per City requirements.

- 1 _____
- 2 _____
- 3 _____

AGENT / OWNER _____ **DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

David A Aube
 NAME (print)

The Design Group
 FIRM

[Signature]
 SIGNATURE - date 8-6-19

_____ **PARKS & RECREATION** - date

_____ **AMAFCA** - date

_____ **CODE ENFORCEMENT** - date

_____ **CITY ENGINEER** - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER