

1 SITE PLAN
1" = 30'-0"

PROJECT NUMBER: PR-2019-002134

APPLICATION NUMBER: SI-2024-00260

IS AN INFRASTRUCTURE LIST REQUIRED (X) YES () NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DET SITE DEVELOPMENT PLAN APPROVAL:

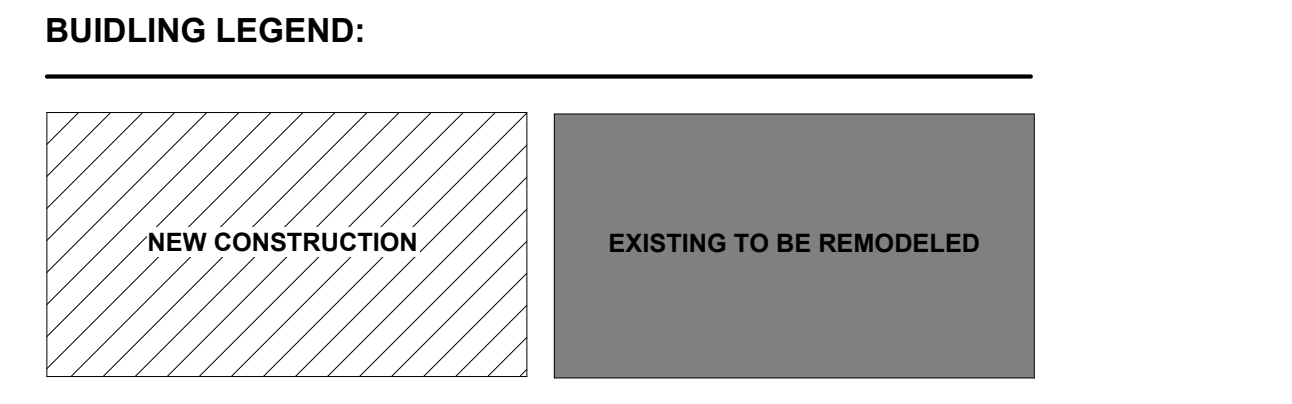
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
ABCWUA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
HYDROLOGY	DATE
CODE ENFORCEMENT	DATE
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
PLANNING DEPARTMENT	DATE
*ENVIRONMENTAL HEALTH, IF NECESSARY	DATE

SITE PLAN KEY / SHEET INDEX

AS.100	SITE PLAN
AS.102	PROJECT PHASING DIAGRAMS
AS.201	SITE DETAILS
LP.101	LANDSCAPING PLAN
LP.102	LANDSCAPING PLAN
C.100	GENERAL NOTES
C.101	CONCEPTUAL GRADING & DRAINAGE
C.102	FIRE#1
C.103	TRAFFIC CIRCULATION LAYOUT
C.105	GRADING & DRAINAGE
C.106	UTILITY PLAN
A.200	BUILDING ELEVATIONS
ES.102	OVERALL ELECTRICAL SITE PLAN COMPLETE
ES.103	OVERALL ELECTRICAL SITE PLAN COMPLETE CALCULATION
AS.100*	SITE PLAN (VERSION SIGNED BY SOLID WASTE)

BUILDING AREA BY PHASE

PHASE	LEVEL	AREA (SF)	CONSTRUCTION STARTS
PHASE 01	LEVEL 1	28,388 SF	05/2024
	LEVEL 2	21,561 SF	
PHASE 02	LEVEL 1	12,435 SF	06/2025
	LEVEL 2	7,017 SF	
PHASE 03	LEVEL 1	14,686 SF	06/2026
	LEVEL 2	3,355 SF	
PHASE 04	LEVEL 1 (REMODELED)	13,427 SF	06/2027
	LEVEL 2 (REMODELED)	3,100 SF	
PHASE 05	LEVEL 1* (REMODELED)	6,098 SF	06/2028
	LEVEL 1 (ADDITION)	1,490	
TOTAL BUILDING AREA:		111,857 SF	



LEGAL DESCRIPTION

HOPE CHRISTIAN SCHOOL, BLOCK 12, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, AS THE SAME IS SHOWN AND DESIGNATED OF THE PLAT ENTITLED "PLAT OF HOPE CHRISTIAN SCHOOL, BLOCK 12, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 24, 1994, IN VOLUME 940, FOLIO 97.

PARKING REQUIREMENTS AND PROVISIONS

ZONING CODE: CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE

14-16-5-1 MINIMUM OFF-STREET PARKING REQUIREMENTS

HIGH SCHOOL: 1 SPACE / 4 SEATS IN MAIN AUDITORIUM OR 3 SPACES / CLASSROOM WHICHEVER IS GREATER
 MAIN AUDITORIUM SEATS 591 OCCUPANTS (CONCENTRATED; CHAIRS ONLY - NOT FIXED)
 591 SEATS / 4

= 148 SPACES REQUIRED
 SINCE OVER 20 SPACES ARE REQUIRED, UP TO 25% CAN BE COMPACT SPACES

STANDARD	132
COMPACT	28
ACCESSIBLE	11
~23% OF TOTAL SPACES PROVIDED	

TOTAL SPACES PROVIDED: 169

14-16-5-5(C)(8) ACCESSIBLE PARKING (PER 2010 ADA STANDARDS TABLE 208.2)

TOTAL NUMBER OF PARKING SPACES PROVIDED (EAST LOT) = 101 TO 150
 MINIMUM REQUIRED ACCESSIBLE PARKING SPACES = 8 (2 VAN)

SPACES PROVIDED (EAST LOT) = 8 (2 VAN)

TOTAL NUMBER OF PARKING SPACES PROVIDED (WEST LOT) = 36 TO 50
 MINIMUM REQUIRED ACCESSIBLE PARKING SPACES = 3 (1 VAN)

SPACES PROVIDED (EAST LOT) = 3 (1 VAN)

14-16-5-5(D) MINIMUM MOTORCYCLE PARKING REQUIREMENTS (TABLE 5-5-4)

REQUIRED OFF-STREET VEHICLE PARKING SPACES = 101-150
 NUMBER OF MOTORCYCLE SPACES REQUIRED = 4

SPACES PROVIDED = 4 (2 IN EAST LOT, 2 IN WEST LOT)

14-16-5-5(E) MINIMUM BICYCLE PARKING REQUIREMENTS (TABLE 5-5-5)

HIGH SCHOOL: 20% OF REQUIRED OFF-STREET PARKING SPACES
 TOTAL NUMBER OF OFF-STREET PARKING SPACES REQUIRED = 148
 20% OF 148 = 30 BICYCLE SPACES REQUIRED

BICYCLE SPACES PROVIDED = 30 (15 RACKS X 2 BIKES/RACK)

ZONING REQUIREMENTS

ZONING DISTRICT: MIXED USE - LOW INTENSITY ZONE DISTRICT (MX-L)
 INTEGRATED DEVELOPMENT ORDINANCE
 CITY OF ALBUQUERQUE, NEW MEXICO

SETBACKS:
 FRONT: 5 FEET
 SIDE: INTERIOR: 0 FEET, STREET SIDE: 5 FEET
 REAR: 15 FEET

MAXIMUM HEIGHT: 38 FEET.

SEATING & GATHERING AREA REQUIREMENTS

QUANTITY REQUIRED: 1 PER 30,000 GSF FLOOR AREA: 111,557/30,000 = 4
QUANTITY PROVIDED: 4

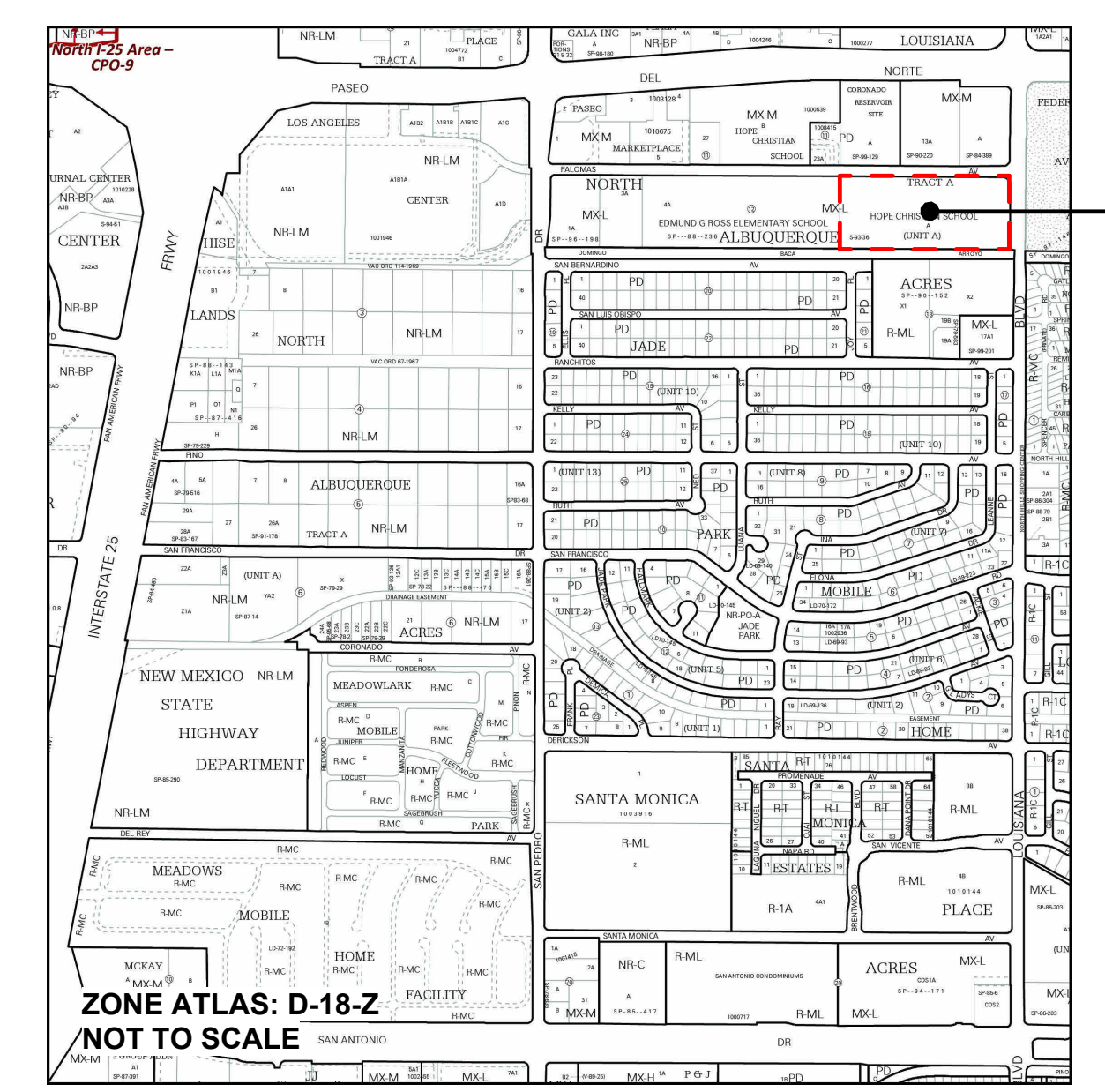
AREA REQUIRED: 400 SQUARE FEET EACH MIN.
AREA PROVIDED: 2x 1000 S.F. AREAS + 2x 500 S.F. AREAS

SHADING REQUIRED: AT LEAST 25% OF REQUIRED AREAS
SHADING PROVIDED: >20% OF REQUIRED AREAS

REQUIRED SEATING AND GATHERING AREAS SHALL BE PROVIDED WITH PEDESTRIAN-SCALE LIGHTING, STREET FURNITURE OR SEATING AREAS, AND TRASH RECEPTACLES AND SHALL BE LINKED TO THE PRIMARY ENTRANCE OF THE PRIMARY BUILDING AND THE PUBLIC SIDEWALK OR INTERNAL DRIVE AISLE OR LOCATED ADJACENT TO OR TO MAXIMIZE VIEWS TO PUBLIC OR PRIVATE OPEN SPACE. SEE LANDSCAPE PLANS FOR SITE FURNISHING.

SITE PLAN NARRATIVE:
 The subject site (the Hope Christian High School campus at 6800 Palomas Ave NE), along with the nearby sites of the Hope Christian Middle School campus at 8001 Louisiana Blvd NE and the Hope Christian Elementary School campus at 6721 Palomas Ave NE, had previously all been controlled by a Site Development Plan for Subdivision and Master Plan (COA Project #1000539), approved by the DRB in 2006. This SDP for SUB and MP expired and was automatically terminated in 2013 because less than 50% of the proposed improvements were completed within 7 years of its approval. In a 2019 DRB approval for a new Site Plan for the Hope Christian Elementary campus (PR-2019-002134, SI-2019-00056), it was determined by the DRB that any future development of the 3 aforementioned campuses, formerly controlled by the terminated SDP for SUB and MP, would henceforth be governed by separate and distinct Site Plans for each campus/site, each to be submitted and reviewed independently of one another.

The subject site is now controlled by the governing policies of the Integrated Development Ordinance (IDO), under which the proposed development falls under the Site Plan - Administrative (DFT) approval process. As no controlling Site Plan or Master Plan currently exists for the subject site, this application is being submitted as a new Site Plan, as an amendment to or extension of any prior-approved Site Plan (since the previous SDP for SUB and MP is expired).

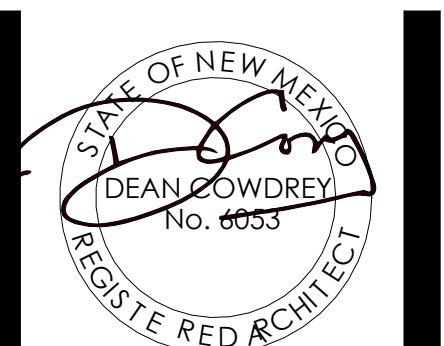


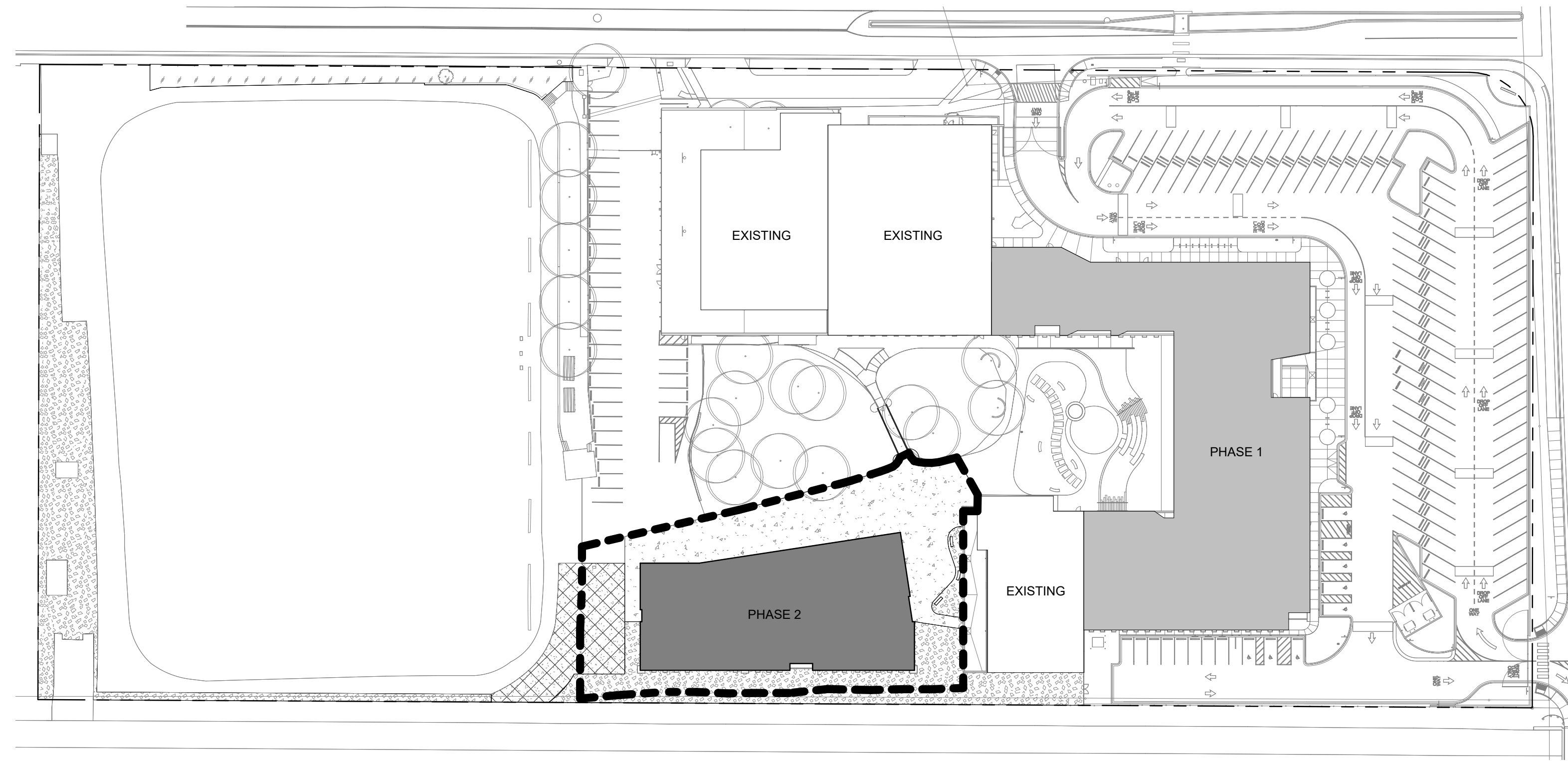
KEYNOTE LEGEND

Key Value	Keynote Text
02.03	EXISTING CONCRETE PAVING TO REMAIN
02.15	EXISTING 6" - 0" HIGH CHAINLINK FENCE TO REMAIN
03.01	4" CONCRETE SLAB W/ BROOM FINISH - SEE CIVIL
03.09	NEW CONCRETE CURB AND GUTTER - SEE CIVIL
03.37	NEW CONCRETE ROLL CURB & GUTTER - SEE CIVIL
04.03	PARKING LOT BUFFER WALL - 3" - 0" HIGH MINIMUM 8" INTEGRALLY COLORED CMU - FINISH & COLOR TO MATCH EXISTING CMU WALLS @ HOPE CHRISTIAN MIDDLE SCHOOL. SEE STRUCTURAL FOR FOUNDATION/REINFORCING.
05.58	METAL PIPE VEHICLE ACCESS GATE: 26" MIN. CLEAR VEHICLE ACCESS WIDTH. SEE DETAIL.
12.01	BICYCLE RACK - "HOOP" BY DERO OR APPROVED EQUAL. SEE AS 201 FOR DETAILS. MIN. SPACING 4' O.C. SEE DETAIL 15/AS.201
26.12	10' POLE LIGHT, INDIRECT - SEE ELECTRICAL
26.13	ARCHITECTURAL AREA LIGHT, TYPE V OPTICS, 20' SQUARE POLE - SEE ELECTRICAL
32.02	NEW ASPHALT PAVING - SEE CIVIL
32.10	NEW 6'-0" HIGH CHAINLINK FENCE
32.34	NEW LANDSCAPED AREA. SEE CIVIL AND LANDSCAPE
32.40	SPEED BUMP, TYPICAL. SEE CIVIL
32.42	TRAFFIC DIRECTORY SIGN - "PARKING, ADMINISTRATION, HIGH SCHOOL DROP-OFF"
32.43	TRAFFIC SIGN - "WRONG WAY, DO NOT ENTER"
32.44	REQUIRED SEATING AND GATHERING AREA. SEE SEATING AND GATHERING AREA REQUIREMENTS ON THIS SHEET
32.45	NEW CROSSWALK STRIPING
32.46	EXISTING CROSSWALK TO REMAIN - STRIPING TO BE REPAINTED
32.48	PAINTED LETTERING - "RIGHT TURN ONLY"
32.50	TRAFFIC SIGN "RIGHT TURN ONLY" - SEE AS.103 FOR DETAIL

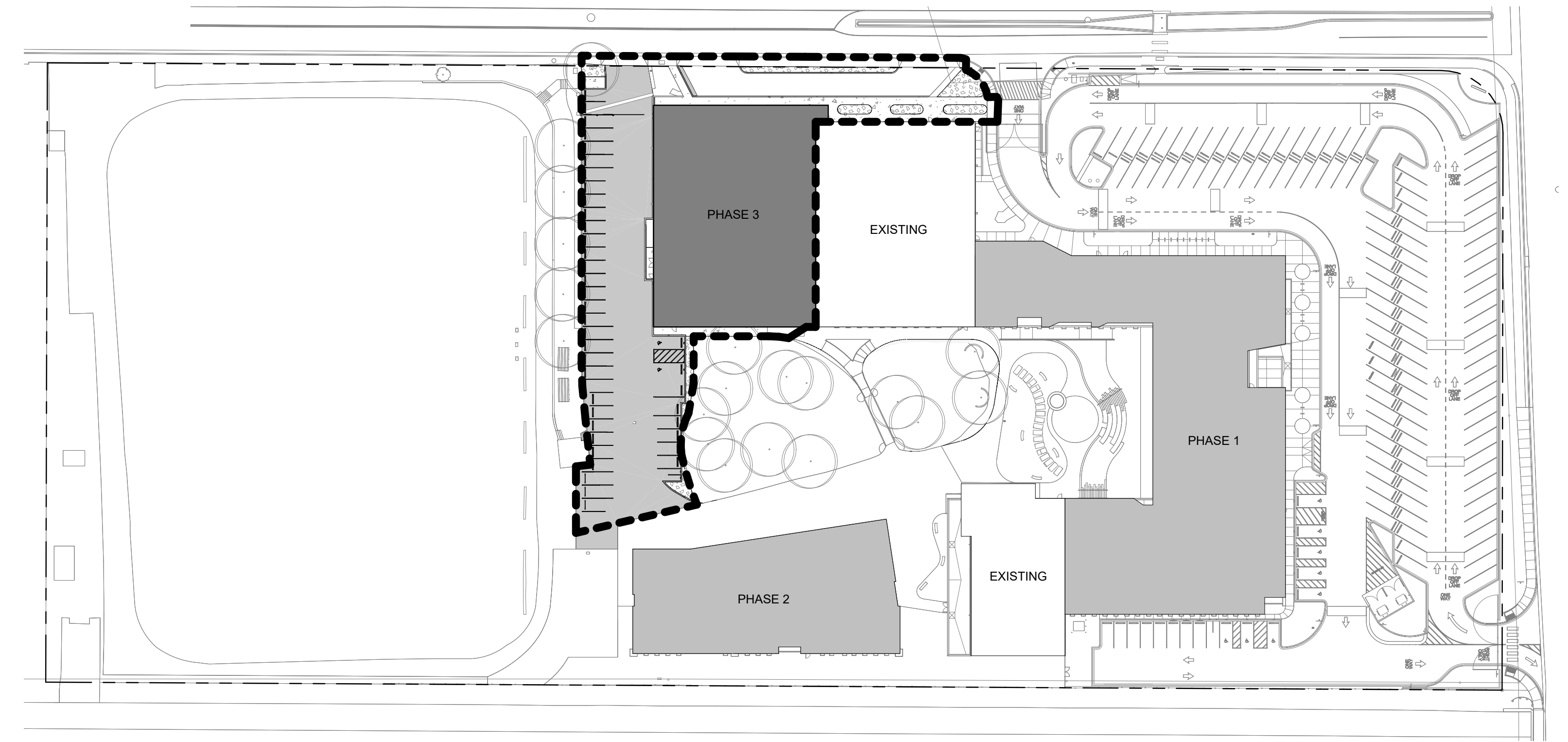
REVISION SCHEDULE

#	Date	Description

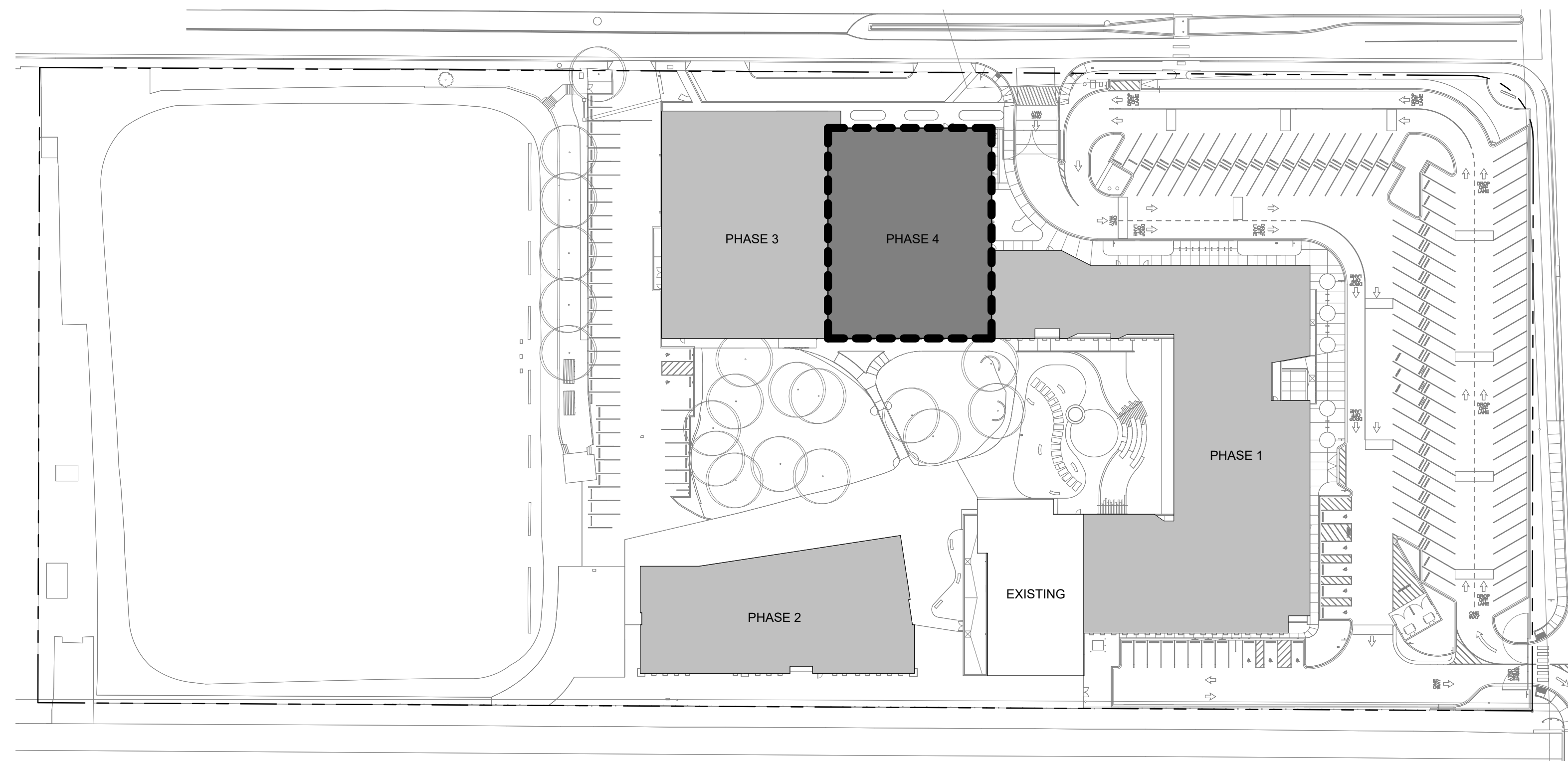




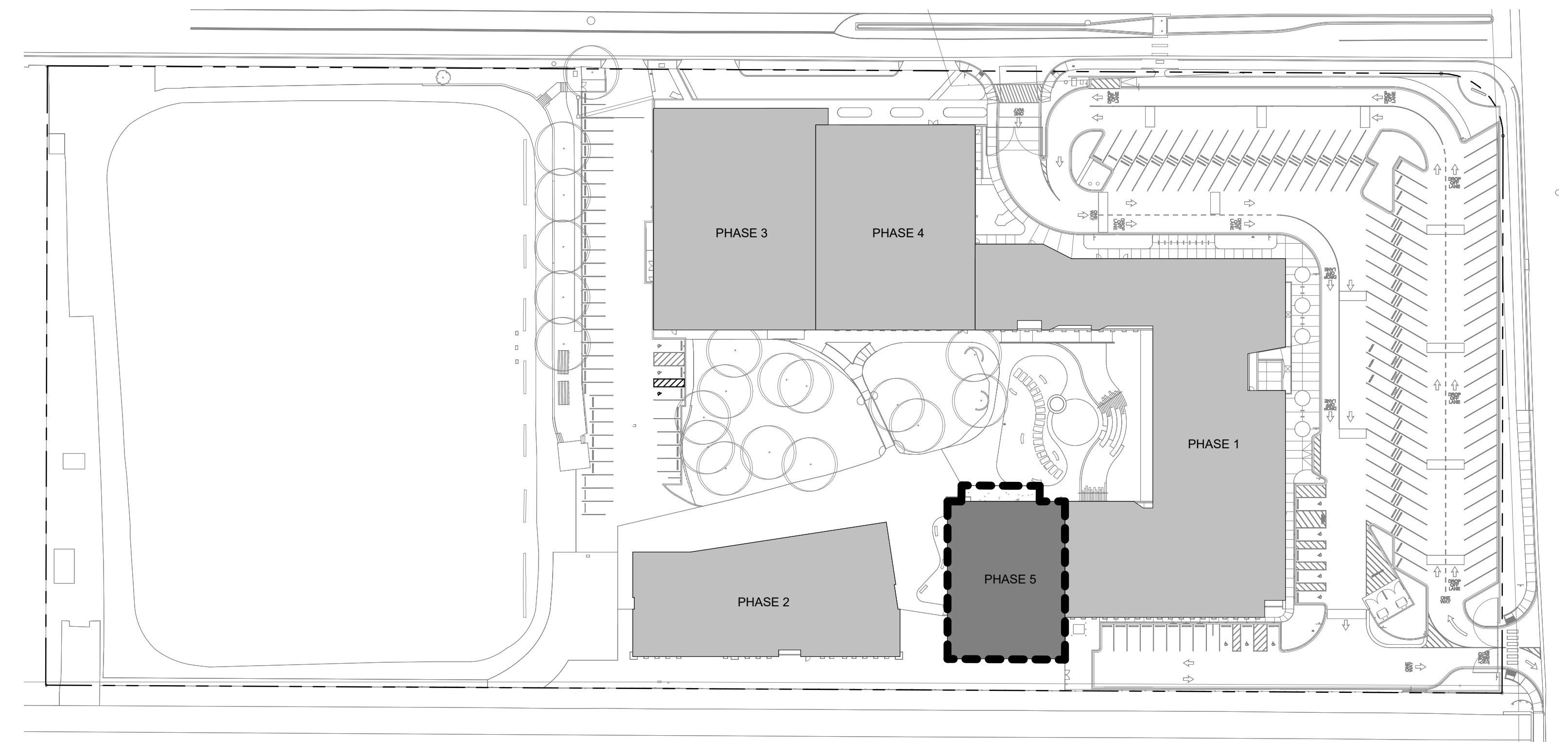
1 SITE PHASING DIAGRAM - PHASE 2 CONSTRUCTION OF NEW ARTS AND SCIENCES BUILDING
1" = 60'-0"



2 SITE PHASING DIAGRAM - PHASE 3 CONSTRUCTION OF NEW GYM BUILDING
1" = 60'-0"



3 SITE PHASING DIAGRAM - PHASE 4 RENOVATION OF EXISTING GYM
1" = 60'-0"



4 SITE PHASING DIAGRAM - PHASE 5 RENOVATION OF EXISTING MULTIPURPOSE BUILDING INTO PERFORMING ARTS SPACE
1" = 60'-0"

LEGEND:

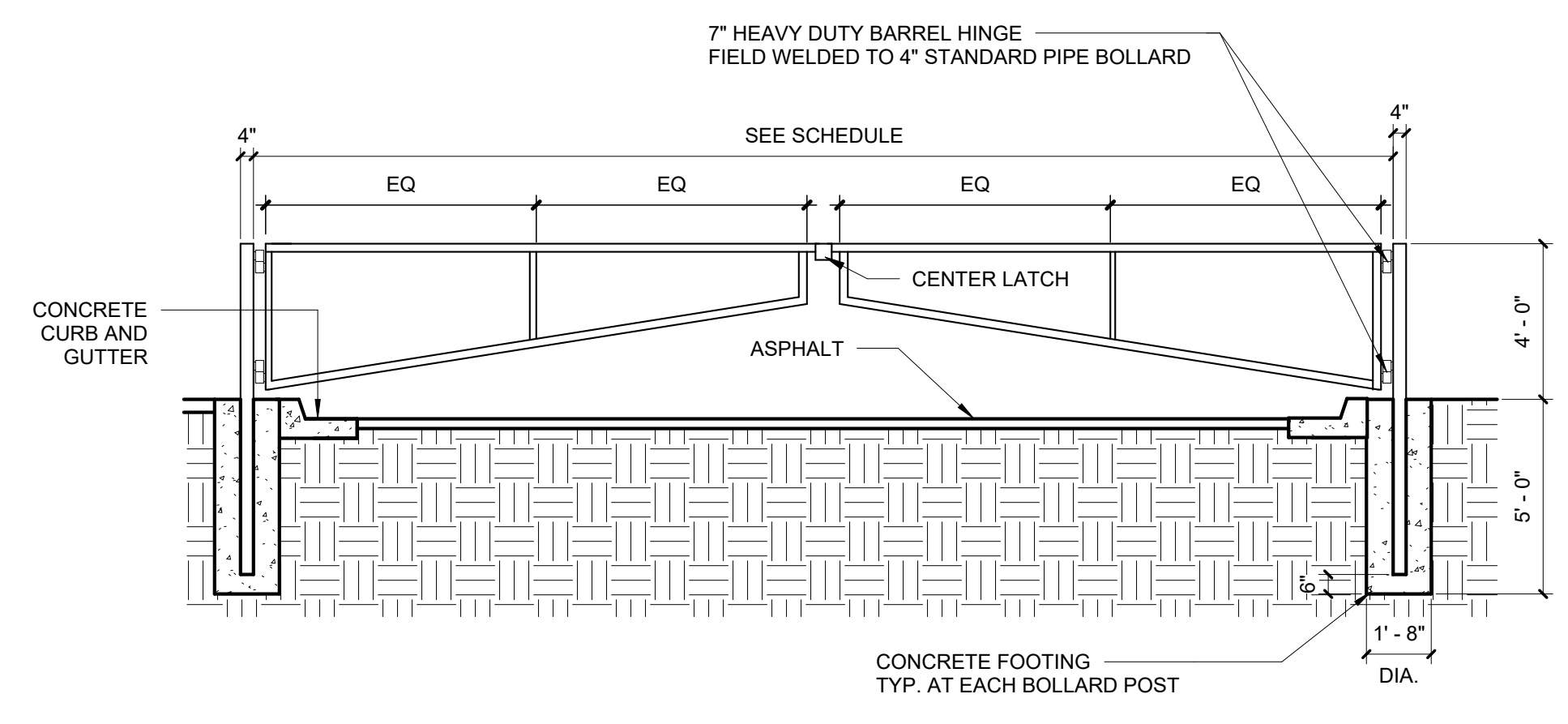
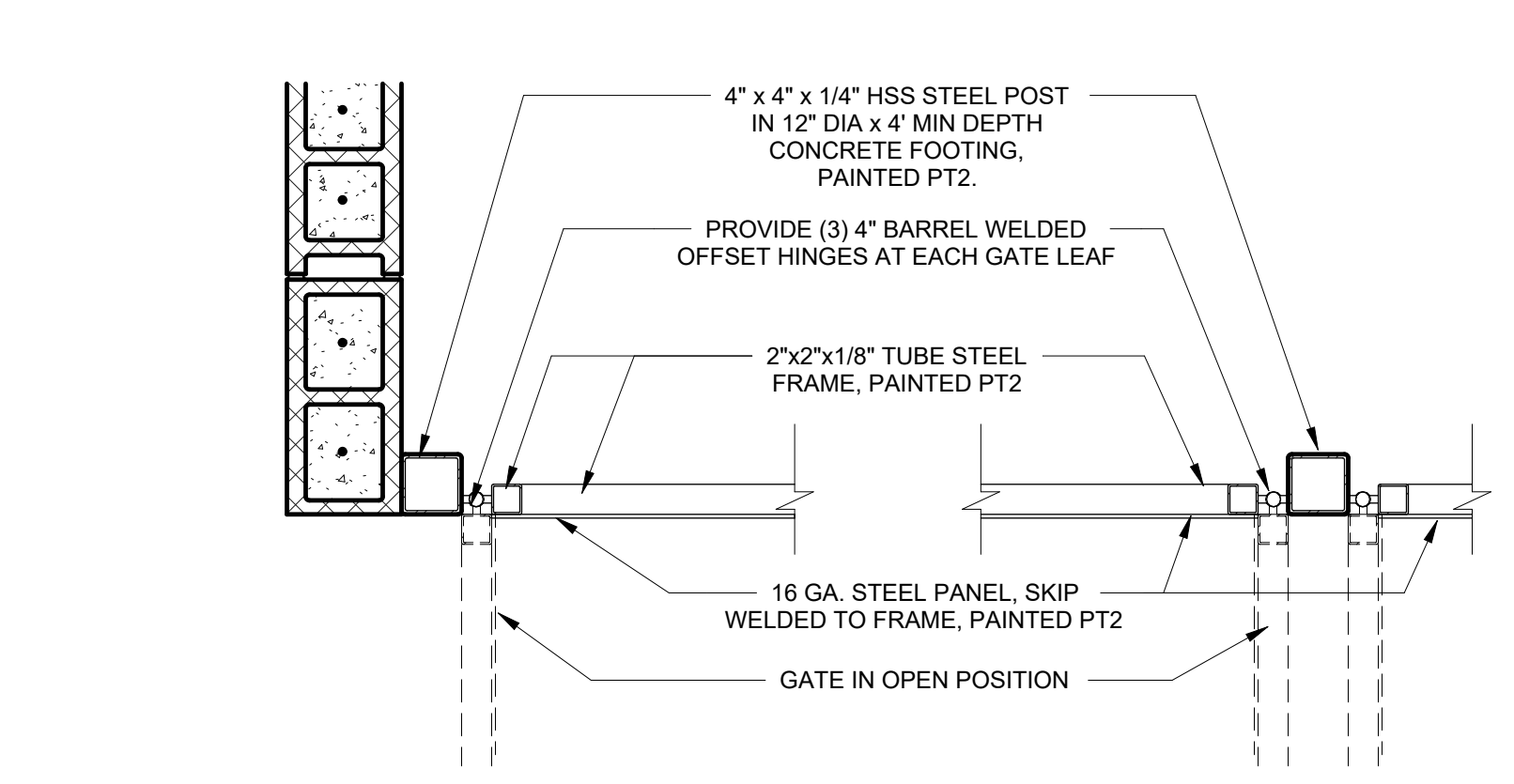
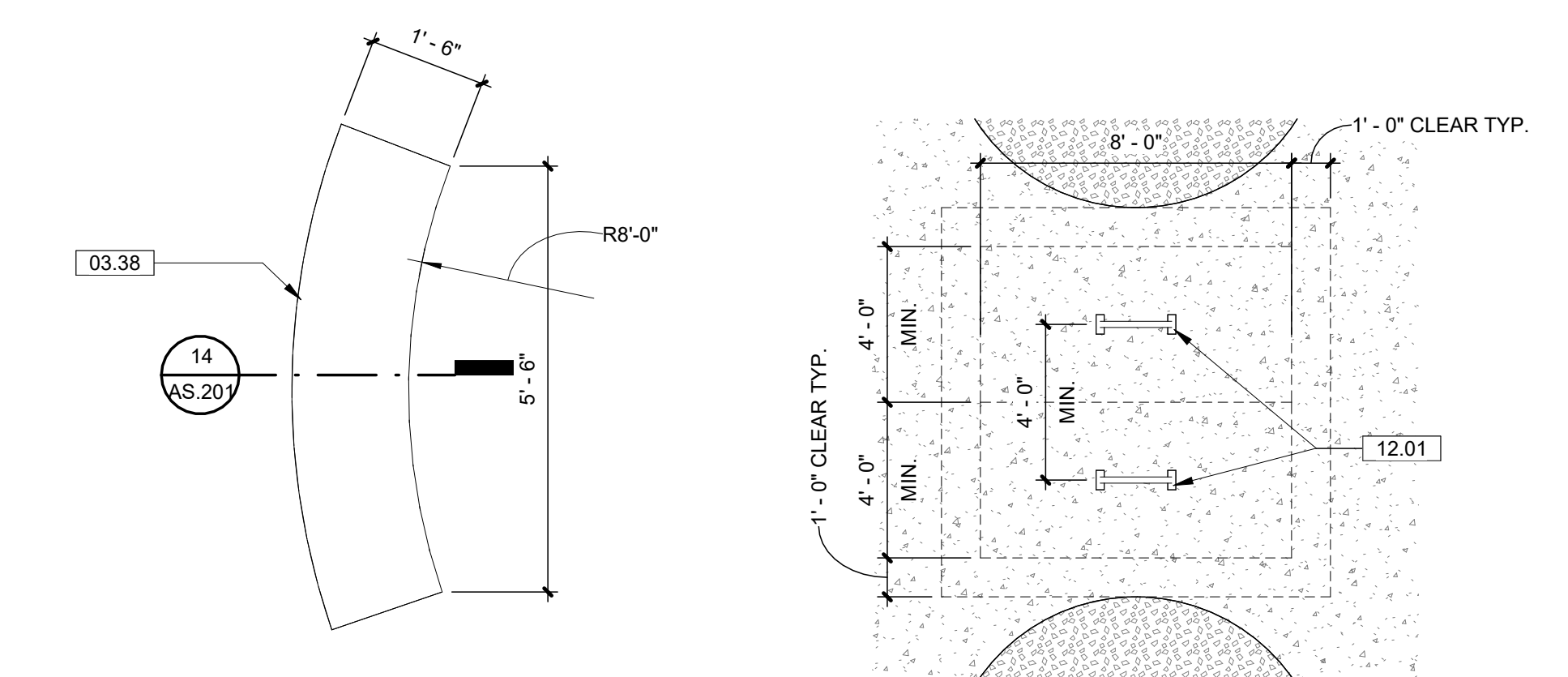
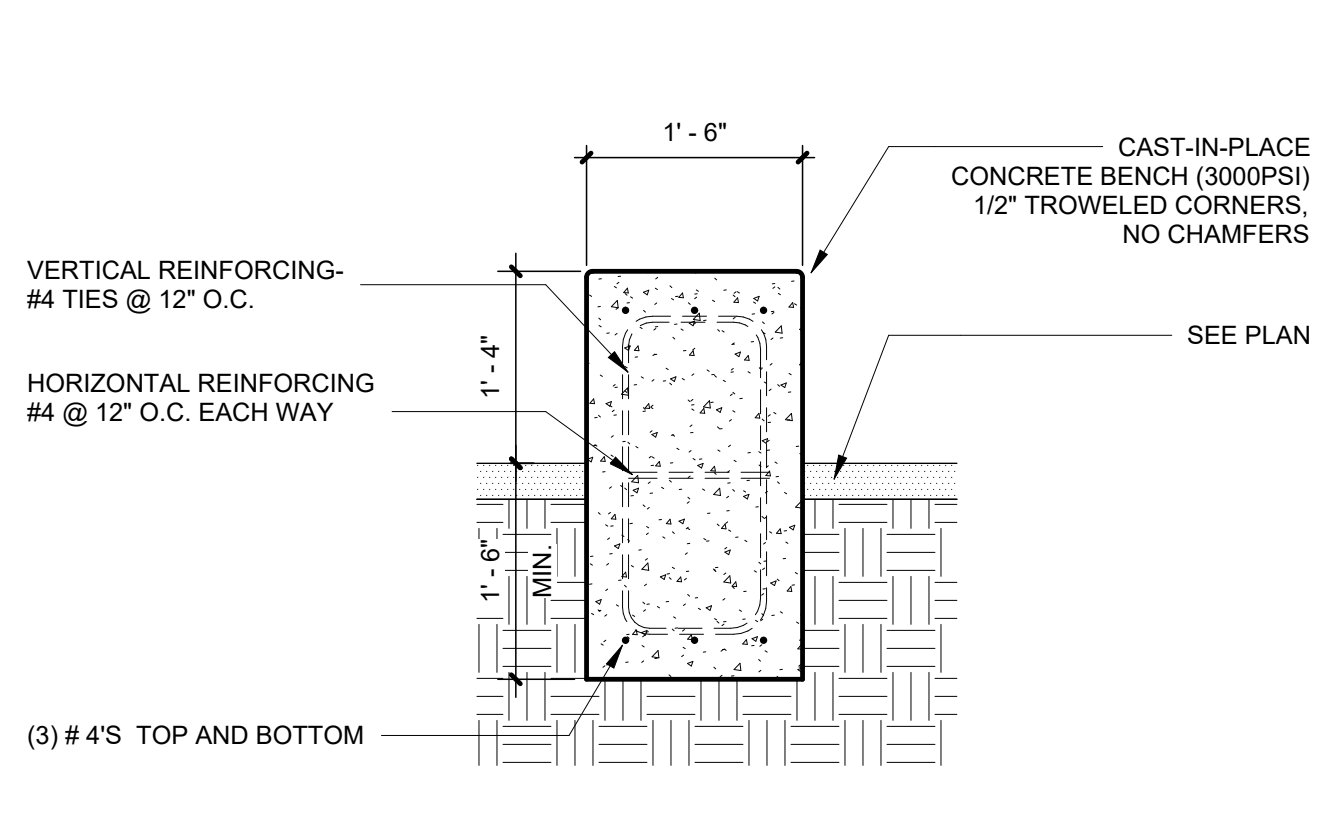


NOTE:
THIS SHEET SHOWING FUTURE PROJECT PHASES IS INCLUDED FOR INFORMATIONAL PURPOSES ONLY. THE PROJECT PER THIS BUILDING PERMIT AND CONSTRUCTION CONTRACT SHALL INCLUDE PHASE 1 ONLY

REVISION SCHEDULE

#	Date	Description

Key Value	Keynote Text
02.37	STEEL TRASH ENCLOSURE GATE, PAINTED PT2
03.09	NEW CONCRETE CURB AND GUTTER - SEE CIVIL
03.26	PRECAST CONCRETE WHEELSTOP
03.37	NEW CONCRETE ROLL CURB & GUTTER - SEE CIVIL
03.38	CAST-IN-PLACE CONCRETE BENCH - SEE DETAIL
12.01	BICYCLE RACK - "HOOP" BY DERO OR APPROVED EQUAL. SEE AS.201 FOR DETAILS. MIN. SPACING 4'-0". SEE DETAIL 15AS.201
32.02	NEW ASPHALT PAVING - SEE CIVIL
32.24	PAINTED TRAFFIC STRIPING
32.34	NEW LANDSCAPED AREA. SEE CIVIL AND LANDSCAPE.
32.43	TRAFFIC SIGN - "WRONG WAY, DO NOT ENTER"



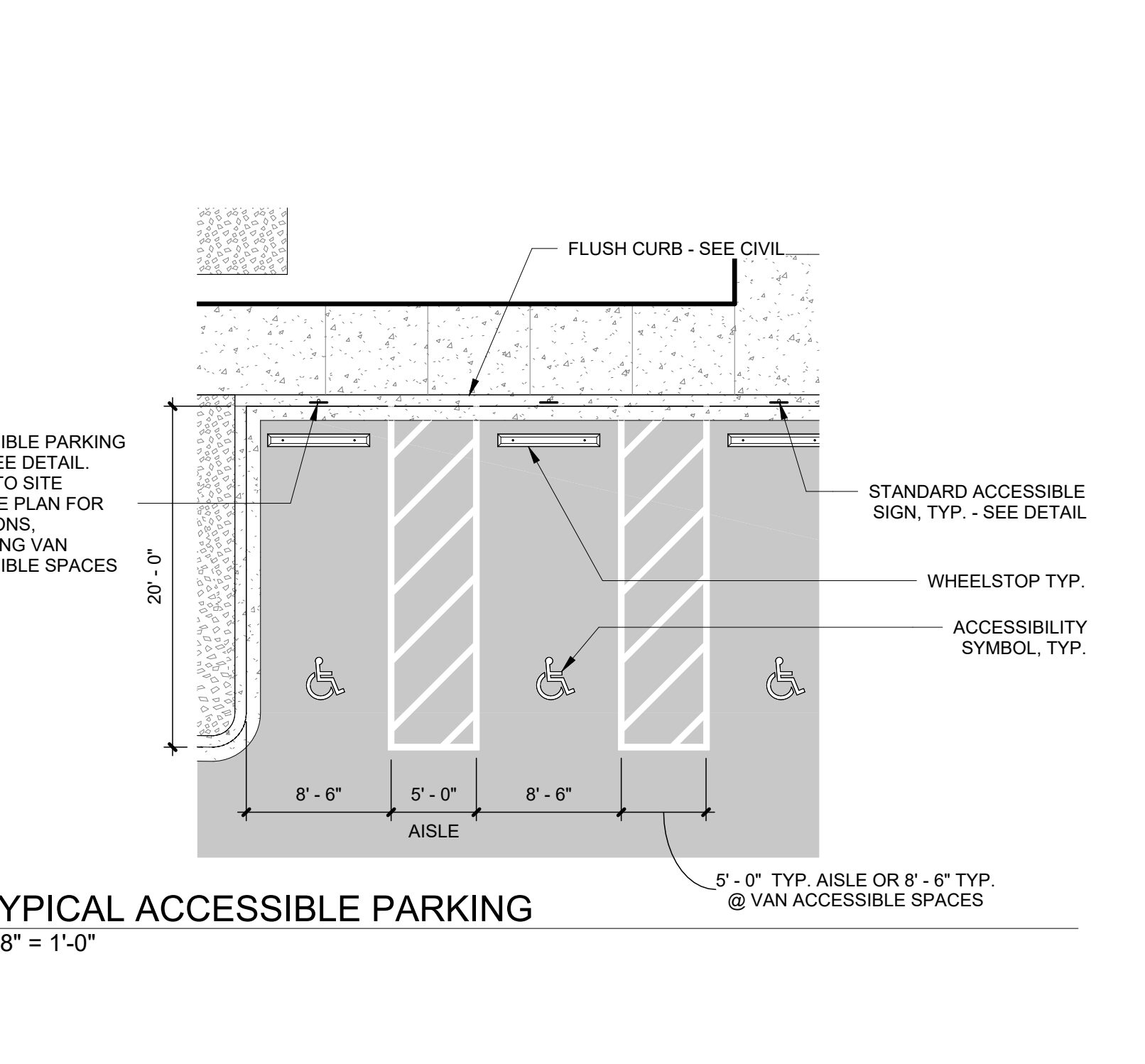
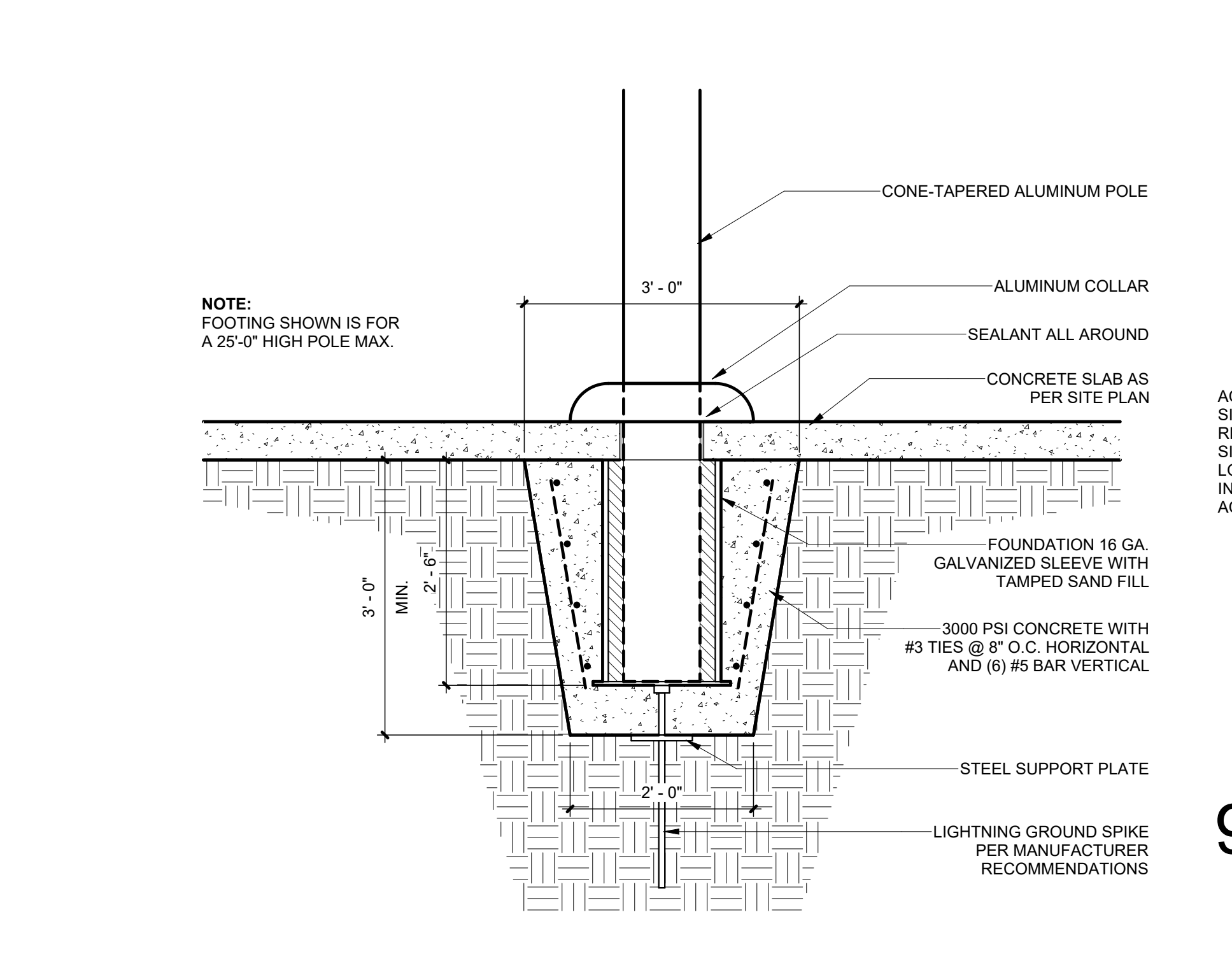
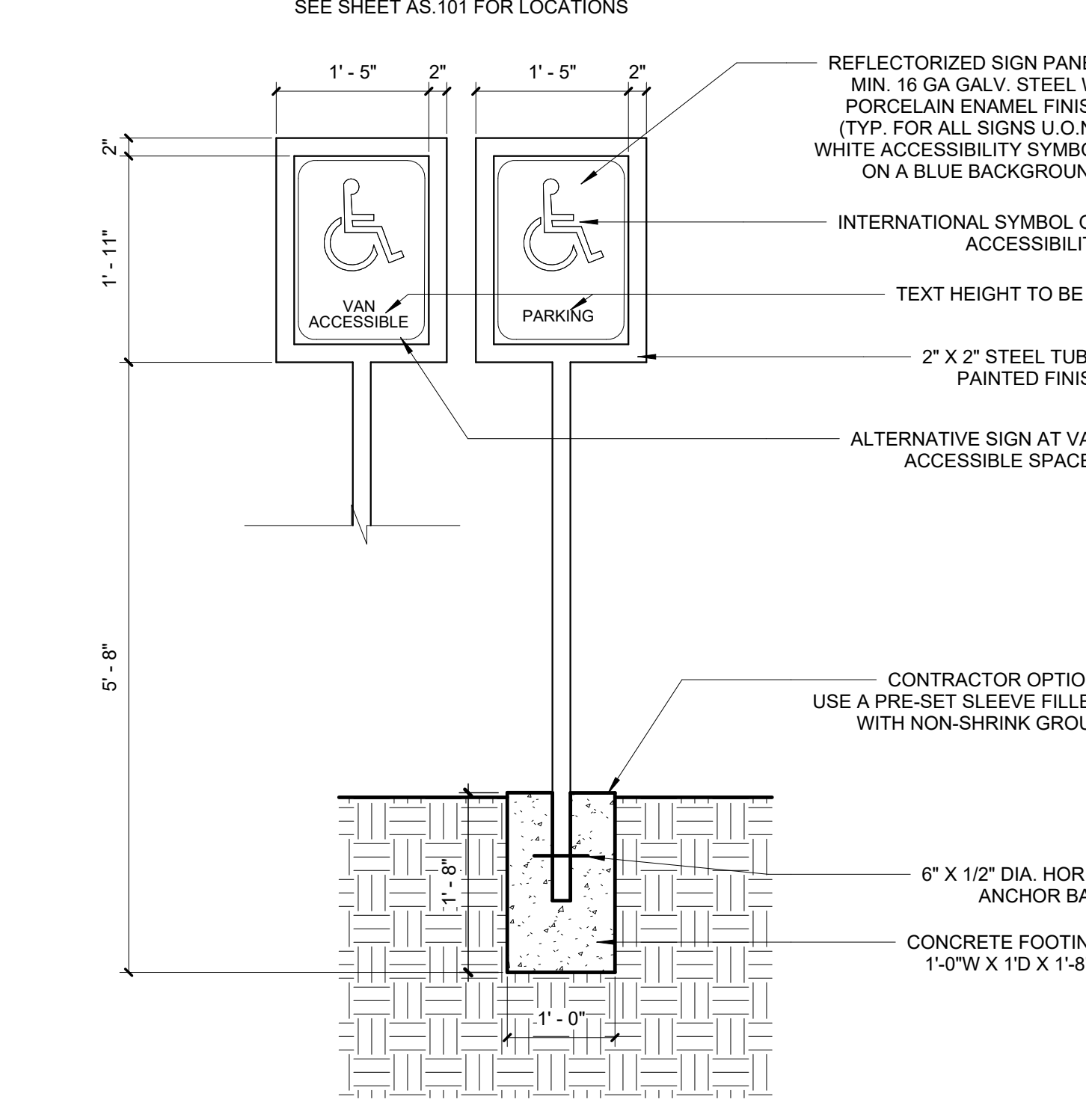
14 CONCRETE BENCH
3/4" = 1'-0"

13 CONCRETE BENCH - TYP.
1/2" = 1'-0"

15 TYPICAL BIKE RACK CLEARANCES
1/4" = 1'-0"
PER DPM FIGURE 7.4.115

12 TRASH ENCLOSURE GATE DETAIL
1" = 1'-0"

8 DOUBLE VEHICLE GATE
1/4" = 1'-0"

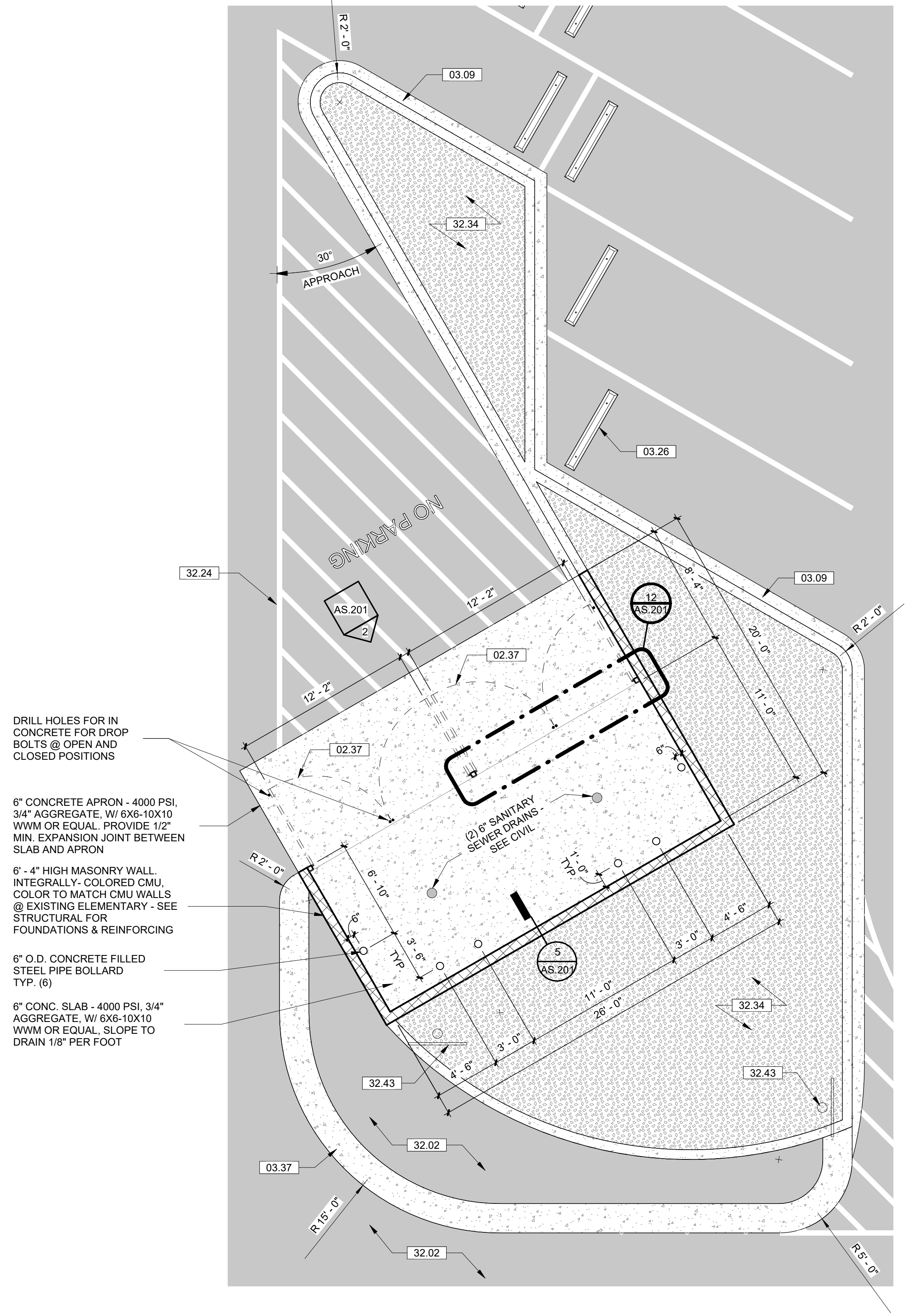


9 TYPICAL ACCESSIBLE PARKING
1/8" = 1'-0"

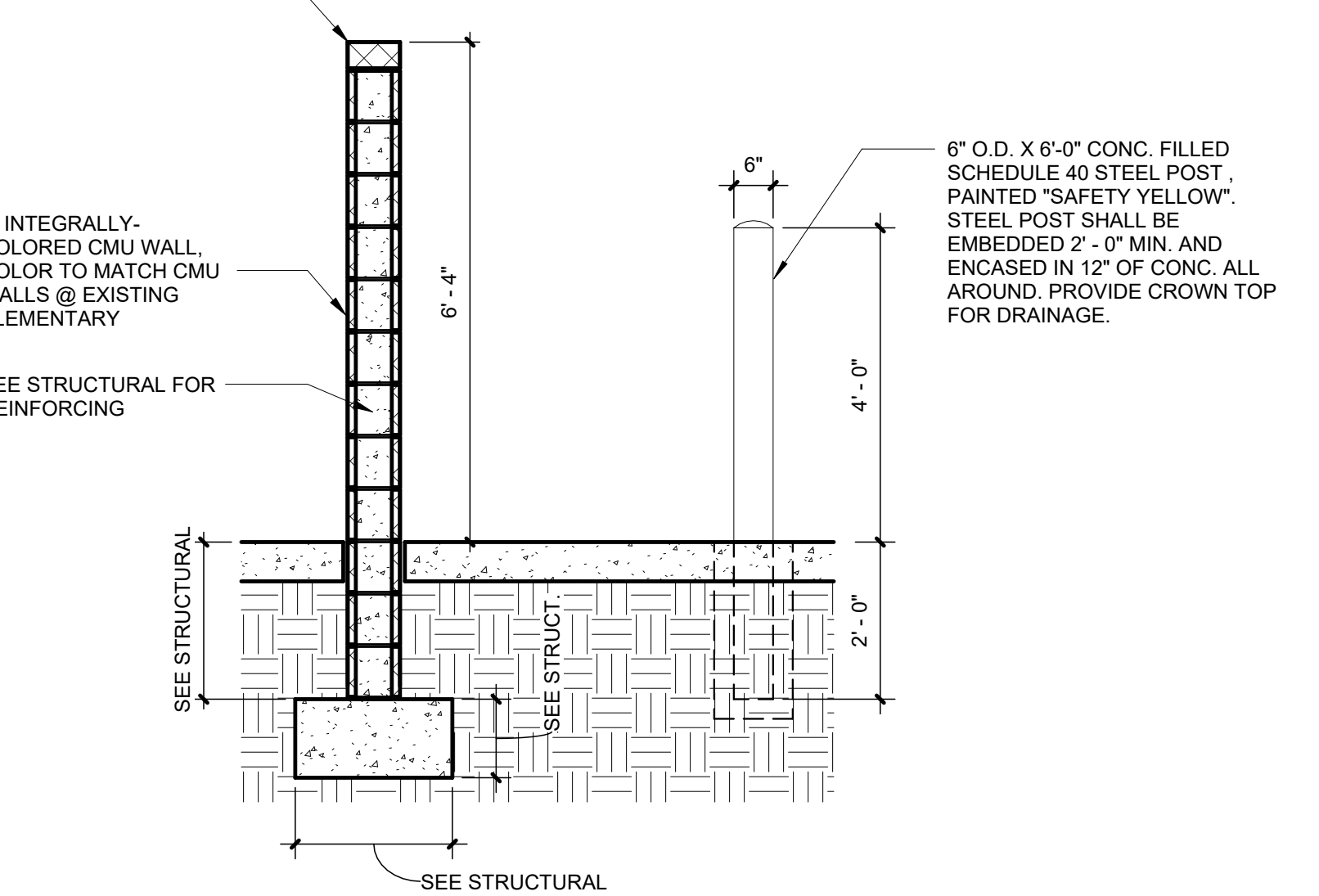
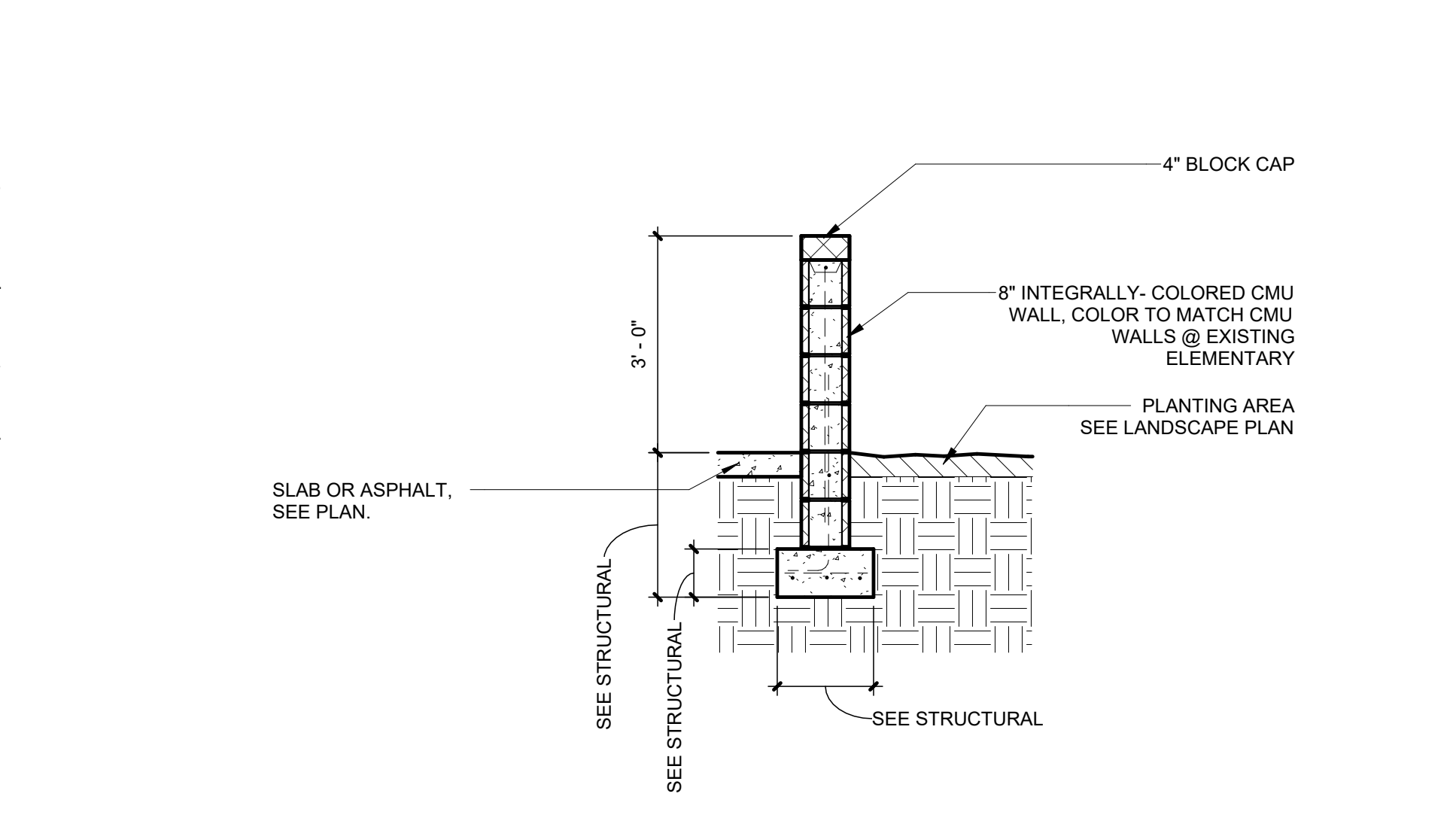
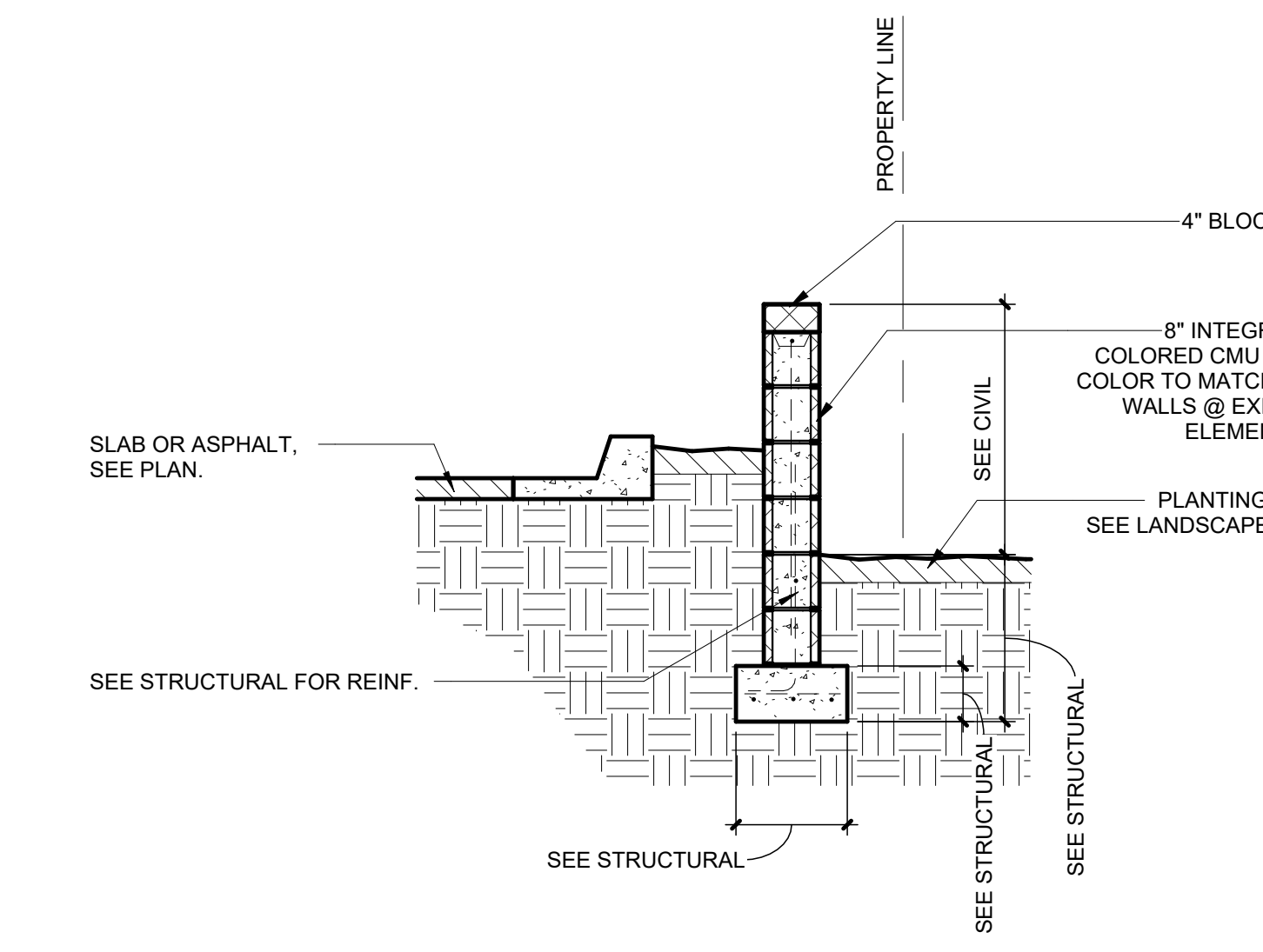
11 ADA PARKING SIGN
3/4" = 1'-0"

13 CONE-TAPERED ALUMINUM POLE
3/4" = 1'-0"

9 TYPICAL ACCESSIBLE PARKING
1/8" = 1'-0"



1 SOLID WASTE/REFUSE ENCLOSURE - PLAN
3/16" = 1'-0"

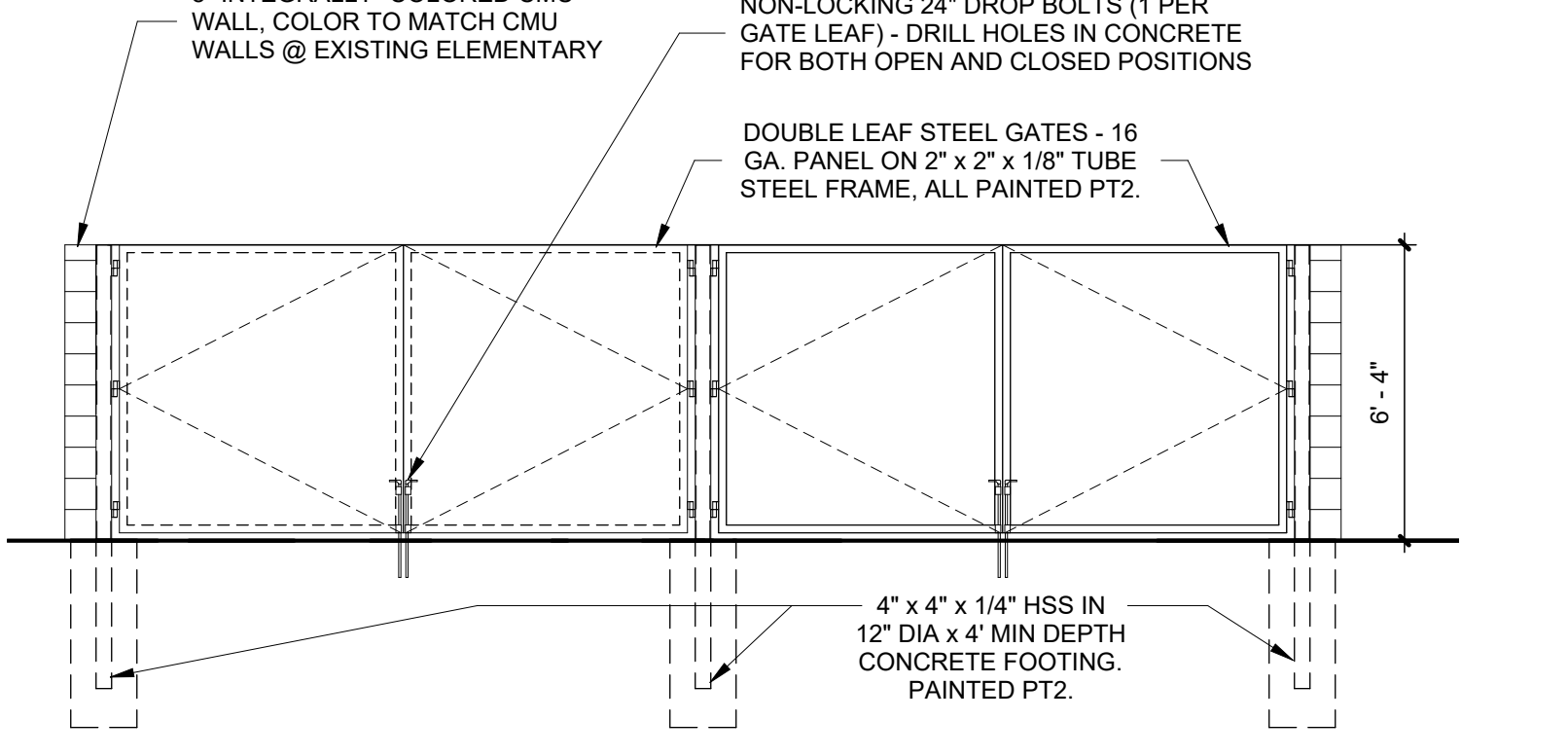
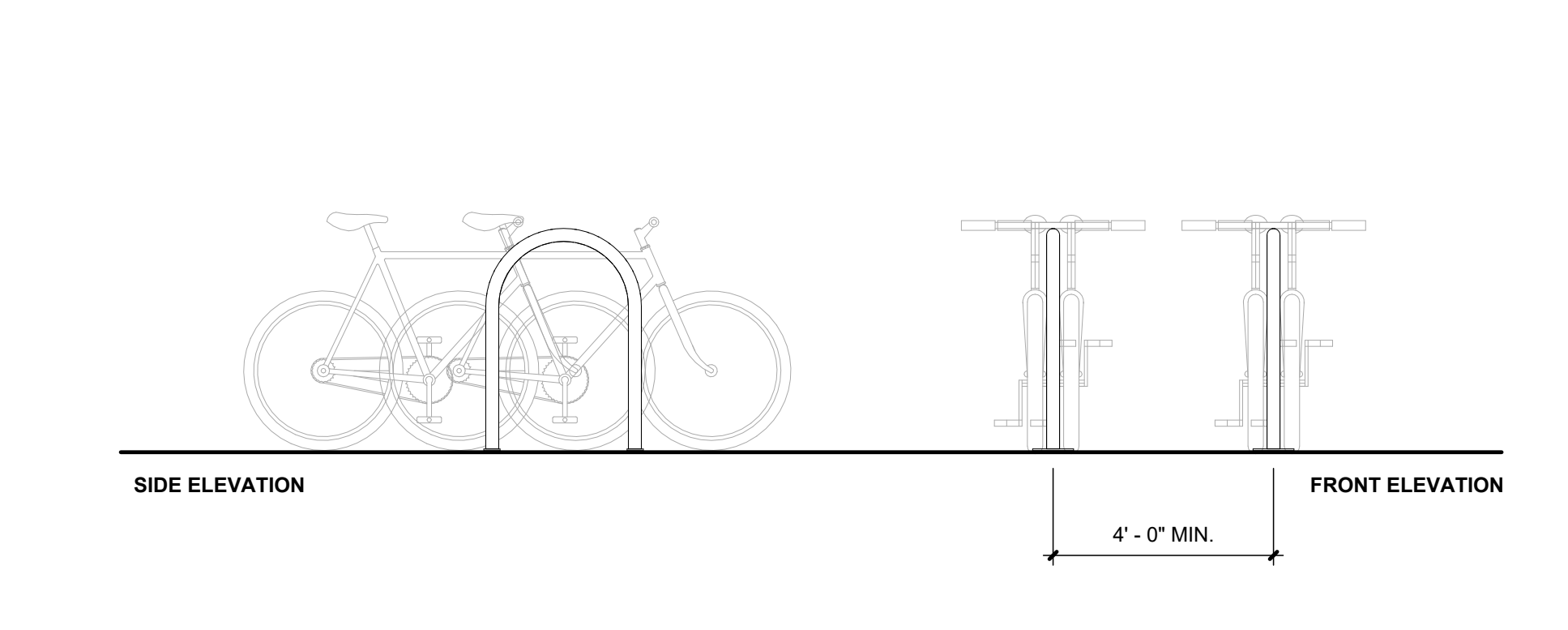
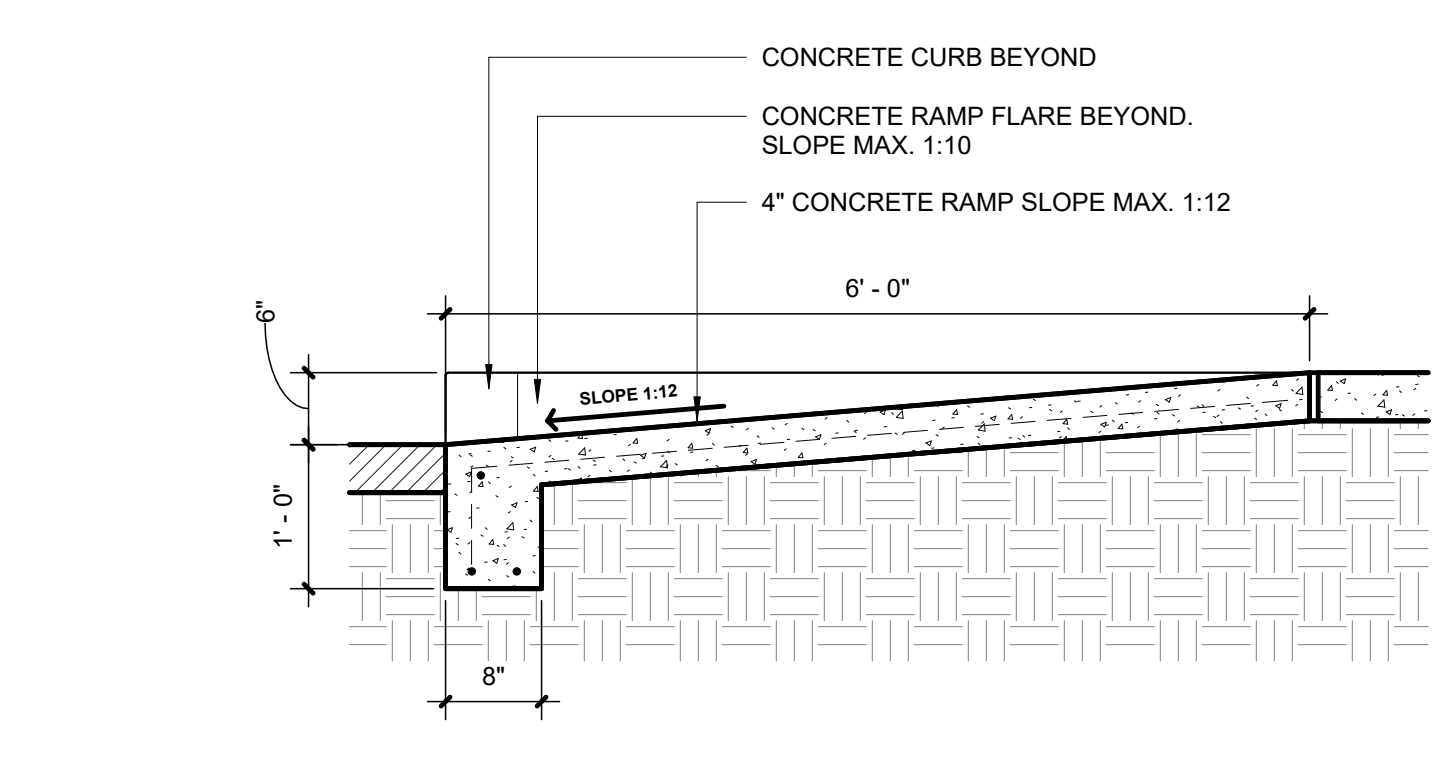


5 SOLID WASTE/REFUSE ENCLOSURE WALL SECTION
1/2" = 1'-0"

7 SITE RETAINING WALL
1/2" = 1'-0"

6 TYP. PARKING BUFFER WALL DETAIL
1/2" = 1'-0"

5 SOLID WASTE/REFUSE ENCLOSURE WALL SECTION
1/2" = 1'-0"



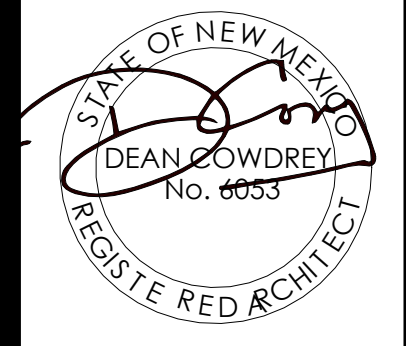
2 SOLID WASTE/REFUSE ENCLOSURE - ELEVATION
1/4" = 1'-0"

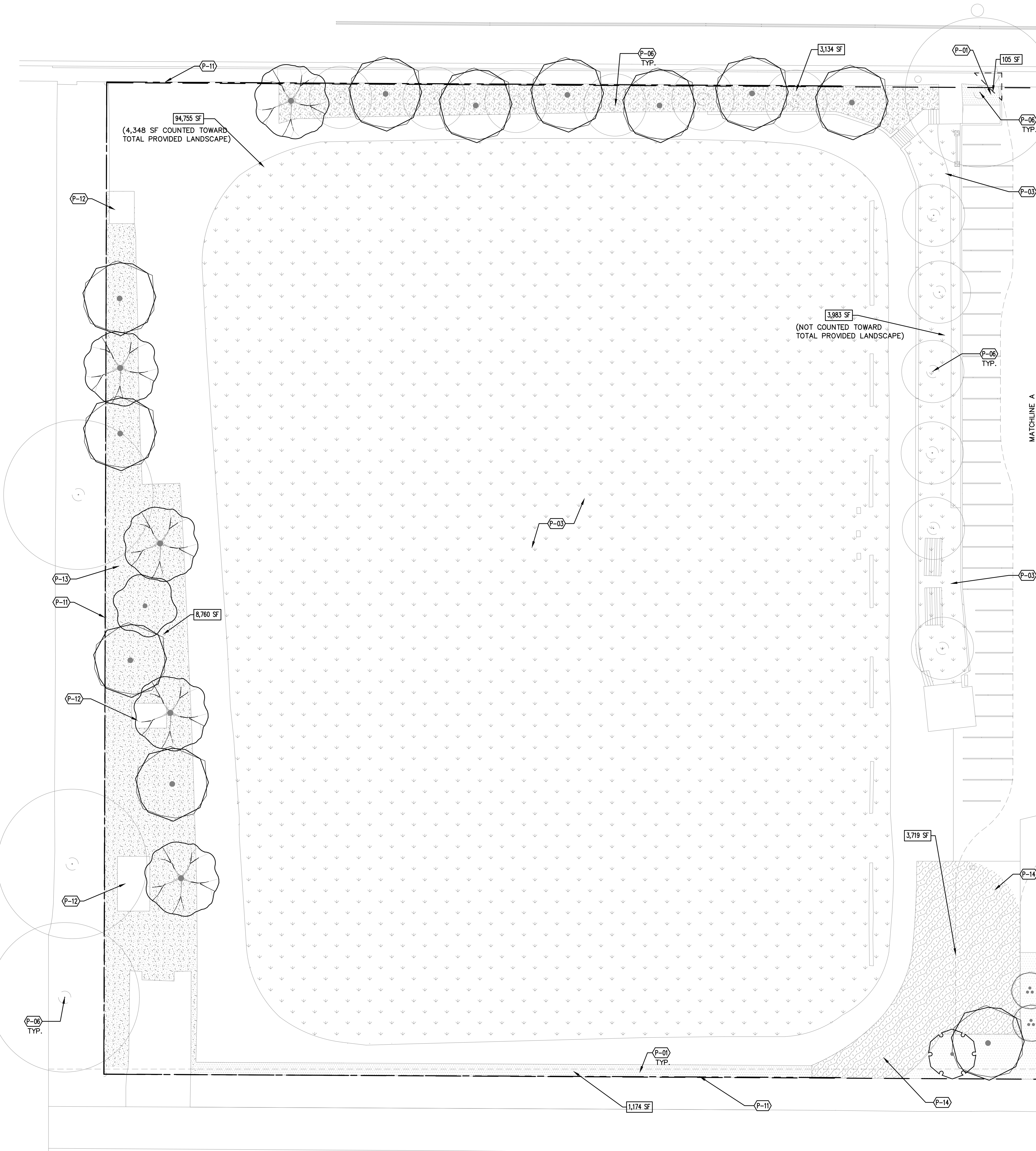
4 ADA RAMP SECTION
3/4" = 1'-0"

3 BIKE RACK DETAILS
1/2" = 1'-0"

2 SOLID WASTE/REFUSE ENCLOSURE - ELEVATION
1/4" = 1'-0"

REVISION SCHEDULE		
#	Date	Description
1	01/25/23	PERMIT REVIEW REVISIONS
2	03/18/24	TRAFFIC REVIEW REVISIONS





PLANTING SCHEDULE

TREES	QTY	COMMON NAME	REMARKS	HT.	SPD.	COVERAGE
14	CHILOPSIS LINEARIS	24" BOX	15'	15'	10,308 SF.	
1	LAGERSTROEMIA SPP.	15 GAL.	8'	8'	1,357 SF.	
17	QUERCUS FUSIFORMIS	24" BOX	30'	25'	6,597 SF.	
7	ULMUS 'FRONTIER'	24" BOX	35'	30'	12,723 SF.	
3	FORESTIERA NEOMEXICANA	15 GAL.	15'	15'	530 SF.	
3	ACER GRANDIDENTATUM	24" BOX	20'	15'	1,472 SF.	
3	ACER NEGUNDO	24" BOX	30'	20'	2,827 SF.	
8	GLEDTISIA TRIACANTHOS NERMIS	24" BOX	40'	30'	14,313 SF.	
13	QUERCUS BUCKLEYI	24" BOX	35'	30'	26,389 SF.	
SHRUBS	QTY	COMMON NAME	REMARKS	HT.	SPD.	COVERAGE
29	CHAMAEBATERIA MILLEFOLIUM	5 GAL.	6'	6'	820 SF.	
32	RHUS AROMATICA 'GRO-LO'	5 GAL.	3'	5'	628 SF.	
21	LEUCOPHYLUM 'HEAVENLY CLOUD'	5 GAL.	5'	6'	594 SF.	
5	AMORPHA CANESCENS	3 GAL.	3'	4'	68 SF.	
15	EPHEDRA EQUISITENA	5 GAL.	3'	4'	188 SF.	
20	POTENTILLA FRUITICOSA	5 GAL.	2'	3'	142 SF.	
GRASSES	QTY	COMMON NAME	REMARKS	HT.	SPD.	COVERAGE
32	SPOROBOLUS WRIGHTII	5 GAL.	8'	8'	1608 SF.	
87	BOUTELOUA GRACILIS	3 GAL.	2'	3'	615 SF.	
15	SORGHASTRUM NUTANS	3 GAL.	4'	3'	106 SF.	
46	CALAMAGROSTIS 'KARL FOERSTER'	5 GAL.	30"	2'	325 SF.	
129	SCHIZACHRIUM SCOPARIUS	1 GAL.	2'	2'	405 SF.	
64	MUHLENBERGI 'PINK FLAMINGO'	5 GAL.	4'	4'	804 SF.	
32	FESTUCA OVINA GLAUCA	1 GAL.	1'	1'-6"	57 SF.	

DESERT ACCENTS	QTY	COMMON NAME	REMARKS	HT.	SPD.	COVERAGE
15	NOLINA MICROCARPA	5 GAL.	4'	5'	294 SF.	
2	AGAVE NEOMEXICANA	1 GAL.	2'	30"	7 SF.	
VINES	QTY	COMMON NAME	REMARKS	HT.	SPD.	COVERAGE
13	POLYGONUM AUBERTII	5 GAL.	CLIMBING	16'	624 SF.	
PERENNIALS	QTY	COMMON NAME	REMARKS	HT.	SPD.	COVERAGE
8	LIATRIS SPICATA	1 GAL.	2'	2'	25 SF.	
53	TEUCRIUM CHAMAEDRYS	1 GAL.	1'	2'	166 SF.	
29	TEUCRIUM AROANIUM	1 GAL.	1'-6"	2'	91 SF.	
81	CERATOSTIGMATA PLUMBAGINOIDES	1 GAL.	12"	12"	64 SF.	
13	KNIPHOFIA 'LEMON POPSICLE'	1 GAL.	1'-6"	2'	41 SF.	
9	KNIPHOFIA 'MANGO POPSICLE'	1 GAL.	1'-6"	1'-6"	28 SF.	
34	EPILOBIUM CALIFORNICA	1 GAL.	6"	2'	107 SF.	
16	AGASTACHE CANA	1 GAL.	2'	2'	50 SF.	
40	ARTEMESIA LUDOVICIANA	1 GAL.	18"	3'	283 SF.	

CITY LANDSCAPE ORDINANCE COMPLIANCE

- LANDSCAPING RESPONSIBILITY FOR MAINTENANCE:**
 1. THE PROPERTY OWNER WILL BE RESPONSIBLE FOR ALL LANDSCAPE MAINTENANCE AT HOPE CHRISTIAN HIGHSCHOOL.
- COMPLIANCE WITH WATER CONSERVATION ORDINANCE:**
 1. NO NEW SPRAY IRRIGATION IS PROPOSED.
 2. PLANT SPECIES WILL BE LOW OR MEDIUM USE SPECIES PER THE ABCWA'S XERIC PLANT LIST.
 3. AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED FOR ALL PLANT MATERIAL. THE SYSTEM WILL BE CONTROLLED BY AN AUTOMATIC CONTROLLER. PLANTS WILL BE IRRIGATED BY LOW WATER USE BUBBLERS. A REDUCED PRESSURE BACKFLOW PREVENTER WILL BE INSTALLED IN A HEATED ENCLOSURE TO PROTECT THE DOMESTIC WATER SUPPLY FROM CROSS-CONTAMINATION.
 4. EXISTING SPRAY IRRIGATION AT NEW NATIVE GRASS SEED MIX WILL BE MODIFIED AS NEEDED TO MATCH REDUCED WATER NEEDS OF NATIVE GRASSES.
- COMPLIANCE WITH GENERAL LANDSCAPING REGULATIONS:**
 1. THIS PLAN PROVIDES VISUALLY ATTRACTIVE LANDSCAPE, A VISUALLY ATTRACTIVE STREETScape, AND INTERSPERSED TREES IN LANDSCAPE AREAS TO PROVIDE SHADE AND REDUCE LARGE EXPANSIONS OF PAVEMENT.
 2. GROUND COVER MULCH SHALL BE COMPRISED OF A COMBINATION OF CRUSHED GRAVEL AND CRUSHER FINES (NOT TO EXCEED 75% OF TOTAL AREA) AND ORGANIC MULCH SUCH AS SHREDDED BARK MULCH.
 3. LANDSCAPING, FENCING, AND SIGNS SHALL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBS BETWEEN 3 AND 8 FEET IN HEIGHT (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE LOCATED IN THE CLEAR SIGHT TRIANGLE.
 4. GROUND-MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
 5. A MINIMUM OF ONE TREE IS LOCATED WITHIN 100 FEET OF ALL PARKING SPACES.

LANDSCAPE CALCULATION TABLE:
 TOTAL LOT AREA: 372,242 SF
 LESS TOTAL BUILDING AREA: 78,324 SF
 LESS AREAS SCREENED FROM ADJACENT LOTS AND ROW: 267 SF
 LESS LANDSCAPE AREA INSTALLED BY AND MAINTAINED BY OWNER IN PUBLIC RIGHT-OF-WAY: 3,753 SF
 NET LOT AREA: 289,898 SF

REQUIRED LANDSCAPE AREA (15% OF NET LOT AREA):
 43,485 SF

PROVIDED LANDSCAPE AREA:
 48,804 SF

REQUIRED PLANTS:
 REQUIRED STREET TREES:
 16 (399 LF ALONG LOUISIANA BLVD NE, TREES AVERAGE 25' O.C.)
 12 (298 LF ALONG PALOMAS AVE NE, TREES AVERAGE 25' O.C.)

STREET TREES PROVIDED:
 16 ALONG LOUISIANA BLVD NE
 13 ALONG PALOMAS AVE NE

REQUIRED PARKING LOT TREES AT ONE TREE PER TEN SPACES:
 EAST PARKING LOT: 135 TOTAL SPACES
 14 REQUIRED TREES
 PARKING LOT TREES PROVIDED AT EAST PARKING LOT: 43

WEST PARKING LOT: 42 TOTAL SPACES
 5 REQUIRED TREES
 PARKING LOT TREES PROVIDED AT WEST PARKING LOT: 9 (INCLUDING 8 EXISTING TREES)

REQUIRED PARKING LOT INTERIOR LANDSCAPE (15% OF PARKING LOT AREA):
 EAST AREA PARKING LOT: 68,187
 15% OF PARKING LOT AREA: 10,228 SF
 PROVIDED PARKING LOT INTERIOR LANDSCAPE: 12,600 SF (123.2% OF REQUIRED INTERIOR LANDSCAPE)

WEST PARKING LOT:
 15,152 SF
 15% OF PARKING LOT AREA: 2,273 SF
 PROVIDED PARKING LOT INTERIOR LANDSCAPE: 4,952 SF (217.8% OF REQUIRED INTERIOR LANDSCAPE)

REQUIRED COVERAGE (75% OF PROVIDED LANDSCAPE AREA):
 32,613 SF
 PROVIDED COVERAGE:
 92,049 SF (282% OF REQUIRED COVERAGE)

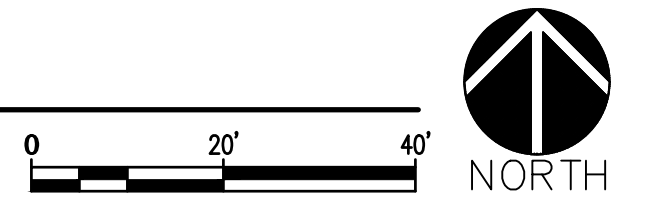
REQUIRED GROUND LEVEL VEGETATIVE COVERAGE (25% OF PROVIDED LANDSCAPE AREA):
 12,201 SF

PROVIDED GROUND LEVEL PLANT COVERAGE:
 APPLICABLE EXISTING COOL SEASON TURF (4,348 SF) +
 PROPOSED NEW GROUND LEVEL PLANTINGS (8,140 SF) =
 12,488 SF (102% OF REQUIRED GROUND LEVEL COVERAGE)

PLANTING SCHEDULE

CODE	DESCRIPTION
P-01	CRUSHER FINES MULCH, COLOR - MOUNTAINAIR BROWN AVAILABLE FROM JPR GRAVEL (505) 503-7766, INSTALLED AT 4" DEPTH OVER FILTER FABRIC, EXCEPT AS NOTED IN GP-10.
P-02	GRAVEL MULCH, COLOR - AMARETTO BROWN, 3/8" - 1" AVAILABLE FROM JPR GRAVEL (505) 503-7766, INSTALLED AT 4" DEPTH OVER FILTER FABRIC.
P-03	EXISTING COOL SEASON TURF GRASS TO REMAIN
P-04	INSTALL NEW SOD AT DISTURBED TURF AREA. SOD SHALL BE "SANDIA BLUEGRASS" AS AVAILABLE FROM EVERGREEN TURF. MODIFY EXISTING SPRINKLER HEAD LAYOUT AS REQUIRE TO PROVIDE UNIFORM COVERAGE.
P-05	FURNISH AND INSTALL EXPOSITION 6" CONTOUR BENCH FROM ANOVA FURNISHINGS. SURFACE MOUNT PER MANUFACTURER'S INSTRUCTIONS. MODEL: LEXC6. COLOR: BY ARCHITECT.
SYMBOL	DESCRIPTION
P-06	EXISTING TREE TO REMAIN
P-07	FURNISH AND INSTALL METRIX TRASH RECEPTACLE WITH SIDE OPENING AND SIDE DOOR FROM ANOVA FURNISHINGS. SURFACE MOUNT PER MANUFACTURER'S INSTRUCTIONS. MODEL: L2009. COLOR: BY ARCHITECT
P-08	FURNISH AND INSTALL FREESTANDING UMBRELLA TABLE CAMBI 36" DIA. FROM EMUAMERICAS LLC. MODEL: E813 COLOR: BY ARCHITECT.
P-09	FURNISH AND INSTALL FREESTANDING STAR OUTDOOR STACKING CHAIR FROM EMUAMERICAS LLC. MODEL: E161N-24. COLOR: BY ARCHITECT.
P-10	FURNISH AND INSTALL FREESTANDING STAR OUTDOOR STACKING ARMCHAIR FROM EMUAMERICAS LLC. MODEL: E162N. COLOR: BY ARCHITECT.
P-11	PROPERTY LINE
P-12	EXISTING SHED TO REMAIN
CODE	DESCRIPTION
P-13	SHREDDED BARK MULCH INSTALLED AT 4" DEPTH, NO FILTER FABRIC SHALL BE INSTALLED UNDER MULCH.
P-14	CRUSHER FINES MULCH, COLOR B INSTALLED AT 4" DEPTH.

A PLANTING PLAN - ALL PHASES
 SCALE: 1"=20'-0"



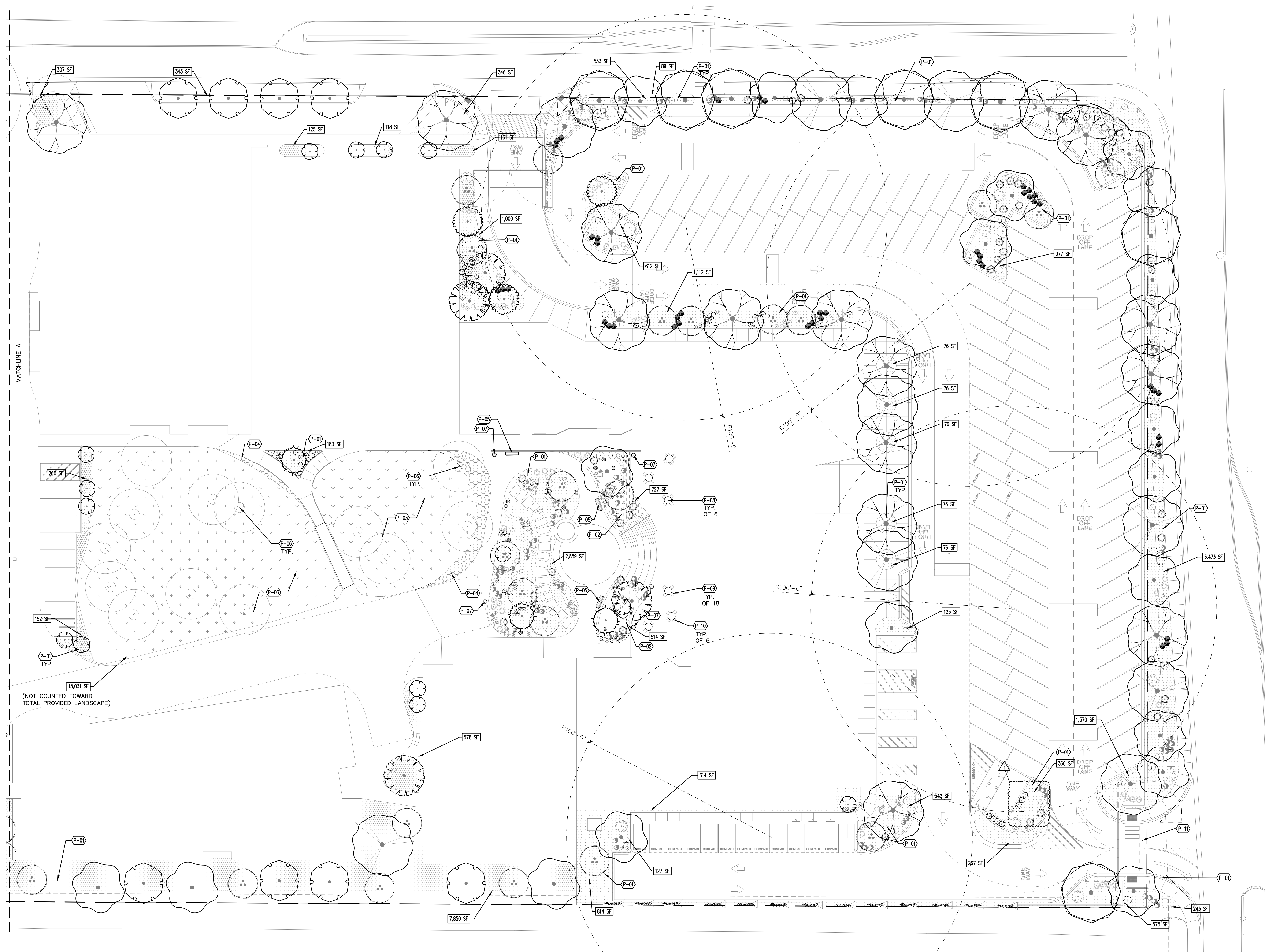
HOPE CHRISTIAN SCHOOL
 8005 LOUISIANA BLVD. NE
 ALBUQUERQUE, NM, 87113

REVISION SCHEDULE

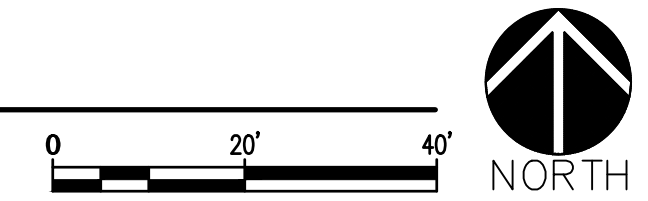
No.	Date	Description
1	1/05/24	TREE REMOVED PER REVISIONS FROM CITY COMMENT



PLANTING PLAN - ALL PHASES
 LP101



A PLANTING PLAN – ALL PHASES
 SCALE: 1"=20'-0"



REVISION SCHEDULE	
NO.	DATE
1	7/25/24
2	8/08/24

1 TREE REMOVED PER REVISIONS FROM CITY COMMENT
 2 SIGHT TRIANGLES & 100 FT RADIUS CIRCLES ADDED



GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER THIS CONTRACT, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, AND THE CITY OF ALBUQUERQUE SPECIFICATIONS (AS APPLICABLE).
- AT LEAST TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990), FOR LOCATION OF EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES AND OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR WILL NOTIFY THE ENGINEER/OWNER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ALL EXCAVATION SHALL BE GOVERNED BY FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH, OSHA 29 CFR 1926.650. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO KNOW AND COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970".
- CONTRACTOR SHALL SCARIFY AREA UNDER NEW BUILDING AND PARKING TO A DEPTH OF 12" AND RECOMPACT SUBGRADE TO 95% MAX. DENSITY AS DETERMINED BY ASTM D-1557 UNLESS NOTED OTHERWISE IN GEOTECHNICAL REPORT.
- WHEN ABUTTING NEW CONCRETE TO EXISTING, CUT BACK EXISTING TO A NEAT STRAIGHT LINE AS REQUIRED TO REMOVE ANY BROKEN OR CRACKED CONCRETE, AND MATCH NEW TO EXISTING. CUTTING OF PAVEMENT OR CONCRETE SHALL BE IN CONFORMANCE WITH PROJECT SPECIFICATIONS.
- EXERCISE CARE TO AVOID DISTURBING EXISTING UTILITIES. COORDINATE WITH UTILITY COMPANIES FOR ANY REQUIRED SERVICE RELOCATIONS, AND IN ORDER TO PREVENT SERVICE DISRUPTION.
- ADJUST EXISTING UTILITIES TO NEW GRADE AS REQUIRED TO FACILITATE A SMOOTH, ADA COMPLIANT WALKING SURFACE.
- CONTRACTOR SHALL PROVIDE REASONABLE ACCESS TO ALL FACILITIES WITHIN THE PROJECT AREA DURING CONSTRUCTION.
- CONTRACTOR AGREES TO TAKE NECESSARY SAFETY PRECAUTIONS AS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES TO PROTECT PEDESTRIAN AND VEHICULAR TRAFFIC IN THE CONSTRUCTION AREA, WHICH INCLUDE BUT ARE NOT LIMITED TO: MAINTAINING ADEQUATE WARNING SIGNS, BARRICADES, LIGHTS, GUARD FENCES, WALKS AND BRIDGES IN COMPLIANCE WITH CURRENT ADA STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL DEMOLITION DEBRIS. WORK MATERIALS SHALL BE DISPOSED OF IN AN APPROVED WASTE AREA, IN ACCORDANCE WITH PROJECT SPECIFICATIONS, SECURED BY AND AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ABANDONED UTILITY LINES THAT ARE EXPOSED AS A RESULT OF CONSTRUCTION UNLESS OTHERWISE DIRECTED BY THE OWNER.
- THE CONTRACTOR SHALL PROVIDE THE OWNER WITH "AS-BUILT" PLANS. THESE PLANS SHALL BE KEPT AS CURRENT AS POSSIBLE THROUGHOUT CONSTRUCTION AND SHALL BE SUBJECT TO REVIEW BY THE ENGINEER. THE FINAL AS-BUILT PLANS SHALL BE SUBMITTED TO THE OWNER AND ENGINEER.
- CONTRACTOR'S WORK ZONE, AND ANY OTHER AREAS DISTURBED BY CONSTRUCTION THAT MAY NOT BE INCLUDED ON THIS PLAN, SHALL BE RE-ESTABLISHED TO OWNER'S SATISFACTION.
- OWNER IS RESPONSIBLE FOR A GEOTECHNICAL REPORT CERTIFIED BY A GEOTECHNICAL ENGINEER. IF ANY GEOTECHNICAL CRITERIA CANNOT BE MET BY THIS PROPOSED PLAN, CONTACT THE ENGINEER FOR SUPPLEMENTAL RECOMMENDATIONS. IF NO GEOTECHNICAL EVALUATION REPORT IS PROVIDED, OWNER ASSUMES ALL RESPONSIBILITY FOR SITE SOIL CONDITIONS AND ANY ADVERSE IMPACTS (I.E. CONSOLIDATION, EXPANSION, PERMEABILITY, ETC.) TO THESE SITE IMPROVEMENTS CAUSED BY SUBSTANDARD SOILS.
- SAFETY RAILS ARE REQUIRED AT ALL LOCATION ADJACENT TO A PEDESTRIAN WALKWAY WHERE A VERTICAL DROP OF 24" OR MORE EXISTS, OR AS APPLICABLE PER GOVERNING BUILDING CODE. COORDINATE WITH OWNER FOR SAFETY RAIL DETAILS.
- ALL SIDEWALKS AND RAMPS TO BE APPROXIMATELY 4" ABOVE ADJACENT LANDSCAPE FINISH.
- COORDINATE IMPROVEMENTS SHOWN ON THIS PLAN WITH THE ARCHITECT'S SITE PLAN. COORDINATE ANY DISCREPANCIES WITH THE ENGINEER.
- A PROFESSIONAL SURVEYOR LICENSED IN THE STATE OF NEW MEXICO SHALL OVERSEE AND VERIFY ALL CONSTRUCTION MARKINGS, AND STAKING PRIOR TO ANY CONSTRUCTION. PROPOSED ELEVATIONS SHALL BE RELATIVE TO LOWEST ADJACENT TOP OF EXISTING CURB ELEVATION.
- SUBSURFACE UTILITY LOCATIONS SHOWN ON THIS SHEET ARE APPROXIMATE, A SUBSURFACE UTILITY SURVEY AND CONFLICT ANALYSIS IS RECOMMENDED PRIOR TO CONSTRUCTION. EXERCISE CARE TO AVOID DISTURBING EXISTING UTILITIES. COORDINATE WITH UTILITY COMPANIES FOR CLEARANCE REQUIREMENTS, RELOCATIONS, CONNECTIONS, AND SHUT-OFFS. (SEE UTILITY NOTES FOR ADDITIONAL INFORMATION)
- FIELD SURVEY ELECTRONIC FILE CAN BE MADE AVAILABLE UPON REQUEST. CONSTRUCTION CONTROL POINTS ARE AS SHOWN ON PLAN.
- COORDINATE CONSTRUCTION WITH GEOTECHNICAL AND STRUCTURAL PLANS AND REPORTS.
- POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS SHALL BE PROVIDED.
- ALL WORK SHOWN ON THIS PLAN SHALL ABIDE BY NM APWA STANDARD SPECIFICATION FOR PUBLIC WORKS CONSTRUCTION, AND CITY OF ALBUQUERQUE POLICIES.
- CONTRACTOR SHALL EXCAVATE AND CONFIRM EXISTING UTILITY LOCATION AND MATERIAL. CONTRACTOR SHALL MAKE CONNECTIONS TO EXISTING WATER LINE PRIOR TO CONSTRUCTION OF ON-SITE SERVICE LINES.
- CONTRACTOR SHALL EXPOSE EXISTING UTILITY LINES PRIOR TO STARTING CONSTRUCTION. SHOULD A CONFLICT BE IDENTIFIED, ADJUSTMENTS TO ALIGNMENT OR ELEVATION SHALL BE MADE WITH APPROVAL BY THE ENGINEER
- PAVEMENT CUTS AND PAVEMENT REPLACEMENT SHALL BE MADE IN CONFORMANCE WITH CITY STANDARDS, AND REPLACED IN-KIND, OR PER CITY INSPECTOR'S DIRECTION.
- PER CODE OF FEDERAL REGULATIONS §61.145, THE OWNER OR OPERATOR WHO PLANS TO DEMOLISH OR RENOVATE A COMMERCIAL FACILITY SHALL PERFORM A THOROUGH INSPECTION OF THE FACILITY(S) FOR THE PRESENCE OF ASBESTOS. THIS APPLIES TO ANY INSTITUTIONAL, COMMERCIAL, PUBLIC, INDUSTRIAL, OR RESIDENTIAL STRUCTURE CONSISTING OF 5 OR MORE DWELLINGS (I.E. APARTMENT BUILDING). IF ASBESTOS CONTAINING MATERIAL IS FOUND AT THE FACILITY, IT MUST BE REMOVED PRIOR TO RENOVATION OR DEMOLITION. A NATIONAL EMISSIONS STANDARDS FOR HAZARDOUS AIR POLLUTANTS (NESHA) FORM IS REQUIRED AND MUST BE EMAILED OR HAND-DELIVERED TO THE CITY OF STATE ENVIRONMENTAL HEALTH DEPARTMENT, AIR QUALITY.

SO-19 NOTICE TO CONTRACTOR

- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL '811' OR (505) 260-1990 FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24 HOUR BASIS.
- CONTRACTOR MUST CONTACT HENRY BLAIR AT (505) 203-7358 AND CONSTRUCTION COORDINATION AT 924-3416 TO SCHEDULE AN INSPECTION.

UTILITY GENERAL NOTES

- ALL WORK SHOWN ON THIS PLAN SHALL ABIDE BY NM APWA STANDARD SPECIFICATION FOR PUBLIC WORKS CONSTRUCTION AND CITY OF ALBUQUERQUE SPECIFICATIONS.
- EXISTING UTILITY INFORMATION SHOWN ON THIS PLAN, INCLUDING VERTICAL AND HORIZONTAL ALIGNMENTS, INVERTS, AND MATERIAL TYPES ARE APPROXIMATE AND PROVIDED BY THE OWNER.
- CONTRACTOR SHALL CONDUCT A UTILITY CONFLICT ANALYSIS. SHOULD A CONFLICT BE IDENTIFIED, ADJUSTMENTS TO ALIGNMENT OR ELEVATION SHALL BE MADE WITH APPROVAL BY THE ARCHITECT.
- CONTRACTOR SHALL EXCAVATE AND CONFIRM ALL EXISTING UTILITY LOCATIONS AND MATERIAL TYPES PRIOR TO DEMOLITION.
- CONTRACTOR SHALL VERIFY USABILITY OF EXISTING SERVICE LINES. IF THESE EXISTING SERVICES ARE NOT USED, THEY SHALL BE REMOVED UP TO THE ROW LINE AND CAPPED. COORDINATE WITH THE OWNER.
- COORDINATE WITH APPROPRIATE UTILITY OWNER FOR NEW SERVICE DISRUPTIONS.
- ALL EXCAVATION SHALL BE GOVERNED BY FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH, OSHA 29 CFR 1926.650. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN A SAFE AND ADEQUATE MEANS OF CHANNELIZING TRAFFIC AROUND AND THROUGH THE CONSTRUCTION AREA. ANY PEDESTRIAN CHANNELIZATION SHALL MEET ADA REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE REASONABLE ACCESS TO PROPERTIES WITHIN THE PROJECT AREA DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY ALL OWNERS OF BUSINESSES IMPACTED BY CONSTRUCTION OF CHANGES IN ACCESS.
- PAVEMENT CUTS AND PAVEMENT REPLACEMENT SHALL BE MADE IN CONFORMANCE WITH CITY STANDARDS, AND REPLACED IN-KIND, OR PER CITY/COUNTY INSPECTOR DIRECTION.
- THIS UTILITY SURVEY IS A DEPICTION OF VISIBLE UTILITY FEATURES AND ASCERTAINABLE SUBSURFACE UTILITY LOCATIONS THAT HAVE BEEN DESIGNATED AND/OR OBSERVED BY, AND SUBSEQUENTLY SURVEYED BY OTHERS. THESE SERVICES WERE PERFORMED IN ACCORDANCE WITH ASCE STANDARD 38-02 (STANDARD GUIDELINE FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA). SUBSURFACE UTILITY ENGINEERING (SUE) QUALITY LEVELS B, AND C HAVE BEEN COMPLETED FOR THIS PROJECT.
- SUBSURFACE UTILITY DESIGNATION HAS BEEN BASED UPON EXISTING UTILITY RECORDS AND VARIOUS OTHER RESOURCES OF INFORMATION ALONG WITH CURRENT SITE CONDITIONS INCLUDING ACCESSIBLE SURFACE FEATURES FOUND WITHIN THE PROJECT LIMITS. RESULTS OF THIS UTILITY DESIGNATION EFFORT HAVE BEEN CORRELATED TO EXISTING AS-BUILT OR RECORD DRAWINGS AND/OR SITE UTILITY PLANS THAT WERE AVAILABLE AT THE TIME THIS WORK WAS PERFORMED. UTILITY LOCATIONS THAT COULD NOT BE ASCERTAINED THROUGH SURFACE GEOPHYSICAL UTILITY LOCATING METHODS, BUT WERE RECONCILED FROM UTILITY RECORDS, HAVE BEEN IDENTIFIED AND LABELED ON THIS SURVEY ACCORDINGLY. ADDITIONALLY, ANY DISCOVERED DISCREPANCIES RELATED TO THE RECORD DRAWINGS, UTILITY CONNECTIVITY OR PUBLIC UTILITY RESPONSE HAVE BEEN DOCUMENTED. REFER TO KEYED SUBSURFACE UTILITY NOTES ON THIS SHEET, AND SHEETS 2 AND 3 FOR LOCATIONS AND SUBSURFACE UTILITY KEYED NOTES BELOW FOR DETAILS.
- PUBLICLY-OWNED UTILITIES REPRESENTED ON THIS SURVEY HAVE BEEN IDENTIFIED BY THE OWNER IN RESPONSE TO SURVEY AND NM811 DESIGN LOCATE REQUEST (NM811 TICKET 22A229801 08/29/22 1:53PM) AND/OR THROUGH SUPPLEMENTAL DESIGNATION EFFORTS BY OTHERS BASED UPON SURFACE EVIDENCE AND VARIOUS OTHER RESOURCES OF UTILITY RECORD INFORMATION OBTAINED FROM THE OWNER AT THE ONSET OF THE PROJECT. A LIST OF UTILITY OWNERS REGISTERED WITH NM811 HAS BEEN PROVIDED BELOW.
- THIS UTILITY SURVEY AND SUBSURFACE UTILITY ENGINEERING EFFORT IS NOT ALL-INCLUSIVE AND MAY NOT REPRESENT UTILITIES/INFRASTRUCTURE THAT HAVE BEEN ABANDONED-IN-PLACE, WERE INACCESSIBLE, OR OTHERWISE UNDETECTABLE DUE TO UNFORESEEN AND UNCONTROLLABLE SITE AND/OR UTILITY CONDITIONS. FURTHER, THIS UTILITY INVESTIGATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THEREFORE, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE PROPERTY OWNER, DEVELOPER, OR CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, NEW MEXICO EXCAVATION LAWS (NM811), MUNICIPAL AND LOCAL ORDINANCES, SITE SPECIFIC RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE UTILITY LINES AND FACILITIES.

DRAINAGE ANALYSIS TABLE 2

PIPE LINK I.D.	SIZE (IN.)	UPPER NODE I.D.	LOWER NODE I.D.	PREVIOUS FLOW	ADDED FLOW	TOTAL FLOW	% PIPE SLOPE	MAX PIPE CAP. (CFS)
P-1.0	12	CB-1.0	CB-1.0	5.41	0.49	5.90	1.43	6.6
P-2.0	12	CB-2.0	CB-1.0	4.16	0.00	4.16	2.08	8.0
P-2.1	12	INL-2.0	CB-1.0	0.00	1.25	1.25	1.04	5.7
P-3.0	12	CB-3.0	CB-2.0	3.88	0.28	4.16	1.04	5.7
P-3.1	12	INL-3.0	CB-3.0	2.61	1.27	3.88	1.04	5.7
P-4.0	12	INL-5.0	INL-4.0	0.13	1.19	1.32	1.04	5.7
P-4.1	12	INL-4.0	INL-4.1	1.32	0.60	1.92	1.04	5.7
P-4.2	12	INL-4.1	INL-3.0	1.92	0.69	2.61	1.04	5.7
P-5.0	12	CB-5.0	INL-5.0	0.13	0.00	0.13	1.04	5.7
P-7.0	12	INL-7.0	CB-7.0	0.97	2.96	3.93	0.70	4.6
P-7.1	8	CB-7.1	INL-7.0	0.00	0.97	0.97	2.14	2.8
P-8.0	15	CB-8.0	OUT-8.0	3.93	1.35	5.28	0.70	8.4
P-8.1	12	CB-7.0	CB-8.0	3.93	0.00	3.93	0.70	4.6
P-9.0	15	CB-9.0	OUT-9.0	6.50	0.71	7.21	0.70	8.4
P-9.1	12	CB-1.1	CB-9.1	5.90	0.60	6.50	1.43	6.6

DRAINAGE ANALYSIS TABLE 1

SUB-BASIN I.D.	AREA (AC.)	LAND "a"	TREATMENT "b"	% "c"	% "d"	100-YEAR Q (CFS)	100-YEAR VOL. (CF)	INLET I.D.	INLET TYPE	MAX INLET CAPACITY
SB-1	0.134	0.0	0.0	100	0.60	1.255	1,255	INL-1.0	FLAT GRATE	2.0
SB-2	0.298	13.4	2.8	83.8	1.25	2,492	2,492	INL-2.0	OPEN CURB	3.0
SB-3	0.283	0.0	0.0	100	1.27	2,650	2,650	INL-3.0	OPEN CURB	3.0
SB-4	0.266	0.0	0.0	100	1.20	2,491	2,491	INL-4.0	OPEN CURB	3.0
SB-5	0.279	8.0	7.3	85.7	1.19	2,387	2,387	INL-5.0	OPEN CURB	3.0
SB-6	1.300	0.0	0.0	100	0.58	1,218	1,218	NA		
SB-7	0.697	10.3	2.7	87	2.96	5,970	5,970	INL-7.0	DOME GRATE	4.0
SB-8	0.145	11.4	0.0	88.6	0.62	1,253	1,253	NA		
SB-9	1.547	54.1	0.0	45.9	5.27	9,172	9,172	NA		
SB-10	3.596	78.9	10.2	10.9	9.99	13,671	13,671	NA		
						TOTAL	42,559			

DRAINAGE ANALYSIS NOTES

THE COA PROCEDURE FOR 40 ACRES OR SMALLER (DPM CHAPTER 6) IS USED FOR ANALYSIS. THESE CALCULATIONS ANALYZE THE HYDROLOGY FOR THE PROPOSED DEVELOPED CONDITIONS UPON A 100 YEAR RAINFALL EVENT. RESULTS OF THE HYDROLOGY AND HYDRAULIC CALCULATIONS ARE PRESENTED BELOW.

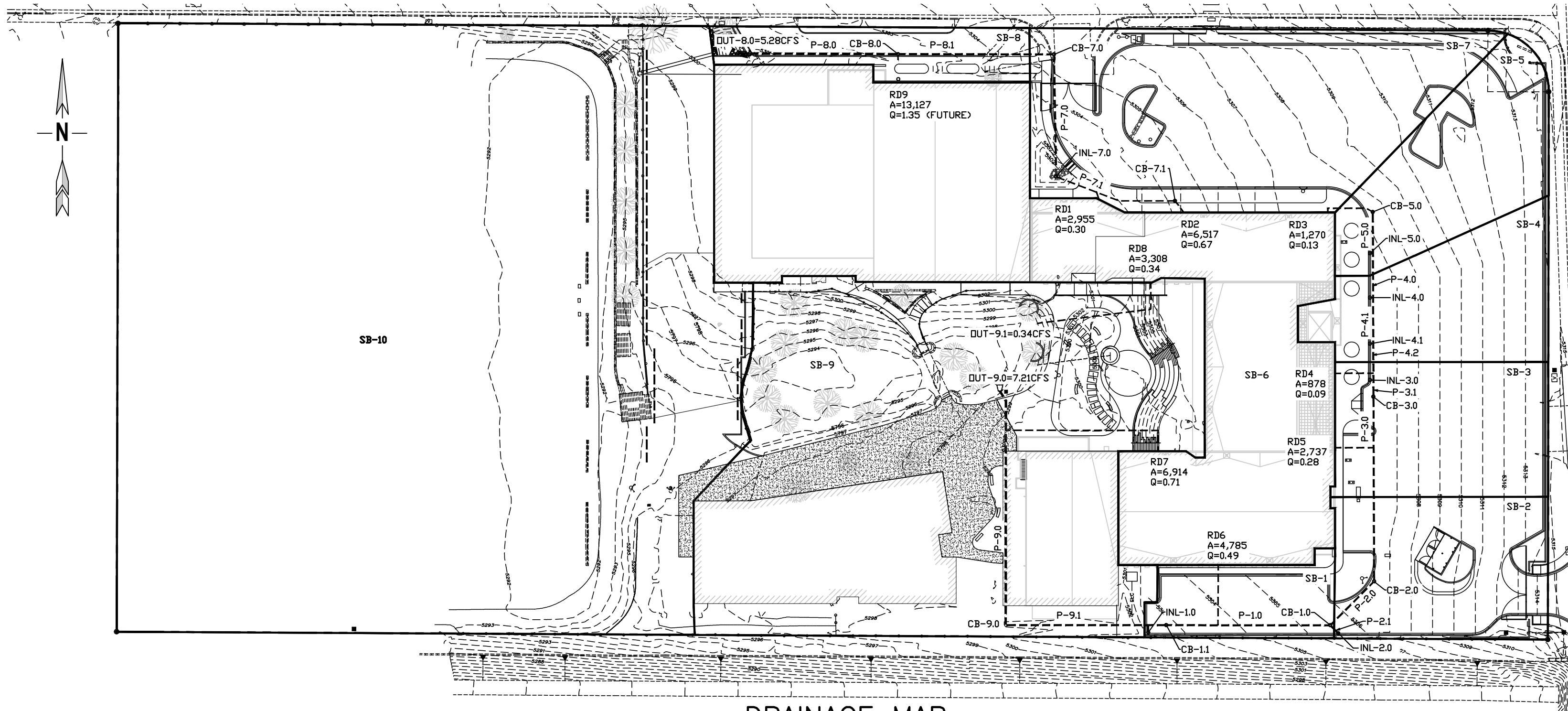
HYDROLOGY ANALYSIS:
 SITE IS DELINEATED INTO SUB-BASINS (SEE DRAINAGE MAP)
 PRECIPITATION ZONE = 3
 PRECIPITATION: 24HR = 2.84 IN, 6HR = 2.43 IN
 LAND: PEAK DISCHARGE: EXCESS PRECIPITATION:
 TREATMENT D = 4.49 CFS/AC = 2.58 IN
 TREATMENT C = 3.17 CFS/AC = 1.09 IN
 TREATMENT B = 2.49 CFS/AC = 0.86 IN
 ANALYSIS RESULTS (SEE TABLE 1 FOR 100YR FLOW AND VOLUME)

HYDRAULIC ANALYSIS:
 PIPES AND INLETS ARE AS SHOWN (SEE DRAINAGE MAP)
 PIPE FLOW COEFFICIENT (MANNING'S "n") FOR HDPE PIPE IS n=0.09
 STORMDRAINS MAX. CAPACITY (SEE TABLE 1 FOR INLETS, AND TABLE 2 FOR PIPES)
 ROOF DRAINS: S=0.52 MIN., DIA.=8IN., MAX. CAPACITY=1.37 CFS

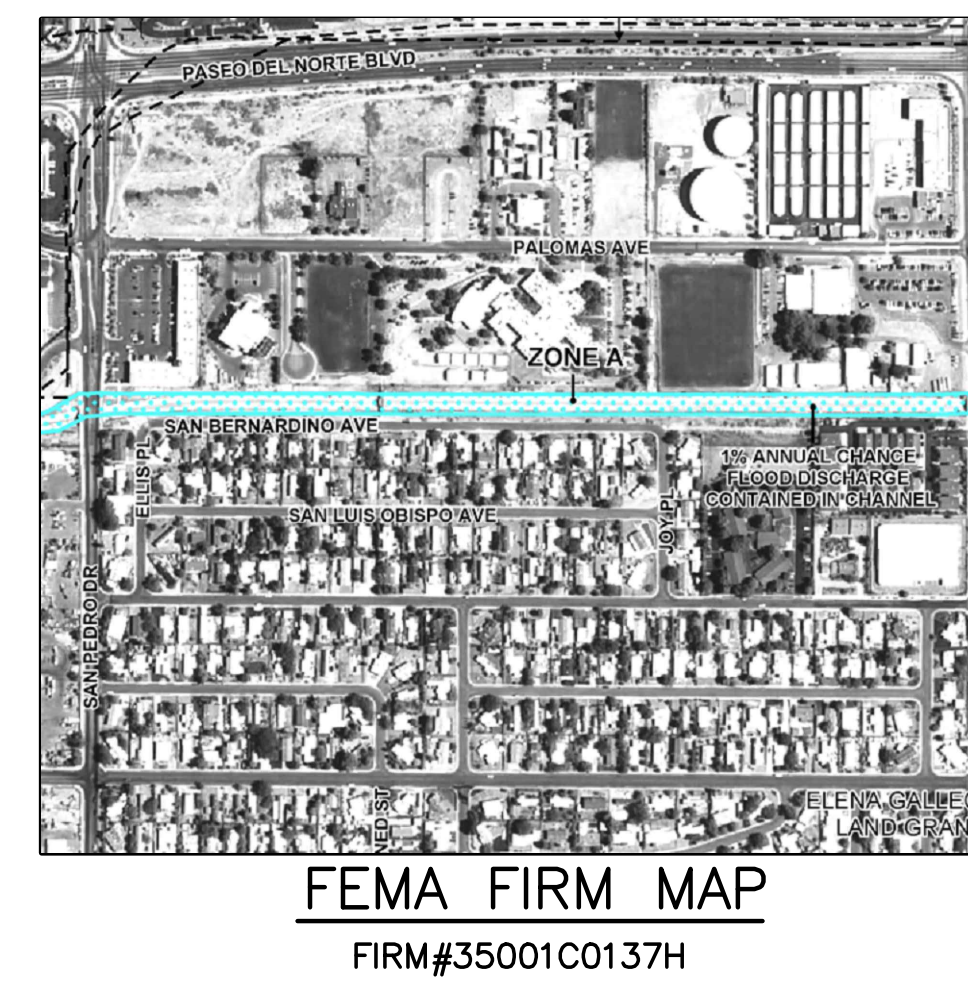
STORMWATER QUALITY VOLUME:
 TOTAL ROOFTOP AREA = 76,731 SF.
 SWQV = (0.26 IN)(7/12 IN)(76,731 SF) = 1,662 CF

STORMWATER STORAGE VOLUME:
 EXISTING RETENTION VOL. = (1/2)(125,600 SF + 27,046 SF)(0.6') = 45,793 CF

CONCLUSION
 THE PROPOSED SITE WILL NOT INCREASE RUNOFF TO THE ROW. ADDITIONAL RUNOFF WILL BE RETAINED IN THE EXISTING RETENTION BASIN. THE STORMWATER QUALITY VOLUME (SWQV) WILL BE RETAINED IN EXISTING RETENTION BASIN. OVERFLOW FROM SITE WILL OCCUR AT THE POND AND IS DIRECTED TOWARDS THE ROW. ON-SITE STORM DRAINAGE DESIGN WILL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.



DRAINAGE MAP
SCALE: 1"=60'



City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 12/18/23
 BY: Ryan S. Branstetter
 Hydrologist D18D009

APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

LEGEND

- PROPOSED ELEVATION
- 60.2 FC
- FC = TOP OF FINISHED CONCRETE
- FE = TOP OF FINAL FINISHED GRADE
- INV = PIPE INVERT
- UNDERGROUND GAS LINE
- SANITARY SEWER LINE
- POTABLE WATER LINE
- UNDERGROUND FIBER/COMM
- OVERHEAD UTILITY LINE
- PROPERTY LINE
- EASEMENT LINE
- DRAINAGE DIRECTION

UTILITY OWNER LIST

- ALBUQUERQUE/BERNALILLO COUNTY WUA 1-505-842-9287
 - ALBUQUERQUE PUBLIC SCHOOLS 1-505-848-8810
 - CENTURYLINK LOCAL NETWORK CENTRAL 1-800-283-4237
 - CITY OF ALBUQUERQUE (C.O.A.) 1-505-857-8044
 - C.O.A.-STORM DRAINS 1-505-857-8022
 - C.O.A.-STREET LIGHTING DEPT. 1-505-508-0744
 - CONCAST OF ALBUQUERQUE (NUMBER NOT AVAILABLE)
 - MCI CABLE SEC 1-800-624-9675
 - NEW MEXICO GAS COMPANY 1-505-934-5853
 - PNM ELECTRIC OF ALBUQUERQUE 1-505-241-0577
 - UNITE PRIVATE NETWORKS, LLC 1-816-368-9039
- UTILITY TELEPHONE NUMBERS OBTAINED THROUGH NM811 WEB PORTAL

CIVIL SHEET INDEX

- GENERAL NOTES C100
- CONCEPTUAL GRADING & DRAINAGE PLAN C101
- FIRE 1 PLAN C102
- TRAFFIC CIRCULATION LAYOUT C103
- SITE LAYOUT C104
- GRADING & DRAINAGE PLAN C105
- SITE UTILITY PLAN C106
- SITE DETAILS C107
- SITE DETAILS C108
- COORDINATE DATA C109
- TOPOGRAPHICAL SURVEY 1-6

ESTIMATED QUANTITIES

- A.C. PAVEMENT: 5,757 S.Y.
- CONCRETE WALKWAY: 1,669 S.Y.
- 6" CURB AND GUTTER: 1,959 L.F.
- 4" ROLL CURB: 100 L.F.
- 4" HEADER CURB: 67 L.F.
- EARTHWORK CUT: 1,950 C.Y.
- EARTHWORK FILL: 3,640 C.Y.
- FIRE HYDRANT: 4 EA.
- 6" WATER VALVE: 8 EA.
- 6" WATER LINE: 933 L.F.
- 3" WATERLINE: 328 L.F.
- 6" SEWER LINE: 833 L.F.
- 2.5" GAS LINE: 163 L.F.
- 2" DRAIN PIPE: 48 L.F.
- 8" STORMDRAIN PIPE: 420 L.F.
- 12" STORMDRAIN PIPE: 670 L.F.
- 15" STORMDRAIN PIPE: 258 L.F.
- 12" CATCH BASIN: 4 EA.
- 18" CATCH BASIN: 6 EA.
- 24" CURB INLET: 6 EA.
- 24" SIDEWALK CULVERT: 3 EA.

NOTES:
 • SEE PLANS FOR OTHER QUANTITIES.
 • CUT AND FILL QUANTITY DOES NOT INCLUDE SHRINK OR SWELL. COORDINATE WITH GEOTECH. REPORT AS APPLICABLE.

ROMA ARCHITECTURE
 912 Roma Avenue NW
 Albuquerque, NM 87102
 505.764.8306
 romaarc.com

Jall Group LLC
 ENGINEERING - SURVEYING - MANAGEMENT - INSPECTION - 505.264.6918

HOPE CHRISTIAN HIGH SCHOOL
 6800 PALOMAS AVE. NE, ALBUQUERQUE, NM 87109

REVISION SCHEDULE

#	Date	Description

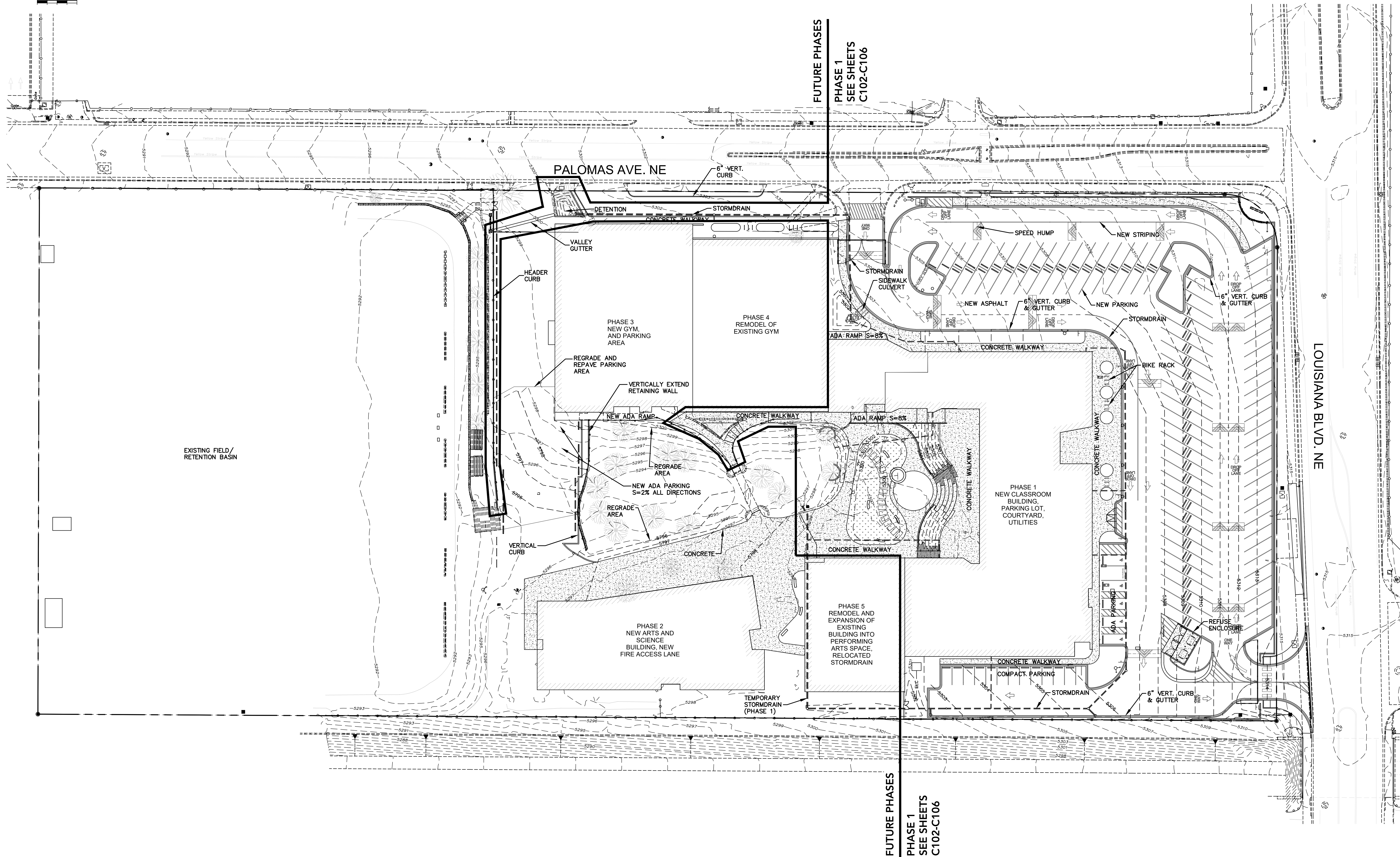
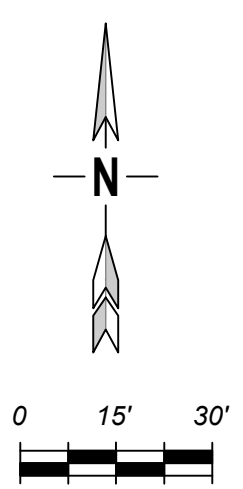
100% CD 11/10/23



GENERAL NOTES

C100

11/15/23



City of Albuquerque
 Planning Department
 Development Review Services
 HYDROLOGY SECTION
APPROVED
 DATE: 12/18/23
 BY: *Renee L. Bennett*
 HydroForm # D180009

THE CITY OF ALBUQUERQUE DOES NOT WARRANT THAT THIS PLAN OR ANY PART THEREOF IS CORRECT OR COMPLETE. THE CITY OF ALBUQUERQUE SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE USE OF THIS PLAN OR ANY PART THEREOF.

APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN FILED ON THE DEVELOPMENT.

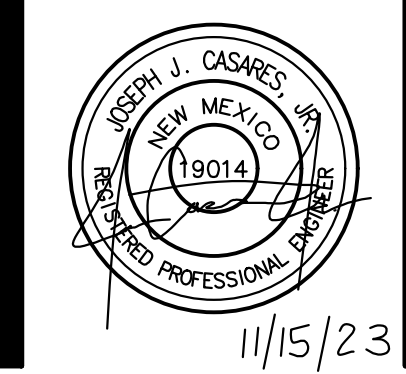
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HOPE CHRISTIAN HIGH SCHOOL
 6800 PALOMAS AVE. NE, ALBUQUERQUE, NM 87109

REVISION SCHEDULE	
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100% CD 11/10/23



CONCEPTUAL GRADING AND DRAINAGE PLAN

C101



ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION

PERMIT

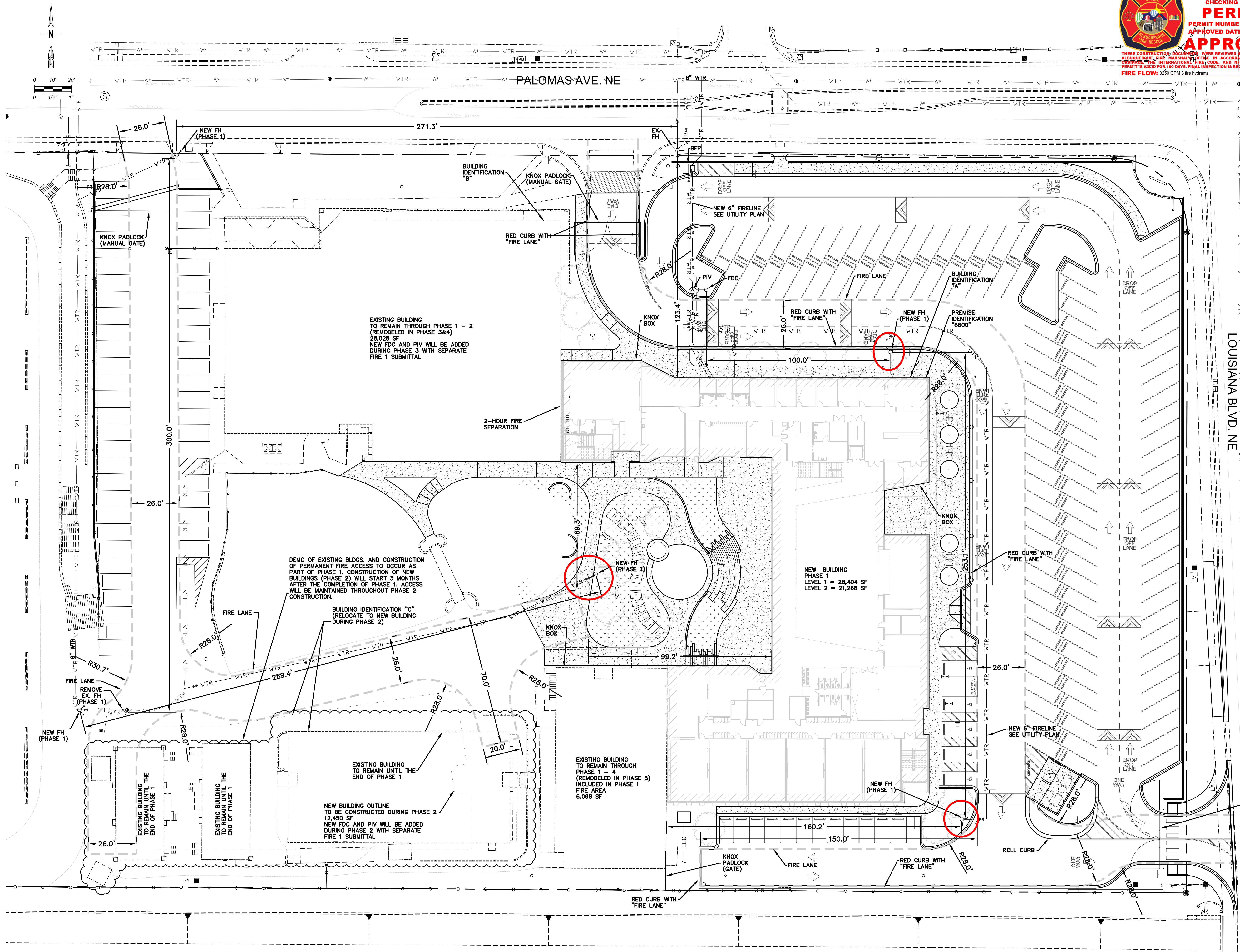
PERMIT NUMBER: EP-23-016530

APPROVED DATE: 11/15/23

APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE FIRE CODE, AND NFPA STANDARDS. THE PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.

FIRE FLOW: 3,250 GPM @ 3 Fire Hydrants



GENERAL CODE INFORMATION

CONSTRUCTION TYPE:
TYPE V-B

BUILDING "A" AREA (PHASE 1 & 5):
55,770 S.F. TOTAL (SPRINKLERED)

BUILDING "B" AREA (PHASE 3 & 4):
28,00 S.F. TOTAL (SPRINKLERED)

BUILDING "C" AREA (PHASE 2):
12,450 S.F. TOTAL (SPRINKLERED)

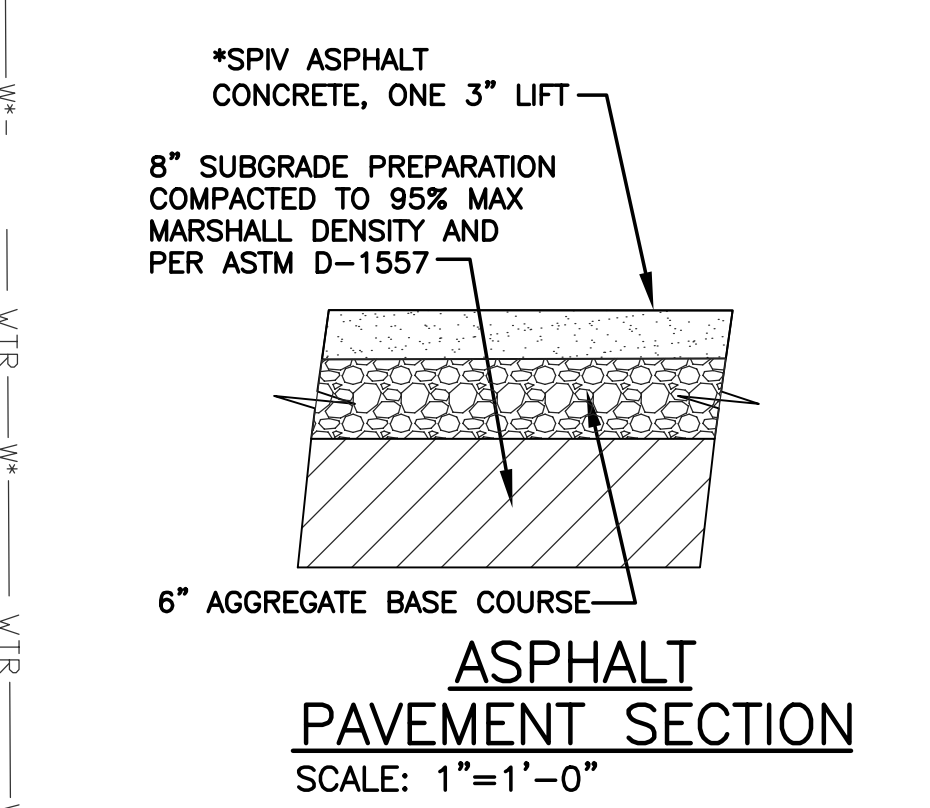
MAX. PROPOSED BUILDING HEIGHT:
29 F.T. (OK PER IBC TABLE 504.4)

PROPOSED STORIES:
2 STORY (OK PER IBC TABLE 504.4)

REQUIRED FIRE FLOW:
(PER 2018 IFC APPENDIX B, TABLE B105.1(2)):
BUILDING "A" = 3,250 GPM
BUILDING "B" = 2,250 GPM
BUILDING "C" = 1,500 GPM

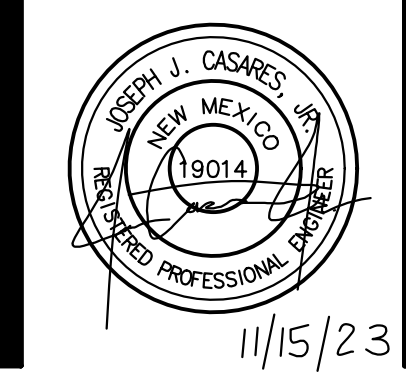
REQUIRED FIRE HYDRANTS:
300 FEET (PER 2018 IFC APPENDIX C, TABLE C102.1)

AVERAGE HYDRANT SPACING:
300 FEET (PER 2018 IFC APPENDIX B, TABLE B102.1)



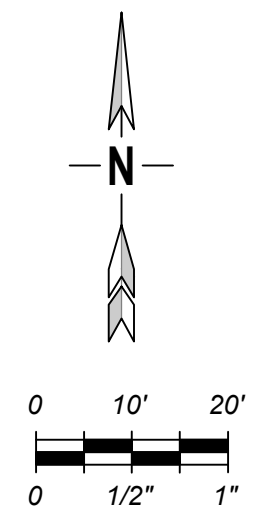
REVISION SCHEDULE

#	Date	Description



TRAFFIC CIRCULATION LAYOUT APPROVED

Curtis A. Chernie 5-14-24
Signed Date



NEW SIDEWALK ESMT. TO ACCOMMODATE 4' CLEAR AROUND FH

SEE WORK ORDER FOR CONSTRUCTION ON PALOMAS AVE.

PALOMAS AVE. NE

LOUISIANA AVE. NE

TRAFFIC KEYED NOTES

- A. DRIVEPAD PER COA DTL. 2426, SEE GRADING AND DRAINAGE PLAN FOR ELEVATIONS, SLOPES AND CONSTRUCTION DETAILS. PROVIDE A VALLEY GUTTER AT DRIVEWAY CROSSING PER COA DTL. 2420.
- B. ASPHALT PAVEMENT SECTION SEE GRADING AND DRAINAGE PLAN FOR ELEVATIONS, SLOPES AND PAVING LIMITS.
- C. HEADER CURB. SEE GRADING AND DRAINAGE PLAN FOR ELEVATIONS AND CONSTRUCTION DETAILS.
- D. CONCRETE SIDEWALK WITH 2% MAX. CROSS SLOPE, AND 5% MAX. LONGITUDINAL SLOPE. SEE GRADING AND DRAINAGE PLAN FOR ELEVATIONS AND CONSTRUCTION DETAILS. PROVIDE 4' CLEAR PER COA DTL. 2431 AT AREA SHOWN ON PLAN.
- E. 4" ROLL CURB AND GUTTER. SEE GRADING AND DRAINAGE PLAN FOR ELEVATIONS AND CONSTRUCTION DETAILS.
- F. 6" VERTICAL CURB AND GUTTER. SEE GRADING AND DRAINAGE PLAN FOR ELEVATIONS AND CONSTRUCTION DETAILS.
- G. ADA RAMP. SEE GRADING AND DRAINAGE PLAN FOR ELEVATIONS, AND CONSTRUCTION DETAILS.
- H. REFUSE ENCLOSURE WITH DRAIN SEE GRADING AND DRAINAGE PLAN FOR ELEVATIONS AND CONSTRUCTION LAYOUT. SEE SHEET AS.201 FOR DETAILS.
- I. INSTALL ADA PARKING PER DETAIL 1 SHEET C107.
- J. INSTALL 4" WIDE WHITE SOLID STRIPE PER DIMENSIONS SHOWN (24" AT DRIVEWAY CROSSING), 8.5'X18' VEHICLE AND 5'X10' MOTORCYCLE PARKING SPACE.
- K. INSTALL 4" WIDE CHEVRON STRIPING AS SHOWN, 45° ANGLE AT 4' APART (2' AT PALOMAS DRIVEWAY, LOUISIANA DRIVEWAY AS SHOWN). USE SOLID WHITE.
- L. INSTALL CONCRETE PARKING BUMPERS PER DETAIL 2, SHEET C107.
- M. INSTALL BICYCLE RACK PER DETAIL ON SHEET AS.201.
- N. REPLACE ALL BROKEN OR CRACKED; SIDEWALK, AND CURB & GUTTER, ALONG PROPERTY FRONTAGE AND WITHIN THE ADJACENT ROW.
- O. NEW 8" STANDARD CURB AND GUTTER WITH SIDEWALK PER COA DETAILS 2415A AND 2430. SEE GRADING AND DRAINAGE PLAN FOR CONSTRUCTION DETAILS.
- P. INSTALL SPEED HUMP PER DETAIL 13, SHEET C107.
- Q. INSTALL DIRECTIONAL ARROW AND WORDING AS SHOWN (TYP.) WITH DIMENSIONS PER MUTCD. PROVIDE WHITE SOLID.
- R. INSTALL "DO NOT ENTER" SIGN AS SHOWN ON PLAN AND PER SIGN DETAIL SHOWN ON SHEET C107 AND AS.103.
- S. INSTALL "MOTORCYCLE PARKING" SIGN AS SHOWN ON PLAN AND PER SIGN DETAIL SHOWN ON SHEET C107.

PARKING REQUIREMENTS

PROPOSED FOR MX-L:
TOTAL PARKING REQUIRED:
148 TOTAL PARKING SPACES
8 ADA PARKING SPACES
30 BICYCLE PARKING PER IDO TABE 5-5-5
4 MOTORCYCLE PARKING PER IDO TABLE 5-5-4

190 TOTAL PARKING SPACES PROVIDED,
160 STANDARD PARKING SPACES
12 COMPACT SPACES
8 ADA PARKING SPACES
30 BICYCLE SPACES
4 MOTORCYCLE SPACE

EXISTING SITE CONDITION

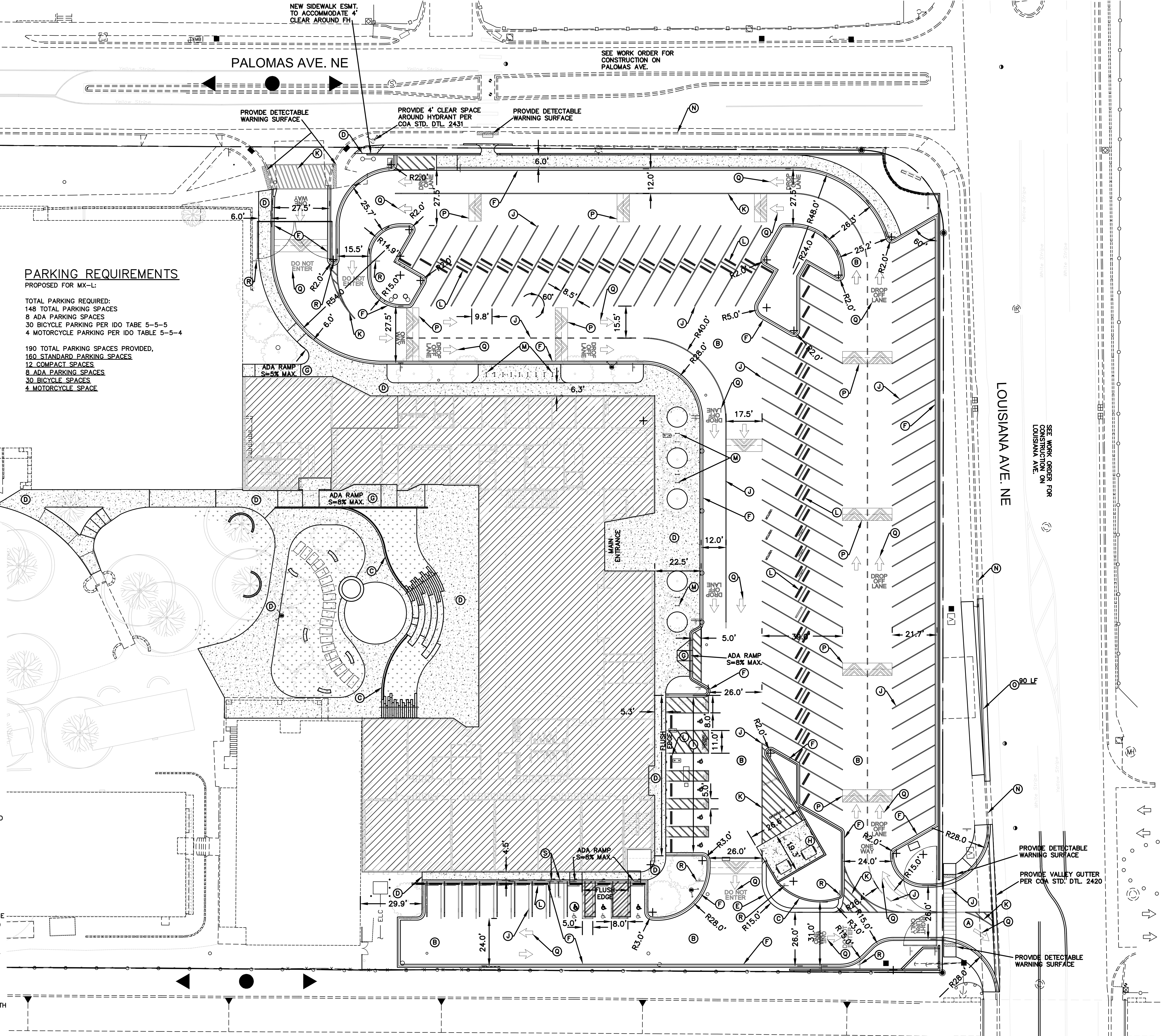
CURRENTLY THE SITE IS DEVELOPED AS A HIGH SCHOOL WITH SEVERAL BUILDINGS, SITE AMENITIES, DRAINAGE PONDS AND UTILITIES. EXISTING INFRASTRUCTURE WITHIN THE ROW ADJACENT TO THE SITE INCLUDE: UNDERGROUND AND ABOVE GROUND UTILITIES; ROADWAY, LANDSCAPED MEDIAN, SIDEWALK, CURB AND GUTTER. THE CURRENT SITE ACCESS IS FROM PALOMAS (FOUR DRIVEPADS) AND LOUISIANA (ONE DRIVEPAD). FIVE DRIVEPAD TOTAL.

PROPOSED DEVELOPMENT

THE PROPOSED DEVELOPMENT WILL BE A BUILDING ADDITION, RECONFIGURED PARKING LAYOUT, NEW PAVEMENT, NEW WALKWAYS, NEW CURB AND GUTTER, NEW REFUSE AREA, NEW STORM DRAINS, RELOCATED DRIVEPAD AT LOUISIANA, AND REROUTED UTILITIES. OFF-SITE CONSTRUCTION WILL BE COORDINATED WITH ADJACENT PROPERTIES. NO PERMANENT IMPACTS TO SURROUNDING PROPERTIES ARE ANTICIPATED.

TRAFFIC CIRCULATION CONCEPT

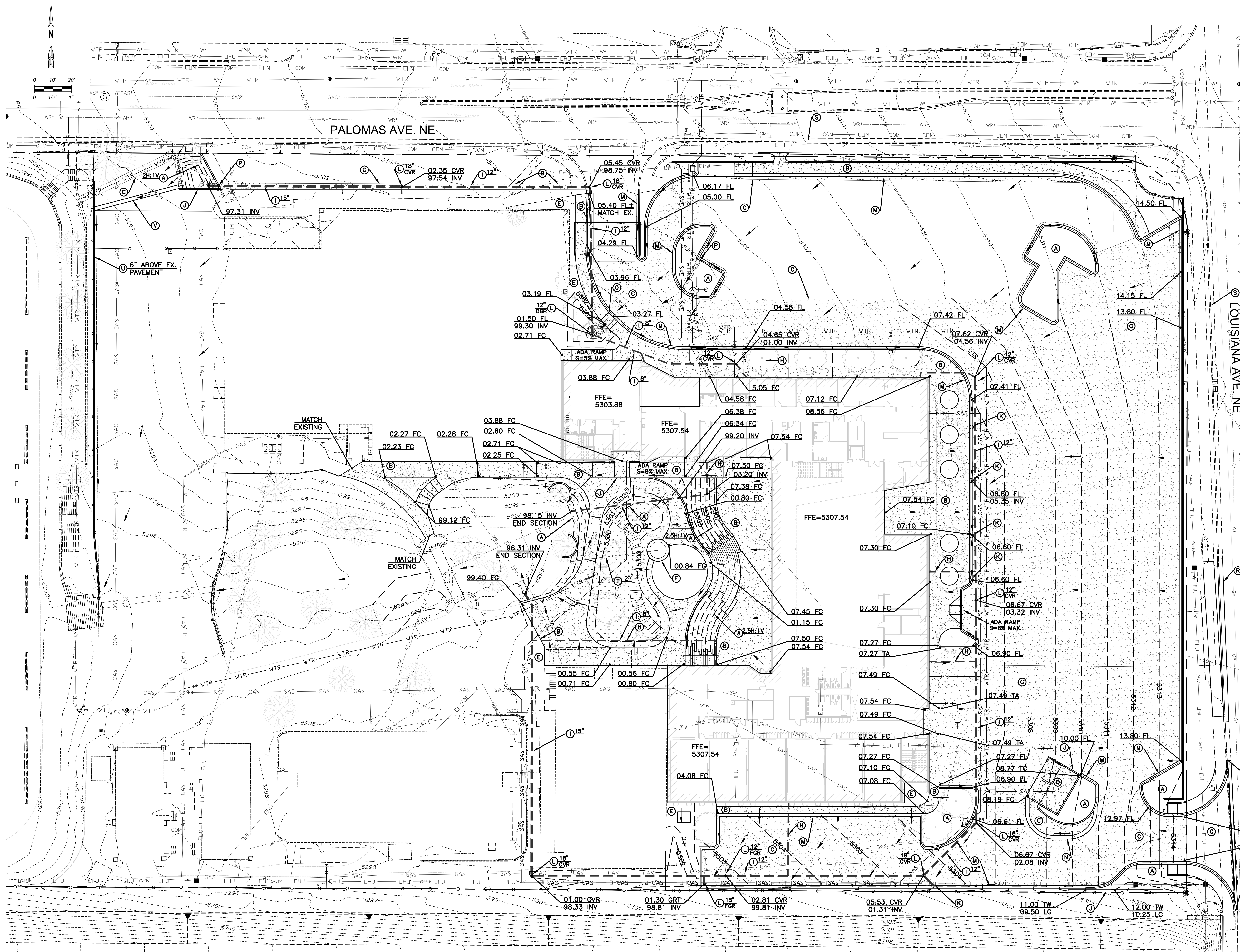
THESE IMPROVEMENTS WILL INCREASE THE EFFICIENCY OF ON-SITE TRAFFIC CIRCULATION DURING STUDENT DROP-OFF AND PICK-UP. THE TRAFFIC LAYOUT INCREASES QUEUING ON-SITE, WHILE DECREASING QUEUING IN THE ROW. ON-SITE TRAFFIC WILL BE CONTROLLED WITH NEW PAVEMENT MARKINGS, AND NEW SIGNAGE. IN ADDITION TO THIS, THE SCHOOL WILL MAINTAIN CROSSING GUARDS AND ADD TEMPORARY TRAFFIC SIGNAGE DURING DROP-OFF AND PICK-UP HOURS. THE IMPROVEMENTS CONSIST OF; A NEW DRIVEPAD ALONG LOUISIANA BLVD. NE. WILL BE BUILT TO FACILITATE ACCESS TO THE RECONFIGURED PARKING LAYOUT. THE EXISTING DRIVEPAD AT LOUISIANA WILL BE CLOSED. THE RELOCATED DRIVEPAD WILL BE 26' WIDE AND WILL TRANSITION INTO A 24' WIDE DRIVE LANE ON-SITE. ANGLED PARKING IS PROPOSED. PARKING WILL BE AS SHOWN ON THE PLAN. ALSO PROVIDED IS ADA PARKING AND COMPACT CAR PARKING (DIMENSIONS SHOWN ON PLAN). THE DRIVE SURFACE WILL BE PAVEMENT CAPABLE OF SUPPORTING 75,000 LB VEHICLES. CONCRETE CURBING WILL PROVIDE A BARRIER BETWEEN VEHICLE AREAS AND PEDESTRIAN AREAS. A 6" WIDE CONCRETE WALKWAY WILL PROVIDE THE MAIN PEDESTRIAN CIRCULATION ON-SITE. EMERGENCY VEHICLE ACCESS WILL BE FROM LOUISIANA. FIRE ACCESS LANE HAS BEEN COORDINATED WITH THE CITY FIRE MARSHAL'S OFFICE AND APPROVED AS SHOWN ON FIRE 1 SHEET. REFUSE COLLECTION HAS BEEN COORDINATED WITH SOLID WASTE AND APPROVED AS SHOWN ON THE SITE PLAN.



REVISION SCHEDULE

#	Date	Description





City of Albuquerque
 Planning Department
 Development Review Section
HYDROLOGY SECTION
APPROVED
 DATE: 12/18/23
 BY: [Signature]
 HYDROLOGIST # 0180009

APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN FILED ON THE DEVELOPMENT.

DRAINAGE KEYED NOTES

- A. GRADE AREA PER ELEVATION CALLOUTS SHOWN. 3:1-1V MAX. SLOPE (UNLESS NOTED OTHERWISE). ELEVATIONS SHOWN ARE AT TOP OF FINISHED LANDSCAPE, CONCRETE (FC), AND GRAVEL (FG) SURFACES. (LANDSCAPE FINISHES, AND GRAVEL ARE BY ARCHITECT).
- B. CONSTRUCT 5" THICK CONCRETE OVER 3" GRAVEL OVER 2" SUBGRADE COMPACTED TO 95% MAX. DRY DENSITY. PROVIDE 2% MAX. CROSS SLOPE AND 5% MAX. LONGITUDINAL SLOPE. FOR SIDEWALK SEE DETAIL 5, SHEET C107. (SCORE PATTERN, EXPANSION/CONTRACTION JOINTS, JOINT PLACEMENT, COLOR, AND TEXTURE ARE BY ARCHITECT).
- C. CONSTRUCT ASPHALT CONCRETE PAVEMENT SECTION PER DETAIL 9, SHEET C107. MATCH EXISTING PAVEMENT WHERE APPLICABLE. COORDINATE WITH GEOTECH. REPORT.
- D. CONSTRUCT 3" THICK STABILIZED CRUSHER FINES WALKWAY OVER 3" BASE COURSE, OVER COMPACTED SUBGRADE. COMPACT WITH HEAVY EQUIPMENT AND ADJUST FINAL GRADE WITH CRUSHER FINES AS NECESSARY TO PROVIDE ELEVATIONS SHOWN. PROVIDE LIME STABILIZATION. (COLOR BY ARCHITECT).
- E. GRADE AREA TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES AT 2% MIN. FOR APPROXIMATELY 5 FEET.
- F. CONSTRUCT FOUNTAIN AND OTHER SITE AMENITIES PER ARCHITECTURAL DETAILS.
- G. CONSTRUCT DRIVEWAY PER COA DETAIL 2426. SEE S0-19 NOTES ON SHEET C100 FOR WORK IN ROW.
- H. ROUTE ROOF DRAINS INTO ADJACENT STORMDRAIN PER DETAIL 11, SHEET C107.
- I. INSTALL HDPE STORMDRAIN WITH 8" MIN. COVER. PROVIDE S=0.7% MIN. (SEE SHEET C100 FOR SLOPE). PROVIDE ADS CATCH BASINS NOTE "L" AND OUTLET PER DETAIL 4, SHEET C107.
- J. CONSTRUCT RETAINING WALL PER STRUCTURAL DETAIL.
- K. INSTALL ADS NYLOPLAST CURB OPENING INLET WITH DUCTILE IRON GRATE (SLOTTED).
- L. INSTALL ADS NYLOPLAST CATCH BASIN WITH DUCTILE IRON COVER OR GRATE PER DETAIL 3, SHEET C107.
- M. CONSTRUCT 6" VERTICAL CURB AND GUTTER PER DETAIL 7 SHEET C107.
- N. CONSTRUCT 4" ROLL CURB PER DETAIL 8, SHEET C107.
- O. CONSTRUCT SIDEWALK CULVERT PER DETAIL 6, SHEET C107.
- P. CONSTRUCT 2.5' WIDE CURB CUT WITH TRANSITIONS PER DETAIL 10, SHEET C107.
- Q. CONSTRUCT REFUSE AREA WITH 6" DRAIN PER ARCHITECTURAL DETAIL.
- R. REMOVE EXISTING DRIVEPAD AND CONSTRUCT 8" STANDARD CURB AND GUTTER WITH SIDEWALK PER COA DETAILS 2415A AND 2430. MATCH EXISTING FLOW LINE AND SIDEWALK WIDTH.
- S. WITHIN THE ROW REPLACE ALL BROKEN OR CRACKED; SIDEWALK, AND CURB & GUTTER (PER COA DETAIL 2415A).
- T. INSTALL 2" PVC DRAIN LINE AT FOUNTAIN. COORDINATE WITH PLUMBING SHEETS FOR FOUNTAIN PIPING. DAYLIGHT DRAIN AT DETENTION BASIN AS SHOWN ON PLAN.
- U. CONSTRUCT CONCRETE HEADER CURB PER DETAIL 14, SHEET C107.
- V. CONSTRUCT CONCRETE VALLEY GUTTER PER DETAIL 15, SHEET C107.

NOTE: SEE SITE LAYOUT SHEET C104 FOR ADDITIONAL ELEVATION AND COORDINATE INFORMATION

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 romaarc.com

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HOPE CHRISTIAN HIGH SCHOOL
 6800 PALOMAS AVE. NE, ALBUQUERQUE, NM 87109

REVISION SCHEDULE

#	Date	Description

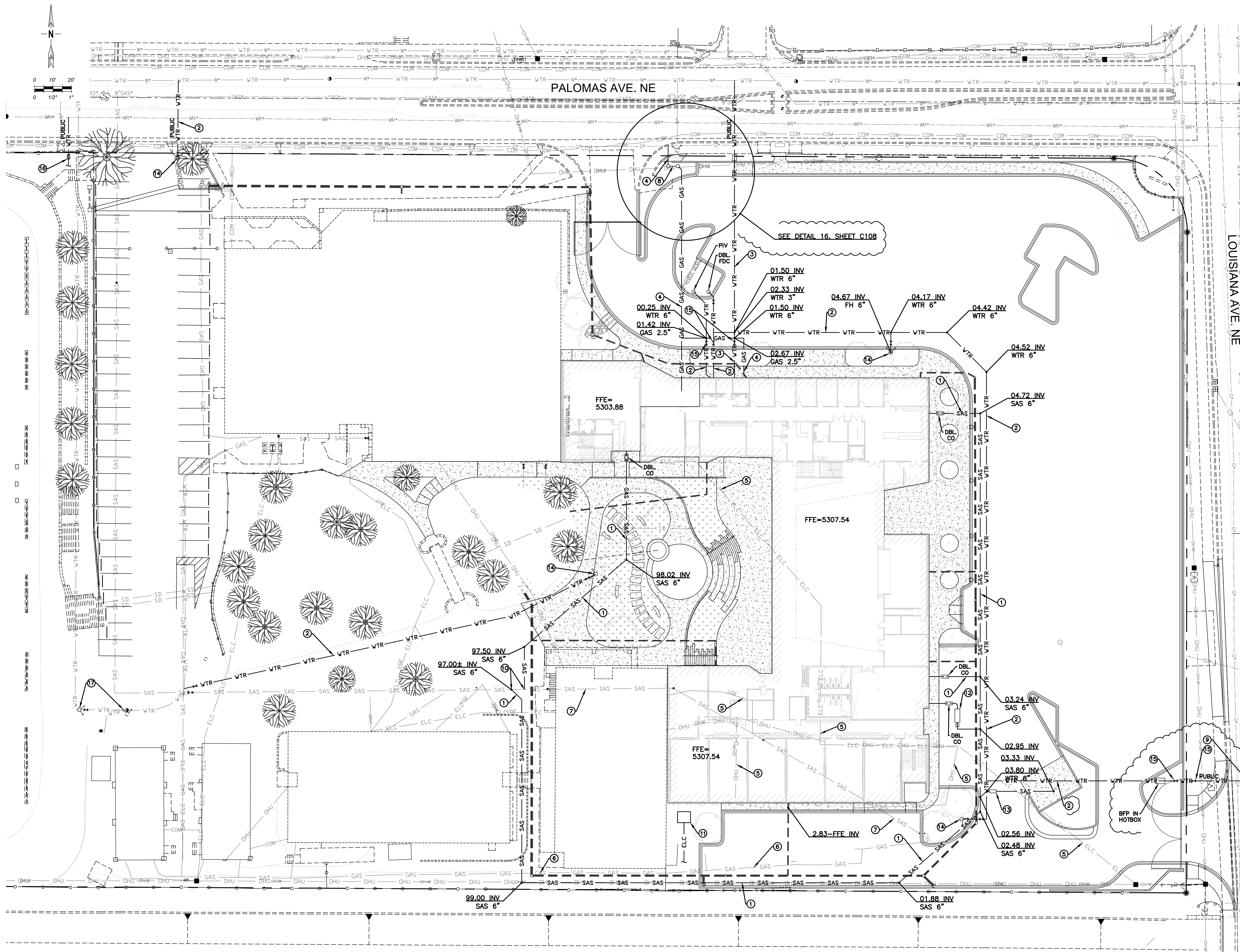
100% CD 11/15/23



GRADING AND DRAINAGE PLAN

C105

11/15/23



UTILITY KEYED NOTES

1. INSTALL NEW 6" SEWER SERVICE (SDR35) AT S=0104 FT/FT MINIMUM, PROVIDE CLEAN-OUTS AT BENDS AND AT EVERY 100 FEET PER DETAIL 12, SHEET C108. SEE PLUMBING PLAN FOR ADDITIONAL CLEANOUT DETAILS.
 2. INSTALL 6" PVC C-900 SCHEDULE 40 WATERLINE UP TO BUILDING FIRE RISER ROOM, TO FRR AND TO DBL FDC. PROVIDE CONCRETE THRUST BLOCKS PER DETAIL 17, SHEET C108. TRENCH PER ABCWUA SEC. 701. PLUMB WATERLINE TO FIRE RISER ROOM AS SHOWN ON PLUMBING SHEET. INSTALL HOT BOX AT LOCATION SHOWN ON PLAN. PROVIDE 3" MIN. BURY.
 3. NEW 3" WATER SERVICE LINE PER NEW MEXICO UPC CHAPTER 12 AS MODIFIED BY NMAC 14.9.2. COORDINATE CONNECTION POINT AND SIZE WITH BUILDING PLUMBING PLAN. PROVIDE 2.5" MIN. BURY. TAP PER ABCWUA SEC. 802. TRENCH PER SECT. 701. PROVIDE 2" WATER METER WITH BYPASS BOX AND COVER PER ABCWUA DTL. 2370.
 4. NEW 3" GAS SUPPLY STEEL PIPE, GRADE B, SCHEDULE 40 PER ASME B36.10M AND ASTM A53. PROVIDE 1.5" MIN BURY. TRENCH AND INSTALL PER NEW MEXICO UPC CHAPTER 12 AND UMC CHAPTER 13 AS MODIFIED BY NMAC 14.9.2. PROVIDE NEW REGULATOR TO REDUCE 555 CFH FROM 5 PSI INLET PRESSURE TO 7" WC. COORDINATE WITH PLUMBING SHEET.
 5. REMOVE EXISTING ELECTRICAL SERVICES FOR EXISTING BUILDINGS (TO BE DEMOLISHED) UP TO BREAKER. MAINTAIN OTHER ELECTRICAL CIRCUITS AS REQUIRED FOR BUILDING (TO REMAIN).
 6. REMOVE EXISTING GAS SERVICE LINES FOR EXISTING BUILDINGS (TO BE DEMOLISHED) UP TO REGULATOR AND CAP. COORDINATE WITH PLUMBING PLAN.
 7. REMOVE AND CAP EXISTING SEWER SERVICE TO FACILITATE NEW BUILDING.
 8. INSTALL GAS REGULATOR. PROVIDE FITTINGS PER NEW MEXICO UPC CHAPTER 12 AND UMC CHAPTER 13 AS MODIFIED BY NMAC 14.9.2.
 9. VERIFY EXISTING SIZE AND TAP PER ABCWUA SECT. 801. PROVIDE TRENCHING, BEDDING, AND BACKFILL PER ABCWUA SEC. 701. INSTALL DOUBLE CHECK VALVE BACKFLOW PREVENTION ASSEMBLY PER NM UPC SECTION 603.5 WITHIN HOTBOX WHERE SHOWN ON PLAN.
 10. TAP EXISTING SEWER SERVICE PER INVERT ELEVATIONS SHOWN. FIELD VERIFY EXISTING INVERT AND COORDINATE SLOPE OF NEW LINE (SEE KEYED NOTE 1).
 11. INSTALL TRANSFORMER, COORDINATE WITH PNM. SEE ELECTRICAL PLAN FOR CONTINUATION.
 12. INSTALL GREASE INTERCEPTOR AND VENT PER PLUMBING PLAN.
 13. INSTALL NEW 3" SEWER SERVICE (PVC SCH40) AT S=0104 FT/FT MINIMUM. PROVIDE 20GPM GREASE INTERCEPTOR (CANPLAS 3920A02 OR EQUAL). VENT AT BUILDING ROOF (COORDINATE WITH PLUMBING PLAN).
 14. INSTALL FIRE HYDRANT ASSEMBLY (MUELLER OR EQUAL) PER ABCWUA DTL. 2340.
 15. INSTALL GATE VALVE RESTRAINED. PROVIDE VALVE BOX PER ABCWUA DETAIL 2326.
 16. INSTALL 1" LANDSCAPE WATER METER WITH BOX AND COVER PER ABCWUA DTL. 2368. COORDINATE WITH LANDSCAPE PLAN FOR CONTINUATION.
 17. REMOVE EXISTING FIRE HYDRANT AND RELOCATE ON-SITE OUTSIDE OF THE FIRE ACCESS LANE. SEE FIRE PLAN.
- NOTE: CONSTRUCTION WORK FOR CONNECTIONS TO PUBLIC INFRASTRUCTURE AS SHOWN ON THIS PLAN REQUIRE AN ABCWUA CONNECTION PERMIT.
- NEW PUBLIC INFRASTRUCTURE RESULTING FROM THIS PROJECT IS WITHIN THE ROW AND LABELED ACCORDINGLY ON THIS PLAN. THESE LINES IN THE ROW REMAIN PUBLIC UP TO THE PROPERTY LINE. ALL OTHER LINES ARE PRIVATELY OWNED.
- COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. PRIOR TO CONSTRUCTION, CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454 TO COORDINATE.
- COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. PRIOR TO CONSTRUCTION, CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3439.

REVISION SCHEDULE	
#	Description
1	07/15/24 REVISED NOTES #3, #4, #12, #13
2	05/10/24 REVISED NOTE #3 TO INCLUDE BYPASS, RELOCATED 4" CONNECTION
3	06/06/24 ADDED NOTES TO BELOW CONSTRUCTION NOTES



HOPE CHRISTIAN HIGH SCHOOL
30' - 1"

HOPE
55' - 3"

6800
A

1 ENTRY SIGN (CANOPY MOUNTED)
1/4" = 1'-0"

SIGN AREA: 31 SF

2 PAINTED WALL GRAPHIC
3/16" = 1'-0"

SIGN AREA: 700 SF

3 ADDRESS SIGN (WALL MOUNTED)
1/4" = 1'-0"

SIGN AREA: 7 SF

APPLICABLE SIGN RESTRICTIONS:

PER IDO 14-16-5-12(F)(2):

WALL SIGN:

NUMBER, MAXIMUM: N/A

AREA, MAXIMUM: SHALL NOT EXCEED 10% OF FACADE AREA

LOCATION: WHERE THERE IS NO SIDE SETBACK BETWEEN 2 ESTABLISHMENT FRONTAGES IN THE SAME OR ADJUTING BUILDINGS, NO WALL SIGN MAY EXTEND CLOSER THAN 2 FEET TO THE SHARED EDGE OF THE FRONTAGE.

CANOPY SIGN:

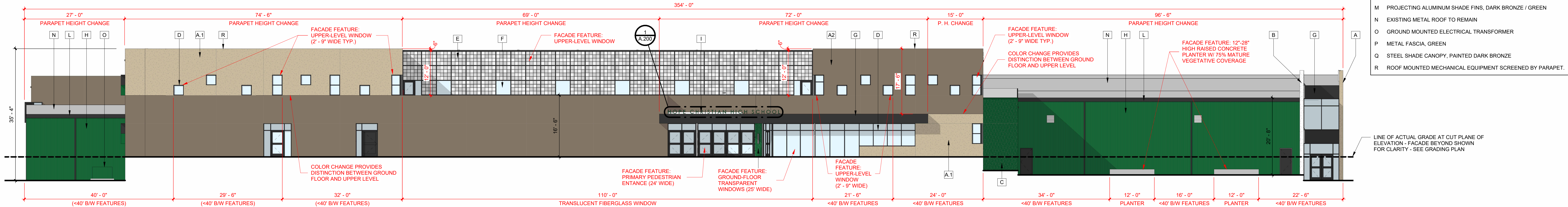
NUMBER, MAXIMUM: 1 / ESTABLISHMENT FRONTAGE

WIDTH, MAXIMUM: 50% OF BUILDING FRONTAGE WIDTH

HEIGHT OF MESSAGE SURFACE, MAXIMUM: LETTERS AND IMAGES MUST BE LOCATED ON VERTICAL SURFACES, WHICH MAY NOT EXCEED 18 IN. HEIGHT.

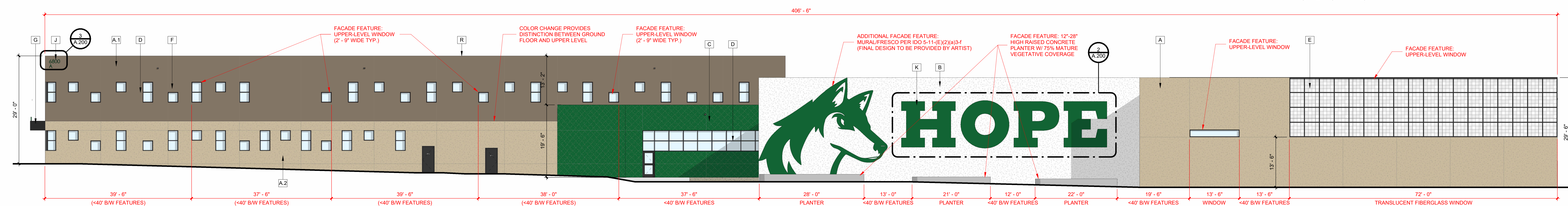
LEGEND:

- A.1 STUCCO, COLOR TO MATCH EL REY "COTTONWOOD"
- A.2 STUCCO, COLOR TO MATCH EL REY "ADOBE"
- B STUCCO, COLOR WHITE
- C STUCCO, COLOR TO MATCH DUNN EDWARDS "LATER GATOR" DE 5678
- D ALUMINUM STOREFRONT WINDOW FRAMING, DARK BRONZE
- E TRANSLUCENT FIBERGLASS GLAZING SYSTEM
- F CLEAR INSULATED GLAZING
- G METAL FASCIA, DARK BRONZE
- H EXISTING METAL SIDING TO BE PAINTED GREEN
- I ENTRY SIGN, CAST ALUMINUM LETTERS, GREEN
- J ADDRESS SIGN, CAST ALUMINUM LETTERS, GREEN
- K PAINTED WALL GRAPHIC, GREEN
- L GUTTER AND DOWNSPOUTS, DARK BRONZE
- M PROJECTING ALUMINUM SHADE FINS, DARK BRONZE / GREEN
- N EXISTING METAL ROOF TO REMAIN
- O GROUND MOUNTED ELECTRICAL TRANSFORMER
- P METAL FASCIA, GREEN
- Q STEEL SHADE CANOPY, PAINTED DARK BRONZE
- R ROOF MOUNTED MECHANICAL EQUIPMENT SCREENED BY PARAPET.



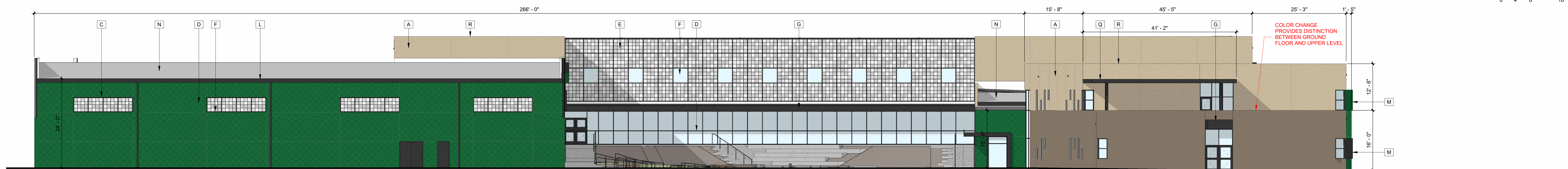
EAST ELEVATION STREET FRONTAGE ON LOUISIANA BLVD NE - CUMULATIVE WIDTH OF FACADE FEATURE ELEMENTS = 57% OF OVERALL FACADE LENGTH (MIN. 30% REQUIRED)

3/32" = 1'-0"



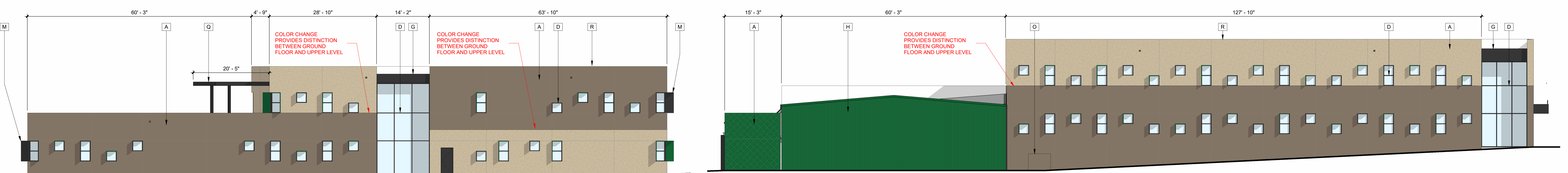
NORTH ELEVATION STREET FRONTAGE ON PALOMAS AVE NE - CUMULATIVE WIDTH OF FACADE FEATURE ELEMENTS = 56% OF OVERALL FACADE LENGTH (MIN. 30% REQUIRED)

3/32" = 1'-0"



WEST ELEVATION (NO STREET FRONTAGE THEREFORE IDO 5-11-(E)(2)(a)2 & 5-11-(E)(2)(a)3 DO NOT APPLY)

3/32" = 1'-0"



SOUTH ELEVATION (NO STREET FRONTAGE THEREFORE IDO 5-11-(E)(2)(a)2 & 5-11-(E)(2)(a)3 DO NOT APPLY)

3/32" = 1'-0"

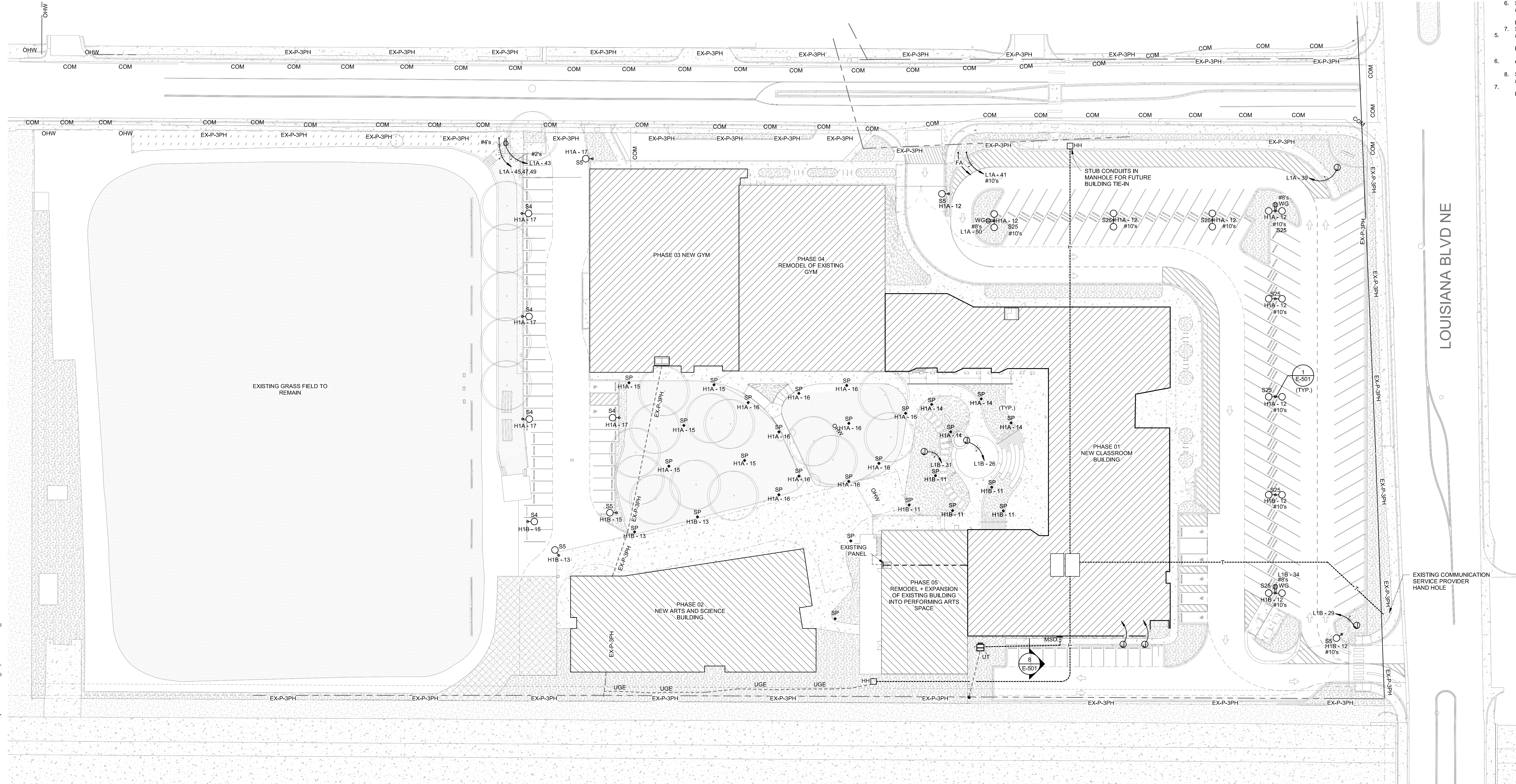
REVISION SCHEDULE

#	Date	Description
1	05.31.24	DFT SITE PLAN APPLICATION

THE SITE LIGHTING DESIGN REPRESENTED IN THIS DOCUMENT HAS BEEN DESIGNED TO MEET THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO) SECTION 5-8. THIS SHEET IS BEING ISSUED TO SHOW COMPLIANCE WITH THE ORDINANCE.

GENERAL NOTES:

1. IDO SECTION 5-8
 - a. ALL S4, S25, S5' FIXTURES HAVE FULL CUTOFF AND BUD RATING OF U0
 - b. SPILLOVER IS NO GREATER THAN .3 FC OUTSIDE OF PROPERTY LINE.
 - c. EXTERIOR FIXTURES ARE TO BE ON A TIME CLOCK AND TURN OFF AT 11:00PM PER LIGHTING SEQUENCE OF OPERATION.
 - d. EXTERIOR FIXTURES GENERATE GREATER THAN 80 LUMENS PER WATT OF ENERGY CONSUMED.
2. SECTION 5-8(D)(2)
 - ALL EXTERIOR FIXTURES ARE TO BE OFF AT 11:00PM PER LIGHTING SEQUENCE OF OPERATION.
3. SECTION 5-8(D)(3)
 - ALL POLE LIGHTS ARE MOUNTED AT 20'-0" HIGH.
4. SECTION 5-8(D)(4)
 - ANY BUILDING MOUNTED LIGHTS ARE MOUNTED AT 9'-0" AFF.
5. SECTION 5-8(D)(5)
 - ALL LIGHTING IN CANOPIES ARE FLUSH RECESSED MOUNTED TO CEILING.
6. SECTION 5-8(E)(1)
 - a. WHERE PEDESTRIANS WALK, A MINIMUM FC LEVEL OF 1FC IS MAINTAINED, AND THE MAXIMUM OF 4FC IS MAINTAINED.
 - b. PEDESTRIAN LIGHT POLES "SP" ARE MOUNTED AT 10'-0".
7. SECTION 5-8(E)(2)
 - a. NO DECORATIVE LIGHTING EXCEEDS 100 WATTS OF LUMINANCE OR EQUIVALENT.
 - b. NO DECORATIVE LIGHTING SHINES UPWARD TOWARDS BUILDING.
8. SECTION 5-8(E)(3)
 - a. ALL PEDESTRIAN WALKWAYS ARE LIT PER PEDESTRIAN-SCALE LIGHTING REFERENCED.
 - b. WHERE PEDESTRIANS WALK, A MINIMUM FC LEVEL OF 1FC IS MAINTAINED, AND THE MAXIMUM OF 4FC IS MAINTAINED.

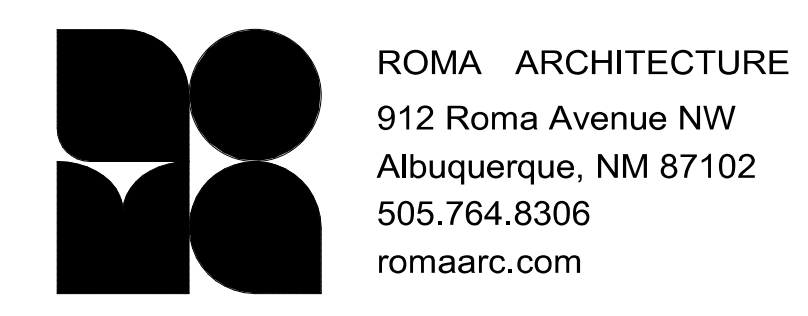


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Bridgers & Paxton Project No. 8926

1 ELECTRICAL SITE PLAN
1" = 30'-0"

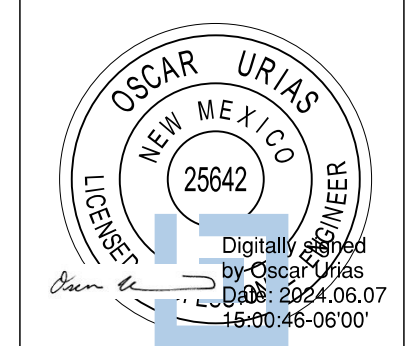
0' 15' 30' 60'



HOPE CHRISTIAN HIGH SCHOOL
6800 PALOMAS AVE. NE, ALBUQUERQUE, NM 87109

REVISION SCHEDULE	
#	Date

100% CD 11.10.23



OVERALL ELECTRICAL SITE PLAN COMPLETE

ES.102

- GENERAL NOTES:**
- SEARCHLIGHTS AND SPOTLIGHTS ARE PROHIBITED AND NOT INCLUDED IN THIS PROJECT. THIS PROJECT WILL NOT INCLUDE FLASHING, TRAVELING, OR INTERMITTENT LIGHTING.
 - ALL LIGHT FIXTURES IN THIS PROJECT ARE SHIELDED USING FULL CUTOFF LIGHT FIXTURES.
 - ALL OUTDOOR LIGHTING IS BEING DESIGNED SO THAT LIGHT SPILLOVER ONTO THE AREA 10 FEET BEYOND THE PROPERTY LINE DOES NOT EXCEED 200 FOOT LAMBERTS AS MEASURED FROM THE PROPERTY LINE FACING THE LIGHT SOURCE.
 - ALL OUTDOOR LIGHT FIXTURES IS DESIGNED TO REMAIN OFF BETWEEN 11:00 P.M. AND SUNRISE (EXCEPT FOR SECURITY PURPOSES)
 - ALL SPECIFIED OUTDOOR LIGHT FIXTURES HAS AN AVERAGE WATTAGE OF LESS THAN 56 WATTS AND EFFICACY (LPW) HIGHER THAN 120 LPW.
 - MAXIMUM POLE HEIGHT IS 20 FT.

REVISION SCHEDULE

#	Date	Description
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100% CD 11.10.23

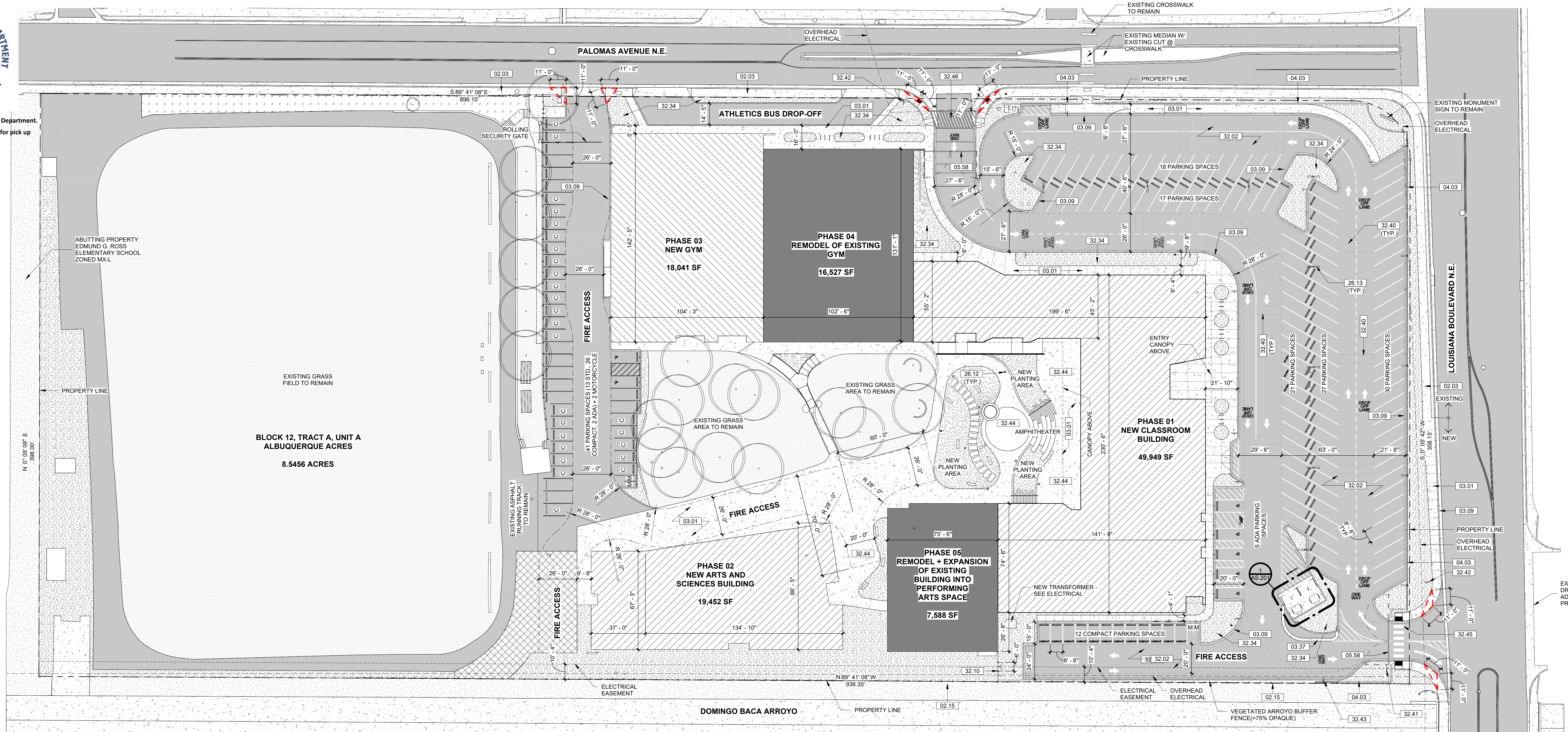


OVERALL ELECTRICAL SITE
PLAN COMPLETE
CALCULATIONS

ES.103



Approved for access by the Solid Waste Department.
 All containers must be made accessible for pick up
 between the hours of 8AM and 8PM.
 Reviewer: *Herman Gallegos*
 Date: 01-26-24



1 SITE PLAN
 1" = 30'-0"

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

IS AN INFRASTRUCTURE LIST REQUIRED (X) YES () NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

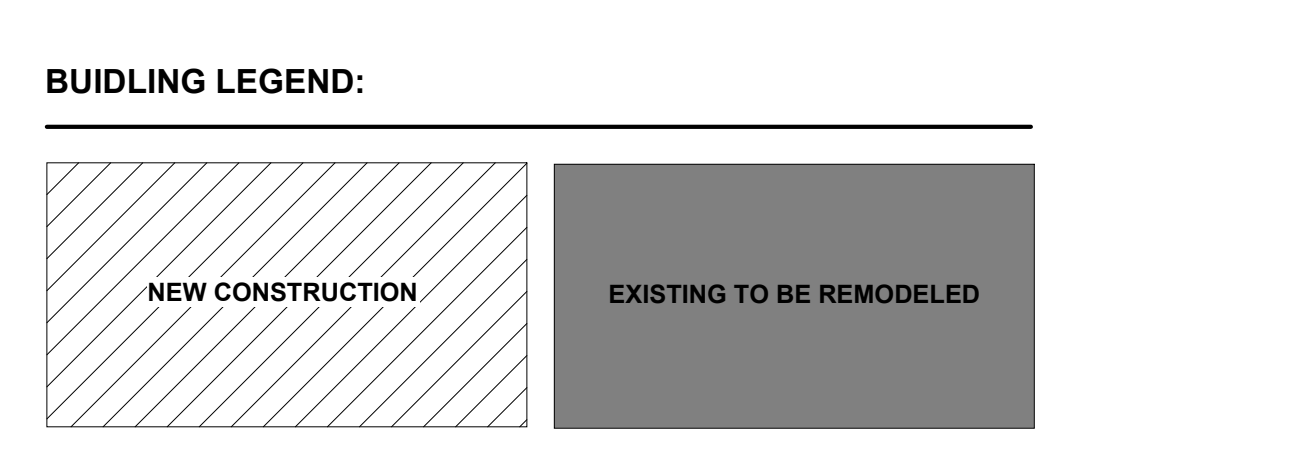
DET SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
ABCWUA	
PARKS AND RECREATION DEPARTMENT	DATE
HYDROLOGY	DATE
CODE ENFORCEMENT	DATE
*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
Herman Gallegos SOLID WASTE MANAGEMENT	01-26-24
PLANNING DEPARTMENT	DATE
*ENVIRONMENTAL HEALTH, IF NECESSARY	

TABLE OF CONTENTS

AS.100	SITE PLAN
AS.201	SITE DETAILS
AS.202	SITE DETAILS
AS.203	SITE DETAILS
LP.101	LANDSCAPING PLAN
LP.102	LANDSCAPE PLAN
C.101	GRADING AND DRAINAGE PLAN
C.106	UTILITY PLAN
A.200	BUILDING AND STRUCTURE ELEVATIONS

BUILDING AREA BY PHASE	CONSTRUCTION STARTS
PHASE 01 LEVEL 1 28,388 SF LEVEL 2 21,561 SF	05/2024
PHASE 02 LEVEL 1 12,435 SF LEVEL 2 7,017 SF	06/2025
PHASE 03 LEVEL 1 14,686 SF LEVEL 2 3,355 SF	06/2026
PHASE 04 LEVEL 1 (REMODELED) 13,427 SF LEVEL 2 (REMODELED) 3,100 SF	06/2027
PHASE 05 LEVEL 1* (REMODELED) 6,098 SF LEVEL 1 (ADDITION) 1,490	08/2028
TOTAL BUILDING AREA:	111,557 SF



LEGAL DESCRIPTION

HOPE CHRISTIAN SCHOOL, BLOCK 12, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, AS THE SAME IS SHOWN AND DESIGNATED OF THE PLAT ENTITLED "PLAT OF HOPE CHRISTIAN SCHOOL, BLOCK 12, TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 24, 1994, IN VOLUME 940, FOLIO 97.

PARKING REQUIREMENTS AND PROVISIONS

ZONING CODE: CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE

14-16-5-1 MINIMUM OFF-STREET PARKING REQUIREMENTS

HIGH SCHOOL: 1 SPACE / 4 SEATS IN MAIN AUDITORIUM OR 3 SPACES / CLASSROOM WHICHEVER IS GREATER
 MAIN AUDITORIUM SEATS 591 OCCUPANTS (CONCENTRATED; CHAIRS ONLY - NOT FIXED) 591 SEATS / 4

= 148 SPACES REQUIRED
 SINCE OVER 20 SPACES ARE REQUIRED, UP TO 25% CAN BE COMPACT SPACES

STANDARD	126
COMPACT	38 (~23% OF TOTAL SPACES PROVIDED)
ACCESSIBLE	7

TOTAL SPACES PROVIDED 171

14-16-5-1(C)(8) ACCESSIBLE PARKING (PER 2010 ADA STANDARDS TABLE 208.2)

TOTAL NUMBER OF PARKING SPACES PROVIDED (EAST LOT) = 101 TO 150
 MINIMUM REQUIRED ACCESSIBLE PARKING SPACES = 5 (1 VAN)

SPACES PROVIDED (EAST LOT) = 5 (1 VAN)

TOTAL NUMBER OF PARKING SPACES PROVIDED (WEST LOT) = 26 TO 50
 MINIMUM REQUIRED ACCESSIBLE PARKING SPACES = 2 (1 VAN)

SPACES PROVIDED (EAST LOT) = 2 (1 VAN)

14-16-5-1(D) MINIMUM MOTORCYCLE PARKING REQUIREMENTS (TABLE 5-5-4)

REQUIRED OFF-STREET VEHICLE PARKING SPACES = 101-150
 NUMBER OF MOTORCYCLE SPACES REQUIRED = 4

SPACES PROVIDED = 4 (2 IN EAST LOT, 2 IN WEST LOT)

14-16-5-1(E) MINIMUM BICYCLE PARKING REQUIREMENTS (TABLE 5-5-5)

HIGH SCHOOL: 20% OF REQUIRED OFF-STREET PARKING SPACES
 TOTAL NUMBER OF OFF-STREET PARKING SPACES REQUIRED = 148
 20% OF 148 = 30 BICYCLE SPACES REQUIRED

BICYCLE SPACES PROVIDED = 30 (15 RACKS X 2 BIKES/RACK)

ZONING REQUIREMENTS

ZONING DISTRICT: MIXED USE - LOW INTENSITY ZONE DISTRICT (MX-L)
 INTEGRATED DEVELOPMENT ORDINANCE
 CITY OF ALBUQUERQUE, NEW MEXICO

SETBACKS:
 FRONT: 5 FEET
 SIDE: INTERIOR: 0 FEET, STREET SIDE: 5 FEET
 REAR: 15 FEET

MAXIMUM HEIGHT: 38 FEET.

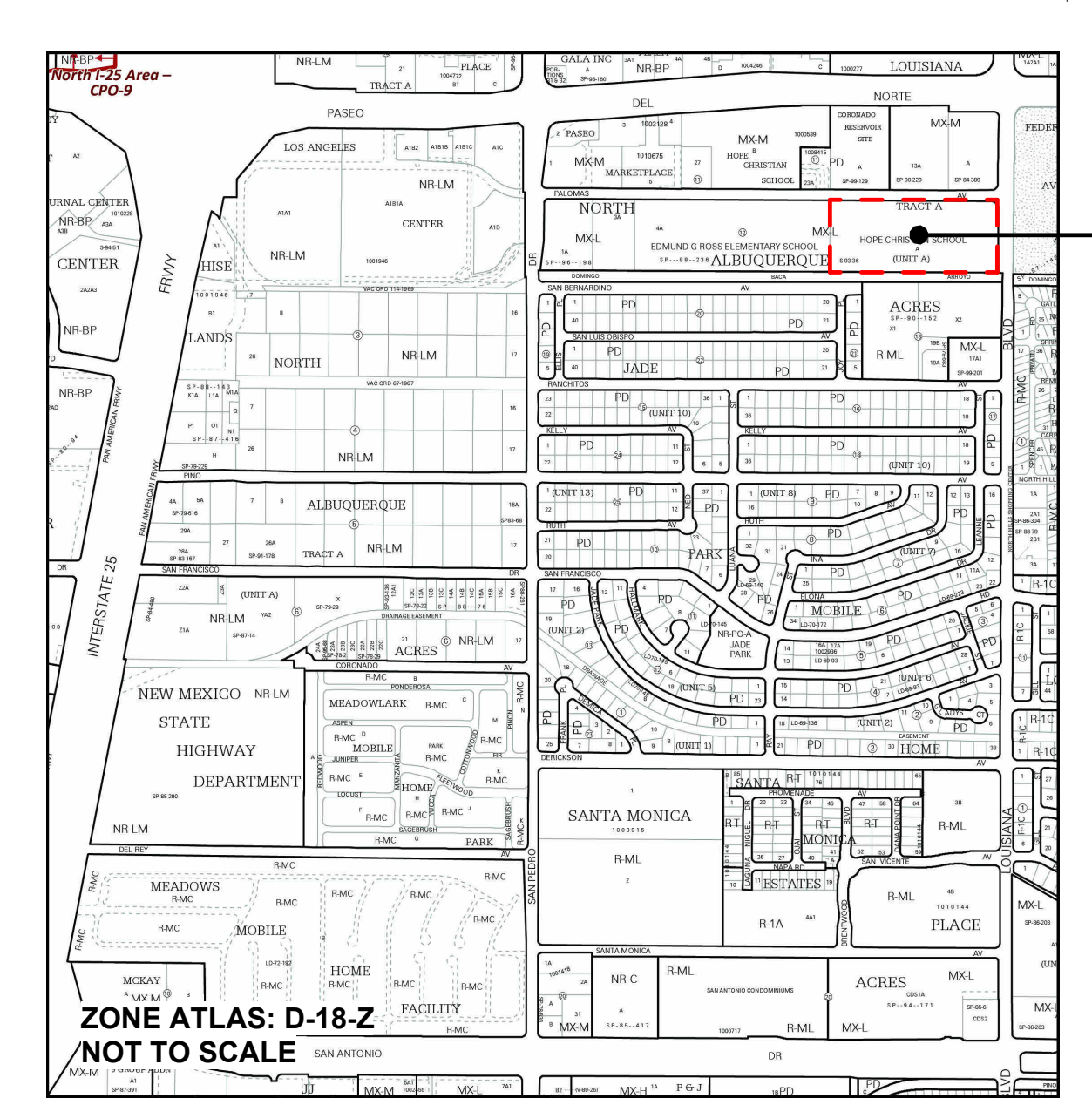
SEATING & GATHERING AREA REQUIREMENTS

QUANTITY REQUIRED: 1 PER 30,000 GSF FLOOR AREA: 111,557/30,000 = 4
QUANTITY PROVIDED: 4

AREA REQUIRED: 400 SQUARE FEET EACH MIN.
AREA PROVIDED: 2x 1000 S.F. AREAS + 2x 500 S.F. AREAS

SHADING REQUIRED: AT LEAST 25% OF REQUIRED AREAS
SHADING PROVIDED: >30% OF REQUIRED AREAS

REQUIRED SEATING AND GATHERING AREAS SHALL BE PROVIDED WITH PEDESTRIAN-SCALE LIGHTING, STREET FURNITURE OR SEATING AREAS, AND TRASH RECEPTACLES AND SHALL BE LINKED TO THE PRIMARY ENTRANCE OF THE PRIMARY BUILDING AND THE PUBLIC SIDEWALK OR INTERNAL DRIVE AISLE OR LOCATED ADJACENT TO OR TO MAXIMIZE VIEWS TO PUBLIC OR PRIVATE OPEN SPACE. SEE LANDSCAPE PLANS FOR SITE FURNISHING.



VICINITY MAP: D-18-Z

SITE ZONING: MX-L

KEYNOTE LEGEND

Key Value	Keynote Text
02.03	EXISTING CONCRETE PAVING TO REMAIN
02.15	EXISTING CHAINLINK FENCE TO REMAIN
03.01	4" CONCRETE SLAB W/ BROOM FINISH - SEE CIVIL
03.09	NEW CONCRETE CURB AND GUTTER - SEE CIVIL
03.37	NEW CONCRETE ROLL CURB & GUTTER - SEE CIVIL
04.03	PARKING LOT BUFFER WALL - 3'-0" HIGH MINIMUM, 8" INTEGRALLY COLORED CMU - FINISH & COLOR TO MATCH EXISTING CMU WALLS @ HOPE CHRISTIAN MIDDLE SCHOOL. SEE STRUCTURAL FOR FOUNDATION/REINFORCING.
05.58	METAL PIPE VEHICLE ACCESS GATE. 26" MIN. CLEAR VEHICLE ACCESS WIDTH. SEE DETAIL.
26.12	10' POLE LIGHT, INDIRECT - SEE ELECTRICAL
26.13	SINGLE OR DOUBLE MOUNT (AS SHOWN) ARCHITECTURAL AREA LIGHT, TYPE V OPTICS. 20"
32.02	NEW ASPHALT PAVING - SEE CIVIL
32.10	NEW 6'-0" HIGH CHAINLINK FENCE
32.34	NEW LANDSCAPED AREA. SEE CIVIL AND LANDSCAPE.
32.40	SPEED BUMPS. TYPICAL. SEE CIVIL.
32.41	TRAFFIC SIGN - "RIGHT TURN ONLY"
32.42	TRAFFIC DIRECTORY SIGN - "PARKING, ADMINISTRATION, HIGH SCHOOL DROP-OFF"
32.43	TRAFFIC SIGN - "WRONG WAY, DO NOT ENTER"
32.44	REQUIRED SEATING AND GATHERING AREA - SEE SEATING AND GATHERING AREA REQUIREMENTS ON THIS SHEET
32.45	EXISTING CROSSWALK TO REMAIN - STRIPING TO BE REPAINTED



HOPE CHRISTIAN HIGH SCHOOL
 6800 PALOMAS AVE. NE, ALBUQUERQUE, NM 87109

REVISION SCHEDULE

#	Date	Description

100% CD 01.25.24



SITE PLAN - ALL PHASES

AS.100*
 *VERSION SIGNED BY SOLID WASTE