

SITE PLAN DOCUMENTATION



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

MISCELLANEOUS APPLICATIONS		<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)
<input checked="" type="checkbox"/> Site Plan Administrative DFT (Forms P & P2)	PRE-APPLICATIONS	
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S3)	
<input type="checkbox"/> Amendment to Infrastructure List (Form S3)	<input type="checkbox"/> Sketch Plan Review and Comment (Form S3)	
<input type="checkbox"/> Temporary Deferral of S/W (Form S3)	APPEAL	
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)	<input type="checkbox"/> Administrative Decision (Form A)	
BRIEF DESCRIPTION OF REQUEST		
THIS IS AN APPLICATION FOR A NEW SITE PLAN - ADMINISTRATIVE (DFT) FOR THE CAMPUS OF HOPE CHRISTIAN HIGH SCHOOL. THE SCOPE INCLUDES NEW FACILITIES, RENOVATION OF EXISTING FACILITES, AND ASSOCIATED SITE IMPROVEMENTS TO BE COMPLETED IN 5 PHASES. PLEASE NOTE: THIS IS <u>NOT</u> A SITE PLAN AMMENDMENT - SEE JUSTIFICATION LETTER INCLUDED IN APPLICATION FOR EXPLANATION OF CURRENT STATUS OF PROPERTY REGARDING PREVIOUSLY APPLICABLE MASTER PLAN WHICH EXPIRED IN 2013.		
APPLICATION INFORMATION		
Applicant/Owner: HOPE CHRISTIAN SCHOOLS INC.		Phone: 505-821-2513
Address: 8005 LOUISIANA BLVD NE		Email: TLHEISEY@HCSNM.ORG
City: ALBUQUERQUE	State: NM	Zip: 87109
Professional/Agent (if any): ROMA ARCHITECTURE LLC (ELLIOT HIELD, PROJECT MANAGER)		Phone: 505-764-8306
Address: 912 ROMA AVE NW		Email: ELLIOT@ROMAARC.COM
City: ALBUQUERQUE	State: NM	Zip: 87102
Proprietary Interest in Site: OWNER		List <u>all</u> owners: HOPE CHRISTIAN SCHOOLS INC.
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.: TRACT A	Block: 12	Unit: A
Subdivision/Addition: NORTH ALBUQUERQUE ACRES		MRGCD Map No.: N/A
UPC Code: 101806347445110416		
Zone Atlas Page(s): D-18-Z	Existing Zoning: MX-L	Proposed Zoning MX-L
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (Acres): 8.55
LOCATION OF PROPERTY BY STREETS		
Site Address/Street: PALOMAS AVE NE	Between: LOUISIANA BLVD NE	and: SAN PEDRO DR NE
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)		
Site Development Plan for Subdivision and Master Plan (COA Project #1000539), approved by the DRB in 2006. This SDP for SUB and MP expired and was automatically terminated in 2013 because less than 50% of the proposed improvements were completed within 7 years of its approval.		
I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.		
Signature: <i>Elliot Hield</i>		Date: 05/10/24
Printed Name: ELLIOT HIELD		<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FORM P2: SITE PLAN ADMINISTRATIVE – Development Facilitation Team (DFT) as of 12/25/2022 **SITE PLAN ADMINISTRATIVE – DFT**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below. Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

SITE PLAN DOCUMENTATION

- X 1) DFT Application form completed, signed, and dated
- X 2) Form P2 with all the submittal items checked/marked
- X 3) Form SP with signatures from Hydrology, Transportation, and ABCWUA
- X 4) Zone Atlas map with the entire site clearly outlined and labeled
- X 5) Site Plan and related drawings (include a Site Plan key of the sheets submitted)
- N/A 6) Copy of the original approved Site Plan or Master Development Plan (for amendments to or Extensions of the Site Plan)
- X 7) Infrastructure List, if required for building of public infrastructure
- X 8) Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C) (The Sensitive Lands Site Analysis form can be obtained online at):
https://documents.cabq.gov/planning/development-review-board/Sensitive_lands_analysis_form.pdf
- N/A 9) Responses to climatic and geographic responsive design considerations (Recommended to promote sustainability, but not required. The Climatic and Geographic Responsiveness form can be obtained online at): [https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2\(D\)ClimaticGeographic_Responsiveness.pdf](https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2(D)ClimaticGeographic_Responsiveness.pdf)

SUPPORTIVE DOCUMENTATION

- X 10) Completed Site Plan Checklist
- X 11) Letter of authorization from the property owner if application is submitted by an agent
- X 12) Justification letter describing and justifying the request per the criteria in IDO Section 16-6-5(G)(3)
- N/A 13) Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P). *Note: If requesting more than allowed by deviation, a Variance – ZHE or Waiver –DHO will be required, as applicable*
- X 14) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) (*not required for Extension*)

N/A 15) Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2)(d) if site is within a designated landfill buffer zone

N/A 16) Architectural Review Committee approval letter if the site is located within a Master Development Plan area or a Framework Plan area

PUBLIC NOTICE DOCUMENTATION

X 17) Sign Posting Agreement

X 18) Proof of a Pre-Submittal Neighborhood Meeting per IDO 6-4(C)(1)(b) for new building or multiple new buildings that include a total of more than 100 multi-family residential dwelling units or more than 50,000 square feet of non-residential development

X Office of Neighborhood Coordination neighborhood meeting inquiry response

X Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

X Completed neighborhood meeting request form(s)

N/A If a meeting was requested or held, copy of sign-in sheet and meeting notes

X 19) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)

X Office of Neighborhood Coordination notice inquiry response

X Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

X Proof of emailed notice to affected Neighborhood Association representatives

FORM SP: PRE-APPROVALS/SIGNATURES

(Revised 10/26/23)

Legal Description & Location: Hope Christian School, Block 12, Tract A, Unit A, North Albuquerque Acres
6800 Palomas Ave NE, Albuquerque, NM 87109

Request Description: New buildings, site Improvements, parking lot reconfiguration, new drivepad location at Louisiana Blvd.

Hydrology:

- Sensitive Lands Analysis (5-2(C)) Approved X NA
- Grading and Drainage Plan X Approved NA
- AMAFCA Approved X NA
- Bernalillo County Approved X NA
- NMDOT Approved X NA
- MRGCD Approved X NA

Renee C. Brisette 04/23/24
 Hydrology Department Date

Transportation:

- Traffic Circulations Layout (TCL) X Approved NA
- Traffic Impact Study (TIS) Approved X NA
- Neighborhood Impact Analysis (NIA) X Approved NA
- Bernalillo County Approved X X NA
- MRCOG Approved X X NA
- NMDOT Approved X X NA
- MRGCD Approved X X NA

TCL and NIA Not fully approved, but close. Will require approval before sign off on site plan

Ernest Arroyo 5/9/2024
 Transportation Department Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

- Request for Availability submitted? ✓ Yes No NA
- Availability Statement/Serviceability Letter Number 231007
- Note: Commitment for service is required prior to application approval.

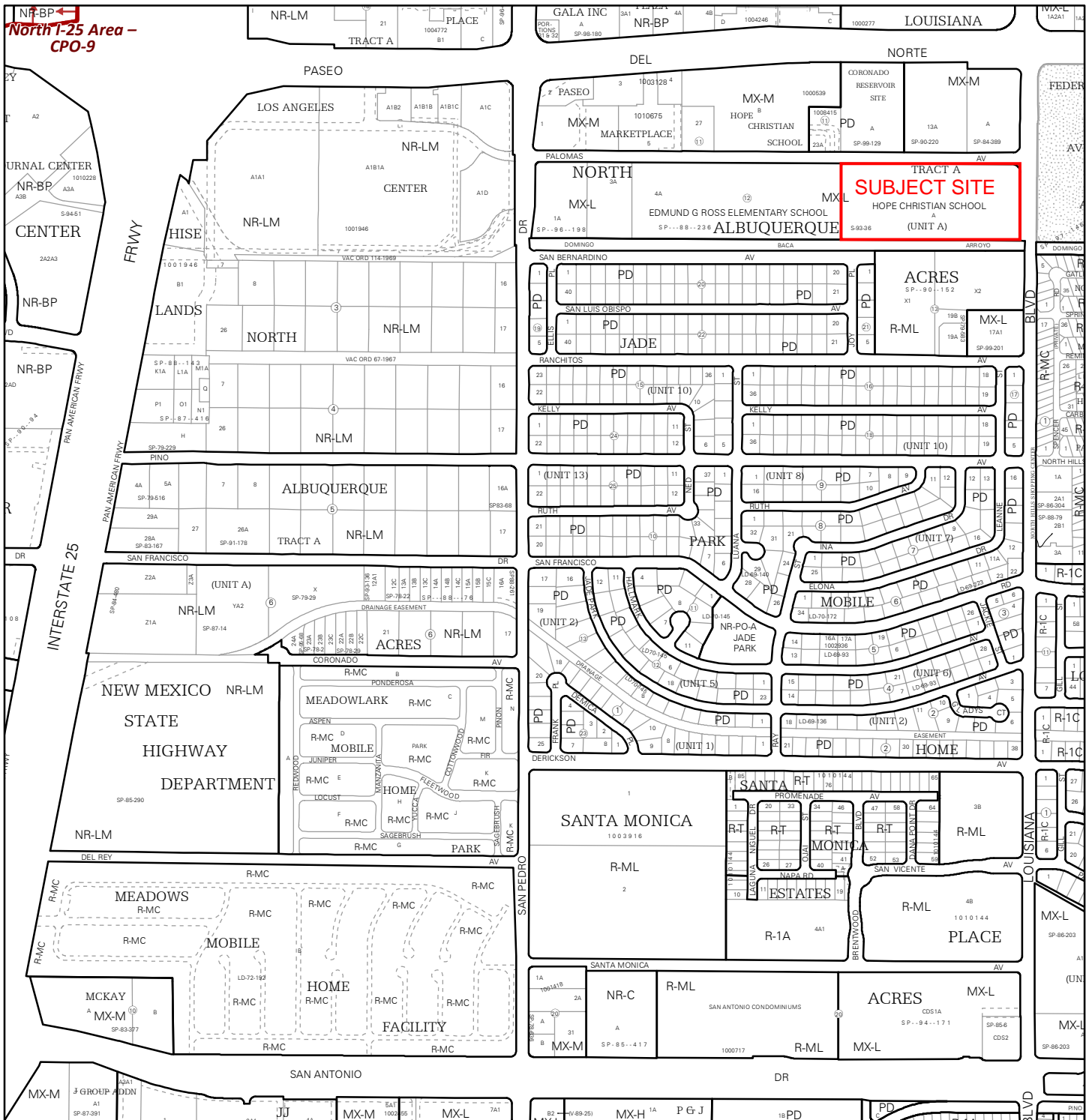
Andrew 4/23/24
 ABCWUA Date

- Infrastructure Improvements Agreement (IIA*) Approved NA
- Solid Waste Department Signature on the Plan X Approved NA
- Fire Marshall Signature on the Plan X Approved NA

* Prior to **Final Site Plan** approval submittals (include a copy of the recorded IIA)

NOTES:

- FIRE 1 HAS BEEN SIGNED BY FIRE MARSHAL, SEE SHEET C102 IN SITE PLAN PACKAGE BELOW
- SITE PLAN HAS BEEN SIGNED BY SOLID WASTE DEPT. DURING BUILDING PERMIT REVIEW PROCESS ON 01/26/24



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

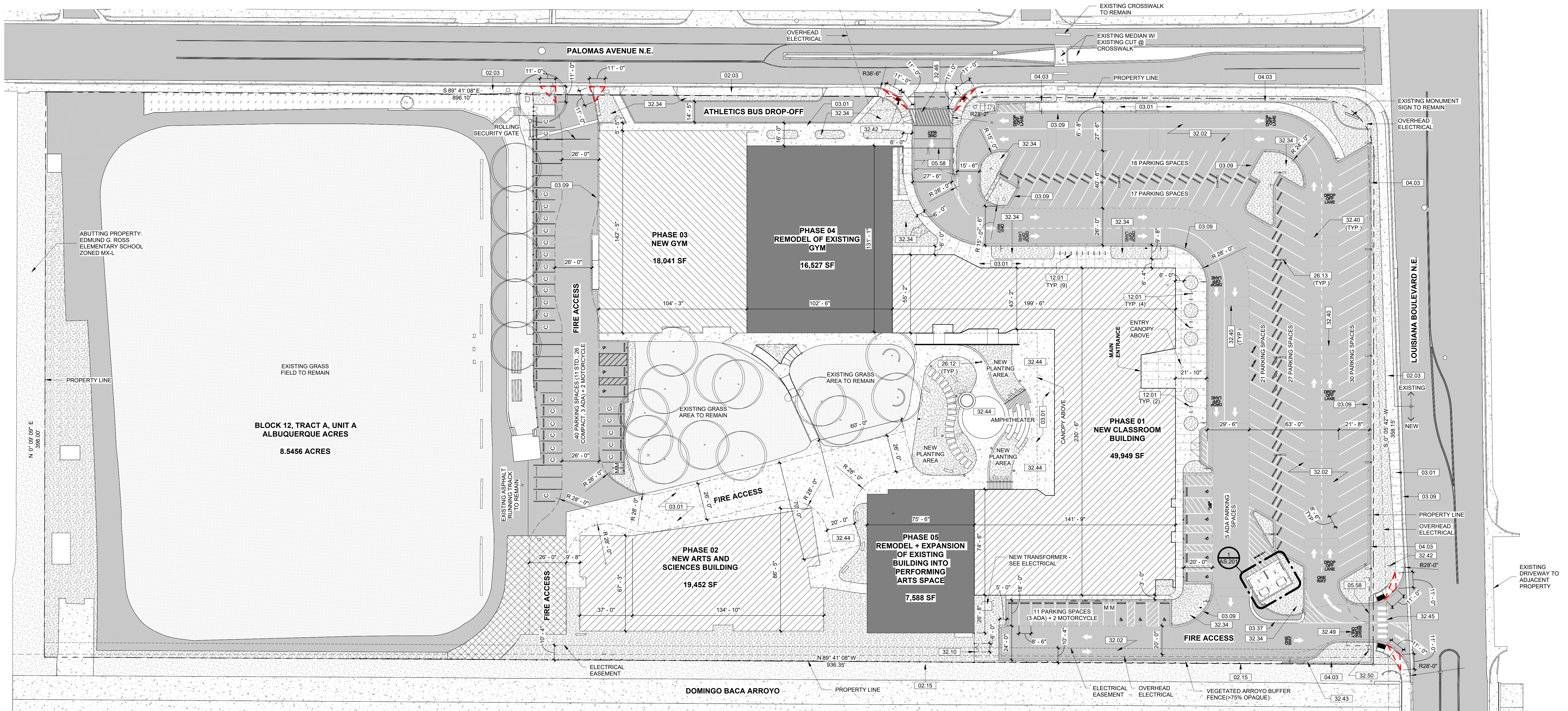
IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

Gray Shading
Represents Area Outside
of the City Limits

Zone Atlas Page:
D-18-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet



1 SITE PLAN
1" = 30'-0"

PROJECT NUMBER:

APPLICATION NUMBER:

IS AN INFRASTRUCTURE LIST REQUIRED (X) YES () NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DEF. SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
ABCWUA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
HYDROLOGY	DATE
CODE ENFORCEMENT	DATE
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
PLANNING DEPARTMENT	DATE
*ENVIRONMENTAL HEALTH, IF NECESSARY	DATE

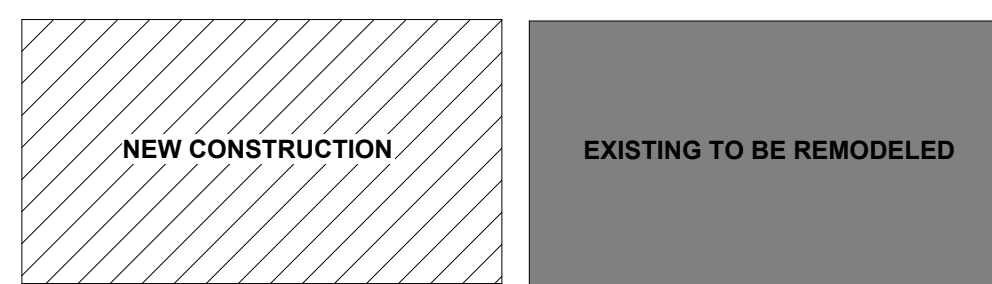
SITE PLAN KEY / SHEET INDEX

AS.100	SITE PLAN
AS.102	PROJECT PHASING DIAGRAMS
AS.201	SITE DETAILS
LP.101	LANDSCAPING PLAN
LP.102	LANDSCAPING PLAN
C.100	GENERAL NOTES
C.101	CONCEPTUAL GRADING & DRAINAGE
C.102	FIRE 1
C.105	GRADING & DRAINAGE
C.106	UTILITY PLAN
A.200	BUILDING ELEVATIONS

BUILDING AREA BY PHASE CONSTRUCTION STARTS

PHASE	LEVEL	AREA (SF)	STARTS
PHASE 01	LEVEL 1	28,388 SF	05/2024
	LEVEL 2	21,561 SF	
PHASE 02	LEVEL 1	12,435 SF	06/2025
	LEVEL 2	7,017 SF	
PHASE 03	LEVEL 1	14,686 SF	06/2026
	LEVEL 2	3,355 SF	
PHASE 04	LEVEL 1 (REMODELED)	13,427 SF	06/2027
	LEVEL 2 (REMODELED)	3,100 SF	
PHASE 05	LEVEL 1* (REMODELED)	6,098 SF	06/2028
	LEVEL 1 (ADDITION)	1,490	
TOTAL BUILDING AREA:		111,557 SF	

BUILDING LEGEND:



LEGAL DESCRIPTION

HOPE CHRISTIAN SCHOOL, BLOCK 12, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, AS THE SAME IS SHOWN AND DESIGNATED OF THE PLAT ENTITLED "PLAT OF HOPE CHRISTIAN SCHOOL, BLOCK 12, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 24, 1994, IN VOLUME 940, FOLIO 97.

PARKING REQUIREMENTS AND PROVISIONS

ZONING CODE: CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE

14-16-5-1 MINIMUM OFF-STREET PARKING REQUIREMENTS

HIGH SCHOOL: 1 SPACE / 4 SEATS IN MAIN AUDITORIUM OR 3 SPACES / CLASSROOM WHICHEVER IS GREATER
MAIN AUDITORIUM SEATS 591 OCCUPANTS (CONCENTRATED; CHAIRS ONLY - NOT FIXED)
591 SEATS / 4

= 148 SPACES REQUIRED
SINCE OVER 20 SPACES ARE REQUIRED, UP TO 25% CAN BE COMPACT SPACES

STANDARD	132
COMPACT	28
ACCESSIBLE	11

(~23% OF TOTAL SPACES PROVIDED)

TOTAL SPACES PROVIDED = 169

14-16-5-5(C)(8) ACCESSIBLE PARKING (PER 2010 ADA STANDARDS TABLE 208.2)

TOTAL NUMBER OF PARKING SPACES PROVIDED (EAST LOT) = 101 TO 150
MINIMUM REQUIRED ACCESSIBLE PARKING SPACES = 8 (2 VAN)

SPACES PROVIDED (EAST LOT) = 8 (2 VAN)

TOTAL NUMBER OF PARKING SPACES PROVIDED (WEST LOT) = 36 TO 50
MINIMUM REQUIRED ACCESSIBLE PARKING SPACES = 3 (1 VAN)

SPACES PROVIDED (EAST LOT) = 3 (1 VAN)

14-16-5-5(D) MINIMUM MOTORCYCLE PARKING REQUIREMENTS (TABLE 5-5-4)

REQUIRED OFF-STREET VEHICLE PARKING SPACES = 101-150
NUMBER OF MOTORCYCLE SPACES REQUIRED = 4

SPACES PROVIDED = 4 (2 IN EAST LOT, 2 IN WEST LOT)

14-16-5-5(E) MINIMUM BICYCLE PARKING REQUIREMENTS (TABLE 5-5-5)

HIGH SCHOOL: 20% OF REQUIRED OFF-STREET PARKING SPACES
TOTAL NUMBER OF OFF-STREET PARKING SPACES REQUIRED = 148
20% OF 148 = 30 BICYCLE SPACES REQUIRED

BICYCLE SPACES PROVIDED = 30 (15 RACKS X 2 BIKES/RACK)

ZONING REQUIREMENTS

ZONING DISTRICT: MIXED USE - LOW INTENSITY ZONE DISTRICT (MX-L)
INTEGRATED DEVELOPMENT ORDINANCE
CITY OF ALBUQUERQUE, NEW MEXICO

SETBACKS:
FRONT: 5 FEET
SIDE: INTERIOR: 0 FEET, STREET SIDE: 5 FEET
REAR: 15 FEET

MAXIMUM HEIGHT: 38 FEET.

SEATING & GATHERING AREA REQUIREMENTS

QUANTITY REQUIRED: 1 PER 30,000 GSF FLOOR AREA: 111,557/30,000 = 4
QUANTITY PROVIDED: 4

AREA REQUIRED: 400 SQUARE FEET EACH MIN.
AREA PROVIDED: 2x 1000 S.F. AREAS + 2x 500 S.F. AREAS

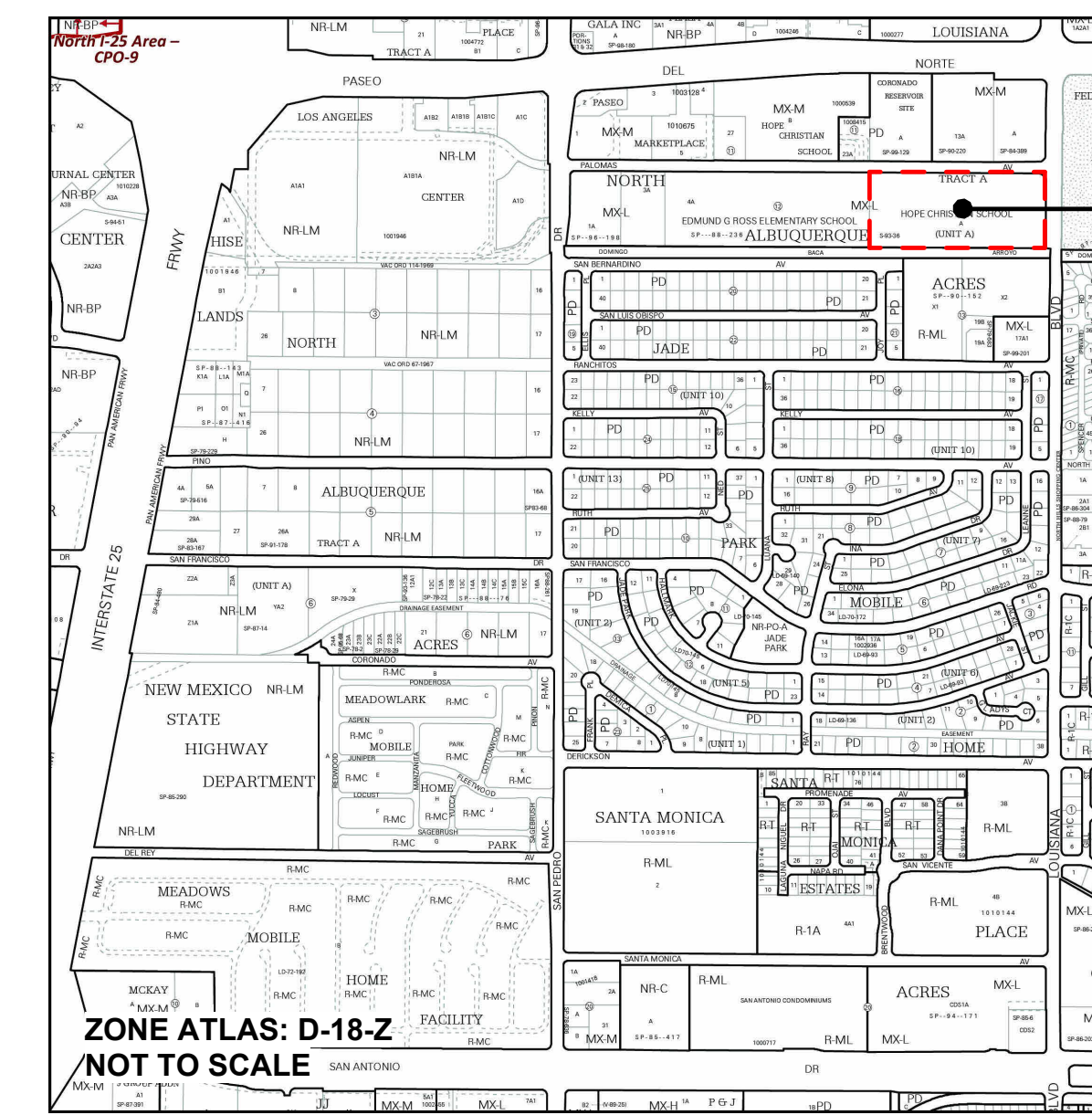
SHADING REQUIRED: AT LEAST 25% OF REQUIRED AREAS
SHADING PROVIDED: >20% OF REQUIRED AREAS

REQUIRED SEATING AND GATHERING AREAS SHALL BE PROVIDED WITH PEDESTRIAN-SCALE LIGHTING, STREET FURNITURE OR SEATING AREAS, AND TRASH RECEPTACLES AND SHALL BE LINKED TO THE PRIMARY ENTRANCE OF THE PRIMARY BUILDING AND THE PUBLIC SIDEWALK OR INTERNAL DRIVE AISLE OR LOCATED ADJACENT TO OR TO MAXIMIZE VIEWS TO PUBLIC OR PRIVATE OPEN SPACE. SEE LANDSCAPE PLANS FOR SITE FURNISHING.

SITE PLAN NARRATIVE:

The subject site (the Hope Christian High School campus at 6800 Palomas Ave NE), along with the nearby sites of the Hope Christian Middle School campus at 6721 Palomas Ave NE, had previously all been controlled by a Site Development Plan for Subdivision and Master Plan (COA Project #1000539), approved by the DRB in 2006. This SDP for SUB and MP expired and was automatically terminated in 2013 because less than 50% of the proposed improvements were completed within 7 years of its approval. In a 2019 DRB approval for a new Site Plan for the Hope Christian Elementary campus (PR-2019-002134, SI-2019-00056), it was determined by the DRB that any future development of the 3 aforementioned campuses, formerly controlled by the terminated SDP for SUB and MP, would henceforth be governed by separate and distinct Site Plans for each campus/site, each to be submitted and reviewed independently of one another.

The subject site is now controlled by the governing policies of the Integrated Development Ordinance (IDO), under which the proposed development falls under the Site Plan - Administrative (DFT) approval process. As no controlling Site Plan or Master Plan currently exists for the subject site, this application is being submitted as a new Site Plan, as an amendment to or extension of any prior-approved Site Plan (since the previous SDP for SUB and MP is expired).



VICINITY MAP: D-18-Z

SITE ZONING: MX-L

KEYNOTE LEGEND

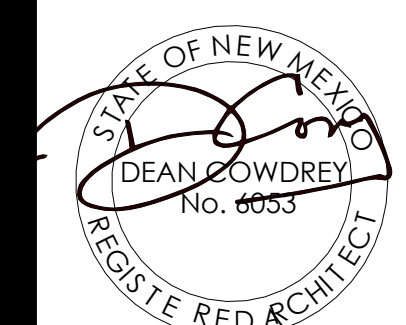
Key Value	Keynote Text
02.03	EXISTING CONCRETE PAVING TO REMAIN
02.15	EXISTING 6" - 0" HIGH CHAINLINK FENCE TO REMAIN
03.01	4" CONCRETE SLAB W/ BROOM FINISH - SEE CIVIL
03.09	NEW CONCRETE CURB AND GUTTER - SEE CIVIL
03.37	NEW CONCRETE ROLL CURB & GUTTER - SEE CIVIL
04.03	PARKING LOT BUFFER WALL - 3'-0" HIGH MINIMUM, 8" INTEGRALLY COLORED CMU - FINISH & COLOR TO MATCH EXISTING CMU WALLS @ HOPE CHRISTIAN MIDDLE SCHOOL. SEE STRUCTURAL FOR FOUNDATION/REINFORCING.
05.58	METAL PIPE VEHICLE ACCESS GATE, 26" MIN. CLEARANCE VEHICLE ACCESS WIDTH. SEE DETAIL.
12.01	BICYCLE RACK - "HOOP" BY DERO OR APPROVED EQUAL. SEE AS 201 FOR DETAILS. MIN. SPACING 4' O.C. SEE DETAIL 15/AS.201
26.12	10' POLE LIGHT, INDIRECT - SEE ELECTRICAL
26.13	ARCHITECTURAL AREA LIGHT, TYPE V OPTICS, 20' SQUARE POLE - SEE ELECTRICAL
32.02	NEW ASPHALT PAVING - SEE CIVIL
32.10	NEW 6'-0" HIGH CHAINLINK FENCE
32.34	NEW LANDSCAPED AREA - SEE CIVIL AND LANDSCAPE
32.40	SPEED BUMP, TYPICAL. SEE CIVIL
32.42	TRAFFIC DIRECTORY SIGN - "PARKING, ADMINISTRATION, HIGH SCHOOL DROP-OFF"
32.43	TRAFFIC SIGN - "WRONG WAY, DO NOT ENTER"
32.44	REQUIRED SEATING AND GATHERING AREA - SEE SEATING AND GATHERING AREA REQUIREMENTS ON THIS SHEET
32.45	NEW CROSSWALK STRIPING
32.46	EXISTING CROSSWALK TO REMAIN - STRIPING TO BE REPAINTED
32.48	PAINTED LETTERING - "RIGHT TURN ONLY"
32.50	TRAFFIC SIGN "RIGHT TURN ONLY" - SEE AS.103 FOR DETAIL

REVISION SCHEDULE

#	Date	Description
1	01/25/23	PERMIT REVIEW REVISIONS
2	03/18/24	TRAFFIC REVIEW REVISIONS

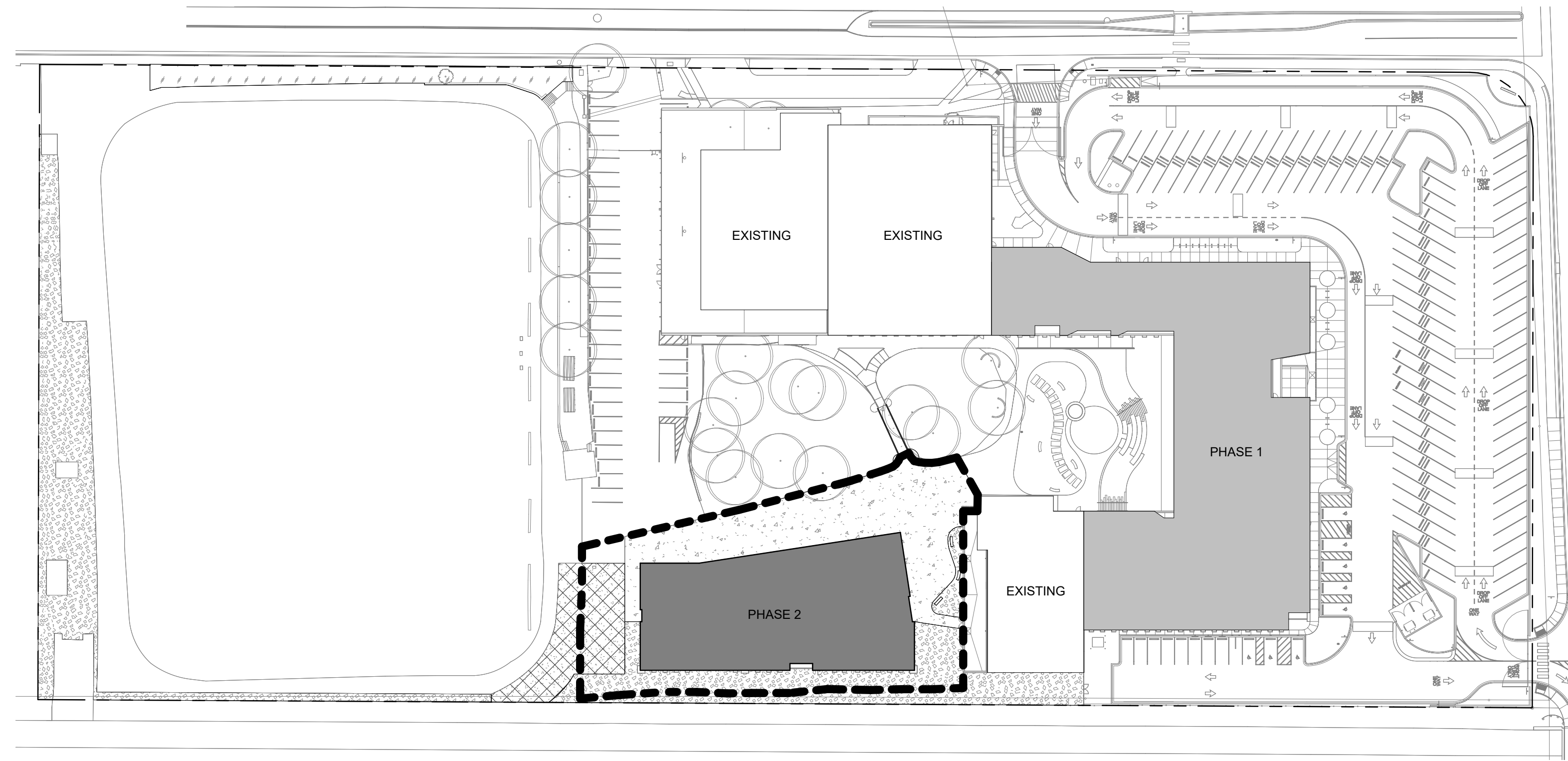
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05.10.24

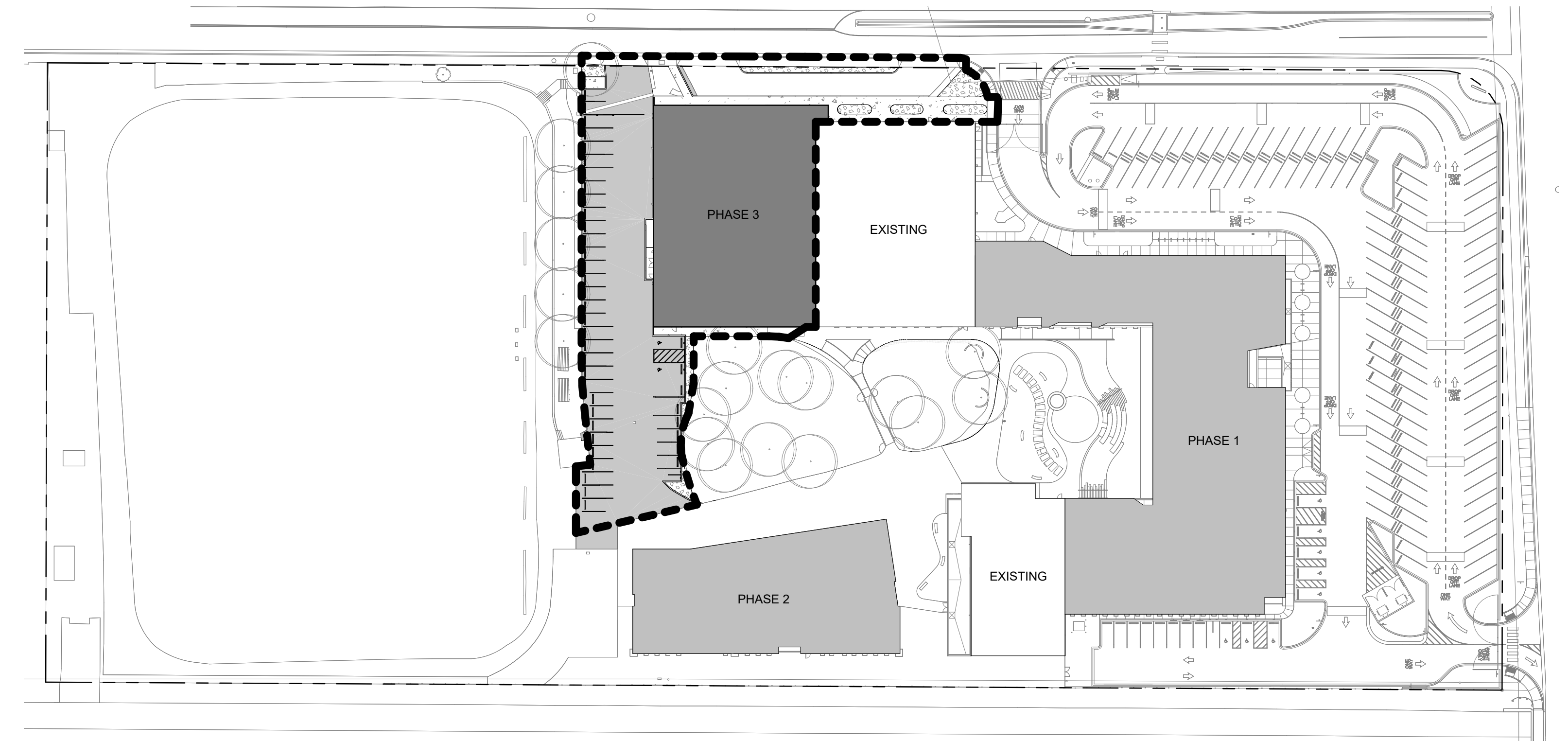


SITE PLAN - ALL PHASES

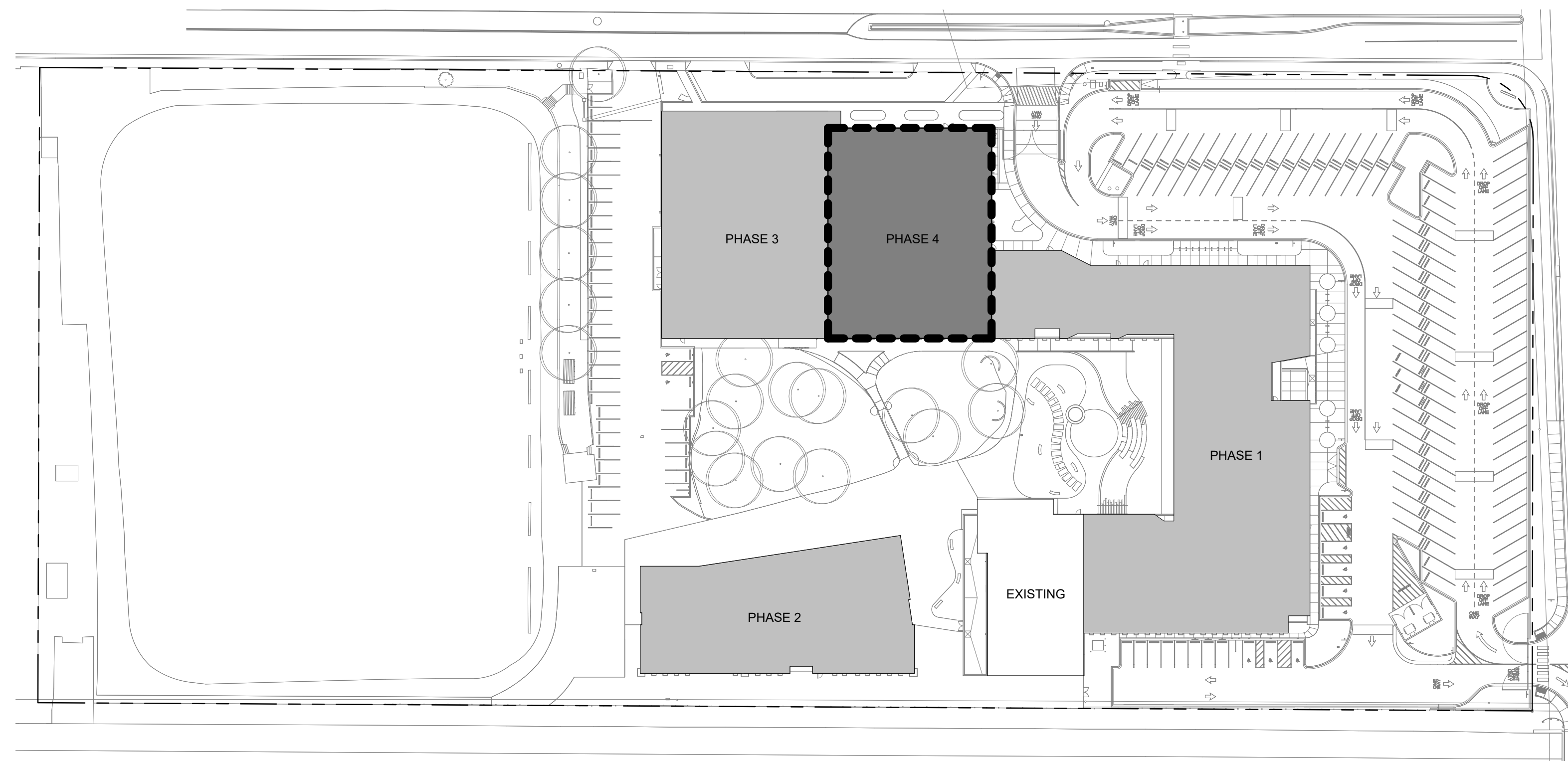
AS.100



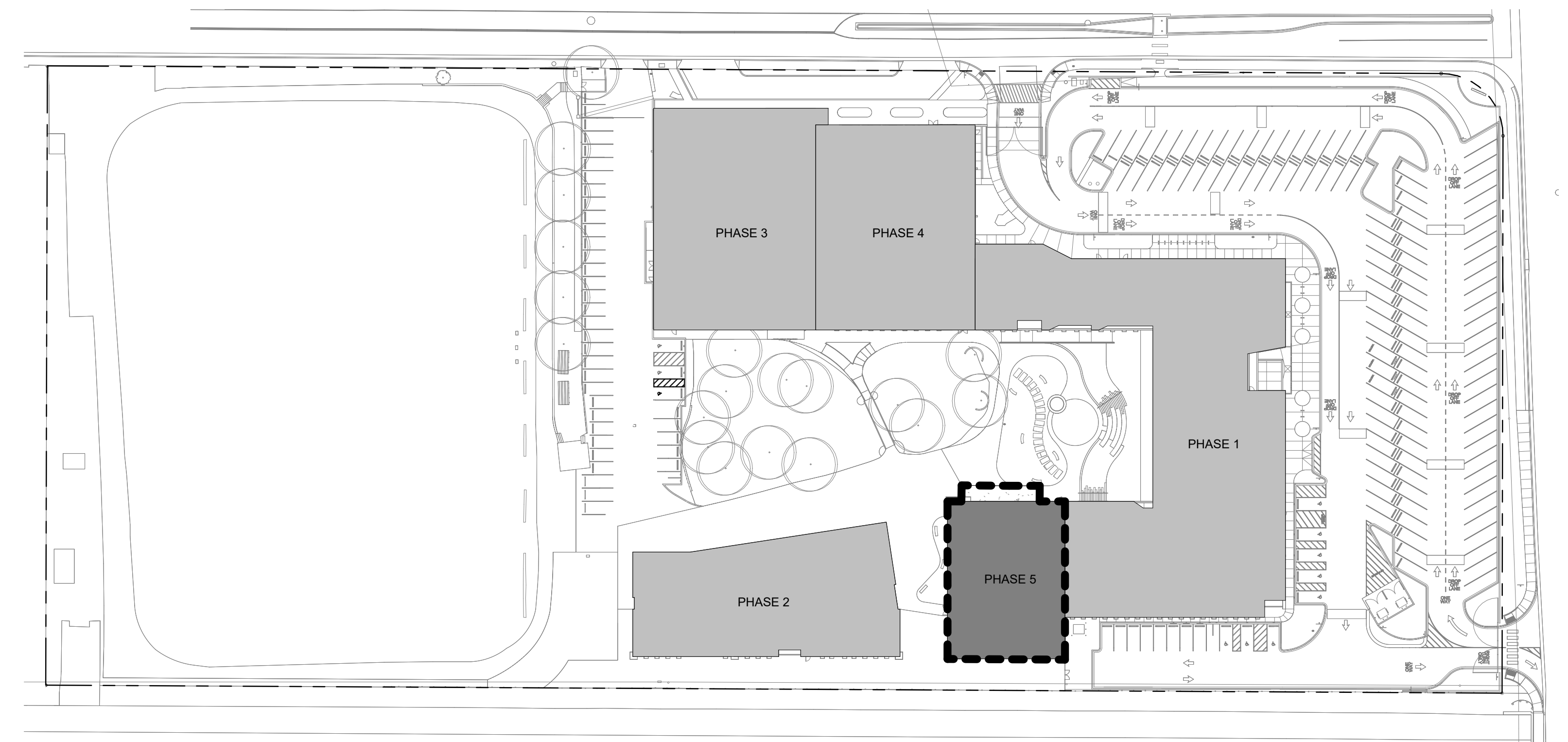
1 SITE PHASING DIAGRAM - PHASE 2
1" = 60'-0" CONSTRUCTION OF NEW ARTS AND SCIENCES BUILDING



2 SITE PHASING DIAGRAM - PHASE 3
1" = 60'-0" CONSTRUCTION OF NEW GYM BUILDING



3 SITE PHASING DIAGRAM - PHASE 4
1" = 60'-0" RENOVATION OF EXISTING GYM



4 SITE PHASING DIAGRAM - PHASE 5
1" = 60'-0" RENOVATION OF EXISTING MULTIPURPOSE BUILDING INTO PERFORMING ARTS SPACE

LEGEND:

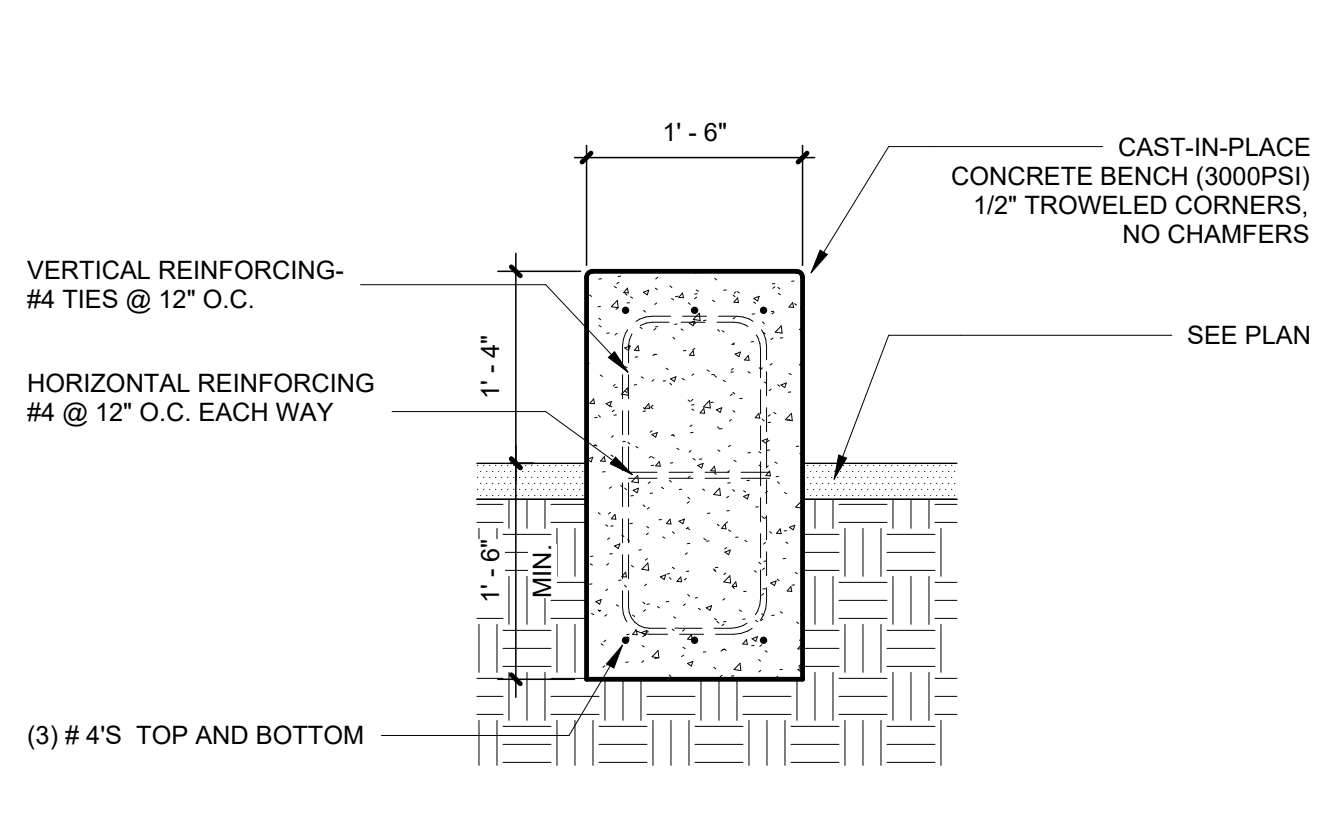


NOTE:
THIS SHEET SHOWING FUTURE PROJECT PHASES IS INCLUDED FOR INFORMATIONAL PURPOSES ONLY. THE PROJECT PER THIS BUILDING PERMIT AND CONSTRUCTION CONTRACT SHALL INCLUDE PHASE 1 ONLY

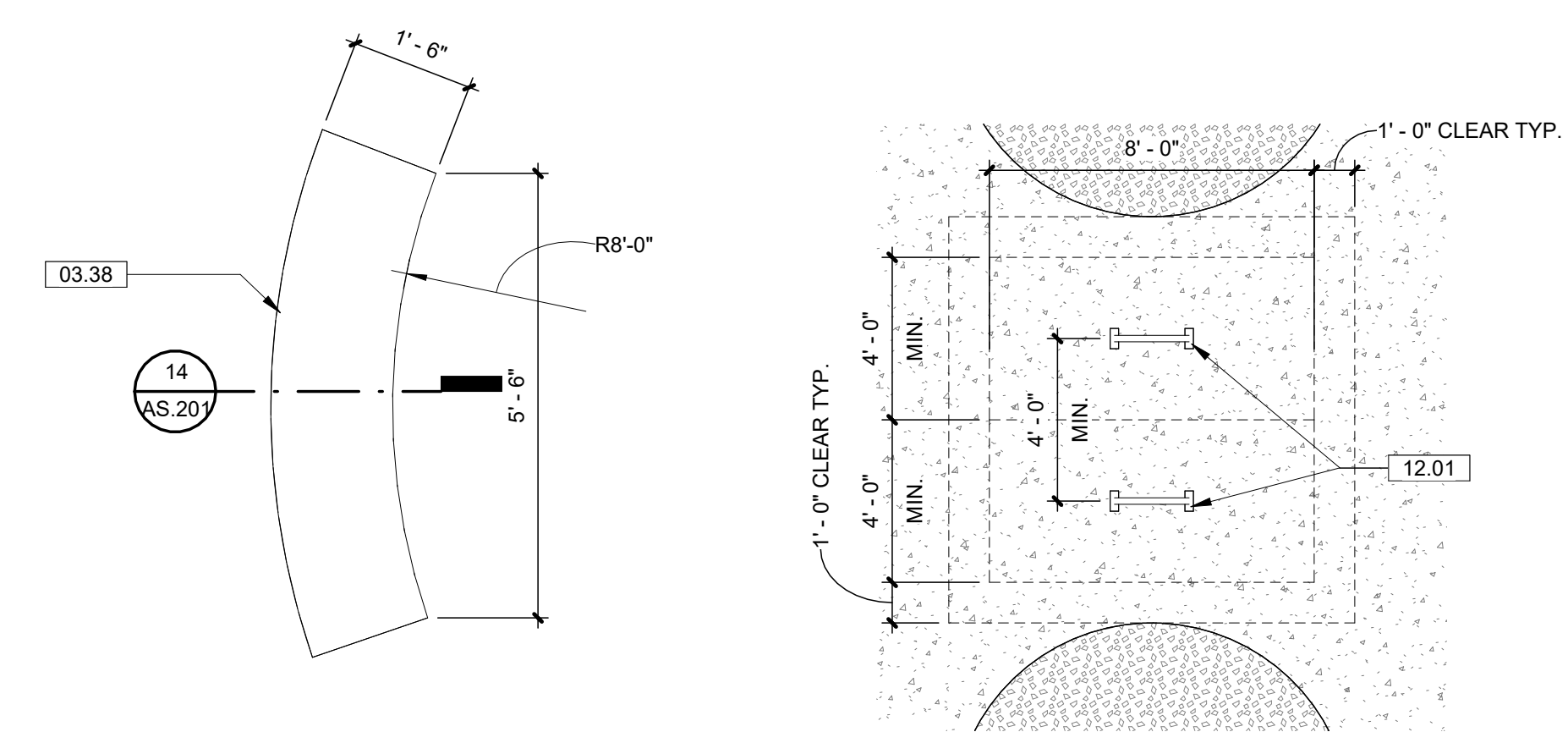
REVISION SCHEDULE

#	Date	Description

Key Value	Keynote Text
02.37	STEEL TRASH ENCLOSURE GATE, PAINTED PT2
03.09	NEW CONCRETE CURB AND GUTTER - SEE CIVIL
03.26	PRECAST CONCRETE WHEELSTOP
03.37	NEW CONCRETE ROLL CURB & GUTTER - SEE CIVIL
03.38	CAST-IN-PLACE CONCRETE BENCH - SEE DETAIL
12.01	BICYCLE RACK - "HOOP" BY DERO OR APPROVED EQUAL. SEE AS.201 FOR DETAILS. MIN. SPACING 4'-0". SEE DETAIL 15AS.201
32.02	NEW ASPHALT PAVING - SEE CIVIL
32.24	PAINTED TRAFFIC STRIPING
32.34	NEW LANDSCAPED AREA. SEE CIVIL AND LANDSCAPE.
32.43	TRAFFIC SIGN - "WRONG WAY, DO NOT ENTER"

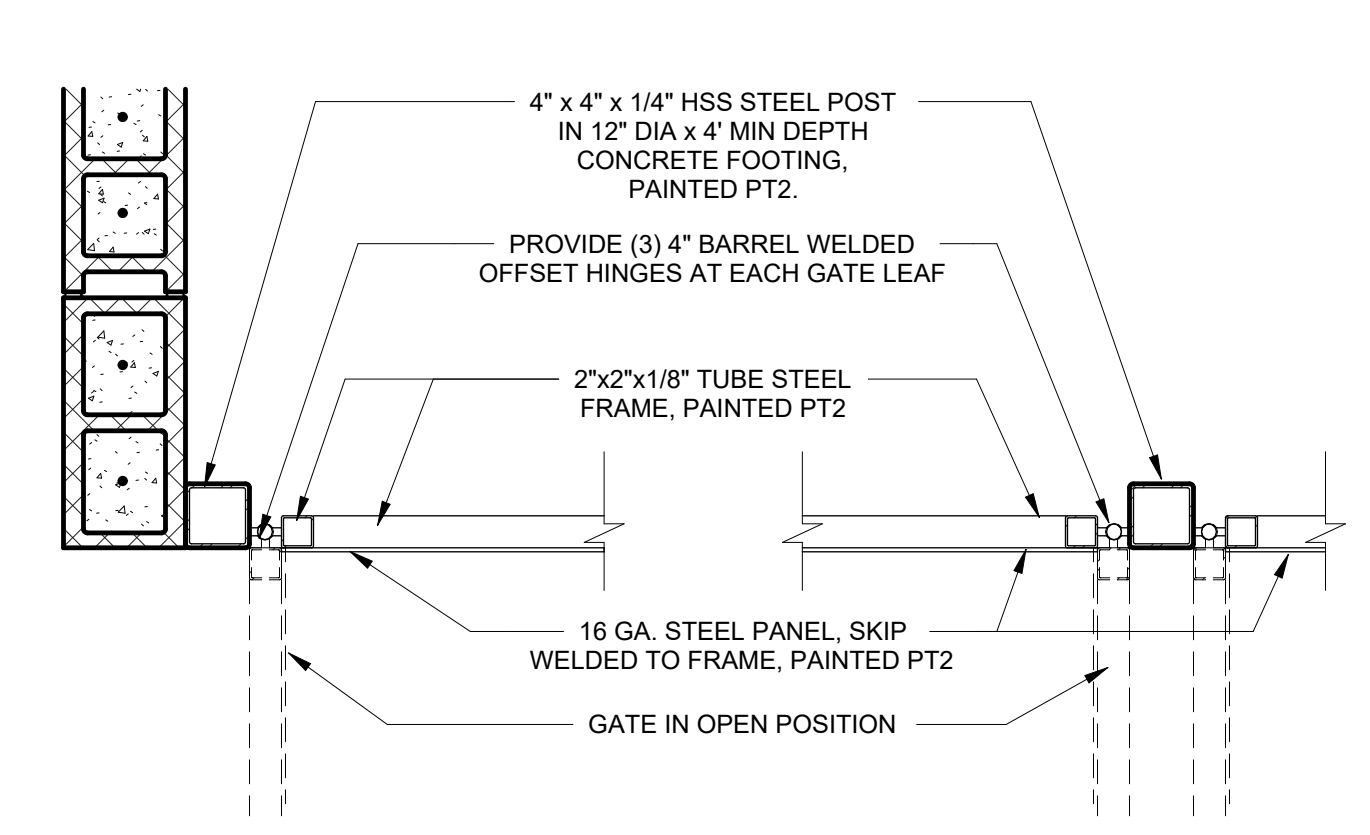


14 CONCRETE BENCH
3/4" = 1'-0"

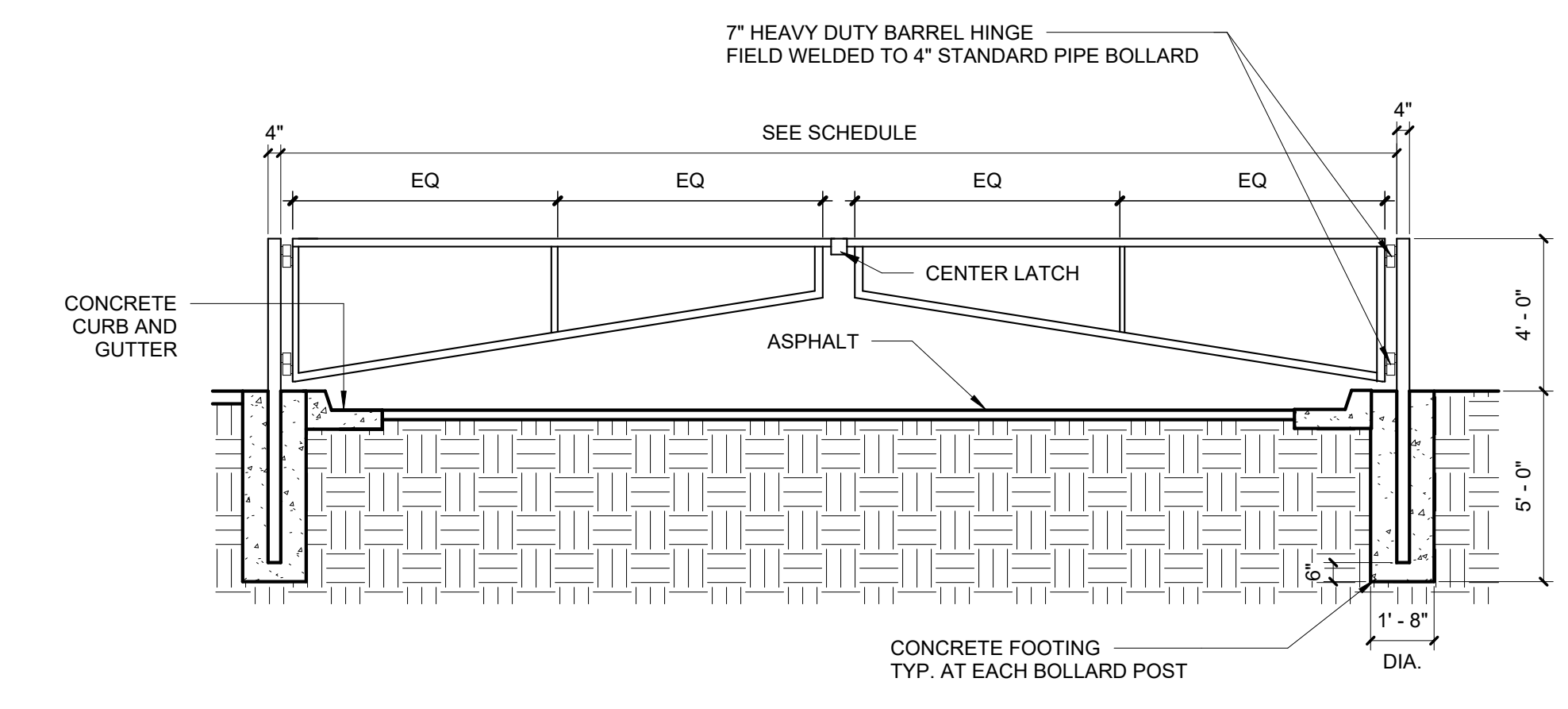


13 CONCRETE BENCH - TYP.
1/2" = 1'-0"

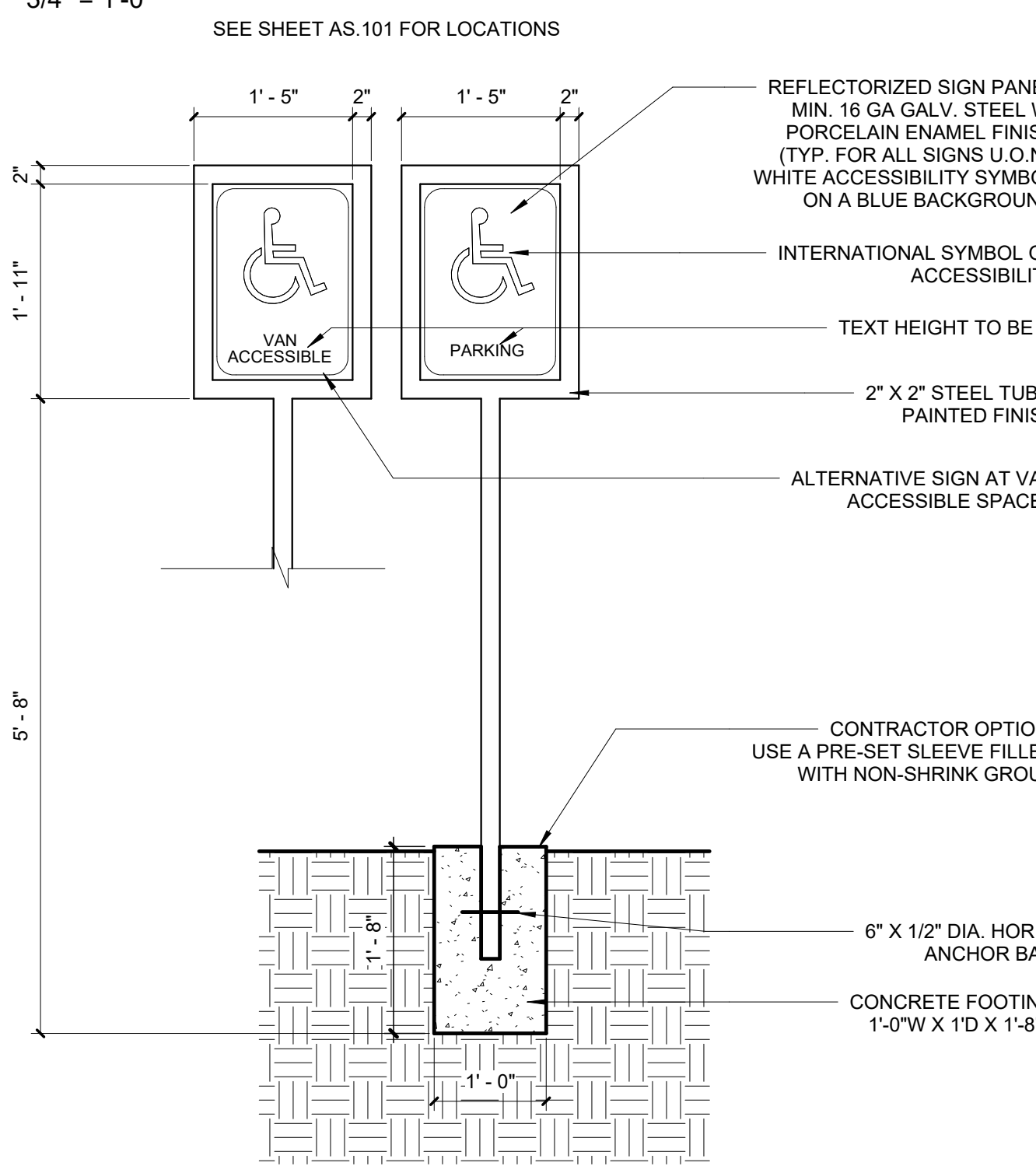
15 TYPICAL BIKE RACK CLEARANCES
1/4" = 1'-0"
PER DPM FIGURE 7.4.115



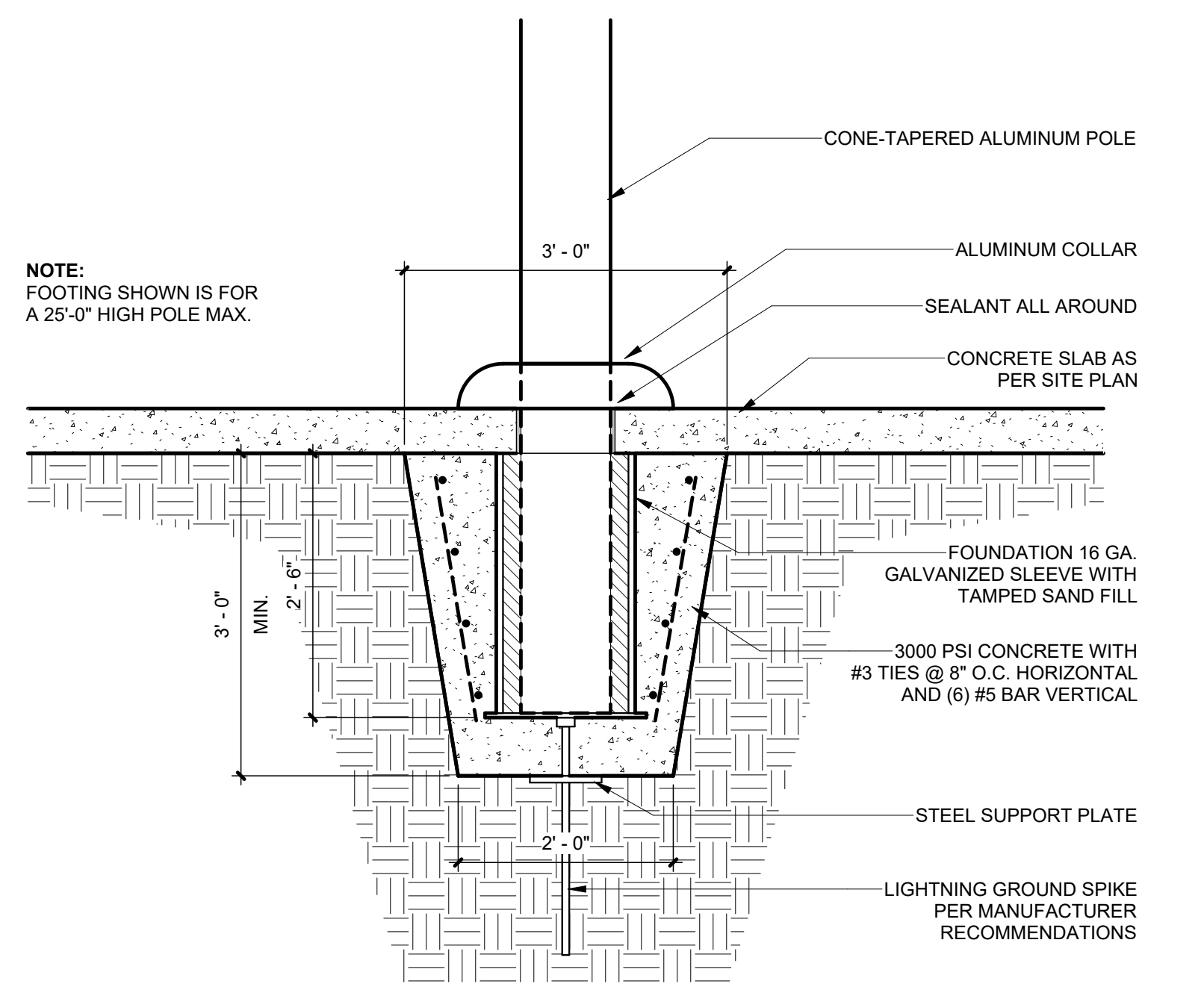
12 TRASH ENCLOSURE GATE DETAIL
1" = 1'-0"



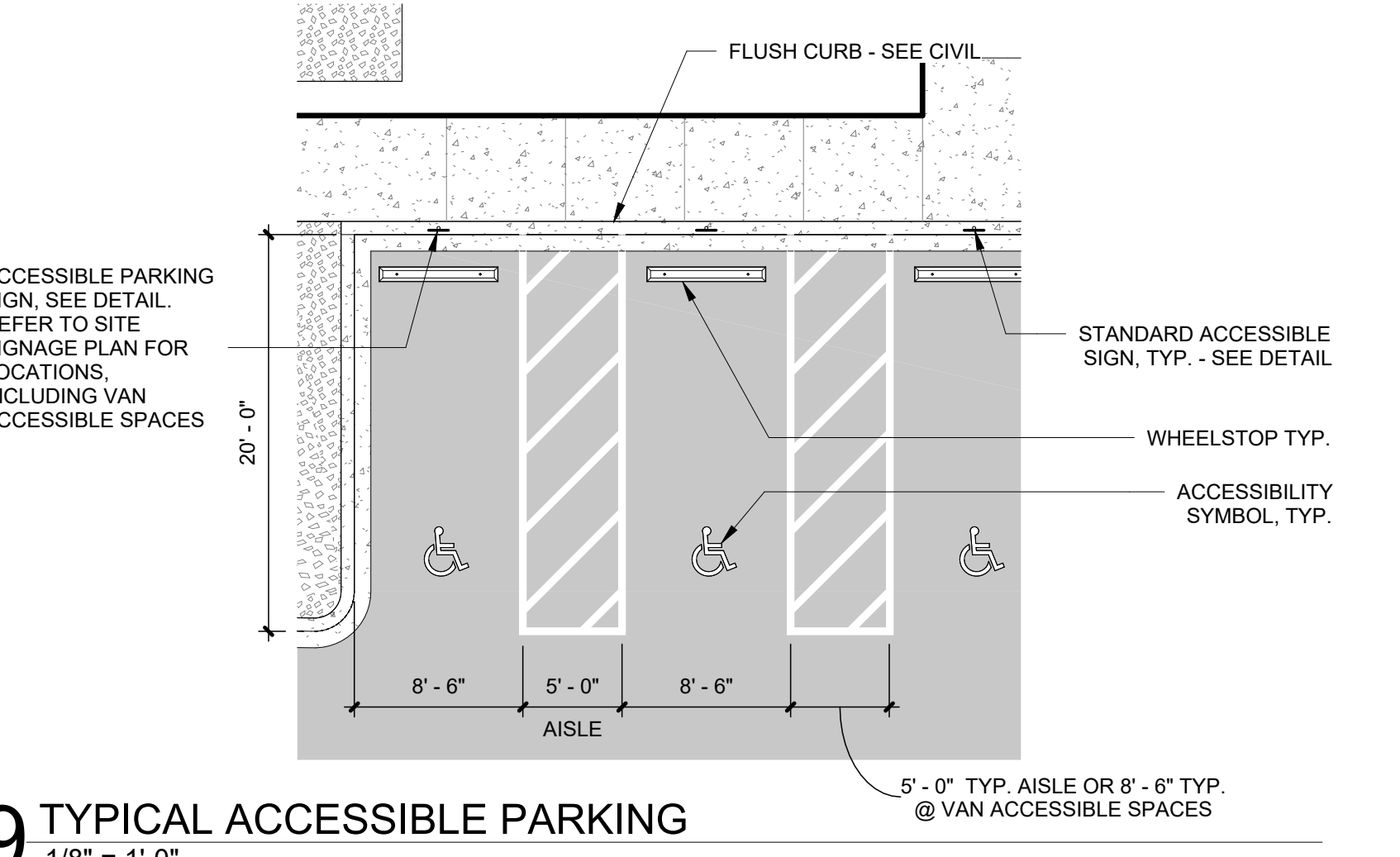
8 DOUBLE VEHICLE GATE
1/4" = 1'-0"



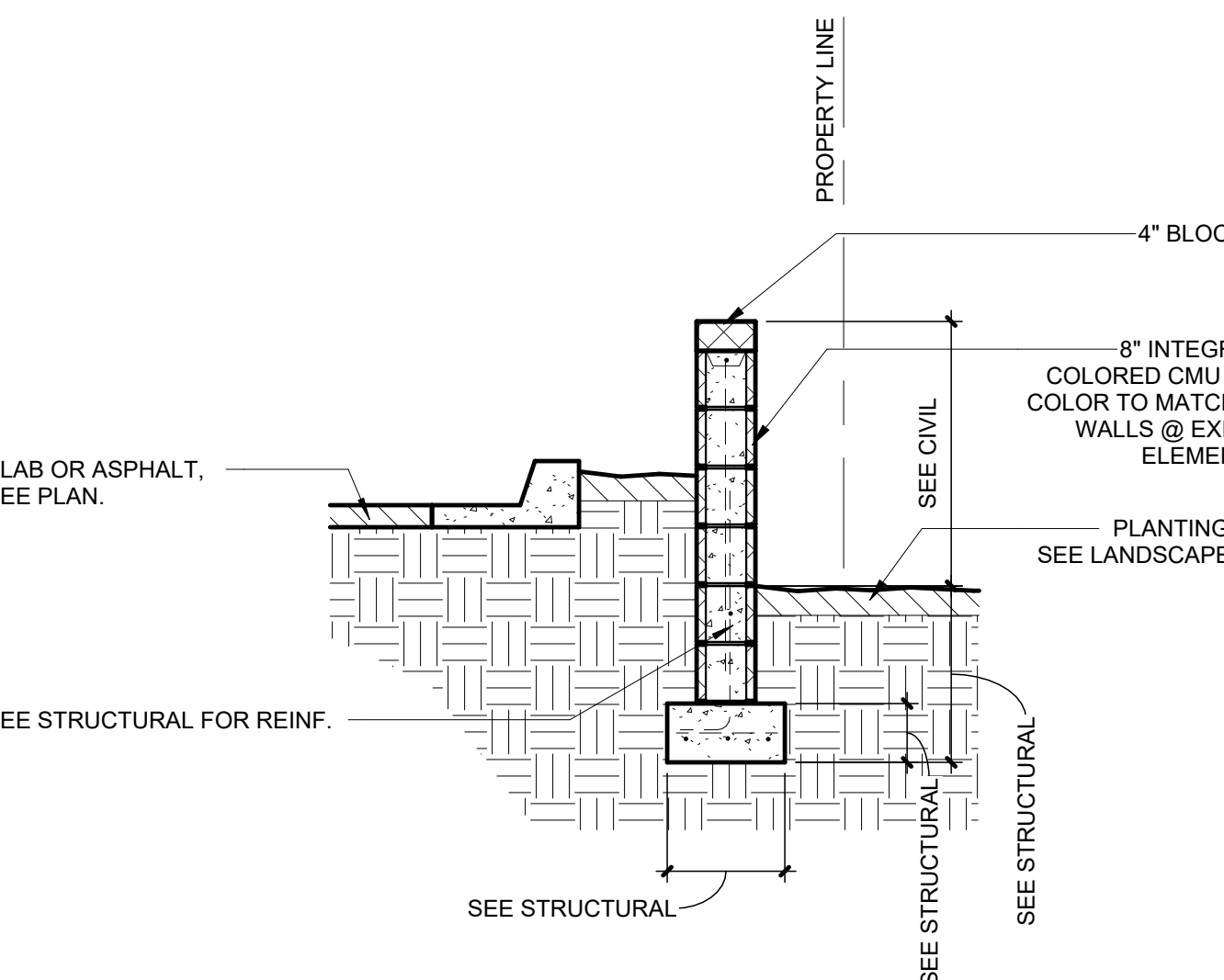
11 ADA PARKING SIGN
3/4" = 1'-0"



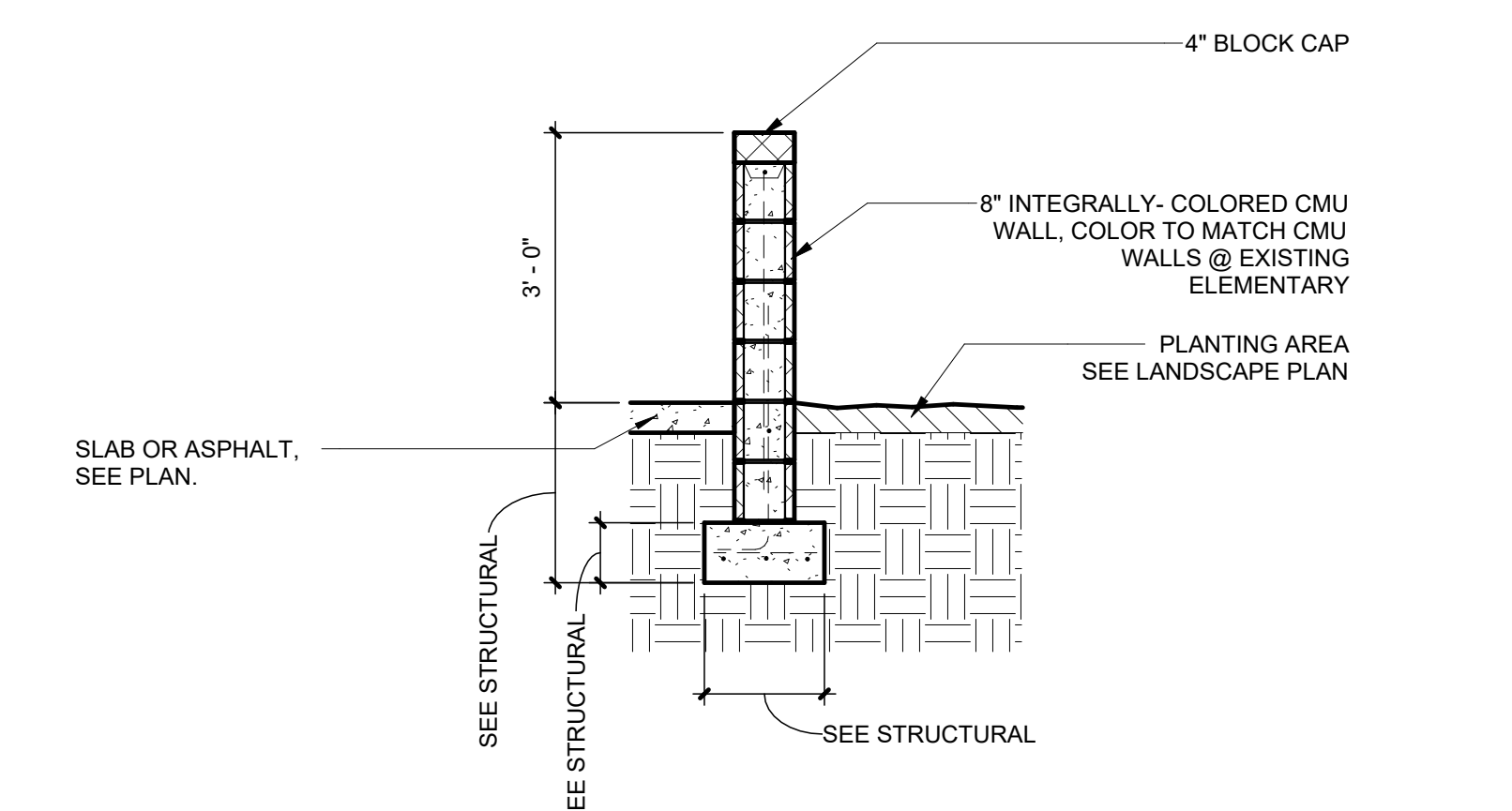
13 CONE-TAPERED ALUMINUM POLE
3/4" = 1'-0"



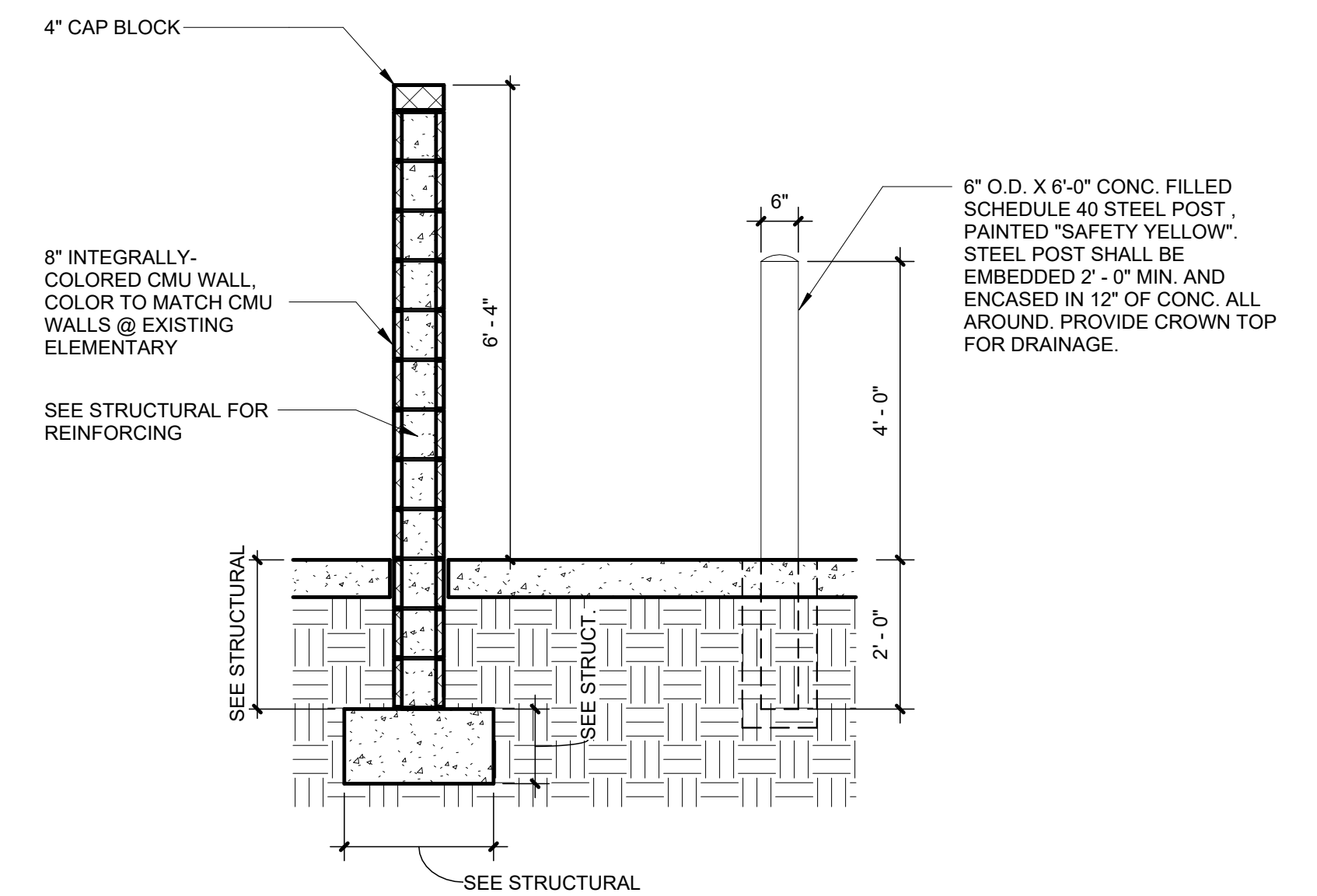
9 TYPICAL ACCESSIBLE PARKING
1/8" = 1'-0"



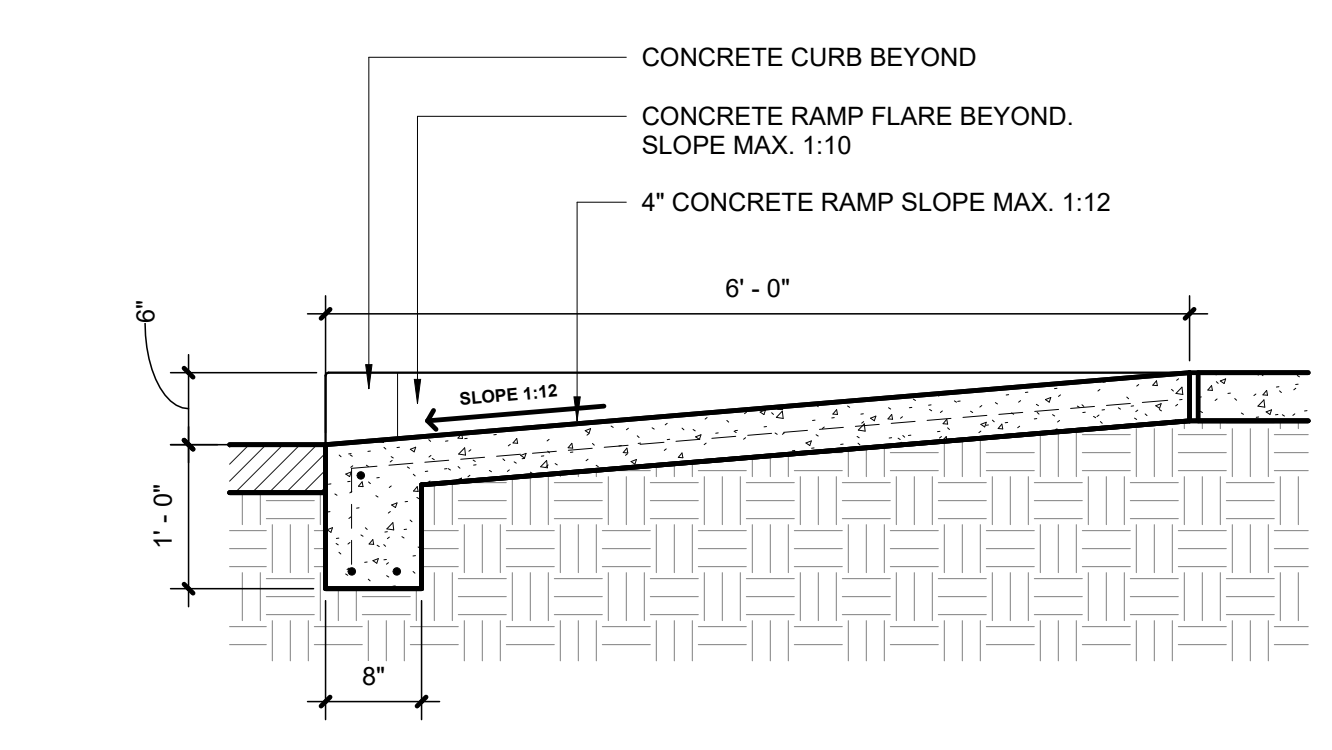
7 SITE RETAINING WALL
1/2" = 1'-0"



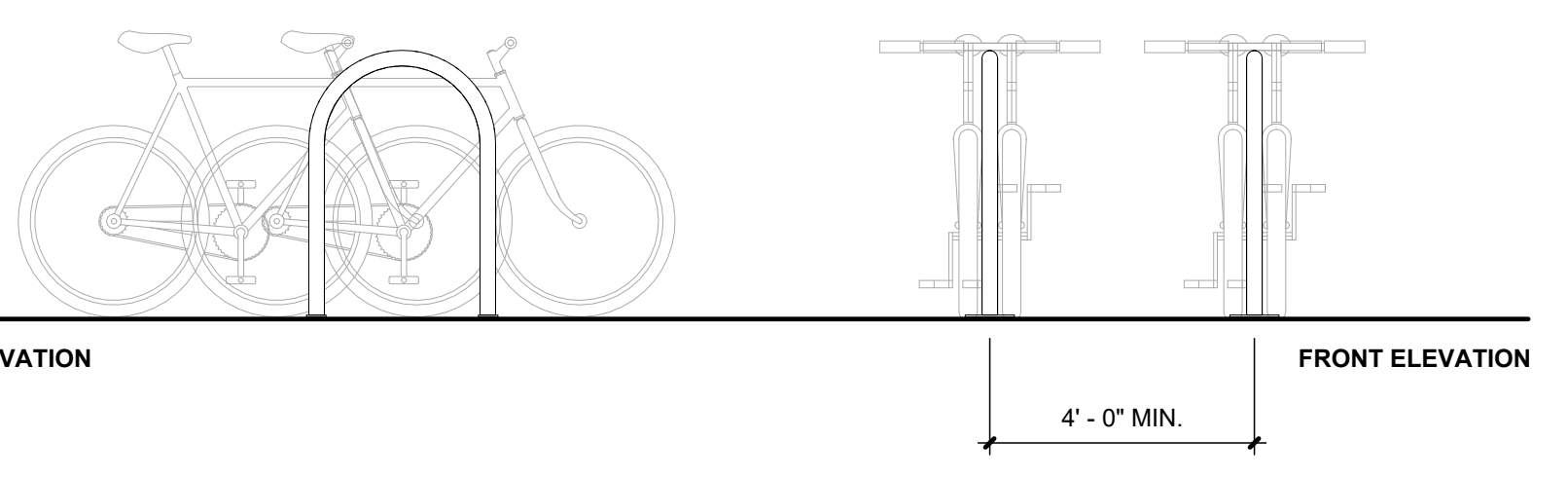
6 TYP. PARKING BUFFER WALL DETAIL
1/2" = 1'-0"



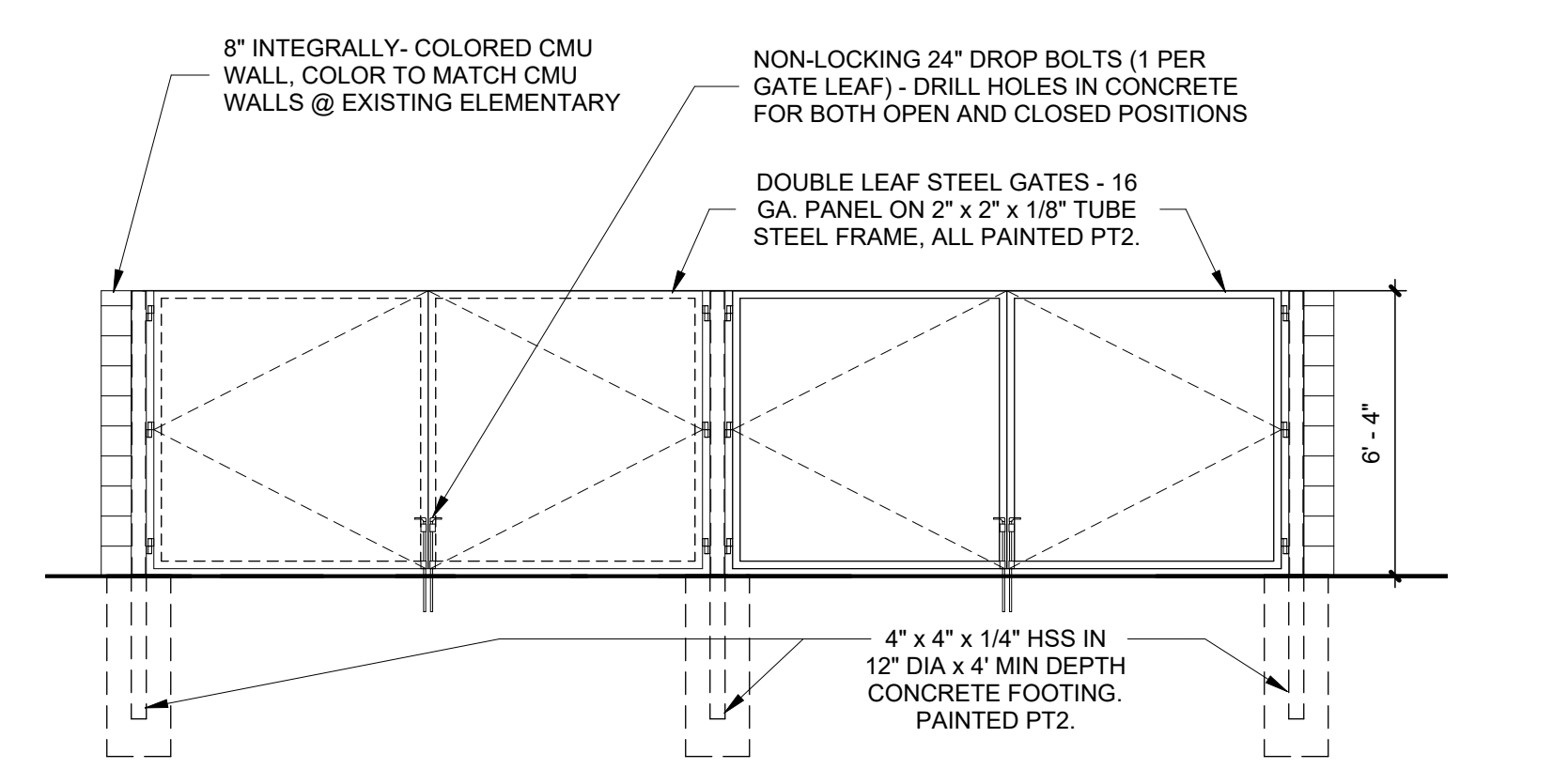
5 SOLID WASTE/REFUSE ENCLOSURE WALL SECTION
1/2" = 1'-0"



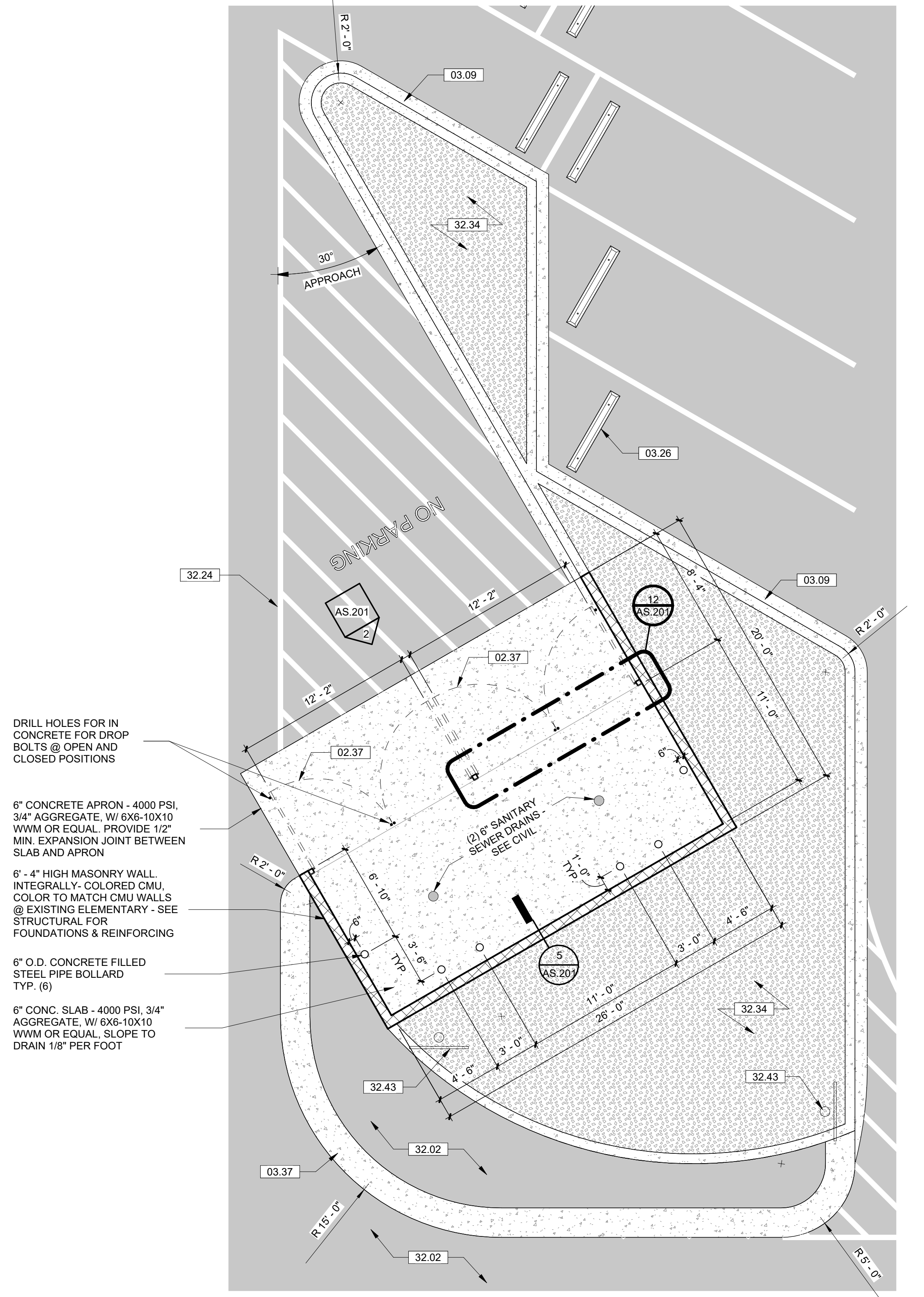
4 ADA RAMP SECTION
3/4" = 1'-0"



3 BIKE RACK DETAILS
1/2" = 1'-0"



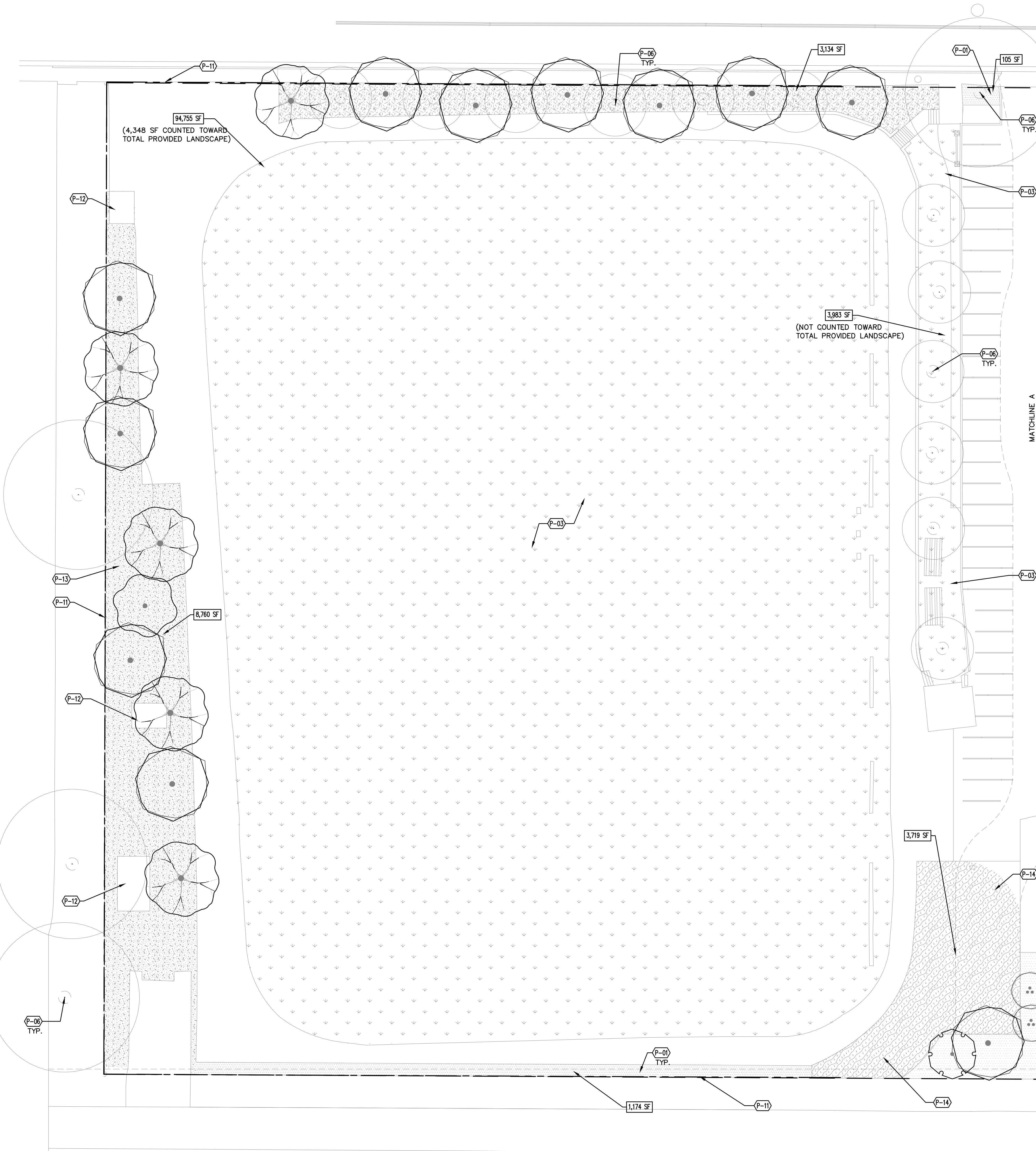
2 SOLID WASTE/REFUSE ENCLOSURE - ELEVATION
1/4" = 1'-0"



1 SOLID WASTE/REFUSE ENCLOSURE - PLAN
3/16" = 1'-0"

REVISION SCHEDULE		
#	Date	Description
1	01/25/23	PERMIT REVIEW REVISIONS
2	03/18/24	TRAFFIC REVIEW REVISIONS





PLANTING SCHEDULE

TREES	QTY	COMMON NAME	REMARKS	HT.	SPD.	COVERAGE
14	CHILOPSIS LINEARIS	24" BOX	15'	15'	10,308 SF.	
1	LAGERSTROEMIA SPP.	15 GAL.	8'	8'	1,357 SF.	
17	QUERCUS FUSIFORMIS	24" BOX	30'	25'	6,597 SF.	
7	ULMUS 'FRONTIER'	24" BOX	35'	30'	12,723 SF.	
3	FORESTIERA NEOMEXICANA	15 GAL.	15'	15'	530 SF.	
3	ACER GRANDIDENTATUM	24" BOX	20'	15'	1,472 SF.	
3	ACER NEGUNDO	24" BOX	30'	20'	2,827 SF.	
8	GLEDTISIA TRIACANTHOS NERMIS	24" BOX	40'	30'	14,313 SF.	
13	QUERCUS BUCKLEYI	24" BOX	35'	30'	26,389 SF.	
SHRUBS	QTY	COMMON NAME	REMARKS	HT.	SPD.	COVERAGE
29	CHAMAEBATERIA MILLEFOLIUM	5 GAL.	6'	6'	820 SF.	
32	RHUS AROMATICA 'GRO-LO'	5 GAL.	3'	5'	628 SF.	
21	LEUCOPHYLUM 'HEAVENLY CLOUD'	5 GAL.	5'	6'	594 SF.	
5	AMORPHA CANESCENS	3 GAL.	3'	4'	68 SF.	
15	EPHEDRA EQUISITENA	5 GAL.	3'	4'	188 SF.	
20	POTENTILLA FRUITICOSA	5 GAL.	2'	3'	142 SF.	
GRASSES	QTY	COMMON NAME	REMARKS	HT.	SPD.	COVERAGE
32	SPOROBOLUS WRIGHTII	5 GAL.	8'	8'	1608 SF.	
87	BOUTELOUA GRACILIS	3 GAL.	2'	3'	615 SF.	
15	SORGHASTRUM NUTANS	3 GAL.	4'	3'	106 SF.	
46	CALAMAGROSTIS 'KARL FOERSTER'	5 GAL.	30"	2'	325 SF.	
129	SCHIZACHRIUM SCOPARIUS	1 GAL.	2'	2'	405 SF.	
64	MUHLENBERGI 'PINK FLAMINGO'	5 GAL.	4'	4'	804 SF.	
32	FESTUCA OVINA GLAUCA	1 GAL.	1'	1'-6"	57 SF.	

CITY LANDSCAPE ORDINANCE COMPLIANCE

- LANDSCAPING RESPONSIBILITY FOR MAINTENANCE:**
 1. THE PROPERTY OWNER WILL BE RESPONSIBLE FOR ALL LANDSCAPE MAINTENANCE AT HOPE CHRISTIAN HIGHSCHOOL.
- COMPLIANCE WITH WATER CONSERVATION ORDINANCE:**
 1. NO NEW SPRAY IRRIGATION IS PROPOSED.
 2. PLANT SPECIES WILL BE LOW OR MEDIUM USE SPECIES PER THE ABCWA'S XERIC PLANT LIST.
 3. AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED FOR ALL PLANT MATERIAL. THE SYSTEM WILL BE CONTROLLED BY AN AUTOMATIC CONTROLLER. PLANTS WILL BE IRRIGATED BY LOW WATER USE BUBBLERS. A REDUCED PRESSURE BACKFLOW PREVENTER WILL BE INSTALLED IN A HEATED ENCLOSURE TO PROTECT THE DOMESTIC WATER SUPPLY FROM CROSS-CONTAMINATION.
 4. EXISTING SPRAY IRRIGATION AT NEW NATIVE GRASS SEED MIX WILL BE MODIFIED AS NEEDED TO MATCH REDUCED WATER NEEDS OF NATIVE GRASSES.
- COMPLIANCE WITH GENERAL LANDSCAPING REGULATIONS:**
 1. THIS PLAN PROVIDES VISUALLY ATTRACTIVE LANDSCAPE, A VISUALLY ATTRACTIVE STREETScape, AND INTERSPERSED TREES IN LANDSCAPE AREAS TO PROVIDE SHADE AND REDUCE LARGE EXPANSIONS OF PAVEMENT.
 2. GROUND COVER MULCH SHALL BE COMPRISED OF A COMBINATION OF CRUSHED GRAVEL AND CRUSHER FINES (NOT TO EXCEED 75% OF TOTAL AREA) AND ORGANIC MULCH SUCH AS SHREDDED BARK MULCH.
 3. LANDSCAPING, FENCING, AND SIGNS SHALL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBS BETWEEN 3 AND 8 FEET IN HEIGHT (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE LOCATED IN THE CLEAR SIGHT TRIANGLE.
 4. GROUND-MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.

LANDSCAPE CALCULATION TABLE:
 TOTAL LOT AREA: 372,242 SF
 LESS TOTAL BUILDING AREA: 78,324 SF
 LESS AREAS SCREENED FROM ADJACENT LOTS AND ROW: 267 SF
 LESS LANDSCAPE AREA INSTALLED BY AND MAINTAINED BY OWNER IN PUBLIC RIGHT-OF-WAY: 3,753 SF
 NET LOT AREA: 289,898 SF

REQUIRED LANDSCAPE AREA (15% OF NET LOT AREA):
 43,485 SF

PROVIDED LANDSCAPE AREA:
 48,804 SF

REQUIRED PLANTS:
 REQUIRED STREET TREES:
 16 (399 LF ALONG LOUISIANA BLVD NE, TREES AVERAGE 25' O.C.)
 12 (298 LF ALONG PALOMAS AVE NE, TREES AVERAGE 25' O.C.)

STREET TREES PROVIDED:
 16 ALONG LOUISIANA BLVD NE
 13 ALONG PALOMAS AVE NE

REQUIRED PARKING LOT TREES AT ONE TREE PER TEN SPACES:
 EAST PARKING LOT: 135 TOTAL SPACES
 14 REQUIRED TREES
 PARKING LOT TREES PROVIDED AT EAST PARKING LOT: 43

WEST PARKING LOT: 42 TOTAL SPACES
 5 REQUIRED TREES
 PARKING LOT TREES PROVIDED AT WEST PARKING LOT: 9 (INCLUDING 8 EXISTING TREES)

REQUIRED PARKING LOT INTERIOR LANDSCAPE (15% OF PARKING LOT AREA):
 EAST AREA PARKING LOT: 68,187
 15% OF PARKING LOT AREA: 10,228 SF
 PROVIDED PARKING LOT INTERIOR LANDSCAPE:
 12,600 SF (123.2% OF REQUIRED INTERIOR LANDSCAPE)

WEST PARKING LOT:
 15,152 SF
 15% OF PARKING LOT AREA: 2,273 SF
 PROVIDED PARKING LOT INTERIOR LANDSCAPE:
 4,952 SF (217.8% OF REQUIRED INTERIOR LANDSCAPE)

REQUIRED COVERAGE (75% OF PROVIDED LANDSCAPE AREA):
 32,613 SF
 PROVIDED COVERAGE:
 92,049 SF (282% OF REQUIRED COVERAGE)

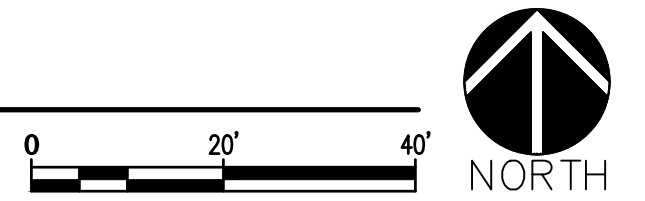
REQUIRED GROUND LEVEL VEGETATIVE COVERAGE (25% OF PROVIDED LANDSCAPE AREA):
 12,201 SF

PROVIDED GROUND LEVEL PLANT COVERAGE:
 APPLICABLE EXISTING COOL SEASON TURF (4,348 SF) +
 PROPOSED NEW GROUND LEVEL PLANTINGS (8,140 SF) =
 12,488 SF (102% OF REQUIRED GROUND LEVEL COVERAGE)

PLANTING SCHEDULE

CODE	DESCRIPTION
P-01	CRUSHER FINES MULCH, COLOR - MOUNTAINAIR BROWN AVAILABLE FROM JPR GRAVEL (505) 503-7766, INSTALLED AT 4" DEPTH OVER FILTER FABRIC, EXCEPT AS NOTED IN GP-10.
P-02	GRAVEL MULCH, COLOR - AMARETTO BROWN, 3/8" - 1" AVAILABLE FROM JPR GRAVEL (505) 503-7766, INSTALLED AT 4" DEPTH OVER FILTER FABRIC.
P-03	EXISTING COOL SEASON TURF GRASS TO REMAIN
P-04	INSTALL NEW SOD AT DISTURBED TURF AREA. SOD SHALL BE "SANDIA BLUEGRASS" AS AVAILABLE FROM EVERGREEN TURF. MODIFY EXISTING SPRINKLER HEAD LAYOUT AS REQUIRE TO PROVIDE UNIFORM COVERAGE.
P-05	FURNISH AND INSTALL EXPOSITION 6" CONTOUR BENCH FROM ANOVA FURNISHINGS. SURFACE MOUNT PER MANUFACTURER'S INSTRUCTIONS. MODEL: LEXC6. COLOR: BY ARCHITECT.
P-06	EXISTING TREE TO REMAIN
P-07	FURNISH AND INSTALL METRIX TRASH RECEPTACLE WITH SIDE OPENING AND SIDE DOOR FROM ANOVA FURNISHINGS. SURFACE MOUNT PER MANUFACTURER'S INSTRUCTIONS. MODEL: L2009. COLOR: BY ARCHITECT
P-08	FURNISH AND INSTALL FREESTANDING UMBRELLA TABLE CAMBI 36" DIA. FROM EMUAMERICAS LLC. MODEL: E813 COLOR: BY ARCHITECT.
P-09	FURNISH AND INSTALL FREESTANDING STAR OUTDOOR STACKING CHAIR FROM EMUAMERICAS LLC. MODEL: E161N-24. COLOR: BY ARCHITECT.
P-10	FURNISH AND INSTALL FREESTANDING STAR OUTDOOR STACKING ARMCHAIR FROM EMUAMERICAS LLC. MODEL: E162N. COLOR: BY ARCHITECT.
P-11	PROPERTY LINE
P-12	EXISTING SHED TO REMAIN
P-13	SHREDDED BARK MULCH INSTALLED AT 4" DEPTH, NO FILTER FABRIC SHALL BE INSTALLED UNDER MULCH.
P-14	CRUSHER FINES MULCH, COLOR B INSTALLED AT 4" DEPTH.

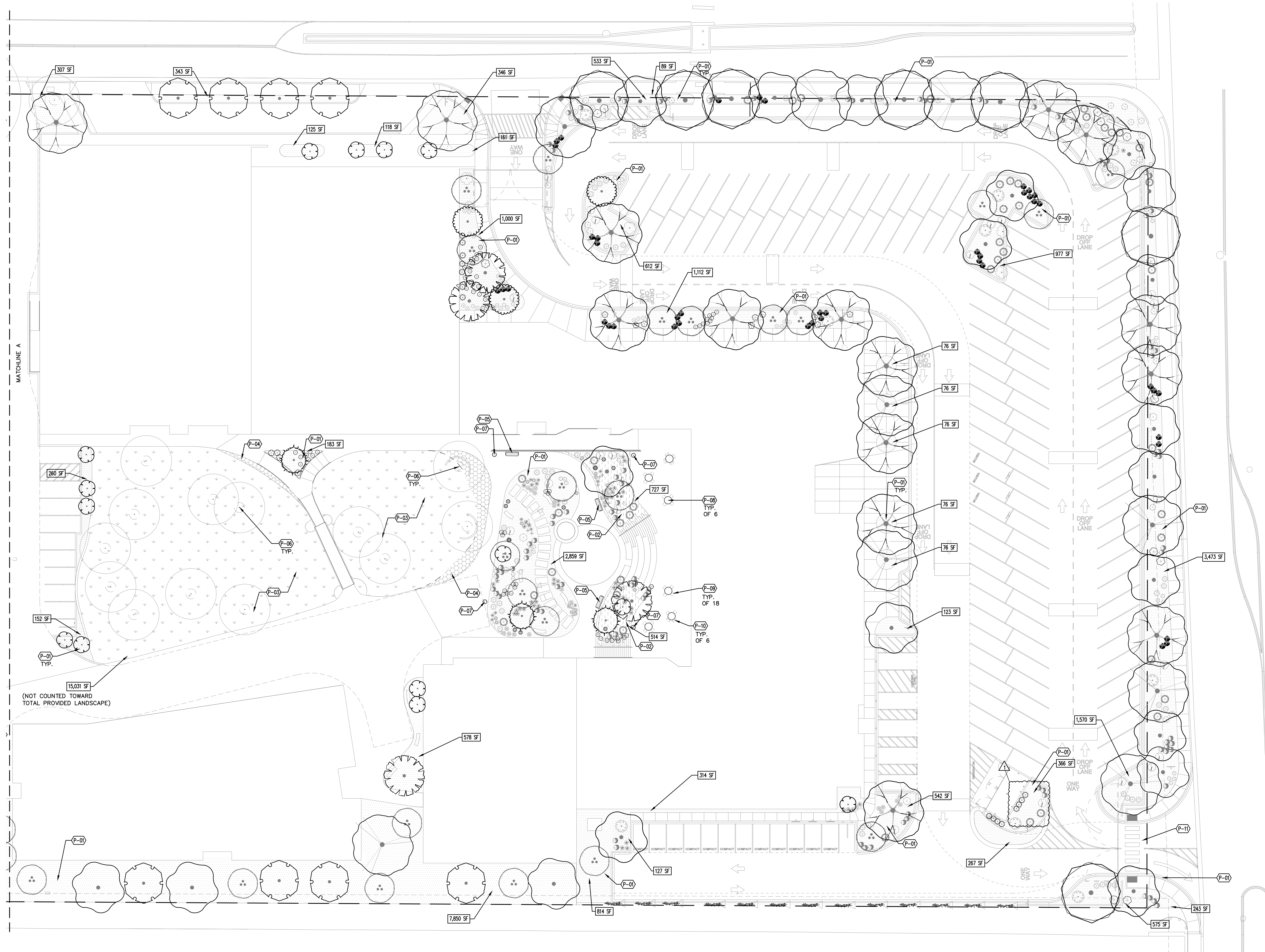
A PLANTING PLAN - ALL PHASES
 SCALE: 1"=20'-0"



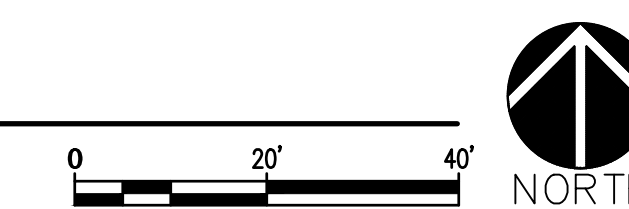
REVISION SCHEDULE

No.	Date	Description
1	1/05/24	TREE REMOVED PER REVISIONS FROM CITY COMMENT

DFT
 SUBMITTAL
 12 04 23



A PLANTING PLAN – ALL PHASES
SCALE: 1"=20'-0"



REVISION SCHEDULE	
NO.	DESCRIPTION
1	11/05/24 TREE REMOVED PER REVISIONS FROM CITY COMMENT

GENERAL NOTES

- ALL WORK SHOWN ON THESE PLANS TO BE PERFORMED UNDER THIS CONTRACT, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, AND THE CITY OF ALBUQUERQUE SPECIFICATIONS (AS APPLICABLE).
- AT LEAST TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990), FOR LOCATION OF EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES AND OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR WILL NOTIFY THE ENGINEER/OWNER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ALL EXCAVATION SHALL BE GOVERNED BY FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH, OSHA 29 CFR 1926.650. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO KNOW AND COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970".
- CONTRACTOR SHALL SCARIFY AREA UNDER NEW BUILDING AND PARKING TO A DEPTH OF 12" AND RECOMPACT SUBGRADE TO 95% MAX. DENSITY AS DETERMINED BY ASTM D-1557 UNLESS NOTED OTHERWISE IN GEOTECHNICAL REPORT.
- WHEN ABUTTING NEW CONCRETE TO EXISTING, CUT BACK EXISTING TO A NEAT STRAIGHT LINE AS REQUIRED TO REMOVE ANY BROKEN OR CRACKED CONCRETE, AND MATCH NEW TO EXISTING. CUTTING OF PAVEMENT OR CONCRETE SHALL BE IN CONFORMANCE WITH PROJECT SPECIFICATIONS.
- EXERCISE CARE TO AVOID DISTURBING EXISTING UTILITIES. COORDINATE WITH UTILITY COMPANIES FOR ANY REQUIRED SERVICE RELOCATIONS, AND IN ORDER TO PREVENT SERVICE DISRUPTION.
- ADJUST EXISTING UTILITIES TO NEW GRADE AS REQUIRED TO FACILITATE A SMOOTH, ADA COMPLIANT WALKING SURFACE.
- CONTRACTOR SHALL PROVIDE REASONABLE ACCESS TO ALL FACILITIES WITHIN THE PROJECT AREA DURING CONSTRUCTION.
- CONTRACTOR AGREES TO TAKE NECESSARY SAFETY PRECAUTIONS AS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES TO PROTECT PEDESTRIAN AND VEHICULAR TRAFFIC IN THE CONSTRUCTION AREA, WHICH INCLUDE BUT ARE NOT LIMITED TO: MAINTAINING ADEQUATE WARNING SIGNS, BARRICADES, LIGHTS, GUARD FENCES, WALKS AND BRIDGES IN COMPLIANCE WITH CURRENT ADA STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL DEMOLITION DEBRIS. WORK MATERIALS SHALL BE DISPOSED OF IN AN APPROVED WASTE AREA, IN ACCORDANCE WITH PROJECT SPECIFICATIONS, SECURED BY AND AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED UTILITY LINES THAT ARE EXPOSED AS A RESULT OF CONSTRUCTION UNLESS OTHERWISE DIRECTED BY THE OWNER.
- THE CONTRACTOR SHALL PROVIDE THE OWNER WITH "AS-BUILT" PLANS. THESE PLANS SHALL BE KEPT AS CURRENT AS POSSIBLE THROUGHOUT CONSTRUCTION AND SHALL BE SUBJECT TO REVIEW BY THE ENGINEER. THE FINAL AS-BUILT PLANS SHALL BE SUBMITTED TO THE OWNER AND ENGINEER.
- CONTRACTOR'S WORK ZONE, AND ANY OTHER AREAS DISTURBED BY CONSTRUCTION THAT MAY NOT BE INCLUDED ON THIS PLAN, SHALL BE RE-ESTABLISHED TO OWNER'S SATISFACTION.
- OWNER IS RESPONSIBLE FOR A GEOTECHNICAL REPORT CERTIFIED BY A GEOTECHNICAL ENGINEER. IF ANY GEOTECHNICAL CRITERIA CANNOT BE MET BY THIS PROPOSED PLAN, CONTACT THE ENGINEER FOR SUPPLEMENTAL RECOMMENDATIONS. IF NO GEOTECHNICAL EVALUATION REPORT IS PROVIDED, OWNER ASSUMES ALL RESPONSIBILITY FOR SITE SOIL CONDITIONS AND ANY ADVERSE IMPACTS (I.E. CONSOLIDATION, EXPANSION, PERMEABILITY, ETC.) TO THESE SITE IMPROVEMENTS CAUSED BY SUBSTANDARD SOILS.
- SAFETY RAILS ARE REQUIRED AT ALL LOCATION ADJACENT TO A PEDESTRIAN WALKWAY WHERE A VERTICAL DROP OF 24" OR MORE EXISTS, OR AS APPLICABLE PER GOVERNING BUILDING CODE. COORDINATE WITH OWNER FOR SAFETY RAIL DETAILS.
- ALL SIDEWALKS AND RAMPS TO BE APPROXIMATELY 4" ABOVE ADJACENT LANDSCAPE FINISH.
- COORDINATE IMPROVEMENTS SHOWN ON THIS PLAN WITH THE ARCHITECT'S SITE PLAN. COORDINATE ANY DISCREPANCIES WITH THE ENGINEER.
- A PROFESSIONAL SURVEYOR LICENSED IN THE STATE OF NEW MEXICO SHALL OVERSEE AND VERIFY ALL CONSTRUCTION MARKINGS, AND STAKING PRIOR TO ANY CONSTRUCTION. PROPOSED ELEVATIONS SHALL BE RELATIVE TO LOWEST ADJACENT TOP OF EXISTING CURB ELEVATION.
- SUBSURFACE UTILITY LOCATIONS SHOWN ON THIS SHEET ARE APPROXIMATE, A SUBSURFACE UTILITY SURVEY AND CONFLICT ANALYSIS IS RECOMMENDED PRIOR TO CONSTRUCTION. EXERCISE CARE TO AVOID DISTURBING EXISTING UTILITIES. COORDINATE WITH UTILITY COMPANIES FOR CLEARANCE REQUIREMENTS, RELOCATIONS, CONNECTIONS, AND SHUT-OFFS. (SEE UTILITY NOTES FOR ADDITIONAL INFORMATION)
- FIELD SURVEY ELECTRONIC FILE CAN BE MADE AVAILABLE UPON REQUEST. CONSTRUCTION CONTROL POINTS ARE AS SHOWN ON PLAN.
- COORDINATE CONSTRUCTION WITH GEOTECHNICAL AND STRUCTURAL PLANS AND REPORTS.
- POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS SHALL BE PROVIDED.
- ALL WORK SHOWN ON THIS PLAN SHALL ABIDE BY NM APWA STANDARD SPECIFICATION FOR PUBLIC WORKS CONSTRUCTION, AND CITY OF ALBUQUERQUE POLICIES.
- CONTRACTOR SHALL EXCAVATE AND CONFIRM EXISTING UTILITY LOCATION AND MATERIAL. CONTRACTOR SHALL MAKE CONNECTIONS TO EXISTING WATER LINE PRIOR TO CONSTRUCTION OF ON-SITE SERVICE LINES.
- CONTRACTOR SHALL EXPOSE EXISTING UTILITY LINES PRIOR TO STARTING CONSTRUCTION. SHOULD A CONFLICT BE IDENTIFIED, ADJUSTMENTS TO ALIGNMENT OR ELEVATION SHALL BE MADE WITH APPROVAL BY THE ENGINEER.
- PAVEMENT CUTS AND PAVEMENT REPLACEMENT SHALL BE MADE IN CONFORMANCE WITH CITY STANDARDS, AND REPLACED IN-KIND, OR PER CITY INSPECTOR'S DIRECTION.
- PER CODE OF FEDERAL REGULATIONS §61.145, THE OWNER OR OPERATOR WHO PLANS TO DEMOLISH OR RENOVATE A COMMERCIAL FACILITY SHALL PERFORM A THOROUGH INSPECTION OF THE FACILITY(S) FOR THE PRESENCE OF ASBESTOS. THIS APPLIES TO ANY INSTITUTIONAL, COMMERCIAL, PUBLIC, INDUSTRIAL, OR RESIDENTIAL STRUCTURE CONSISTING OF 5 OR MORE DWELLINGS (I.E. APARTMENT BUILDING). IF ASBESTOS CONTAINING MATERIAL IS FOUND AT THE FACILITY, IT MUST BE REMOVED PRIOR TO RENOVATION OR DEMOLITION. A NATIONAL EMISSIONS STANDARDS FOR HAZARDOUS AIR POLLUTANTS (NESHA) FORM IS REQUIRED AND MUST BE EMAILED OR HAND-DELIVERED TO THE CITY OF STATE ENVIRONMENTAL HEALTH DEPARTMENT, AIR QUALITY.

SO-19 NOTICE TO CONTRACTOR

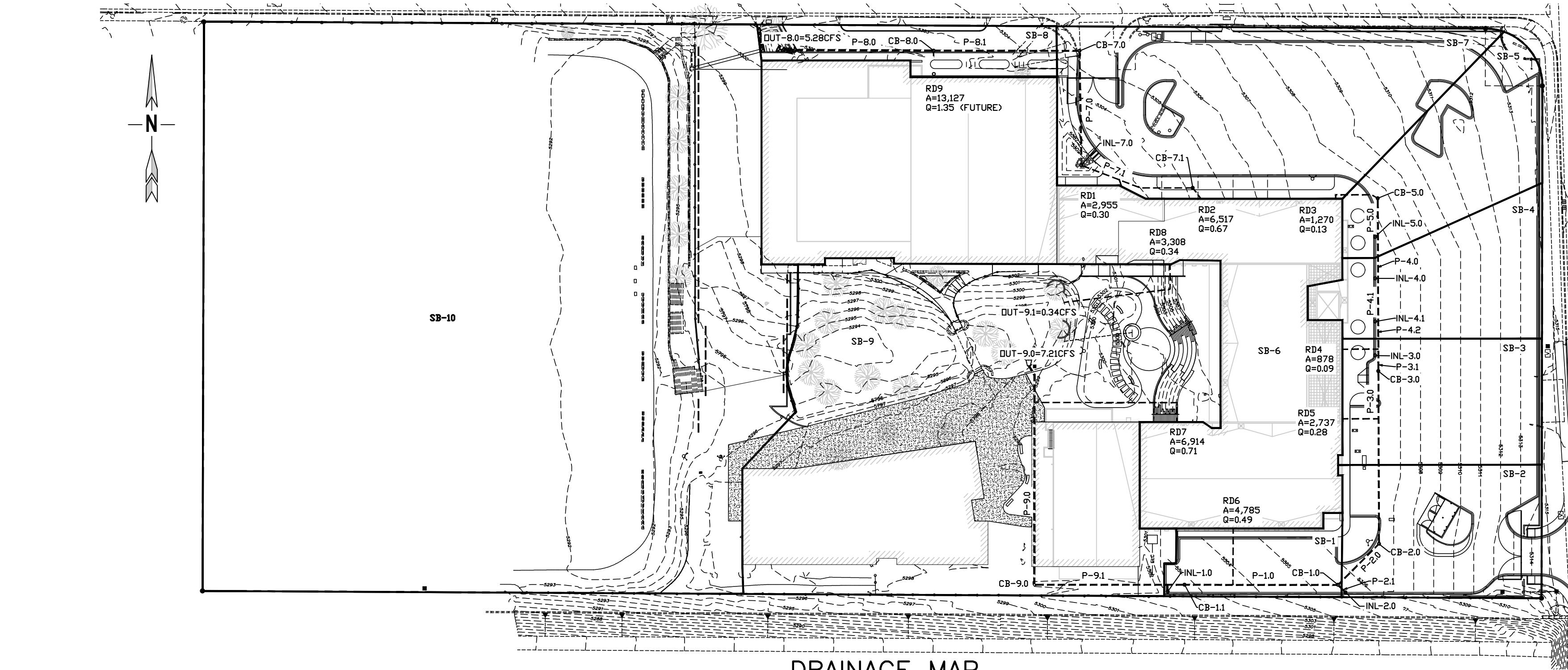
- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL '811' OR (505) 260-1990 FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24 HOUR BASIS.
- CONTRACTOR MUST CONTACT HENRY BLAIR AT (505) 203-7358 AND CONSTRUCTION COORDINATION AT 924-3416 TO SCHEDULE AN INSPECTION.

UTILITY GENERAL NOTES

- ALL WORK SHOWN ON THIS PLAN SHALL ABIDE BY NM APWA STANDARD SPECIFICATION FOR PUBLIC WORKS CONSTRUCTION AND CITY OF ALBUQUERQUE SPECIFICATIONS.
- EXISTING UTILITY INFORMATION SHOWN ON THIS PLAN, INCLUDING VERTICAL AND HORIZONTAL ALIGNMENTS, INVERTS, AND MATERIAL TYPES ARE APPROXIMATE AND PROVIDED BY THE OWNER.
- CONTRACTOR SHALL CONDUCT A UTILITY CONFLICT ANALYSIS. SHOULD A CONFLICT BE IDENTIFIED, ADJUSTMENTS TO ALIGNMENT OR ELEVATION SHALL BE MADE WITH APPROVAL BY THE ARCHITECT.
- CONTRACTOR SHALL EXCAVATE AND CONFIRM ALL EXISTING UTILITY LOCATIONS AND MATERIAL TYPES PRIOR TO DEMOLITION.
- CONTRACTOR SHALL VERIFY USABILITY OF EXISTING SERVICE LINES. IF THESE EXISTING SERVICES ARE NOT USED, THEY SHALL BE REMOVED UP TO THE ROW LINE AND CAPPED. COORDINATE WITH THE OWNER.
- COORDINATE WITH APPROPRIATE UTILITY OWNER FOR NEW SERVICE DISRUPTIONS.
- ALL EXCAVATION SHALL BE GOVERNED BY FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH, OSHA 29 CFR 1926.650. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN A SAFE AND ADEQUATE MEANS OF CHANNELIZING TRAFFIC AROUND AND THROUGH THE CONSTRUCTION AREA. ANY PEDESTRIAN CHANNELIZATION SHALL MEET ADA REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE REASONABLE ACCESS TO PROPERTIES WITHIN THE PROJECT AREA DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY ALL OWNERS OF BUSINESSES IMPACTED BY CONSTRUCTION OF CHANGES IN ACCESS.
- PAVEMENT CUTS AND PAVEMENT REPLACEMENT SHALL BE MADE IN CONFORMANCE WITH CITY STANDARDS, AND REPLACED IN-KIND, OR PER CITY/COUNTY INSPECTOR DIRECTION.
- THIS UTILITY SURVEY IS A DEPICTION OF VISIBLE UTILITY FEATURES AND ASCERTAINABLE SUBSURFACE UTILITY LOCATIONS THAT HAVE BEEN DESIGNATED AND/OR OBSERVED BY, AND SUBSEQUENTLY SURVEYED BY OTHERS. THESE SERVICES WERE PERFORMED IN ACCORDANCE WITH ASCE STANDARD 38-02 (STANDARD GUIDELINE FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA). SUBSURFACE UTILITY ENGINEERING (SUE) QUALITY LEVELS B, AND C HAVE BEEN COMPLETED FOR THIS PROJECT.
- SUBSURFACE UTILITY DESIGNATION HAS BEEN BASED UPON EXISTING UTILITY RECORDS AND VARIOUS OTHER RESOURCES OF INFORMATION ALONG WITH CURRENT SITE CONDITIONS INCLUDING ACCESSIBLE SURFACE FEATURES FOUND WITHIN THE PROJECT LIMITS. RESULTS OF THIS UTILITY DESIGNATION EFFORT HAVE BEEN CORRELATED TO EXISTING AS-BUILT OR RECORD DRAWINGS AND/OR SITE UTILITY PLANS THAT WERE AVAILABLE AT THE TIME THIS WORK WAS PERFORMED. UTILITY LOCATIONS THAT COULD NOT BE ASCERTAINED THROUGH SURFACE GEOPHYSICAL UTILITY LOCATING METHODS, BUT WERE RECONCILED FROM UTILITY RECORDS, HAVE BEEN IDENTIFIED AND LABELED ON THIS SURVEY ACCORDINGLY. ADDITIONALLY, ANY DISCOVERED DISCREPANCIES RELATED TO THE RECORD DRAWINGS, UTILITY CONNECTIVITY OR PUBLIC UTILITY RESPONSE HAVE BEEN DOCUMENTED. REFER TO KEYED SUBSURFACE UTILITY NOTES ON THIS SHEET, AND SHEETS 2 AND 3 FOR LOCATIONS AND SUBSURFACE UTILITY KEYED NOTES BELOW FOR DETAILS.
- PUBLICLY-OWNED UTILITIES REPRESENTED ON THIS SURVEY HAVE BEEN IDENTIFIED BY THE OWNER IN RESPONSE TO SURVEY AND NM811 DESIGN LOCATE REQUEST (NM811 TICKET 22A2290801 08/29/22 1:53PM) AND/OR THROUGH SUPPLEMENTAL DESIGNATION EFFORTS BY OTHERS BASED UPON SURFACE EVIDENCE AND VARIOUS OTHER RESOURCES OF UTILITY RECORD INFORMATION OBTAINED FROM THE OWNER AT THE ONSET OF THE PROJECT. A LIST OF UTILITY OWNERS REGISTERED WITH NM811 HAS BEEN PROVIDED BELOW.
- THIS UTILITY SURVEY AND SUBSURFACE UTILITY ENGINEERING EFFORT IS NOT ALL-INCLUSIVE AND MAY NOT REPRESENT UTILITIES/INFRASTRUCTURE THAT HAVE BEEN ABANDONED-IN-PLACE, WERE INACCESSIBLE, OR OTHERWISE UNDETECTABLE DUE TO UNFORESEEN AND UNCONTROLLABLE SITE AND/OR UTILITY CONDITIONS. FURTHER, THIS UTILITY INVESTIGATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE PROPERTY OWNER, DEVELOPER, OR CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, NEW MEXICO EXCAVATION LAWS (NM811), MUNICIPAL AND LOCAL ORDINANCES, SITE SPECIFIC RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE UTILITY LINES AND FACILITIES.

DRAINAGE ANALYSIS TABLE 2

PIPE LINK I.D.	SIZE (IN.)	UPPER NODE I.D.	LOWER NODE I.D.	PREVIOUS FLOW	ADDED FLOW	TOTAL FLOW	% PIPE SLOPE	MAX PIPE CAP. (CFS)
P-1.0	12	CB-1.0	CB-1.1	5.41	0.49	5.90	1.43	6.6
P-2.0	12	CB-2.0	CB-1.0	4.16	0.00	4.16	2.08	8.0
P-2.1	12	INL-2.0	CB-1.0	0.00	1.25	1.25	1.04	5.7
P-3.0	12	CB-3.0	CB-2.0	3.88	0.28	4.16	1.04	5.7
P-3.1	12	INL-3.0	CB-3.0	2.61	1.27	3.88	1.04	5.7
P-4.0	12	INL-5.0	INL-4.0	0.13	1.19	1.32	1.04	5.7
P-4.1	12	INL-4.0	INL-4.1	1.32	0.60	1.92	1.04	5.7
P-4.2	12	INL-4.1	INL-3.0	1.92	0.69	2.61	1.04	5.7
P-5.0	12	CB-5.0	INL-5.0	0.13	0.00	0.13	1.04	5.7
P-7.0	12	INL-7.0	CB-7.0	0.97	2.96	3.93	0.70	4.6
P-7.1	8	CB-7.1	INL-7.0	0.00	0.97	0.97	2.14	2.8
P-8.0	15	CB-8.0	OUT-8.0	3.93	1.35	5.28	0.70	8.4
P-8.1	12	CB-7.0	CB-8.0	3.93	0.00	3.93	0.70	4.6
P-9.0	15	CB-9.0	OUT-9.0	6.50	0.71	7.21	0.70	8.4
P-9.1	12	CB-1.1	CB-9.1	5.90	0.60	6.50	1.43	6.6



DRAINAGE MAP
SCALE: 1"=60'



FEMA FIRM MAP
FIRM#35001C0137H

DRAINAGE ANALYSIS NOTES

THE COA PROCEDURE FOR 40 ACRES OR SMALLER (DPM CHAPTER 6) IS USED FOR ANALYSIS. THESE CALCULATIONS ANALYZE THE HYDROLOGY FOR THE PROPOSED DEVELOPED CONDITIONS UPON A 100 YEAR RAINFALL EVENT. RESULTS OF THE HYDROLOGY AND HYDRAULIC CALCULATIONS ARE PRESENTED BELOW.

HYDROLOGY ANALYSIS:
SITE IS DELINEATED INTO SUB-BASINS (SEE DRAINAGE MAP)
PRECIPITATION ZONE = 3
PRECIPITATION: 24HR = 2.84 IN, 6HR = 2.43 IN
LAND: PEAK DISCHARGE: EXCESS PRECIPITATION:
TREATMENT D = 4.49 CFS/AC = 2.58 IN
TREATMENT C = 3.17 CFS/AC = 1.09 IN
TREATMENT B = 2.49 CFS/AC = 0.86 IN
ANALYSIS RESULTS (SEE TABLE 1 FOR 100YR FLOW AND VOLUME)

HYDRAULIC ANALYSIS:
PIPES AND INLETS ARE AS SHOWN (SEE DRAINAGE MAP)
PIPE FLOW COEFFICIENT (MANNING'S "n") FOR HDPE PIPE IS n=0.09
STORMDRAINS MAX. CAPACITY (SEE TABLE 1 FOR INLETS, AND TABLE 2 FOR PIPES)
ROOF DRAINS: S=0.52 MIN., DIA.=8IN, MAX. CAPACITY=1.37 CFS

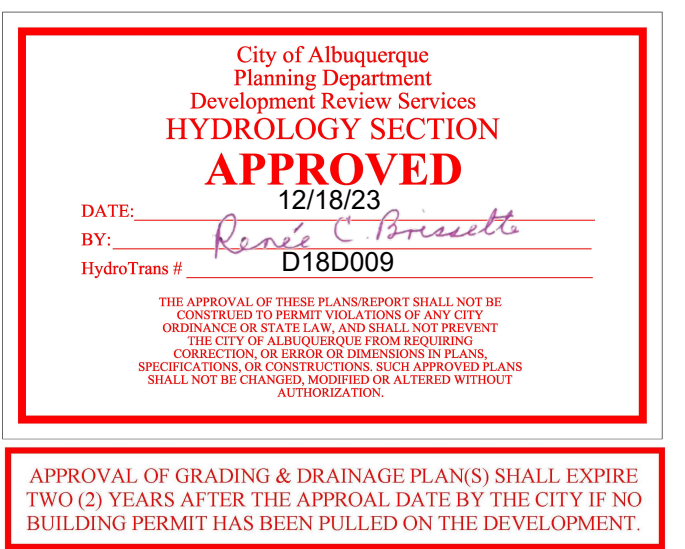
STORMWATER QUALITY VOLUME:
TOTAL ROOFTOP AREA = 76,731 SF.
SQWV = (0.26 IN/12 IN)(76,731 SF) = 1,662 CF

STORMWATER STORAGE VOLUME:
EXISTING RETENTION VOL. = (1/2)(125,600 SF + 27,046 SF)(0.6') = 45,793 CF

CONCLUSION
THE PROPOSED SITE WILL NOT INCREASE RUNOFF TO THE ROW. ADDITIONAL RUNOFF WILL BE RETAINED IN THE EXISTING RETENTION BASIN. THE STORMWATER QUALITY VOLUME (SQWV) WILL BE RETAINED IN EXISTING RETENTION BASIN. OVERFLOW FROM SITE WILL OCCUR AT THE POND AND IS DIRECTED TOWARDS THE ROW. ON-SITE STORM DRAINAGE DESIGN WILL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.

DRAINAGE ANALYSIS TABLE 1

SUB-BASIN I.D.	AREA (AC.)	LAND "a"	TREATMENT "b"	% "c"	100-YEAR Q (CFS)	100-YEAR VOL. (CF)	INLET I.D.	INLET TYPE	MAX INLET CAPACITY
SB-1	0.134	0.0	0.0	100	0.60	1,255	INL-1.0	FLAT GRATE	2.0
SB-2	0.298	13.4	2.8	83.8	1.25	2,492	INL-2.0	OPEN CURB	3.0
SB-3	0.283	0.0	0.0	100	1.27	2,650	INL-3.0	OPEN CURB	3.0
SB-4	0.266	0.0	0.0	100	1.20	2,491	INL-4.0	OPEN CURB	3.0
SB-5	0.279	8.0	7.3	85.7	1.19	2,387	INL-5.0	OPEN CURB	3.0
SB-6	1.300	0.0	0.0	100	0.58	1,218	NA		
SB-7	0.697	10.3	2.7	87	2.96	5,970	INL-7.0	DOME GRATE	4.0
SB-8	0.145	11.4	0.0	88.6	0.62	1,253	NA		
SB-9	1.547	54.1	0.0	45.9	5.27	9,172	NA		
SB-10	3.596	78.9	10.2	10.9	9.99	13,671	NA		
					TOTAL	42,559			



LEGEND

- 60.2 FC PROPOSED ELEVATION
- FC = TOP OF FINISHED CONCRETE
- FE = TOP OF FINAL FINISHED GRADE
- INV = PIPE INVERT
- UNDERGROUND GAS LINE
- SANITARY SEWER LINE
- POTABLE WATER LINE
- UNDERGROUND FIBER/COMM
- OVERHEAD UTILITY LINE
- PROPERTY LINE
- EASEMENT LINE
- DRAINAGE DIRECTION

UTILITY OWNER LIST

- ALBUQUERQUE/BERNALILLO COUNTY WUA 1-505-842-9287
 - ALBUQUERQUE PUBLIC SCHOOLS 1-505-848-8810
 - CENTURYLINK LOCAL NETWORK CENTRAL 1-800-283-4237
 - CITY OF ALBUQUERQUE (C.O.A.) 1-505-857-8044
 - C.O.A.-STORM DRAINS 1-505-857-8022
 - C.O.A.-STREET LIGHTING DEPT. 1-505-508-0744
 - COMCAST OF ALBUQUERQUE (NUMBER NOT AVAILABLE)
 - MCI CABLE SEC 1-800-624-9675
 - NEW MEXICO GAS COMPANY 1-505-934-5853
 - PNM ELECTRIC OF ALBUQUERQUE 1-505-241-0577
 - UNITE PRIVATE NETWORKS, LLC 1-816-368-9039
- UTILITY TELEPHONE NUMBERS OBTAINED THROUGH NM811 WEB PORTAL

CIVIL SHEET INDEX

- GENERAL NOTES C100
- CONCEPTUAL GRADING & DRAINAGE PLAN C101
- FIRE 1 PLAN C102
- TRAFFIC CIRCULATION LAYOUT C103
- SITE LAYOUT C104
- GRADING & DRAINAGE PLAN C105
- SITE UTILITY PLAN C106
- SITE DETAILS C107
- SITE DETAILS C108
- COORDINATE DATA C109
- TOPOGRAPHICAL SURVEY 1-6

ESTIMATED QUANTITIES

- A.C. PAVEMENT: 5,757 S.Y.
- CONCRETE WALKWAY: 1,669 S.Y.
- 6" CURB AND GUTTER: 1,959 L.F.
- 4" ROLL CURB: 100 L.F.
- 4" HEADER CURB: 67 L.F.
- EARTHWORK CUT: 1,950 C.Y.
- EARTHWORK FILL: 3,640 C.Y.
- FIRE HYDRANT: 4 EA.
- 6" WATER VALVE: 8 EA.
- 6" WATER LINE: 933 L.F.
- 3" WATERLINE: 328 L.F.
- 6" SEWER LINE: 833 L.F.
- 2.5" GAS LINE: 163 L.F.
- 2" DRAIN PIPE: 48 L.F.
- 8" STORMDRAIN PIPE: 420 L.F.
- 12" STORMDRAIN PIPE: 670 L.F.
- 15" STORMDRAIN PIPE: 258 L.F.
- 12" CATCH BASIN: 4 EA.
- 18" CATCH BASIN: 6 EA.
- 24" CURB INLET: 6 EA.
- 24" SIDEWALK CULVERT: 3 EA.

NOTES:
• SEE PLANS FOR OTHER QUANTITIES.
• CUT AND FILL QUANTITY DOES NOT INCLUDE SHRINK OR SWELL. COORDINATE WITH GEOTECH. REPORT AS APPLICABLE.



HOPE CHRISTIAN HIGH SCHOOL
6800 PALOMAS AVE. NE, ALBUQUERQUE, NM 87109

REVISION SCHEDULE

#	Date	Description

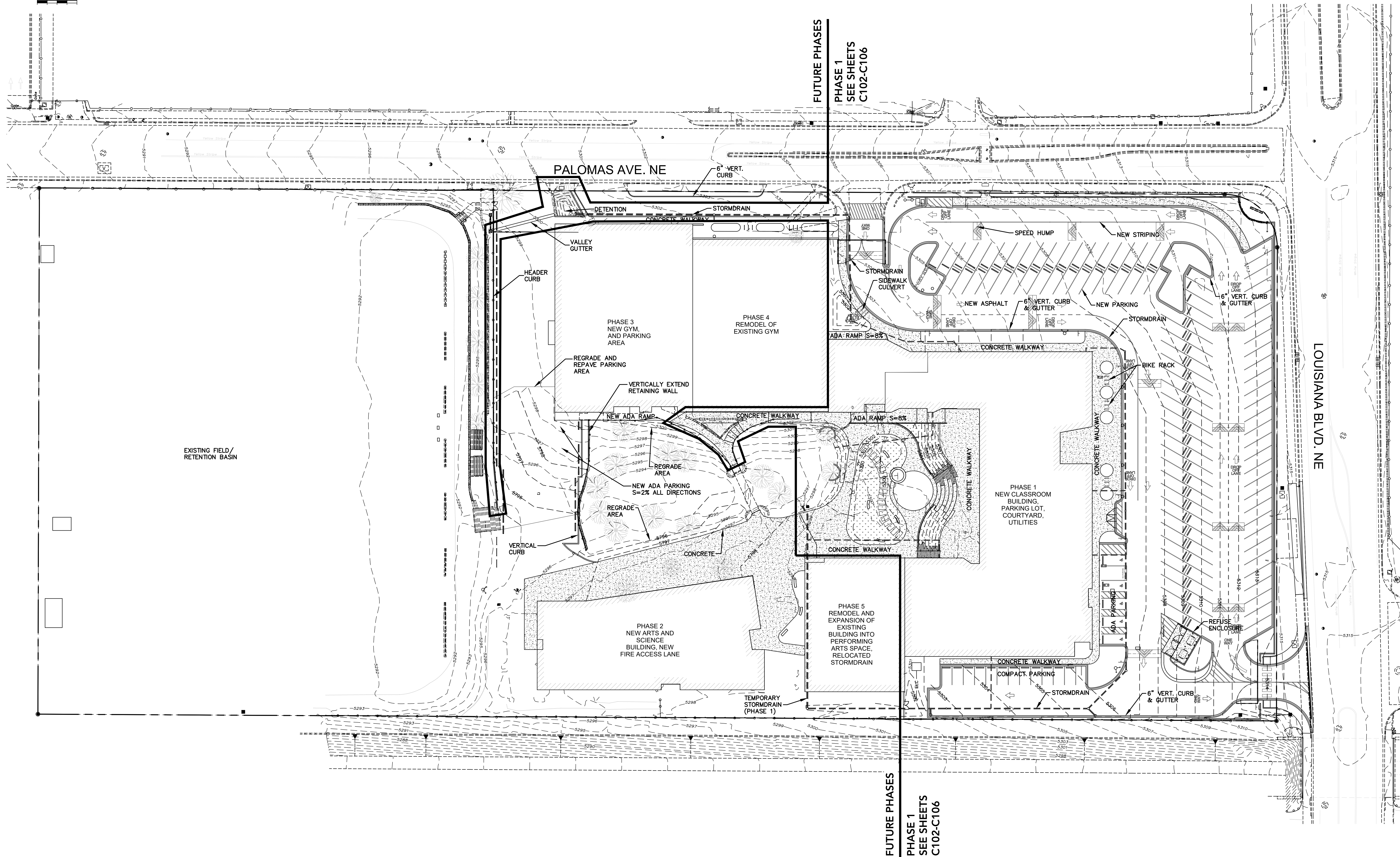
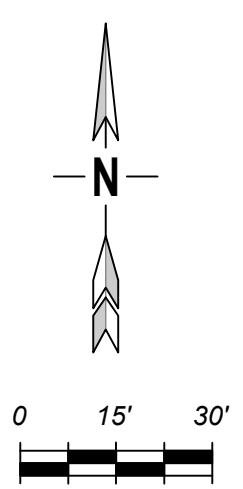
100% CD 11/10/23



GENERAL NOTES

C100

11/15/23



City of Albuquerque
 Planning Department
 Development Review Services
 HYDROLOGY SECTION
APPROVED
 DATE: 12/18/23
 BY: *Renee L. Bennett*
 HydroForm # D180009

THE CITY OF ALBUQUERQUE DOES NOT WARRANT THAT THIS PLAN OR ANY PART THEREOF IS CORRECT OR COMPLETE. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION AND DATA PROVIDED HEREON. THE CITY OF ALBUQUERQUE SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS PLAN.

APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN FILED ON THE DEVELOPMENT.

ROMA ARCHITECTURE
 912 Roma Avenue NW
 Albuquerque, NM 87102
 505.764.8306
 romaarc.com

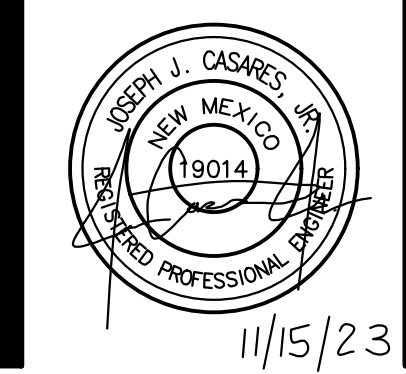


HOPE CHRISTIAN HIGH SCHOOL
 6800 PALOMAS AVE. NE, ALBUQUERQUE, NM 87109

REVISION SCHEDULE

#	Date	Description

100% CD 11/10/23



CONCEPTUAL
 GRADING AND
 DRAINAGE PLAN

C101



ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION

PERMIT

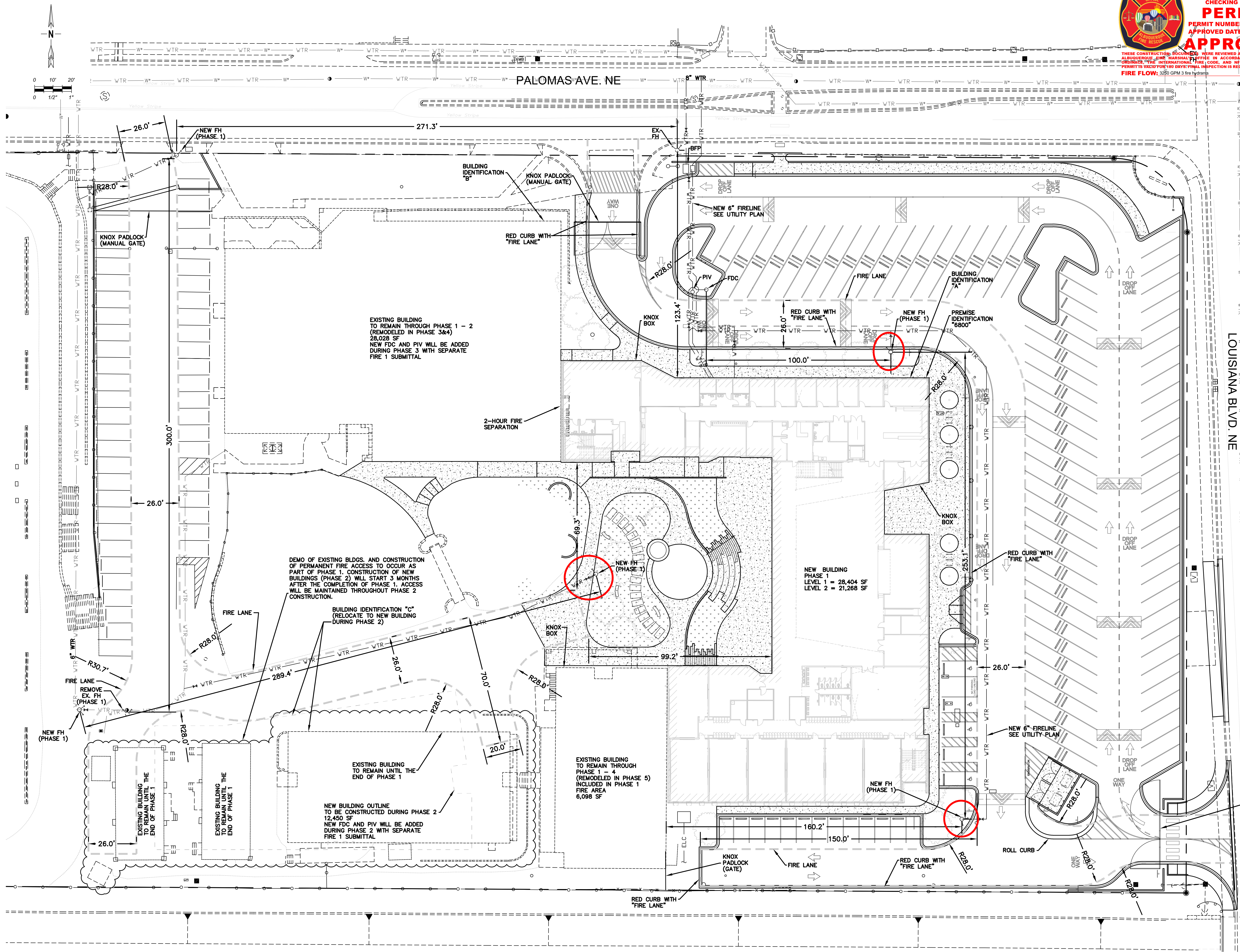
PERMIT NUMBER: EP-23-016530

APPROVED DATE: 11/15/23

APPROVED

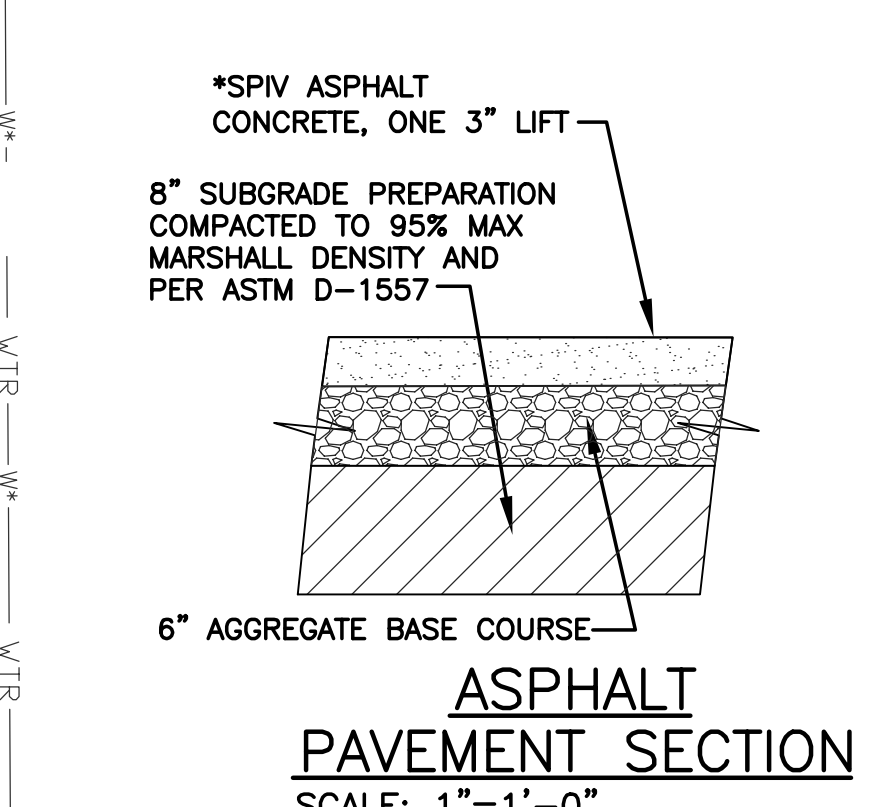
THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE
ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY
ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THE
PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.

FIRE FLOW: 3,250 GPM @ 3 Fire Hydrants



GENERAL CODE INFORMATION

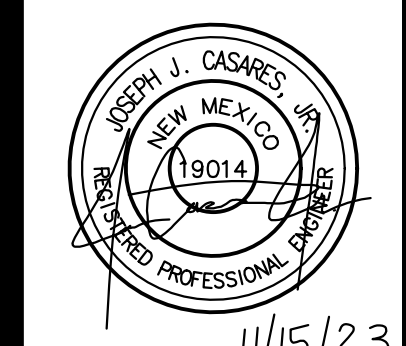
- CONSTRUCTION TYPE:
TYPE V-B
- BUILDING "A" AREA (PHASE 1 & 5):
55,770 S.F. TOTAL (SPRINKLERED)
- BUILDING "B" AREA (PHASE 3 & 4):
28,00 S.F. TOTAL (SPRINKLERED)
- BUILDING "C" AREA (PHASE 2):
12,450 S.F. TOTAL (SPRINKLERED)
- MAX. PROPOSED BUILDING HEIGHT:
29 F.T. (OK PER IBC TABLE 504.4)
- PROPOSED STORIES:
2 STORY (OK PER IBC TABLE 504.4)
- REQUIRED FIRE FLOW:
(PER 2018 IFC APPENDIX B, TABLE B105.1(2)):
BUILDING "A" = 3,250 GPM
BUILDING "B" = 2,250 GPM
BUILDING "C" = 1,500 GPM
- REQUIRED FIRE HYDRANTS:
300 FEET (PER 2018 IFC APPENDIX C, TABLE C102.1)
- AVERAGE HYDRANT SPACING:
300 FEET (PER 2018 IFC APPENDIX B, TABLE B102.1)

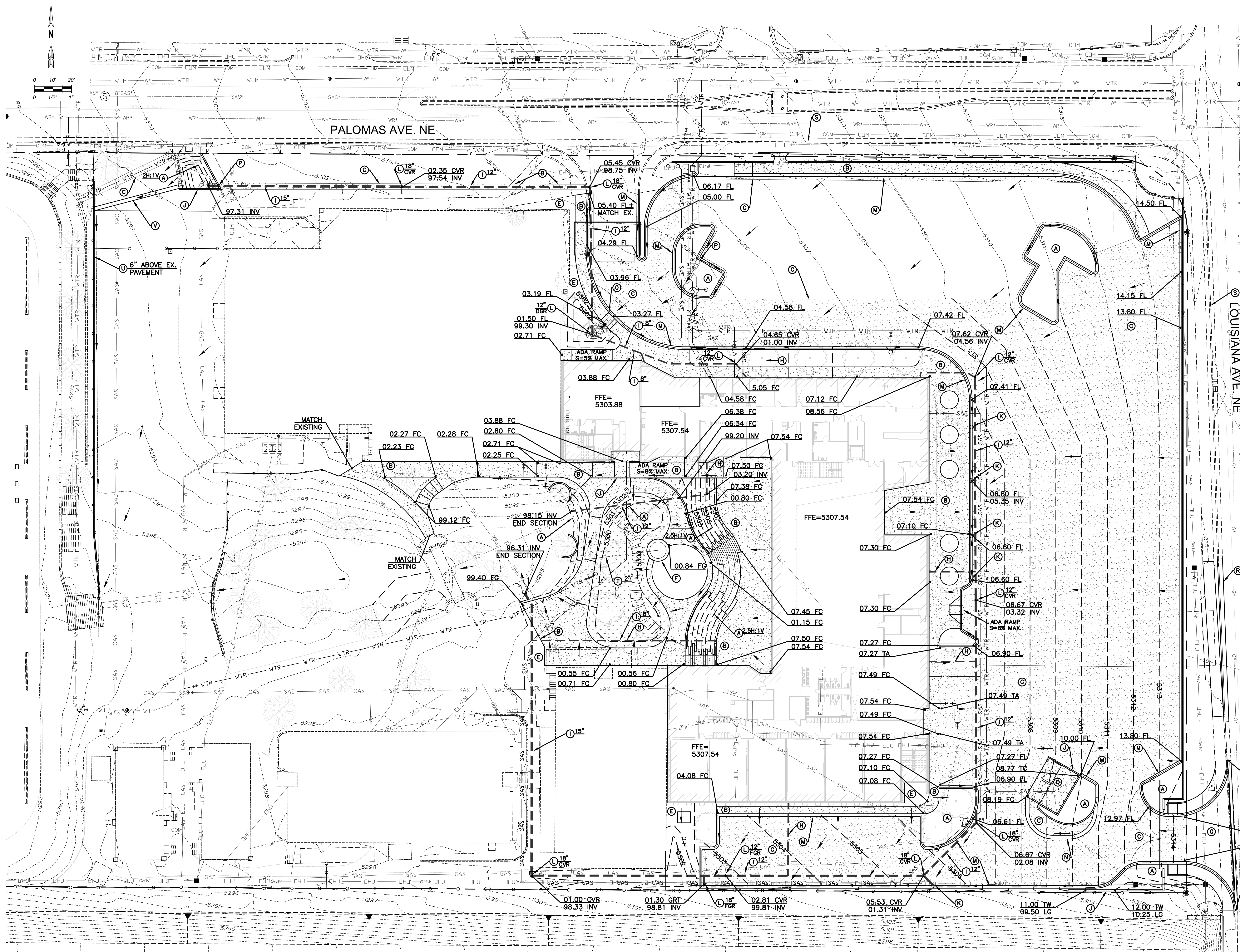


NOTE:
PAVEMENT SECTION CAPABLE
OF SUPPORTING 75,000 LBS.
AT ALL FIRE ACCESS LANES
SHOWN ON PLAN.

REVISION SCHEDULE

#	Date	Description





City of Albuquerque
 Planning Department
 Development Review Section
HYDROLOGY SECTION
APPROVED
 DATE: 12/18/23
 BY: [Signature]
 HYDROLOGIST # 0180009

APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN FILED ON THE DEVELOPMENT.

DRAINAGE KEYED NOTES

- A. GRADE AREA PER ELEVATION CALLOUTS SHOWN. 3:1 V MAX. SLOPE (UNLESS NOTED OTHERWISE). ELEVATIONS SHOWN ARE AT TOP OF FINISHED LANDSCAPE, CONCRETE (FC), AND GRAVEL (FG) SURFACES. (LANDSCAPE FINISHES, AND GRAVEL ARE BY ARCHITECT).
 - B. CONSTRUCT 5" THICK CONCRETE OVER 3" GRAVEL OVER 2" SUBGRADE COMPACTED TO 95% MAX. DRY DENSITY. PROVIDE 2% MAX. CROSS SLOPE AND 5% MAX. LONGITUDINAL SLOPE. FOR SIDEWALK SEE DETAIL 5, SHEET C107. (SCORE PATTERN, EXPANSION/CONTRACTION JOINTS, JOINT PLACEMENT, COLOR, AND TEXTURE ARE BY ARCHITECT).
 - C. CONSTRUCT ASPHALT CONCRETE PAVEMENT SECTION PER DETAIL 9, SHEET C107. MATCH EXISTING PAVEMENT WHERE APPLICABLE. COORDINATE WITH GEOTECH. REPORT.
 - D. CONSTRUCT 3" THICK STABILIZED CRUSHER FINES WALKWAY OVER 3" BASE COURSE, OVER COMPACTED SUBGRADE. COMPACT WITH HEAVY EQUIPMENT AND ADJUST FINAL GRADE WITH CRUSHER FINES AS NECESSARY TO PROVIDE ELEVATIONS SHOWN. PROVIDE LIME STABILIZATION. (COLOR BY ARCHITECT).
 - E. GRADE AREA TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES AT 2% MIN. FOR APPROXIMATELY 5 FEET.
 - F. CONSTRUCT FOUNTAIN AND OTHER SITE AMENITIES PER ARCHITECTURAL DETAILS.
 - G. CONSTRUCT DRIVEWAY PER COA DETAIL 2426. SEE S0-19 NOTES ON SHEET C100 FOR WORK IN ROW.
 - H. ROUTE ROOF DRAINS INTO ADJACENT STORMDRAIN PER DETAIL 11, SHEET C107.
 - I. INSTALL HDPE STORMDRAIN WITH 8" MIN. COVER. PROVIDE S=0.7% MIN. (SEE SHEET C100 FOR SLOPE). PROVIDE ADS CATCH BASINS NOTE "L" AND OUTLET PER DETAIL 4, SHEET C107.
 - J. CONSTRUCT RETAINING WALL PER STRUCTURAL DETAIL.
 - K. INSTALL ADS NYLOPLAST CURB OPENING INLET WITH DUCTILE IRON GRATE (SLOTTED).
 - L. INSTALL ADS NYLOPLAST CATCH BASIN WITH DUCTILE IRON COVER OR GRATE PER DETAIL 3, SHEET C107.
 - M. CONSTRUCT 6" VERTICAL CURB AND GUTTER PER DETAIL 7 SHEET C107.
 - N. CONSTRUCT 4" ROLL CURB PER DETAIL 8, SHEET C107.
 - O. CONSTRUCT SIDEWALK CULVERT PER DETAIL 6, SHEET C107.
 - P. CONSTRUCT 2.5' WIDE CURB CUT WITH TRANSITIONS PER DETAIL 10, SHEET C107.
 - Q. CONSTRUCT REFUSE AREA WITH 6" DRAIN PER ARCHITECTURAL DETAIL.
 - R. REMOVE EXISTING DRIVEPAD AND CONSTRUCT 8" STANDARD CURB AND GUTTER WITH SIDEWALK PER COA DETAILS 2415A AND 2430. MATCH EXISTING FLOW LINE AND SIDEWALK WIDTH.
 - S. WITHIN THE ROW REPLACE ALL BROKEN OR CRACKED; SIDEWALK, AND CURB & GUTTER (PER COA DETAIL 2415A).
 - T. INSTALL 2" PVC DRAIN LINE AT FOUNTAIN. COORDINATE WITH PLUMBING SHEETS FOR FOUNTAIN PIPING. DAYLIGHT DRAIN AT DETENTION BASIN AS SHOWN ON PLAN.
 - U. CONSTRUCT CONCRETE HEADER CURB PER DETAIL 14, SHEET C107.
 - V. CONSTRUCT CONCRETE VALLEY GUTTER PER DETAIL 15, SHEET C107.
- NOTE: SEE SITE LAYOUT SHEET C104 FOR ADDITIONAL ELEVATION AND COORDINATE INFORMATION

ROMA ARCHITECTURE
 912 Roma Avenue NW
 Albuquerque, NM 87102
 505.764.8306
 romaarc.com

JAI Group, LLC
 ENGINEERING - SURVEYING - MANAGEMENT - INSPECTION - 505.254.6918

HOPE CHRISTIAN HIGH SCHOOL
 6800 PALOMAS AVE. NE, ALBUQUERQUE, NM 87109

REVISION SCHEDULE

#	Date	Description

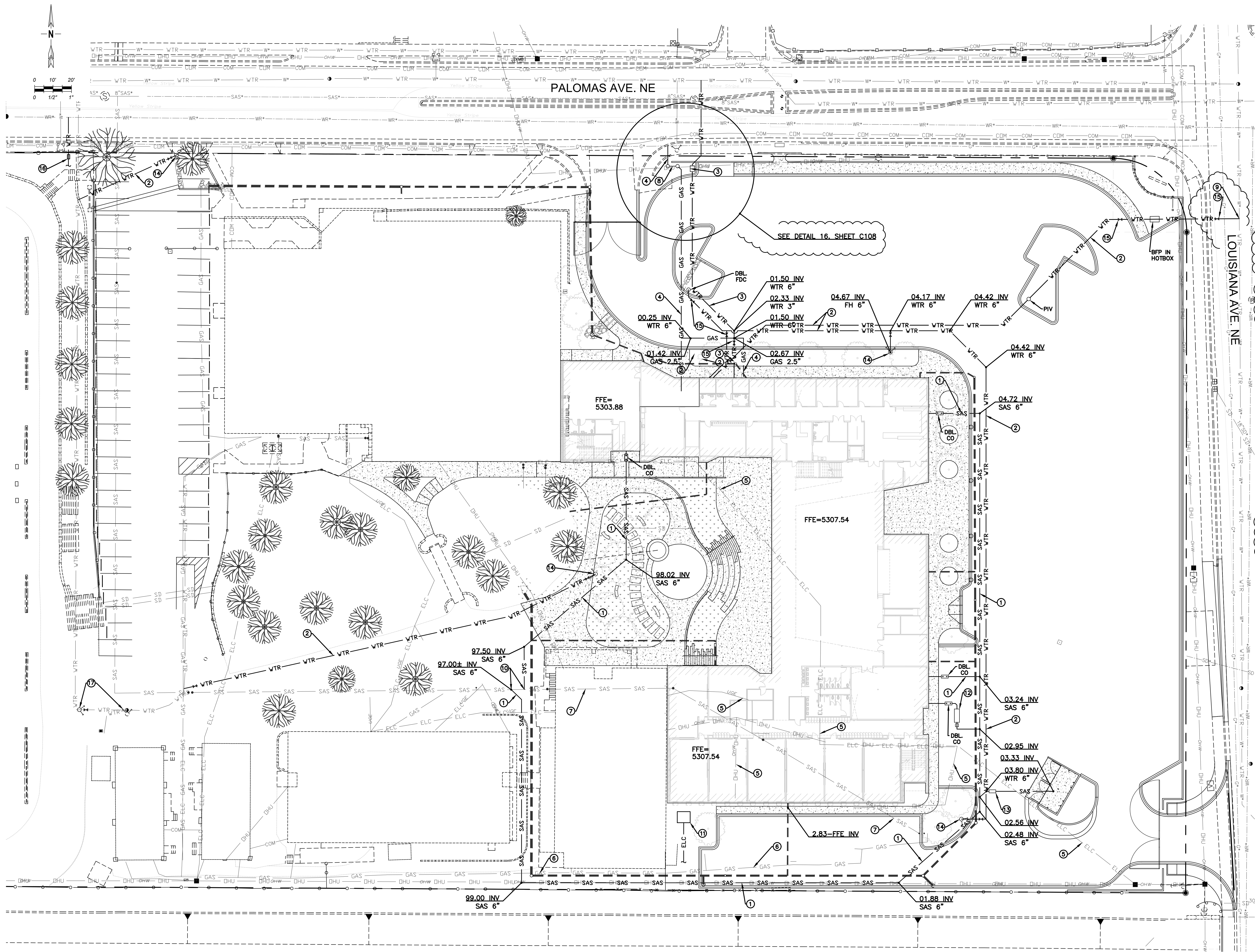
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GRADING AND DRAINAGE PLAN

C105

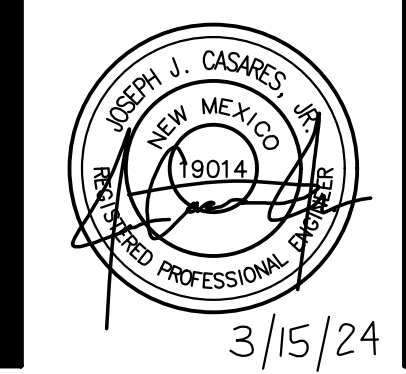
11/15/23



UTILITY KEYED NOTES

1. INSTALL NEW 6" SEWER SERVICE (SDR35) AT S=0104 FT/FT MINIMUM, PROVIDE CLEAN-OUTS AT BENDS AND AT EVERY 100 FEET PER DETAIL 12, SHEET C108. SEE PLUMBING PLAN FOR ADDITIONAL CLEANOUT DETAILS.
2. INSTALL 6" PVC C-900 SCHEDULE 40 WATERLINE UP TO BUILDING FIRE RISER ROOM, TO FHS AND TO DBL FDC. PROVIDE CONCRETE THRUST BLOCKS PER DETAIL 17, SHEET C108. TRENCH PER ABCWA SEC. 701. PLUMB WATERLINE TO FIRE RISER ROOM AS SHOWN ON PLUMBING SHEET. INSTALL HOT BOX AT LOCATION SHOWN ON PLAN. PROVIDE 3" MIN. BURY.
3. NEW 3" WATER SERVICE LINE PER NEW MEXICO UPC CHAPTER 12 AS MODIFIED BY NMAC 14.9.2. COORDINATE CONNECTION POINT AND SIZE WITH BUILDING PLUMBING PLAN. PROVIDE 2.5" MIN. BURY. TAP PER ABCWA SEC. 802. TRENCH PER SECT. 701. PROVIDE 2" WATER METER WITH BOX AND COVER PER ABCWA DTL. 2367.
4. NEW 3" GAS SUPPLY STEEL PIPE, GRADE B, SCHEDULE 40 PER ASME B36.10M AND ASTM A53. PROVIDE 1.5" MIN BURY, TRENCH AND INSTALL PER NEW MEXICO UPC CHAPTER 12 AND UMC CHAPTER 13 AS MODIFIED BY NMAC 14.9.2. PROVIDE NEW REGULATOR TO REDUCE 555 CFH FROM 5 PSI INLET PRESSURE TO 7" WC. COORDINATE WITH PLUMBING SHEET.
5. REMOVE EXISTING ELECTRICAL SERVICES FOR EXISTING BUILDINGS (TO BE DEMOLISHED) UP TO BREAKER. MAINTAIN OTHER ELECTRICAL CIRCUITS AS REQUIRED FOR BUILDING (TO REMAIN).
6. REMOVE EXISTING GAS SERVICE LINES FOR EXISTING BUILDINGS (TO BE DEMOLISHED) UP TO REGULATOR AND CAP. COORDINATE WITH PLUMBING PLAN.
7. REMOVE AND CAP EXISTING SEWER SERVICE TO FACILITATE NEW BUILDING.
8. INSTALL GAS REGULATOR. PROVIDE FITTINGS PER NEW MEXICO UPC CHAPTER 12 AND UMC CHAPTER 13 AS MODIFIED BY NMAC 14.9.2.
9. VERIFY EXISTING SIZE AND TAP PER ABCWA SECT. 801. PROVIDE TRENCHING, BEDDING, AND BACKFILL PER ABCWA SEC. 701. INSTALL DOUBLE CHECK VALVE BACKFLOW PREVENTION ASSEMBLY PER NM UPC SECTION 603.5 WITHIN HOTBOX WHERE SHOWN ON PLAN.
10. TAP EXISTING SEWER SERVICE PER INVERT ELEVATIONS SHOWN. FIELD VERIFY EXISTING INVERT AND COORDINATE SLOPE OF NEW LINE (SEE KEYED NOTE 1).
11. INSTALL TRANSFORMER, COORDINATE WITH PNM. SEE ELECTRICAL PLAN FOR CONTINUATION.
12. INSTALL GREASE INTERCEPTOR AND VENT PER PLUMBING PLAN.
13. INSTALL NEW 3" SEWER SERVICE (PVC SCH40) AT S=0104 FT/FT MINIMUM. PROVIDE 20GPM GREASE INTERCEPTOR (CANPLAS 3920A02 OR EQUAL). VENT AT BUILDING ROOF (COORDINATE WITH PLUMBING PLAN).
14. INSTALL FIRE HYDRANT ASSEMBLY (MUELLER OR EQUAL) PER ABCWA DTL. 2340.
15. INSTALL GATE VALVE RESTRAINED. PROVIDE VALVE BOX PER ABCWA DETAIL 2326.
16. INSTALL 1" LANDSCAPE WATER METER WITH BOX AND COVER PER ABCWA DTL. 2368. COORDINATE WITH LANDSCAPE PLAN FOR CONTINUATION.
17. REMOVE EXISTING FIRE HYDRANT AND RELOCATE ON-SITE OUTSIDE OF THE FIRE ACCESS LANE. SEE FIRE PLAN.

REVISION SCHEDULE		
#	Date	Description
1	01/15/24	REVISED NOTES #3, #4, #12, #13



HOPE CHRISTIAN HIGH SCHOOL
30' - 1"

HOPE
12' - 8"
55' - 3"

3' - 0"
6800
A
SIGN AREA: 7 SF

APPLICABLE SIGN RESTRICTIONS:

PER IDO 14-16-5-12(F)(2):

WALL SIGN:

NUMBER, MAXIMUM: N/A

AREA, MAXIMUM: SHALL NOT EXCEED 10% OF FACADE AREA

LOCATION: WHERE THERE IS NO SIDE SETBACK BETWEEN 2 ESTABLISHMENT FRONTAGES IN THE SAME OR ABUTTING BUILDINGS, NO WALL SIGN MAY EXTEND CLOSER THAN 2 FEET TO THE SHARED EDGE OF THE FRONTAGE.

CANOPY SIGN:

NUMBER, MAXIMUM: 1 / ESTABLISHMENT FRONTAGE

WIDTH, MAXIMUM: 50% OF BUILDING FRONTAGE WIDTH

HEIGHT OF MESSAGE SURFACE, MAXIMUM: LETTERS AND IMAGES MUST BE LOCATED ON VERTICAL SURFACES, WHICH MAY NOT EXCEED 18 IN. HEIGHT.

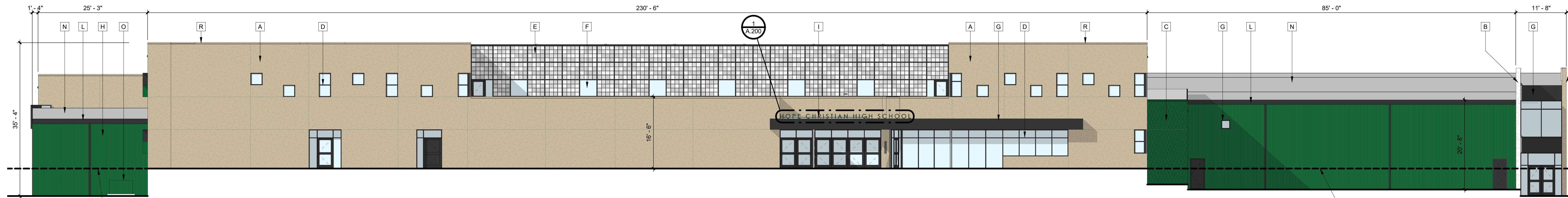
LEGEND:

- A STUCCO, COLOR TO MATCH EL REY "COTTONWOOD"
- B STUCCO, COLOR WHITE
- C STUCCO, COLOR TO MATCH DUNN EDWARDS "LATER GATOR" DE 5678
- D ALUMINUM STOREFRONT FRAMING, DARK BRONZE
- E TRANSLUCENT FIBERGLASS FACADE, 3 TONES OF GRAY
- F CLEAR INSULATED GLAZING
- G METAL FASCIA, DARK BRONZE
- H EXISTING METAL SIDING TO BE PAINTED GREEN
- I ENTRY SIGN, CAST ALUMINUM LETTERS, GREEN
- J ADDRESS SIGN, CAST ALUMINUM LETTERS, GREEN
- K PAINTED WALL GRAPHIC, GREEN
- L GUTTER AND DOWNSPOUTS, DARK BRONZE
- M PROJECTING ALUMINUM SHADE FINS, DARK BRONZE / GREEN
- N EXISTING METAL ROOF TO REMAIN
- O GROUND MOUNTED ELECTRICAL TRANSFORMER
- P METAL FASCIA, GREEN
- Q STEEL SHADE CANOPY, PAINTED DARK BRONZE
- R ROOF MOUNTED MECHANICAL EQUIPMENT SCREENED BY PARAPET.

1 ENTRY SIGN (CANOPY MOUNTED)
1/4" = 1'-0"
SIGN AREA: 31 SF

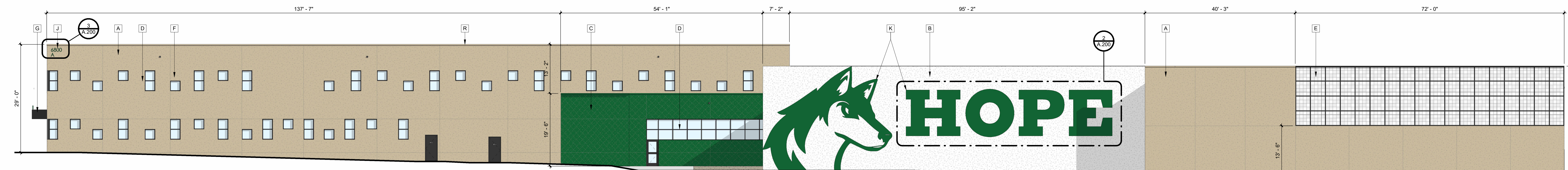
2 PAINTED WALL GRAPHIC
3/16" = 1'-0"
SIGN AREA: 700 SF

3 ADDRESS SIGN (WALL MOUNTED)
1/4" = 1'-0"
SIGN AREA: 7 SF

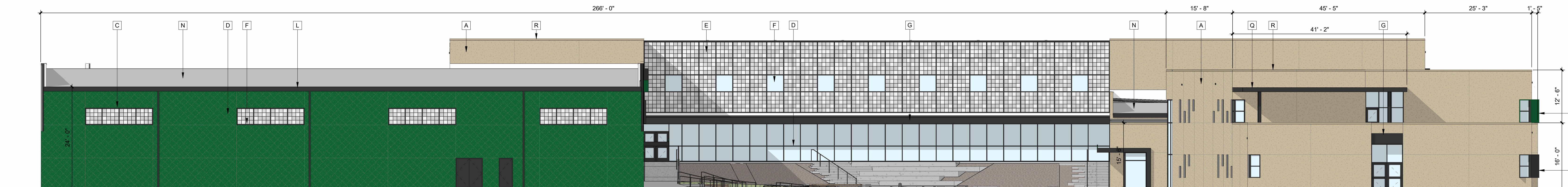


EAST ELEVATION
3/32" = 1'-0"
LINE OF ACTUAL GRADE AT CUT PLANE OF ELEVATION - FACADES BEYOND SHOWN FOR CLARITY - SEE GRADING PLAN

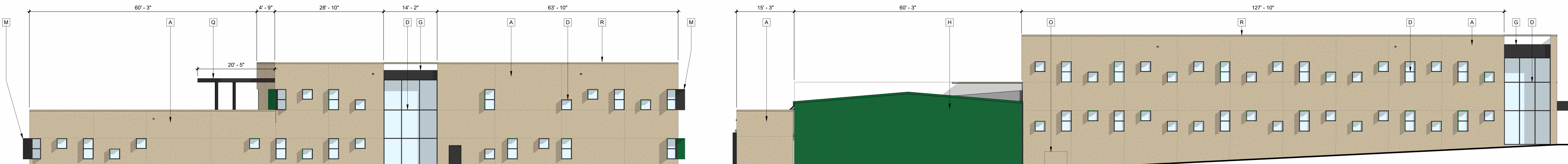
LINE OF ACTUAL GRADE AT CUT PLANE OF ELEVATION - FACADES BEYOND SHOWN FOR CLARITY - SEE GRADING PLAN



NORTH ELEVATION
3/32" = 1'-0"



WEST ELEVATION
3/32" = 1'-0"



SOUTH ELEVATION
3/32" = 1'-0"

REVISION SCHEDULE

#	Date	Description

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: _____
Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DHO Project No.: _____
DHO Application No.: _____

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT HEARING OFFICER (DHO) REQUIRED INFRASTRUCTURE LIST**

Hope Christian High School Improvements

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Hope Christian School, Block 12, Tract A, Unit A, North Albuquerque Acres

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>	4" wide	Roadway Striping	Louisiana Blvd.	sta. 13+60	sta. 14+40	/	/	/
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Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
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The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private		City Cnst Engineer	
							Inspector	P.E.		
<input type="text"/>	<input type="text"/>	_____	_____	_____	_____	_____	/	/	/	
<input type="text"/>	<input type="text"/>	_____	_____	_____	_____	_____	/	/	/	
							Approval of Creditable Items:	Approval of Creditable Items:		
							Impact Fee Administrator Signature Date	City User Dept. Signature Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

1 _____


2 _____

3 _____

AGENT / OWNER	DEVELOPMENT FACILITATION TEAM APPROVALS	
---------------	---	--

ELLIOT HIELD

 NAME (print)
 ROMA ARCHITECTURE (AGENT)

 FIRM


 SIGNATURE - date

 PLANNING - date

 TRANSPORTATION DEVELOPMENT - date

 UTILITY DEVELOPMENT - date

 CITY ENGINEER - date

 PARKS & RECREATION - date

 AMAFCA - date

 CODE ENFORCEMENT - date

 HYDROLOGY - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER

**PRELIMINARY WORK
ORDER DRAWINGS
FOR WORK
IDENTIFIED IN
INFRASTRUCTURE
LIST ABOVE**

**CONSTRUCTION PLANS
FOR A PORTION OF
LOUISIANA BLVD.
ALBUQUERQUE, NEW MEXICO**



INDEX

SHEET 1.....COVER SHEET, NOTES
 SHEET 2.....ROW IMPROVEMENTS PLAN
 SHEET 3.....TOPOGRAPHIC SURVEY
 SHEET 4.....RECORDED PLAT

CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS.
2. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
3. DISPOSAL SITE FOR ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE CONSTRUCTION ENGINEER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERE TO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
4. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION ENGINEER.
5. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES

- RESULTING FROM THE CONSTRUCTION PROCESS IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY COSTS INCURRED FOR REPAIRS SHALL BE THE COST OF THE CONTRACTOR.
6. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
 7. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E. BARRICADING, SURFACE DISTURBANCE)
 8. ALL PERMANENT PAVEMENT MARKING AND TRAFFIC SIGNING SHALL BE FURNISHED BY THE CONTRACTOR PER PLAN.
 9. THE CONTRACTOR SHALL FOLLOW THE CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN PROVIDED HEREIN. THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
 10. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), U.S. DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
 11. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.

12. ALL SAWCUT PAVEMENT SHALL HAVE A UNIFORM EDGE AND BE SPRAYED WITH TACK.
13. WHEN ABUTTING NEW CURB AND GUTTER TO EXISTING PAVEMENT, A 1' WIDE SECTION OF EXISTING PAVEMENT ADJACENT TO THE CURB AND GUTTER SHALL BE SAWCUT, REMOVED, AND REPLACED AS PER THE STANDARD SPECIFICATIONS.
14. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENTS, PAVEMENT MARKINGS, CURB & GUTTER, DRIVE PADS, WHEELCHAIR RAMPS, AND SIDEWALK DURING CONSTRUCTION, APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS AND SHALL REPAIR OR REPLACE PER COA STANDARDS, AT HIS OWN EXPENSE.
15. RCP SHALL BE INSTALLED SO THAT THE JOINT GAP AT THE HOME POSITION SHALL CONFORM TO THE APPROVED MANUFACTURER'S RECOMMENDATIONS. MANUFACTURER'S RECOMMENDED JOINT GAP TOLERANCES FOR EACH PIPE SIZE AND TYPE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF PIPE. RCP JOINTS SHALL NOT BE GROUTED UNLESS DIRECTED BY THE ENGINEER AFTER CITY APPROVAL.
16. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.652.
17. CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL CONSTRUCTION SIGNAGE UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE CITY OF ALBUQUERQUE.
18. ALL SWPPP EROSION CONTROL MEASURES MUST BE REMOVED FROM THE RIGHT OF WAY PRIOR TO FINAL ACCEPTANCE.

VICINITY_MAP

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2020 EDITION.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. SEVEN (7) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT, TO THE CONSTRUCTION COORDINATION DIVISION, A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONST. COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY CONSTRUCTION COORDINATION ENGINEER (768-2551) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
6. ALL WORK AFFECTING ARTERIAL ROADWAYS REQUIRES TWENTY-FOUR HOUR CONSTRUCTION.
7. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED W/ PLASTIC REFLECTORIZED PAVEMENT MARKING BY CONTRACTOR TO THE SAME LOCATION AS EXISTING, OR AS INDICATED BY THIS PLAN SET.
8. CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) DAYS PRIOR TO STARTING WORK IN ORDER THAT THE CITY SURVEYOR MAY TAKE NECESSARY MEASURES TO ENSURE THE PRESERVATION OF SURVEY MONUMENTS. CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE CITY SURVEYOR AND SHALL NOTIFY THE CITY SURVEYOR AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MONUMENT IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
9. CONTRACTOR SHALL RECORD DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE CITY OF ALBUQUERQUE FOR THE PREPARATION OF "AS CONSTRUCTED" DRAWINGS. CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
10. CONTRACTOR SHALL MAINTAIN A GRAFFITI-FREE WORK SITE. CONTRACTOR SHALL PROMPTLY REMOVE ANY GRAFFITI FROM ALL EQUIPMENT, WHETHER PERMANENT OR TEMPORARY.
11. CONTRACTOR SHALL COORDINATE WITH THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY (857-8200) SEVEN (7) WORKING DAYS IN ADVANCE OF ANY WORK THAT MAY AFFECT EXISTING PUBLIC WATER OR SEWER UTILITIES. EXISTING VALVES TO BE OPERATED BY ABOVIA PERSONNEL ONLY. CONTRACTOR SHALL CONTACT THE WATER SYSTEMS DIVISION SEVEN (7) WORKING DAYS PRIOR TO NEEDING VALVES TURNED ON OR OFF.

THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- BACKFILL COMPACTION SHALL BE ACCORDING TO SPECIFIED STREET USE.
- TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.
- SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- IF CURB IS DEPRESSED FOR A DRIVEPAD, THE DRIVEPAD SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF CURB AND GUTTER.
- ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.
- THE REQUESTOR OR DEVELOPER SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ALL CURB AND GUTTER OR SIDEWALK DAMAGED AFTER APPROVAL BY THE CITY ENGINEER OF WORK COMPLETED BY THE CONTRACTOR.

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEERS STAMP & SIGNATURE		APPROVALS		ENGINEER	DATE	*****	
		DRC Chairman				APPROVED FOR CONSTRUCTION	
		Transportation					
		Water/Wastewater					
		Hydrology					
		Parks					
DRB CASE NUMBER		Const. Mngmt.		CITY ENGINEER		DATE	
		Const. Coord.					
		NMUI					
XXXXXX		CITY PROJECT NO.		XXXXXX		SHEET 1 OF 4	



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PRELIMINARY WORK ORDER DRAWINGS FOR WORK IDENTIFIED IN INFRASTRUCTURE LIST ABOVE

LEGEND

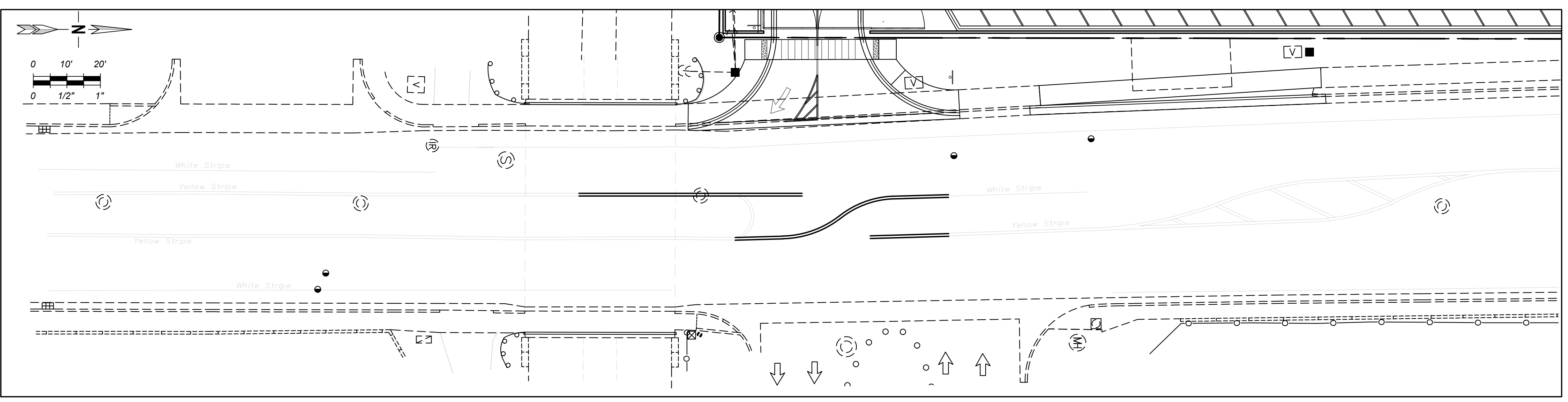
- 48.65 FL PROPOSED ELEVATION
- TBM = TEMPORARY BENCH MARK
- TBC = TOP BACK OF CURB
- SWK = TOP BACK OF SIDEWALK
- TA = TOP OF ASPHALT
- PROPERTY CORNER (AS NOTED)
- UTILITY PEDESTAL
- POWER POLE
- POWER POLE ANCHOR
- OVERHEAD UTILITY LINE
- WATER METER
- WATER VALVE
- SANITARY SEWER MANHOLE
- STREET LIGHT
- STREET SIGN
- METAL FENCE
- CHAINLINK FENCE
- WOOD FENCE

KEYED CONSTRUCTION NOTES

1. CONSTRUCT NEW 5' SIDEWALK PER COA DETAIL 2430. PROVIDE 2% MAX. CROSS SLOPE. PROVIDE LANDSCAPE BUFFER SWALE BETWEEN TBC AND SIDEWALK PER COA DETAIL 2414.
2. CONSTRUCT 6" CURB AND GUTTER PER COA DETAIL 2415A AND DETAILS SHOWN ON THIS SHEET.
3. CONSTRUCT ROLL CURB PER COA DETAIL 2415B.
4. PROVIDE STRIPES AS SHOWN.

COORDINATE TABLE

POINT	NORTHING	EASTING	ELEVATION	DESC.
100	1481044.73	1562306.92	5553.90	TBM
101	1481042.36	1562507.05	5557.94	TBM
102	1481050.79	1562307.33	5554.78	SWK
103	1481057.57	1562334.26	5555.13	TBC
104	1481055.18	1562507.10	5557.85	TBC
105	1481068.21	1562325.40	5554.28	FL
106	1481077.28	1562315.96	5554.09	FL
107	1481085.29	1562307.62	5554.02	FL
108	1481080.17	1562307.04	5554.42	TBC
109	1481074.15	1562312.12	5554.56	TBC
110	1481063.99	1562320.70	5554.75	TBC
111	1481056.66	1562394.09	5556.13	TBC
112	1481055.88	1562450.60	5556.99	TBC
113	1481074.73	1562307.06	0000.00	CL



LOUISIANA

CONTRACTOR	DATE	AS-BUILT INFORMATION	NO.	DATE	MICRO-FILM INFORMATION	NO.	DATE
NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
ENGINEERING DESIGN REVIEW / CONSTRUCTION

LOUISIANA BLVD. & PALOMAS AVE.
ROW IMPROVEMENTS FOR HOPE CHRISTIAN HS

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. XXXXXX Zone Map No. L-22 Sheet 2 of 4

SUBMITTAL DATE: 11/16/2022
LINN AVE. NE ROW IMPROVEMENTS PROJECT# 007322
RECORD DRAWINGS DATE:

City of Albuquerque – Planning Department
 600 2nd Street NW, Suite 300
 Albuquerque, NM 87102

December 6, 2023

Re: Sensitive Lands Analysis for Hope Christian School Site Renovations

Dear City of Albuquerque Planning Department,

This letter and the attached graphic are to be considered with the DRB application for site design for the Hope Christian School Renovations. The sensitive lands features that were identified on the site from the list below are illustrated on the attached graphics.

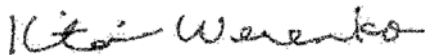
Features	Present	Notes
Riparian Areas		None
Floodplains and flood hazard areas	X	Zone X; Special Flood Hazard Zone: F
Steep Slopes	X	There are several steep slopes formed as a result of previous site grading to create flat building pads. This previous site grading also included the creation of steep slopes to create a detention pond. These slopes are protected by turf grass and asphalt. Only the asphalt slope will be modified in the site renovations. The slope will remain as is, but the surface will become stabilized crusher fines.
Unstable Soils		None
Wetlands		None
Arroyos		Adjacent to AMAFCA flood channel.
Irrigation Facilities (acequias)		None
Escarpment		None
Rock Outcroppings		None
Wetland Areas		None
Large Stands of Mature Trees	X	See attached graphic. Trees are either invasive volunteers or planted natives and adapted species.
Archaeological Site		See attached Certificate of No Effect

The Siberian elms on the west side of the site are mostly on the adjacent property and will remain, but are not considered sensitive as they are an invasive species.

The large stands of Rio Grande cottonwood trees, though native to the area, are not original to this site. The sycamore tree and ash trees are not native, but were planted in the original site development. All of these trees are healthy and will remain. They will be protected during construction. The following notes will be included on future construction documents to ensure their protection:

1. Contractor shall establish a root protection zone around each existing tree to remain. The root protection zone shall be an area defined by a radius extending outward from the trunk of the tree a distance of one linear foot for each inch diameter of the tree. The tree diameter shall be measured at breast height (4.5 feet above finish grade). Example: a 10 inch diameter tree will have a 10 foot radius root protection zone.
2. Contractor shall not store or drive equipment, vehicles or materials within the root protection zone.
3. Contractor shall protect existing roots from damage when working within the root protection zone. The contractor shall limit demolition or other construction activities within the root protection zone to the minimum disturbance required to complete construction.
4. Contractor shall not allow concrete trucks to clean chutes or dump excess concrete or any other cementitious products in any portion of the site. Contractor shall clean the waste of other cementitious materials from the surface and they shall not be turned under during final grading.
5. Contractor shall not trench within the dripline of existing trees. At locations where it is necessary to install lines or wire within the dripline of existing trees, the utility shall be installed by hand trenching or boring under tree roots.

Sincerely,



Kristina Werenko, ASLA, PLA
kwerenko@plandcollab.com



City of Albuquerque
 P.O. Box 1293 Albuquerque, NM 87103
Planning Department
 Alan Varela, Interim Director

Tim Keller, Mayor
Sarita Nair, CAO

DATE: November 22, 2023

SUBJECT: Albuquerque Archaeological Ordinance - Compliance Documentation

Case Number(s): PR-2019-002134
Agent: ROMA Architecture (Elliot Hield, Project Manager)
Applicant: Hope Christian Schools Inc.
Legal Description: Hope Christian School, Block 12, Tract A, Unit A, North Albuquerque Acres
Zoning: MX-L
Acreage: 8.55
Zone Atlas Page(s): D-18-Z

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

SUPPORTING DOCUMENTATION:

Historic Google Earth Images, Historic City of Albuquerque Aerial Photographs, NMCRIS Records

SITE VISIT: N/A

RECOMMENDATIONS:

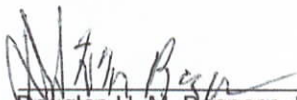
The property was bladed clear prior to 1996 and the east edge was surveyed under NMCRIS 57577 with no significant finds.

Therefore: CERTIFICATE OF NO EFFECT ISSUED-under 6-5(A) (3)(a) criterion 2 "The property has been disturbed through previous land use"

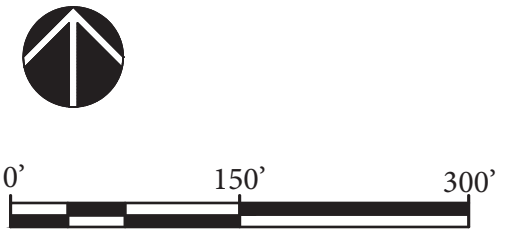
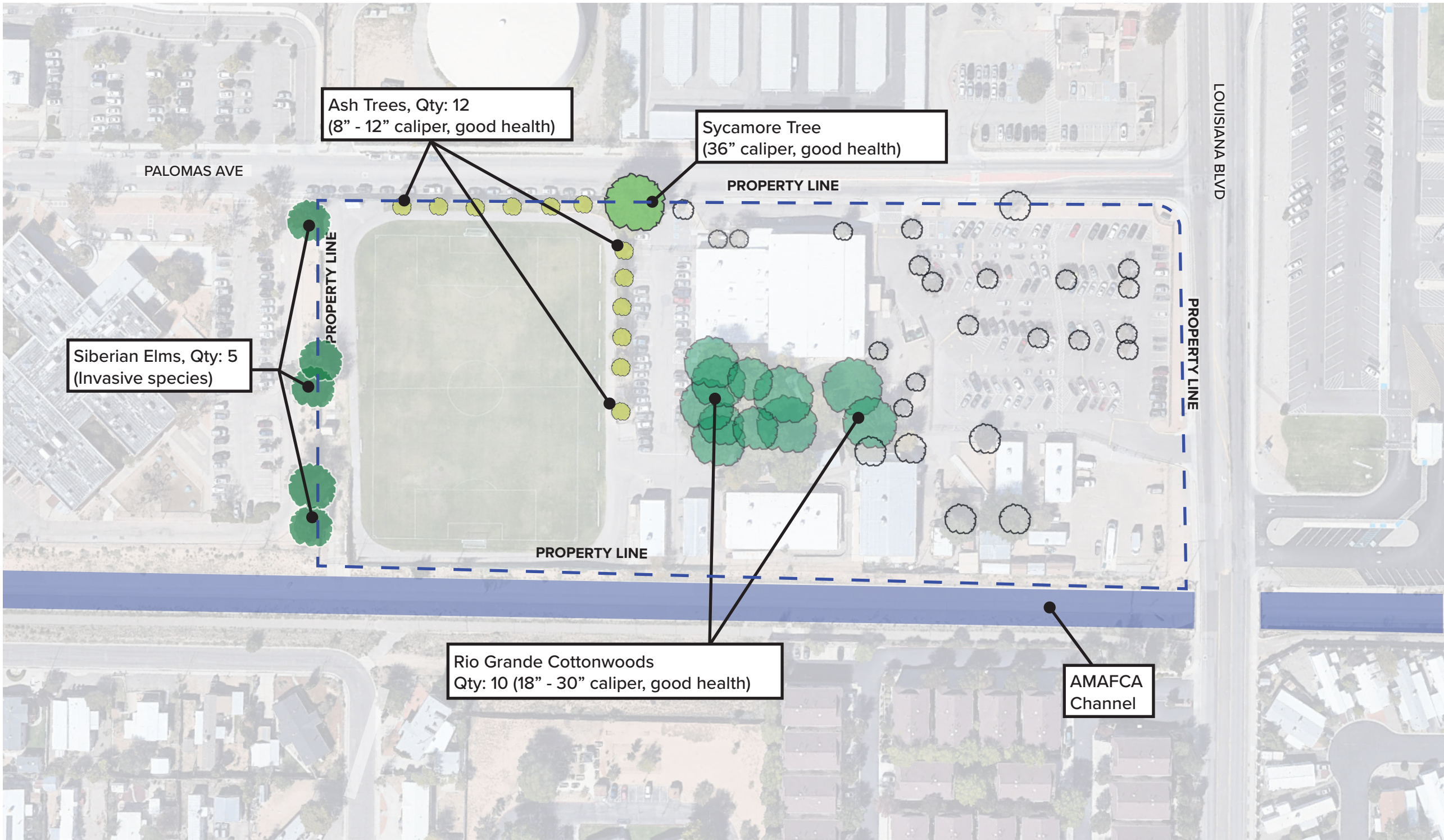
SUBMITTED BY:

SUBMITTED TO:

Planning, Development Services

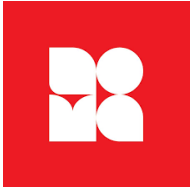
 11-22-2023
 Douglas H. M. Boggess, MA, RPA Date
 Senior Principal Investigator
 Acting City Archaeologist
 Lone Mountain Archaeological Services, Inc.

LARGE STANDS OF MATURE TREES ASSESSMENT



SENSITIVE LANDS ANALYSIS

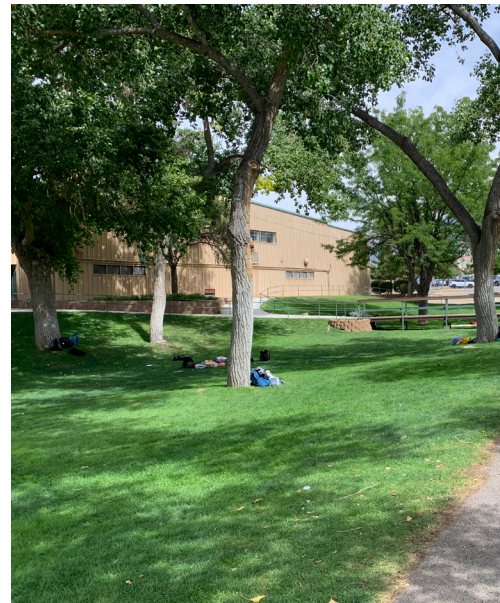
Hope Christian High School



LARGE STANDS OF MATURE TREES ASSESSMENT



Rio Grande Cottonwoods
(*Populus deltoides wislizenii*)



Siberian Elms
(*Ulmus pumila*)

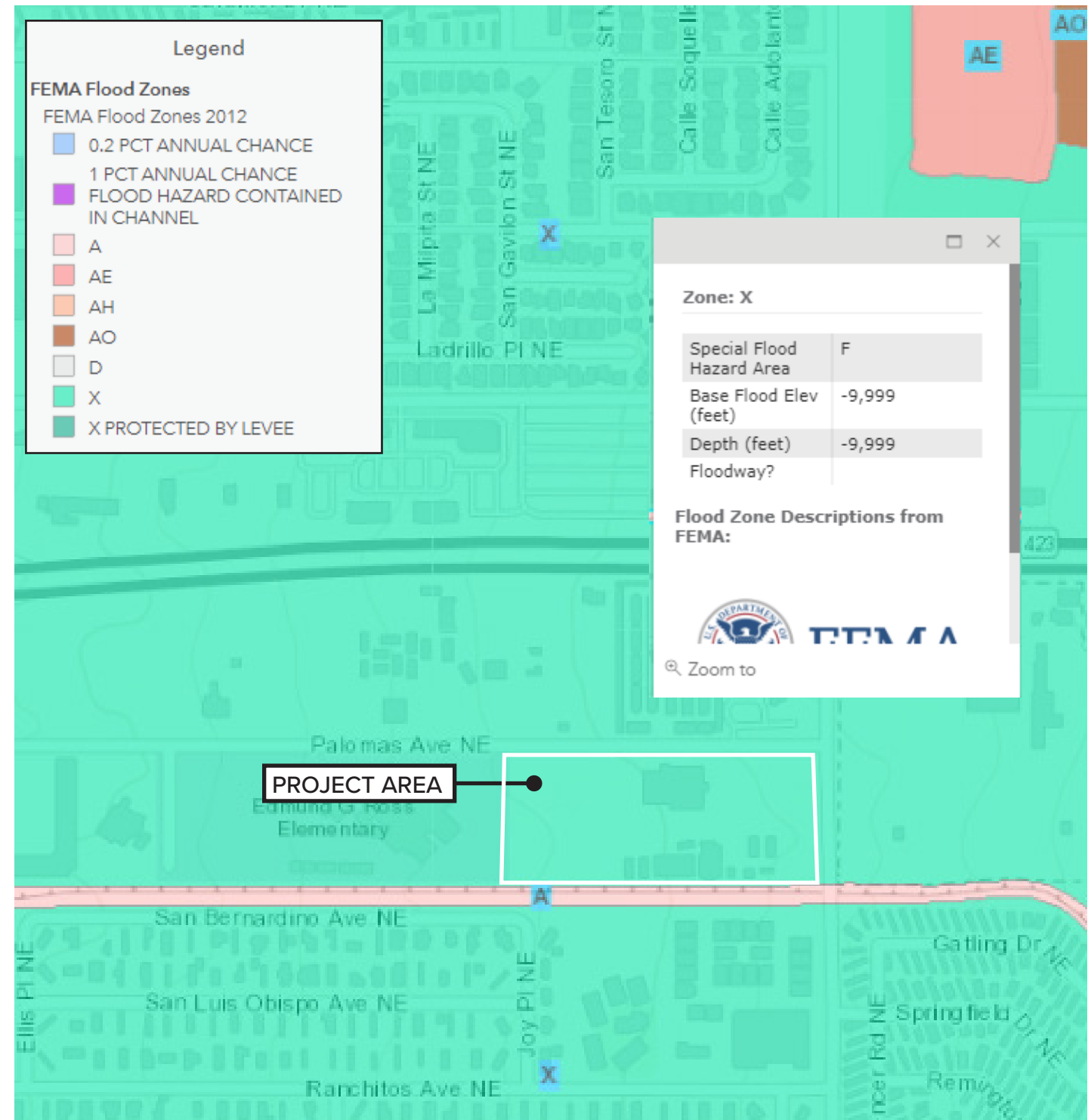


Ash Varieties
(*Fraxinus varieties*)



Sycamore
(*Platanus wrightii*)

FLOOD ZONE

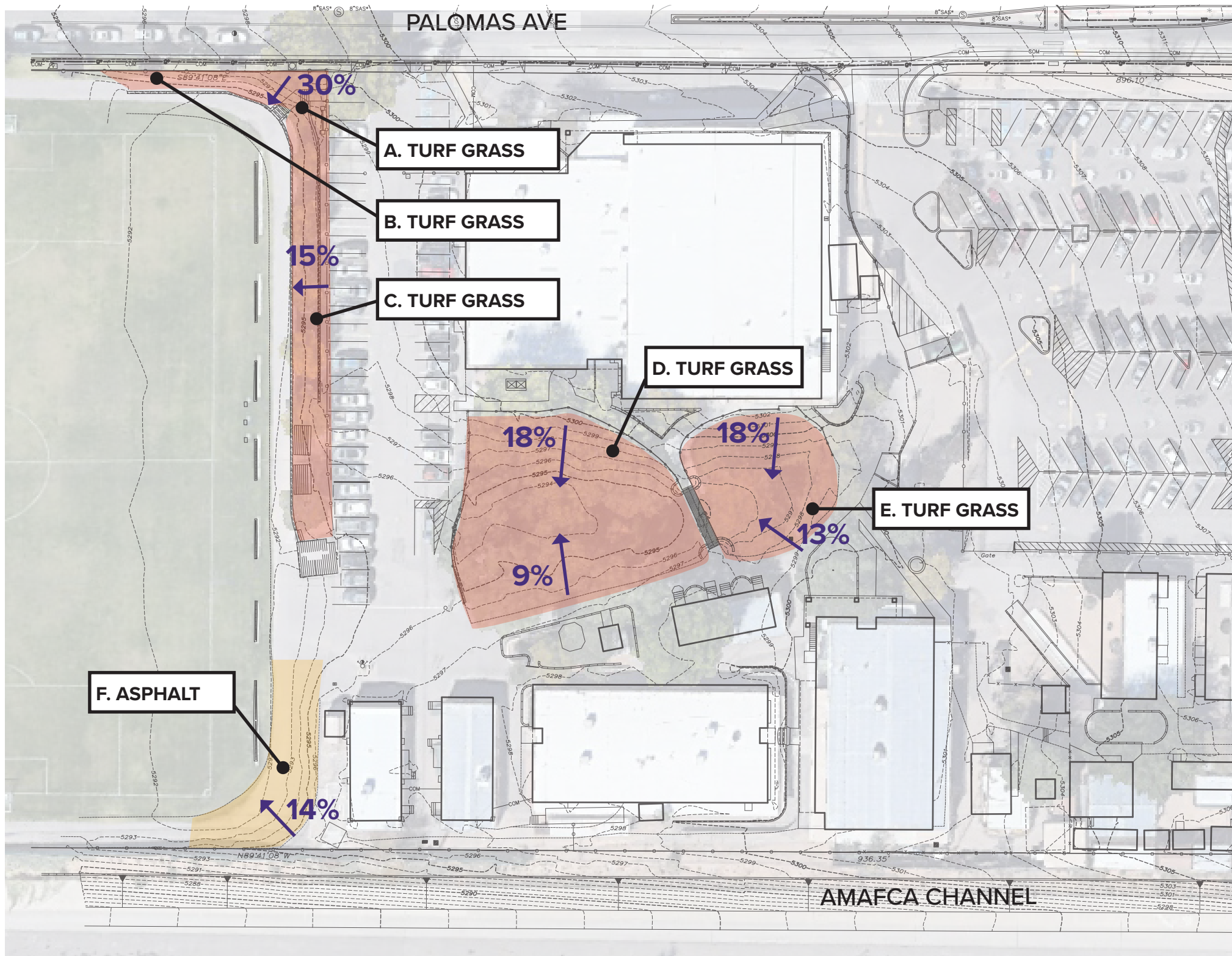


SENSITIVE LANDS ANALYSIS

Hope Christian High School

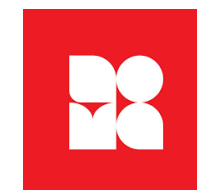
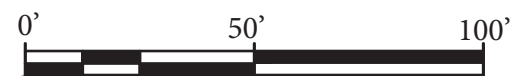


STEEP SLOPE ASSESSMENT



SENSITIVE LANDS ANALYSIS

Hope Christian High School



SUPPORTIVE DOCUMENTATION

SITE PLAN CHECKLIST

Project #: _____ Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

Elliot Hield

05/10/2024

Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

- ✓ 1. Date of drawing and/or last revision
- ✓ 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- ✓3. Bar scale
- ✓4. North arrow
- ✓5. Legend
- ✓6. Scaled vicinity map
- ✓7. Property lines (clearly identify)
- ✓8. Existing and proposed easements (identify each)
- ✓9. Phases of development, if applicable

B. Proposed Development

1. Structural

- ✓A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- ✓B. Square footage of each structure
- ✓C. Proposed use of each structure
- ✓D. Signs (freestanding) and other improvements
- ✓E. Walls, fences, and screening: indicate height, length, color and materials
- ✓F. Dimensions of all principal site elements or typical dimensions
- ✓G. Loading facilities
- ✓H. Site lighting (indicate height & fixture type)
- N/A I. Indicate structures within 20 feet of site **NO STRUCTURES WITHIN 20 FEET OF SITE**
- ✓J. Elevation drawing of refuse container and enclosure, if applicable.
- ✓K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- ✓A. Parking layout with spaces numbered per aisle and totaled.
 - ✓1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - ✓2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - N/A 3. On street parking spaces **NO ON-STREET PARKING PROPOSED**
- ✓B. Bicycle parking & facilities
 - ✓1. Bicycle racks – location and detail
 - N/A 2. Other bicycle facilities, if applicable **NO OTHER BIKE FACILITIES APPLICABLE**
- ✓C. Vehicular Circulation (Refer to DPM and IDO)
 - ✓1. Ingress and egress locations, including width and curve radii dimensions
 - ✓2. Drive aisle locations, including width and curve radii dimensions
 - ✓3. End aisle locations, including width and curve radii dimensions
 - ✓4. Location & orientation of refuse enclosure, with dimensions
 - ✓5. Loading, service area, and refuse service locations and dimensions
- ✓D. Pedestrian Circulation
 - ✓1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.

- E. Off-Street Loading
 - 1. Location and dimensions of all off-street loading areas

- F. Vehicle Stacking and Drive-Through or Drive-Up Facilities **NO VEHICLE STACKING, DRIVE-THROUGH, OR DRIVE-UP FACILITIES PROPOSED**
 - 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
 - 6. Location of street lights
 - 7. Show and dimension clear sight triangle at each site access point
 - 8. Show location of all existing driveways fronting and near the subject site.

- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities **NO EXISTING OR PROPOSED ALTERNATE TRANSPORTATION FACILITIES WITHIN OR ADJACENT TO SITE**
 - 2. Pedestrian trails and linkages
 - 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- ✓ 7. Identify type, location and size of plantings (common and/or botanical names).
 - ✓ A. Existing, indicating whether it is to be preserved or removed.
 - ✓ B. Proposed, to be established for general landscaping.
 - ✓ C. Proposed, to be established for screening/buffering.
- ✓ 8. Describe irrigation system – Phase I & II . . .
- ✓ 9. Planting Beds, indicating square footage of each bed
- ✓ 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- ✓ 11. Responsibility for Maintenance (statement)
- ✓ 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- ✓ 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- ✓ 14. Planting or tree well detail
- ✓ 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- ✓ 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- ✓ 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information


- ✓ 1. Scale - must be same as Sheet #1 - Site Plan
- ✓ 2. Bar Scale
- ✓ 3. North Arrow
- ✓ 4. Property Lines
- ✓ 5. Existing and proposed easements
- ✓ 6. Building footprints
- ✓ 7. Location of Retaining walls

B. Grading Information

- ✓ 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- ✓ 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- ✓ 3. Identify ponding areas, erosion and sediment control facilities.
- ✓ 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or  submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)
- F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO

HOPE CHRISTIAN SCHOOL

8005 Louisiana Blvd NE
Albuquerque, NM 87109

November 17, 2023

Re: Letter of Authorization

I, Donald Swaim, Board of Directors for Hope Christian School authorize ROMA Architecture to submit applications on our behalf to the City of Albuquerque Development Facilitation Team and other city agencies related to the procurement of an Archaeologic Certificate and the approval of a new Site Plan Administrative for the Hope Christian High School Campus, property legal description: HOPE CHRISTIAN SCHOOL BLOCK 12, TEACT A UNIT A NORTH ALBUQUERQUE ACRES.

Thank you,

Signed: Donald Swaim

Donald Swaim
Board of Directors President
Hope Christian Schools

May 10, 2024

ATTN: Development Facilitation Team
City of Albuquerque Planning Department
Plaza Del Sol Building
600 2nd Street NW
Albuquerque, New Mexico 87102

Re: **Hope Christian School, Block 12, Tract A, Unit A, North Albuquerque Acres
South side of Palomas between Louisiana Boulevard and San Pedro Boulevard
Site Plan - Administrative (DFT)**

To Whom it May Concern,

On behalf of our client, Hope Cristian Schools Inc., ROMA Architecture is writing to request approval of a new Site Plan – Administrative (DFT) for the campus of Hope Christian High School.

The subject site (the **Hope Christian High School** campus at 6800 Palomas Ave NE), along with the nearby sites of the Hope Christian Middle School campus at 8001 Louisiana Blvd NE and the Hope Christian Elementary School campus at 6721 Palomas Ave NE, had previously all been controlled by a Site Development Plan for Subdivision and Master Plan (COA Project #1000539), approved by the DRB in 2006. This SDP for SUB and MP expired and was automatically terminated in 2013 because less than 50% of the proposed improvements were completed within 7 years of its approval. In a 2019 DRB approval for a new Site Plan for the Hope Christian Elementary campus (PR-2019-002134, SI-2019-00056), it was determined by the DRB that any future development of the 3 aforementioned campuses, formerly controlled by the terminated SDP for SUB and MP, would henceforth be governed by separate and distinct Site Plans for each campus/site, each to be submitted and reviewed independently of one another. (See attached Official Notice of Decision for the 2019 elementary project PR-2019-002134, SI-2019-00056).

The subject site is now controlled by the governing policies of the Integrated Development Ordinance (IDO), under which the proposed development falls under the Site Plan – Administrative (DFT) approval process. As no controlling Site Plan or Master Plan currently exists for the subject site, this application is being submitted as a new Site Plan, not as an amendment to or extension of any prior-approved Site Plan (since the previous SDP for SUB and MP is expired).

This letter contains the following:

1. ***Justification for a new Site Plan – Administrative (DFT).***
2. ***Summary of Proposed Site Plan submitted to the DFT***

JUSTIFICATION FOR NEW SITE PLAN – ADMINISTRATIVE (DFT)

To the best of our knowledge at the time of submitting this application, the proposed Site Plan complies with all applicable standards in the current effective draft of the IDO, the DPM, and other adopted City regulations. We are not requesting any deviations from these standards at this time.

Based on pre-approvals from Hydrology, Transportation, and the ABCWUA the City's existing infrastructure and public improvements have adequate capacity to serve the proposed development (see attached Form SP).

Requests for a Neighborhood Association Meeting were sent to the applicable NA representatives via email in accordance with the procedures defined in the IDO. Of the two applicable representatives, one responded declining the meeting and the other representative did not respond within the 15-day response period, therefore a meeting was not held. Public notice was also provided via email as required per the IDO.

An Archaeological Certificate of “No Effect” has been issued for the site by the City Archaeologist. A Sensitive Lands Analysis has also been conducted, and all of the features identified therein have been avoided/protected in the proposed Site Plan.

The subject property does not fall within an active approved Master Development Plan or Framework Plan.

SUMMARY OF PROPOSED SITE PLAN – ADMINISTRATIVE (DFT)

1. The new Site Plan prepared for the High School Campus is hereby submitted to the DFT for approval and includes the following scope:
 - a. New and remodeled buildings providing updated and expanded educational, administrative, athletic, and performing arts facilities.
 - b. Reconfigured drop-off and parking areas optimizing site circulation and providing improved site access.
 - c. New drop-off lanes and parking areas with improved safety and security.
 - d. New parking lot screening and buffering per IDO requirements.
 - e. New outdoor seating and gathering areas per IDO requirements.
 - f. New landscaping areas per IDO requirements.
 - g. Expanded bicycle parking facilities per IDO requirements.
 - h. Preservation of existing grass-vegetated detention ponds and several large mature trees located near the center of the site.
 - i. Retention of existing turf grass athletics field on western portion of site.
 - j. Removal of all existing portable buildings currently on site.

We respectfully request that the **Development Facilitation Team** review and approve this Site Plan – Administrative for the Hope Christian High School Campus. Please do not hesitate to contact me at 505-310-9068 if you have any questions or require additional information.

Sincerely,



Elliot Hield, RA
ROMA Architecture

JUSTIFICATION LETTER ATTACHMENT

OFFICIAL NOTICE OF DECISION FOR PROJECT#
PR-2019-002134 (ELEMENTARY CAMPUS)

PLANNING DEPARTMENT
DEVELOPMENT SERVICES DIVISION
600 2nd Street NW, Ground Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3946

OFFICIAL NOTIFICATION OF DECISION

April 19, 2019

Hope Christian Schools
8005 Louisiana BLVD NE
ABQ, NM 87109

Project# PR-2019-002134
Application# SI-2019-00056 SITE PLAN - DRB

LEGAL DESCRIPTION:

All or a portion of LOT 2 SHAMROCK ADDN & TR 101-C MRGCD MAP 34, zoned MX-L, located on PALOMAS AV NE south of PASEO DEL NORTE and east of SAN PEDRO DR NE, containing approximately 7.7 acre(s). (D-18)

On April 17, 2019, the Development Review Board (DRB) held a meeting concerning the above referenced application and approved the request based on the following Findings:

1. This site part of the Hope Christian School Campus, but is a stand alone Site Plan DRB for the elementary school. **Development of future campus phases will be reviewed separately from this plan.**
2. This is a request for a two story, 61,400 square foot building on the elementary school site. There are existing buildings, parking and landscaping on the site but the new building requires additional landscaping and parking as shown on the site plan.
3. The previously approved Site Plan for Building Permit (1000539) expired and was terminated 4-22-19.
4. As required by the IDO, the applicant notified property owners within 100 feet and affected neighborhood associations.
5. Pursuant to 6-6(G)(3) Review and Decision Criteria An application for a Site Plan – DRB shall be approved if it meets all of the following criteria:
 - a. 6-6(G)(3)(a) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property. The height, parking and façade, meet the IDO requirements.

Official Notice of Decision

Project # PR-2019-002134 Application# SI-2019-00056

April 19, 2019

Page 2 of 3

6-6(G)(3)(b) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the extent practicable.

The site has access to a full range of urban services including utilities, roads, and emergency services.

- b. 6-6(G)(3)(c) The Site Plan mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable. The project adds to the existing school and is compatible with existing residential and commercial development. The proposed uses are allowed under the existing zoning. The site will have a significant landscape buffer.

Conditions:

1. This Site Plan is valid 5 years from DRB approval (4-17-2019). An extension may be requested prior to the expiration date.
2. The applicant will bring two paper copies to be signed off by Planning. Planning will keep one signed off copy. A pdf of the signed off set will then be email to the PLNDRS.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the DRB's decision or by **MAY 2, 2019**. The date of the DRB's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(U) of the Integrated Development Ordinance (IDO). A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Applicants submitting for building permit prior to the completion of the appeal period do so at their own risk. Successful applicants are reminded that there may be other City regulations of the IDO that must be complied with, even after approval of the referenced application(s).

Sincerely,



Kym Dicome
DRB Chair

Official Notice of Decision

Project # PR-2019-002134 Application# SI-2019-00056

April 19, 2019

Page 3 of 3

KD/mg

Jon Anderson 912 Roma Ave NW ABQ, NM 87102



City of Albuquerque
P.O. Box 1293 Albuquerque, NM 87103
Planning Department
Alan Varela, Interim Director

Tim Keller, Mayor
Sarita Nair, CAO

DATE: November 22, 2023

SUBJECT: Albuquerque Archaeological Ordinance - Compliance Documentation

Case Number(s): PR-2019-002134
Agent: ROMA Architecture (Elliot Hield, Project Manager)
Applicant: Hope Christian Schools Inc.
Legal Description: Hope Christian School, Block 12, Tract A, Unit A, North Albuquerque Acres
Zoning: MX-L
Acreage: 8.55
Zone Atlas Page(s): D-18-Z

CERTIFICATE OF NO EFFECT: [checked] Yes [] No

CERTIFICATE OF APPROVAL: [] Yes [checked] No

SUPPORTING DOCUMENTATION:

Historic Google Earth Images, Historic City of Albuquerque Aerial Photographs, NMCRIIS Records

SITE VISIT: N/A

RECOMMENDATIONS:

The property was bladed clear prior to 1996 and the east edge was surveyed under NMCRIIS 57577 with no significant finds.

Therefore: CERTIFICATE OF NO EFFECT ISSUED-under 6-5(A) (3)(a) criterion 2 "The property has been disturbed through previous land use"

SUBMITTED BY:

SUBMITTED TO:

Planning, Development Services

[Signature] 11-22-2023
Douglas H. M. Boggess, MA, RPA Date
Senior Principal Investigator
Acting City Archaeologist
Lone Mountain Archaeological Services, Inc.

PUBLIC NOTICE DOCUMENTATION

(VERSION 2 - SUBMITTED 05/15/24)

DFT SIGN POSTING AGREEMENT – A PUBLIC NOTICE REQUIREMENT

All development applications are required to complete public notice under the Integrated Development Ordinance, Section 6-1, Table 6-1-1. <https://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance-1> All applicants are obligated to satisfy all of the public notice requirements, i.e., sending email notifications, mailing notices, and posting signage on the subject property. **This form covers posting signs.** Adherence to sign posting requirements will inform the public of a proposed project and relevant project details.

Signs should be picked up at the Development Review Services office, located at 600 2nd St in the Plaza Del Sol building. Signs are available upon the acceptance of the application. The cost for the signs is included in the project application fee. It is critical that the signs be prominently located and clearly visible without any obstructions from each street frontage.

Applicants are responsible to maintain posting from time of application through the appeal period (15 days following a final decision on the application). Signs must be posted within 3 days of application acceptance and remain for at least 15 days. Evidence of the sign posting must also be provided within 3 days. In addition, applicants must ensure that required signs are in place during the 15-day appeal period after the project approval. Evidence of posting includes: Time stamped photographs of the sign at the location must be submitted as a supplement to the application.

Failure to install or replace the signs during the required timeframe may result in your application being deferred.

LOCATION

- A. The sign shall be conspicuously located, i.e, within twenty feet of the public sidewalk (or edge of a street).
- B. The face of the sign shall be parallel to the street.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

NUMBER

- A. One sign shall be posted on each street frontage.
- B. If the land does not abut a public street, a sign shall be placed at the edge of the public right-of-way of the nearest paved street, in addition to the sign placed on the property.

PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

I have read and understand all of the public notice requirements. By my signature, I acknowledge that: I understand (A) I have read the sign posting requirements; (B) I understand my obligation to keep the signs posted for (15) days at the time of application, and (15) days after application approval, (C) where/how the sign(s) should be posted, and (D) agree to provide evidence of posting.

I further certify that the required public notice signs were posted per the instructions above.

SIGNATURE & DATE:

Elliot Hield

05/10/2024

PROJECT NUMBER & ADDRESS:

ADDRESS: 6800 Palomas Ave NE, Albuquerque, NM 87109

Elliot Hield

From: Office of Neighborhood Coordination <onc@cabq.gov>
Sent: Wednesday, May 15, 2024 11:02 AM
To: Elliot Hield
Subject: 6800 Palomas Ave NE_Neighborhood Meeting Inquiry Sheet Submission
Attachments: ZONE ATLAS MAP - D-18-Z.pdf

PLEASE NOTE:

The neighborhood association contact information listed below is valid for 30 calendar days after today's date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	Association Email	First Name	Last Name	Email	Address Line 1	C
Palomas Park NA	palomaspark@gmail.com	David	Marsh	wmarsh7@comcast.net	7504 Laster Avenue NE	A
Palomas Park NA	palomaspark@gmail.com	Ann	Wagner	annwagner10@gmail.com	7209 Gallinas Avenue NE	A

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application. <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf.
- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s):

<http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you,

Suzie



Suzie Flores

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque
(505) 768-3334 Office

E-mail: suzannaflores@cabq.gov

Website: www.cabq.gov/neighborhoods

From: webmaster@cabq.gov <webmaster@cabq.gov>
Sent: Wednesday, May 15, 2024 8:59 AM
To: Office of Neighborhood Coordination <elliott@romaarc.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Neighborhood Meeting Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Neighborhood Meeting Inquiry For:
Other (please specify in field below)

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:
Site Plan Administrative DFT

Contact Name

Elliot Hield

Telephone Number

5053109068

Email Address

elliott@romaarc.com

Company Name
ROMA Architecture
Company Address
912 Roma Ave NW
City
Albuquerque
State
NM
ZIP
87102

Legal description of the subject site for this project:
Hope Christian School, Block 12, Tract A, Unit A, North Albuquerque Acres, as the same is shown and designated of the Plat entitled "PLAT OF HOPE CHRISTIAN SCHOOL, BLOCK 12, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 24, 1994, in Volume 94C, folio 97.

Physical address of subject site:
6800 Palomas Ave NE, Albuquerque, NM 87109

Subject site cross streets:
Louisiana Blvd NE and Palomas Ave NE

Other subject site identifiers:
Hope Christian High School

This site is located on the following zone atlas page:
D-18-Z

Captcha
x

Elliot Hield

From: Elliot Hield
Sent: Wednesday, May 15, 2024 3:11 PM
To: 'annwagner10@gmail.com'
Cc: Dean Cowdrey
Subject: Neighborhood Meeting Request - Site Plan - Hope Christian Schools
Attachments: Neighborhood Meeting Request - AW.pdf

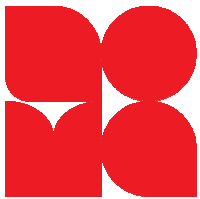
Dear Ms. Wagner,

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(B) "Pre-Submittal Neighborhood Meeting", ROMA Architecture is contacting you on behalf of our client, Hope Christian Schools, to provide you with an opportunity to meet and discuss a Site Plan – Administrative (DFT) proposed near your neighborhood in advance of submitting our application. If requested, this would be an informal meeting during which ROMA Architecture and Hope Christian Schools would present the proposal and provide an opportunity to discuss any questions, comments, or concerns you may have.

Please see attached formal Neighborhood Meeting Request for further details, including all relevant information required per the IDO. Please feel free to reach out to me directly with any questions.

Per the IDO, you have 15 days from May 15, 2024 to respond, by either 1) requesting a meeting or 2) declining the meeting. If you do not respond within 15 days, you are waiving the opportunity for a Neighborhood Meeting. We would greatly appreciate a timely response, either accepting or declining, as this will allow us to move on to the next step in this application process.

Thank you,



ELLIOT HIELD, RA
Architect

ROMA ARCHITECTURE
Formerly Jon Anderson Architecture

505.764.8306 x 1004
505.310.9068
romaarc.com

Elliot Hield

From: Elliot Hield
Sent: Wednesday, May 15, 2024 3:11 PM
To: 'WMARSH7@COMCAST.NET'
Cc: Dean Cowdrey
Subject: Neighborhood Meeting Request - Site Plan - Hope Christian Schools
Attachments: Neighborhood Meeting Request - DM.pdf

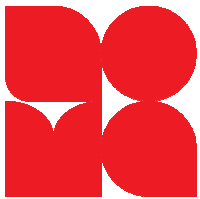
Dear Mr. Marsh,

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(B) "Pre-Submittal Neighborhood Meeting", ROMA Architecture is contacting you on behalf of our client, Hope Christian Schools, to provide you with an opportunity to meet and discuss a Site Plan – Administrative (DFT) proposed near your neighborhood in advance of submitting our application. If requested, this would be an informal meeting during which ROMA Architecture and Hope Christian Schools would present the proposal and provide an opportunity to discuss any questions, comments, or concerns you may have.

Please see attached formal Neighborhood Meeting Request for further details, including all relevant information required per the IDO. Please feel free to reach out to me directly with any questions.

Per the IDO, you have 15 days from May 15, 2024 to respond, by either 1) requesting a meeting or 2) declining the meeting. If you do not respond within 15 days, you are waiving the opportunity for a Neighborhood Meeting. We would greatly appreciate a timely response, either accepting or declining, as this will allow us to move on to the next step in this application process.

Thank you,



ELLIOT HIELD, RA
Architect

ROMA ARCHITECTURE
Formerly Jon Anderson Architecture

505.764.8306 x 1004
505.310.9068
romaarc.com

[Note: Items with an asterisk (*) are required.]

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: 05.15.2024

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: PALOMAS PARK NA

Name of NA Representative*: ANN WAGNER

Email Address* or Mailing Address* of NA Representative¹: ANNWAGNER10@GMAIL.COM

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: ELLIOT@ROMAARC.COM

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

AT YOUR EARLIEST CONVENIENCE OR ON 05.30.2024 / 2:00 / ROMA ARCHITECTURE (OFFICE), 912 ROMA AVE NW, ALBUQUERQUE, NM 87102
****OR VIRTUAL IF PREFERABLE****

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 6800 PALOMAS AVE NE, ALBUQUERQUE, NM 87109
Location Description HOPE CHRISTIAN HIGH SCHOOL CAMPUS
2. Property Owner* HOPE CHRISTIAN SCHOOLS INC.
3. Agent/Applicant* [if applicable] ROMA ARCHITECTURE - ELLIOT HIELD, PROJECT MANAGER
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (*) are required.]

- Vacation _____ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: _____

Summary of project/request^{3*}:

APPLICATION FOR A NEW SITE PLAN - ADMINISTRATIVE (DFT) FOR THE CAMPUS OF HOPE CHRISTIAN HIGH SCHOOL. SCOPE INCLUDES NEW HIGH SCHOOL FACILITIES AND ASSOCIATED SITE IMPROVEMENTS TO REPLACE PORTABLE CLASSROOMS AND ADMIN BUILDINGS CURRENTLY ON CAMPUS

- 5. This type of application will be decided by^{*}: City Staff

OR at a public meeting or hearing by:

- Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
- Landmarks Commission (LC) Environmental Planning Commission (EPC)
- City Council

- 6. Where more information about the project can be found^{*4}:

EMAIL ELLIOT HIELD: ELLIOT@ROMAARC.COM

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

- 1. Zone Atlas Page(s)^{*5} D-18-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards will be requested for this project^{*}:
 - Deviation(s) Variance(s) Waiver(s)

Explanation:

- 4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1](#)^{*}: Yes No

³ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
 - a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

- 1. From the IDO Zoning Map⁶:
 - a. Area of Property [typically in acres] 8.55 ACRES
 - b. IDO Zone District MX-L
 - c. Overlay Zone(s) [if applicable] N/A
 - d. Center or Corridor Area [if applicable] N/A
- 2. Current Land Use(s) [vacant, if none] HIGH SCHOOL CAMPUS

Useful Links

Integrated Development Ordinance (IDO):

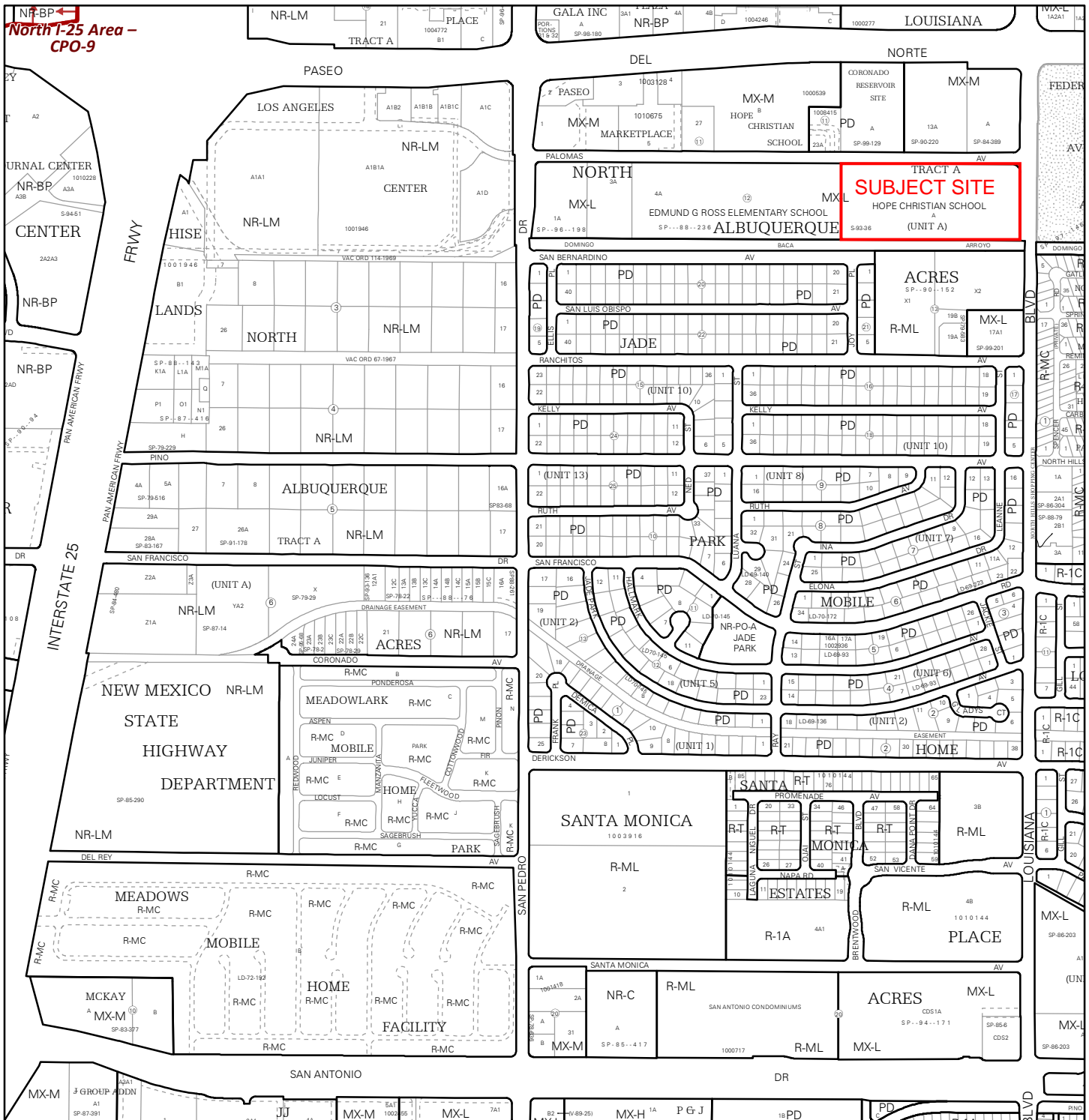
<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

Zone Atlas Page:
D-18-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

City of Albuquerque Property Report

Platted Parcel Address: 6800 PALOMAS AV NE
Assessor Parcel Address: 6800 PALOMAS NE
Report Date: 11/20/2023



www.cabq.gov/gis

Bernalillo County Assessor Ownership Data

[\(Click here for more information\)](#)

Owner Name: HOPE CHRISTIAN SCHOOLS INC
Owner Address: 8005 LOUISIANA BLVD NE ALBUQUERQUE NM 87109
Uniform Property Code (UPC): 101806347445110416 **Tax Year:** 2023 **Tax District:** A1A
Legal Description: HOPE CHRISTIAN SCHOOL PLAT OF HOPE CHRISTIAN SCHOOL BLOCK 12, TRACT A UNIT A NORTH ALBUQUERQUE ACRES CONT 8.5455 AC M/LOR 372,242 SQ FT M/L
Property Class: C **Document Number:** See Bernalillo County Assessor Record Search Portal **Acres:** 8.5455

Albuquerque Planning and Zoning Data

[Bernalillo County Planning and Zoning](#)

Jurisdiction: ALBUQUERQUE **Zone Atlas Page:** [D-18](#)
IDO Zone District: [MX-L](#) **IDO District Definition:** Low Intensity
Land Use: 08 | Educational **Lot:** A/HOPE **Block:** 12 **Subdivision:** N ABQ ACRES TRACT A UNIT A
CHRISTIA
N
SCHOOL

Neighborhood Associations

[Office of Neighborhood Coordination](#)

City Recognized Neighborhood Associations: N/A

Services

Police Beat: 433 **Area Command:** NORTHEAST
Residential Trash Pickup and Recycling: Tuesday

City Council Districts

City Council District: [4 - Brook Bassan](#) **Councilor Email:** bbassan@cabq.gov
Policy Analyst: Dawn Marie Emillio **Policy Analyst Email:** dawnmarie@cabq.gov **Policy Analyst Phone #:** 505-768-3101

Other Legislative Districts

US Congressional District: 1 - Melanie Stansbury
County Commission District: 4 - Walt Benson
NM House Of Representatives: 27 - Marian Matthews
NM Senate: 21 - Mark Moores

APS School Service Areas

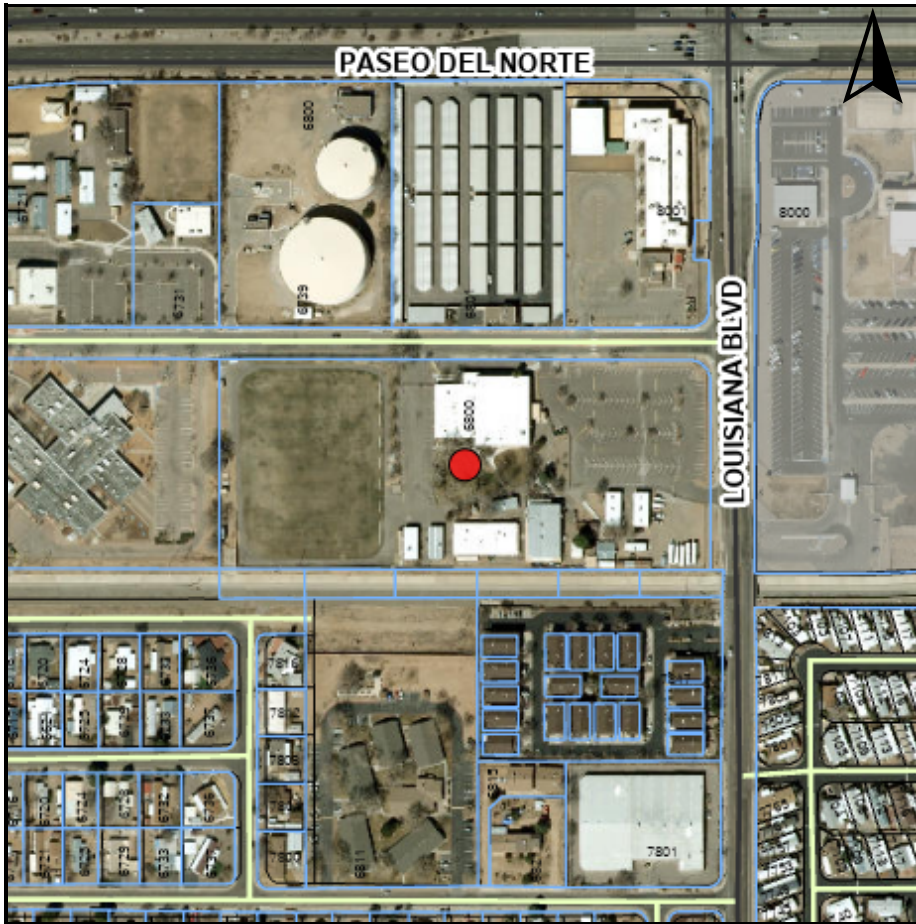
[Albuquerque Public Schools](#)

Elementary School: EG ROSS **Middle School:** MCKINLEY **High School:** DEL NORTE

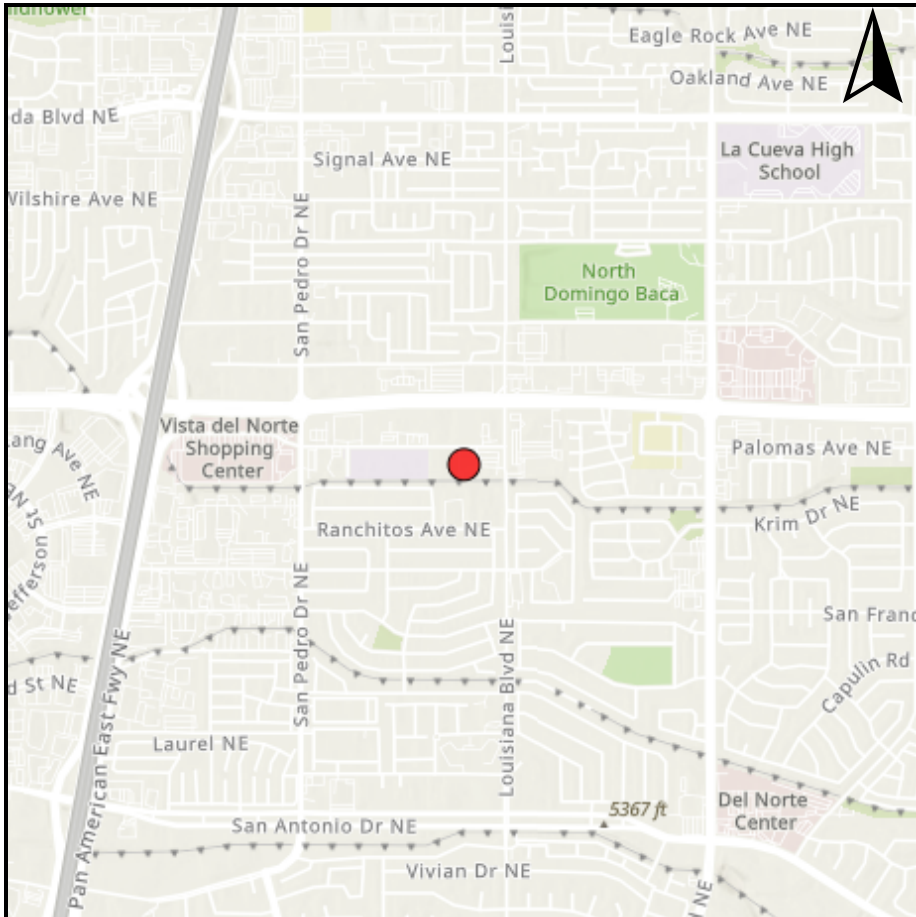
FEMA Flood Zone: X

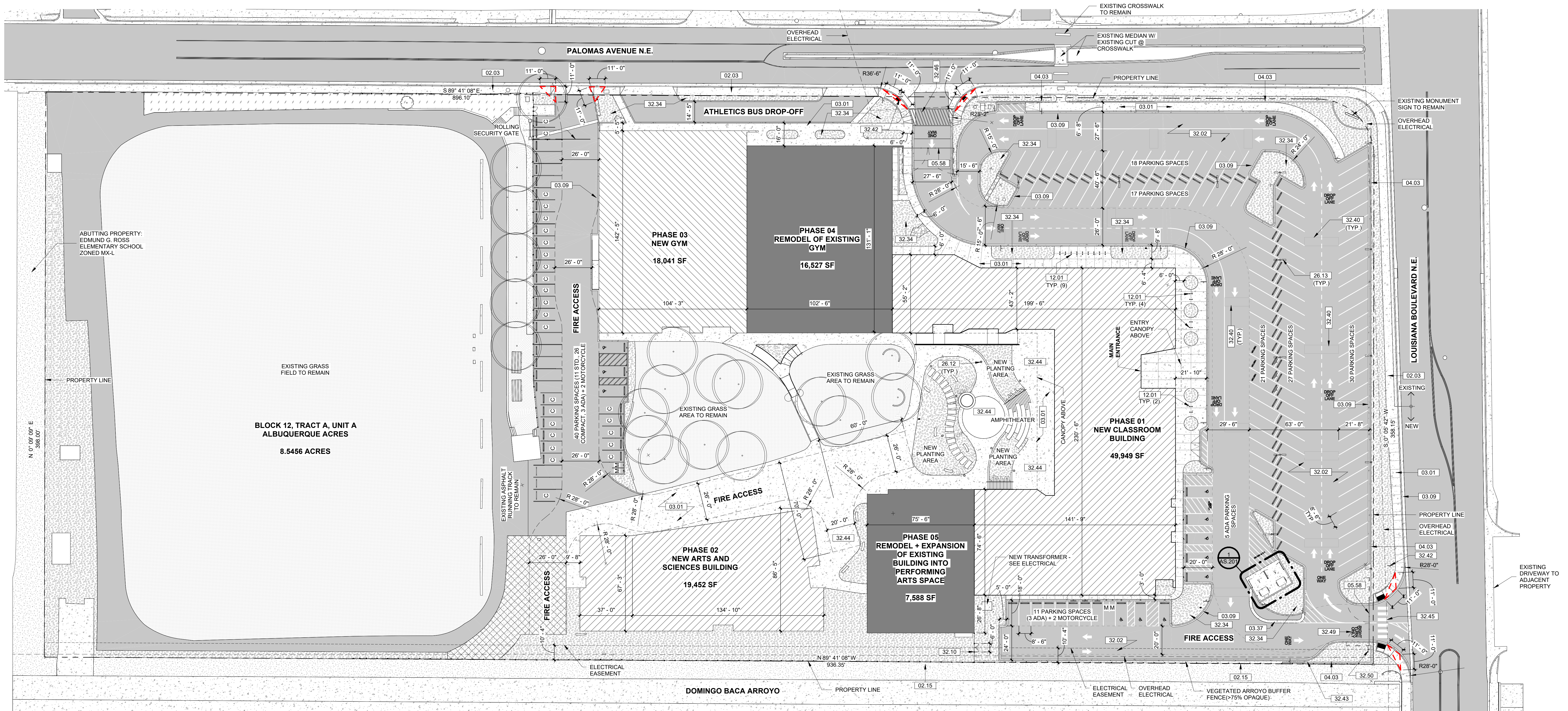
[FEMA Flood Map Service Center](#)

Property Map



Context Map





1 SITE PLAN
1" = 30'-0"

PROJECT NUMBER:

APPLICATION NUMBER:

IS AN INFRASTRUCTURE LIST REQUIRED (X) YES () NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DEF. SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
ABCWUA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
HYDROLOGY	DATE
CODE ENFORCEMENT	DATE
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
PLANNING DEPARTMENT	DATE
*ENVIRONMENTAL HEALTH, IF NECESSARY	DATE

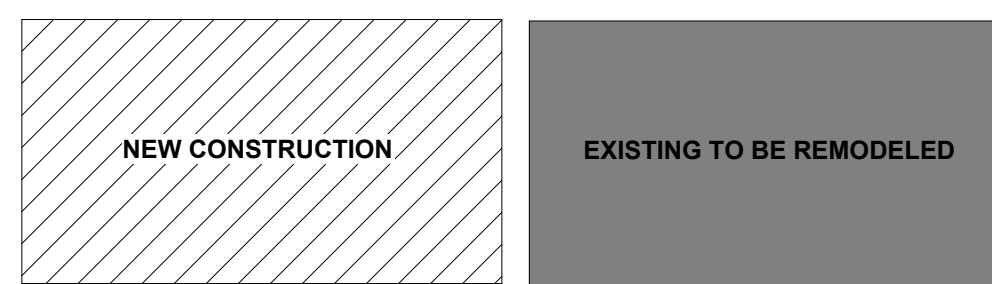
SITE PLAN KEY / SHEET INDEX

AS.100	SITE PLAN
AS.102	PROJECT PHASING DIAGRAMS
AS.201	SITE DETAILS
LP.101	LANDSCAPING PLAN
LP.102	LANDSCAPING PLAN
C.100	GENERAL NOTES
C.101	CONCEPTUAL GRADING & DRAINAGE
C.102	FIRE 1
C.105	GRADING & DRAINAGE
C.106	UTILITY PLAN
A.200	BUILDING ELEVATIONS

BUILDING AREA BY PHASE CONSTRUCTION STARTS

PHASE	LEVEL	AREA (SF)	START DATE
PHASE 01	LEVEL 1	28,388 SF	05/2024
	LEVEL 2	21,561 SF	
PHASE 02	LEVEL 1	12,435 SF	06/2025
	LEVEL 2	7,017 SF	
PHASE 03	LEVEL 1	14,686 SF	06/2026
	LEVEL 2	3,355 SF	
PHASE 04	LEVEL 1 (REMODELED)	13,427 SF	06/2027
	LEVEL 2 (REMODELED)	3,100 SF	
PHASE 05	LEVEL 1* (REMODELED)	6,098 SF	06/2028
	LEVEL 1 (ADDITION)	1,490	
TOTAL BUILDING AREA:		111,557 SF	

BUILDING LEGEND:



LEGAL DESCRIPTION

HOPE CHRISTIAN SCHOOL, BLOCK 12, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, AS THE SAME IS SHOWN AND DESIGNATED OF THE PLAT ENTITLED "PLAT OF HOPE CHRISTIAN SCHOOL, BLOCK 12, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 24, 1994, IN VOLUME 940, FOLIO 97.

PARKING REQUIREMENTS AND PROVISIONS

ZONING CODE: CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE

14-16-5-1 MINIMUM OFF-STREET PARKING REQUIREMENTS

HIGH SCHOOL: 1 SPACE / 4 SEATS IN MAIN AUDITORIUM OR 3 SPACES / CLASSROOM WHICHEVER IS GREATER
MAIN AUDITORIUM SEATS 591 OCCUPANTS (CONCENTRATED; CHAIRS ONLY - NOT FIXED)
591 SEATS / 4

148 SPACES REQUIRED
SINCE OVER 20 SPACES ARE REQUIRED, UP TO 25% CAN BE COMPACT SPACES

STANDARD	132
COMPACT	28
ACCESSIBLE	11

(~23% OF TOTAL SPACES PROVIDED)

TOTAL SPACES PROVIDED 169

14-16-5-5(C)(8) ACCESSIBLE PARKING (PER 2010 ADA STANDARDS TABLE 208.2)

TOTAL NUMBER OF PARKING SPACES PROVIDED (EAST LOT) = 101 TO 150
MINIMUM REQUIRED ACCESSIBLE PARKING SPACES = 8 (2 VAN)

SPACES PROVIDED (EAST LOT) = 8 (2 VAN)

TOTAL NUMBER OF PARKING SPACES PROVIDED (WEST LOT) = 36 TO 50
MINIMUM REQUIRED ACCESSIBLE PARKING SPACES = 3 (1 VAN)

SPACES PROVIDED (EAST LOT) = 3 (1 VAN)

14-16-5-5(D) MINIMUM MOTORCYCLE PARKING REQUIREMENTS (TABLE 5-5-4)

REQUIRED OFF-STREET VEHICLE PARKING SPACES = 101-150
NUMBER OF MOTORCYCLE SPACES REQUIRED = 4

SPACES PROVIDED = 4 (2 IN EAST LOT, 2 IN WEST LOT)

14-16-5-5(E) MINIMUM BICYCLE PARKING REQUIREMENTS (TABLE 5-5-5)

HIGH SCHOOL: 20% OF REQUIRED OFF-STREET PARKING SPACES
TOTAL NUMBER OF OFF-STREET PARKING SPACES REQUIRED = 148
20% OF 148 = 30 BICYCLE SPACES REQUIRED

BICYCLE SPACES PROVIDED = 30 (15 RACKS X 2 BIKES/RACK)

ZONING REQUIREMENTS

ZONING DISTRICT: MIXED USE - LOW INTENSITY ZONE DISTRICT (MX-L)
INTEGRATED DEVELOPMENT ORDINANCE
CITY OF ALBUQUERQUE, NEW MEXICO

SETBACKS:
FRONT: 5 FEET
SIDE: INTERIOR OF FEET, STREET SIDE: 5 FEET
REAR: 15 FEET

MAXIMUM HEIGHT: 38 FEET.

SEATING & GATHERING AREA REQUIREMENTS

QUANTITY REQUIRED: 1 PER 30,000 GSF FLOOR AREA: 111,557/30,000 = 4
QUANTITY PROVIDED: 4

AREA REQUIRED: 400 SQUARE FEET EACH MIN.
AREA PROVIDED: 2x 1000 S.F. AREAS + 2x 500 S.F. AREAS

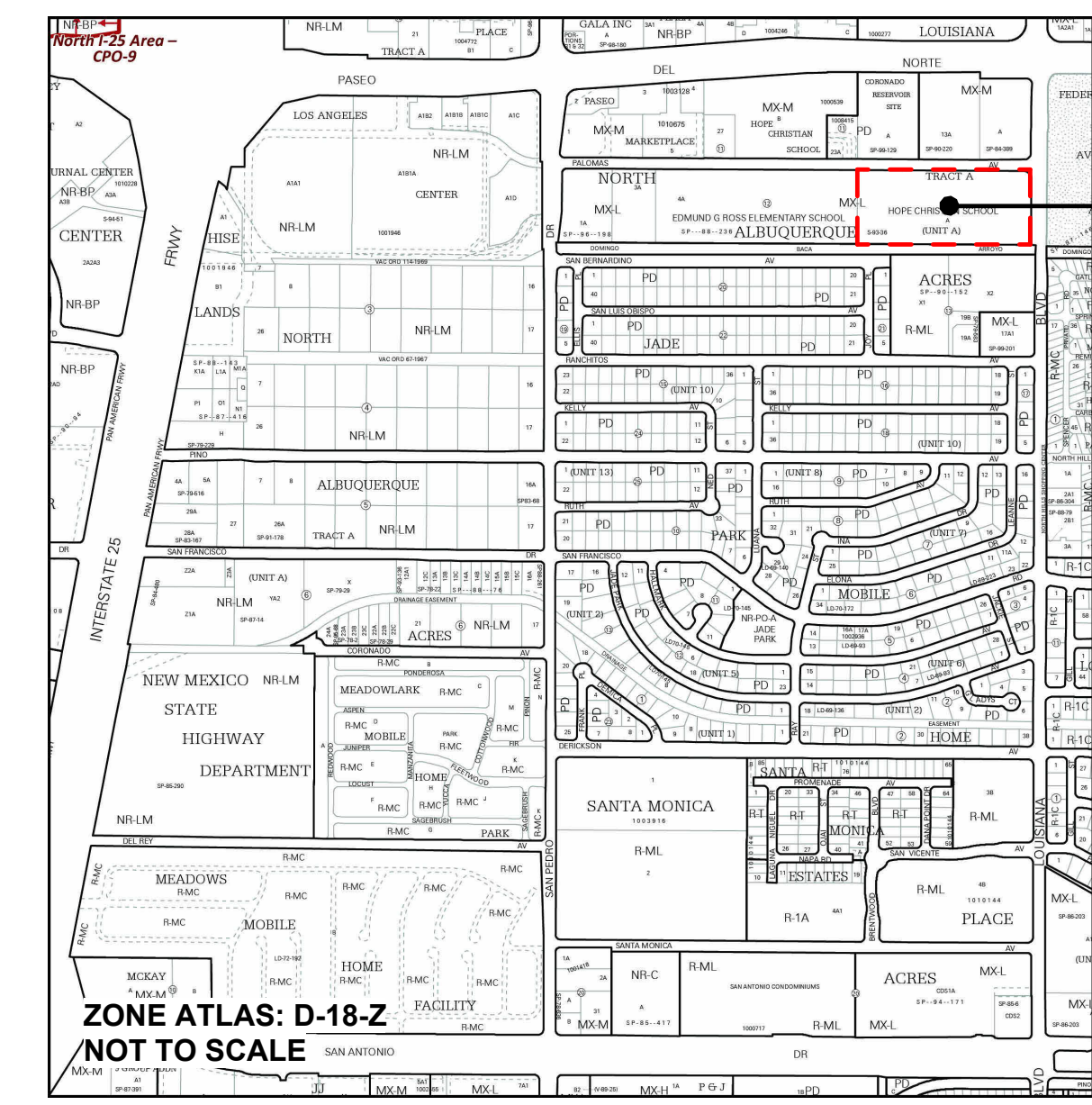
SHADING REQUIRED: AT LEAST 25% OF REQUIRED AREAS
SHADING PROVIDED: >30% OF REQUIRED AREAS

REQUIRED SEATING AND GATHERING AREAS SHALL BE PROVIDED WITH PEDESTRIAN-SCALE LIGHTING, STREET FURNITURE OR SEATING AREAS, AND TRASH RECEPTACLES AND SHALL BE LINKED TO THE PRIMARY ENTRANCE OF THE PRIMARY BUILDING AND THE PUBLIC SIDEWALK OR INTERNAL DRIVE AISLE OR LOCATED ADJACENT TO OR TO MAXIMIZE VIEWS TO PUBLIC OR PRIVATE OPEN SPACE. SEE LANDSCAPE PLANS FOR SITE FURNISHING.

SITE PLAN NARRATIVE:

The subject site (the Hope Christian High School campus at 6800 Palomas Ave NE), along with the nearby sites of the Hope Christian Middle School campus at 6721 Palomas Ave NE, had previously all been controlled by a Site Development Plan for Subdivision and Master Plan (COA Project #1000539), approved by the DRB in 2006. This SDP for SUB and MP expired and was automatically terminated in 2013 because less than 50% of the proposed improvements were completed within 7 years of its approval. In a 2019 DRB approval for a new Site Plan for the Hope Christian Elementary campus (PR-2019-002134, SI-2019-00056), it was determined by the DRB that any future development of the 3 aforementioned campuses, formerly controlled by the terminated SDP for SUB and MP, would henceforth be governed by separate and distinct Site Plans for each campus/site, each to be submitted and reviewed independently of one another.

The subject site is now controlled by the governing policies of the Integrated Development Ordinance (IDO), under which the proposed development falls under the Site Plan - Administrative (DFT) approval process. As no controlling Site Plan or Master Plan currently exists for the subject site, this application is being submitted as a new Site Plan, as an amendment to or extension of any prior-approved Site Plan (since the previous SDP for SUB and MP is expired).



VICINITY MAP: D-18-Z

SITE ZONING: MX-L

KEYNOTE LEGEND

Key Value	Keynote Text
02.03	EXISTING CONCRETE PAVING TO REMAIN
02.15	EXISTING 6" - 0" HIGH CHAINLINK FENCE TO REMAIN
03.01	4" CONCRETE SLAB W/ BROOM FINISH - SEE CIVIL
03.09	NEW CONCRETE CURB AND GUTTER - SEE CIVIL
03.37	NEW CONCRETE ROLL CURB & GUTTER - SEE CIVIL
04.03	PARKING LOT BUFFER WALL - 3'-0" HIGH MINIMUM, 8" INTEGRALLY COLORED CMU - FINISH & COLOR TO MATCH EXISTING CMU WALLS @ HOPE CHRISTIAN MIDDLE SCHOOL. SEE STRUCTURAL FOR FOUNDATION/REINFORCING.
05.58	METAL PIPE VEHICLE ACCESS GATE, 26" MIN. CLEARANCE VEHICLE ACCESS WIDTH. SEE DETAIL.
12.01	BICYCLE RACK - "HOOP" BY DERO OR APPROVED EQUAL. SEE AS 201 FOR DETAILS. MIN. SPACING 4' O.C. SEE DETAIL 15/AS.201
26.12	10' POLE LIGHT, INDIRECT - SEE ELECTRICAL
26.13	ARCHITECTURAL AREA LIGHT, TYPE V OPTICS, 20' SQUARE POLE - SEE ELECTRICAL
32.02	NEW ASPHALT PAVING - SEE CIVIL
32.10	NEW 6'-0" HIGH CHAINLINK FENCE
32.34	NEW LANDSCAPED AREA - SEE CIVIL AND LANDSCAPE
32.40	SPEED BUMP, TYPICAL. SEE CIVIL
32.42	TRAFFIC DIRECTORY SIGN - "PARKING, ADMINISTRATION, HIGH SCHOOL DROP-OFF"
32.43	TRAFFIC SIGN - "WRONG WAY, DO NOT ENTER"
32.44	REQUIRED SEATING AND GATHERING AREA - SEE SEATING AND GATHERING AREA REQUIREMENTS ON THIS SHEET
32.45	NEW CROSSWALK STRIPING
32.46	EXISTING CROSSWALK TO REMAIN - STRIPING TO BE REPAINTED
32.48	PAINTED LETTERING - "RIGHT TURN ONLY"
32.50	TRAFFIC SIGN "RIGHT TURN ONLY" - SEE AS.103 FOR DETAIL

REVISION SCHEDULE

#	Date	Description
1	01/25/23	PERMIT REVIEW REVISIONS
2	03/18/24	TRAFFIC REVIEW REVISIONS

100% CD

05.10.24



SITE PLAN - ALL PHASES

AS.100

HOPE CHRISTIAN HIGH SCHOOL
30' - 1"

HOPE
12' - 8"
55' - 3"

3' - 0"
6800
A
SIGN AREA: 7 SF

APPLICABLE SIGN RESTRICTIONS:

PER IDO 14-16-5-12(F)(2):

WALL SIGN:

NUMBER, MAXIMUM: N/A

AREA, MAXIMUM: SHALL NOT EXCEED 10% OF FACADE AREA

LOCATION: WHERE THERE IS NO SIDE SETBACK BETWEEN 2 ESTABLISHMENT FRONTAGES IN THE SAME OR ADJUTING BUILDINGS, NO WALL SIGN MAY EXTEND CLOSER THAN 2 FEET TO THE SHARED EDGE OF THE FRONTAGE.

CANOPY SIGN:

NUMBER, MAXIMUM: 1 / ESTABLISHMENT FRONTAGE

WIDTH, MAXIMUM: 50% OF BUILDING FRONTAGE WIDTH

HEIGHT OF MESSAGE SURFACE, MAXIMUM: LETTERS AND IMAGES MUST BE LOCATED ON VERTICAL SURFACES, WHICH MAY NOT EXCEED 18 IN. HEIGHT.

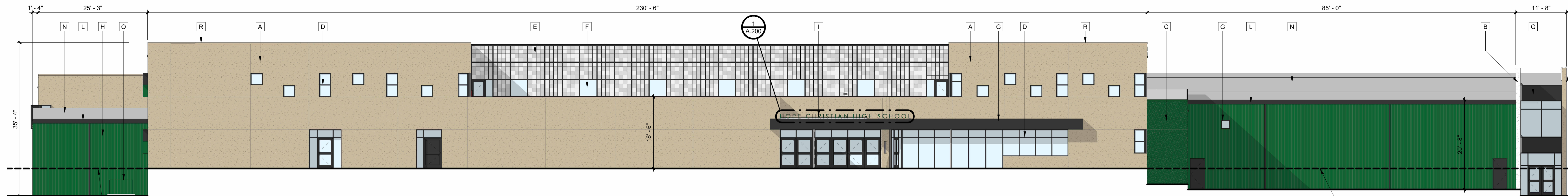
LEGEND:

- A STUCCO, COLOR TO MATCH EL REY "COTTONWOOD"
- B STUCCO, COLOR WHITE
- C STUCCO, COLOR TO MATCH DUNN EDWARDS "LATER GATOR" DE 5678
- D ALUMINUM STOREFRONT FRAMING, DARK BRONZE
- E TRANSLUCENT FIBERGLASS FACADE, 3 TONES OF GRAY
- F CLEAR INSULATED GLAZING
- G METAL FASCIA, DARK BRONZE
- H EXISTING METAL SIDING TO BE PAINTED GREEN
- I ENTRY SIGN, CAST ALUMINUM LETTERS, GREEN
- J ADDRESS SIGN, CAST ALUMINUM LETTERS, GREEN
- K PAINTED WALL GRAPHIC, GREEN
- L GUTTER AND DOWNSPOUTS, DARK BRONZE
- M PROJECTING ALUMINUM SHADE FINS, DARK BRONZE / GREEN
- N EXISTING METAL ROOF TO REMAIN
- O GROUND MOUNTED ELECTRICAL TRANSFORMER
- P METAL FASCIA, GREEN
- Q STEEL SHADE CANOPY, PAINTED DARK BRONZE
- R ROOF MOUNTED MECHANICAL EQUIPMENT SCREENED BY PARAPET.

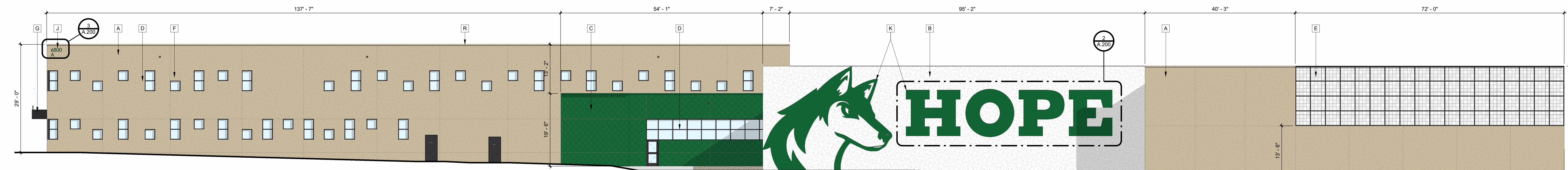
1 ENTRY SIGN (CANOPY MOUNTED)
1/4" = 1'-0"
SIGN AREA: 31 SF

2 PAINTED WALL GRAPHIC
3/16" = 1'-0"
SIGN AREA: 700 SF

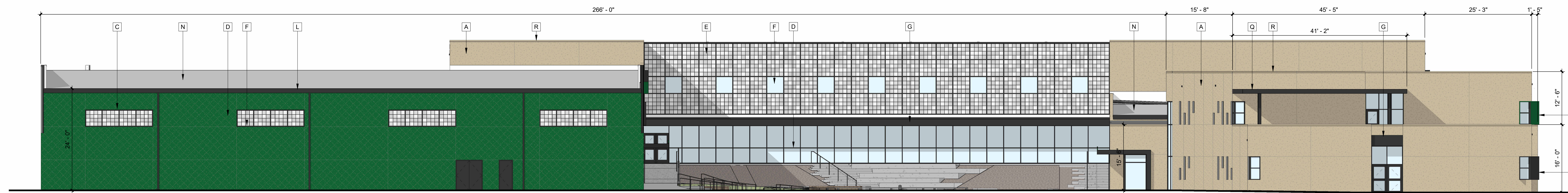
3 ADDRESS SIGN (WALL MOUNTED)
1/4" = 1'-0"
SIGN AREA: 7 SF



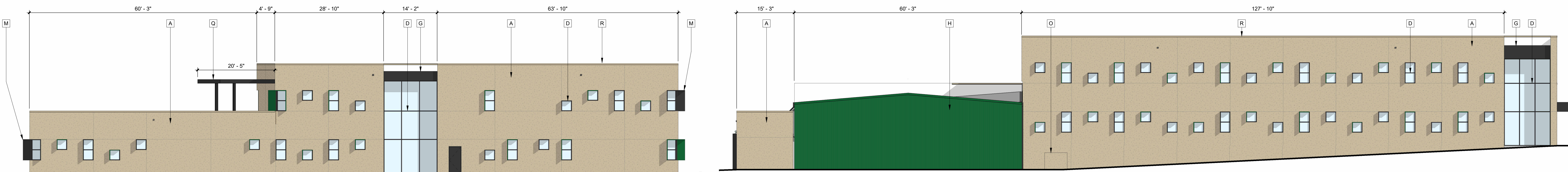
EAST ELEVATION
3/32" = 1'-0"



NORTH ELEVATION
3/32" = 1'-0"



WEST ELEVATION
3/32" = 1'-0"



SOUTH ELEVATION
3/32" = 1'-0"

REVISION SCHEDULE

#	Date	Description

[Note: Items with an asterisk (*) are required.]

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: 05.15.2024

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: PALOMAS PARK NA

Name of NA Representative*: DAVID MARSH

Email Address* or Mailing Address* of NA Representative¹: WMARSH7@COMCAST.NET

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: ELLIOT@ROMAARC.COM

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

AT YOUR EARLIEST CONVENIENCE OR ON 05.30.2024 / 2:00 / ROMA ARCHITECTURE (OFFICE), 912 ROMA AVE NW, ALBUQUERQUE, NM 87102
****OR VIRTUAL IF PREFERABLE****

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 6800 PALOMAS AVE NE, ALBUQUERQUE, NM 87109
Location Description HOPE CHRISTIAN HIGH SCHOOL CAMPUS
2. Property Owner* HOPE CHRISTIAN SCHOOLS INC.
3. Agent/Applicant* [if applicable] ROMA ARCHITECTURE - ELLIOT HIELD, PROJECT MANAGER
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (*) are required.]

- Vacation _____ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: _____

Summary of project/request^{3*}:

APPLICATION FOR A NEW SITE PLAN - ADMINISTRATIVE (DFT) FOR THE CAMPUS OF HOPE CHRISTIAN HIGH SCHOOL. SCOPE INCLUDES NEW HIGH SCHOOL FACILITIES AND ASSOCIATED SITE IMPROVEMENTS TO REPLACE PORTABLE CLASSROOMS AND ADMIN BUILDINGS CURRENTLY ON CAMPUS

5. This type of application will be decided by*: City Staff

OR at a public meeting or hearing by:

- Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
- Landmarks Commission (LC) Environmental Planning Commission (EPC)
- City Council

6. Where more information about the project can be found*⁴:

EMAIL ELLIOT HIELD: ELLIOT@ROMAARC.COM

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁵ D-18-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project*:
 - Deviation(s) Variance(s) Waiver(s)

Explanation:

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1](#)*: Yes No

³ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

1. From the IDO Zoning Map⁶:
- a. Area of Property [typically in acres] 8.55 ACRES
 - b. IDO Zone District MX-L
 - c. Overlay Zone(s) [if applicable] N/A
 - d. Center or Corridor Area [if applicable] N/A
2. Current Land Use(s) [vacant, if none] HIGH SCHOOL CAMPUS
-

Useful Links

Integrated Development Ordinance (IDO):

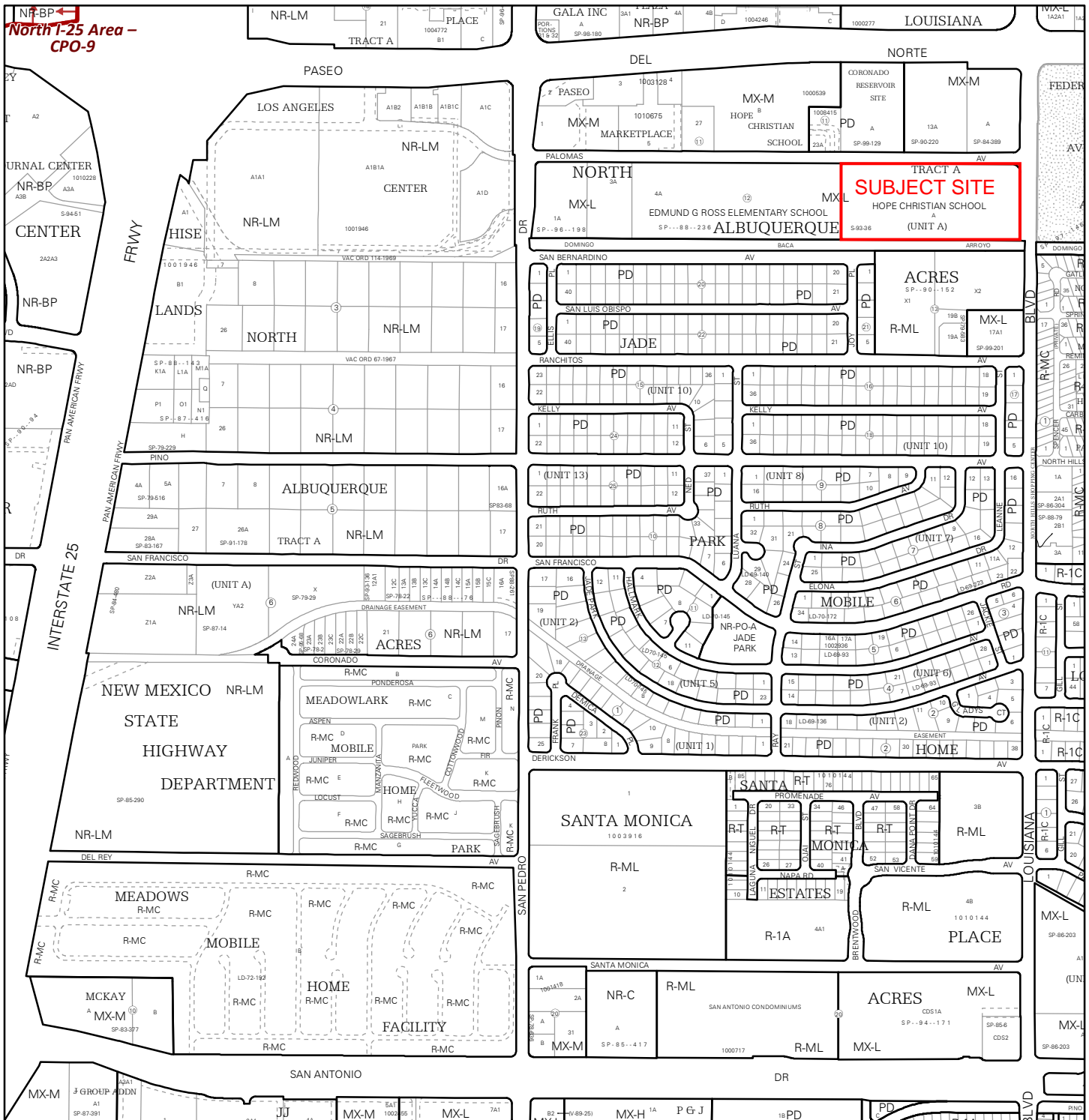
<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

Zone Atlas Page:
D-18-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading
Represents Area Outside
of the City Limits

0 250 500 1,000 Feet

City of Albuquerque Property Report

Platted Parcel Address: 6800 PALOMAS AV NE
Assessor Parcel Address: 6800 PALOMAS NE
Report Date: 11/20/2023



www.cabq.gov/gis

Bernalillo County Assessor Ownership Data

[\(Click here for more information\)](#)

Owner Name: HOPE CHRISTIAN SCHOOLS INC
Owner Address: 8005 LOUISIANA BLVD NE ALBUQUERQUE NM 87109
Uniform Property Code (UPC): 101806347445110416 **Tax Year:** 2023 **Tax District:** A1A
Legal Description: HOPE CHRISTIAN SCHOOL PLAT OF HOPE CHRISTIAN SCHOOL BLOCK 12, TRACT A UNIT A NORTH ALBUQUERQUE ACRES CONT 8.5455 AC M/LOR 372,242 SQ FT M/L
Property Class: C **Document Number:** See Bernalillo County Assessor Record Search Portal **Acres:** 8.5455

Albuquerque Planning and Zoning Data

[Bernalillo County Planning and Zoning](#)

Jurisdiction: ALBUQUERQUE **Zone Atlas Page:** [D-18](#)
IDO Zone District: [MX-L](#) **IDO District Definition:** Low Intensity
Land Use: 08 | Educational **Lot:** A/HOPE **Block:** 12 **Subdivision:** N ABQ ACRES TRACT A UNIT A
CHRISTIA
N
SCHOOL

Neighborhood Associations

[Office of Neighborhood Coordination](#)

City Recognized Neighborhood Associations: N/A

Services

Police Beat: 433 **Area Command:** NORTHEAST
Residential Trash Pickup and Recycling: Tuesday

City Council Districts

City Council District: [4 - Brook Bassan](#) **Councilor Email:** bbassan@cabq.gov
Policy Analyst: Dawn Marie Emillio **Policy Analyst Email:** dawnmarie@cabq.gov **Policy Analyst Phone #:** 505-768-3101

Other Legislative Districts

US Congressional District: 1 - Melanie Stansbury
County Commission District: 4 - Walt Benson
NM House Of Representatives: 27 - Marian Matthews
NM Senate: 21 - Mark Moores

APS School Service Areas

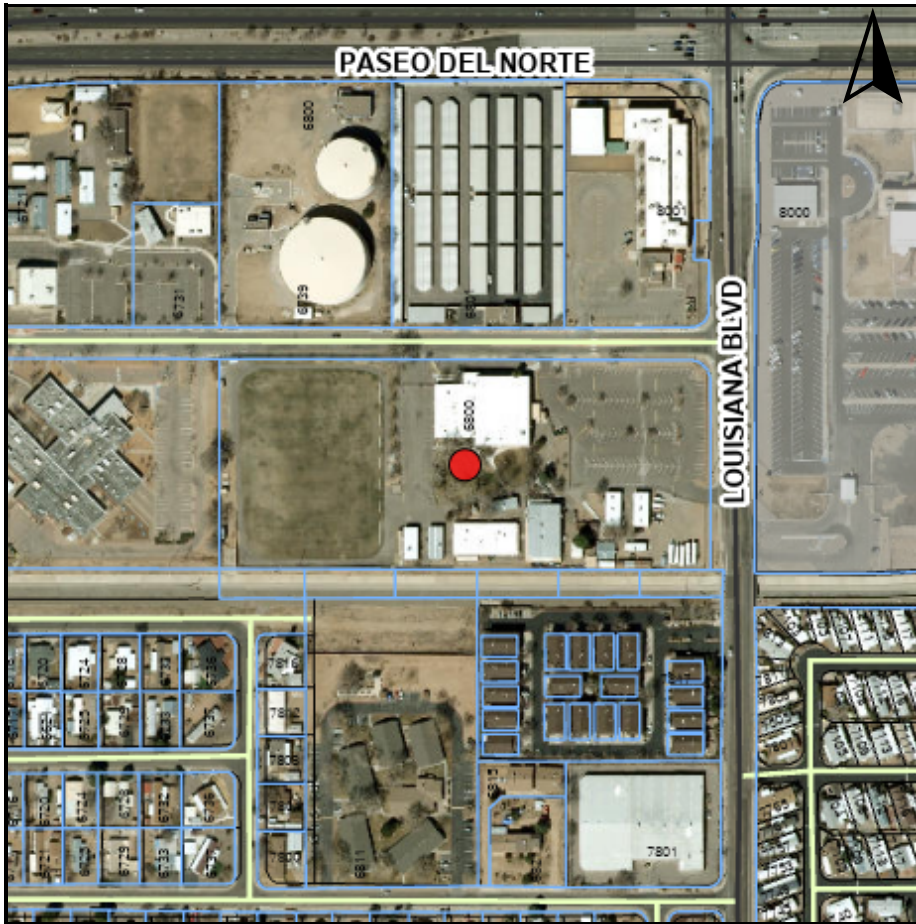
[Albuquerque Public Schools](#)

Elementary School: EG ROSS **Middle School:** MCKINLEY **High School:** DEL NORTE

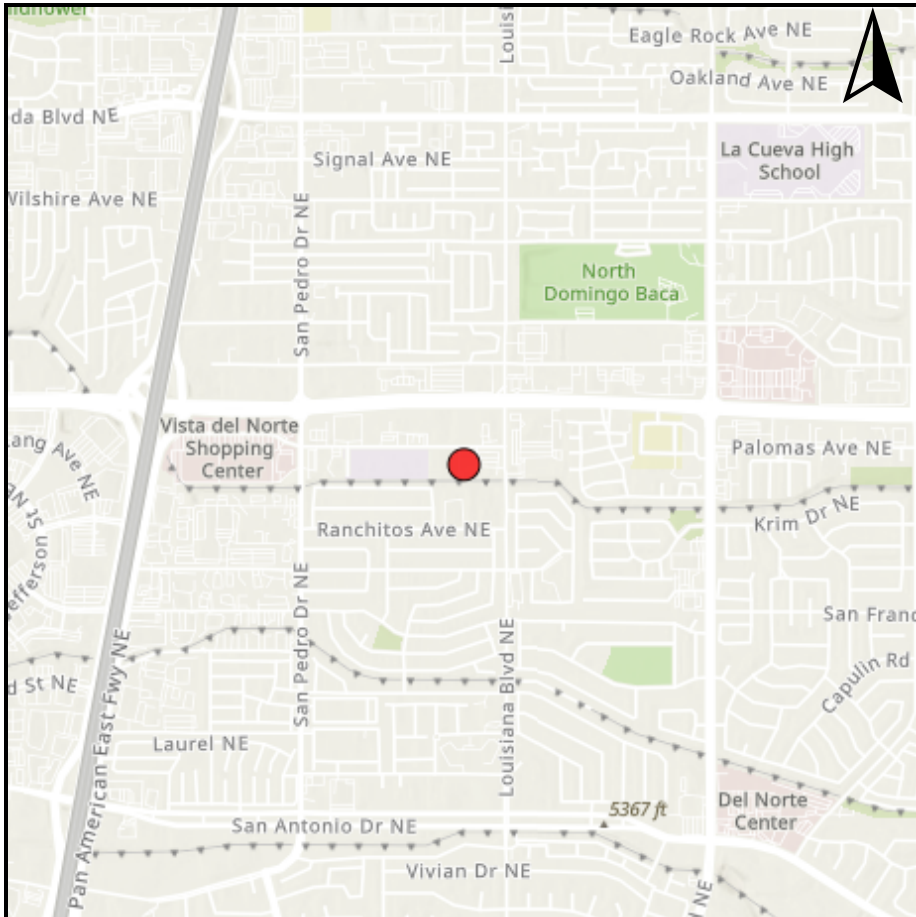
FEMA Flood Zone: X

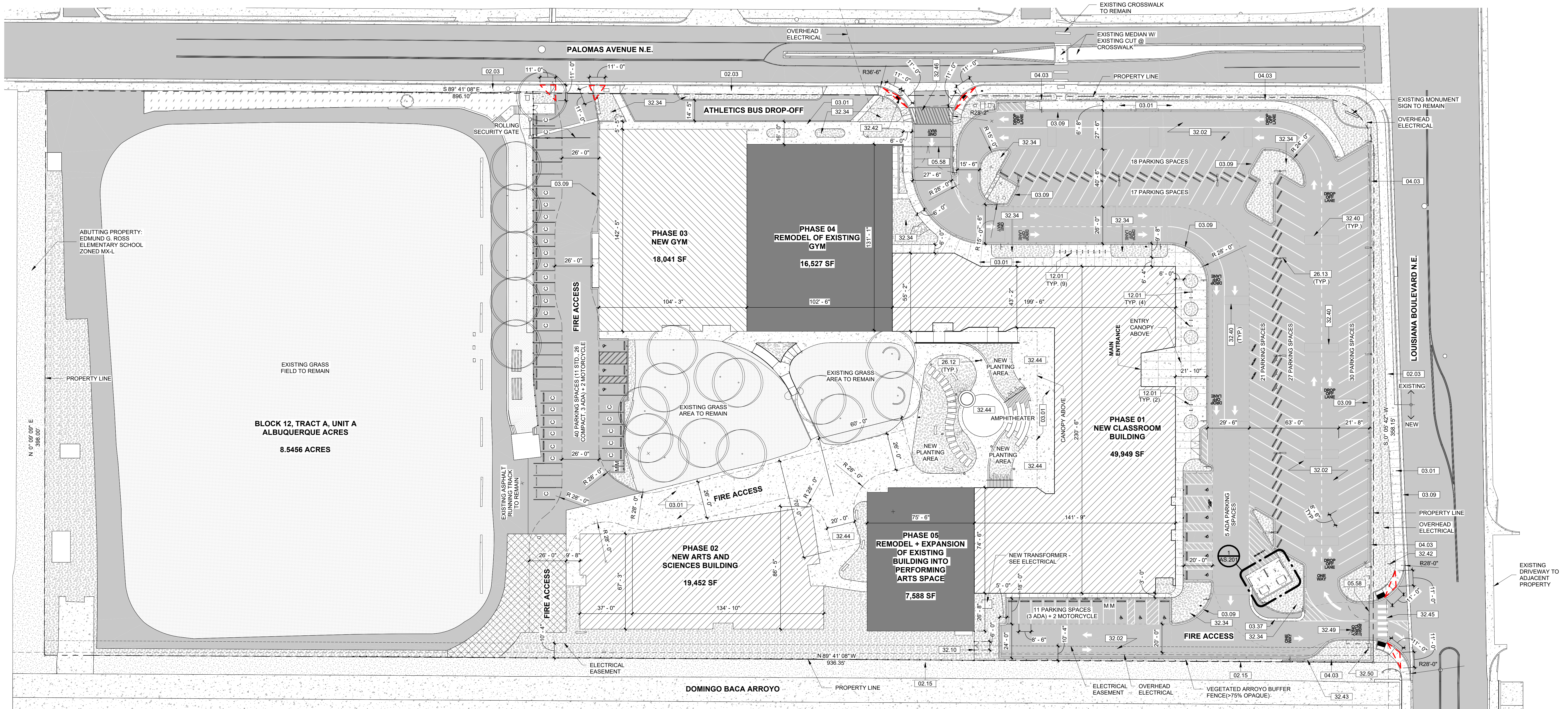
[FEMA Flood Map Service Center](#)

Property Map



Context Map





1 SITE PLAN
1" = 30'-0"

PROJECT NUMBER:

APPLICATION NUMBER:

IS AN INFRASTRUCTURE LIST REQUIRED (X) YES () NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DEF. SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
ABCWUA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
HYDROLOGY	DATE
CODE ENFORCEMENT	DATE
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
PLANNING DEPARTMENT	DATE
*ENVIRONMENTAL HEALTH, IF NECESSARY	DATE

SITE PLAN KEY / SHEET INDEX

AS.100	SITE PLAN
AS.102	PROJECT PHASING DIAGRAMS
AS.201	SITE DETAILS
LP.101	LANDSCAPING PLAN
LP.102	LANDSCAPING PLAN
C.100	GENERAL NOTES
C.101	CONCEPTUAL GRADING & DRAINAGE
C.102	FIRE 1
C.105	GRADING & DRAINAGE
C.106	UTILITY PLAN
A.200	BUILDING ELEVATIONS

BUILDING AREA BY PHASE	CONSTRUCTION STARTS
PHASE 01 LEVEL 1 28,388 SF LEVEL 2 21,561 SF	05/2024
PHASE 02 LEVEL 1 12,435 SF LEVEL 2 7,017 SF	06/2025
PHASE 03 LEVEL 1 14,686 SF LEVEL 2 3,355 SF	06/2026
PHASE 04 LEVEL 1 (REMODELED) 13,427 SF LEVEL 2 (REMODELED) 3,100 SF	06/2027
PHASE 05 LEVEL 1* (REMODELED) 6,098 SF LEVEL 1 (ADDITION) 1,490	06/2028
TOTAL BUILDING AREA:	111,557 SF

BUILDING LEGEND:

	NEW CONSTRUCTION
	EXISTING TO BE REMODELED

LEGAL DESCRIPTION

HOPE CHRISTIAN SCHOOL, BLOCK 12, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, AS THE SAME IS SHOWN AND DESIGNATED OF THE PLAT ENTITLED "PLAT OF HOPE CHRISTIAN SCHOOL, BLOCK 12, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 24, 1994, IN VOLUME 940, FOLIO 97.

PARKING REQUIREMENTS AND PROVISIONS

ZONING CODE: CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE

14-16-5-1 MINIMUM OFF-STREET PARKING REQUIREMENTS

HIGH SCHOOL: 1 SPACE / 4 SEATS IN MAIN AUDITORIUM OR 3 SPACES / CLASSROOM WHICHEVER IS GREATER
MAIN AUDITORIUM SEATS 591 OCCUPANTS (CONCENTRATED; CHAIRS ONLY - NOT FIXED)
591 SEATS / 4

148 SPACES REQUIRED
SINCE OVER 20 SPACES ARE REQUIRED, UP TO 25% CAN BE COMPACT SPACES

STANDARD	132
COMPACT	26
ACCESSIBLE	11
(-23% OF TOTAL SPACES PROVIDED)	

TOTAL SPACES PROVIDED 169

14-16-5-5(C)(8) ACCESSIBLE PARKING (PER 2010 ADA STANDARDS TABLE 208.2)

TOTAL NUMBER OF PARKING SPACES PROVIDED (EAST LOT) = 101 TO 150
MINIMUM REQUIRED ACCESSIBLE PARKING SPACES = 8 (2 VAN)

SPACES PROVIDED (EAST LOT) = 8 (2 VAN)

TOTAL NUMBER OF PARKING SPACES PROVIDED (WEST LOT) = 36 TO 50
MINIMUM REQUIRED ACCESSIBLE PARKING SPACES = 3 (1 VAN)

SPACES PROVIDED (EAST LOT) = 3 (1 VAN)

14-16-5-5(D) MINIMUM MOTORCYCLE PARKING REQUIREMENTS (TABLE 5-5-4)

REQUIRED OFF-STREET VEHICLE PARKING SPACES = 101-150
NUMBER OF MOTORCYCLE SPACES REQUIRED = 4

SPACES PROVIDED = 4 (2 IN EAST LOT, 2 IN WEST LOT)

14-16-5-5(E) MINIMUM BICYCLE PARKING REQUIREMENTS (TABLE 5-5-5)

HIGH SCHOOL: 20% OF REQUIRED OFF-STREET PARKING SPACES
TOTAL NUMBER OF OFF-STREET PARKING SPACES REQUIRED = 148
20% OF 148 = 30 BICYCLE SPACES REQUIRED

BICYCLE SPACES PROVIDED = 30 (15 RACKS X 2 BIKES/RACK)

ZONING REQUIREMENTS

ZONING DISTRICT: MIXED USE - LOW INTENSITY ZONE DISTRICT (MX-L)
INTEGRATED DEVELOPMENT ORDINANCE
CITY OF ALBUQUERQUE, NEW MEXICO

SETBACKS:
FRONT: 5 FEET
SIDE: INTERIOR: 0 FEET, STREET SIDE: 5 FEET
REAR: 15 FEET

MAXIMUM HEIGHT: 38 FEET.

SEATING & GATHERING AREA REQUIREMENTS

QUANTITY REQUIRED: 1 PER 30,000 GSF FLOOR AREA: 111,557/30,000 = 4
QUANTITY PROVIDED: 4

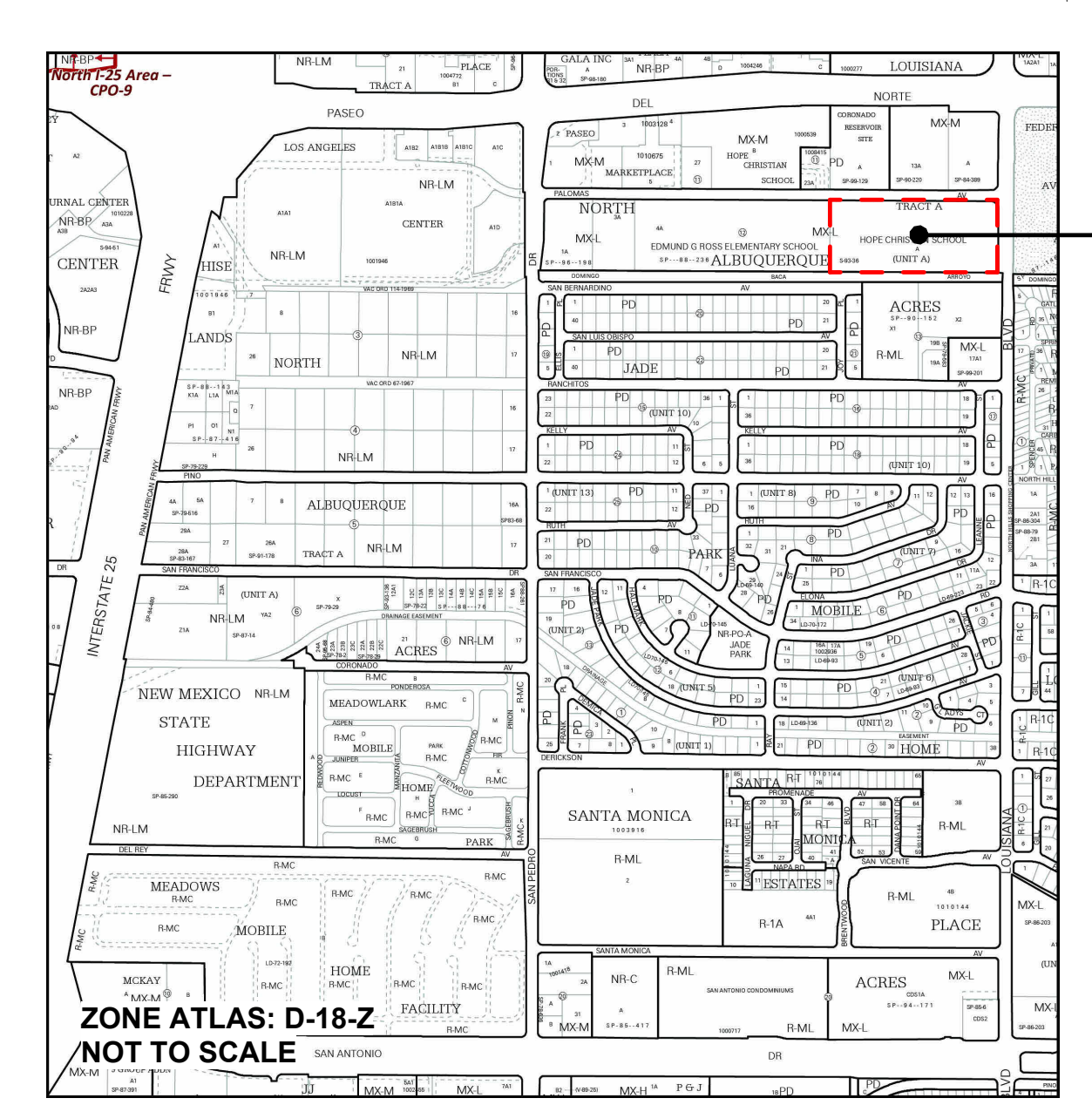
AREA REQUIRED: 400 SQUARE FEET EACH MIN.
AREA PROVIDED: 2x 1000 S.F. AREAS + 2x 500 S.F. AREAS

SHADING REQUIRED: AT LEAST 25% OF REQUIRED AREAS
SHADING PROVIDED: >20% OF REQUIRED AREAS

REQUIRED SEATING AND GATHERING AREAS SHALL BE PROVIDED WITH PEDESTRIAN-SCALE LIGHTING, STREET FURNITURE OR SEATING AREAS, AND TRASH RECEPTACLES AND SHALL BE LINKED TO THE PRIMARY ENTRANCE OF THE PRIMARY BUILDING AND THE PUBLIC SIDEWALK OR INTERNAL DRIVE AISLE OR LOCATED ADJACENT TO OR TO MAXIMIZE VIEWS TO PUBLIC OR PRIVATE OPEN SPACE. SEE LANDSCAPE PLANS FOR SITE FURNISHING.

SITE PLAN NARRATIVE:
The subject site (the Hope Christian High School campus at 6800 Palomas Ave NE), along with the nearby sites of the Hope Christian Middle School campus at 6721 Palomas Ave NE, had previously all been controlled by a Site Development Plan for Subdivision and Master Plan (COA Project #1000539), approved by the DRB in 2006. This SDP for SUB and MP expired and was automatically terminated in 2013 because less than 50% of the proposed improvements were completed within 7 years of its approval. In a 2019 DRB approval for a new Site Plan for the Hope Christian Elementary campus (PR-2019-002134, SI-2019-00056), it was determined by the DRB that any future development of the 3 aforementioned campuses, formerly controlled by the terminated SDP for SUB and MP, would henceforth be governed by separate and distinct Site Plans for each campus/site, each to be submitted and reviewed independently of one another.

The subject site is now controlled by the governing policies of the Integrated Development Ordinance (IDO), under which the proposed development falls under the Site Plan - Administrative (DFT) approval process. As no controlling Site Plan or Master Plan currently exists for the subject site, this application is being submitted as a new Site Plan, as an amendment to or extension of any prior-approved Site Plan (since the previous SDP for SUB and MP is expired).



VICINITY MAP: D-18-Z

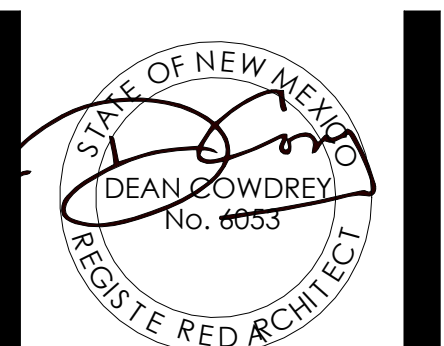
SITE ZONING: MX-L

KEYNOTE LEGEND

Key Value	Keynote Text
02.03	EXISTING CONCRETE PAVING TO REMAIN
02.15	EXISTING 6" - 0" HIGH CHAINLINK FENCE TO REMAIN
03.01	4" CONCRETE SLAB W/ BROOM FINISH - SEE CIVIL
03.09	NEW CONCRETE CURB AND GUTTER - SEE CIVIL
03.37	NEW CONCRETE ROLL CURB & GUTTER - SEE CIVIL
04.03	PARKING LOT BUFFER WALL - 3'-0" HIGH MINIMUM, 8" INTEGRALLY COLORED CMU - FINISH & COLOR TO MATCH EXISTING CMU WALLS @ HOPE CHRISTIAN MIDDLE SCHOOL. SEE STRUCTURAL FOR FOUNDATION/REINFORCING.
05.58	METAL PIPE VEHICLE ACCESS GATE, 26" MIN. CLEARANCE VEHICLE ACCESS WIDTH. SEE DETAIL.
12.01	BICYCLE RACK - "HOOP" BY DERO OR APPROVED EQUAL. SEE AS 201 FOR DETAILS. MIN. SPACING 4' O.C. SEE DETAIL 15/AS.201
26.12	10' POLE LIGHT, INDIRECT - SEE ELECTRICAL
26.13	ARCHITECTURAL AREA LIGHT, TYPE V OPTICS, 20' SQUARE POLE - SEE ELECTRICAL
32.02	NEW ASPHALT PAVING - SEE CIVIL
32.10	NEW 6'-0" HIGH CHAINLINK FENCE
32.34	NEW LANDSCAPED AREA. SEE CIVIL AND LANDSCAPE
32.40	SPEED BUMP, TYPICAL. SEE CIVIL
32.42	TRAFFIC DIRECTORY SIGN - "PARKING, ADMINISTRATION, HIGH SCHOOL DROP-OFF"
32.43	TRAFFIC SIGN - "WRONG WAY, DO NOT ENTER"
32.44	REQUIRED SEATING AND GATHERING AREA. SEE SEATING AND GATHERING AREA REQUIREMENTS ON THIS SHEET
32.45	NEW CROSSWALK STRIPING
32.46	EXISTING CROSSWALK TO REMAIN - STRIPING TO BE REPAINTED
32.48	PAINTED LETTERING - "RIGHT TURN ONLY"
32.50	TRAFFIC SIGN "RIGHT TURN ONLY" - SEE AS. 103 FOR DETAIL

REVISION SCHEDULE

#	Date	Description
1	01/25/23	PERMIT REVIEW REVISIONS
2	03/18/24	TRAFFIC REVIEW REVISIONS



HOPE CHRISTIAN HIGH SCHOOL
30' - 1"

HOPE
12' - 8"
55' - 3"

3' - 0"
6800
A
SIGN AREA: 7 SF

APPLICABLE SIGN RESTRICTIONS:

PER IDO 14-16-5-12(F)(2):

WALL SIGN:

NUMBER, MAXIMUM: N/A

AREA, MAXIMUM: SHALL NOT EXCEED 10% OF FACADE AREA

LOCATION: WHERE THERE IS NO SIDE SETBACK BETWEEN 2 ESTABLISHMENT FRONTAGES IN THE SAME OR ABUTTING BUILDINGS, NO WALL SIGN MAY EXTEND CLOSER THAN 2 FEET TO THE SHARED EDGE OF THE FRONTAGE.

CANOPY SIGN:

NUMBER, MAXIMUM: 1 / ESTABLISHMENT FRONTAGE

WIDTH, MAXIMUM: 50% OF BUILDING FRONTAGE WIDTH

HEIGHT OF MESSAGE SURFACE, MAXIMUM: LETTERS AND IMAGES MUST BE LOCATED ON VERTICAL SURFACES, WHICH MAY NOT EXCEED 18 IN. HEIGHT.

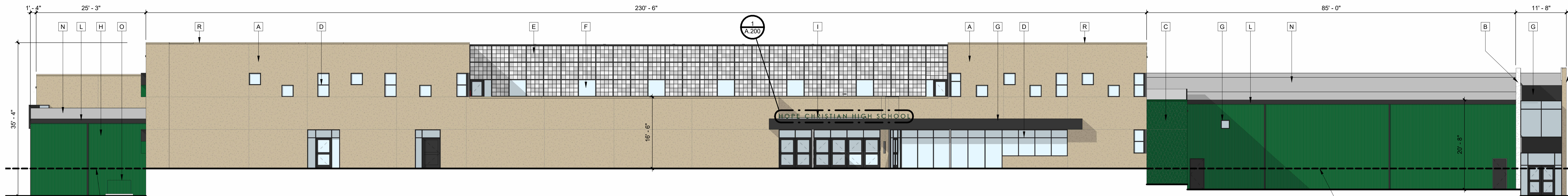
LEGEND:

- A STUCCO, COLOR TO MATCH EL REY "COTTONWOOD"
- B STUCCO, COLOR WHITE
- C STUCCO, COLOR TO MATCH DUNN EDWARDS "LATER GATOR" DE 5678
- D ALUMINUM STOREFRONT FRAMING, DARK BRONZE
- E TRANSLUCENT FIBERGLASS FACADE, 3 TONES OF GRAY
- F CLEAR INSULATED GLAZING
- G METAL FASCIA, DARK BRONZE
- H EXISTING METAL SIDING TO BE PAINTED GREEN
- I ENTRY SIGN, CAST ALUMINUM LETTERS, GREEN
- J ADDRESS SIGN, CAST ALUMINUM LETTERS, GREEN
- K PAINTED WALL GRAPHIC, GREEN
- L GUTTER AND DOWNSPOUTS, DARK BRONZE
- M PROJECTING ALUMINUM SHADE FINS, DARK BRONZE / GREEN
- N EXISTING METAL ROOF TO REMAIN
- O GROUND MOUNTED ELECTRICAL TRANSFORMER
- P METAL FASCIA, GREEN
- Q STEEL SHADE CANOPY, PAINTED DARK BRONZE
- R ROOF MOUNTED MECHANICAL EQUIPMENT SCREENED BY PARAPET.

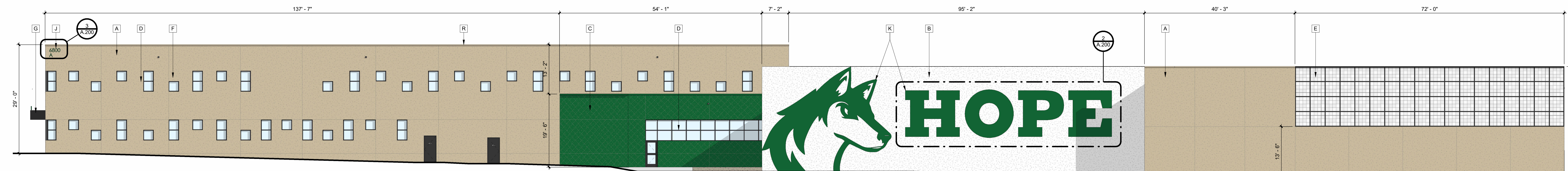
1 ENTRY SIGN (CANOPY MOUNTED)
1/4" = 1'-0"
SIGN AREA: 31 SF

2 PAINTED WALL GRAPHIC
3/16" = 1'-0"
SIGN AREA: 700 SF

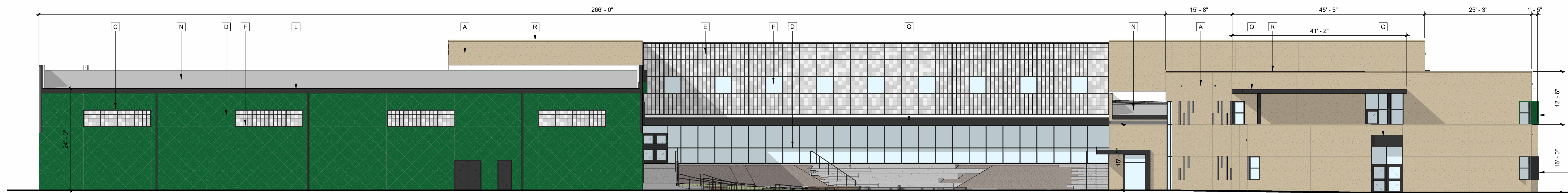
3 ADDRESS SIGN (WALL MOUNTED)
1/4" = 1'-0"
SIGN AREA: 7 SF



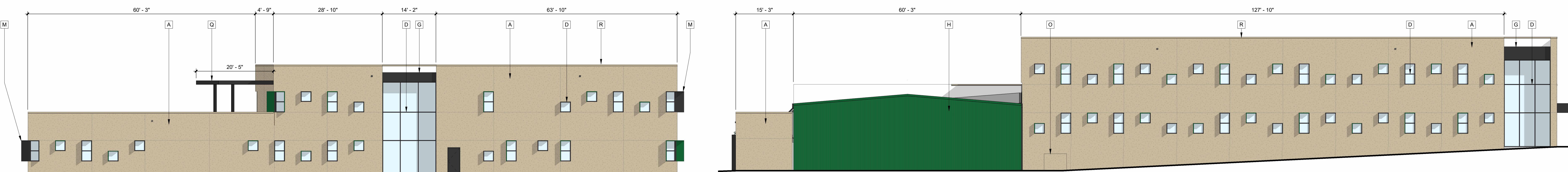
EAST ELEVATION
3/32" = 1'-0"



NORTH ELEVATION
3/32" = 1'-0"



WEST ELEVATION
3/32" = 1'-0"



SOUTH ELEVATION
3/32" = 1'-0"

REVISION SCHEDULE

#	Date	Description

Elliot Hield

From: Flores, Suzanna A. <Suzannaflores@cabq.gov>
Sent: Wednesday, May 15, 2024 2:32 PM
To: Elliot Hield
Subject: 6800 Palomas Ave NE_Public Notice Inquiry Sheet Submission
Attachments: ZONE ATLAS MAP - D-18-Z.pdf

PLEASE NOTE:

The neighborhood association contact information listed below is valid for 30 calendar days after today's date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	Association Email	First Name	Last Name	Email	Address Line 1	C
Palomas Park NA	palomaspark@gmail.com	David	Marsh	wmarsh7@comcast.net	7504 Laster Avenue NE	A
Palomas Park NA	palomaspark@gmail.com	Ann	Wagner	annwagner10@gmail.com	7209 Gallinas Avenue NE	A

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application. <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf.
- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s):

<http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you,

Suzie



Suzie Flores

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque

(505) 768-3334 Office

E-mail: suzannaflores@cabq.gov

Website: www.cabq.gov/neighborhoods

From: webmaster@cabq.gov <webmaster@cabq.gov>

Sent: Wednesday, May 15, 2024 9:00 AM

To: Office of Neighborhood Coordination <elliott@romaarc.com>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Public Notice Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Public Notice Inquiry For:

Other (please specify in field below)

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Site Plan Administrative DFT

Contact Name

Elliot Hield

Telephone Number

5053109068

Email Address

elliott@romaarc.com

Company Name

ROMA Architecture
Company Address
912 Roma Ave NW
City
Albuquerque
State
NM
ZIP
87102

Legal description of the subject site for this project:
Hope Christian School, Block 12, Tract A, Unit A, North Albuquerque Acres, as the same is shown and designated of the Plat entitled "PLAT OF HOPE CHRISTIAN SCHOOL, BLOCK 12, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 24, 1994, in Volume 94C, folio 97.

Physical address of subject site:
6800 Palomas Ave NE, Albuquerque, NM 87109

Subject site cross streets:
Louisiana Blvd NE and Palomas Ave NE

Other subject site identifiers:
Hope Christian High School

This site is located on the following zone atlas page:
D-18-Z

Captcha
x

[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque Administrative Review/Decision – Electronic Mail

Date of Notice*: 05/15/2024

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA) *: PALOMAS PARK NA

Name of NA Representative*: ANN WAGNER

Email Address* or Mailing Address* of NA Representative¹: ANNWAGNER10@GMAIL.COM

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 6800 PALOMAS AVE NE, ALBUQUERQUE, NM 87109
Location Description HOPE CHRISTIAN HIGH SCHOOL CAMPUS
2. Property Owner* HOPE CHRISTIAN SCHOOLS INC.
3. Agent/Applicant* [if applicable] ROMA ARCHITECTURE - ELLIOT HIELD, PROJECT MANAGER
4. Application(s) Type* per IDO [Table 6-1-1](#)
 - Historic Certificate of Appropriateness – Minor
 - Sign Permit
 - Alternative Signage Plan
 - Wall/Fence Permit
 - Site Plan – Administrative²

Summary of project/request*:

APPLICATION FOR NEW SITE PLAN - ADMINISTRATIVE (DFT) FOR THE CAMPUS OF HOPE CHRISTIAN HIGH SCHOOL. PLEASE NOTE: YOU AND ALL OTHER REPRESENTATIVES OF AFFECTED NEIGHBORHOOD ASSOCIATIONS WERE SENT AN OFFICIAL NEIGHBORHOOD MEETING REQUEST ON 05/15/2024 AS REQUIRED BY THE IDO.

5. This application will be decided by staff. Please contact devhelp@cabq.gov or call the Planning Department at 505-924-3860 to speak with staff.

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Usually submitted and reviewed as part of building permit application, which can be searched by address here: <https://posse.cabq.gov/posse/pub/lms/Login.aspx>

[Note: Items with an asterisk (*) are required.]

6. Where more information about the project can be found^{*3}:
CONTACT ELLIOT HIELD - ELLIOT@ROMAARC.COM

Information Required for Email Notice by IDO Subsection 6-4(K)(1)(b):

1. Zone Atlas Page(s)^{*4} D-18-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project^{*}:

Deviation(s) Variance(s)⁵ Waiver(s)⁶

Explanation^{*}:

4. Pre-submittal Neighborhood Meeting: Not Required
5. **For Site Plan – Administrative Applications only^{*}**, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas. ^{*}
- b. Access and circulation for vehicles and pedestrians. ^{*}
- c. Maximum height of any proposed structures, with building elevations. ^{*}
- d. **For residential development^{*}**: Maximum number of proposed dwelling units.
- e. **For non-residential development^{*}**:
- Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁷:

1. Area of Property [typically in acres] 8.55
2. IDO Zone District MX-L
3. Overlay Zone(s) [if applicable] N/A
4. Center or Corridor Area [if applicable] N/A

³ Address (mailing or email), phone number, or website to be provided by the applicant

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[Note: Items with an asterisk (*) are required.]

Current Land Use(s) [vacant, if none] HIGH SCHOOL CAMPUS

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting within 15 days of the date of this notice. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

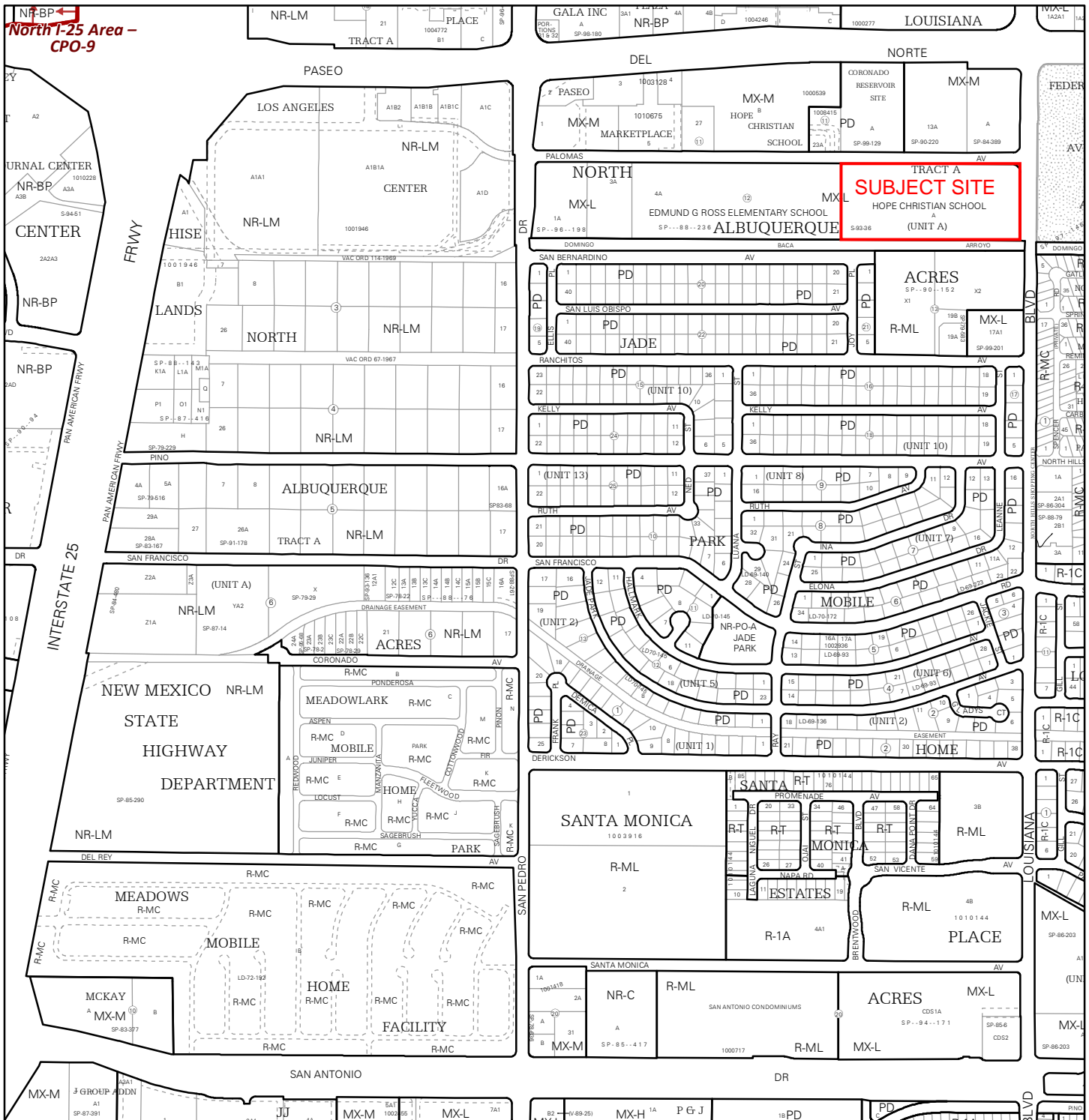
Integrated Development Ordinance (IDO):

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Cc: _____ [Other Neighborhood Associations, if any]



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

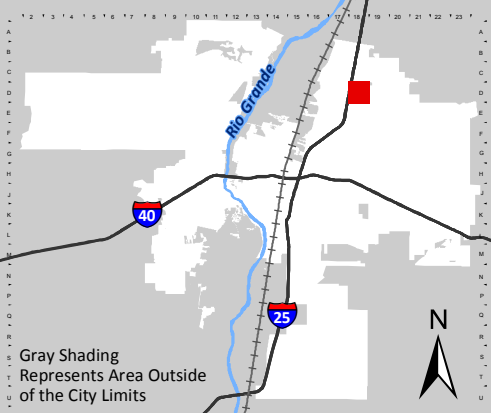
IDO Zone Atlas

May 2018



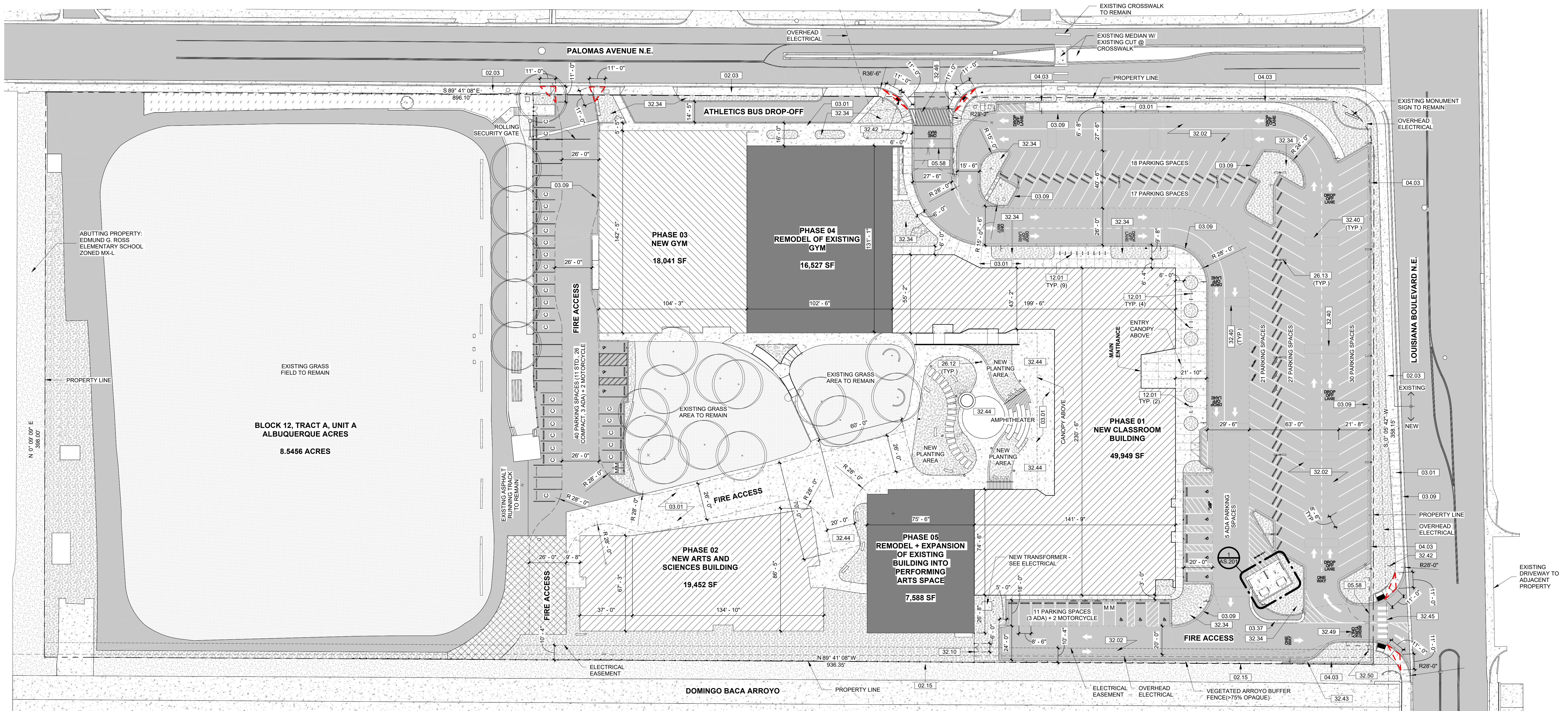
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 The Zone Districts and Overlay Zones
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Zone Atlas Page:
D-18-Z



- Easement
- Escarpment
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0 250 500 1,000 Feet



1 SITE PLAN
1" = 30'-0"

PROJECT NUMBER:

APPLICATION NUMBER:

IS AN INFRASTRUCTURE LIST REQUIRED (X) YES () NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DEF. SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
ABCWUA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
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CODE ENFORCEMENT	DATE
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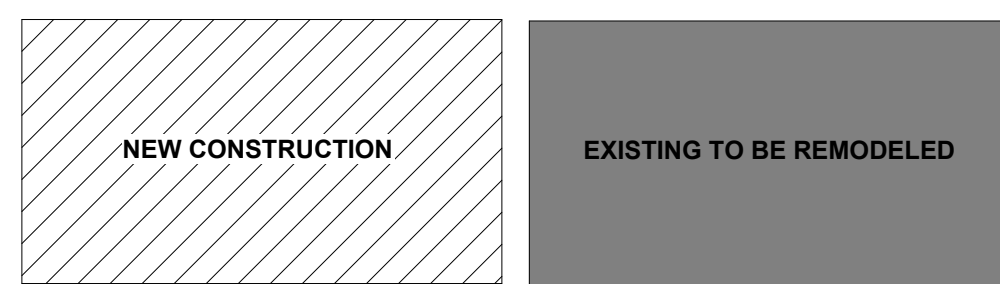
SITE PLAN KEY / SHEET INDEX

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AS.201	SITE DETAILS
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LP.102	LANDSCAPING PLAN
C.100	GENERAL NOTES
C.101	CONCEPTUAL GRADING & DRAINAGE
C.102	FIRE 1
C.105	GRADING & DRAINAGE
C.106	UTILITY PLAN
A.200	BUILDING ELEVATIONS

BUILDING AREA BY PHASE CONSTRUCTION STARTS

PHASE	LEVEL	AREA (SF)	STARTS
PHASE 01	LEVEL 1	28,388 SF	05/2024
	LEVEL 2	21,561 SF	
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TOTAL BUILDING AREA:		111,557 SF	

BUILDING LEGEND:



LEGAL DESCRIPTION

HOPE CHRISTIAN SCHOOL, BLOCK 12, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, AS THE SAME IS SHOWN AND DESIGNATED OF THE PLAT ENTITLED "PLAT OF HOPE CHRISTIAN SCHOOL, BLOCK 12, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 24, 1994, IN VOLUME 940, FOLIO 97.

PARKING REQUIREMENTS AND PROVISIONS

ZONING CODE: CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE

14-16-5-1 MINIMUM OFF-STREET PARKING REQUIREMENTS

HIGH SCHOOL: 1 SPACE / 4 SEATS IN MAIN AUDITORIUM OR 3 SPACES / CLASSROOM WHICHEVER IS GREATER
MAIN AUDITORIUM SEATS 591 OCCUPANTS (CONCENTRATED; CHAIRS ONLY - NOT FIXED)
591 SEATS / 4

= 148 SPACES REQUIRED
SINCE OVER 20 SPACES ARE REQUIRED, UP TO 25% CAN BE COMPACT SPACES

STANDARD	132
COMPACT	28
ACCESSIBLE	11
(-23% OF TOTAL SPACES PROVIDED)	

TOTAL SPACES PROVIDED = 148

14-16-5-5(C)(8) ACCESSIBLE PARKING (PER 2010 ADA STANDARDS TABLE 208.2)

TOTAL NUMBER OF PARKING SPACES PROVIDED (EAST LOT) = 101 TO 150
MINIMUM REQUIRED ACCESSIBLE PARKING SPACES = 8 (2 VAN)

SPACES PROVIDED (EAST LOT) = 8 (2 VAN)

TOTAL NUMBER OF PARKING SPACES PROVIDED (WEST LOT) = 36 TO 50
MINIMUM REQUIRED ACCESSIBLE PARKING SPACES = 3 (1 VAN)

SPACES PROVIDED (EAST LOT) = 3 (1 VAN)

14-16-5-5(D) MINIMUM MOTORCYCLE PARKING REQUIREMENTS (TABLE 5-5-4)

REQUIRED OFF-STREET VEHICLE PARKING SPACES = 101-150
NUMBER OF MOTORCYCLE SPACES REQUIRED = 4

SPACES PROVIDED = 4 (2 IN EAST LOT, 2 IN WEST LOT)

14-16-5-5(E) MINIMUM BICYCLE PARKING REQUIREMENTS (TABLE 5-5-5)

HIGH SCHOOL: 20% OF REQUIRED OFF-STREET PARKING SPACES
TOTAL NUMBER OF OFF-STREET PARKING SPACES REQUIRED = 148
20% OF 148 = 30 BICYCLE SPACES REQUIRED

BICYCLE SPACES PROVIDED = 30 (15 RACKS X 2 BIKES/RACK)

ZONING REQUIREMENTS

ZONING DISTRICT: MIXED USE - LOW INTENSITY ZONE DISTRICT (MX-L)
INTEGRATED DEVELOPMENT ORDINANCE
CITY OF ALBUQUERQUE, NEW MEXICO

SETBACKS:
FRONT: 5 FEET
SIDE: INTERIOR OF FEET, STREET SIDE: 5 FEET
REAR: 15 FEET

MAXIMUM HEIGHT: 38 FEET.

SEATING & GATHERING AREA REQUIREMENTS

QUANTITY REQUIRED: 1 PER 30,000 GSF FLOOR AREA: 111,557/30,000 = 4
QUANTITY PROVIDED: 4

AREA REQUIRED: 400 SQUARE FEET EACH MIN.
AREA PROVIDED: 2x 1000 S.F. AREAS + 2x 500 S.F. AREAS

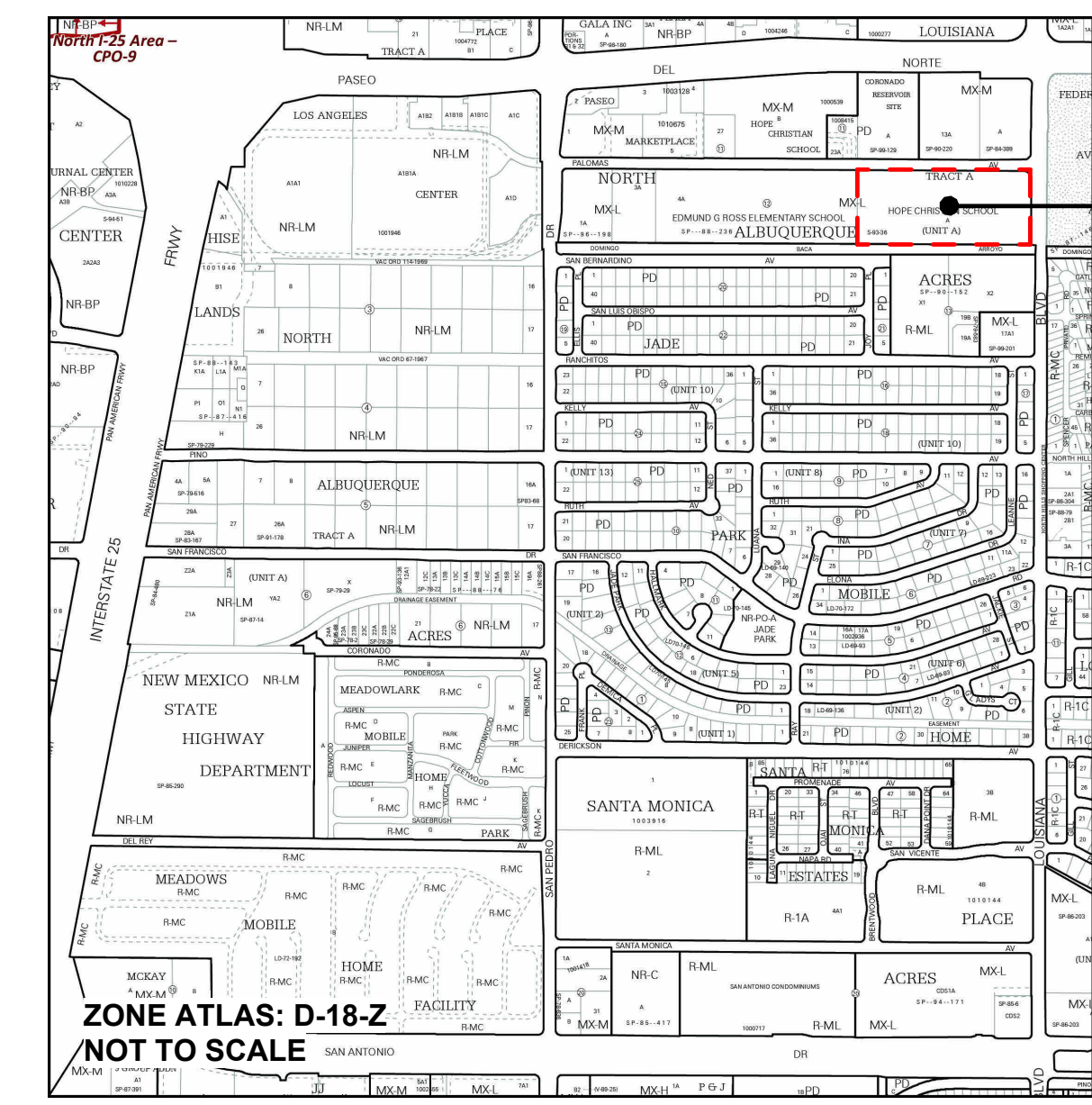
SHADING REQUIRED: AT LEAST 25% OF REQUIRED AREAS
SHADING PROVIDED: >20% OF REQUIRED AREAS

REQUIRED SEATING AND GATHERING AREAS SHALL BE PROVIDED WITH PEDESTRIAN-SCALE LIGHTING, STREET FURNITURE OR SEATING AREAS, AND TRASH RECEPTACLES AND SHALL BE LINKED TO THE PRIMARY ENTRANCE OF THE PRIMARY BUILDING AND THE PUBLIC SIDEWALK OR INTERNAL DRIVE AISLE OR LOCATED ADJACENT TO OR TO MAXIMIZE VIEWS TO PUBLIC OR PRIVATE OPEN SPACE. SEE LANDSCAPE PLANS FOR SITE FURNISHING.

SITE PLAN NARRATIVE:

The subject site (the Hope Christian High School campus at 6800 Palomas Ave NE), along with the nearby sites of the Hope Christian Middle School campus at 8001 Louisiana Blvd NE and the Hope Christian Elementary School campus at 6721 Palomas Ave NE, had previously all been controlled by a Site Development Plan for Subdivision and Master Plan (COA Project #1000539), approved by the DRB in 2006. This SDP for SUB and MP expired and was automatically terminated in 2013 because less than 50% of the proposed improvements were completed within 7 years of its approval. In a 2019 DRB approval for a new Site Plan for the Hope Christian Elementary campus (PR-2019-002134, SI-2019-00056), it was determined by the DRB that any future development of the 3 aforementioned campuses, formerly controlled by the terminated SDP for SUB and MP, would henceforth be governed by separate and distinct Site Plans for each campus/site, each to be submitted and reviewed independently of one another.

The subject site is now controlled by the governing policies of the Integrated Development Ordinance (IDO), under which the proposed development falls under the Site Plan - Administrative (DFT) approval process. As no controlling Site Plan or Master Plan currently exists for the subject site, this application is being submitted as a new Site Plan, as an amendment to or extension of any prior-approved Site Plan (since the previous SDP for SUB and MP is expired).



VICINITY MAP: D-18-Z

SITE ZONING: MX-L

KEYNOTE LEGEND

Key Value	Keynote Text
02.03	EXISTING CONCRETE PAVING TO REMAIN
02.15	EXISTING 6" - 0" HIGH CHAINLINK FENCE TO REMAIN
03.01	4" CONCRETE SLAB W/ BROOM FINISH - SEE CIVIL
03.09	NEW CONCRETE CURB AND GUTTER - SEE CIVIL
03.37	NEW CONCRETE ROLL CURB & GUTTER - SEE CIVIL
04.03	PARKING LOT BUFFER WALL - 3'-0" HIGH MINIMUM, 8" INTEGRALLY COLORED CMU - FINISH & COLOR TO MATCH EXISTING CMU WALLS @ HOPE CHRISTIAN MIDDLE SCHOOL. SEE STRUCTURAL FOR FOUNDATION/REINFORCING.
05.58	METAL PIPE VEHICLE ACCESS GATE, 26" MIN. CLEARANCE VEHICLE ACCESS WIDTH. SEE DETAIL.
12.01	BICYCLE RACK - "HOOP" BY DERO OR APPROVED EQUAL. SEE AS 201 FOR DETAILS. MIN. SPACING 4' O.C. SEE DETAIL 15/AS.201
26.12	10' POLE LIGHT, INDIRECT - SEE ELECTRICAL
26.13	ARCHITECTURAL AREA LIGHT, TYPE V OPTICS, 20' SQUARE POLE - SEE ELECTRICAL
32.02	NEW ASPHALT PAVING - SEE CIVIL
32.10	NEW 6'-0" HIGH CHAINLINK FENCE
32.34	NEW LANDSCAPED AREA - SEE CIVIL AND LANDSCAPE
32.40	SPEED BUMP, TYPICAL. SEE CIVIL
32.42	TRAFFIC DIRECTORY SIGN - "PARKING, ADMINISTRATION, HIGH SCHOOL DROP-OFF"
32.43	TRAFFIC SIGN - "WRONG WAY, DO NOT ENTER"
32.44	REQUIRED SEATING AND GATHERING AREA - SEE SEATING AND GATHERING AREA REQUIREMENTS ON THIS SHEET
32.45	NEW CROSSWALK STRIPING
32.46	EXISTING CROSSWALK TO REMAIN - STRIPING TO BE REPAINTED
32.48	PAINTED LETTERING - "RIGHT TURN ONLY"
32.50	TRAFFIC SIGN "RIGHT TURN ONLY" - SEE AS.103 FOR DETAIL

REVISION SCHEDULE

#	Date	Description
1	01/25/23	PERMIT REVIEW REVISIONS
2	03/18/24	TRAFFIC REVIEW REVISIONS



HOPE CHRISTIAN HIGH SCHOOL
30' - 1"

HOPE
12' - 8"
55' - 3"

3' - 0"
6800
A
SIGN AREA: 7 SF

1 ENTRY SIGN (CANOPY MOUNTED)
1/4" = 1'-0"
SIGN AREA: 31 SF

2 PAINTED WALL GRAPHIC
3/16" = 1'-0"
SIGN AREA: 700 SF

3 ADDRESS SIGN (WALL MOUNTED)
1/4" = 1'-0"

APPLICABLE SIGN RESTRICTIONS:

PER IDO 14-16-5-12(F)(2):

WALL SIGN:

NUMBER, MAXIMUM: N/A

AREA, MAXIMUM: SHALL NOT EXCEED 10% OF FACADE AREA

LOCATION: WHERE THERE IS NO SIDE SETBACK BETWEEN 2 ESTABLISHMENT FRONTAGES IN THE SAME OR ADJUTING BUILDINGS, NO WALL SIGN MAY EXTEND CLOSER THAN 2 FEET TO THE SHARED EDGE OF THE FRONTAGE.

CANOPY SIGN:

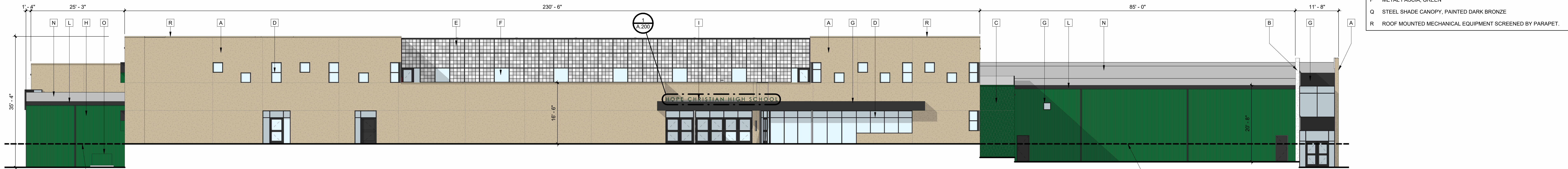
NUMBER, MAXIMUM: 1 / ESTABLISHMENT FRONTAGE

WIDTH, MAXIMUM: 50% OF BUILDING FRONTAGE WIDTH

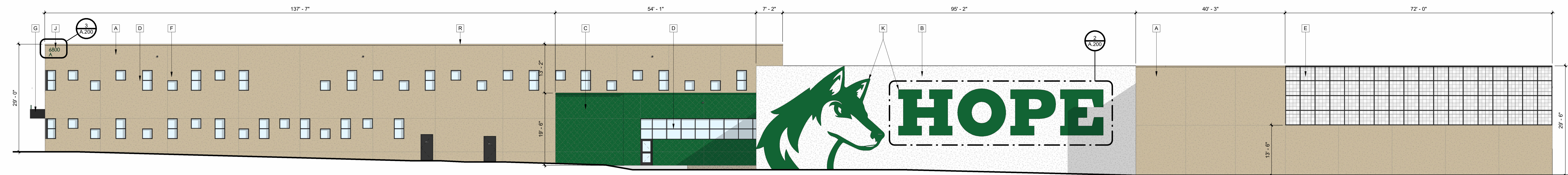
HEIGHT OF MESSAGE SURFACE, MAXIMUM: LETTERS AND IMAGES MUST BE LOCATED ON VERTICAL SURFACES, WHICH MAY NOT EXCEED 18 IN. HEIGHT.

LEGEND:

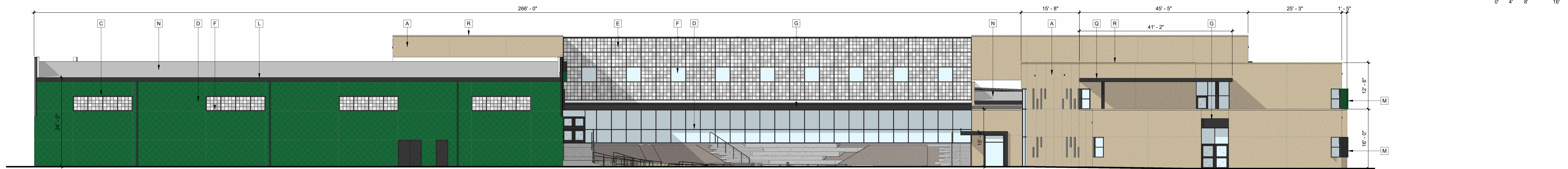
- A STUCCO, COLOR TO MATCH EL REY "COTTONWOOD"
- B STUCCO, COLOR WHITE
- C STUCCO, COLOR TO MATCH DUNN EDWARDS "LATER GATOR" DE 5678
- D ALUMINUM STOREFRONT FRAMING, DARK BRONZE
- E TRANSLUCENT FIBERGLASS FACADE, 3 TONES OF GRAY
- F CLEAR INSULATED GLAZING
- G METAL FASCIA, DARK BRONZE
- H EXISTING METAL SIDING TO BE PAINTED GREEN
- I ENTRY SIGN, CAST ALUMINUM LETTERS, GREEN
- J ADDRESS SIGN, CAST ALUMINUM LETTERS, GREEN
- K PAINTED WALL GRAPHIC, GREEN
- L GUTTER AND DOWNSPOUTS, DARK BRONZE
- M PROJECTING ALUMINUM SHADE FINS, DARK BRONZE / GREEN
- N EXISTING METAL ROOF TO REMAIN
- O GROUND MOUNTED ELECTRICAL TRANSFORMER
- P METAL FASCIA, GREEN
- Q STEEL SHADE CANOPY, PAINTED DARK BRONZE
- R ROOF MOUNTED MECHANICAL EQUIPMENT SCREENED BY PARAPET.



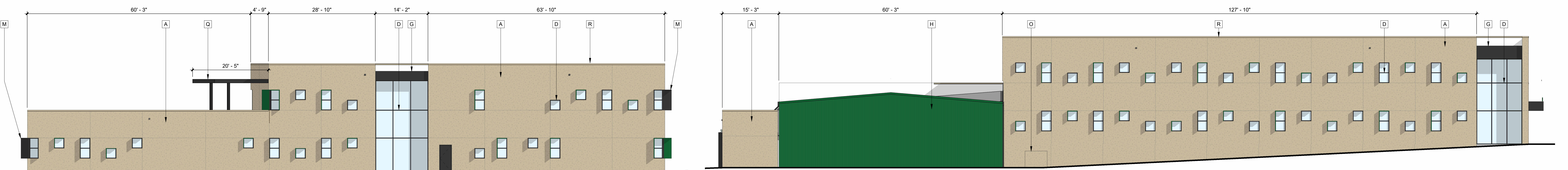
EAST ELEVATION
3/32" = 1'-0"



NORTH ELEVATION
3/32" = 1'-0"



WEST ELEVATION
3/32" = 1'-0"



SOUTH ELEVATION
3/32" = 1'-0"

REVISION SCHEDULE

#	Date	Description



[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque Administrative Review/Decision – Electronic Mail

Date of Notice*: 05/15/2024

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA) *: PALOMAS PARK NA

Name of NA Representative*: DAVID MARSH

Email Address* or Mailing Address* of NA Representative¹: WMARSH7@COMCAST.NET

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 6800 PALOMAS AVE NE, ALBUQUERQUE, NM 87109
Location Description HOPE CHRISTIAN HIGH SCHOOL CAMPUS
2. Property Owner* HOPE CHRISTIAN SCHOOLS INC.
3. Agent/Applicant* [if applicable] ROMA ARCHITECTURE - ELLIOT HIELD, PROJECT MANAGER
4. Application(s) Type* per IDO [Table 6-1-1](#)
 - Historic Certificate of Appropriateness – Minor
 - Sign Permit
 - Alternative Signage Plan
 - Wall/Fence Permit
 - Site Plan – Administrative²

Summary of project/request*:

APPLICATION FOR NEW SITE PLAN - ADMINISTRATIVE (DFT) FOR THE CAMPUS OF HOPE CHRISTIAN HIGH SCHOOL. PLEASE NOTE: YOU AND ALL OTHER REPRESENTATIVES OF AFFECTED NEIGHBORHOOD ASSOCIATIONS WERE SENT AN OFFICIAL NEIGHBORHOOD MEETING REQUEST ON 05/15/2024 AS REQUIRED BY THE IDO.

5. This application will be decided by staff. Please contact devhelp@cabq.gov or call the Planning Department at 505-924-3860 to speak with staff.

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Usually submitted and reviewed as part of building permit application, which can be searched by address here: <https://posse.cabq.gov/posse/pub/lms/Login.aspx>

[Note: Items with an asterisk (*) are required.]

- 6. Where more information about the project can be found^{*3}:
[CONTACT ELLIOT HIELD - ELLIOT@ROMAARC.COM](mailto:ELLIOT@ROMAARC.COM)

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- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
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- Waiver(s)⁶

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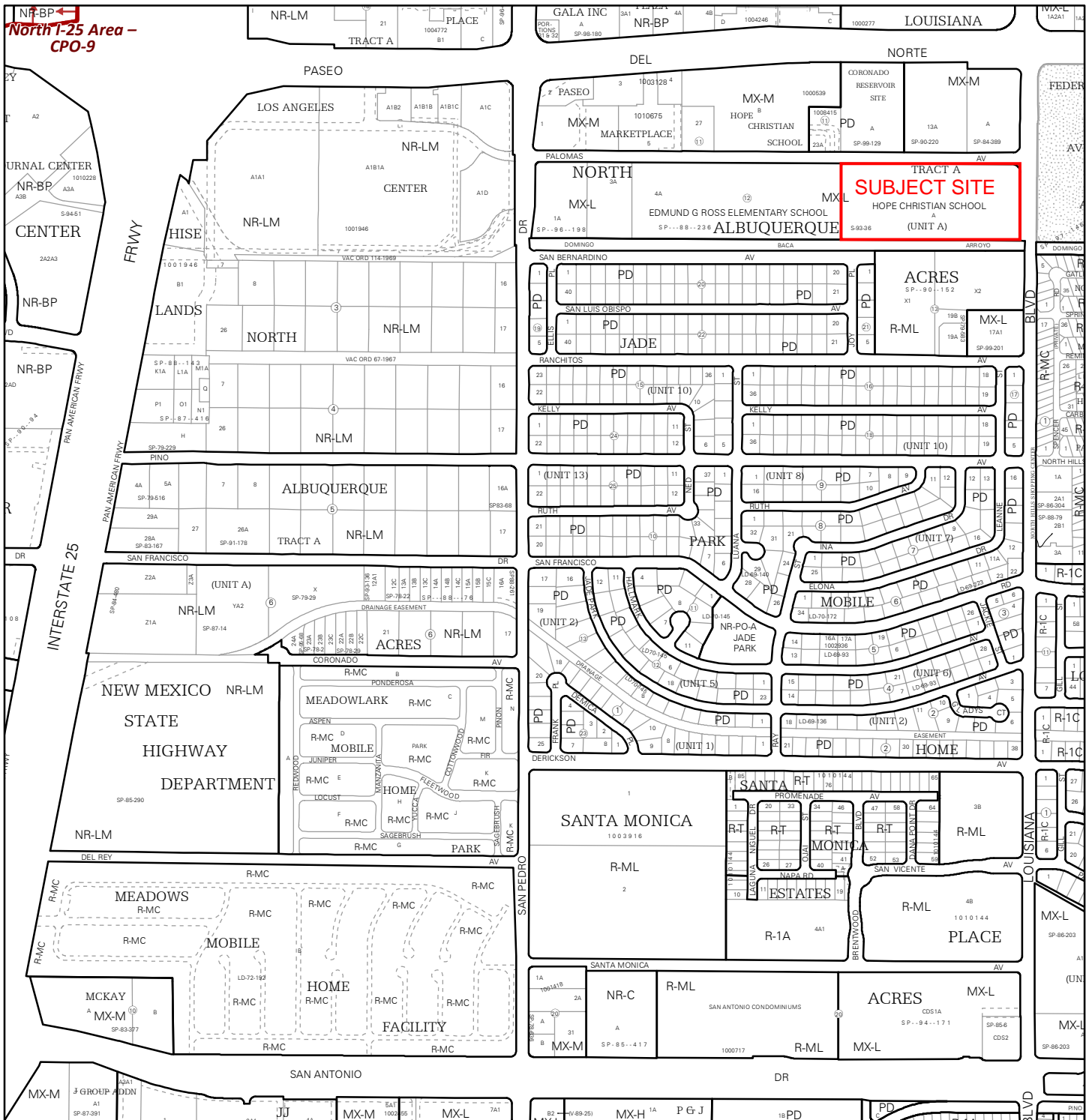
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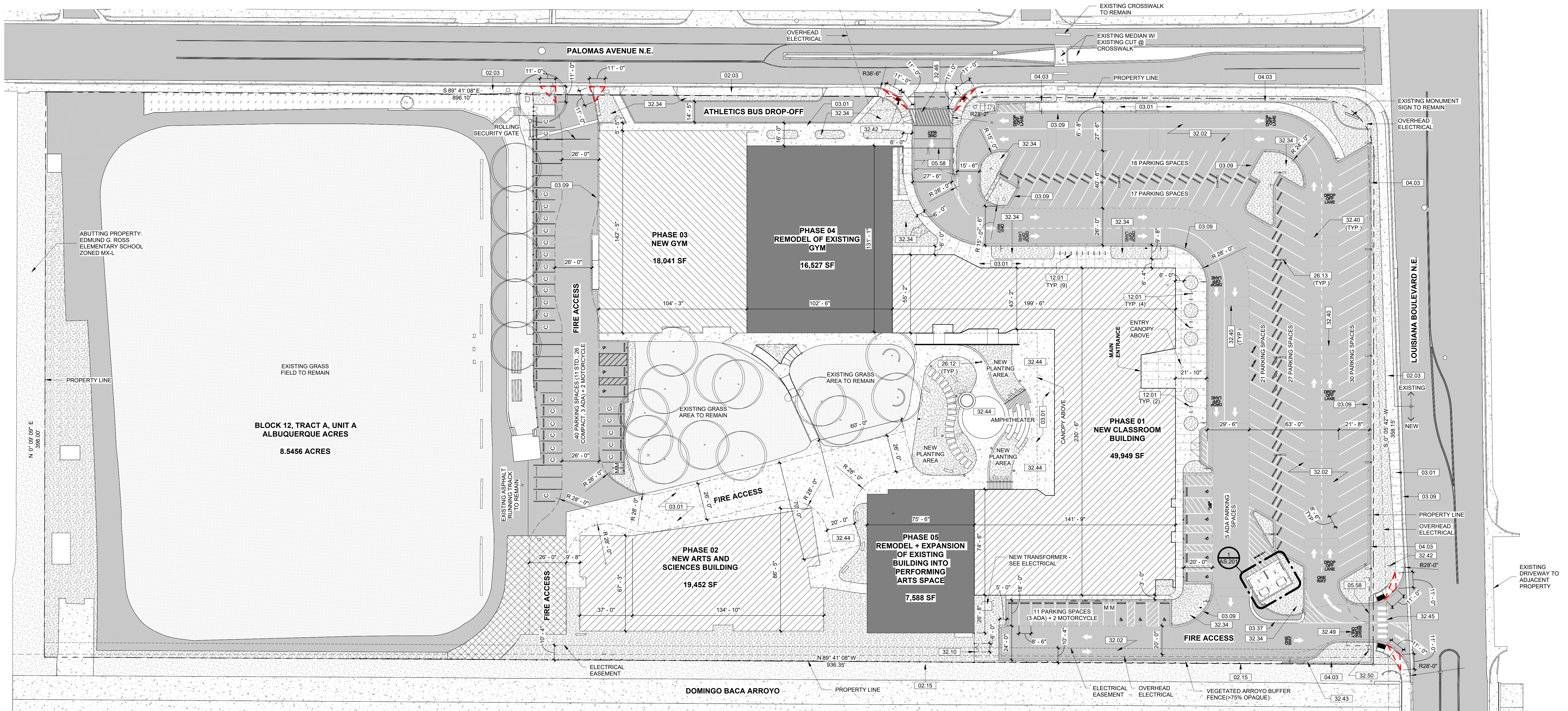
IDO Zone Atlas May 2018

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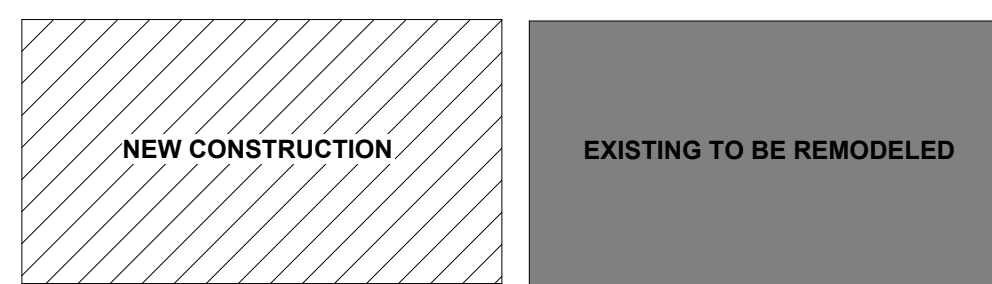
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SPACES PROVIDED (EAST LOT) = 3 (1 VAN)

14-16-5-5(D) MINIMUM MOTORCYCLE PARKING REQUIREMENTS (TABLE 5-5-4)

REQUIRED OFF-STREET VEHICLE PARKING SPACES = 101-150
NUMBER OF MOTORCYCLE SPACES REQUIRED = 4

SPACES PROVIDED = 4 (2 IN EAST LOT, 2 IN WEST LOT)

14-16-5-5(E) MINIMUM BICYCLE PARKING REQUIREMENTS (TABLE 5-5-5)

HIGH SCHOOL: 20% OF REQUIRED OFF-STREET PARKING SPACES
TOTAL NUMBER OF OFF-STREET PARKING SPACES REQUIRED = 148
20% OF 148 = 30 BICYCLE SPACES REQUIRED

BICYCLE SPACES PROVIDED = 30 (15 RACKS X 2 BIKES/RACK)

ZONING REQUIREMENTS

ZONING DISTRICT: MIXED USE - LOW INTENSITY ZONE DISTRICT (MX-L)
INTEGRATED DEVELOPMENT ORDINANCE
CITY OF ALBUQUERQUE, NEW MEXICO

SETBACKS:
FRONT: 5 FEET
SIDE: INTERIOR: 0 FEET, STREET SIDE: 5 FEET
REAR: 15 FEET

MAXIMUM HEIGHT: 38 FEET.

SEATING & GATHERING AREA REQUIREMENTS

QUANTITY REQUIRED: 1 PER 30,000 GSF FLOOR AREA: 111,557/30,000 = 4
QUANTITY PROVIDED: 4

AREA REQUIRED: 400 SQUARE FEET EACH MIN.
AREA PROVIDED: 2x 1000 S.F. AREAS + 2x 500 S.F. AREAS

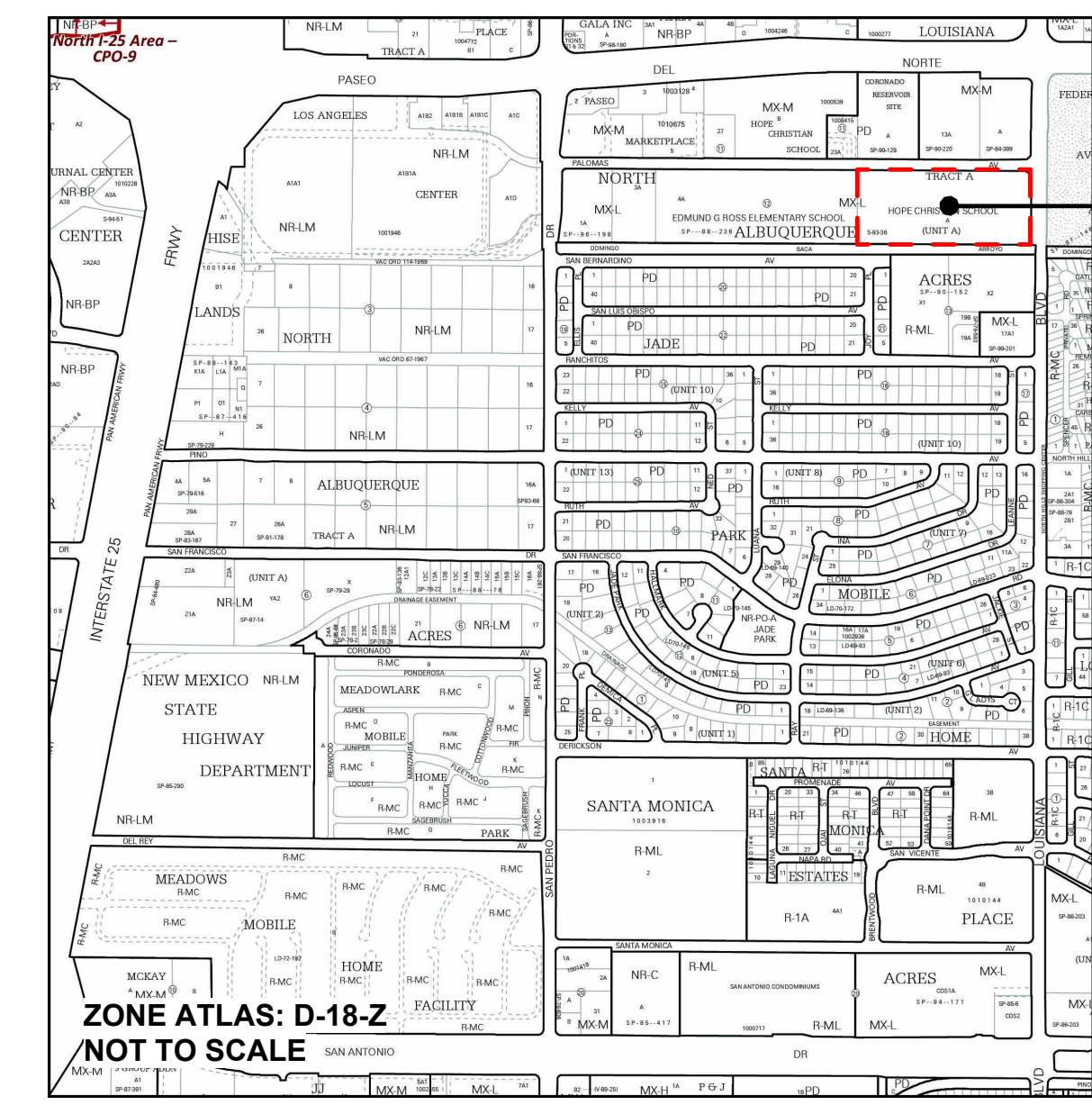
SHADING REQUIRED: AT LEAST 25% OF REQUIRED AREAS
SHADING PROVIDED: >20% OF REQUIRED AREAS

REQUIRED SEATING AND GATHERING AREAS SHALL BE PROVIDED WITH PEDESTRIAN-SCALE LIGHTING, STREET FURNITURE OR SEATING AREAS, AND TRASH RECEPTACLES AND SHALL BE LINKED TO THE PRIMARY ENTRANCE OF THE PRIMARY BUILDING AND THE PUBLIC SIDEWALK OR INTERNAL DRIVE AISLE OR LOCATED ADJACENT TO OR TO MAXIMIZE VIEWS TO PUBLIC OR PRIVATE OPEN SPACE. SEE LANDSCAPE PLANS FOR SITE FURNISHING.

SITE PLAN NARRATIVE:

The subject site (the Hope Christian High School campus at 6800 Palomas Ave NE), along with the nearby sites of the Hope Christian Middle School campus at 8001 Louisiana Blvd NE and the Hope Christian Elementary School campus at 6721 Palomas Ave NE, had previously all been controlled by a Site Development Plan for Subdivision and Master Plan (COA Project #1000539), approved by the DRB in 2006. This SDP for SUB and MP expired and was automatically terminated in 2013 because less than 50% of the proposed improvements were completed within 7 years of its approval. In a 2019 DRB approval for a new Site Plan for the Hope Christian Elementary campus (PR-2019-002134, SI-2019-00056), it was determined by the DRB that any future development of the 3 aforementioned campuses, formerly controlled by the terminated SDP for SUB and MP, would henceforth be governed by separate and distinct Site Plans for each campus/site, each to be submitted and reviewed independently of one another.

The subject site is now controlled by the governing policies of the Integrated Development Ordinance (IDO), under which the proposed development falls under the Site Plan - Administrative (DFT) approval process. As no controlling Site Plan or Master Plan currently exists for the subject site, this application is being submitted as a new Site Plan, as an amendment to or extension of any prior-approved Site Plan (since the previous SDP for SUB and MP is expired).



VICINITY MAP: D-18-Z

SITE ZONING: MX-L

KEYNOTE LEGEND

Key Value	Keynote Text
02.03	EXISTING CONCRETE PAVING TO REMAIN
02.15	EXISTING 6" - 0" HIGH CHAINLINK FENCE TO REMAIN
03.01	4" CONCRETE SLAB W/ BROOM FINISH - SEE CIVIL
03.09	NEW CONCRETE CURB AND GUTTER - SEE CIVIL
03.37	NEW CONCRETE ROLL CURB & GUTTER - SEE CIVIL
04.03	PARKING LOT BUFFER WALL - 3'-0" HIGH MINIMUM, 8" INTEGRALLY COLORED CMU - FINISH & COLOR TO MATCH EXISTING CMU WALLS @ HOPE CHRISTIAN MIDDLE SCHOOL. SEE STRUCTURAL FOR FOUNDATION/REINFORCING.
05.58	METAL PIPE VEHICLE ACCESS GATE, 26" MIN. CLEARANCE VEHICLE ACCESS WIDTH. SEE DETAIL.
12.01	BICYCLE RACK - "HOOP" BY DERO OR APPROVED EQUAL. SEE AS 201 FOR DETAILS. MIN. SPACING 4' O.C. SEE DETAIL 15/AS.201
26.12	10' POLE LIGHT, INDIRECT - SEE ELECTRICAL
26.13	ARCHITECTURAL AREA LIGHT, TYPE V OPTICS, 20' SQUARE POLE - SEE ELECTRICAL
32.02	NEW ASPHALT PAVING - SEE CIVIL
32.10	NEW 6'-0" HIGH CHAINLINK FENCE
32.34	NEW LANDSCAPED AREA - SEE CIVIL AND LANDSCAPE
32.40	SPEED BUMP, TYPICAL. SEE CIVIL
32.42	TRAFFIC DIRECTORY SIGN - "PARKING, ADMINISTRATION, HIGH SCHOOL DROP-OFF"
32.43	TRAFFIC SIGN - "WRONG WAY, DO NOT ENTER"
32.44	REQUIRED SEATING AND GATHERING AREA - SEE SEATING AND GATHERING AREA REQUIREMENTS ON THIS SHEET
32.45	NEW CROSSWALK STRIPING
32.46	EXISTING CROSSWALK TO REMAIN - STRIPING TO BE REPAINTED
32.48	PAINTED LETTERING - "RIGHT TURN ONLY"
32.50	TRAFFIC SIGN "RIGHT TURN ONLY" - SEE AS.103 FOR DETAIL

REVISION SCHEDULE

#	Date	Description
1	01/25/23	PERMIT REVIEW REVISIONS
2	03/18/24	TRAFFIC REVIEW REVISIONS



HOPE CHRISTIAN HIGH SCHOOL
30' - 1"

HOPE
12' - 8"
55' - 3"

3' - 0"
6800
A
SIGN AREA: 7 SF

1 ENTRY SIGN (CANOPY MOUNTED)
1/4" = 1'-0"
SIGN AREA: 31 SF

2 PAINTED WALL GRAPHIC
3/16" = 1'-0"
SIGN AREA: 700 SF

3 ADDRESS SIGN (WALL MOUNTED)
1/4" = 1'-0"

APPLICABLE SIGN RESTRICTIONS:

PER IDO 14-16-5-12(F)(2):

WALL SIGN:

NUMBER, MAXIMUM: N/A

AREA, MAXIMUM: SHALL NOT EXCEED 10% OF FACADE AREA

LOCATION: WHERE THERE IS NO SIDE SETBACK BETWEEN 2 ESTABLISHMENT FRONTAGES IN THE SAME OR ADJUTING BUILDINGS, NO WALL SIGN MAY EXTEND CLOSER THAN 2 FEET TO THE SHARED EDGE OF THE FRONTAGE.

CANOPY SIGN:

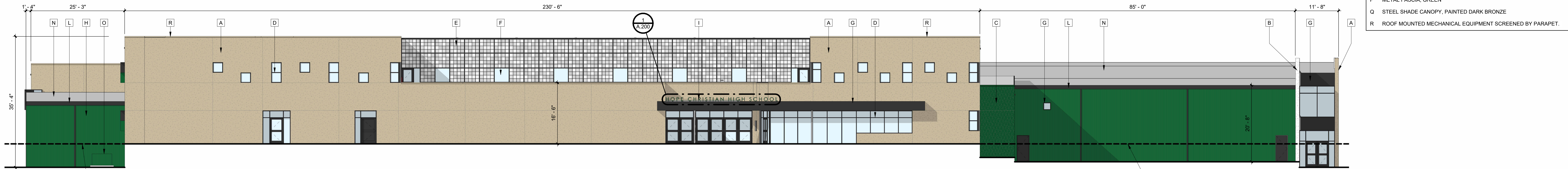
NUMBER, MAXIMUM: 1 / ESTABLISHMENT FRONTAGE

WIDTH, MAXIMUM: 50% OF BUILDING FRONTAGE WIDTH

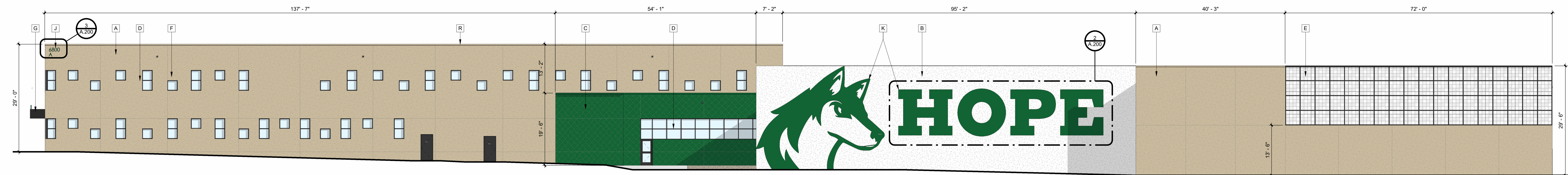
HEIGHT OF MESSAGE SURFACE, MAXIMUM: LETTERS AND IMAGES MUST BE LOCATED ON VERTICAL SURFACES, WHICH MAY NOT EXCEED 18 IN. HEIGHT.

LEGEND:

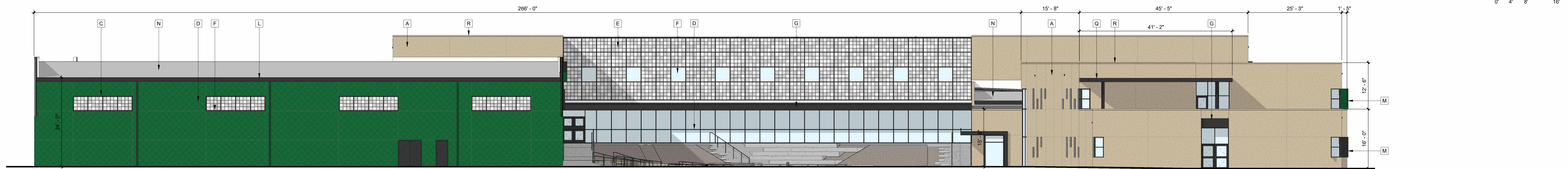
- A STUCCO, COLOR TO MATCH EL REY "COTTONWOOD"
- B STUCCO, COLOR WHITE
- C STUCCO, COLOR TO MATCH DUNN EDWARDS "LATER GATOR" DE 5678
- D ALUMINUM STOREFRONT FRAMING, DARK BRONZE
- E TRANSLUCENT FIBERGLASS FACADE, 3 TONES OF GRAY
- F CLEAR INSULATED GLAZING
- G METAL FASCIA, DARK BRONZE
- H EXISTING METAL SIDING TO BE PAINTED GREEN
- I ENTRY SIGN, CAST ALUMINUM LETTERS, GREEN
- J ADDRESS SIGN, CAST ALUMINUM LETTERS, GREEN
- K PAINTED WALL GRAPHIC, GREEN
- L GUTTER AND DOWNSPOUTS, DARK BRONZE
- M PROJECTING ALUMINUM SHADE FINS, DARK BRONZE / GREEN
- N EXISTING METAL ROOF TO REMAIN
- O GROUND MOUNTED ELECTRICAL TRANSFORMER
- P METAL FASCIA, GREEN
- Q STEEL SHADE CANOPY, PAINTED DARK BRONZE
- R ROOF MOUNTED MECHANICAL EQUIPMENT SCREENED BY PARAPET.



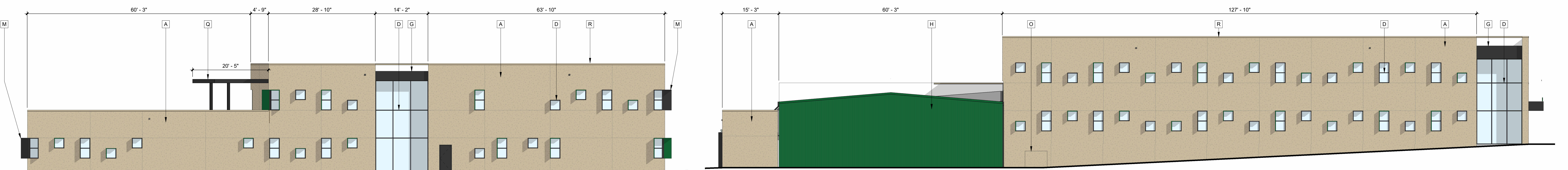
EAST ELEVATION
3/32" = 1'-0"



NORTH ELEVATION
3/32" = 1'-0"



WEST ELEVATION
3/32" = 1'-0"



SOUTH ELEVATION
3/32" = 1'-0"

REVISION SCHEDULE

#	Date	Description



Elliot Hield

From: Elliot Hield
Sent: Wednesday, May 15, 2024 3:12 PM
To: annwagner10@gmail.com
Cc: Dean Cowdrey
Subject: Public Notice - Site Plan - Hope Christian Schools
Attachments: Public Notice - AW.pdf

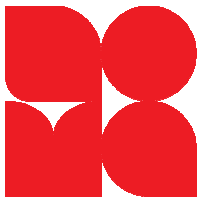
Dear Ms. Wagner,

I am writing you again on behalf of our client, Hope Christian Schools, this time in accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) "Public Notice". We are writing to notify you as a Neighborhood Association Representative that ROMA Architecture will soon be submitting an application for a new Site Plan - Administrative to be reviewed by the City of Albuquerque Planning Department's Development Facilitation Team.

You do not need to respond to this email, this notification is for informational purposes only. If you have any questions or concerns please feel free to contact me directly.

Please see the attached official Public Notice form for further details, including all relevant information required per the IDO.

Thank you,



ELLIOT HIELD, RA

Architect

ROMA ARCHITECTURE

Formerly Jon Anderson Architecture

505.764.8306 x 1004

505.310.9068

romaarc.com

Elliot Hield

From: Elliot Hield
Sent: Wednesday, May 15, 2024 3:12 PM
To: 'WMARSH7@COMCAST.NET'
Cc: Dean Cowdrey
Subject: Public Notice - Site Plan - Hope Christian Schools
Attachments: Public Notice - DM.pdf

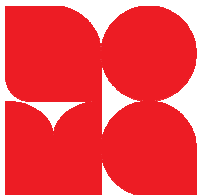
Dear Mr. Marsh,

I am writing you again on behalf of our client, Hope Christian Schools, this time in accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) "Public Notice". We are writing to notify you as a Neighborhood Association Representative that ROMA Architecture will soon be submitting an application for a new Site Plan - Administrative to be reviewed by the City of Albuquerque Planning Department's Development Facilitation Team.

You do not need to respond to this email, this notification is for informational purposes only. If you have any questions or concerns please feel free to contact me directly.

Please see the attached official Public Notice form for further details, including all relevant information required per the IDO.

Thank you,



ELLIOT HIELD, RA

Architect

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Formerly Jon Anderson Architecture

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505.310.9068

romaarc.com

PUBLIC NOTICE DOCUMENTATION

(VERSION 1 - SUBMITTED 05/10/24 - EXPIRED)

Subject: 6800 Palomas Ave NE_Neighborhood Meeting Inquiry Sheet Submission

From: Office of Neighborhood Coordination <onc@cabq.gov>

Date: 11/17/2023, 11:52 AM

To: "elliott@romaarc.com" <elliott@romaarc.com>

PLEASE NOTE:

The neighborhood association contact information listed below is valid for 30 calendar days after today's date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Phone
North Wyoming NA	William	Barry	wrbarry@msn.com	8124 Siguard Court NE	Albuquerque	NM	87109	5058211725
North Wyoming NA	Nanci	Carriveau	nancic613@hotmail.com	8309 Krim Drive NE	Albuquerque	NM	87109	5058218673

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application. <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf.
- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s):

<http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you.



Vanessa Baca

Manager

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque

(505) 768-3331 Office

E-mail: vanessabaca@cabq.gov

Website: www.cabq.gov/neighborhoods



From: webmaster@cabq.gov <webmaster@cabq.gov>

Sent: Friday, November 17, 2023 11:32 AM
To: Office of Neighborhood Coordination <elliott@romaarc.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Neighborhood Meeting Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Neighborhood Meeting Inquiry For:
Other (please specify in field below)

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Site Plan Administrative DFT

Contact Name

Elliot Hield

Telephone Number

5057648306

Email Address

elliott@romaarc.com

Company Name

ROMA Architecture

Company Address

912 Roma Ave NW

City

Albuquerque

State

NM

ZIP

87102

Legal description of the subject site for this project:

Hope Christian School, Block 12, Tract A, Unit A, North Albuquerque Acres, as the same is shown and designated of the Plat entitled "PLAT OF HOPE CHRISTIAN SCHOOL, BLOCK 12, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 24, 1994, in Volume 94C, folio 97.

Physical address of subject site:

6800 Palomas Ave NE, Albuquerque, NM 87109

Subject site cross streets:

Louisiana Blvd NE and Palomas Ave NE

Other subject site identifiers:

Hope Christian High School

This site is located on the following zone atlas page:

D-18-Z

Captcha

x

NOTE: NO NA MEETING WAS HELD BECAUSE BOTH OF THE APPLICABLE ASSOCIATION REPRESENTATIVES EITHER DECLINED OR FAILED TO RESPOND TO MEETING REQUEST WITHIN THE 15 DAY RESPONSE PERIOD. PLEASE SEE PROOF OF CORRESPONDENCE PER IDO AND APPLICATION REQUIREMENTS BELOW.

Subject: Neighborhood Meeting Request - Site Plan - Hope Christian Schools
From: Elliot Hield <elliott@romaarc.com>
Date: 11/20/2023, 4:40 PM
To: nancic613@hotmail.com
CC: Dean Cowdrey <dean@romaarc.com>

Dear Ms. Carriveau,

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(B) "Pre-Submittal Neighborhood Meeting", ROMA Architecture is contacting you on behalf of our client, Hope Christian Schools, to provide you with an opportunity to discuss a Site Plan – Administrative (DFT) proposed in or near your neighborhood in advance of submitting our application. If requested, this would be an informal meeting during which ROMA Architecture and Hope Christian Schools would present the proposal and provide an opportunity to discuss any questions, comments, or concerns you may have.

Please see attached formal Neighborhood Meeting Request for further details, including all relevant information required per the IDO. Please feel free to reach out to me directly with any questions.

Per the IDO, you have 15 days from November 20, 2023 to respond, by either 1) requesting a meeting or 2) declining the meeting. If you do not respond within 15 days, you are waiving the opportunity for a Neighborhood Meeting.

Thank you,

--



ELLIOT HIELD, RA
Architect

ROMA ARCHITECTURE
Formerly Jon Anderson Architecture

505.764.8306 x 1004
505.310.9068
romaarc.com

— Attachments: —

Neighborhood Meeting Request - NC.pdf

14.3 MB

Elliot Hield

From: NANCI CARRIVEAU <nancic613@hotmail.com>
Sent: Monday, November 27, 2023 3:51 PM
To: Elliot Hield
Subject: Re: Neighborhood Meeting Request - Hope Christian Schools

Hi, Mr. Hield ~

I did, indeed, receive your email re: the Site Plan for Hope School.

I did not respond as I have no issues with your plans; Mr. Barry doesn't read his emails very frequently so you may not hear from him. Our neighborhood association is fairly inactive these days but I do forward emails to two other board members for them to review. I assume you have not heard from them, either, as they also have no objections to your new Site Plan.

I apologize for my lack of response. If you need anything further, please let me know. I will be glad to help.

Nanci Carriveau
505-821-8673

From: Elliot Hield <elliot@romaarc.com>
Sent: Monday, November 27, 2023 3:35 PM
To: nancic613@hotmail.com <nancic613@hotmail.com>
Cc: Dean Cowdrey <dean@romaarc.com>
Subject: Neighborhood Meeting Request - Hope Christian Schools

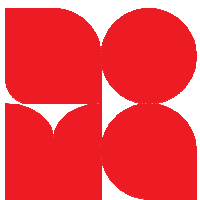
Hello Ms. Carriveau,

On Monday 11/20/23 I sent a formal Neighborhood Meeting Request to you and Mr. William Barry in regards to an upcoming application for a new Site Plan in your area. Our office has been having some issues with our emails being marked as spam recently, especially when they contain attachments. If you could, please respond to this email letting me know whether you received my earlier email or not.

Looking forward to hearing from you.

Thanks,

--



ELLIOT HIELD, RA

Architect

ROMA ARCHITECTURE

Formerly Jon Anderson Architecture

[505.764.8306](tel:505.764.8306) x 1004

[505.310.9068](tel:505.310.9068)

romaarc.com

[Note: Items with an asterisk (*) are required.]

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: 11.20.2023

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: NORTH WYOMING NA

Name of NA Representative*: NANCI CARRIVEAU

Email Address* or Mailing Address* of NA Representative¹: NANCIC613@HOTMAIL.COM

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: ELLIOT@ROMAARC.COM

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

12.06.2023 / 2:00 / ROMA ARCHITECTURE (OFFICE), 912 ROMA AVE NW,
ALBUQUERQUE, NM 87102 **AND/OR VIRTUAL IF PREFERABLE**

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 6800 PALOMAS AVE NE, ALBUQUERQUE, NM 87109
Location Description HOPE CHRISTIAN HIGH SCHOOL CAMPUS
2. Property Owner* HOPE CHRISTIAN SCHOOLS INC.
3. Agent/Applicant* [if applicable] ROMA ARCHITECTURE - ELLIOT HIELD, PROJECT MANAGER
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (*) are required.]

- Vacation _____ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: _____

Summary of project/request^{3*}:

APPLICATION FOR A NEW SITE PLAN - ADMINISTRATIVE (DFT) FOR THE CAMPUS OF HOPE CHRISTIAN HIGH SCHOOL, THE SCOPE OF WHICH INCLUDES NEW HIGH SCHOOL FACILITIES AND ASSOCIATED SITE IMPROVEMENTS

5. This type of application will be decided by*: City Staff
- OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
 - Landmarks Commission (LC) Environmental Planning Commission (EPC)
 - City Council

6. Where more information about the project can be found*⁴:
- CONTACT ELLIOT HIELD - EMAIL:
ELLIOT@ROMAARC.COM

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁵ D-18-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project*:
- Deviation(s) Variance(s) Waiver(s)

Explanation:

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1*](#): Yes No

³ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
 - a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

- 1. From the IDO Zoning Map⁶:
 - a. Area of Property [typically in acres] 8.55 ACRES
 - b. IDO Zone District MX-L
 - c. Overlay Zone(s) [if applicable] N/A
 - d. Center or Corridor Area [if applicable] N/A
 - 2. Current Land Use(s) [vacant, if none] HIGH SCHOOL CAMPUS
-

Useful Links

Integrated Development Ordinance (IDO):

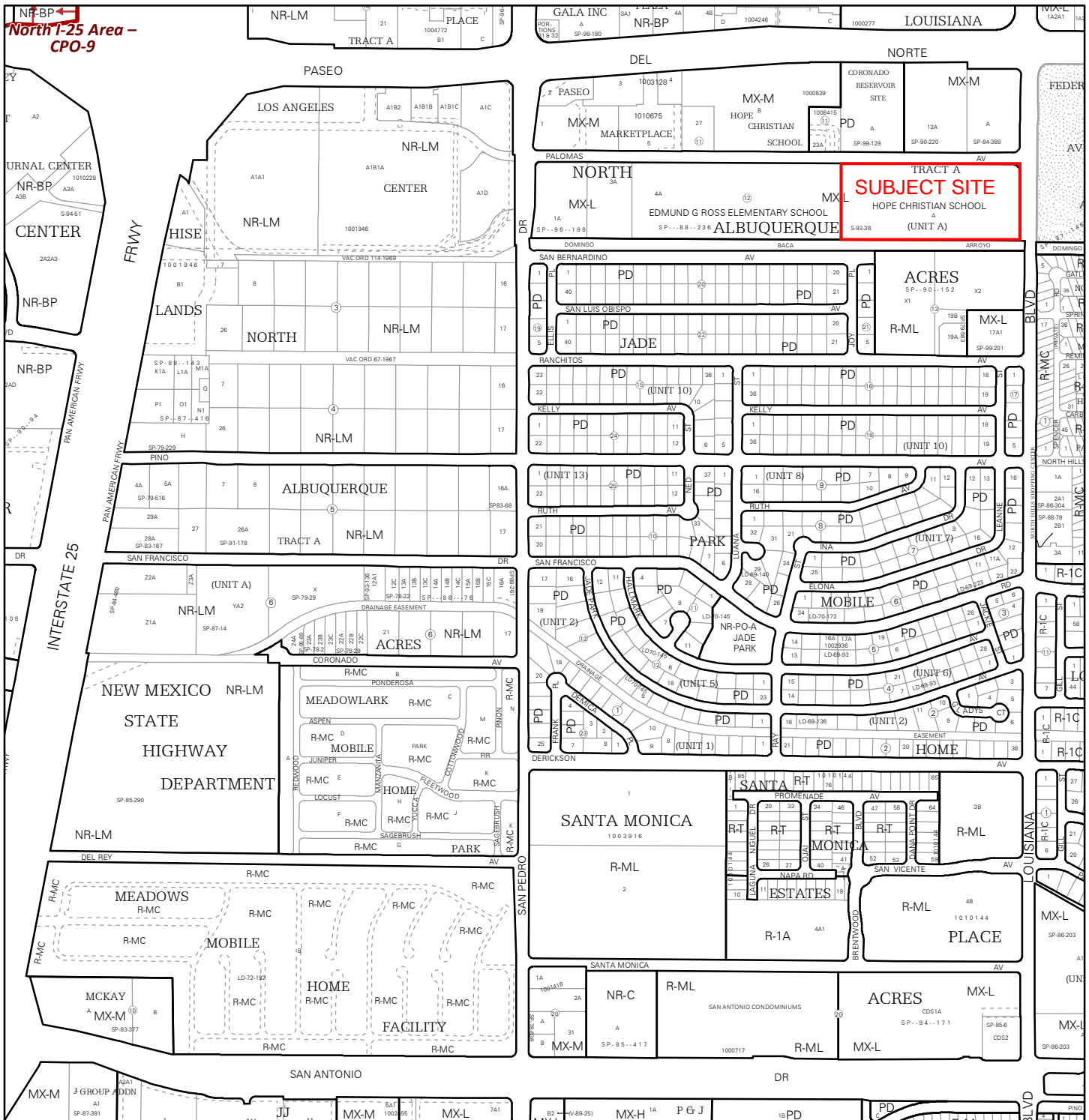
<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

Zone Atlas Page:
D-18-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading
Represents Area Outside
of the City Limits

0 250 500 1,000 Feet

City of Albuquerque Property Report



www.cabq.gov/gis

Platted Parcel Address: 6800 PALOMAS AV NE
Assessor Parcel Address: 6800 PALOMAS NE
Report Date: 11/20/2023

Bernalillo County Assessor Ownership Data

[\(Click here for more information\)](#)

Owner Name: HOPE CHRISTIAN SCHOOLS INC
Owner Address: 8005 LOUISIANA BLVD NE ALBUQUERQUE NM 87109
Uniform Property Code (UPC): 101806347445110416 **Tax Year:** 2023 **Tax District:** A1A
Legal Description: HOPE CHRISTIAN SCHOOL PLAT OF HOPE CHRISTIAN SCHOOL BLOCK 12, TRACT A UNIT A NORTH ALBUQUERQUE ACRES CONT 8.5455 AC M/LOR 372,242 SQ FT M/L
Property Class: C **Document Number:** See Bernalillo County Assessor Record Search Portal **Acres:** 8.5455

Albuquerque Planning and Zoning Data

[Bernalillo County Planning and Zoning](#)

Jurisdiction: ALBUQUERQUE **Zone Atlas Page:** [D-18](#)
IDO Zone District: [MX-L](#) **IDO District Definition:** Low Intensity
Land Use: 08 | Educational **Lot:** A/HOPE **Block:** 12 **Subdivision:** N ABQ ACRES TRACT A UNIT A
CHRISTIA
N
SCHOOL

Neighborhood Associations

[Office of Neighborhood Coordination](#)

City Recognized Neighborhood Associations: N/A

Services

Police Beat: 433 **Area Command:** NORTHEAST
Residential Trash Pickup and Recycling: Tuesday

City Council Districts

City Council District: [4 - Brook Bassan](#) **Councilor Email:** bbassan@cabq.gov
Policy Analyst: Dawn Marie Emillio **Policy Analyst Email:** dawnmarie@cabq.gov **Policy Analyst Phone #:** 505-768-3101

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[Albuquerque Public Schools](#)

Elementary School: EG ROSS **Middle School:** MCKINLEY **High School:** DEL NORTE

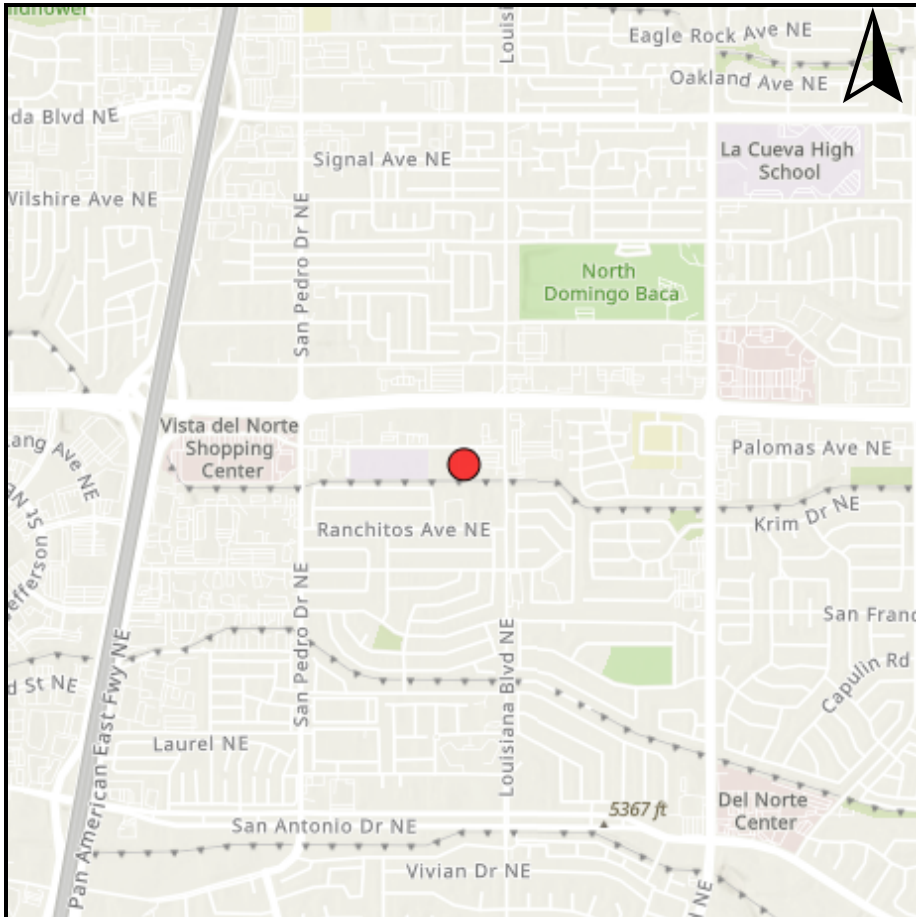
FEMA Flood Zone: X

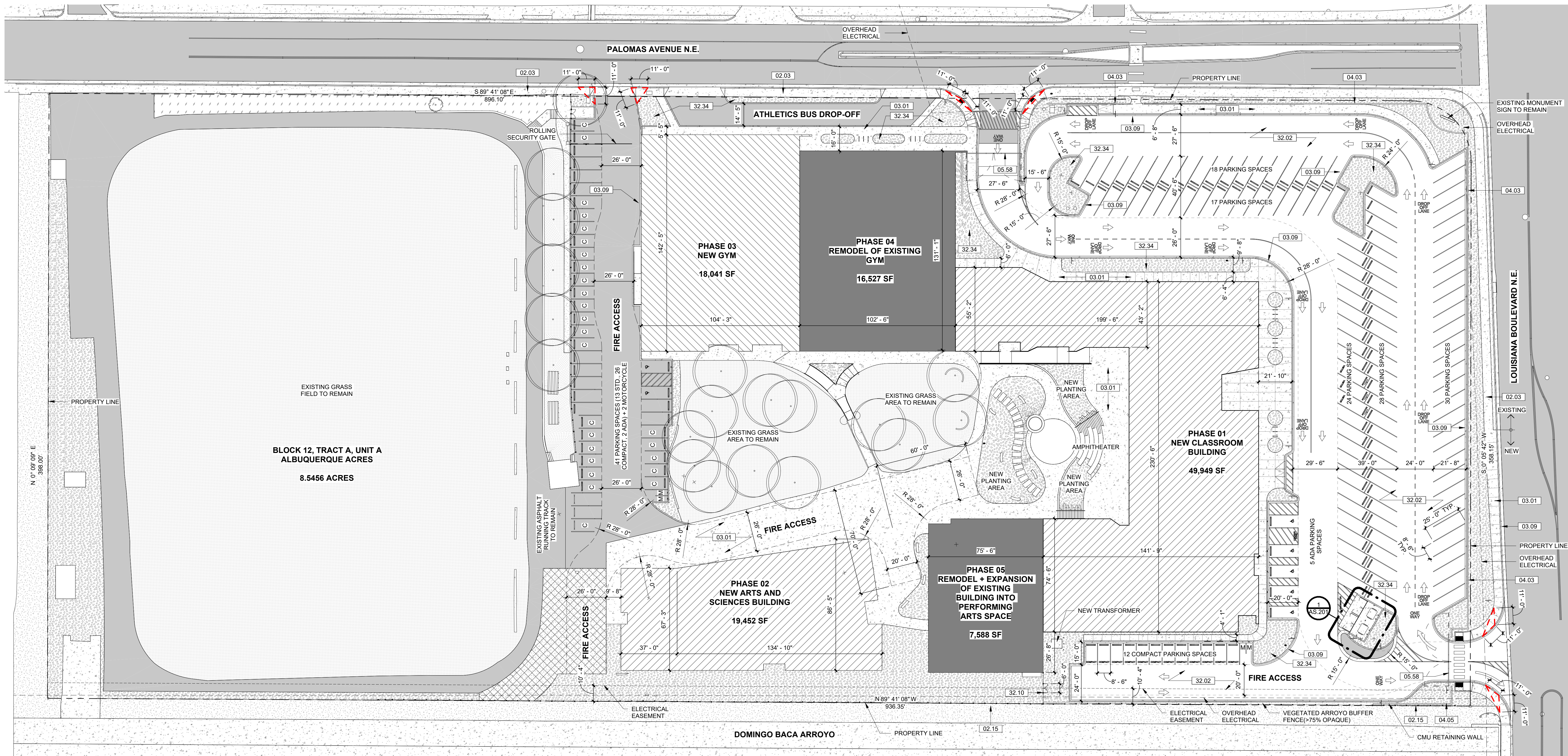
[FEMA Flood Map Service Center](#)

Property Map



Context Map





1 SITE PLAN
1" = 30'-0"

PROJECT NUMBER: _____

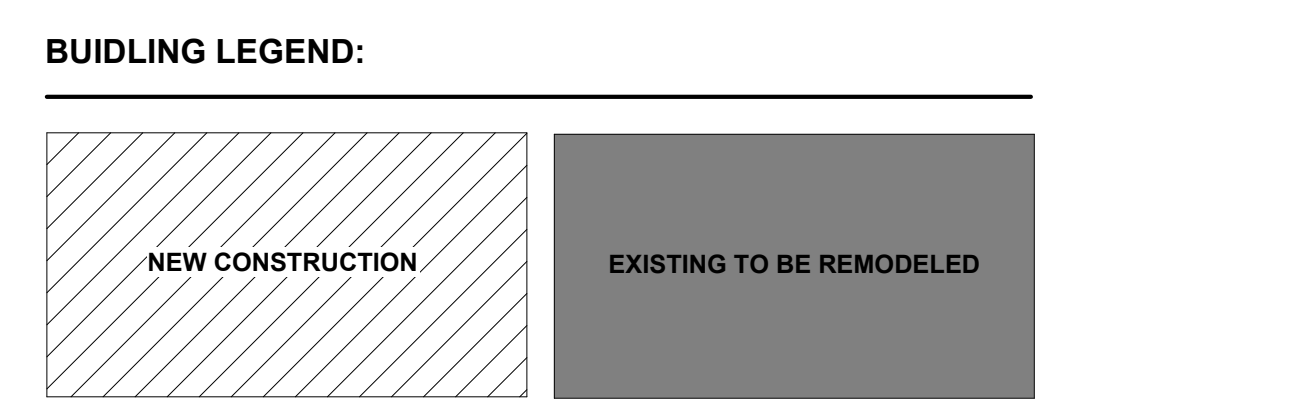
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TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
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BUILDING AREA BY PHASE		CONSTRUCTION STARTS	
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TOTAL BUILDING AREA:		111,557 SF	



PARKING REQUIREMENTS AND PROVISIONS

ZONING CODE: CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE

14-16-5-5-1 MINIMUM OFF-STREET PARKING REQUIREMENTS

HIGH SCHOOL: 1 SPACE / 4 SEATS IN MAIN AUDITORIUM OR 3 SPACES / CLASSROOM WHICHEVER IS GREATER
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591 SEATS / 4

= 148 SPACES REQUIRED
SINCE OVER 20 SPACES ARE REQUIRED, UP TO 25% CAN BE COMPACT SPACES

STANDARD 130
COMPACT 38 (-22% OF TOTAL SPACES PROVIDED)
ACCESSIBLE 7

TOTAL SPACES PROVIDED 125

14-16-5-5(C)(8) ACCESSIBLE PARKING (PER 2010 ADA STANDARDS TABLE 208.2)

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MINIMUM REQUIRED ACCESSIBLE PARKING SPACES = 5 (1 VAN)

SPACES PROVIDED (EAST LOT) = 5 (1 VAN)

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MINIMUM REQUIRED ACCESSIBLE PARKING SPACES = 2 (1 VAN)

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REQUIRED OFF-STREET VEHICLE PARKING SPACES = 101-150
NUMBER OF MOTORCYCLE SPACES REQUIRED = 4

SPACES PROVIDED = 4 (2 IN EAST LOT / 2 IN WEST LOT)

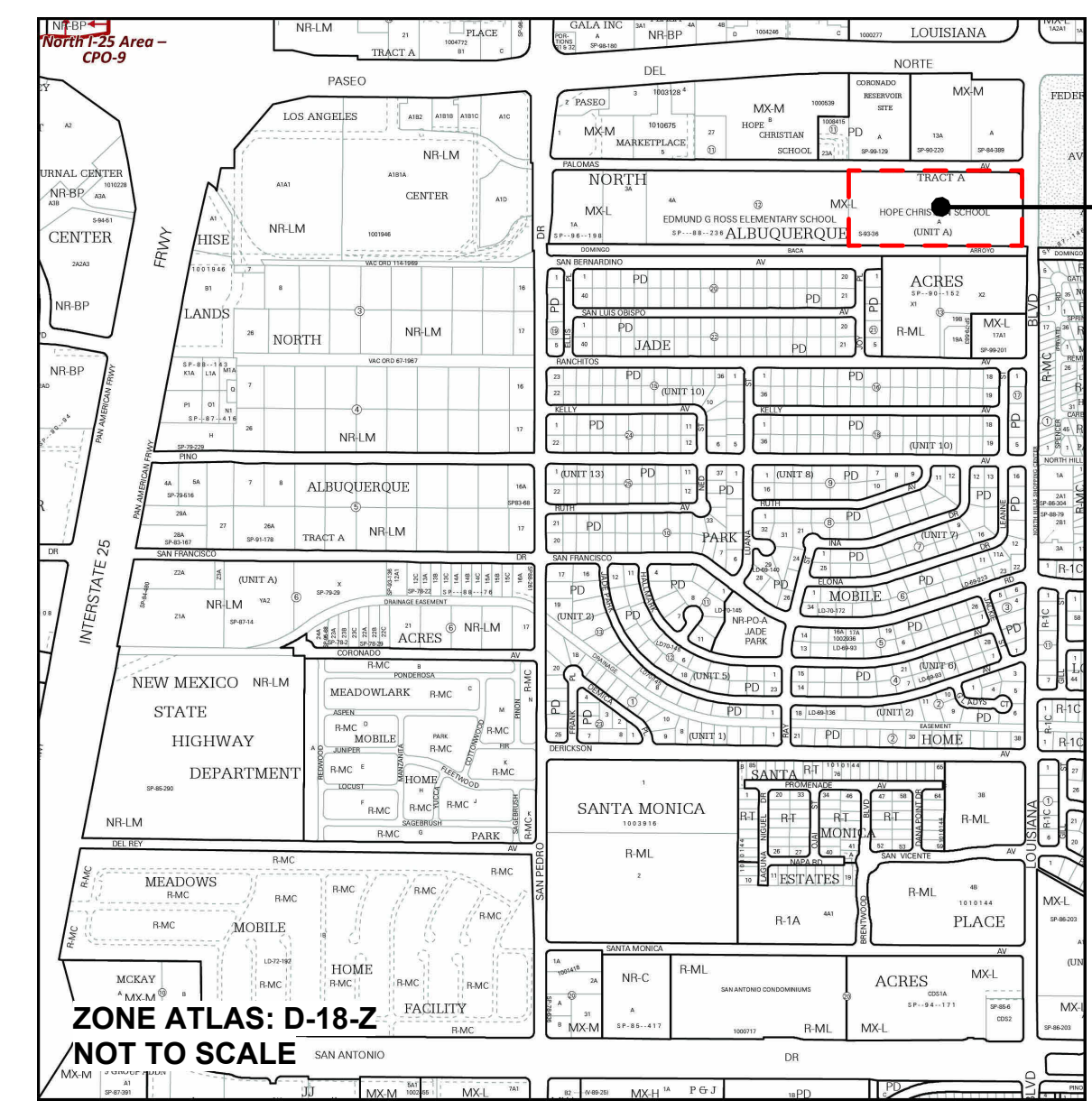
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TOTAL NUMBER OF OFF-STREET PARKING SPACES REQUIRED = 148
20% OF 148 = 30 BICYCLE SPACES REQUIRED

BICYCLE SPACES PROVIDED = 30 (15 RACKS X 2 BIKES/RACK)

LEGAL DESCRIPTION

HOPE CHRISTIAN SCHOOL, BLOCK 12, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, AS THE SAME IS SHOWN AND DESIGNATED OF THE PLAT ENTITLED "PLAT OF HOPE CHRISTIAN SCHOOL, BLOCK 12, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 24, 1994, IN VOLUME 94C, FOLIO 97.



VICINITY MAP: D-18-Z

SITE ZONING: MX-L

KEYNOTE LEGEND

Key Value	Keynote Text
02.03	EXISTING CONCRETE PAVING TO REMAIN
02.15	EXISTING CHAINLINK FENCE TO REMAIN
03.01	4" CONCRETE SLAB W/ BROOM FINISH - SEE CIVIL
03.09	NEW CONCRETE CURB AND GUTTER - SEE CIVIL
04.03	PARKING LOT BUFFER WALL - 3'-0" HIGH MINIMUM, 8" INTEGRALLY COLORED CMU FINISH & COLOR TO MATCH EXISTING CMU WALLS @ HOPE CHRISTIAN MIDDLE SCHOOL. SEE STRUCTURAL FOR FOUNDATION/REINFORCING.
04.05	RETAINING WALL / PARKING LOT SCREEN WALL - 6'-0" HIGH MINIMUM, 8" INTEGRALLY COLORED CMU - FINISH & COLOR TO MATCH EXISTING CMU WALLS @ HOPE CHRISTIAN MIDDLE SCHOOL. SEE STRUCTURAL FOR FOUNDATION/REINFORCING.
05.58	METAL PIPE VEHICLE ACCESS GATE. SEE DETAIL.
32.02	NEW ASPHALT PAVING - SEE CIVIL
32.10	NEW 6'-0" HIGH CHAINLINK FENCE
32.34	NEW LANDSCAPED AREA. SEE CIVIL AND LANDSCAPE.

ZONING REQUIREMENTS

ZONING DISTRICT: MIXED-USE - LOW INTENSITY ZONE DISTRICT (MX-L)
INTEGRATED DEVELOPMENT ORDINANCE
CITY OF ALBUQUERQUE, NEW MEXICO

SETBACKS:
FRONT: 5 FEET
SIDE: INTERIOR: 0 FEET, STREET SIDE: 5 FEET
REAR: 15 FEET

MAXIMUM HEIGHT: 38 FEET.

REVISION SCHEDULE

#	Date	Description

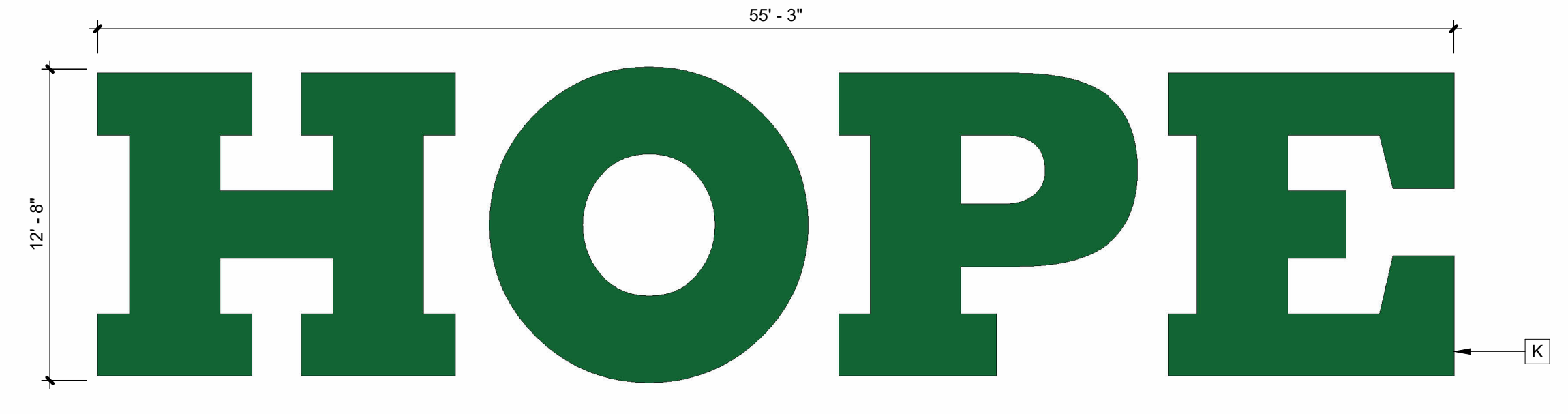
100% CD 11.10.23



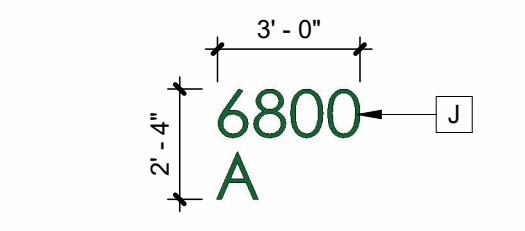
- LEGEND:**
- A STUCCO, COLOR TO MATCH EL REY "COTTONWOOD"
 - B STUCCO, COLOR WHITE
 - C STUCCO, COLOR TO MATCH DUNN EDWARDS "LATER GATOR" DE 5678
 - D ALUMINUM STOREFRONT FRAMING, DARK BRONZE
 - E TRANSLUCENT FIBERGLASS FACADE, 3 TONES OF GRAY
 - F CLEAR INSULATED GLAZING
 - G METAL FASCIA, DARK BRONZE
 - H EXISTING METAL SIDING TO BE PAINTED GREEN
 - I ENTRY SIGN, CAST ALUMINUM LETTERS, GREEN
 - J ADDRESS SIGN, CAST ALUMINUM LETTERS, GREEN
 - K PAINTED WALL GRAPHIC, GREEN
 - L GUTTER AND DOWNSPOUTS, DARK BRONZE
 - M PROJECTING ALUMINUM SHADE FINS, DARK BRONZE / GREEN
 - N EXISTING METAL ROOF TO REMAIN
 - O GROUND MOUNTED ELECTRICAL TRANSFORMER
 - P METAL FASCIA, GREEN
 - Q STEEL SHADE CANOPY, PAINTED DARK BRONZE
 - R ROOF MOUNTED MECHANICAL EQUIPMENT SCREENED BY PARAPET.



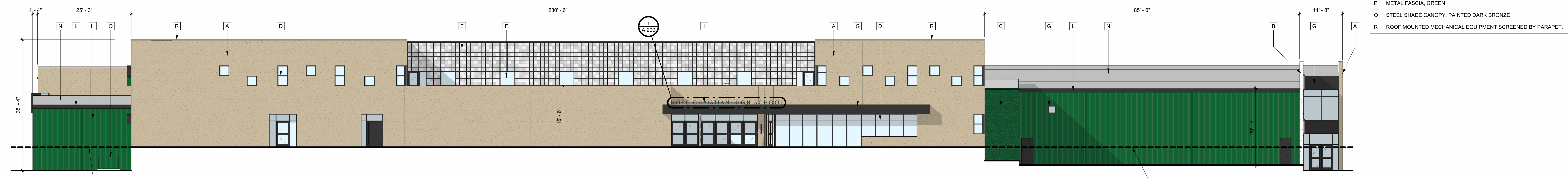
1 ENTRY SIGN
1/4" = 1'-0"
SIGN AREA: 31 SF



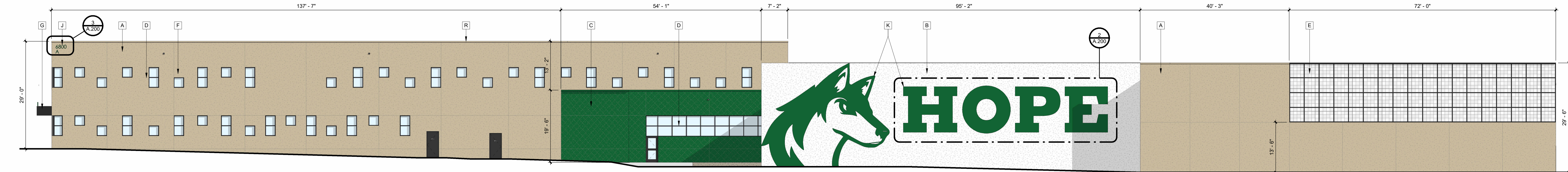
2 PAINTED WALL GRAPHIC
3/16" = 1'-0"
SIGN AREA: 700 SF



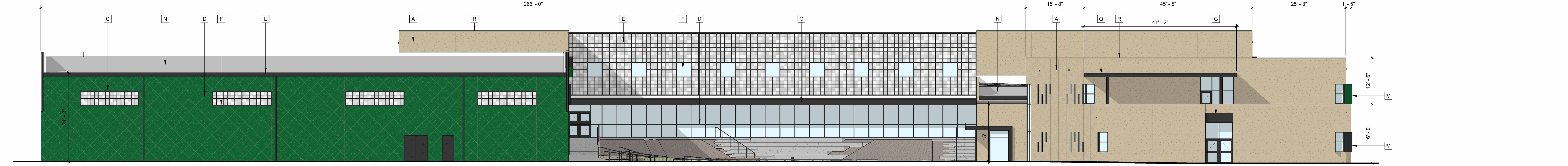
3 ADDRESS SIGN
1/4" = 1'-0"
SIGN AREA: 7 SF



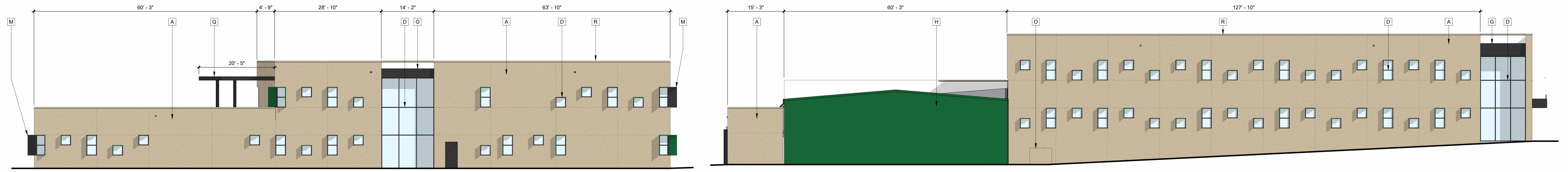
EAST ELEVATION
3/32" = 1'-0"
LINE OF ACTUAL GRADE AT CUT PLANE OF ELEVATION - FACADES BEYOND SHOWN FOR CLARITY - SEE GRADING PLAN



NORTH ELEVATION
3/32" = 1'-0"



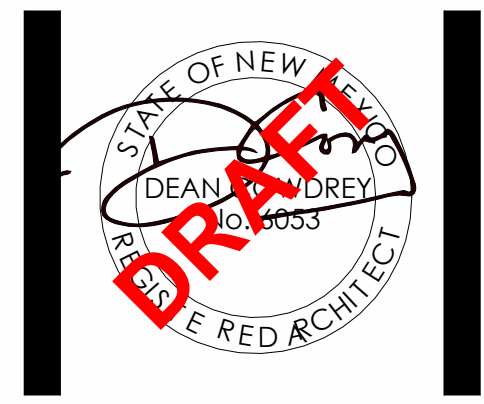
WEST ELEVATION
3/32" = 1'-0"



SOUTH ELEVATION
3/32" = 1'-0"

REVISION SCHEDULE

#	Date	Description



Subject: Neighborhood Meeting Request - Site Plan - Hope Christian Schools
From: Elliot Hield <elliot@romaarc.com>
Date: 11/20/2023, 4:39 PM
To: wrbarry@msn.com
CC: Dean Cowdrey <dean@romaarc.com>

Dear Mr. Barry,

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(B) "Pre-Submittal Neighborhood Meeting", ROMA Architecture is contacting you on behalf of our client, Hope Christian Schools, to provide you with an opportunity to discuss a Site Plan – Administrative (DFT) proposed in or near your neighborhood in advance of submitting our application. If requested, this would be an informal meeting during which ROMA Architecture and Hope Christian Schools would present the proposal and provide an opportunity to discuss any questions, comments, or concerns you may have.

Please see attached formal Neighborhood Meeting Request for further details, including all relevant information required per the IDO. Please feel free to reach out to me directly with any questions.

Per the IDO, you have 15 days from November 20, 2023 to respond, by either 1) requesting a meeting or 2) declining the meeting. If you do not respond within 15 days, you are waiving the opportunity for a Neighborhood Meeting.

Thank you,

--



ELLIOT HIELD, RA
Architect

ROMA ARCHITECTURE
Formerly Jon Anderson Architecture

505.764.8306 x 1004
505.310.9068
romaarc.com

— Attachments: —

Neighborhood Meeting Request - WB.pdf

14.3 MB

Elliot Hield

From: Elliot Hield <elliott@romaarc.com>
Sent: Monday, November 27, 2023 3:37 PM
To: wrbarry@msn.com
Cc: Dean Cowdrey
Subject: Neighborhood Meeting Request - Hope Christian Schools

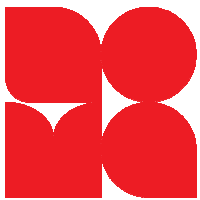
Hello Mr. Barry,

On Monday 11/20/23 I sent a formal Neighborhood Meeting Request to you and Ms. Nanci Carriveau in regards to an upcoming application for a new Site Plan in your area. Our office has been having some issues with our emails being marked as spam recently, especially when they contain attachments. If you could, please respond to this email letting me know whether you received my earlier email or not.

Looking forward to hearing from you.

Thanks,

--



ELLIOT HIELD, RA

Architect

ROMA ARCHITECTURE

Formerly Jon Anderson Architecture

505.764.8306 x 1004

505.310.9068

romaarc.com

[Note: Items with an asterisk (*) are required.]

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: 11.20.2023

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: NORTH WYOMING NA

Name of NA Representative*: WILLIAM BARRY

Email Address* or Mailing Address* of NA Representative¹: WRBARRY@MSN.COM

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: ELLIOT@ROMAARC.COM

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

12.06.2023 / 2:00 / ROMA ARCHITECTURE (OFFICE), 912 ROMA AVE NW,
ALBUQUERQUE, NM 87102 **AND/OR VIRTUAL IF PREFERABLE**

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 6800 PALOMAS AVE NE, ALBUQUERQUE, NM 87109
Location Description HOPE CHRISTIAN HIGH SCHOOL CAMPUS
2. Property Owner* HOPE CHRISTIAN SCHOOLS INC.
3. Agent/Applicant* [if applicable] ROMA ARCHITECTURE - ELLIOT HIELD, PROJECT MANAGER
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (*) are required.]

- Vacation _____ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: _____

Summary of project/request^{3*}:

APPLICATION FOR A NEW SITE PLAN - ADMINISTRATIVE (DFT) FOR THE CAMPUS OF HOPE CHRISTIAN HIGH SCHOOL, THE SCOPE OF WHICH INCLUDES NEW HIGH SCHOOL FACILITIES AND ASSOCIATED SITE IMPROVEMENTS

5. This type of application will be decided by*: City Staff
- OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
 - Landmarks Commission (LC) Environmental Planning Commission (EPC)
 - City Council

6. Where more information about the project can be found^{4*}:

CONTACT ELLIOT HIELD - EMAIL:
ELLIOT@ROMAARC.COM

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)^{5*} D-18-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project*:
 - Deviation(s) Variance(s) Waiver(s)

Explanation:

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1*](#): Yes No

³ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
 - a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

- 1. From the IDO Zoning Map⁶:
 - a. Area of Property [typically in acres] 8.55 ACRES
 - b. IDO Zone District MX-L
 - c. Overlay Zone(s) [if applicable] N/A
 - d. Center or Corridor Area [if applicable] N/A
 - 2. Current Land Use(s) [vacant, if none] HIGH SCHOOL CAMPUS
-

Useful Links

Integrated Development Ordinance (IDO):

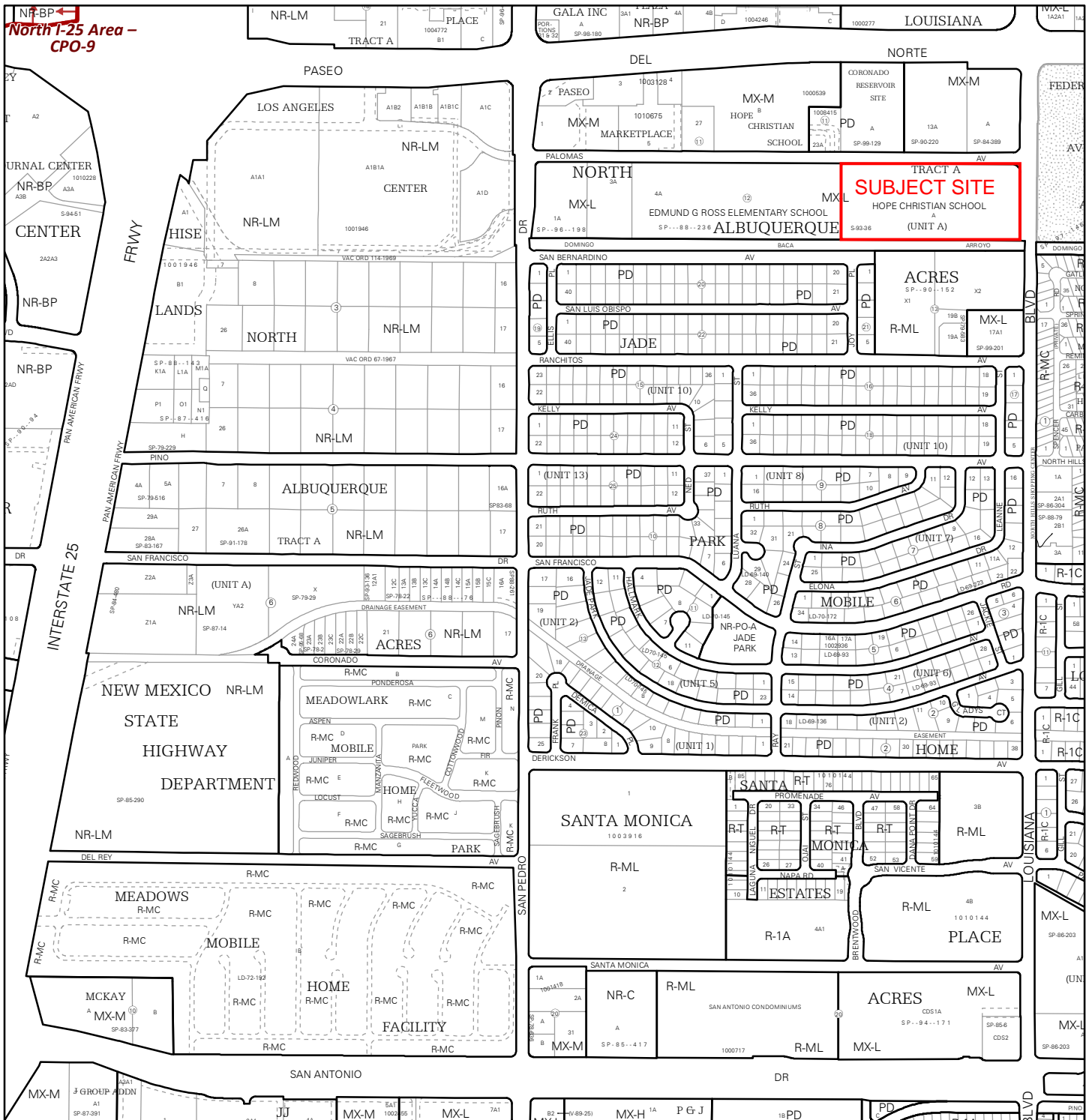
<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>


Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

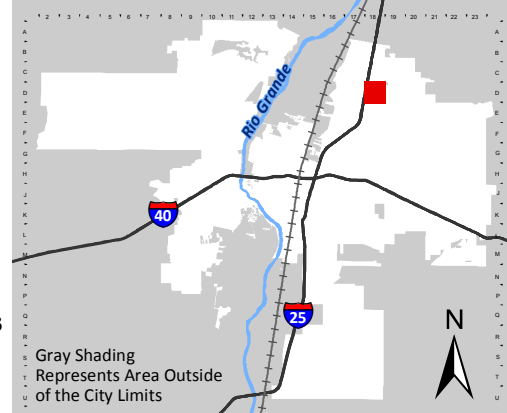


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Gray Shading
Represents Area Outside
of the City Limits

Zone Atlas Page:
D-18-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

City of Albuquerque Property Report



www.cabq.gov/gis

Platted Parcel Address: 6800 PALOMAS AV NE
Assessor Parcel Address: 6800 PALOMAS NE
Report Date: 11/20/2023

Bernalillo County Assessor Ownership Data

[\(Click here for more information\)](#)

Owner Name: HOPE CHRISTIAN SCHOOLS INC
Owner Address: 8005 LOUISIANA BLVD NE ALBUQUERQUE NM 87109
Uniform Property Code (UPC): 101806347445110416 **Tax Year:** 2023 **Tax District:** A1A
Legal Description: HOPE CHRISTIAN SCHOOL PLAT OF HOPE CHRISTIAN SCHOOL BLOCK 12, TRACT A UNIT A NORTH ALBUQUERQUE ACRES CONT 8.5455 AC M/LOR 372,242 SQ FT M/L
Property Class: C **Document Number:** See Bernalillo County Assessor Record Search Portal **Acres:** 8.5455

Albuquerque Planning and Zoning Data

[Bernalillo County Planning and Zoning](#)

Jurisdiction: ALBUQUERQUE **Zone Atlas Page:** [D-18](#)
IDO Zone District: [MX-L](#) **IDO District Definition:** Low Intensity
Land Use: 08 | Educational **Lot:** A/HOPE **Block:** 12 **Subdivision:** N ABQ ACRES TRACT A UNIT A
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N
SCHOOL

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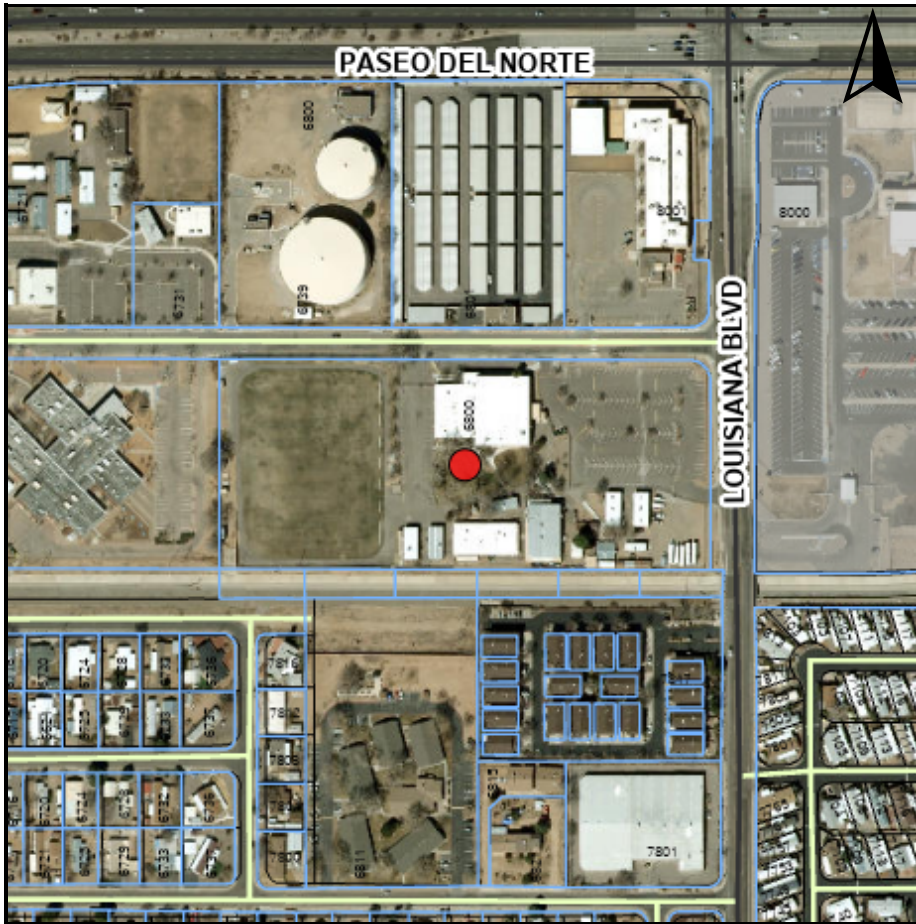
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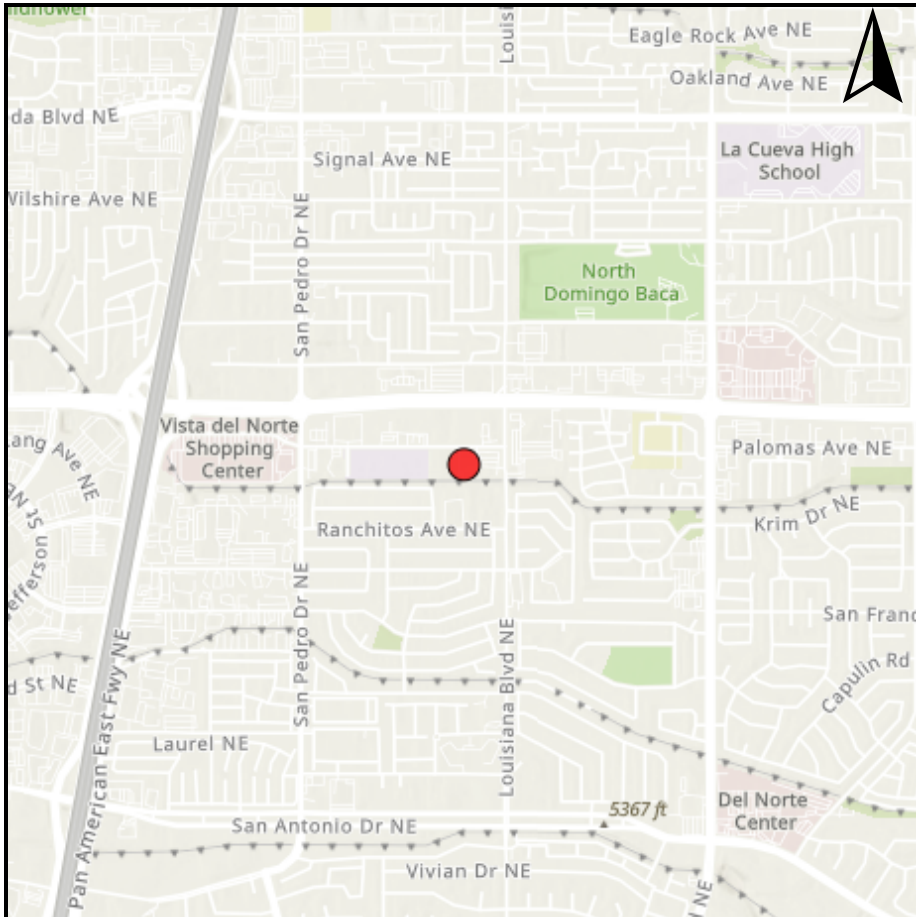
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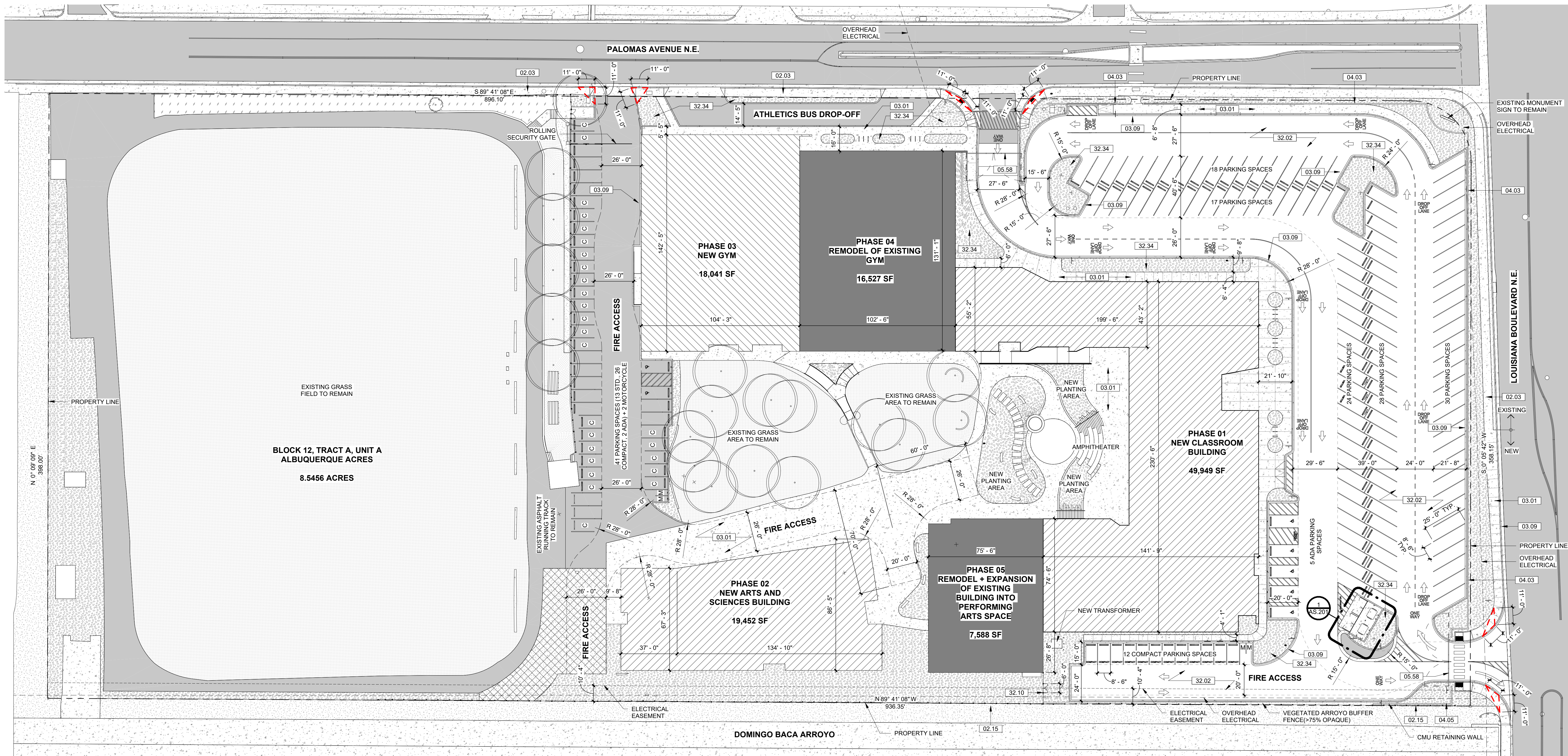
[FEMA Flood Map Service Center](#)

Property Map



Context Map





1 SITE PLAN
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PROJECT NUMBER: _____

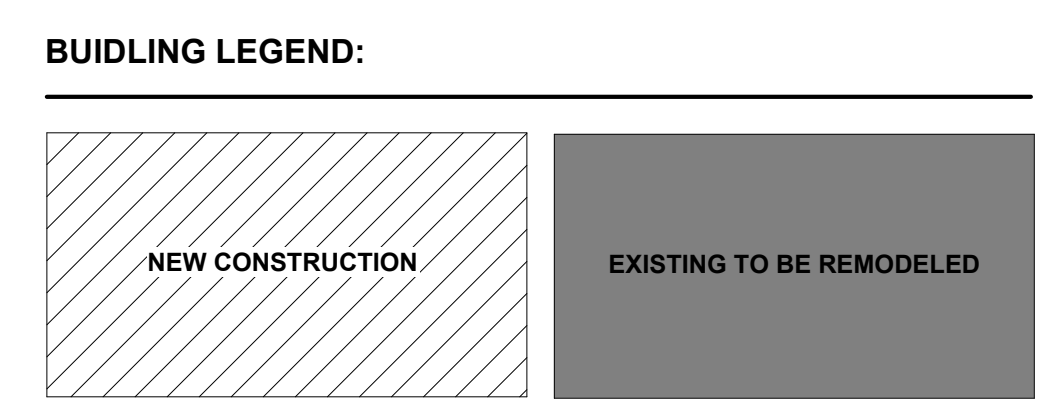
APPLICATION NUMBER: _____

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ABCWJA	DATE
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HYDROLOGY	DATE
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*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
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PLANNING DEPARTMENT	DATE
*ENVIRONMENTAL HEALTH, IF NECESSARY	DATE

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PARKING REQUIREMENTS AND PROVISIONS

ZONING CODE: CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE

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COMPACT 38 (-22% OF TOTAL SPACES PROVIDED)
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TOTAL SPACES PROVIDED 125

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SPACES PROVIDED (EAST LOT) = 5 (1 VAN)

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SPACES PROVIDED (WEST LOT) = 2 (1 VAN)

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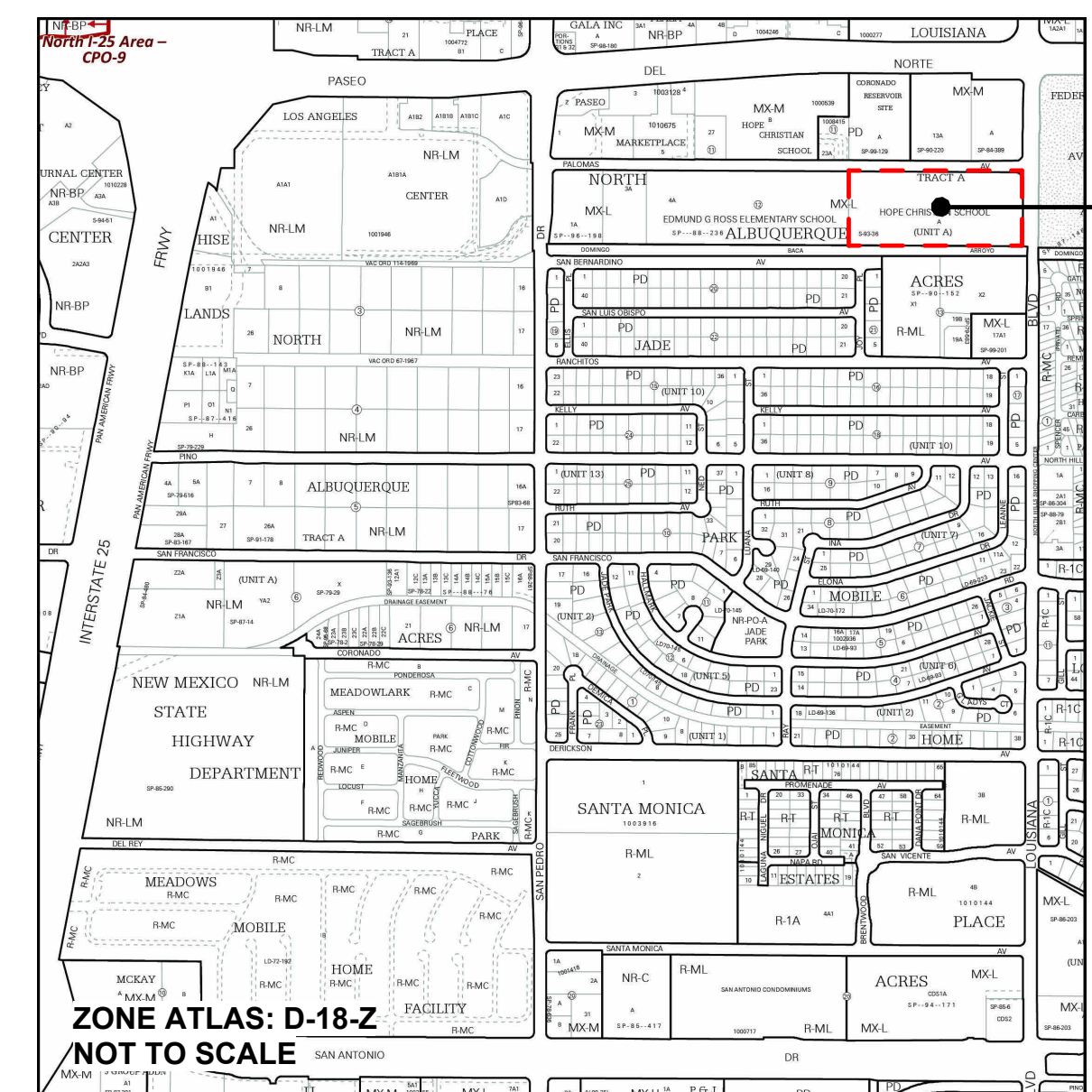
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BICYCLE SPACES PROVIDED = 30 (15 RACKS X 2 BIKES/RACK)

LEGAL DESCRIPTION

HOPE CHRISTIAN SCHOOL, BLOCK 12, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, AS THE SAME IS SHOWN AND DESIGNATED OF THE PLAT ENTITLED "PLAT OF HOPE CHRISTIAN SCHOOL, BLOCK 12, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 24, 1994, IN VOLUME 94C, FOLIO 97.



VICINITY MAP: D-18-Z

SITE ZONING: MX-L

KEYNOTE LEGEND

Key Value	Keynote Text
02.03	EXISTING CONCRETE PAVING TO REMAIN
02.15	EXISTING CHAINLINK FENCE TO REMAIN
03.01	4" CONCRETE SLAB W/ BROOM FINISH - SEE CIVIL
03.09	NEW CONCRETE CURB AND GUTTER - SEE CIVIL
04.03	PARKING LOT BUFFER WALL - 3'-0" HIGH MINIMUM, 8" INTEGRALLY COLORED CMU FINISH & COLOR TO MATCH EXISTING CMU WALLS @ HOPE CHRISTIAN MIDDLE SCHOOL. SEE STRUCTURAL FOR FOUNDATION/REINFORCING.
04.05	RETAINING WALL / PARKING LOT SCREEN WALL - 6'-0" HIGH MINIMUM, 8" INTEGRALLY COLORED CMU - FINISH & COLOR TO MATCH EXISTING CMU WALLS @ HOPE CHRISTIAN MIDDLE SCHOOL. SEE STRUCTURAL FOR FOUNDATION/REINFORCING.
05.58	METAL PIPE VEHICLE ACCESS GATE. SEE DETAIL.
32.02	NEW ASPHALT PAVING - SEE CIVIL
32.10	NEW 6'-0" HIGH CHAINLINK FENCE
32.34	NEW LANDSCAPED AREA. SEE CIVIL AND LANDSCAPE.

ZONING REQUIREMENTS

ZONING DISTRICT: MIXED-USE - LOW INTENSITY ZONE DISTRICT (MX-L)
INTEGRATED DEVELOPMENT ORDINANCE
CITY OF ALBUQUERQUE, NEW MEXICO

SETBACKS:
FRONT: 5 FEET
SIDE: INTERIOR: 0 FEET, STREET SIDE: 5 FEET
REAR: 15 FEET

MAXIMUM HEIGHT: 38 FEET.

REVISION SCHEDULE

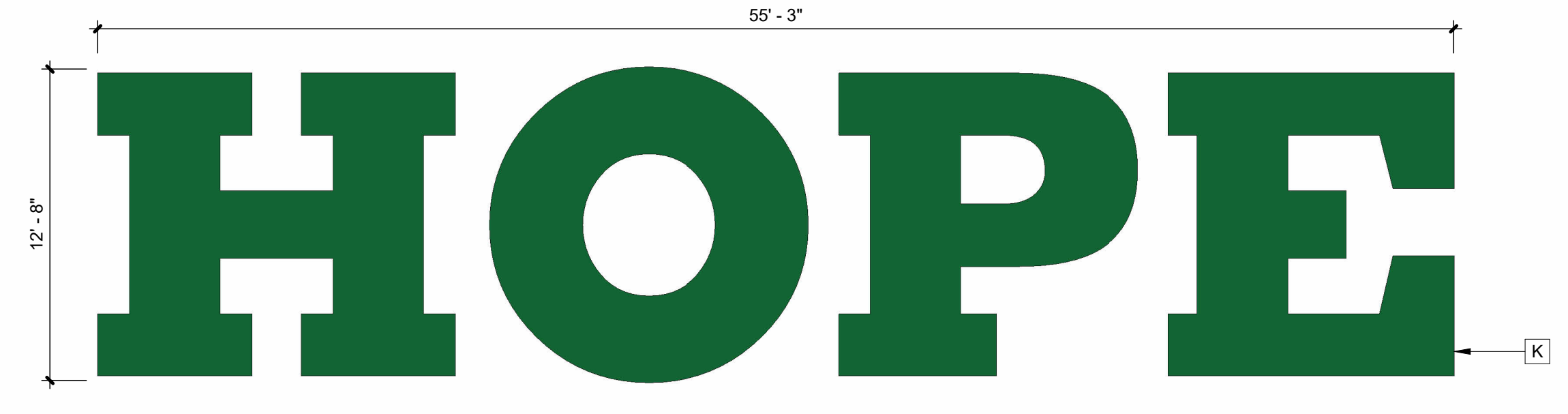
#	Date	Description



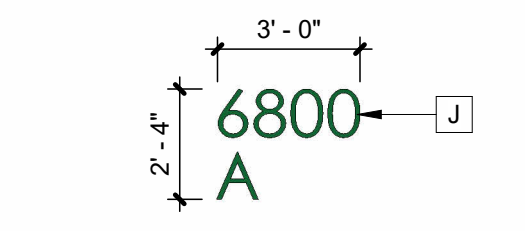
- LEGEND:**
- A STUCCO, COLOR TO MATCH EL REY "COTTONWOOD"
 - B STUCCO, COLOR WHITE
 - C STUCCO, COLOR TO MATCH DUNN EDWARDS "LATER GATOR" DE 5678
 - D ALUMINUM STOREFRONT FRAMING, DARK BRONZE
 - E TRANSLUCENT FIBERGLASS FACADE, 3 TONES OF GRAY
 - F CLEAR INSULATED GLAZING
 - G METAL FASCIA, DARK BRONZE
 - H EXISTING METAL SIDING TO BE PAINTED GREEN
 - I ENTRY SIGN, CAST ALUMINUM LETTERS, GREEN
 - J ADDRESS SIGN, CAST ALUMINUM LETTERS, GREEN
 - K PAINTED WALL GRAPHIC, GREEN
 - L GUTTER AND DOWNSPOUTS, DARK BRONZE
 - M PROJECTING ALUMINUM SHADE FINS, DARK BRONZE / GREEN
 - N EXISTING METAL ROOF TO REMAIN
 - O GROUND MOUNTED ELECTRICAL TRANSFORMER
 - P METAL FASCIA, GREEN
 - Q STEEL SHADE CANOPY, PAINTED DARK BRONZE
 - R ROOF MOUNTED MECHANICAL EQUIPMENT SCREENED BY PARAPET.



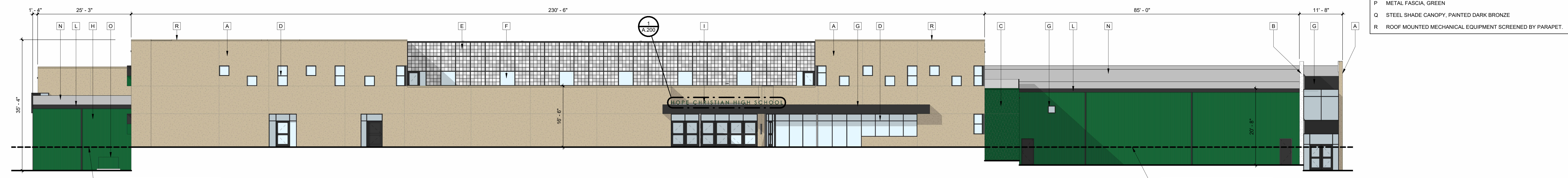
1 ENTRY SIGN
1/4" = 1'-0"
SIGN AREA: 31 SF



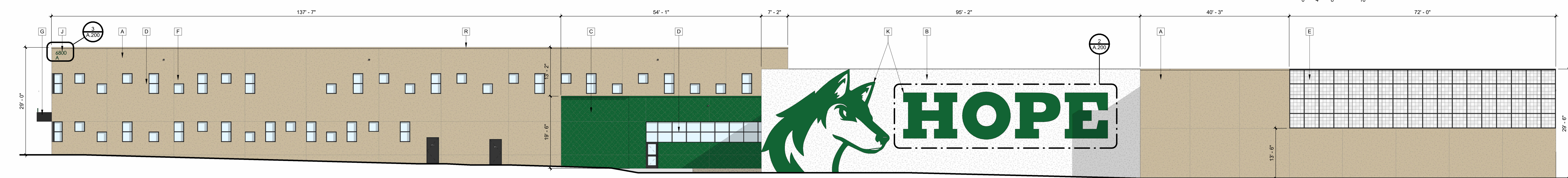
2 PAINTED WALL GRAPHIC
3/16" = 1'-0"
SIGN AREA: 700 SF



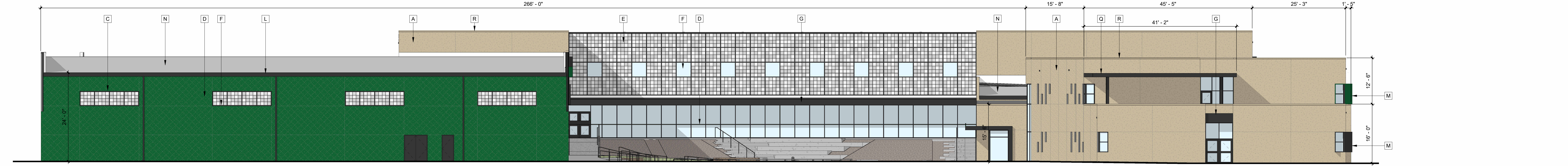
3 ADDRESS SIGN
1/4" = 1'-0"
SIGN AREA: 7 SF



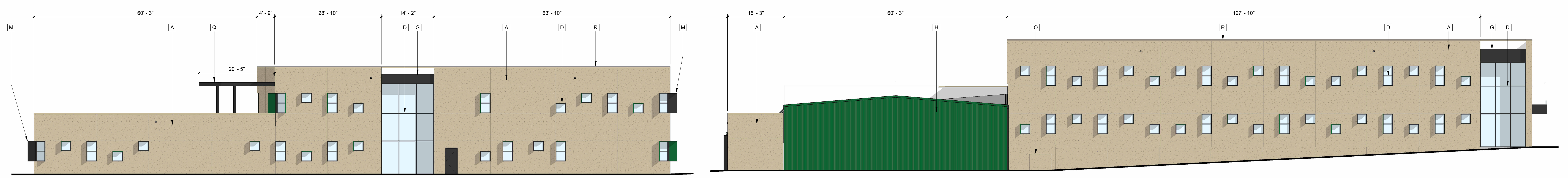
EAST ELEVATION
3/32" = 1'-0"



NORTH ELEVATION
3/32" = 1'-0"



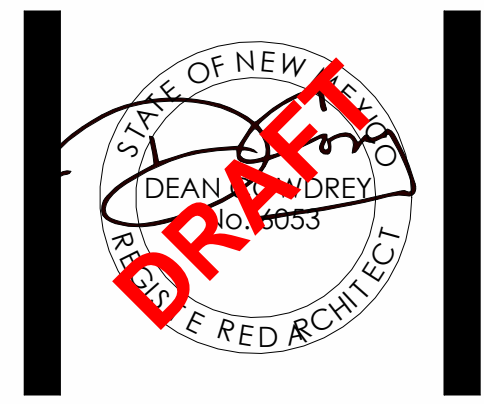
WEST ELEVATION
3/32" = 1'-0"



SOUTH ELEVATION
3/32" = 1'-0"

REVISION SCHEDULE

#	Date	Description



Subject: 6800 Palomas Ave NE_Public Notice Inquiry Sheet Submission

From: "Sylvan, Christopher" <csylvan@cabq.gov>

Date: 11/16/2023, 10:08 AM

To: "elliott@romaarc.com" <elliott@romaarc.com>

CC: Office of Neighborhood Coordination <onc@cabq.gov>

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	Association Email	First Name	Last Name	Email	Address Line 1	City	State	Zip	Phone
North Wyoming NA	Albqwna@msn.com	William	Barry	wrbarry@msn.com	8124 Siguard Court NE	Albuquerque	NM	87109	5058211725
North Wyoming NA	Albqwna@msn.com	Nanci	Carriveau	nancic613@hotmail.com	8309 Krim Drive NE	Albuquerque	NM	87109	5058218673

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application. <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf.
- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s):

<http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you.

From: webmaster@cabq.gov <webmaster@cabq.gov>

Sent: Wednesday, November 15, 2023 4:02 PM

To: Office of Neighborhood Coordination <elliott@romaarc.com>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Public Notice Inquiry Sheet Submission

[EXTERNAL] Forward to phishing@cabq.gov and delete if an email causes any concern.

Public Notice Inquiry For:

Other (please specify in field below)

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Site Plan Administrative DFT

Contact Name

Elliot Hield

Telephone Number

5057648306 x1004

Email Address

elliott@romaarc.com

Company Name

ROMA Architecture

Company Address

912 Roma Ave NW

City

Albuquerque

State

NM

ZIP

87102

Legal description of the subject site for this project:

Hope Christian School, Block 12, Tract A, Unit A, North Albuquerque Acres, as the same is shown and designated of the Plat entitled "PLAT OF HOPE CHRISTIAN SCHOOL, BLOCK 12, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on March 24, 1994, in Volume 94C, folio 97.

Physical address of subject site:

6800 Palomas Ave NE, Albuquerque, NM 87109

Subject site cross streets:

Louisiana Blvd NE and Palomas Ave NE

Other subject site identifiers:

Hope Christian High School

This site is located on the following zone atlas page:

D-18-Z

Captcha

x

[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque Administrative Review/Decision – Electronic Mail

Date of Notice*: 12/11/2023

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA) *: NORTH WYOMING NA

Name of NA Representative*: NANCI CARRIVEAU

Email Address* or Mailing Address* of NA Representative¹: NANCIC613@HOTMAIL.COM

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 6800 PALOMAS AVE NE, ALBUQUERQUE, NM 87109
Location Description HOPE CHRISTIAN HIGH SCHOOL CAMPUS
2. Property Owner* HOPE CHRISTIAN SCHOOLS INC.
3. Agent/Applicant* [if applicable] ROMA ARCHITECTURE - ELLIOT HIELD, PROJECT MANAGER
4. Application(s) Type* per IDO [Table 6-1-1](#)

- Historic Certificate of Appropriateness – Minor
- Sign Permit
- Alternative Signage Plan
- Wall/Fence Permit
- Site Plan – Administrative²

Summary of project/request*:

APPLICATION FOR NEW SITE PLAN - ADMINISTRATIVE (DFT) FOR THE CAMPUS OF HOPE CHRISTIAN HIGH SCHOOL. PLEASE NOTE: YOU AND ALL OTHER REPRESENTATIVES OF AFFECTED NEIGHBORHOOD ASSOCIATIONS WERE SENT AN OFFICIAL NEIGHBORHOOD MEETING REQUEST ON 11/20/2023 AS REQUIRED BY THE IDO. AS ALL REPRESENTATIVES CONTACTED EITHER DECLINED A MEETING OR FAILED TO RESPOND WITHIN THE 15 DAY PERIOD PRESCRIBED BY THE IDO, NO MEETING WAS HELD.

5. This application will be decided by staff. Please contact devhelp@cabq.gov or call the Planning Department at 505-924-3860 to speak with staff.

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Usually submitted and reviewed as part of building permit application, which can be searched by address here: <https://posse.cabq.gov/posse/pub/lms/Login.aspx>

[Note: Items with an asterisk (*) are required.]

6. Where more information about the project can be found^{*3}:
CONTACT ELLIOT HIELD - ELLIOT@ROMAARC.COM

Information Required for Email Notice by IDO Subsection 6-4(K)(1)(b):

1. Zone Atlas Page(s)^{*4} D-18-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project^{*}:

Deviation(s) Variance(s)⁵ Waiver(s)⁶

Explanation^{*}:

4. Pre-submittal Neighborhood Meeting: Not Required
5. **For Site Plan – Administrative Applications only^{*}**, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas. ^{*}
- b. Access and circulation for vehicles and pedestrians. ^{*}
- c. Maximum height of any proposed structures, with building elevations. ^{*}
- d. **For residential development^{*}**: Maximum number of proposed dwelling units.
- e. **For non-residential development^{*}**:
- Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁷:

1. Area of Property [typically in acres] 8.55
2. IDO Zone District MX-L
3. Overlay Zone(s) [if applicable] N/A
4. Center or Corridor Area [if applicable] N/A

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

⁵ Separate notice is required for Variances.

⁶ Separate notice is required for Waivers.

⁷ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

Current Land Use(s) [vacant, if none] HIGH SCHOOL CAMPUS

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting within 15 days of the date of this notice. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

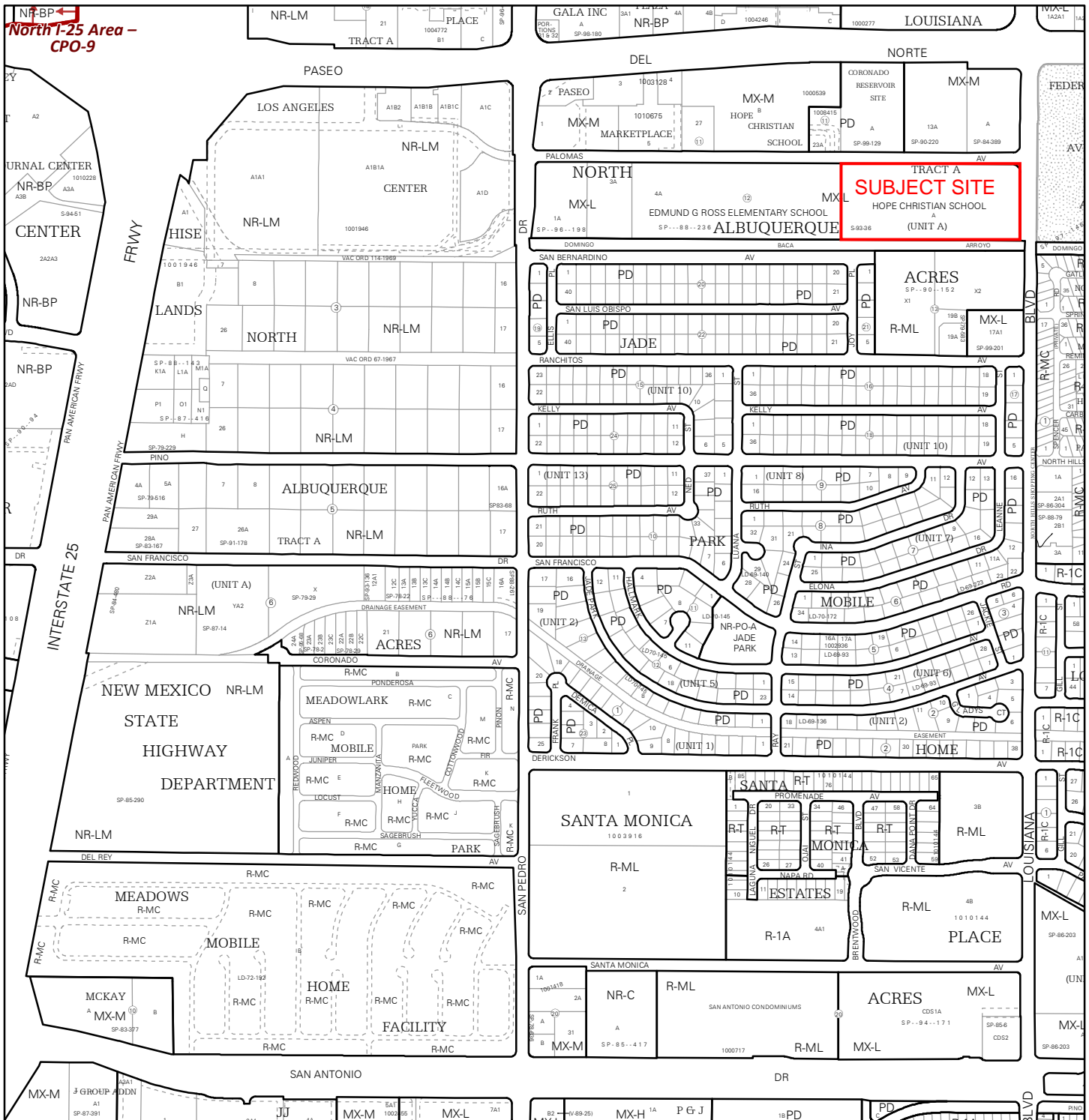
Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

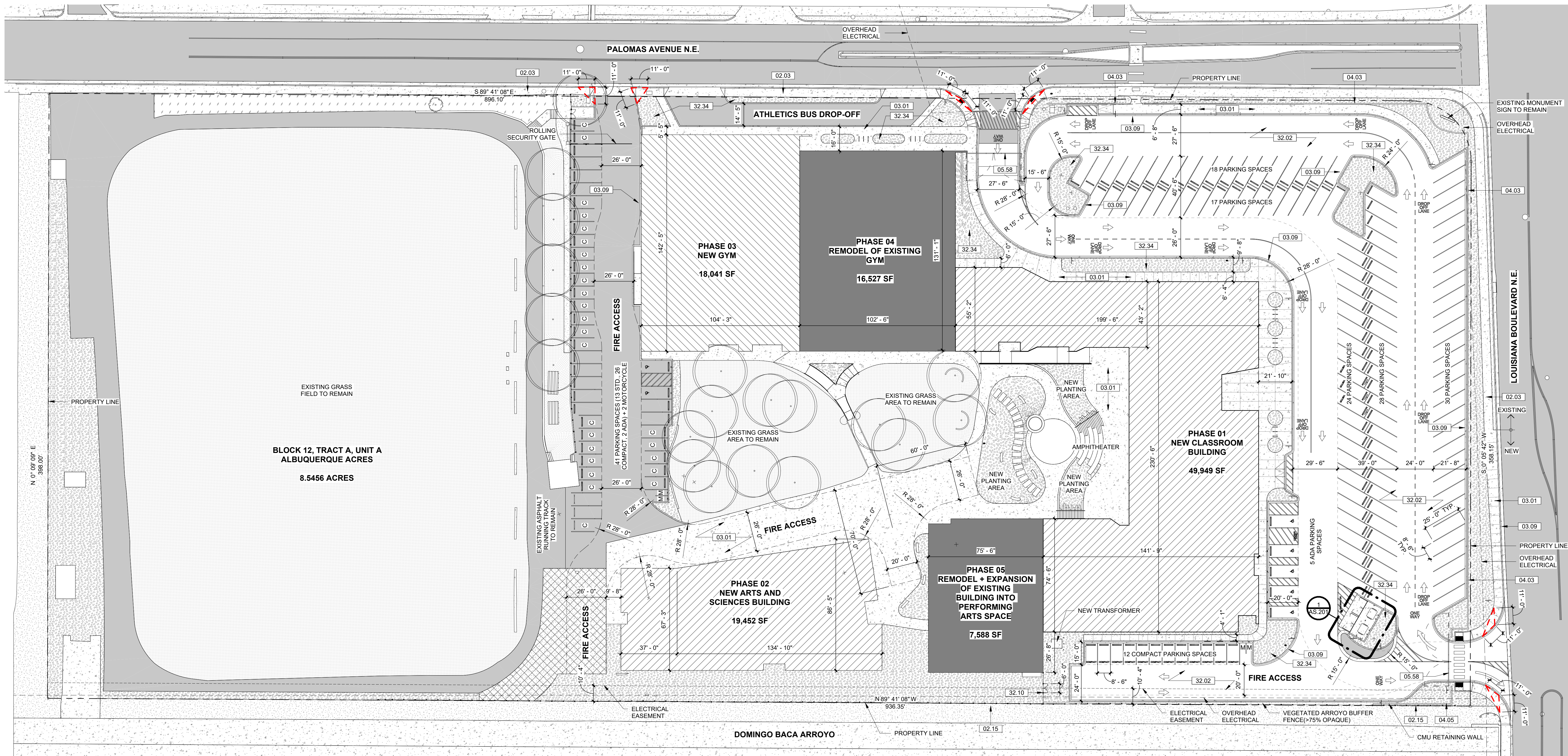
IDO Zone Atlas May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:
D-18-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet



1 SITE PLAN
1" = 30'-0"

PROJECT NUMBER: _____

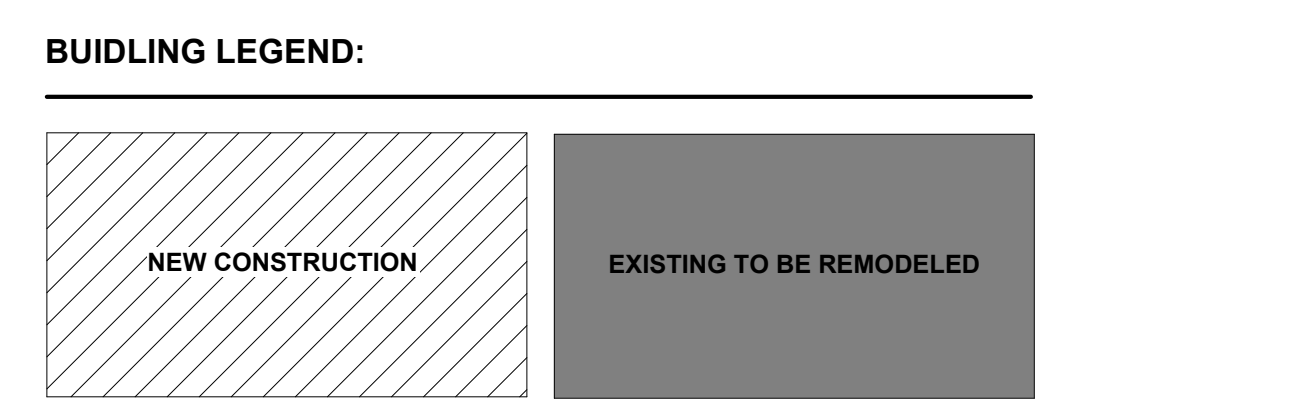
APPLICATION NUMBER: _____

IS AN INFRASTRUCTURE LIST REQUIRED (X) YES () NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DET SITE DEVELOPMENT PLAN APPROVAL: _____

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
ABCWJA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
HYDROLOGY	DATE
CODE ENFORCEMENT	DATE
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
PLANNING DEPARTMENT	DATE
*ENVIRONMENTAL HEALTH, IF NECESSARY	DATE

BUILDING AREA BY PHASE		CONSTRUCTION STARTS	
PHASE 01	LEVEL 1 LEVEL 2	28,388 SF 21,561 SF	05/2024
PHASE 02	LEVEL 1 LEVEL 2	12,435 SF 7,017 SF	06/2025
PHASE 03	LEVEL 1 LEVEL 2	14,686 SF 3,355 SF	06/2026
PHASE 04	LEVEL 1 (REMODELED) LEVEL 2 (REMODELED)	13,427 SF 3,100 SF	06/2027
PHASE 05	LEVEL 1* (REMODELED) LEVEL 1 (ADDITION)	6,098 SF 1,490	08/2028
TOTAL BUILDING AREA:		111,557 SF	



PARKING REQUIREMENTS AND PROVISIONS

ZONING CODE: CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE

14-16-5-5-1 MINIMUM OFF-STREET PARKING REQUIREMENTS

HIGH SCHOOL: 1 SPACE / 4 SEATS IN MAIN AUDITORIUM OR 3 SPACES / CLASSROOM WHICHEVER IS GREATER
MAIN AUDITORIUM SEATS 591 OCCUPANTS (CONCENTRATED; CHAIRS ONLY - NOT FIXED)
591 SEATS / 4

= 148 SPACES REQUIRED
SINCE OVER 20 SPACES ARE REQUIRED, UP TO 25% CAN BE COMPACT SPACES

STANDARD 130
COMPACT 38 (-22% OF TOTAL SPACES PROVIDED)
ACCESSIBLE 7

TOTAL SPACES PROVIDED 125

14-16-5-5(C)(8) ACCESSIBLE PARKING (PER 2010 ADA STANDARDS TABLE 208.2)

TOTAL NUMBER OF PARKING SPACES PROVIDED (EAST LOT) = 101 TO 150
MINIMUM REQUIRED ACCESSIBLE PARKING SPACES = 5 (1 VAN)

SPACES PROVIDED (EAST LOT) = 5 (1 VAN)

TOTAL NUMBER OF PARKING SPACES PROVIDED (WEST LOT) = 26 TO 50
MINIMUM REQUIRED ACCESSIBLE PARKING SPACES = 2 (1 VAN)

SPACES PROVIDED (WEST LOT) = 2 (1 VAN)

14-16-5-5(D) MINIMUM MOTORCYCLE PARKING REQUIREMENTS (TABLE 5-5-4)

REQUIRED OFF-STREET VEHICLE PARKING SPACES = 101-150
NUMBER OF MOTORCYCLE SPACES REQUIRED = 4

SPACES PROVIDED = 4 (2 IN EAST LOT / 2 IN WEST LOT)

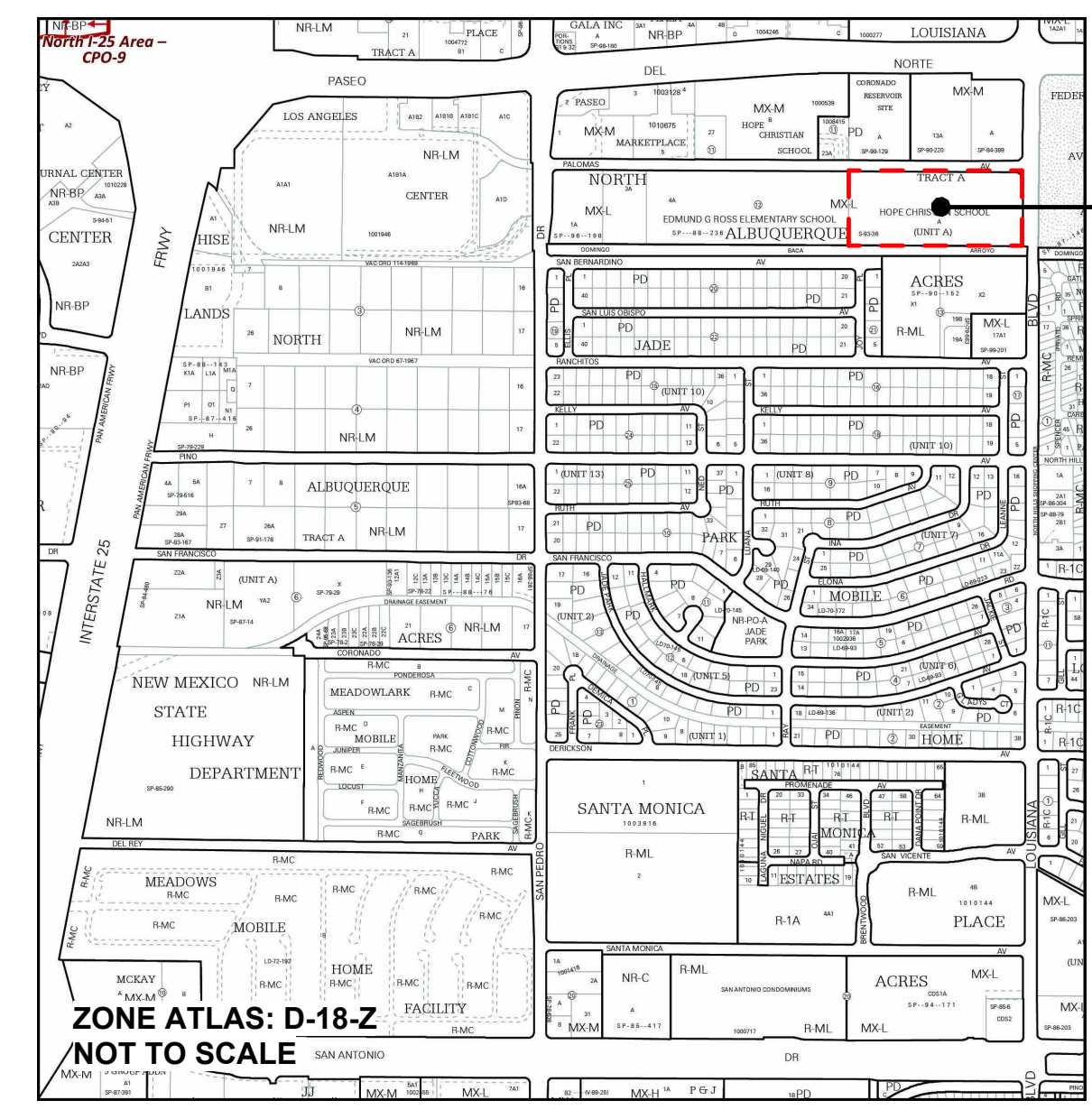
14-16-5-5(E) MINIMUM BICYCLE PARKING REQUIREMENTS (TABLE 5-5-5)

HIGH SCHOOL: 20% OF REQUIRED OFF-STREET PARKING SPACES
TOTAL NUMBER OF OFF-STREET PARKING SPACES REQUIRED = 148
20% OF 148 = 30 BICYCLE SPACES REQUIRED

BICYCLE SPACES PROVIDED = 30 (15 RACKS X 2 BIKES/RACK)

LEGAL DESCRIPTION

HOPE CHRISTIAN SCHOOL, BLOCK 12, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, AS THE SAME IS SHOWN AND DESIGNATED OF THE PLAT ENTITLED "PLAT OF HOPE CHRISTIAN SCHOOL, BLOCK 12, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 24, 1994, IN VOLUME 94C, FOLIO 97.



ZONING REQUIREMENTS

ZONING DISTRICT: MIXED-USE - LOW INTENSITY ZONE DISTRICT (MX-L)
INTEGRATED DEVELOPMENT ORDINANCE
CITY OF ALBUQUERQUE, NEW MEXICO

SETBACKS:
FRONT: 5 FEET
SIDE: INTERIOR: 0 FEET, STREET SIDE: 5 FEET
REAR: 15 FEET

MAXIMUM HEIGHT: 38 FEET.

VICINITY MAP: D-18-Z

SITE ZONING: MX-L

KEYNOTE LEGEND

Key Value	Keynote Text
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03.09	NEW CONCRETE CURB AND GUTTER - SEE CIVIL
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04.05	RETAINING WALL / PARKING LOT SCREEN WALL - 6'-0" HIGH MINIMUM, 8" INTEGRALLY COLORED CMU - FINISH & COLOR TO MATCH EXISTING CMU WALLS @ HOPE CHRISTIAN MIDDLE SCHOOL. SEE STRUCTURAL FOR FOUNDATION/REINFORCING.
05.58	METAL PIPE VEHICLE ACCESS GATE. SEE DETAIL.
32.02	NEW ASPHALT PAVING - SEE CIVIL
32.10	NEW 6'-0" HIGH CHAINLINK FENCE
32.34	NEW LANDSCAPED AREA. SEE CIVIL AND LANDSCAPE.

REVISION SCHEDULE

#	Date	Description

100% CD 11.10.23



HOPE CHRISTIAN HIGH SCHOOL
30' - 1"

HOPE
12' - 8"

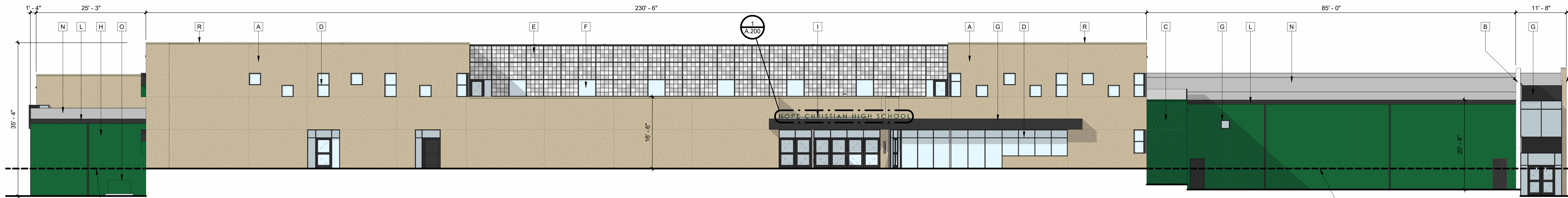
6800
A

1 ENTRY SIGN
1/4" = 1'-0"
SIGN AREA: 31 SF

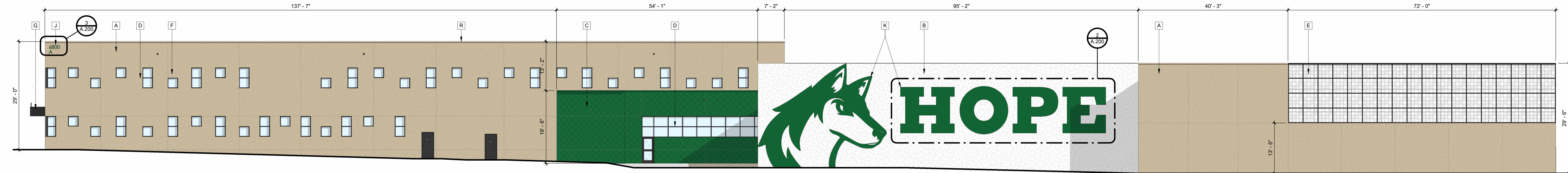
2 PAINTED WALL GRAPHIC
3/16" = 1'-0"
SIGN AREA: 700 SF

3 ADDRESS SIGN
1/4" = 1'-0"
SIGN AREA: 7 SF

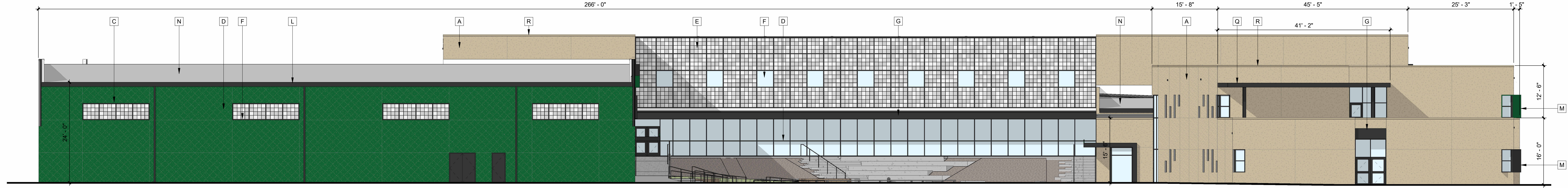
- LEGEND:**
- A STUCCO, COLOR TO MATCH EL REY "COTTONWOOD"
 - B STUCCO, COLOR WHITE
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 - D ALUMINUM STOREFRONT FRAMING, DARK BRONZE - E TRANSLUCENT FIBERGLASS FACADE, 3 TONES OF GRAY
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 - P METAL FASCIA, GREEN
 - Q STEEL SHADE CANOPY, PAINTED DARK BRONZE
 - R ROOF MOUNTED MECHANICAL EQUIPMENT SCREENED BY PARAPET.



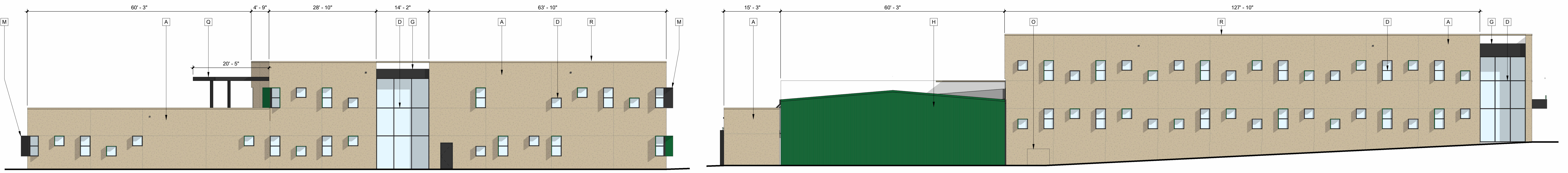
EAST ELEVATION
3/32" = 1'-0"
LINE OF ACTUAL GRADE AT CUT PLANE OF ELEVATION - FACADES BEYOND SHOWN FOR CLARITY - SEE GRADING PLAN



NORTH ELEVATION
3/32" = 1'-0"



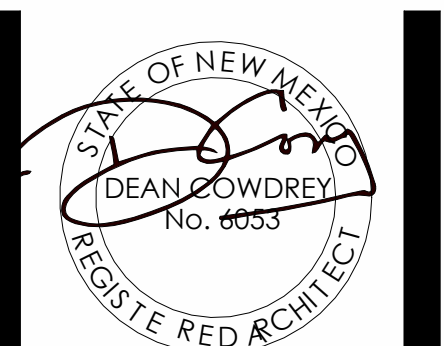
WEST ELEVATION
3/32" = 1'-0"



SOUTH ELEVATION
3/32" = 1'-0"

REVISION SCHEDULE

#	Date	Description



[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque Administrative Review/Decision – Electronic Mail

Date of Notice*: 12/11/2023

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA) *: NORTH WYOMING NA

Name of NA Representative*: WILLIAM BARRY

Email Address* or Mailing Address* of NA Representative¹: WRBARRY@MSN.COM

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 6800 PALOMAS AVE NE, ALBUQUERQUE, NM 87109
Location Description HOPE CHRISTIAN HIGH SCHOOL CAMPUS
2. Property Owner* HOPE CHRISTIAN SCHOOLS INC.
3. Agent/Applicant* [if applicable] ROMA ARCHITECTURE - ELLIOT HIELD, PROJECT MANAGER
4. Application(s) Type* per IDO [Table 6-1-1](#)
 - Historic Certificate of Appropriateness – Minor
 - Sign Permit
 - Alternative Signage Plan
 - Wall/Fence Permit
 - Site Plan – Administrative²

Summary of project/request*:

APPLICATION FOR NEW SITE PLAN - ADMINISTRATIVE (DFT) FOR THE CAMPUS OF HOPE CHRISTIAN HIGH SCHOOL. PLEASE NOTE: YOU AND ALL OTHER REPRESENTATIVES OF AFFECTED NEIGHBORHOOD ASSOCIATIONS WERE SENT AN OFFICIAL NEIGHBORHOOD MEETING REQUEST ON 11/20/2023 AS REQUIRED BY THE IDO. AS ALL REPRESENTATIVES CONTACTED EITHER DECLINED A MEETING OR FAILED TO RESPOND WITHIN THE 15 DAY PERIOD PRESCRIBED BY THE IDO, NO MEETING WAS HELD.

5. This application will be decided by staff. Please contact devhelp@cabq.gov or call the Planning Department at 505-924-3860 to speak with staff.

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Usually submitted and reviewed as part of building permit application, which can be searched by address here: <https://posse.cabq.gov/posse/pub/lms/Login.aspx>

[Note: Items with an asterisk (*) are required.]

- 6. Where more information about the project can be found^{*3}:
[CONTACT ELLIOT HIELD - ELLIOT@ROMAARC.COM](mailto:ELLIOT@ROMAARC.COM)

Information Required for Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

- 1. Zone Atlas Page(s)^{*4} D-18-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project^{*}:

- Deviation(s)
- Variance(s)⁵
- Waiver(s)⁶

Explanation^{*}:

- 4. Pre-submittal Neighborhood Meeting: Not Required
- 5. **For Site Plan – Administrative Applications only^{*}**, attach site plan showing, at a minimum:
 - a. Location of proposed buildings and landscape areas. ^{*}
 - b. Access and circulation for vehicles and pedestrians. ^{*}
 - c. Maximum height of any proposed structures, with building elevations. ^{*}
 - d. **For residential development^{*}**: Maximum number of proposed dwelling units.
 - e. **For non-residential development^{*}**:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁷:

- 1. Area of Property [typically in acres] 8.55
- 2. IDO Zone District MX-L
- 3. Overlay Zone(s) [if applicable] N/A
- 4. Center or Corridor Area [if applicable] N/A

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

⁵ Separate notice is required for Variances.

⁶ Separate notice is required for Waivers.

⁷ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

Current Land Use(s) [vacant, if none] HIGH SCHOOL CAMPUS

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting within 15 days of the date of this notice. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

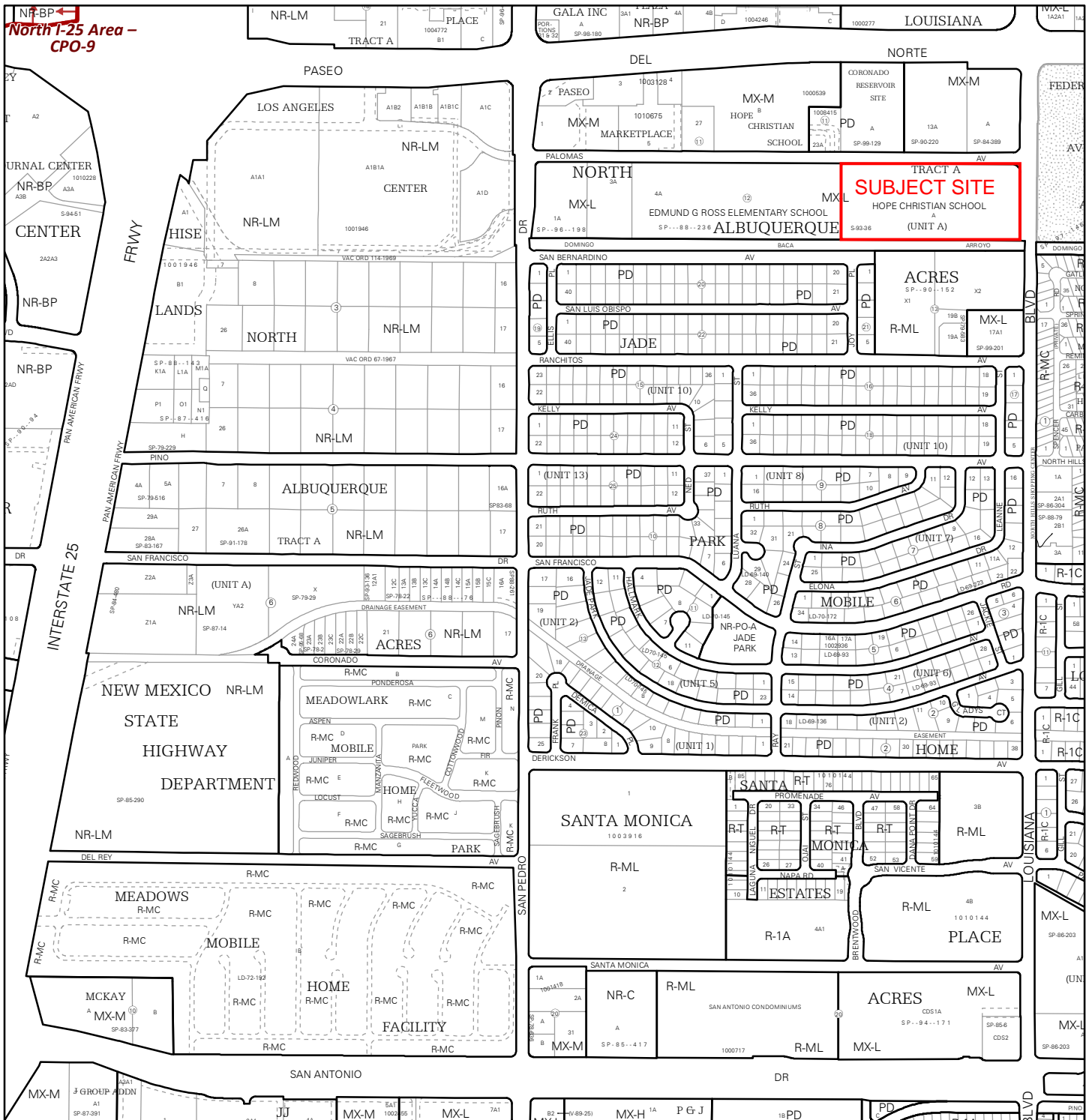
Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

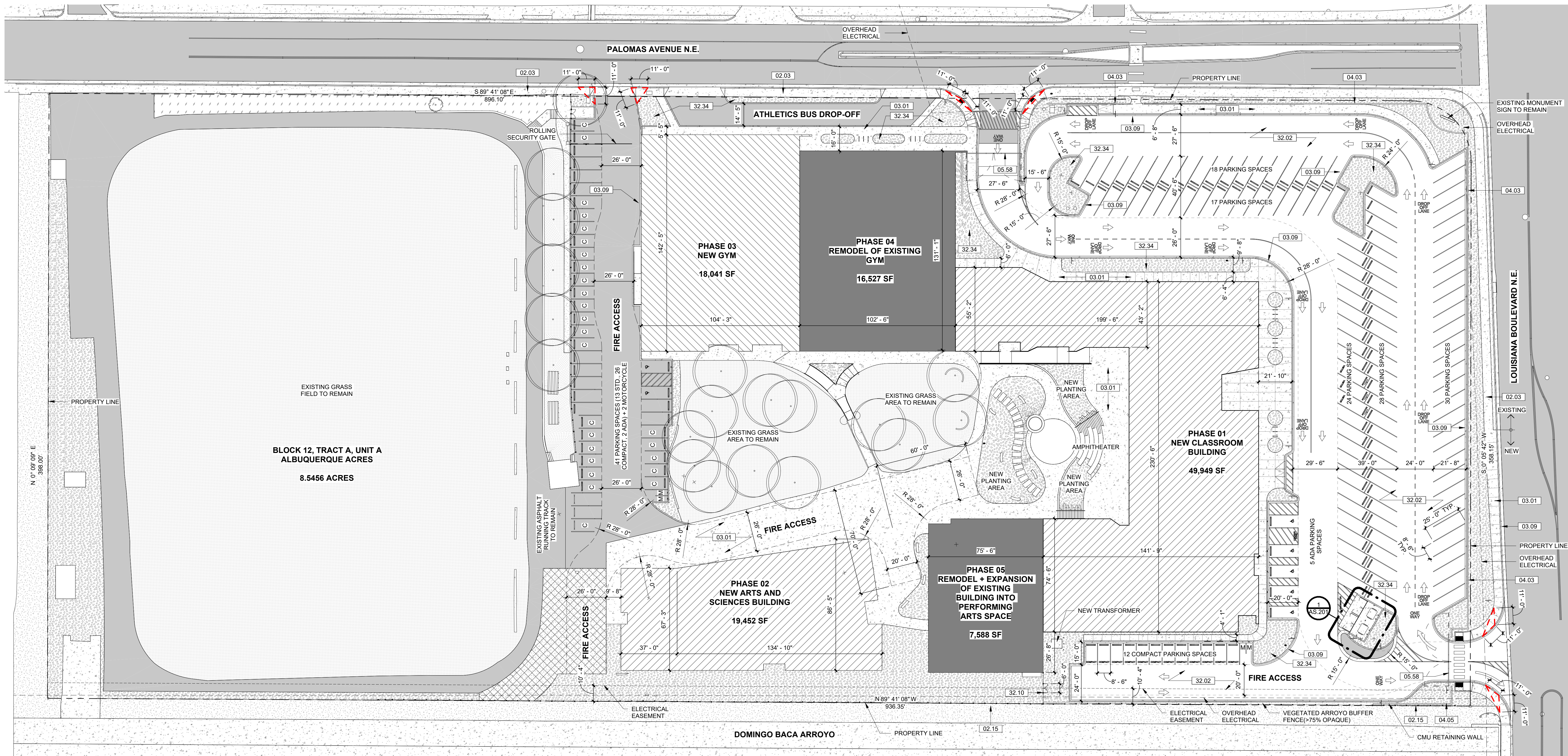
IDO Zoning information as of May 17, 2018
 The Zone Districts and Overlay Zones
 are established by the
 Integrated Development Ordinance (IDO).

Zone Atlas Page:
D-18-Z

- Easement
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

- Escarpment

0 250 500 1,000 Feet



1 SITE PLAN
1" = 30'-0"

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

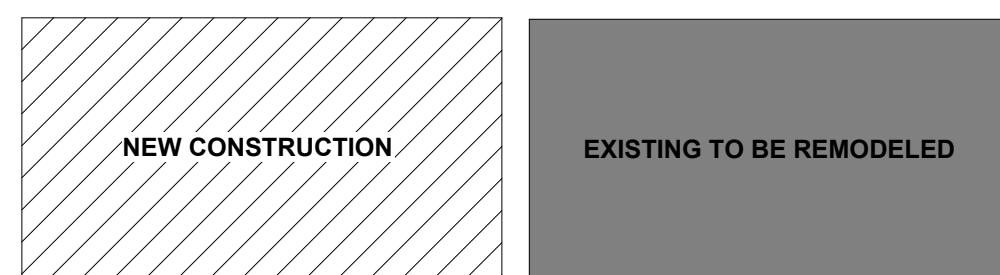
IS AN INFRASTRUCTURE LIST REQUIRED (X) YES () NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DET SITE DEVELOPMENT PLAN APPROVAL: _____

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
ABCWJA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
HYDROLOGY	DATE
CODE ENFORCEMENT	DATE
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
PLANNING DEPARTMENT	DATE
*ENVIRONMENTAL HEALTH, IF NECESSARY	DATE

BUILDING AREA BY PHASE		CONSTRUCTION STARTS	
PHASE 01	LEVEL 1 LEVEL 2	28,388 SF 21,561 SF	05/2024
PHASE 02	LEVEL 1 LEVEL 2	12,435 SF 7,017 SF	06/2025
PHASE 03	LEVEL 1 LEVEL 2	14,686 SF 3,355 SF	06/2026
PHASE 04	LEVEL 1 (REMODELED) LEVEL 2 (REMODELED)	13,427 SF 3,100 SF	06/2027
PHASE 05	LEVEL 1* (REMODELED) LEVEL 1 (ADDITION)	6,098 SF 1,490	08/2028
TOTAL BUILDING AREA:		111,557 SF	

BUILDING LEGEND:



PARKING REQUIREMENTS AND PROVISIONS

ZONING CODE: CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE

14-16-5-5-1 MINIMUM OFF-STREET PARKING REQUIREMENTS

HIGH SCHOOL: 1 SPACE / 4 SEATS IN MAIN AUDITORIUM OR 3 SPACES / CLASSROOM WHICHEVER IS GREATER
MAIN AUDITORIUM SEATS 591 OCCUPANTS (CONCENTRATED; CHAIRS ONLY - NOT FIXED)
591 SEATS / 4

= 148 SPACES REQUIRED
SINCE OVER 20 SPACES ARE REQUIRED, UP TO 25% CAN BE COMPACT SPACES

STANDARD 130
COMPACT 38 (-22% OF TOTAL SPACES PROVIDED)
ACCESSIBLE 7

TOTAL SPACES PROVIDED 125

14-16-5-5(C)(8) ACCESSIBLE PARKING (PER 2010 ADA STANDARDS TABLE 208.2)

TOTAL NUMBER OF PARKING SPACES PROVIDED (EAST LOT) = 101 TO 150
MINIMUM REQUIRED ACCESSIBLE PARKING SPACES = 5 (1 VAN)

SPACES PROVIDED (EAST LOT) = 5 (1 VAN)

TOTAL NUMBER OF PARKING SPACES PROVIDED (WEST LOT) = 26 TO 50
MINIMUM REQUIRED ACCESSIBLE PARKING SPACES = 2 (1 VAN)

SPACES PROVIDED (WEST LOT) = 2 (1 VAN)

14-16-5-5(D) MINIMUM MOTORCYCLE PARKING REQUIREMENTS (TABLE 5-5-4)

REQUIRED OFF-STREET VEHICLE PARKING SPACES = 101-150
NUMBER OF MOTORCYCLE SPACES REQUIRED = 4

SPACES PROVIDED = 4 (2 IN EAST LOT / 2 IN WEST LOT)

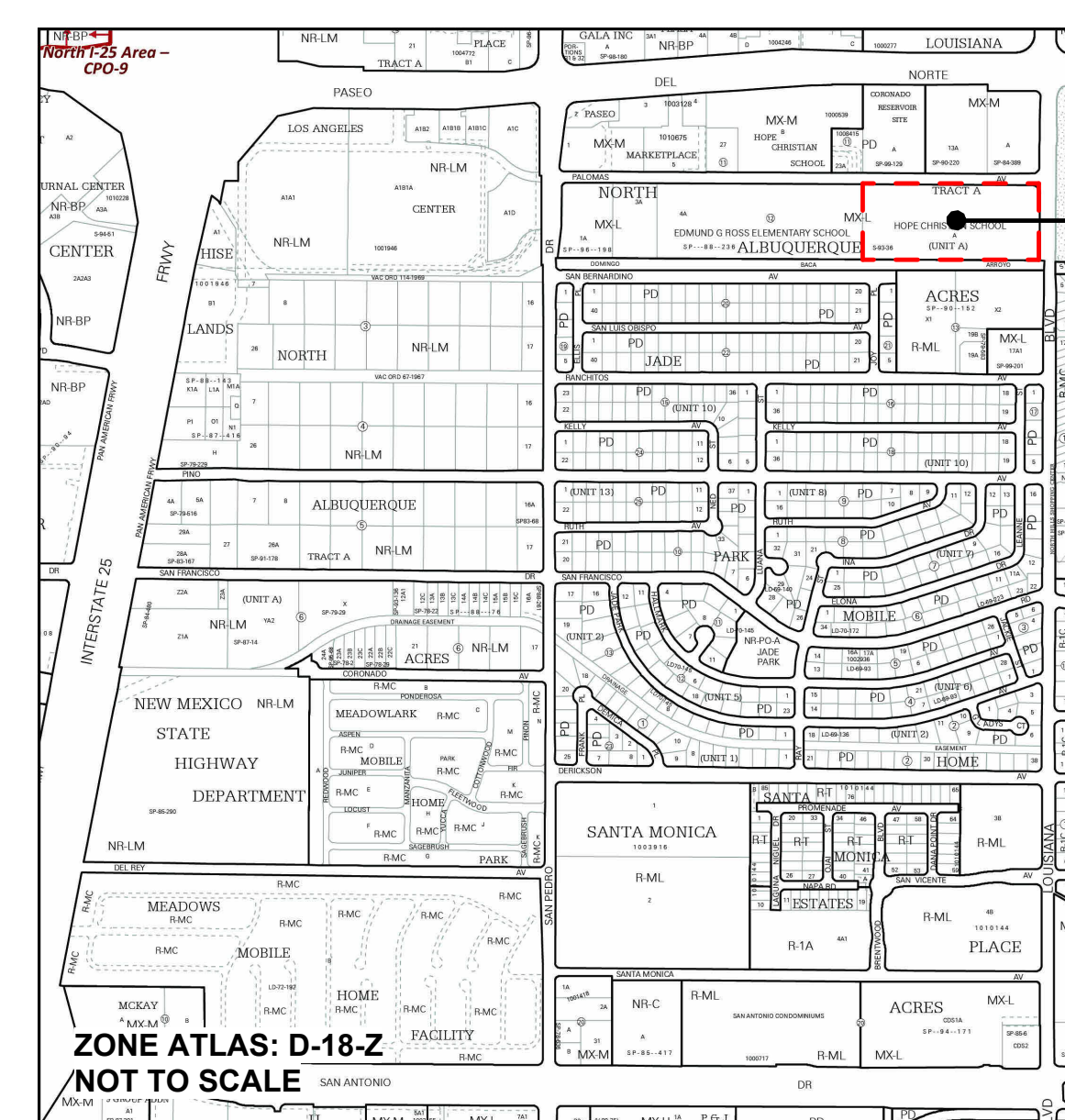
14-16-5-5(E) MINIMUM BICYCLE PARKING REQUIREMENTS (TABLE 5-5-5)

HIGH SCHOOL: 20% OF REQUIRED OFF-STREET PARKING SPACES
TOTAL NUMBER OF OFF-STREET PARKING SPACES REQUIRED = 148
20% OF 148 = 30 BICYCLE SPACES REQUIRED

BICYCLE SPACES PROVIDED = 30 (15 RACKS X 2 BIKES/RACK)

LEGAL DESCRIPTION

HOPE CHRISTIAN SCHOOL, BLOCK 12, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, AS THE SAME IS SHOWN AND DESIGNATED OF THE PLAT ENTITLED "PLAT OF HOPE CHRISTIAN SCHOOL, BLOCK 12, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 24, 1994, IN VOLUME 94C, FOLIO 97.



VICINITY MAP: D-18-Z

SITE ZONING: MX-L

ZONING REQUIREMENTS

ZONING DISTRICT: MIXED-USE - LOW INTENSITY ZONE DISTRICT (MX-L)
INTEGRATED DEVELOPMENT ORDINANCE
CITY OF ALBUQUERQUE, NEW MEXICO

SETBACKS:
FRONT: 5 FEET
SIDE: INTERIOR: 0 FEET, STREET SIDE: 5 FEET
REAR: 15 FEET

MAXIMUM HEIGHT: 38 FEET.

Key Value	Keynote Text
02.03	EXISTING CONCRETE PAVING TO REMAIN
02.15	EXISTING CHAINLINK FENCE TO REMAIN
03.01	4" CONCRETE SLAB W/ BROOM FINISH - SEE CIVIL
03.09	NEW CONCRETE CURB AND GUTTER - SEE CIVIL
04.03	PARKING LOT BUFFER WALL - 3'-0" HIGH MINIMUM, 8" INTEGRALLY COLORED CMU FINISH & COLOR TO MATCH EXISTING CMU WALLS @ HOPE CHRISTIAN MIDDLE SCHOOL. SEE STRUCTURAL FOR FOUNDATION/REINFORCING.
04.05	RETAINING WALL / PARKING LOT SCREEN WALL - 6'-0" HIGH MINIMUM, 8" INTEGRALLY COLORED CMU - FINISH & COLOR TO MATCH EXISTING CMU WALLS @ HOPE CHRISTIAN MIDDLE SCHOOL. SEE STRUCTURAL FOR FOUNDATION/REINFORCING.
05.58	METAL PIPE VEHICLE ACCESS GATE. SEE DETAIL.
32.02	NEW ASPHALT PAVING - SEE CIVIL
32.10	NEW 6'-0" HIGH CHAINLINK FENCE
32.34	NEW LANDSCAPED AREA. SEE CIVIL AND LANDSCAPE.

REVISION SCHEDULE

#	Date	Description

HOPE CHRISTIAN HIGH SCHOOL
30' - 1"

HOPE
12' - 8"

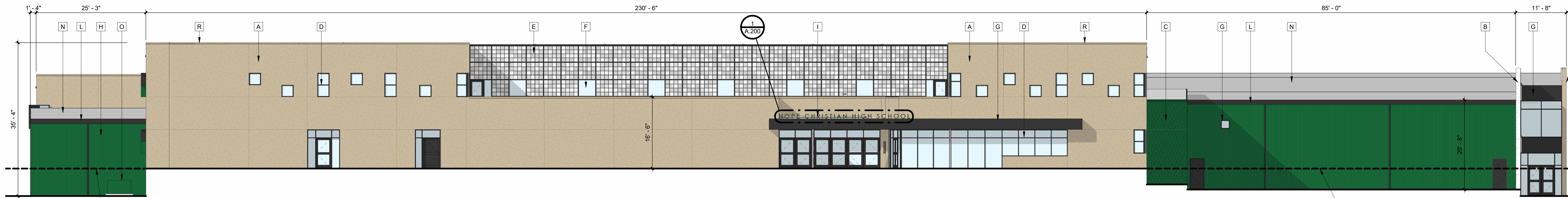
6800
A

1 ENTRY SIGN
1/4" = 1'-0"
SIGN AREA: 31 SF

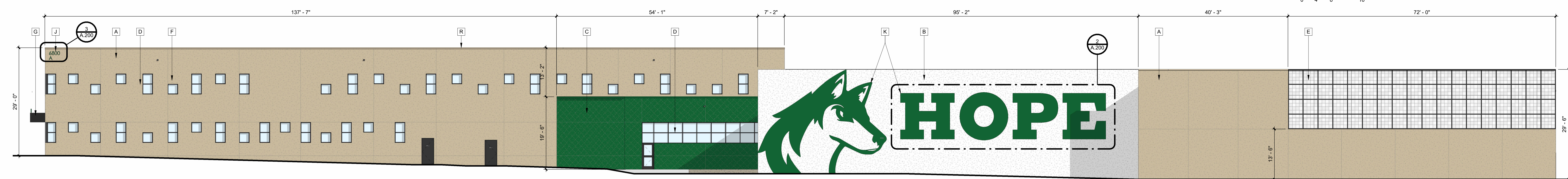
2 PAINTED WALL GRAPHIC
3/16" = 1'-0"
SIGN AREA: 700 SF

3 ADDRESS SIGN
1/4" = 1'-0"
SIGN AREA: 7 SF

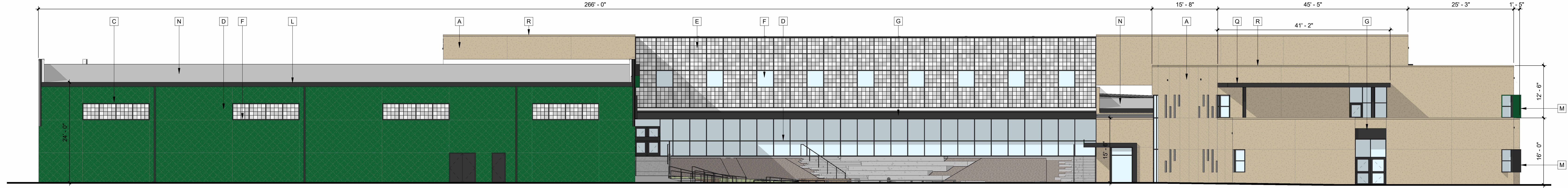
- LEGEND:**
- A STUCCO, COLOR TO MATCH EL REY "COTTONWOOD"
 - B STUCCO, COLOR WHITE
 - C STUCCO, COLOR TO MATCH DUNN EDWARDS "LATER GATOR" DE 5678
 - D ALUMINUM STOREFRONT FRAMING, DARK BRONZE - E TRANSLUCENT FIBERGLASS FACADE, 3 TONES OF GRAY
 - F CLEAR INSULATED GLAZING
 - G METAL FASCIA, DARK BRONZE
 - H EXISTING METAL SIDING TO BE PAINTED GREEN
 - I ENTRY SIGN, CAST ALUMINUM LETTERS, GREEN
 - J ADDRESS SIGN, CAST ALUMINUM LETTERS, GREEN
 - K PAINTED WALL GRAPHIC, GREEN
 - L GUTTER AND DOWNSPOUTS, DARK BRONZE
 - M PROJECTING ALUMINUM SHADE FINS, DARK BRONZE / GREEN
 - N EXISTING METAL ROOF TO REMAIN
 - O GROUND MOUNTED ELECTRICAL TRANSFORMER
 - P METAL FASCIA, GREEN
 - Q STEEL SHADE CANOPY, PAINTED DARK BRONZE
 - R ROOF MOUNTED MECHANICAL EQUIPMENT SCREENED BY PARAPET.



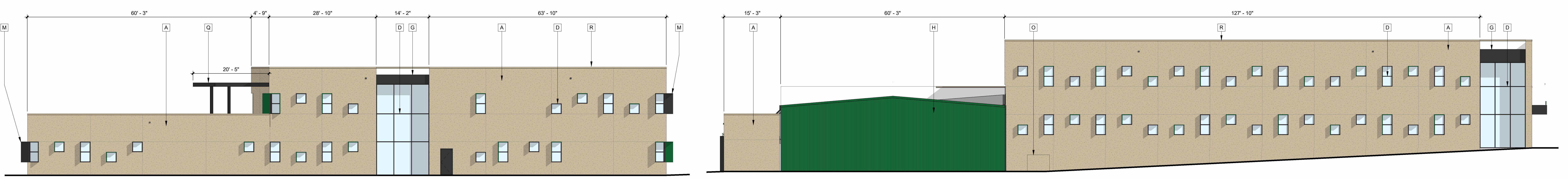
EAST ELEVATION
3/32" = 1'-0"
LINE OF ACTUAL GRADE AT CUT PLANE OF ELEVATION - FACADES BEYOND SHOWN FOR CLARITY - SEE GRADING PLAN



NORTH ELEVATION
3/32" = 1'-0"



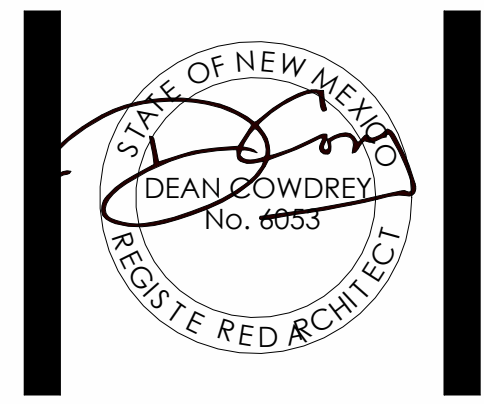
WEST ELEVATION
3/32" = 1'-0"



SOUTH ELEVATION
3/32" = 1'-0"

REVISION SCHEDULE

#	Date	Description



Subject: Public Notice - Site Plan - Hope Christian Schools

From: Elliot Hield <elliott@romaarc.com>

Date: 12/11/2023, 4:43 PM

To: NANCI CARRIVEAU <nancic613@hotmail.com>

CC: Dean Cowdrey <dean@romaarc.com>

Dear Ms. Carriveau,

I am writing you once again on behalf of our client, Hope Christian Schools, this time in accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) "Public Notice". We are writing to notify you as a Neighborhood Association Representative that ROMA Architecture will soon be submitting an application for a new Site Plan - Administrative to be reviewed by the City of Albuquerque Planning Department's Development Facilitation Team.

You and all other representatives of affected Neighborhood Associations were sent an official Neighborhood Meeting Request on 11/20/2023. As all representatives contacted either declined a meeting or failed to respond within the 15 day period prescribed by the IDO, no meeting was held.

Please see the attached official Public Notice form for further details, including all relevant information required per the IDO.

You do not need to respond to this email. If you have any questions or concerns please feel free to contact me directly.

Thank you,

--



ELLIOT HIELD, RA

Architect

ROMA ARCHITECTURE

Formerly Jon Anderson Architecture

505.764.8306 x 1004

505.310.9068

romaarc.com

— Attachments: —

Public Notice - NANCI CARRIVEAU.pdf

13.7 MB

Subject: Public Notice - Site Plan - Hope Christian Schools

From: Elliot Hield <elliott@romaarc.com>

Date: 12/11/2023, 4:43 PM

To: wrbarry@msn.com

CC: Dean Cowdrey <dean@romaarc.com>

Dear Mr. Barry,

I am writing you once again on behalf of our client, Hope Christian Schools, this time in accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) "Public Notice". We are writing to notify you as a Neighborhood Association Representative that ROMA Architecture will soon be submitting an application for a new Site Plan - Administrative to be reviewed by the City of Albuquerque Planning Department's Development Facilitation Team.

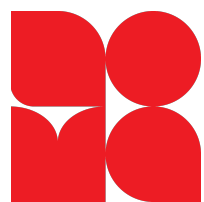
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Thank you,

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ELLIOT HIELD, RA

Architect

ROMA ARCHITECTURE

Formerly Jon Anderson Architecture

505.764.8306 x 1004

505.310.9068

romaarc.com

— Attachments: —

Public Notice - WILLIAM BARRY.pdf

13.7 MB