



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	Policy Decisions
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> WTF Approval (Form W1)	<input checked="" type="checkbox"/> Site Plan – DRB (Form P2)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Subdivision of Land – Minor (Form S2)	<input type="checkbox"/> Annexation of Land (Form Z)
Decisions Requiring a Public Meeting or Hearing	<input type="checkbox"/> Subdivision of Land – Major (Form S1)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> Conditional Use Approval (Form ZHE)	<input type="checkbox"/> Vacation of Easement or Right-of-way (Form V)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Variance – DRB (Form V)	Appeals
<input type="checkbox"/> Expansion of Nonconforming Use or Structure (Form ZHE)	<input type="checkbox"/> Variance – ZHE (Form ZHE)	<input type="checkbox"/> Decision by EPC, LC, DRB, ZHE, or City Staff (Form A)

APPLICATION INFORMATION		
Applicant: City of Albuquerque, Fire Department and Department of Municipal Development		Phone: (505) 768-3857
Address: PO BOX 1293		Email:
City: Albuquerque	State: NM	Zip: 87102
Professional/Agent (if any): Consensus Planning, Inc.		Phone: (505) 764-9801
Address: 302 Eighth Street NW		Email: fishman@consensusplanning.com
City: Albuquerque	State: NM	Zip: 87102
Proprietary Interest in Site:	List <u>all</u> owners: City of Albuquerque	

BRIEF DESCRIPTION OF REQUEST
DRB Signoff of previously approved EPC Site Development Plan for Building Permit

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.: Portion of Parcel D Within Lot 23	Block: 31	Unit:
Subdivision/Addition: Snow Heights Addition	MRGCD Map No.:	UPC Code: 102005944024341526
Zone Atlas Page(s): H-20	Existing Zoning: NR-SU for Fire Station	Proposed Zoning: same
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (acres): 1.24

LOCATION OF PROPERTY BY STREETS		
Site Address/Street: Snow Heights Circle NE	Between: Eubank Boulevard NE	and: Glorieta Street NE

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)	
Project #1001081; 18EPC-40036; 18EPC-40037; 18DRB-70038; 02EPC-1776; 02EPC-1777; Z-770; ZA-92-202	
Signature:	Date: 2/26/19
Printed Name: Jacqueline Fishman, AICP	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY		
Case Numbers	Action	Fees
-		
-		
-		
Meeting/Hearing Date:	Fee Total:	
Staff Signature:	Date:	Project #

FORM P2: SITE PLAN – DRB

Please refer to the DRB public meeting schedules for hearing dates and deadlines. Your attendance is required.

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form P2 at the front followed by the remaining documents in the order provided on this form.

SITE PLAN – DRB

MAJOR AMENDMENT TO SITE PLAN – DRB

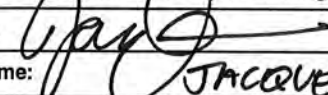
EXTENSION OF SITE PLAN – DRB


- Interpreter Needed for Hearing? if yes, indicate language: _____
- PDF of application as described above
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) (not required for Extension)
- Signed Traffic Impact Study (TIS) Form
- Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information (not required for Extension)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(G)(3)
- Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(O)
Note: If requesting more than allowed by deviation, a Variance – ZHE or Variance – DRB will be required, as applicable.
- Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B) (not required for Extension)
- Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)
 - Office of Neighborhood Coordination neighborhood meeting inquiry response
 - Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
 - If a meeting was requested or held, copy of sign-in sheet and meeting notes
- Sign Posting Agreement
- Required notices with content per IDO Section 14-16-6-4(K)(6)
 - Office of Neighborhood Coordination notice inquiry response
 - Copy of notification letter and proof of first class mailing
 - Proof of emailed notice to affected Neighborhood Association representatives
 - Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, and proof of first class mailing
- Completed Site Plan Checklist
- Site Plan and related drawings (7 copies, 24" x 36" folded to fit into an 8.5" x 14" pocket)
- Copy of the original approved Site Plan or Master Development Plan (for amendments only) (1 copy, 24" x 36")
- Site Plan and related drawings reduced to 8.5" x 11" format (1 copy)
- Landfill disclosure statement per IDO Section 14-16-5-2(G) if site is within a designated landfill buffer zone
- Infrastructure List, if required

FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC

- Interpreter Needed for Hearing? **no** if yes, indicate language: _____
- PDF of application as described above
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Solid Waste Department signature on Site Plan
- Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- Approved Grading and Drainage Plan – **G+D Plan Submitted for review**
- Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (not required for Master Development Plans)
- Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- Site Plan and related drawings (7 copies, 24" x 36" folded to fit into an 8.5" x 14" pocket)
- Site Plan and related drawings reduced to 8.5" x 11" format (1 copy)
- Infrastructure List, if required

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.


Signature: 	Date: 2/26/19
Printed Name: JACQUELINE FISHMAN	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY	
Case Numbers:	Project Number:
Staff Signature:	
Date:	



SUBJECT SITE










For more current information and details visit: <http://www.cabq.gov/gis>



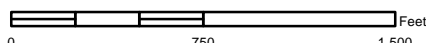
Map amended through: 1/28/2016

Zone Atlas Page:
H-20-Z

Selected Symbols

 SECTOR PLANS	 Escarpment
 Design Overlay Zones	 2 Mile Airport Zone
 City Historic Zones	 Airport Noise Contours
 H-1 Buffer Zone	 Wall Overlay Zone
 Petroglyph Mon.	

Note: Grey Shading Represents Area Outside of the City Limits



CITY OF ALBUQUERQUE



May 3, 2018

Derek Bohannon, Chairman
Environmental Planning Commission
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87102

Dear Mr. Chairman:

This letter provides authorization to Consensus Planning, Inc. to represent the City of Albuquerque Department of Municipal Development and the Fire Department in all matters regarding the request for a Zone Map Amendment and Site Development Plan for Building Permit for the property located at 9500 Snow Heights Circle NE, directly south of Menaul Boulevard NE.

PO Box 1293

Sincerely,

Steve Jan, RA, CITY ARCHITECT

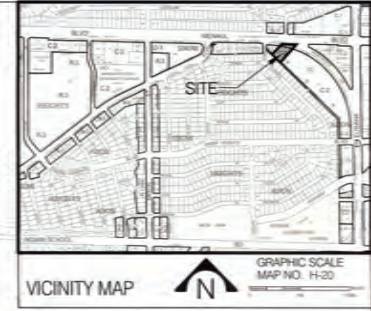
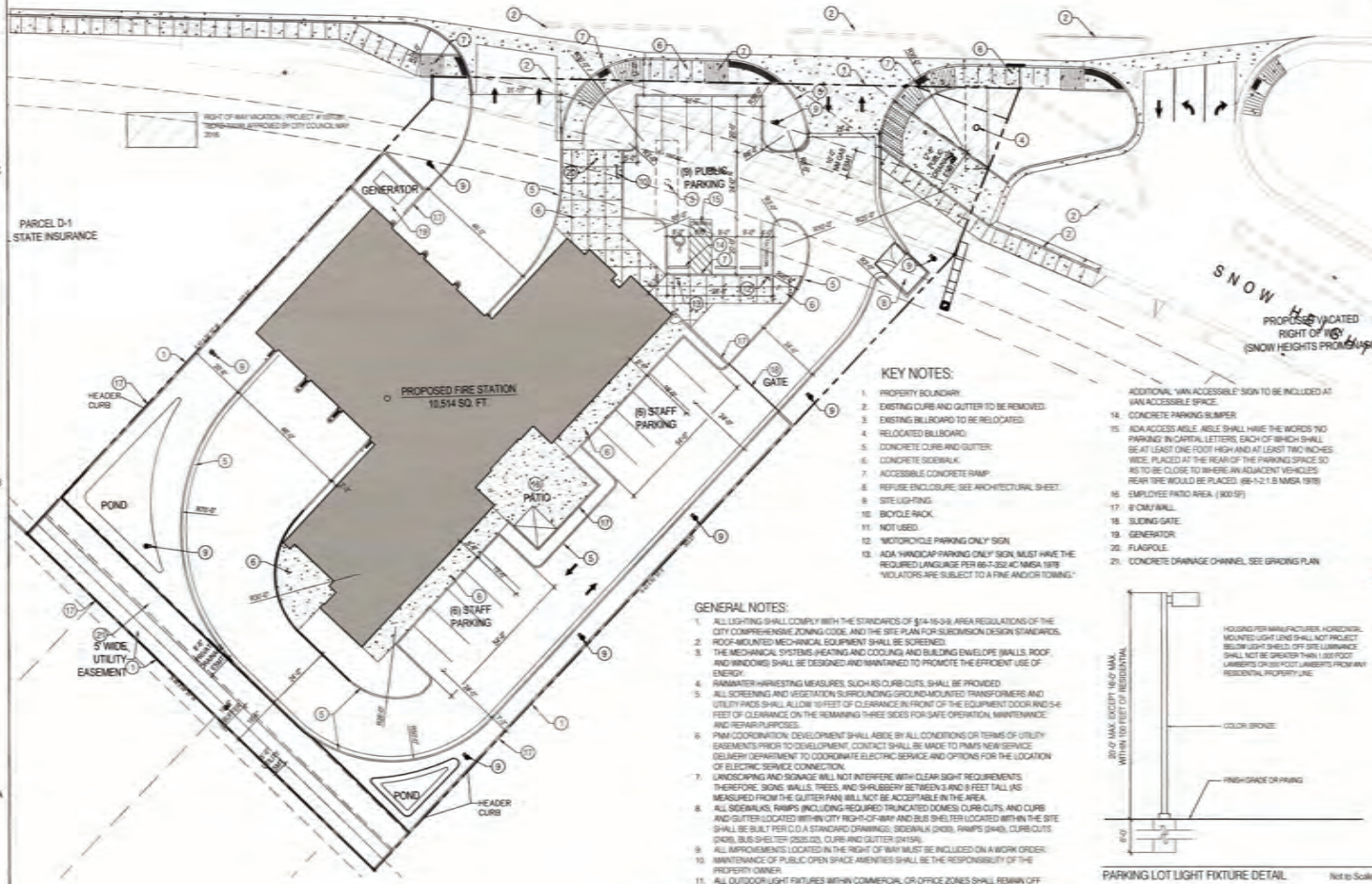
Albuquerque

Representative
City of Albuquerque
P.O. Box 1293

New Mexico 87103 Albuquerque, NM 87103

www.cabq.gov

MENAUD BLVD



SITE DATA

LEGAL DESCRIPTION: PORTION OF PARCEL D WITHIN LOT 23, BLOCK 31 SNOW HEIGHTS ADDITION
 ADDRESS: 3500 SNOW HEIGHTS CIRCLE NE
 TOTAL SITE AREA: 1.24 ACRES (INCLUDES VACATED P-04)
 EXISTING ZONING: C-2 PROPOSED ZONING: S-U4 FOR FIRE STATION
 LAND USE: CDA-FIRE STATION #9
 BUILDING AREA: 10,751 S.F.
 PARKING: PUBLIC PARKING REQUIREMENT CALCULATED AT 1 SPACE PER EVERY 4 SEATS IN THE PUBLIC MEETING ROOM

PUBLIC PARKING SPACES REQUIRED/PROVIDED:	8/8
STAFF PARKING SPACES:	10
HANDICAPPED REQUIRED/PROVIDED:	1/1
TOTAL PROVIDED PARKING:	21
MOTORCYCLE REQUIRED/PROVIDED:	1/1
BICYCLE REQUIRED/PROVIDED:	1/3

PROJECT NUMBER: 1002081
 Application Number: 18EPC-00027

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated October 11, 2018 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved IRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

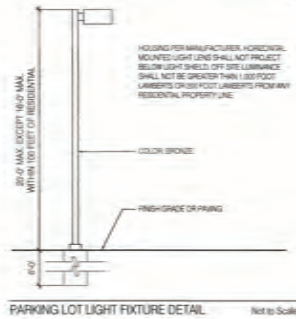
Traffic Engineering, Transportation Division	Date
ACOM/JA	Date
Parks and Recreation Department	Date
City Engineer	Date
Solid Waste Management	Date
Code Enforcement	Date
DRB Chairperson, Planning Department	Date

KEY NOTES:

- PROPERTY BOUNDARY.
- EXISTING CURB AND GUTTER TO BE REMOVED.
- EXISTING BILLBOARD TO BE RELOCATED.
- RELOCATED BILLBOARD.
- CONCRETE CURB AND GUTTER.
- CONCRETE SIDEWALK.
- ACCESSIBLE CONCRETE RAMP.
- REFUSE ENCLOSURE, SEE ARCHITECTURAL SHEET.
- SITE LIGHTING.
- BICYCLE RACK.
- NOT USED.
- MOTORCYCLE PARKING ONLY SIGN.
- ADA HANDICAP PARKING ONLY SIGN MUST HAVE THE REQUIRED LANGUAGE PER 607.2-202.4C (MMSA 1978) VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING.
- ADDITIONAL "VAN ACCESSIBLE" SIGN TO BE INCLUDED AT VAN ACCESSIBLE SPACE.
- CONCRETE PARKING BUMPER.
- ADA ACCESSIBLE ASLE SHALL HAVE THE WORDS "NO PARKING IN CURB CUTS, LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE REAR TIRE WOULD BE PLACED. (607.2-2.1.3 MMSA 1978)
- EMPLOYEE RATIO AREA (R01-SF)
- B-CURB WALL.
- SLIDING GATE.
- GENERATOR.
- FLAGPOLE.
- CONCRETE DRAINAGE CHANNEL SEE GRADING PLAN.

GENERAL NOTES:

- ALL LIGHTING SHALL COMPLY WITH THE STANDARDS OF §14-16-9-6 AREA REGULATIONS OF THE CITY COMPRISED IN THE ZONING CODE, AND THE SITE PLAN FOR SUBMISSION DESIGN STANDARDS.
- ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED.
- THE MECHANICAL SYSTEMS HEATING AND COOLING AND BUILDING ENVELOPE (WALLS, ROOF, AND WINDOW) SHALL BE DESIGNED AND MAINTAINED TO PROMOTE THE EFFICIENT USE OF ENERGY.
- RAINWATER HARVESTING MEASURES, SUCH AS CURB CUTS, SHALL BE PROVIDED.
- ALL SCREENING AND VEGETATION SURROUNDING GROUND MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.
- PRM CONSTRUCTION DEVELOPMENT SHALL ABIDE BY ALL CONDITIONS OR TERMS OF UTILITY EASEMENTS PRIOR TO DEVELOPMENT. CONTACT SHALL BE MADE TO PRM'S NEW SERVICE DELIVERY DEPARTMENT TO COORDINATE ELECTRIC SERVICE AND OPTIONS FOR THE LOCATION OF ELECTRIC SERVICE CONNECTION.
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAVE) WILL NOT BE ACCEPTABLE IN THE AREA.
- ALL SIDEWALKS, RAMP (INCLUDING REQUIRED TRUNCATED CONES) CURB CUTS AND CURB AND GUTTER LOCATED WITHIN CITY RIGHT-OF-WAY AND BUS SHELTER LOCATED WITHIN THE SITE SHALL BE BUILT PER C.D.A. STANDARD DRAWINGS: SIDEWALKS (2003), RAMP (2048), CURB CUTS (2048), BUS SHELTER (2023), CURB AND GUTTER (2475A).
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A WORK ORDER.
- MAINTENANCE OF PUBLIC OPEN SPACE AREAS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- ALL OUTDOOR LIGHT FIXTURES WITHIN COMMERCIAL OR OFFICE ZONES SHALL REMAIN OFF BETWEEN 11:00 PM AND SUNRISE EXCEPT FOR SECURITY PURPOSES OR TO ILLUMINATE WALKWAYS, DRIVEWAYS, EQUIPMENT YARDS AND PARKING LOTS.
- ALL OUTDOOR LIGHTING SYSTEMS SHALL BE DESIGNED AND OPERATE SO THAT THE AREA 10 FEET BEYOND THE PROPERTY LINE OF THE PREMISE RECEIVES NO MORE THAN 0.25 ONE-QUARTER OF A FOOT CANDLE OF LIGHT FROM THE PREMISE LIGHTING SYSTEM.



A1 SITE DEVELOPMENT PLAN
 SCALE: 1" = 20'



CITY OF ALBUQUERQUE, N. M.
FIRE STATION #9
VIGIL & ASSOCIATES

Date: FEBRUARY 22, 2019
Drawn by:
Checked by:
Scale:
Notes:

FORM DRWS: DRAINAGE REPORT / WATER & SANITARY SEWER AVAILABILITY
THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION
FOR MAJOR SUBDIVISIONS AND SITE DEVELOPMENT PLANS.

PROJECT NAME: Fire Station 9, Snow Heights

AGIS MAP # H-20-Z

LEGAL DESCRIPTIONS: Lot 23, Block 31, Snow Heights Addition and a Portion
of Vacation of Right of Way for Snow Heights

DRAINAGE REPORT

A drainage report, as per the Drainage Ordinance, was submitted to the City of Albuquerque Public Works Department, Hydrology Division (2nd Floor Plaza del Sol) on _____ (date).

CSI-Cartesian Surveys Inc.
Applicant/Agent

2/12/19
Date

Renee Basset
Hydrology Division Representative

2-13-19
Date

N/A WATER AND SEWER AVAILABILITY STATEMENT

A Water and Sewer Availability Statement for this project was requested from the City of Albuquerque Utilities Development Division (2nd floor, Plaza del Sol) on _____ (date).

CSI-Cartesian Surveys Inc.
Applicant/Agent

2/12/19
Date

Utilities Division Representative

Date

PROJECT # PR-2018-001431

October 31, 2018

Chair

Trudy E. Jones
City of Albuquerque
Councilor, District 8

Vice Chair

Debbie O'Malley
County of Bernalillo
Commissioner, District 1

Pat Davis

City of Albuquerque
Councilor, District 6

Timothy M. Keller

City of Albuquerque
Mayor

Klarissa J. Peña

City of Albuquerque
Councilor, District 3

Steven Michael Quezada

County of Bernalillo
Commissioner, District 2

Lonnie Talbert

County of Bernalillo
Commissioner, District 4

Ex-Officio Member

Pablo R. Rael
Village of Los Ranchos
Board Trustee

Executive Director

Mark S. Sanchez

Website

www.abcwua.org

John Jacquez
Miller Engineering Consultants, Inc.
3500 Comanche NE Bldg. F
Albuquerque, New Mexico 87102

**RE: Water and Sanitary Sewer Availability Statement #180918
9500 Snow Heights Circle NE
PORT OF PARCEL D WITHIN LT 23 BLK 31 SNOW HEIGHTS ADDN.**

Dear Mr. Jacquez:

Project Description: The subject site is located at the intersection of Snow Heights Cir. and Menaul Blvd. within the City of Albuquerque. The proposed development consists of approximately 1.0 acres and the property is currently zoned MX-M for mixed-use. The property lies within the Pressure Zone 5E in the Montgomery trunk. The request for availability indicates plans to construct a new fire station (Fire Station #9).

Existing Conditions: Water infrastructure in the area consists of the following:

- 12 inch steel distribution main (project #09-109-53) along Snow Heights Cir.
- Six inch cast iron distribution main (project #CD 886) along the north side of Menaul Blvd.

Sanitary sewer infrastructure in the area consists of the following:

- 15 inch VCP collector line (project #10-001-83) along the north side of Menaul Blvd.

Water Service: New metered water service to the property can be provided via routine connection to the existing 12 inch waterline along Snow Heights Cir or the existing six inch waterline along the north side of Menaul Blvd. From the Fire Marshal approved Fire One Plan it is understood that a fire line and private hydrant will be required in order to meet the fire flow requirements for the site.

Existing metered service and fire lines that will not be utilized are to be removed by shutting the valve near the distribution main and capping the line near the valve. For fire lines, the valve access shall be grouted and collar removed. Service is also contingent upon compliance with the Fire Marshal's instantaneous fire flow requirements. Water service will not be sold without adequate fire protection. Water service will only be sold in conjunction with sanitary sewer service.

Sanitary Sewer Service: Sanitary sewer service can be provided via routine connection to the existing infrastructure mentioned. All food service establishments must install a grease trap upstream of the domestic private sewer connection prior to discharge into the public sanitary sewer.

Fire Protection: From the request for availability the instantaneous fire flow requirements for the project are 1500 gallons-per-minute and one hydrant. As modeled using InfoWater™ computer software, the fire flow can be met. Analysis was performed by simulating the flow from the proposed connection point of the fire line indicated on the Fire Marshal approved Fire One Plan. Any changes to the proposed connection points shall be coordinated through Utility Development. All new required hydrants as well as their exact locations must be determined through the City of Albuquerque Fire Marshal's Office and verified through the Utility Development Office prior to sale of service. Please note that the engineer designing the fire line is responsible for determining pressure losses and sizing of the private water line(s) downstream of the public water line to serve the proposed fire hydrants and/or fire suppression system.

Cross Connection Prevention: Per the Cross Connection Ordinance, all new non-residential premises must have a reduced pressure principle backflow prevention assembly approved by the Water Authority and installed at each domestic service connection at a location accessible to the Water Authority. All new fire line services to fire protection systems shall be equipped with a reduced pressure principle backflow prevention assembly approved by the Water Authority and Fire Marshal having jurisdiction at each service connection. A double check valve assembly approved by the Water Authority and Fire Marshal having jurisdiction may be installed instead of a reduced pressure backflow prevention assembly provided the fire protection system contains ANSI/NSF Standard 60 or 61 water piping throughout the entire fire protection system, the fire sprinkler drain discharges into atmosphere, and there are no reservoirs, fire department connections, connections from auxiliary water supplies, antifreeze nor other additives. The Water Authority requests that all backflow (containment) devices be located above ground just outside the easement or roadway right-of-way. Contact Cross Connection at 289-3439 for more information.

Easements: Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated Rights-of-Way. A minimum width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. Easements for standard sized water meters need to be five feet by five feet and include the length of the water service if located on private property. For larger meters that require a meter vault, a 35 feet by 35 feet easement is required. Actual easement widths may vary depending on the depth of the lines to be installed. Acceptable easements must be documented prior to approval of service.

Pro Rata: Pro Rata is not owed and the property can utilize the services available upon completion of the requirements of this statement to connect to water and sanitary sewer.

Design and Construction of all required improvements will be at the developer / property owner's expense. Improvements must be coordinated through the Water Authority Mini Work Order process. The work qualifies for a mini work order, however, coordination with the City shall take place to determine if a mini work order is acceptable based on the street classification. Typically, the City requires a full work

order for these types of installations in roadways classified as a collector or greater. Construction must be performed by a licensed and bonded public utility contractor.

Costs and Fees: In addition to installation and construction costs, any new metered water services will be subject to both water and sanitary sewer Utility Expansion Charges (UEC) payable at the time of service application. All charges and rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized.

Water Use: Where available, outdoor water usage shall utilize reclaimed water. All new commercial developments shall be subject to the requirements for water usage and water conservation requirements as defined by the Water Authority, particularly the Water Waste Ordinance. Where available, outdoor water usage shall utilize reclaimed water.

Closure: This availability statement provides a commitment from the Water Authority to provide services to the development, as long as identified conditions are met. It will remain in effect for a period of one year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at kcadena@abcwua.org if you have questions regarding the information presented herein or need additional information.

Sincerely,







Mark S. Sanchez
Executive Director


Enclosures: Infrastructure Maps (2)
f/ Availability Statement 180918

180918 - Water





Legend

-  Project Location
-  Valve
-  Pressure Reducing
-  Hydrant

-  -- Fire Flow Analysis Points
- 1. -- Analysis Point

Pipe

SUBTYPE

-  Distribution Line
-  Hydrant Leg


0 220 440 Feet



180918 - Sanitary Sewer




Legend

 Project Location

 Sewer Manhole

Sewer Pipe

SUBTYPE

 COLLECTOR

0 220 440 Feet



PROJECT NO.:

D

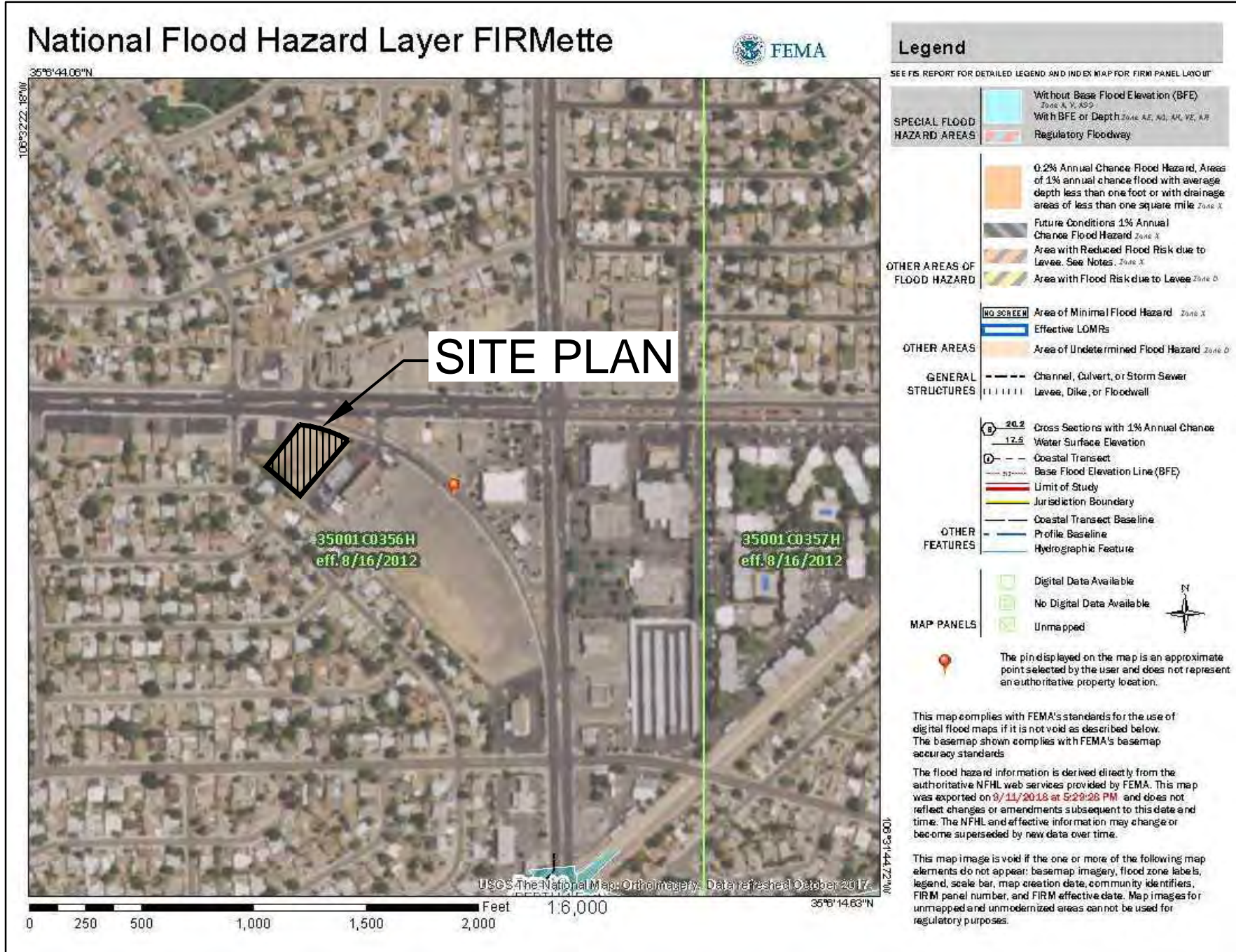
C

B

A



C1 VICINITY MAP
ZONE ATLAS MAP H-17-C



A1 FLOOD ZONE MAP
FLOOD ZONE MAP: 3500103356H

SITE LOCATION

THE PROPOSED SITE IS LOCATED ON SNOW HEIGHTS CIRCLE STREET AND MENAUL BOULEVARD. THE SITE CURRENTLY CONSISTS OF A VACANT LOT WITH NO DEVELOPMENT. THE SITE IS BOUND BY MENAUL BLVD. AND SNOW HEIGHTS CIRCLE ON THE NORTH SIDE, RESIDENTIAL DEVELOPMENT ON THE SOUTH SIDE, AN EXISTING COMMERCIAL DEVELOPMENT ON THE EAST AND WEST SIDES. THE PROPOSED DEVELOPMENT WILL INCLUDE A NEW FIRE STATION.

EXISTING ON SITE CONDITIONS

THE EXISTING SITE IS CURRENTLY UNDEVELOPED AND IS COVERED WITH SPARSE VEGETATIVE COVER. THE LACK OF VEGETATION SUGGESTS THAT THE SITE IS EXPERIENCING DISTURBANCE FROM HUMAN ACTIVITY. THERE IS A SMALL LOW POINT AT THE WESTERN PORTION OF SITE WITH AN EXISTING DRAIN INLET. IT IS UNKNOWN IF THE INLET IS CONNECTED TO ANYTHING, IT APPEARS TO BE POSSIBLY CONNECTED TO SOME TYPE OF FRENCH DRAIN. EXISTING STORM WATER FLOWS SHEET FLOW WEST TOWARD THE EXISTING LOW POINT. THERE IS A SIGNIFICANT OFFSITE DRAINAGE BASIN OF APPROXIMATELY 10 ACRES THAT DISCHARGE TO THE SOUTHWEST CORNER OF THE SITE. THE OFFSITE FLOWS ARE ROUTED THROUGH THE WESTERN PORTION OF THE SITE NORTH TO THE ADJACENT PROPERTY AND EVENTUALLY DOWNSTREAM TO PARSIFAL STREET.

PROPOSED CONDITIONS

THE PROPOSED IMPROVEMENTS WILL INCLUDE A NEW FIRE STATION, DRIVEWAY, ASSOCIATED PARKING, AND CONCRETE HARDSCAPE. SITE DRAINAGE WILL BE ROUTED VIA OVERLAND FLOW TOWARD TWO WATER HARVEST AREAS (WATER QUALITY PONDS) LOCATED NEAR THE WESTERN EDGE OF THE SITE. THESE WATER HARVESTING AREAS WILL BE USED TO MANAGE THE 90TH PERCENTILE STORM EVENTS (REQUIRED VOLUME = (0.34 IN. * 32,945 SF)/12 = 933 CF). OVERFLOW FROM THE PONDING AREAS WILL SPILL THROUGH A CONCRETE SPILLWAY ON THE PROPOSED RETAINING WALL SECTION. OFFSITE DRAINAGE TO THE SITE WILL BE COLLECTED IN A NEW TRAPEZOIDAL CONCRETE CHANNEL SYSTEM AND ROUTED THROUGH THE SITE TO ITS HISTORICAL LOCATION.

CONCLUSION

THE INCREASED RUNOFF FROM THE PROPOSED BUILDING ADDITION IS ESTIMATED AT 0.064 ACRE-FEET AND 0.76 CFS DURING THE 100-YEAR EVENT. THE INCREASED RUNOFF FROM THE PROPOSED PROJECT WILL BE RETAINED BY THE TWO WATER HARVEST PONDING AREAS, WHICH WILL HELP ALLEVIATE INCREASED FLOW DOWNSTREAM. THE INCREASE IN STORM WATER RUNOFF FROM THE PROPOSED PROJECT IS MINIMAL SHOULD NOT ADVERSELY IMPACT ADJACENT OR DOWNSTREAM PROPERTIES, PARTICULARLY WITH THE WATER HARVEST PONDS IN PLACE. THIS PLAN DOES NOT CHANGE HISTORICAL DRAINAGE PATTERNS.

THE PROPOSED WATER HARVEST AREAS VOLUME IS APPROXIMATELY 1600 CUBIC FEET, WHICH IS GREATER THAN THE REQUIRED FIRST FLUSH VOLUME OF 933 CUBIC FEET. ALL ROOF DRAINAGE AND PROPOSED ASPHALT PARKING AREAS WILL DISCHARGE INTO WATER HARVEST AREAS LOCATED AT THE WEST SIDE OF THE PROJECT SITE.

THE DRAINAGE PATTERNS TO DOWNSTREAM PROPERTIES WILL REMAIN UNCHANGED FROM EXISTING CONDITIONS. THE CAPACITY OF DOWNSTREAM FACILITIES HAS BEEN EVALUATED BY THE CITY THROUGH ITS CONSULTING ENGINEER, SMITH ENGINEERING. IT HAS BEEN CONCLUDED THAT THERE IS ADEQUATE DOWNSTREAM CAPACITY IN THE STREET SECTIONS LOCATED DOWNSTREAM OF THIS SITE.



B1 OFF SITE-1 MAP
ZONE ATLAS MAP H-20-C

DRAINAGE DATA

HYDROLOGY

Precipitation Zone 3 - 100-year Storm P(360) = 2.6 in P(1440) = 3.1 in

Basin	Basin Area (Ac)	Land Treatment Factors				Ew (in)	V(100-6) (af)	V(100-24) (af)	Q(100) (cfs)
		A	B	C	D				
Existing Conditions									
OS-1	8.10								44.02 *
OS-2	4.50	0.00	0.00	0.45	4.05	2.25	0.845	1.014	21.88
Site	1.06	0.00	0.00	0.80	0.26	1.55	0.137	0.148	4.07
Total	13.66								25.95
Proposed Conditions									
Site	1.06	0.00	0.00	0.31	0.75	2.05	0.181	0.212	4.83
Total	1.06								4.83

* Peak flow rate per Smith Engineering drainage study conducted by the City for downstream analysis.

Precipitation Zone 3 - 10-year Storm P(360) = 1.73 in P(1440) = 2.07 in

Basin	Basin Area (Ac)	Land Treatment Factors				Ew (in)	V(10-6) (af)	V(10-24) (af)	Q(10) (cfs)
		A	B	C	D				
Existing Conditions									
OS-1									NA
OS-2	4.50	0.00	0.00	0.45	4.05	1.41	0.530	0.698	14.63
Site	1.06	0.00	0.00	0.80	0.26	0.84	0.074	0.081	2.48
Total	5.56								17.11
Proposed Conditions									
Site	1.06	0.00	0.00	0.31	0.75	1.24	0.110	0.141	3.16
Total	1.06								3.16

GENERAL NOTES:

- EXISTING TOPOGRAPHIC DATA SHOWN ON THESE PLANS WAS PROVIDED BY CSI CARTESIAN SURVEYS, INC. MILLER ENGINEERING CONSULTANTS HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS INFORMATION.
- ACS STA A-438 BENCH MARK THE TOP OF A STAINLESS STEEL ROD SET BENEATH A 5-1/2" NGS ACCESS COVER STAMPED "A-438 1984" SET FLUSH WITH THE GROUND, LOCATED IN THE NORTHWEST QUADRANT OF MENAUL BOULEVARD AND THE A.T. & S.F. RAILROAD TRACKS INTERSECTION. ELEV. 4975.35 (NAVD 1988)
- TBM FOUND 1/2" REBAR WITH CAP "LS 11463" ELEV. 4965.21
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES DURING THE CONSTRUCTION PHASE.
- CONTRACTOR SHALL OBTAIN A GRADING PERMIT FROM THE CITY OF ALBUQUERQUE, PRIOR TO ANY GRADING OR CONSTRUCTION.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- ALL EMBANKMENTS SHALL BE PLACED AND COMPACTED IN LIFTS OF MAXIMUM OF 8". THE EMBANKMENTS SHALL BE WETTED AND COMPACTED TO 95% OPTIMUM DENSITY PER ASTM D1557 AND 95% UNDER ALL STRUCTURES INCLUDING DRIVEWAYS AND PARKING LOTS.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER(S) OF THE PROPERTY SERVED.
- THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- APPROX. HALF OF SUBJECT PROPERTY IS LOCATED WITHIN ZONE X (SOUTH EASTERN 3/4 OF 4TH STREET FRONTAGE). THE REMAINING WESTERN AND NORTHERN PORTION OF THE PROPERTY IS LOCATED IN ZONE X (500 YEAR) DESIGNATING AREAS DETERMINED TO BE OUTSIDE THE 100-YEAR FLOOD PLANE ACCORDING TO THE FLOOD INSURANCE RATE MAP, ALBUQUERQUE, NEW MEXICO AND UNINCORPORATED AREAS PER MAP NO 35001C 0332G.
- ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE STORM DRAINAGE REGULATIONS. ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE "GRADING AND DRAINAGE DESIGN REQUIREMENTS AND POLICIES FOR LAND DEVELOPMENT."
- THE OWNER, CONTRACTOR AND/OR BUILDER SHALL COMPLY WITH ALL APPROPRIATE LOCAL, STATE AND FEDERAL REGULATIONS AND REQUIREMENTS.
- THE CONTRACTOR SHALL TAKE ALL APPROPRIATE AND REASONABLE MEASURES TO PREVENT SEDIMENT OR POLLUTANT LADEN STORM WATER FROM EXITING THE SITE DURING CONSTRUCTION. STORMWATER MAY BE DISCHARGED IN A MANNER, WHICH COMPLIES WITH THE APPROVED GRADING AND DRAINAGE PLAN.
- THE CONTRACTOR SHALL TAKE ALL APPROPRIATE MEASURES TO PREVENT THE MOVEMENT OF CONSTRUCTION RELATED SEDIMENT, DUST, MUD, POLLUTANTS, DEBRIS, WASTE, ETC FROM THE SITE BY WIND, STORM FLOW OR ANY OTHER METHOD EXCLUDING THE INTENTIONAL, LEGAL TRANSPORTATION OF SAME IN A MANNER ACCEPTABLE BY THE CITY.
- THE CONTRACTOR SHALL NOT DISTURB AREAS OUTSIDE THE AREAS SHOWN AS "SLOPE LIMITS" ON THE GRADING AND DRAINAGE PLAN.
- SEE ARCHITECTURAL DRAWINGS FOR SIDEWALK AND HANDICAPPED RAMPS, DETAILS AROUND THE BUILDING.
- THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE ANY SPOT ELEVATIONS ON THE GRADING AND DRAINAGE PLAN WHICH APPEAR TO BE AMBIGUOUS OR DO NOT MEET THE INTENT OF THE GRADING AND DRAINAGE PLAN.
- THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DOES NOT MEET ADA ACCESSIBILITY REQUIREMENTS. ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0%, ALL SIDEWALKS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5.0%, AND ALL RAMPS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 15:1.
- ALL SIDEWALKS AND CONCRETE FLATWORK SHALL HAVE A MINIMUM OF 0.5% SLOPE. CONTRACTOR SHALL CONTACT PROJECT ENGINEER IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DO NOT MEET THIS REQUIREMENT.
- THE CONTRACTOR SHALL SUBMIT MATERIAL SUBMITTALS, CUT SHEETS AND SHOP DRAWINGS FOR ALL CIVIL RELATED ITEMS FOR REVIEW PRIOR TO CONSTRUCTION.
- THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS (UPDATE 8, AMENDMENT 1)
- ALL EXISTING MANHOLES, VALVES AND METERS SHALL BE ADJUSTED TO NEW FINISH GRADE.

SPECIAL ORDER 19
DRAINAGE FACILITIES WITHIN THE CITY
RIGHT-OF-WAY NOTICE TO CONTRACTOR

- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7 AMENDMENT 1.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL 260-1990, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACK FILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24 - HOUR BASIS.
- CONTRACTOR MUST CONTACT JASON RODRIGUEZ AT 235-8016 AND CONSTRUCTION COORDINATION AT 924-3416 TO SCHEDULE AN INSPECTION

FIRST FLUSH CALCULATIONS

$V_{FF} = (0.34 \text{ IN} * 32,945 \text{ SF})/12$
 $V_{FF} = 933 \text{ CF}$
 VOLUME PROVIDED = 1600 CF

City of Albuquerque Electronic Stamp

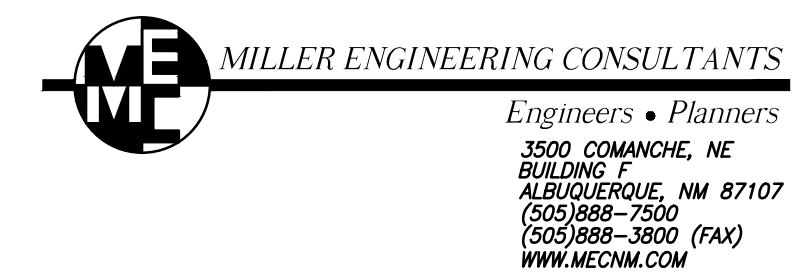
AS-BUILT INFORMATION	CONTRACTOR	DATE	WORKS BY	DATE	SUPERVISED BY	DATE	FIELD ACCEPTANCE BY	DATE	FIELD CORRECTIONS BY	DATE	MICRO-FILM INFORMATION	NO.	DATE
BENCH MARKS													
SURVEY INFORMATION													
FIELD NOTES													
REMARKS													
DESIGN													
NOT FOR CONSTRUCTION													
Designed By: _____ Date: _____ Drawn By: _____ Date: _____ Checked By: _____ Date: _____													



CITY OF ALBUQUERQUE
CAPITAL IMPLEMENTATION PROGRAM
AFD FIRE STATION 9
9500 SNOW HEIGHTS CIRCLE NE,
ALBUQUERQUE, NM 87112

Drawing Title: **GRADING AND DRAINAGE HYDROLOGY REPORT**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
		7/10/18	
Issue Date:	City Project No.	Sheet	
FEBRUARY 21, 2019	5476.91	C-100	



February 26, 2019

Ms. Kym Dicome, Chair
Development Review Board
City of Albuquerque
600 Second Street NW
Albuquerque, New Mexico 87102

RE: Fire Station #9 Request for SDP for Building Permit DRB Signoff

Dear Madam Chair:

The purpose of this letter is to request final DRB signoff of a Site Development Plan for Building Permit that was previously approved by the Environmental Planning Commission on October 11, 2018 for the Fire Station #9. The EPC approved the Site Development Plan for Building Permit on October 11, 2018, under the regulations of the previous City zoning code prior to the adoption of the Integrated Development Ordinance (IDO). An application for a Preliminary Plat has been submitted concurrently with this Site Plan application

RESPONSE TO EPC CONDITIONS OF APPROVAL

The Site Plan submitted to the Development Review Board has been revised to comply with the EPC Conditions of Approval (in italics) as follows:

1. *The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.*

Applicant's Response: The Applicant has met the EPC Conditions of Approval and understands that any unauthorized changes will result in a forfeiture of approvals.

2. *Prior to application submittal to the DRB, the applicant shall consult with the staff planner to ensure that all conditions of approval are met.*

Applicant's Response: The Applicant met with the staff planner, Cheryl Somerfeldt, on February 25, 2019 to discuss the revised Site Plan and to ensure that all EPC Conditions of Approval have been met. Ms. Somerfeldt reviewed the Site Plan and the Applicant outlined how the revised Site Plan has been modified to comply with the Conditions of Approval.

3. *The sidewalk in front of the building shall be updated to be 8-feet wide at all points (pursuant to Zoning Code 14-16-3-1 (H) (4)).*

Applicant's Response: The sidewalk at the front and adjacent to the building has been widened to at least 8 feet wide at all points. The shortest width of the sidewalk is 8 feet, 10 inches wide.

4. *Trees and vegetative cover shall be added to the landscape buffer at the southwest property line (pursuant to Zoning Code 14-16-3-10 (8)).*

Applicant's Response: Additional trees and vegetative cover have been added to the landscape buffer area along the southwest property line. Trees include eight *Acer Tataricum* 'Gar Ann' Hot Wings Maples that can reach a mature height of 20 feet and a spread of 24 feet. The buffer has also been expanded slightly from approximately 16

feet wide to approximately 18.5 feet wide. This wider buffer and the addition of trees and shrubs will ensure that the homes adjacent to the property line will not be negatively affected.

5. *Signage shall be dimensioned on the Elevations page A-202 of the Site Plans.*

Applicant's Response: Dimensions for the proposed signage have been added to sheet A-202 of the site plan.

6. *Conditions of Approval from other agencies:*

A. *COA Transportation Development*

- *Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB)*
- *Site plan shall comply and be in accordance with all applicable City of Albuquerque requirements, including the Development Process Manual and current ADA criteria.*

Applicant's Response: Agreed.

B. *COA Solid Waste Management Department*

- *All new/proposed refuse enclosures must be built to COA minimum requirements, including 4" sanitary drain for all food/kitchen services.*

Applicant's Response: Agreed. In addition, Solid Waste has reviewed and signed off on the submitted Site Plan.

C. *Albuquerque Bernalillo County Water Utility Authority (ABCWUA)*

- *As a condition of approval of this building permit obtain an Availability Statement for the new development. Requests can be made at the link below: <http://www.abcwua.org/AvailabilityStatements.aspx>*
- *Request shall include a City Fire Marshal approved Fire 1 Plan and a zone map showing the site location.*
- *The proposed conceptual site utility plan indicates a metered service, fire line, and new sanitary sewer service.*
- *With regard to the water service: please note that the meter vault shall be located within the right-of-way.*
- *With regard to the fire line: please note that the private valve is to be located just within the property line.*
- *Backflow prevention was not mentioned on the conceptual site utility plan. Please note that a Water Authority approved backflow prevention assembly will be required prior to service.*

Applicant's Response: Agreed. In addition, a Water Availability Statement from ABCWUA and a signed Fire 1 Plan are included with the submittal package.

D. *Public Service Company of New Mexico (PNM)*

- *An existing overhead service drop is located in the center of the subject property to power the existing lighted billboard which is assumed must be removed. Also an existing overhead distribution line is located along the southern boundary of the subject property. It is the applicant's obligation to abide by any conditions or terms of these easements.*
- *An existing overhead distribution line is located along the southern boundary of the subject property. On the sheet entitled Landscape Plan, the proposed tree selection, Austrian Pine, is not a compatible height at maturity with the existing overhead electric distribution facility along the*

southwestern boundary of the site. A shorter tree selection at mature height is necessary at this location. PNM's landscaping preference is for trees and shrubs to be planted outside the PNM easement; however, if within the easement, trees and shrubs should be located to minimize effects on electric facility maintenance and repair. New trees planted near PNM facilities should be no taller than 25 feet in height at maturity to avoid conflicts with existing electric infrastructure.

- *Ground-mounted equipment screening will be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Refer to the PNM Electric Service Guide at www.pnm.com for specifications.*

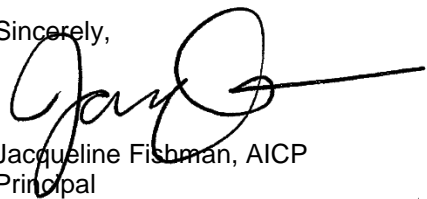
Applicant's Response: Agreed. In addition, Austrian Pines along the southern boundary of the site have been replaced with shorter "Hot Wings Maples," which have a mature height of 20 feet. All trees located in or near PNM easements reach a mature height of no more than 20 feet in height.

7. *The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.*

Applicant's Response: Agreed.

Please do not hesitate to contact me if you have any questions about the submittal package.

Sincerely,



Jacqueline Fishman, AICP
Principal

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339

OFFICIAL NOTIFICATION OF DECISION

October 11, 2018

COA, Fire Dept & DMD
P.O. Box 1293
ABQ, NM 87103

Project# 1001081
18EPC-40036 Zone Map Amendment
(Zone Change)
18EPC-40037 Site Development Plan for Building Permit

LEGAL DESCRIPTION:

The above action for all or a portion of Parcel D within Lot 23, Block 31, Snow Heights Addition, zoned C-2 to SU-1 for Fire Station, located on Snow Heights Circle NE, near the southwest corner of Menaul Blvd. NE and Eubank Blvd. NE, containing approximately 1.1 acres.

Staff Planner: Cheryl Somerfeldt

PO Box 1293

On October 11, 2018 the Environmental Planning Commission (EPC) voted to APPROVE Project 1001081/18EPC-40036, a Zone Map Amendment (Zone Change) and 18EPC-40037, a Site Development Plan for Building Permit, based on the following Findings and Conditions:

FINDINGS, Zone Map Amendment, Case # 18EPC - 40036

NM 87103

www.cabq.gov

1. This is a request for a Zone Map Amendment (Zone Change) in association with a Site Development Plan for Building Permit for Parcel D within Lot 23, Snow Heights Addition located on Snow Heights Circle to the southwest of the corner of Menaul Boulevard NE and Eubank Boulevard NE, and containing approximately 1.1 acres.
2. This is a request to change the zone from C-2, the Community Commercial Zone, to SU-1 for Fire Station, the Special Use Zone.
3. Development within the SU-1 zone must be approved with a Site Development Plan and the applicant has submitted the associated Site Development Plan for Building Permit to meet this requirement.
4. The SU-1 for Fire Station zone will convert to the NR-SU zone under the now effective Integrated Development Ordinance (IDO). A zone change request to the NR-SU zone also requires an EPC approved Site Plan similar to the SU-1 zone. The proposed Site Development Plan stating the single proposed use as a fire station, will fulfill the second part of the request and will control the site going forward.

OFFICIAL NOTICE OF DECISION

Project #1001081

October 11, 2018

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5. The application was originally submitted in early May, 2018 prior to the effective date of the Integrated Development Ordinance (IDO) to be heard at the June 14, 2018 public hearing. The applicant deferred the case to this October 11, 2018 hearing to potentially purchase an adjacent piece of property. To date, this purchase has not been completed, and the applicant has chosen to pursue the original application to proceed with the project in a timely manner.
6. In 2012, a site feasibility study found the Albuquerque Fire Department had outgrown the existing Fire Station #9 building located immediately to the north of the subject site at 9601 Menaul Boulevard NE. It was concluded that the subject site would be appropriate for a new fire station.
7. In 2014, the Albuquerque City Council appropriated funds to purchase the site to construct a new fire station that would have sufficient operational space and better serve the fire district.
8. The feasibility study called for direct access to Menaul Boulevard NE, which would be accomplished by vacating a portion of the existing right-of-way on Snow Heights Circle NE, subsequently approved by City Council on May 07, 2018. A portion of the vacated right-of-way comprises a portion of the subject site.
9. The subject site is located in an Area of Change as designated by the Comprehensive Plan. Areas of Change are intended to be the focus of urban-scale development that benefits job growth and housing opportunities. The property falls within the Mid-Heights Community Planning Area and does not fall under any adopted Sector Plans.
10. The Albuquerque Bernalillo County Comprehensive Plan (2017) and the City of Albuquerque Comprehensive Zoning Code (last amended in 2014) are incorporated herein by reference and made part of the record for all purposes.
11. The request is in general compliance with the following applicable goals and policies of the Comprehensive Plan:
 - A) The request furthers Goal 5.1 and Policy 5.1.1, because the subject site is located on Menaul Boulevard NE, a Multi-Modal Corridor designated by the Comprehensive Plan. The requested zone change will permit development of a traffic generating fire protection service on a vacant site along a designated corridor that is intended for higher density development, rather than on a less traveled roadway.
 - B) The request furthers Policy 5.2.1 h because it encourages infill development on a vacant lot in an existing semi-urban area and adds the complementary use of fire protective services, which is compatible in form and scale to the immediately surrounding development as evidenced by the existing fire station across the street.
 - C) The request furthers Goal 5.3 and Policy 5.3.1 because it will support development in an area with existing infrastructure and public facilities. As an infill project, the proposed use complements nearby development and has been planned in collaboration with the proposed Snow Heights Promenade development immediately to the east. The development will maximize the responsible use of public resources and support the public good as it will continue to cover the same service area as the existing fire station, and include a community meeting room that can be used by the public upon request.

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- D) The request furthers Goal 5.6 and Policy 5.6.2 because the subject site is located in an Area of Change and is being developed on a designated a Multi-Modal Corridor, Menaul Boulevard NE, where more intense development is encouraged.
- E) The request furthers Policy 5.6.4 because it provides an appropriate transition between the subject site to the abutting residential lots to the south in an Area of Consistency through adequate setback buffering and limits on building height. The site design provides a 50-foot rear yard setback and a 16-foot buffer between the site circulation lane and the south property line. A 6-foot solid, CMU wall is proposed along this edge. The site light fixtures are 15 feet in height and shielded to reduce light pollution.
- F) The request furthers Policy 7.3.4 because the requested zone change will permit an infill development that blends and enhances the built environment and existing contemporary commercial style along the streetscape of Menaul Boulevard NE. Exterior design elements and building materials include masonry and a metal paneled tower.
- G) The request clearly furthers Goal 12.2 and Policy 12.2.3 because the proposed project is a new community facility in an area with excellent access allowing it to provide services to the existing service area. The proposed community facility is near retail and commercial services that will make it convenient to residents of the surrounding neighborhoods. The subject site has access for pedestrians, cyclists, transit users, and drivers.
- H) The request furthers Goal 12.3 and Policy 12.3.1 because it will provide access to fire protection public services and distribute those services equitably since the proposed fire station will cover the same as the current service area.
- I) The request clearly furthers Policy 12.3.3 because it provides fire and rescue emergency services to save, protect lives, and property in cooperation with the public and other agencies.
- J) The request furthers Goal 12.5 and Policy 12.5.2 because the project will allocate the costs of this new public facility fairly and equitably to support new development. The proposal will take advantage of a vacant lot in a developed area with existing connections and infrastructure.

12. The applicant has justified the zone change request pursuant to R-270-1980 as follows:

- A) A proposed zone change must be found to be consistent with the health, safety, morals, and general welfare of the city.

The proposed zone change is consistent with the health, safety, morals, and general welfare of the city because the request furthers goals and policies from the Comprehensive Plan, which was established by the City to support those aspects. The request clearly furthers Comprehensive Plan Policy 12.3.3 to "Provide comprehensive fire and rescue and emergency medical services to save and protect lives, property, and the environment in cooperation with the public and other agencies". In addition, the associated Site Development Plan for Building Permit is designed to meet the City's Zoning Code regulations which were also written to support the health, safety, morals, and general welfare of the City.

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- B) The request promotes land use stability because the project is an infill project on a vacant property in a location that is expected to provide desired neighborhood services. The property is located on the corner of a Community/Urban Principal Arterial and a Regional Principal Arterial; and locating a fire protection service on these corridors in the same vicinity as the existing fire station is more expected and stabilizing than another location meeting the same service area. The requested zone change will stabilize the neighborhood with expected proactive high quality development.
- C) The proposed zone change is not in significant conflict with adopted elements of the Comprehensive Plan as shown in the analysis of the Albuquerque / Bernalillo County Comprehensive Plan Policies listed in number 10 of these Findings above.
- D) The applicant has sufficiently justified that the existing zoning is inappropriate because a different use category is more advantageous to the community as articulated in the Comprehensive Plan. The proposed zoning will provide public safety services where it is needed on a site that has been vacant for at least 25 years and has not been developed despite its C-2 zoning. As detailed in the policy analysis in number 10 of these Findings, the proposed zoning furthers many of the Comprehensive Plan's goals and policies that address public safety needs of the community, the provision of comprehensive fire protection, the efficient use of public funds, and infill development along corridors.
- E) The requested zone would only permit the property to be used as a fire station. The existing request for SU-1 for Fire Station will convert to the NR-SU zone under the IDO, which also requires a Site Plan specifying the permitted fire station use. Therefore, if the property is to be used for a different purpose in the future, another zone change would be required. Since the request furthers applicable Comprehensive Plan policies and meets the criteria in R270-1980 herein, the request has been justified to not pose harm to adjacent property, the neighborhood, or community.
- F) The applicant has sufficiently justified that although the requested project will require significant City capital expenditures; such capital expenditures are not un-programmed by stating:

While the construction of a new fire station will require significant capital expenditures by the City, such capital expenditures are an anticipated and integral part of the provision of fire protection services. Financing for the construction of the facility has been approved by City Council and will be funded through General Obligation bonds, which allows for the construction of new public safety facilities.

- G) The applicant has sufficiently justified that economic considerations pertaining to the applicant is not the determining factor for the request by stating:

The City of Albuquerque purchased the subject site after conducting a Site Feasibility Study in 2012. The feasibility study determined that this was the best location for this facility due to its proximity to the existing fire station, the availability of land, and the necessary infrastructure to serve the facility.

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- H) The applicant has sufficiently justified that this criteria is met because it is not a request for apartment, office, or commercial zoning where the sole justification is its location on a major street.
 - I) The request for an SU-1 for Fire Station zone under the Comprehensive City Zoning Code (last amended 2014) or the NR-SU zone to which it will be converted under the IDO are both inherently spot zones since the uses are unique as specified on the Site Plan. However, this spot zone has been justified because the change will clearly facilitate realization of Comprehensive Plan policies supporting public safety, provision of comprehensive fire protection services, efficient use of public funds, and infill development as shown in number 10 of these Findings.
 - J) The request would not give a zone different from surrounding zoning to a strip of land along a street since the subject site is a sole rectangular property located near but not on the intersection of two major streets.
13. The applicant notified the North Eastern Association of Residents, Conchas Park Neighborhood Association, District 7 Coalition of Neighborhood Associations, and the East Gateway Coalition as well as property owners within 100 feet of the subject site as required. No meetings with the neighborhood were requested or occurred.
14. Staff received one comment in support and no comments in opposition to the request.

FINDINGS, Site Development Plan for Building Permit, Case # 18EPC - 40037

- 1. This is a request for a Site Development Plan for Building Permit in association with a request for a Zone Map Amendment (Zone Change) for Parcel D within Lot 23, Snow Heights Addition located on Snow Heights Circle to the southwest of the corner of Menaul Boulevard NE and Eubank Boulevard NE, and containing approximately 1.1 acres.
- 2. This is a request for a Site Development Plan for Building Permit to permit the construction of a new 10,731 square foot fire station building on the subject site. Development within the SU-1 zone must be approved with a Site Development Plan.
- 3. The SU-1 for Fire Station zone will convert to the NR-SU zone under the now effective Integrated Development Ordinance (IDO). A zone change request to the NR-SU zone also requires an EPC approved Site Plan similar to the SU-1 zone. The proposed Site Development Plan stating the single proposed use as a fire station, will fulfill the second part of the request and will control the site going forward.
- 4. The application was originally submitted in early May, 2018 prior to the effective date of the Integrated Development Ordinance (IDO) to be heard at the June 14, 2018 public hearing. The applicant deferred the case to the October 11, 2018 hearing to potentially purchase an adjacent piece of property. This purchase has not been completed to date and the applicant has chosen to pursue the original application to proceed with the project in a timely manner.

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5. In 2012, a site feasibility study found the Albuquerque Fire Department had outgrown the existing Fire Station #9 building located immediately to the north of the subject site at 9601 Menaul Boulevard NE. It was concluded that the subject site would be appropriate for a new fire station.
6. In 2014, the Albuquerque City Council appropriated funds to purchase the site to construct a new fire station that would have sufficient operational space and better serve the fire district.
7. The feasibility study called for direct access to Menaul Boulevard NE, which would be accomplished by vacating a portion of the existing right-of-way on Snow Heights Circle NE, subsequently approved by City Council on May 07, 2018. A portion of the vacated right-of-way comprises a portion of the subject site.
8. Section 14-16-3-11 of the Zoning Code states, "...Site Development Plans are expected to meet the requirements of adopted city policies and procedures." The attached site development plan has been evaluated for conformance with applicable goals and policies in the Comprehensive Plan, and other applicable Plans. The Site Plan does not conform to Zoning Code section 14-16-3-1 (H) (4)), and sidewalk in front of the building shall be conditioned to be 8-feet wide at all points. The Site Plan does not conform to Zoning Code 14-16-3-10 (8), and trees and vegetative cover shall be added to the landscape buffer at the southwest property line.
9. The subject site is located in an Area of Change as designated by the Comprehensive Plan. Areas of Change are intended to be the focus of urban-scale development that benefits job growth and housing opportunities. The property falls within the Mid-Heights Community Planning Area and does not fall under any adopted Sector Plans.
10. The Albuquerque Bernalillo County Comprehensive Plan (2017) and the City of Albuquerque Comprehensive Zoning Code (last amended in 2014) are incorporated herein by reference and made part of the record for all purposes.
11. The request is in general compliance with the following applicable goals and policies of the Comprehensive Plan:
 - A) The request furthers Goal 5.1 and Policy 5.1.1, because the subject site is located on Menaul Boulevard NE, a Multi-Modal Corridor designated by the Comprehensive Plan. The requested zone change will permit development of a traffic generating fire protection service on a vacant site along a designated corridor that is intended for higher density development, rather than on a less traveled roadway.
 - B) The request furthers Policy 5.2.1 h because it encourages infill development on a vacant lot in an existing semi-urban area and adds the complementary use of fire protective services, which is compatible in form and scale to the immediately surrounding development as evidenced by the existing fire station across the street.
 - C) The request furthers Goal 5.3 and Policy 5.3.1 because it will support development in an area with existing infrastructure and public facilities. As an infill project, the proposed use complements nearby development and has been planned in collaboration with the proposed Snow Heights Promenade development immediately to the east. The development will maximize the responsible use of public resources and support the public good as it will continue to cover the same service area as the existing fire station, and include a community meeting room that can be used by the public upon request.

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- D) The request furthers Goal 5.6 and Policy 5.6.2 because the subject site is located in an Area of Change and is being developed on a designated a Multi-Modal Corridor, Menaul Boulevard NE, where more intense development is encouraged.
 - E) The request furthers Policy 5.6.4 because it provides an appropriate transition between the subject site to the abutting residential lots to the south in an Area of Consistency through adequate setback buffering and limits on building height. The site design provides a 50-foot rear yard setback and a 16-foot buffer between the site circulation lane and the south property line. A 6-foot solid, CMU wall is proposed along this edge. The site light fixtures are 15 feet in height and shielded to reduce light pollution.
 - F) The request furthers Policy 7.3.4 because the requested zone change will permit an infill development that blends and enhances the built environment and existing contemporary commercial style along the streetscape of Menaul Boulevard NE. Exterior design elements and building materials include masonry and a metal paneled tower.
 - G) The request clearly furthers Goal 12.2 and Policy 12.2.3 because the proposed project is a new community facility in an area with excellent access allowing it to provide services to the existing service area. The proposed community facility is near retail and commercial services that will make it convenient to residents of the surrounding neighborhoods. The subject site has access for pedestrians, cyclists, transit users, and drivers.
 - H) The request clearly furthers Policy 12.3.3 because it provides fire and rescue emergency services to save, protect lives, and property in cooperation with the public and other agencies.
 - I) The request furthers Goal 12.5 and Policy 12.5.2 because the project will allocate the costs of this new public facility fairly and equitable to support new development. The proposal will take advantage of a vacant lot in a developed area with existing connections and infrastructure.
12. The applicant notified the North Eastern Association of Residents, Conchas Park Neighborhood Association, District 7 Coalition of Neighborhood Associations, and the East Gateway Coalition as well as property owners within 100 feet of the subject site as required. No meetings with the neighborhood were requested or occurred.
13. Staff received one comment in support and no comments in opposition to the request.

CONDITIONS OF APPROVAL, Site Dev Plan for Building Permit, Case # 18EPC – 40037

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

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2. Prior to application submittal to the DRB, the applicant shall consult with the staff planner to ensure that all conditions of approval are met.
3. The sidewalk in front of the building shall be updated to be 8-feet wide at all points (pursuant to Zoning Code 14-16-3-1 (H) (4)).
4. Trees and vegetative cover shall be added to the landscape buffer at the southwest property line (pursuant to Zoning Code 14-16-3-10 (8)).
5. Signage shall be dimensioned on the Elevations page A-202 of the Site Plans.
6. Conditions of Approval from other agencies:
 - A) COA Transportation Development
 - Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed development site plan, as required by the Development Review Board (DRB)
 - Site plan shall comply and be in accordance with all applicable City of Albuquerque requirements, including the Development Process Manual and current ADA criteria.
 - B) COA Solid Waste Management Department
 - All new/proposed refuse enclosures must be built to COA minimum requirements, including 4" sanitary drain for all food/kitchen services.
 - C) Albuquerque Bernalillo County Water Utility Authority (ABCWUA)
 - As a condition of approval of this building permit obtain an Availability Statement for the new development. Requests can be made at the link below:
 - http://www.abcwua.org/Availability_Statements.aspx
 - Request shall include a City Fire Marshal approved Fire 1 Plan and a zone map showing the site location.
 - The proposed conceptual site utility plan indicates a metered service, fire line, and new sanitary sewer service.
 - With regard to the water service: please note that the meter vault shall be located within the right-of-way.
 - With regard to the fire line: please note that the private valve is to be located just within the property line.
 - Backflow prevention was not mentioned on the conceptual site utility plan. Please note that a Water Authority approved backflow prevention assembly will be required prior to service.
 - D) Public Service Company of New Mexico (PNM)
 - An existing overhead service drop is located in the center of the subject property to power the existing lighted billboard which is assumed must be removed. Also an existing overhead distribution line is located along the southern boundary of the

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subject property. It is the applicant's obligation to abide by any conditions or terms of these easements.

- An existing overhead distribution line is located along the southern boundary of the subject property. On the sheet entitled Landscape Plan, the proposed tree selection, Austrian Pine, is not a compatible height at maturity with the existing overhead electric distribution facility along the southwestern boundary of the site. A shorter tree selection at mature height is necessary at this location. PNM's landscaping preference is for trees and shrubs to be planted outside the PNM easement; however, if within the easement, trees and shrubs should be located to minimize effects on electric facility maintenance and repair. New trees planted near PNM facilities should be no taller than 25 feet in height at maturity to avoid conflicts with existing electric infrastructure.
- Ground-mounted equipment screening will be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance and repair purposes. Refer to the PNM Electric Service Guide at www.pnm.com for specifications.

7. The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **OCTOBER 26, 2018**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-4-4 of the Zoning Code. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's recommendation.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(16), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.


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Project #1001081

October 11, 2018

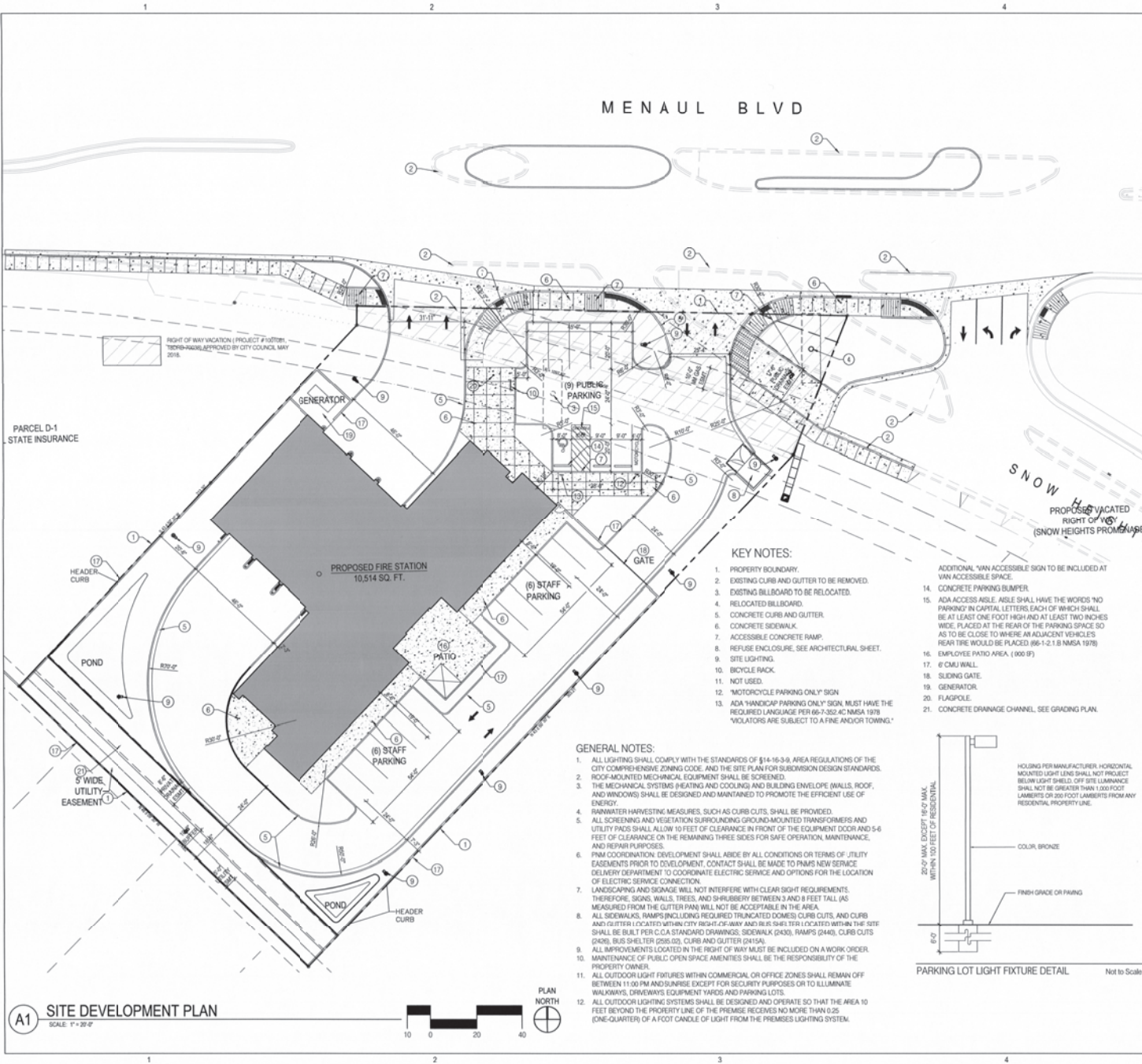
Page 10 of 10

Sincerely,

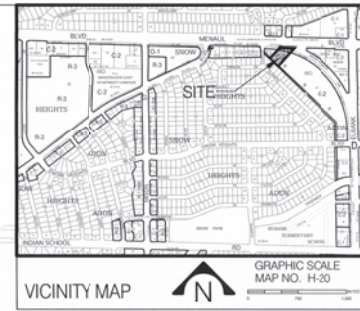

David S. Campbell
Planning Director

DSC/CS

cc: COA, Fire Dept. & DMD, P.O. Box 1293, ABQ, NM 87103
Consensus Planning, 302 8th St. NW, ABQ, NM 87102
North Eastern Assoc. of Residents, Jo Martin, 2208 Lester Dr. NE, #40, ABQ, NM 87112
North Eastern Assoc. of Residents, Matt Bohnhoff, 9500 Arvada Ave. NE, ABQ, NM 87112
Conchas Park NA, Rachelle Karman, 9122 Claremont Ave NE, ABQ, NM 87112
Conchas Park NA, Dianne Peterson, 9121 Claremont Ave. NE, ABQ, NM 87112
Dist. 7 Coalition of Neigh. Assoc., David Haughawout, 2824 Chama St., NE, ABQ, NM 87110
Dist. 7 Coalition of Neigh. Assoc., Lynne Martin, 1531 Espejo NE, ABQ, NM 87112
East Gateway Coalition, Michael Brasher, 216 Zena Lona NE, ABQ, NM 87123
East Gateway Coalition, James Andrews, 13121 Nandina Lane SE, ABQ, NM 87123
Kevin Morrow kmorrow@cabq.gov
Kathy Berglund kberglund@cabq.gov



MENAU BLVD



VICINITY MAP

SITE DATA:

LEGAL DESCRIPTION: PORTION OF PARCEL D WITHIN LOT 23 BLOCK 31 SNOW HEIGHTS ADDITION
 ADDRESS: 9009 SNOW HEIGHTS CIRCLE NE
 TOTAL SITE AREA: 1.24 ACRES (INCLUDES VACATED R-O-W)
 EXISTING ZONING: C-2 PROPOSED ZONING: SU-1 FOR FIRE STATION
 LAND USE: COA FIRE STATION #9
 BUILDING AREA: 10,721 S.F.
 PARKING: PUBLIC PARKING REQUIREMENT CALCULATED AT 1 SPACE PER EVERY 4 SEATS IN THE PUBLIC MEETING ROOM.

PUBLIC PARKING SPACES REQUIRED/PROVIDED:	8/8
STAFF PARKING SPACES:	1/1
HANDICAPPED REQUIRED/PROVIDED:	1/1
TOTAL PROVIDED PARKING:	21
MOTORCYCLE REQUIRED/PROVIDED:	1/1
BICYCLE REQUIRED/PROVIDED:	1/3

PROJECT NUMBER: 1001081
 Application Number: 18EPC-40037

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated October 11, 2018 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? (X) Yes () No If yes, then a set of approved DRIC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

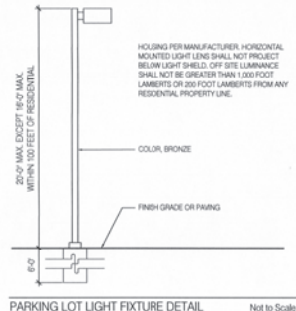
Traffic Engineering, Transportation Division	Date
AB/CW/LA	Date
Parks and Recreation Department	Date
City Engineer	Date
Solid Waste Management	Date
Code Enforcement	Date
DRB Chairperson, Planning Department	Date

KEY NOTES:

- PROPERTY BOUNDARY.
- EXISTING CURB AND GUTTER TO BE RELOCATED.
- EXISTING BILLBOARD TO BE REMOVED.
- RELOCATED BILLBOARD.
- CONCRETE CURB AND GUTTER.
- CONCRETE SIDEWALK.
- ACCESSIBLE CONCRETE RAMP.
- REFUSE ENCLOSURE. SEE ARCHITECTURAL SHEET.
- SITE LIGHTING.
- BICYCLE RACK.
- NOT USED.
- "MOTORCYCLE PARKING ONLY" SIGN
- ADA "HANDICAP PARKING ONLY" SIGN. MUST HAVE THE REQUIRED LANGUAGE PER 66-7-352.4C NMSA 1978 "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING."
- CONCRETE PARKING BUMPER.
- ADA ACCESSIBLE ASBLE SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRE WOULD BE PLACED. 86-1-2.1.3 NMSA 1978
- EMPLOYEE PATIO AREA (100 SF)
- 6" CMU WALL.
- SLIDING GATE.
- GENERATOR.
- FLAGPOLE.
- CONCRETE DRAINAGE CHANNEL. SEE GRADING PLAN.

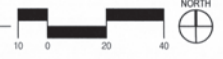
GENERAL NOTES:

- ALL LIGHTING SHALL COMPLY WITH THE STANDARDS OF §14-16-3-9, AREA REGULATIONS OF THE CITY COMPARTMENTAL ZONING CODE, AND THE SITE PLAN FOR SUBMISSION DESIGN STANDARDS.
- ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED.
- THE MECHANICAL SYSTEMS HEATING AND COOLING) AND BUILDING ENVELOPE (WALLS, ROOF, AND WINDOWS) SHALL BE DESIGNED AND MAINTAINED TO PROMOTE THE EFFICIENT USE OF ENERGY.
- RAINWATER HARVESTING MEASURES, SUCH AS CURB CUTS, SHALL BE PROVIDED.
- ALL SCREENING AND VEGETATION SURROUNDING MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
- PJM COORDINATION: DEVELOPMENT SHALL ABIDE BY ALL CONDITIONS OR TERMS OF UTILITY EASEMENTS PRIOR TO DEVELOPMENT. CONTACT SHALL BE MADE TO PJM'S NEW SERVICE DELIVERY DEPARTMENT TO COORDINATE ELECTRIC SERVICE AND OPTIONS FOR THE LOCATION OF ELECTRIC SERVICE CONNECTION.
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.
- ALL SIDEWALKS, RAMPS (INCLUDING REQUIRED TRUNCATED DOMES) CURB CUTS, AND CURB AND GUTTER LOCATED WITHIN CITY RIGHT-OF-WAY AND RR SHALL BE LOCATED WITHIN THE SITE SHALL BE BUILT PER C.A.S. STANDARD DRAWINGS: SIDEWALK (D400), RAMPS (D440), CURB CUTS (D420), BUS SHELTER (2585.02), CURB AND GUTTER (D415A).
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A WORK ORDER.
- MAINTENANCE OF PUBLIC OPEN SPACE ADJACENT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- ALL OUTDOOR LIGHT FIXTURES WITHIN COMMERCIAL OR OFFICE ZONES SHALL REMAIN OFF BETWEEN 10 PM AND DAWN EXCEPT FOR SECURITY PURPOSES OR TO ILLUMINATE WALKWAYS, DRIVEWAYS, EQUIPMENT YARDS AND PARKING LOTS.
- ALL OUTDOOR LIGHTING SYSTEMS SHALL BE DESIGNED AND OPERATE SO THAT THE AREA 10 FEET BEYOND THE PROPERTY LINE OF THE PREMISE RECEIVES NO MORE THAN 25 (ONE-QUARTER) OF A FOOT CANDLE OF LIGHT FROM THE PREMISES LIGHTING SYSTEM.



PARKING LOT LIGHT FIXTURE DETAIL Not to Scale

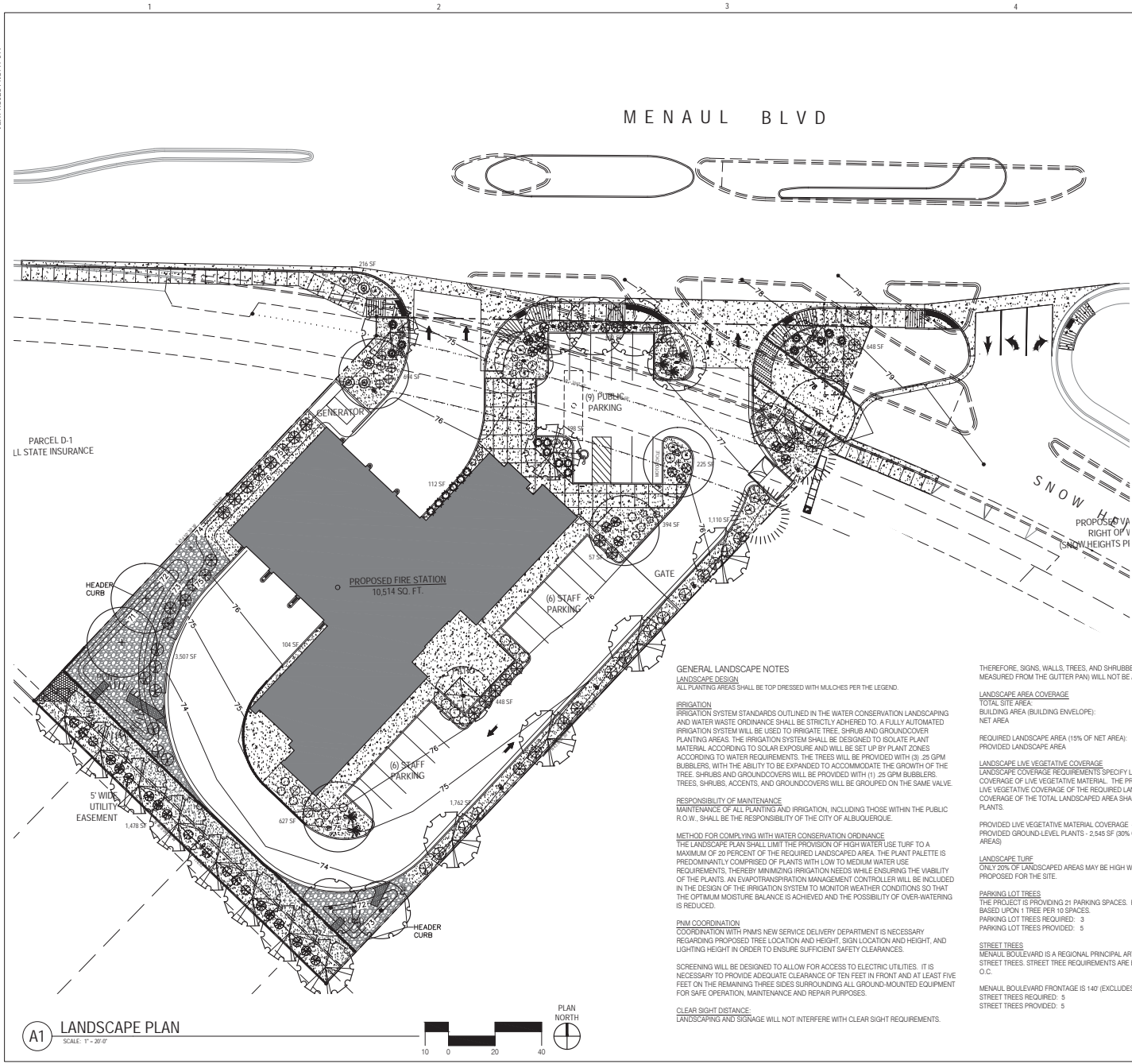
A1 SITE DEVELOPMENT PLAN
SCALE: 1" = 20'-0"



DRB SUBMITTAL

CITY OF ALBUQUERQUE, N. M.
FIRE STATION #9
 VIGIL & ASSOCIATES

Date:	FEBRUARY 22, 2019
Drawn by:	
Checked by:	
Issued:	



MENAU BLVD

GENERAL LANDSCAPE NOTES
LANDSCAPE DESIGN
 ALL PLANTING AREAS SHALL BE TOP DRESSED WITH MULCHES PER THE LEGEND.

IRRIGATION
 IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (3) .25 GPM BUBBLERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (1) .25 GPM BUBBLERS. TREES, SHRUBS, ACCENTS, AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

RESPONSIBILITY OF MAINTENANCE
 MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE CITY OF ALBUQUERQUE.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE
 THE LANDSCAPE PLAN SHALL LIMIT THE PROVISION OF HIGH WATER USE TURF TO A MAXIMUM OF 20 PERCENT OF THE REQUIRED LANDSCAPED AREA. THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS. AN EVAPOTRANSPIRATION MANAGEMENT CONTROLLER WILL BE INCLUDED IN THE DESIGN OF THE IRRIGATION SYSTEM TO MONITOR WEATHER CONDITIONS SO THAT THE OPTIMUM MOISTURE BALANCE IS ACHIEVED AND THE POSSIBILITY OF OVER-WATERING IS REDUCED.

PRM COORDINATION
 COORDINATION WITH PNMS NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING
 WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET FRONT AND AT LEAST FIVE FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE
 LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS.

THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GLITTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

LANDSCAPE AREA COVERAGE	
TOTAL SITE AREA:	52,732 SF (1.21 AC)
BUILDING AREA (BUILDING ENVELOPE):	-10,841 SF
NET AREA:	42,191 SF
REQUIRED LANDSCAPE AREA (15% OF NET AREA):	6,329 SF
PROVIDED LANDSCAPE AREA:	12,472 SF (30%)

LANDSCAPE LIVE VEGETATIVE COVERAGE
 LANDSCAPE COVERAGE REQUIREMENTS SPECIFY LANDSCAPE AREAS TO HAVE A 75% COVERAGE OF LIVE VEGETATIVE MATERIAL. THE PROJECT WILL PROVIDE A MINIMUM OF 75% LIVE VEGETATIVE COVERAGE OF THE REQUIRED LANDSCAPE AREA, A MINIMUM OF 30% COVERAGE OF THE TOTAL LANDSCAPED AREA SHALL BE ACHIEVED BY GROUND-LEVEL PLANTS.

PROVIDED LIVE VEGETATIVE MATERIAL COVERAGE - 21,377 SF (15% OF LANDSCAPE AREA)
 PROVIDED GROUND-LEVEL PLANTS - 2,545 SF (30% OF LANDSCAPE AREA MINUS POND AREAS)

LANDSCAPE TURF
 ONLY 20% OF LANDSCAPED AREAS MAY BE HIGH WATER USE TURF. NO HIGH WATER TURF IS PROPOSED FOR THE SITE.

PARKING LOT TREES
 THE PROJECT IS PROVIDING 21 PARKING SPACES. PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 SPACES.
 PARKING LOT TREES REQUIRED: 3
 PARKING LOT TREES PROVIDED: 5

STREET TREES
 MENAU BOULEVARD IS A REGIONAL PRINCIPAL ARTERIAL AND THEREFORE REQUIRES STREET TREES. STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 30' O.C.
 MENAU BOULEVARD FRONTAGE IS 140' (EXCLUDES DRIVEWAYS).
 STREET TREES REQUIRED: 5
 STREET TREES PROVIDED: 5

PLANT LEGEND

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME (WATER USE)	SIZE	INSTALLED SIZE MATURE SIZE
TREES				
14		ACER TATARICUM (SAR ANN HOT WING MAPLE (M+))	2" B&B	20 HT. X 24" SPR.
8		CHILOPSIS LINEARIS (BUBBA BUBBA DESERT WILLOW (L+))	8 MS	20 HT. X 20" SPR.
7		FRAXINUS PENNSYLVANICA (URBANITE URBANITE ASH (M+))	2.5" B&B	40 HT. X 30" SPR. ^D
15		JUNIPERUS SCOPULORUM (SKYROCKET SKYROCKET JUNIPER (L+))	15 GAL.	12 HT. X 9" SPR.
3		PINUS NIGRA (AUSTRALIAN PINE (M))	8 HT. B&B	35 HT. X 25" SPR.
8		ULMUS PROPINQUA (FS-BIEBERICH EMERALD SUNSHINE ELM (M+))	2.5" B&B	35 HT. X 25" SPR.
SHRUBS AND GROUNDCOVERS				
9		ACHILLEA MOONSHINE (MOONSHINE THYRON (M))	1-GAL.	2 HT. X 2 SPR.
3		BUDDEIA DAVIDII (MANHOENIS DWARF BLUE BUTTERFLY BUSH (M))	5-GAL.	4 HT. X 4 SPR.
18		CARYOPTERIS CLAYTONII (DARK KNIGHT DARK KNIGHT SPREA (L))	5-GAL.	4 HT. X 4 SPR.
23		CITRUS SCOPARIUS (ALL GOLD ALL GOLD SCOTCH BROOM (L))	5-GAL.	4 HT. X 4 SPR.
20		FALLUGIA PARADOXA (ARCHIE PLUME (L))	5-GAL.	5 HT. X 9" SPR.
6		JUNIPERUS HORRIDA (BLUE CHIP BLUE CHIP JAFFER (M))	5-GAL.	1 HT. X 7 SPR.
16		WANDINA DOMESTICA (GULFSTREAM HEAVENLY BAMBOO (M+))	5-GAL.	4 HT. X 4 SPR.
4		PINUS MUGO (PUMILIC DWARF MUGO PINE (M))	5-GAL.	4 HT. X 6 SPR.
17		PRUNUS OSTRYA (PURPLELEAF SAND CHERRY (M))	5-GAL.	6 HT. X 5 SPR.
15		RHNUS AROMATICA (CRO-L-OW PROSTRATE SUMAC (L+))	5-GAL.	2 HT. X 2 SPR. C
11		SALVIA GREGGII (FURMAN'S RED FURMAN'S RED CHERRY SAGE (M))	3-GAL.	30 HT. X 3 SPR.
DESERT ACCENTS				
8		DAVIDSONIA WATTLEBIRD (DESERT SPOON (L))	5-GAL.	4 HT. X 4 SPR.
3		HESPERALOE PARVIFLORA (BRAKELIGHTS BRAKELIGHTS RED YUCCA (L))	3-GAL.	3 HT. X 3 SPR.
ORNAMENTAL GRASSES				
12		CALAMAGROSTIS A. KARL FOERSTER (KARL FOERSTER FEATHER REED GRASS (M))	5-GAL.	30 HT. X 3 SPR.
MULCHES AND BOULDERS				
7		MOSS ROCK BOULDERS (27 CF MIN)		
8,632 SF		1" MOUNTAINAIR BROWN ROCK MULCH (3" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)		
3,452 SF		2 1/4" MOUNTAINAIR BLUSH COBBLE (6" DEPTH OVER FILTER FABRIC, DEWITT PRO-5 WEED CONTROL, OR EQUAL)		

CITY OF ALBUQUERQUE, N. M.
FIRE STATION #9
VIGIL & ASSOCIATES

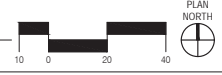
Date:	FEBRUARY 22, 2019
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Checked by:	
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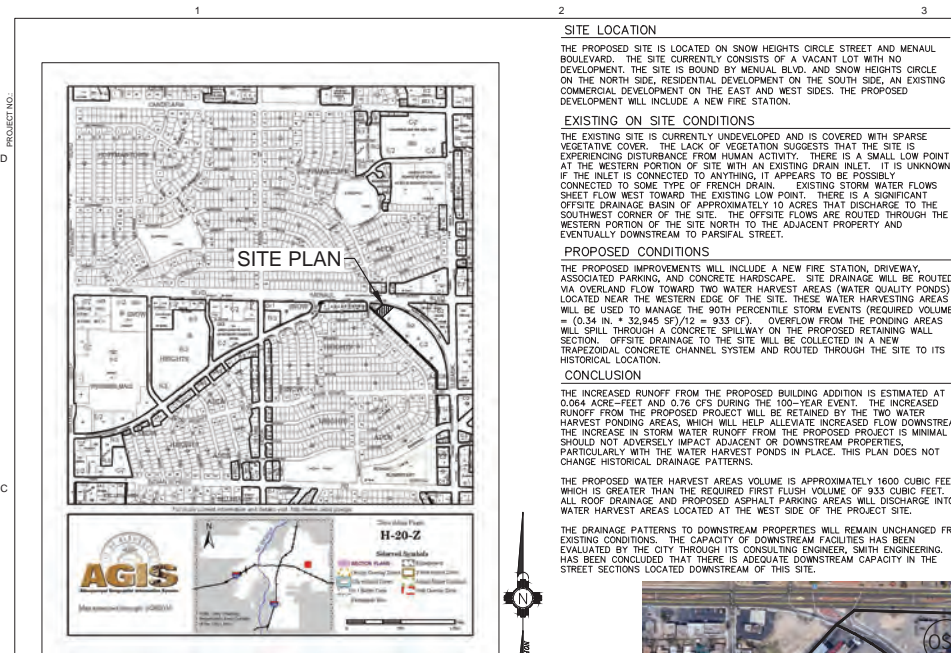
DRB SUBMITTAL

LANDSCAPE PLAN

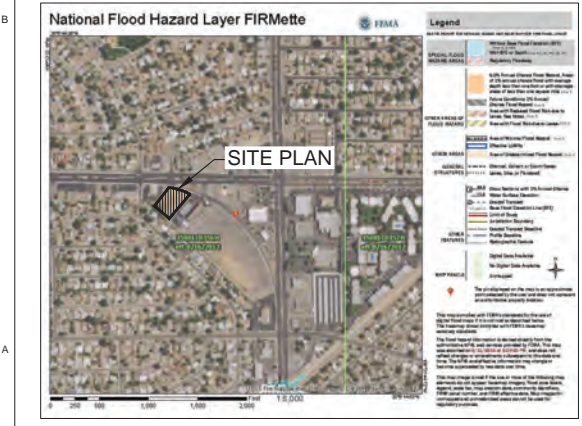
A1 LANDSCAPE PLAN
 SCALE: 1" = 20'-0"



CONSENSUS PLANNING, INC.
 Planning / Landscape Architecture
 302 Eighth Street NW
 Albuquerque, NM 87102
 (505) 764-9801 Fax 842-5465



C1 VICINITY MAP
ZONE ATLAS MAP 171-C



A1 FLOOD ZONE MAP
FLOOD ZONE MAP: 3001C02569



DRAINAGE DATA

HYDROLOGY

Basin Area (Ac)	Land Treatment Factors				E _w (in)	V(100-8) (sf)	V(10-24) (sf)	Q(100) (cfs)
	A	B	C	D				
Existing Conditions								
OS-1	8.10	0.00	0.00	0.45	4.05	2.25	0.845	1,014
OS-2	4.50	0.00	0.00	0.50	0.26	1.55	0.137	0.148
Total	13.66							25.96
Proposed Conditions								
Site	1.06	0.00	0.00	0.31	0.75	2.06	0.181	0.212
Total	1.06							4.83

* Peak flow rate per Smith Engineering drainage study conducted by the City for downstream analysis.

Basin Area (Ac)	Land Treatment Factors				E _w (in)	V(10-8) (sf)	V(10-24) (sf)	Q(10) (cfs)
	A	B	C	D				
Existing Conditions								
OS-1	8.10	0.00	0.00	0.45	4.05	1.41	0.530	0.888
OS-2	4.50	0.00	0.00	0.50	0.26	0.94	0.074	0.081
Total	5.56							17.11
Proposed Conditions								
Site	1.06	0.00	0.00	0.31	0.75	1.24	0.110	0.141
Total	1.06							3.16

FIRST FLUSH CALCULATIONS

$V_{FF} = (0.34 \text{ IN} * 32,945 \text{ SF})/12$
 $V_{FF} = 933 \text{ CF}$
 VOLUME PROVIDED = 1600 CF

GENERAL NOTES:

- EXISTING TOPOGRAPHIC DATA SHOWN ON THESE PLANS WAS PROVIDED BY CSI CARTESIAN SURVEYS, INC. MILLER ENGINEERING CONSULTANTS HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS INFORMATION.
- ACS STA A-436 BENCH MARK THE TOP OF A STAINLESS STEEL ROD SET BENEATH A 5-1/2" NGS ACCESS COVER STAMPED "A-436 1984" SET FLUSH WITH THE GROUND, LOCATED IN THE NORTHWEST QUADRANT OF MENAUL BOULEVARD AND THE A.T. & S.F. RAILROAD TRACKS INTERSECTION. ELEV. 4975.35 (NAVD 1988)
- TBM FOUND 1/2" REBAR WITH CAP "LS 11463" ELEV. 4965.21
- THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES DURING THE CONSTRUCTION PHASE.
- CONTRACTOR SHALL OBTAIN A GRADING PERMIT FROM THE CITY OF ALBUQUERQUE, PRIOR TO ANY GRADING OR CONSTRUCTION.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- ALL EMBANKMENTS SHALL BE PLACED AND COMPACTED IN LIFTS OF MAXIMUM OF 8". THE EMBANKMENTS SHALL BE WETTED AND COMPACTED TO 95% OPTIMUM DENSITY PER ASTM D1557 AND 95% UNDER ALL STRUCTURES INCLUDING DRIVEWAYS AND PARKING LOTS.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER(S) OF THE PROPERTY SERVED.
- THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- APPROX. HALF OF SUBJECT PROPERTY IS LOCATED WITHIN ZONE X (SOUTH EASTERN 1/4 OF 4TH STREET FRONTAGE). THE REMAINING WESTERN AND NORTHERN PORTION OF THE PROPERTY IS LOCATED IN ZONE X (500 YEAR) DESIGNATING AREAS DETERMINED TO BE OUTSIDE THE 100-YEAR FLOOD PLANE, ACCORDING TO THE FLOOD INSURANCE RATE MAP, ALBUQUERQUE, NEW MEXICO AND UNINCORPORATED AREAS PER MAP NO 35001C-0352G.
- ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE STORM DRAINAGE REGULATIONS. ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE "GRADING AND DRAINAGE DESIGN REQUIREMENTS AND POLICES FOR LAND DEVELOPMENT."
- THE OWNER, CONTRACTOR AND/OR BUILDER SHALL COMPLY WITH ALL APPROPRIATE LOCAL, STATE AND FEDERAL REGULATIONS AND REQUIREMENTS.
- THE CONTRACTOR SHALL TAKE ALL APPROPRIATE AND REASONABLE MEASURES TO PREVENT SEDIMENT OR POLLUTANT LAZON STORM WATER FROM EXISTING THE SITE DURING CONSTRUCTION. STORMWATER MAY BE DISCHARGED IN A MANNER WHICH COMPLIES WITH THE APPROVED GRADING AND DRAINAGE PLAN.
- THE CONTRACTOR SHALL TAKE ALL APPROPRIATE MEASURES TO PREVENT THE MOVEMENT OF CONSTRUCTION RELATED SEDIMENT, DUST, MUD, POLLUTANTS, DEBRIS, WASTE, ETC FROM THE SITE BY WIND, STORM FLOW OR ANY OTHER METHOD EXCLUDING THE INTENTIONAL, LEGAL TRANSPORTATION OF SAME IN A MANNER ACCEPTABLE BY THE CITY.
- THE CONTRACTOR SHALL NOT DISTURB AREAS OUTSIDE THE AREAS SHOWN AS "SLOPE LIMITS" ON THE GRADING AND DRAINAGE PLAN.
- SEE ARCHITECTURAL DRAWINGS FOR SIDEWALK AND HANDICAPPED RAMPS, DETAILS AROUND THE BUILDING.
- THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE ANY SPOT ELEVATIONS ON THE GRADING AND DRAINAGE PLAN WHICH APPEAR TO BE AMBIGUOUS OR DO NOT MEET THE INTENT OF THE GRADING AND DRAINAGE PLAN.
- THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DOES NOT MEET ADA ACCESSIBILITY REQUIREMENTS. ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0%. ALL SIDEWALKS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5.0%. AND ALL RAMPS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 15:1.
- ALL SIDEWALKS AND CONCRETE FLATWORK SHALL HAVE A MINIMUM OF 0.5% SLOPE. CONTRACTOR SHALL CONTACT PROJECT ENGINEER IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DO NOT MEET THIS REQUIREMENT.
- THE CONTRACTOR SHALL SUBMIT MATERIAL SUBMITTALS, CUT SHEETS AND SHOP DRAWINGS FOR ALL CIVIL RELATED ITEMS FOR REVIEW PRIOR TO CONSTRUCTION.
- THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS (UPDATE 8, AMENDMENT 1)
- ALL EXISTING MANHOLES, VALVES AND METERS SHALL BE ADJUSTED TO NEW FINISH GRADE.

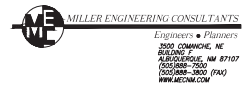
SPECIAL ORDER 19
DRAINAGE FACILITIES WITHIN THE CITY
RIGHT-OF-WAY NOTICE TO CONTRACTOR

- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7 AMENDMENT 1.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL 260-1990, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACK FILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24 - HOUR BASIS.
- CONTRACTOR MUST CONTACT JASON RODRIGUEZ AT 235-8016 AND CONSTRUCTION COORDINATION AT 924-3416 TO SCHEDULE AN INSPECTION



CITY OF ALBUQUERQUE
CAPITAL IMPLEMENTATION PROGRAM
AFD FIRE STATION 9
9500 SNOW HEIGHTS CIRCLE NE, ALBUQUERQUE, NM 87112

Drawing Title: GRADING AND DRAINAGE HYDROLOGY REPORT		City Engineer Approval: _____		Ms. Day/Yr: 7/10/18	Ms. Day/Yr: _____
Design Review Committee: _____		City Project No.: 5476.91		Sheet: C-100	
Issue Date: FEBRUARY 21, 2019		City Project No.: 5476.91		Sheet: C-100	



AS-BUILT INFORMATION	RECORDED BY	DATE
	INDEXED BY	DATE
	FILED BY	DATE
MICRO-FILM INFORMATION	RECORDED BY	DATE
	INDEXED BY	DATE
	FILED BY	DATE
BENCH MARKS	NO.	DATE
	NO.	DATE
	NO.	DATE
SURVEY INFORMATION	FIELD NOTES	DATE
	NO.	DATE
	NO.	DATE

City of Albuquerque Electronic Stamp

NOT FOR CONSTRUCTION

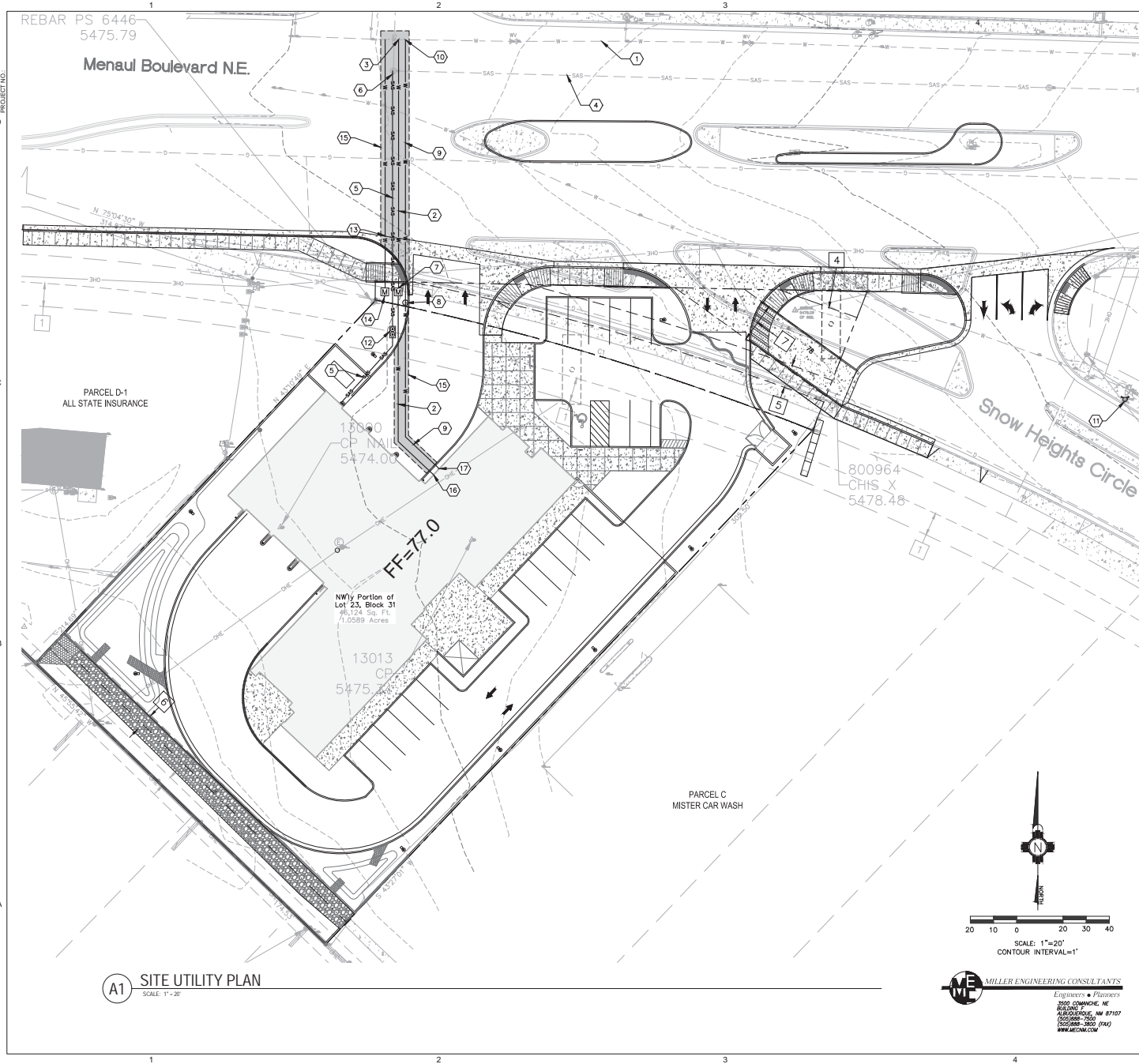
DESIGN: _____

Drawn By: _____

Checked By: _____

NO. DATE REMARKS

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City of Albuquerque Electronic Stamp

LEGEND:

— W —	PROPOSED WATER SERVICE LINE
— SAS —	PROPOSED SANITARY SEWER LINE
— W —	EXISTING WATER SERVICE LINE
— SAS —	EXISTING SANITARY SEWER LINE
⊠	PROPOSED CLEANOUT
⊞	PROPOSED FIRE METER
⊞	PROPOSED WATER HYDRANT
●	PROPOSED MANHOLE

- KEYED NOTES:**
- EXISTING 6" WATER MAIN.
 - NEW 2 1/2" DOMESTIC WATER SERVICE LINE.
 - CONNECT NEW 2 1/2" DOMESTIC WATER LINE TO EXISTING 6" WATER LINE AS PER ABCWJA STANDARD DWG. 2301. CONTRACTOR SHALL COORDINATE WITH CITY OF ALBUQUERQUE UTILITY DEPARTMENT PRIOR TO CONSTRUCTION.
 - EXISTING 15" SANITARY SEWER LINE.
 - NEW 4" SANITARY SEWER SERVICE LINE MIN. SLOPE 2% AS PER C.O.A. STANDARD DWG. 2125.
 - CONNECT NEW 4" SANITARY SEWER SERVICE LINE TO EXISTING 15" SANITARY SEWER SERVICE MAIN LINE AS PER C.O.A. STANDARD DWG. CONTRACTOR SHALL FIELD VERIFY PRIOR TO CONSTRUCTION AND COORDINATE WITH ABCWJA PRIOR TO CONSTRUCTION.
 - CONNECT 2 1/2" DOMESTIC WATER LINE TO NEW WATER METER. CONTRACTOR SHALL COORDINATE WITH BUILDING PLUMBING CONTRACTOR FOR LOCATION, INVERT AND PIPE SIZE PRIOR TO CONSTRUCTION.
 - NEW POST INDICATOR VALVE (PIV). SEE DETAIL SHEET C-501.
 - NEW 6" FIRE PROTECTION WATER LINE (MIN. 4' BURY).
 - CONNECT NEW 6" FIRE LINE TO EXISTING 6" WATER LINE.
 - EXISTING FIRE HYDRANT.
 - NEW DOUBLE CLEANOUT SEE DETAIL SHEET C-502.
 - NEW 1 1/2" WATER LINE.
 - NEW 1" WATER METER. SEE LANDSCAPE PLAN FOR CONTINUATION.
 - SAWCUT EXISTING ASPHALT TO CLEAN STRAIGHT EDGE, REMOVE, DISPOSE AND REPLACE EXISTING ASPHALT AS NECESSARY TO INSTALL SANITARY SEWER SERVICE OR DOMESTIC WATER LINES. MATCH EXISTING ASPHALT SECTION OF ASPHALT, BASE COURSE AND SUBGRADE PREP. CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FROM ABCWJA.
 - NEW 2 1/2" DOMESTIC WATER SERVICE LOCATION TO PROPOSED BUILDING. SEE MECHANICAL PLANS FOR INVERT AND EXACT LOCATION PRIOR TO CONSTRUCTION.
 - NEW 6" FIRE PROTECTION WATER SERVICE LOCATION TO PROPOSED BUILDING. SEE MECHANICAL PLANS FOR INVERT AND EXACT LOCATION PRIOR TO CONSTRUCTION.

Easement Notes

4	PUBLIC WATERLINE EASEMENT
5	10' NM GAS EASEMENT
6	8.5' PRIVATE DRAINAGE EASEMENT
7	17' PUBLIC DRAINAGE EASEMENT

NOT FOR CONSTRUCTION

NO.	DATE	REMARKS	DESIGN	BY

VIGIL & ASSOCIATES
ARCHITECTURAL GROUP P.C.
4477 Irving Hill Road, A
N.E. Albuquerque, New Mexico 87110
PH: 505-263-8888 FAX: 505-263-8889
WWW.VIGILANDASSOCIATES.COM

CITY OF ALBUQUERQUE
CAPITAL IMPLEMENTATION PROGRAM
AFD FIRE STATION 9
9500 SNOW HEIGHTS CIRCLE, N.E.
ALBUQUERQUE, NM 87112

Drawing Title: **CONCEPTUAL SITE UTILITY PLAN**

Design Review Committee	City Engineer Approval	Ms. Day/Yr.	Ms. Day/Yr.
		7/10/18	

Issue Date: **FEBRUARY 21, 2019** City Project No. **5476.91** Sheet **C-102**

A1 SITE UTILITY PLAN
SCALE: 1"=20"

ME MILLER ENGINEERING CONSULTANTS
Engineers • Planners
3600 COMMERCE, N.E.
ALBUQUERQUE, NM 87110
(505) 263-2600
(505) 263-2600 FAX
WWW.MECCNM.COM

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Current DRC
Project Number: _____

FIGURE 12

Date Submitted: _____
Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: _____
DRB Application No.: _____

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

COA Fire Station #9

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Port of Parcel D within LT 23 BLK 31 Snow Heights Addn.

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
		7'	PCC Sidewalk	Menaul	10+00	14+71	/	/	/
		STD	STD Curb & Gutter	Menaul	10+00	14+71	/	/	/
		11' W	Arterial Asphalt Concrete	Menaul	10+00	14+71	/	/	/
		11' W	ABS, 6"	Menaul	10+00	14+71	/	/	/
		11' W	Subgrade Prep 6"	Menaul	10+00	14+71	/	/	/
		11' W	Grading, < 2'	Menaul	10+00	14+71	/	/	/
		MDN	Median Curb & Gutter	Menaul	12+00	14+25 +/-	/	/	/
		4"	4" Textured Median Pavement Colored PCC	Menaul	12+00	14+25 +/-	/	/	/
		6"	6" PCC Pavement	Menaul	11+40	14+71	/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>	6"	Channel Lining 6" Thick. RPCC	Snow Heights	Curb Return	Driveway	/	/	/
<input type="text"/>	<input type="text"/>	24"	24" Sidewalk Culvert (6 ea.)	Menaul	Curb Return	Curb Return	/	/	/
<input type="text"/>	<input type="text"/>	6"	*6" Waterline	Menaul	Main	Building	/	/	/
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The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private		City Cnst Engineer	
							Inspector	P.E.		
<input type="text"/>	<input type="text"/>	_____	_____	_____	_____	_____	/	/	/	
<input type="text"/>	<input type="text"/>	_____	_____	_____	_____	_____	/	/	/	
							Approval of Creditable Items:		Approval of Creditable Items:	
							Impact Fee Administrator Signature Date		City User Dept. Signature Date	

NOTES

- 1 *** INCLUDES T, B, & C, FITTINGS, AND VALVES.**

- 2 Installation of the improvements identified above will be the responsibility of the Department of Municipal Development. By signing on the line below "AGENT/OWNER" on page 2, I, Paul Dow, Fire Chief, understand that my Department is responsible for construction of the above listed items. This commitment is equivalent to the guaranty provided within a .conventional Subdivision Improvement

- 3 By Signing below, I Paul Dow understand the improvements shown on this infrastructure list will be funded by the Albuquerque Fire Rescue Department. The estimated cost of these improvements should be provided by the design engineer and approved by the City Engineer.

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS
----------------------	--

NAME (print)	DRB CHAIR - date	PARKS & RECREATION - date
FIRM	TRANSPORTATION DEVELOPMENT - date	AMAFCA - date
SIGNATURE - date	UTILITY DEVELOPMENT - date	CODE ENFORCEMENT - date
	CITY ENGINEER - date	_____ - date

DESIGN REVIEW COMMITTEE REVISIONS
--

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER