



DEVELOPMENT REVIEW BOARD
SUPPLEMENTAL SUBMITTAL

(Deadline is Friday at noon unless noted on 2019 agenda – late submittals will not be accepted unless approved by the DRB)

PROJECT NO. PR-2019-002184
Application No. SI-2019-00379

TO:

- Planning Department/Chair
- Hydrology
- Transportation Development
- Albuquerque/ Bernalillo Co. WUA
- Code Enforcement
- Parks & Rec

*(Please attach this sheet with each collated set for each board member)

NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.

DRB SCHEDULED HEARING DATE: 01-29-2020 HEARING DATE OF DEFERRAL: 01-15-2020

SUBMITTAL DESCRIPTION: Revised site plan set; infrastructure list; updated ABIS Zoning exhibit; Hydrology approval letter.

Deferral at the January 15, 2020 hearing was based in part on the submittal of a plat. The plat was submitted on January 21, 2020 to be heard on January 29 at DRB.

CONTACT NAME: James K. Strozier

TELEPHONE: 505-764-9801 EMAIL: CP@Consensusplanning.com

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: January 23, 2020
Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: 2019-002184
DRB Application No.: _____

INFRASTRUCTURE LIST

(Rev. 2-16-18)
EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

TRACT G-1 PLAT OF TRACTS F-1 & G-1 ACADEMY PLACE
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

TRACT G-1 PLAT OF TRACTS F-1 & G-1 ACADEMY PLACE
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Inspector	P.E.	City Cnst Engineer
		6' WIDTH	PCC SIDEWALK & 2 RAMPS	OSUNA RD NORTH OF SITE	NW CORNER OF SITE	NE CORNER OF SITE @ JUAN TABO (312 FT)	/	/	/
		30'	18" RCP SD TO CHANNEL OUTFALL	SW CORNER OF SITE	SOUTH PL	ARROYO OUTFALL	/	/	/
		17'x6'	OUTFALL STRUCTURE & CONC RUNDOWN	SW CORNER OF SITE	TOP OF SHOTCRETE CHANNEL SLOPE	TOP OF CONC CHNL	/	/	/
		3/4"	SERVICE CONN TO NON-POTABLE WL	JUAN TABO RD	8" NON-POTABLE WL	BACK OF CURB	/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification	
							Inspector	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/
<input type="text"/>	<input type="text"/>						/	/

Approval of Creditable Items: _____ Date _____

Impact Fee Administrator Signature _____ Date _____

City User Dept. Signature _____ Date _____

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 _____
- 2 _____
- 3 _____

AGENT / OWNER DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

JESUS LOPEZ _____ **PARKS & RECREATION - date**

NAME (print) _____

RESPEC _____ **AMAFCA - date**

FIRM _____

SIGNATURE - date _____ **CODE ENFORCEMENT - date**

DRB CHAIR - date _____

TRANSPORTATION DEVELOPMENT - date _____

UTILITY DEVELOPMENT - date _____

CITY ENGINEER - date _____

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

December 23, 2019

Jesus Lopez
Respec
5971 Jefferson St. NE
Albuquerque, NM 87109

**RE: Guardian Storage- Juan Tabo
4909 Juan Tabo NE
Conceptual Grading and Drainage Plan Stamp Date: 12/20/19
Hydrology File: F21D081**

Dear Mr. Lopez:

Based on the submittal received on 12/19/19, the Conceptual Grading and Drainage Plan is approved for Site Plan for Building Permit.

PO Box 1293

Prior to Building Permit (For Information):

Albuquerque

NM 87103

www.cabq.gov

1. Remove all "Conceptual" markings.
2. As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.
3. Provide hydraulic calculations for the proposed storm drain outfall, calculated along the Energy Grade Line; include both the HGL and EGLs. The 10-yr water surface in Bear Canyon Arroyo may be used as the control surface for the storm drain HGL calculations.
4. Additional comments may be provided at Building Permit, based on the outcome of the above remarks and level of detail shown on plans.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services



City of Albuquerque



Legend

IDO Zoning



Notes

Guardian Site Updated AGIS Zoning

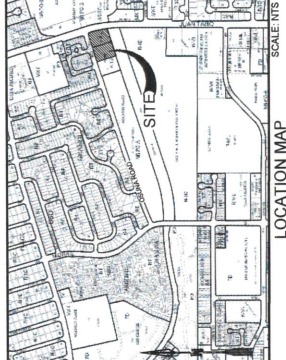


601
 WGS_1984_Web_Mercator_Auxiliary_Sphere
 1/20/2020
 © City of Albuquerque

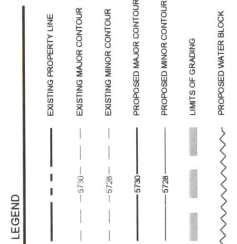
1: 3,606

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THIS MAP IS NOT TO BE USED FOR NAVIGATION



- GRADING NOTES**
- CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND WATER UTILITIES PRIOR TO CONSTRUCTION AND RECORD THE LOCATION OF ANY FACED UTILITIES TO BE MAINTAINED.
 - PAVING LOT STRIPS HAS BEEN SCHEDULED BACK FOR VISUAL IMPROVEMENTS.
 - GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS.
 - ADJACENT PARCELS.
 - REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH APPLICABLE REGULATIONS. SOILS AS BENEATH SHALL BE JUMPED AND ADJUSTED TO MEET EXISTING TOPOGRAPHY. EXCESS SOILS TO BE REUSED FOR LANDSCAPE PLAN PROVIDED BY OTHERS.
 - ALL AREAS WITH SLOPE GREATER THAN 3:1 SHALL BE SEPARATED FROM ADJACENT AREAS BY ALL FACED FACED GRAVEL AND SEPARATION WALLS.



RIP-RAP SPECIFICATIONS / NOTES

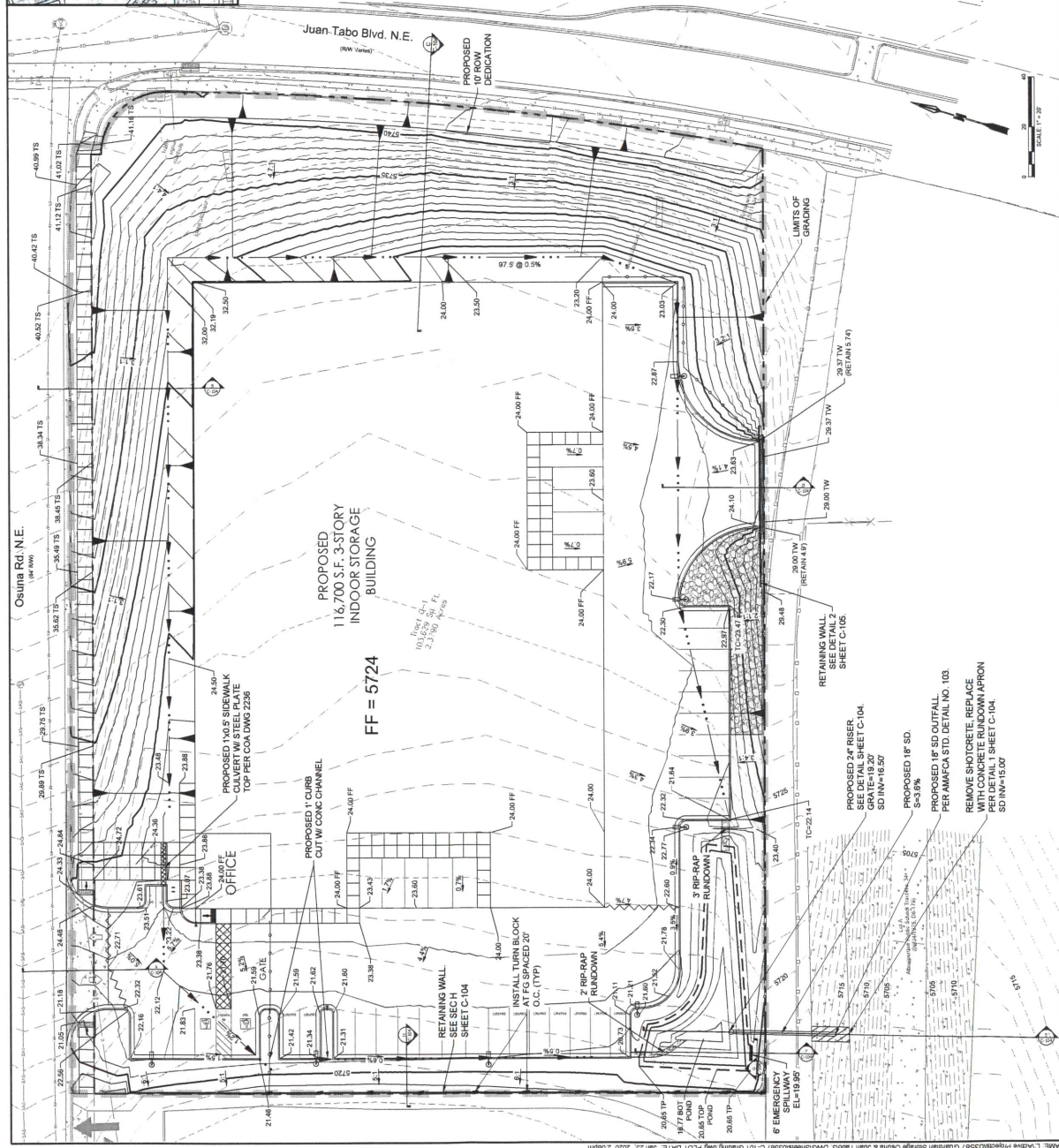
RIP-RAP SHALL BE OVER FILTER MATERIAL AND CONSIST OF RIP-RAP AND FILTER MATERIAL AS SHOWN ON THE FOLLOWING DIMENSIONS:

MAX. DIMENSION	% SMALLER	% PASS BY W/S
3"	100	100
3/4"	95	100
3/8"	85	100
NO. 40	75	100
NO. 10	5	100

FILTER MATERIAL SHALL CONSIST OF ENHANCED ROCK MEETING THE FOLLOWING SPECIFICATIONS:

U.S. STANDARD GRADE SIZE	% PASS BY W/S
3/4"	100
NO. 40	100
NO. 10	5

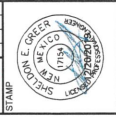
FILTER MATERIAL SHALL BE PLACED UNDER THE RIP-RAP CHANNEL AND SHALL BE PROTECTED TO A MINIMUM OF 18" FROM THE CHANNEL WALLS. THE RIP-RAP SHALL BE PLACED TO A MINIMUM OF 18" FROM THE CHANNEL WALLS. THE RIP-RAP SHALL BE PLACED TO A MINIMUM OF 18" FROM THE CHANNEL WALLS. THE RIP-RAP SHALL BE PLACED TO A MINIMUM OF 18" FROM THE CHANNEL WALLS.



NO.	DATE	DESCRIPTION
1	1.23.2020	DESIGNED
2		CHECKED
3		APPROVED

DESIGNED BY: **REPPC**
 CHECKED BY: **REPPC**
 APPROVED BY: **REPPC**

8077 Avenida de los Rios, Suite 100
 West Valley City, Utah 84119
 (801) 973-9378
 www.reppc.com



PROJECT NAME: GUARDIAN STORAGE
 SHEET TITLE: CONCEPTUAL DRAINAGE PLAN
 SUBMITTED FOR: DRB REVIEW
 SHEET NUMBER: 4 OF 9

LEGEND



HYDROLOGY CALCULATIONS

Subbasin	ANNUAL INLET EXISTING CONDITIONS				ANNUAL INLET PROPOSED CONDITIONS			
	A	B	C	D	A	B	C	D
Existing	2.300	2.38	0	0	100.00%	0.00%	0.00%	0.00%

Subbasin	ANNUAL INLET EXISTING CONDITIONS				ANNUAL INLET PROPOSED CONDITIONS			
	A	B	C	D	A	B	C	D
Subbasin A	2.291	0.000	0.405	0.405	1.481	0.0%	17.7%	64.0%
Subbasin B	0.000	0.000	0.045	0.000	0.0%	50.0%	50.0%	0.0%
Subbasin C	0.000	0.000	0.000	0.000	0.0%	0.0%	100.0%	0.0%

Subbasin	ANNUAL INLET EXISTING CONDITIONS				ANNUAL INLET PROPOSED CONDITIONS			
	A	B	C	D	A	B	C	D
Existing	2.38	4.54	0.13	1.9				

Subbasin	ANNUAL INLET EXISTING CONDITIONS				ANNUAL INLET PROPOSED CONDITIONS			
	A	B	C	D	A	B	C	D
Subbasin A	2.291	0.000	0.405	0.405	1.481	0.0%	17.7%	64.0%
Subbasin B	0.000	0.000	0.045	0.000	0.0%	50.0%	50.0%	0.0%
Subbasin C	0.000	0.000	0.000	0.000	0.0%	0.0%	100.0%	0.0%

Area (ac)	ANNUAL INLET EXISTING CONDITIONS				ANNUAL INLET PROPOSED CONDITIONS			
	A	B	C	D	A	B	C	D
2.381	62.2%	1.481	0.34	1.628	22.6			

DRAINAGE SUMMARY

The site is located immediately downstream of Juan Tabo Dam which protects the site from, at a minimum, the upstream flow in the 100-year design storm. It is not proposed by the primary spillway, downstream of the dam, to be a contributing area to the dam. The magnitude of this impact is dependent upon the magnitude of the storm event. In the event of a dam failure the site should not be a contributing area to the dam. The proposed site development will consist of asphalt and concrete parking and driving surfaces and an indoor self-storage building. The site will contain approximately 62% impervious area with the remaining portion to be landscaped. The site drainage will include surface sheet flow and swales concentrating flows to a low point south west of the storage facility that will discharge into a water quality pond located at the south west corner of the property.

Subbasin A is 2.291 acres and generates 0.405 cfs. This subbasin consists of the building footprint and parking lot. The discharge off the building surface above the roof will enter the water quality pond. An 18" overflow storm drain will convey any additional flow above the water quality pond volume and discharge into the Black Canyon Arroyo to the south. Subbasin B is 0.045 acres and generates 0.045 cfs. This subbasin consists primarily of landscaping. The drainage from this subbasin will flow west in the direction of the neighboring property as it has historically. The existing discharge is 4.54 cfs into the neighboring property, so we will reduce the existing discharge impacting the neighboring property by 4.25 cfs.

Subbasin C is 0.000 acres and generates 0.000 cfs. This subbasin consists primarily of existing asphalt on Chous Rd NW as well as proposed sidewalk. The drainage from this subbasin will flow southwest in the direction of the existing curb and gutter to the highway. The existing discharge into the highway is 1.628 cfs. The Manning roughness and roughness coefficients for the existing gutter and street during the 100-year design storm. Hydrology calculations are shown on this sheet to the right of this summary. The water quality ponding table summarizes the water quality volume required and provided. Sufficient ponding has been provided.

PROPOSED CONDITIONS

The site is located immediately downstream of Juan Tabo Dam which protects the site from, at a minimum, the upstream flow in the 100-year design storm. It is not proposed by the primary spillway, downstream of the dam, to be a contributing area to the dam. The magnitude of this impact is dependent upon the magnitude of the storm event. In the event of a dam failure the site should not be a contributing area to the dam. The proposed site development will consist of asphalt and concrete parking and driving surfaces and an indoor self-storage building. The site will contain approximately 62% impervious area with the remaining portion to be landscaped. The site drainage will include surface sheet flow and swales concentrating flows to a low point south west of the storage facility that will discharge into a water quality pond located at the south west corner of the property.

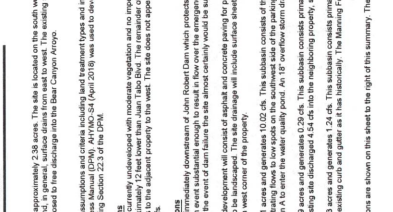
Subbasin A is 2.291 acres and generates 0.405 cfs. This subbasin consists of the building footprint and parking lot. The discharge off the building surface above the roof will enter the water quality pond. An 18" overflow storm drain will convey any additional flow above the water quality pond volume and discharge into the Black Canyon Arroyo to the south. Subbasin B is 0.045 acres and generates 0.045 cfs. This subbasin consists primarily of landscaping. The drainage from this subbasin will flow west in the direction of the neighboring property as it has historically. The existing discharge is 4.54 cfs into the neighboring property, so we will reduce the existing discharge impacting the neighboring property by 4.25 cfs.

Subbasin C is 0.000 acres and generates 0.000 cfs. This subbasin consists primarily of existing asphalt on Chous Rd NW as well as proposed sidewalk. The drainage from this subbasin will flow southwest in the direction of the existing curb and gutter to the highway. The existing discharge into the highway is 1.628 cfs. The Manning roughness and roughness coefficients for the existing gutter and street during the 100-year design storm. Hydrology calculations are shown on this sheet to the right of this summary. The water quality ponding table summarizes the water quality volume required and provided. Sufficient ponding has been provided.

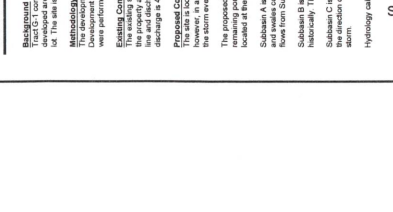
WATER QUALITY PONDING

Area (ac)	% Imp.	Req. Vol	Provided Vol	Req. Vol	Provided Vol
2.381	62.2%	1.481	0.34	1.628	22.6

IRREGULAR SECTION



PLAN VIEW



RESPEC
 877 Johnson Street Suite 103
 Denver, CO 80202
 (303) 733-8888



STAMP
 STATE OF COLORADO
 PROFESSIONAL ENGINEER
 RESPEC
 LICENSE NO. 11932



PROJECT NAME
 GUARDIAN STORAGE

SHEET TITLE
 CONCEPTUAL UTILITY PLAN

DRB REVIEW
 SUBMITTED FOR

LEGEND

ITEM	EXISTING	PROPOSED
PIPE HYDRANT	⊠	⊠
WATER VALVE	⊠	⊠
SEWER MANHOLE	⊠	⊠
WATER MANHOLE	⊠	⊠
DROP INLET	⊠	⊠
WATER METER	⊠	⊠
WATER SERVICE LINE	---	---
SEWER SERVICE LINE	---	---
STORM DRAIN LINE	---	---
UNDERGROUND ELECTRIC	---	---
ELECTRICAL TRANSFORMER	⊠	⊠
GATE	---	---
TRAFFIC SIGNAL MANHOLE	⊠	⊠
METAL FENCE	---	---
SUBJECT BOUNDARY LINE	---	---
ADJACENT PROPERTY BOUNDARY LINE	---	---
EASEMENT LINE	---	---

DESCRIPTION

WATER CONSTRUCTION NOTES

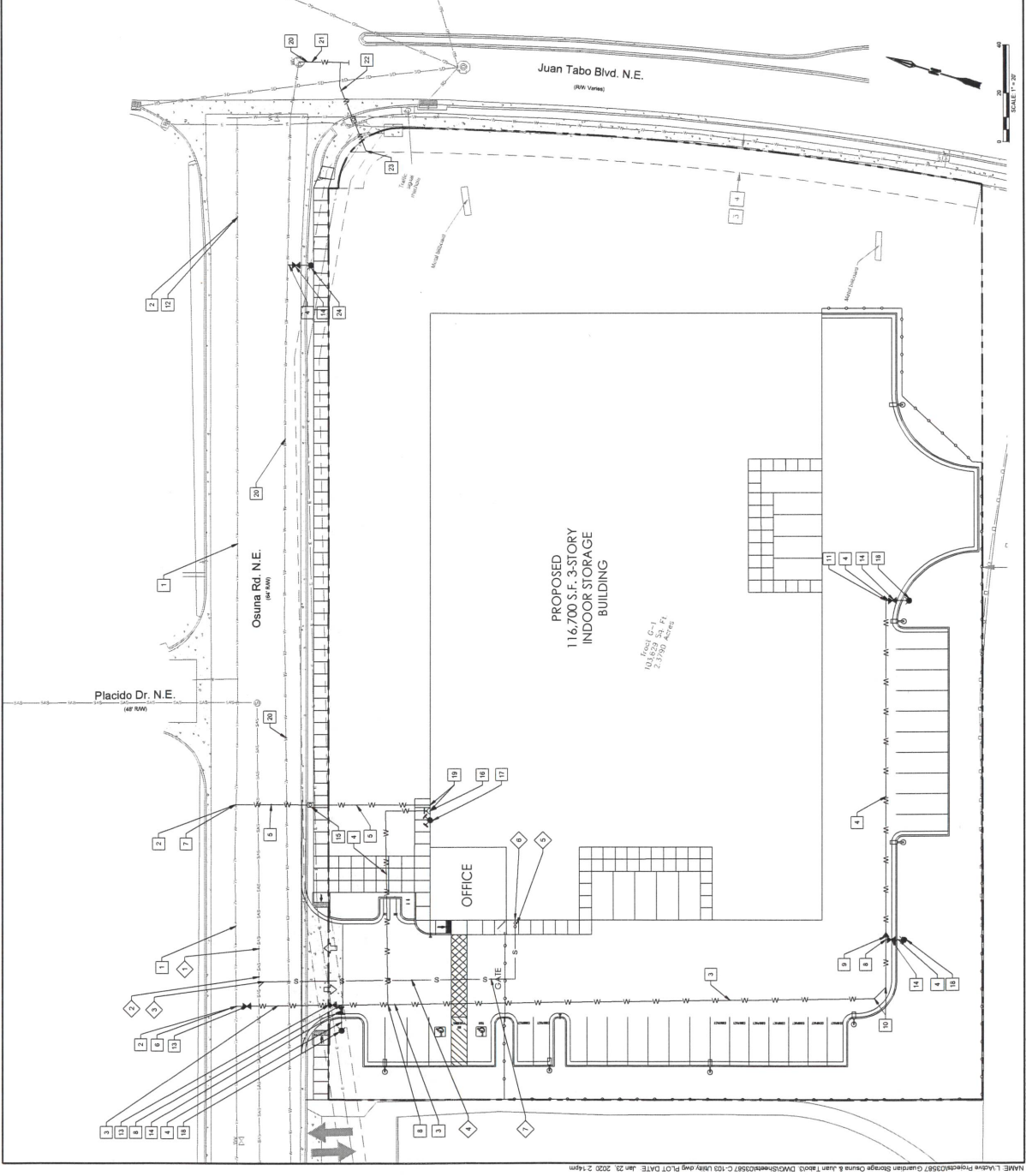
1. EXISTING F/D/I PIPE
2. CONSTRUCT SEWER SERVICE LINE TO EXISTING WATERLINE (NON-PRESSURIZED CONNECTION)
3. INSTALL 8" WATERLINE
4. INSTALL 1" WATERLINE
5. INSTALL 1" WATERLINE
6. INSTALL 8" WYE TEE
7. INSTALL SADDLE CONNECTION
8. INSTALL 8" WYE TEE
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SEWER CONSTRUCTION NOTES

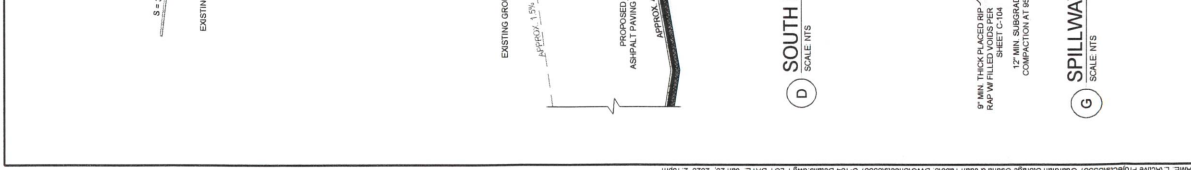
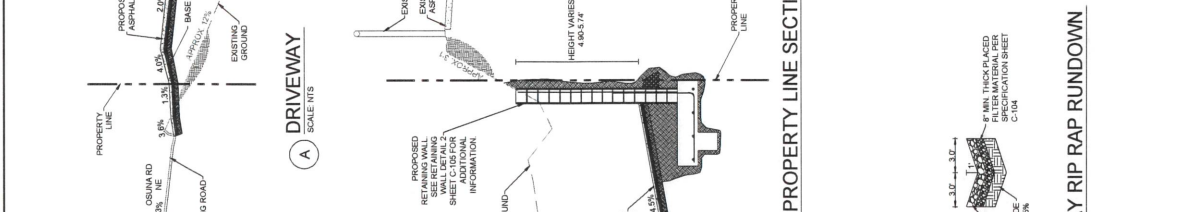
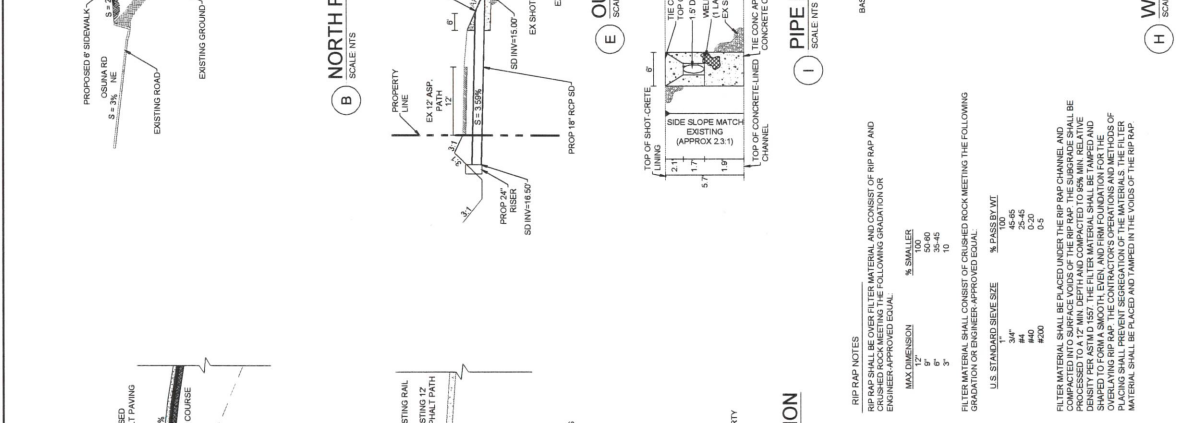
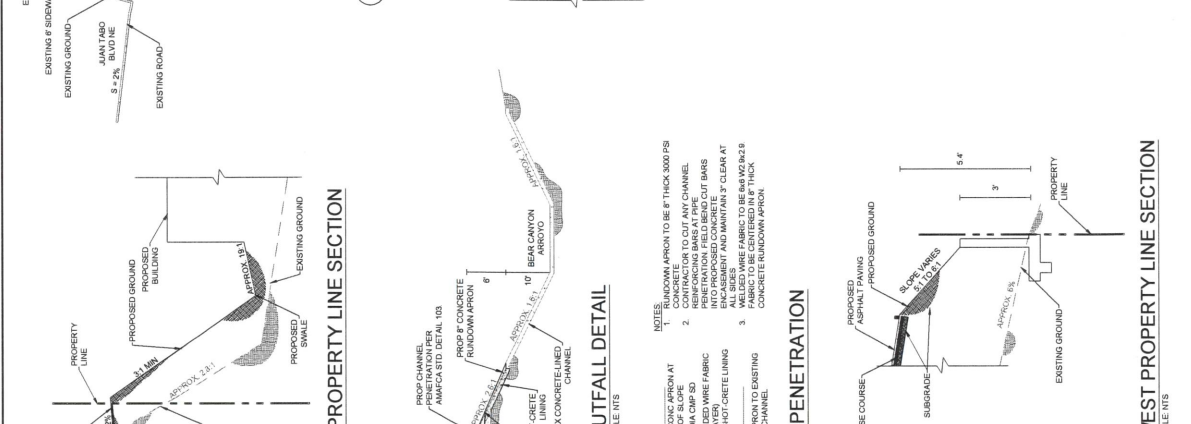
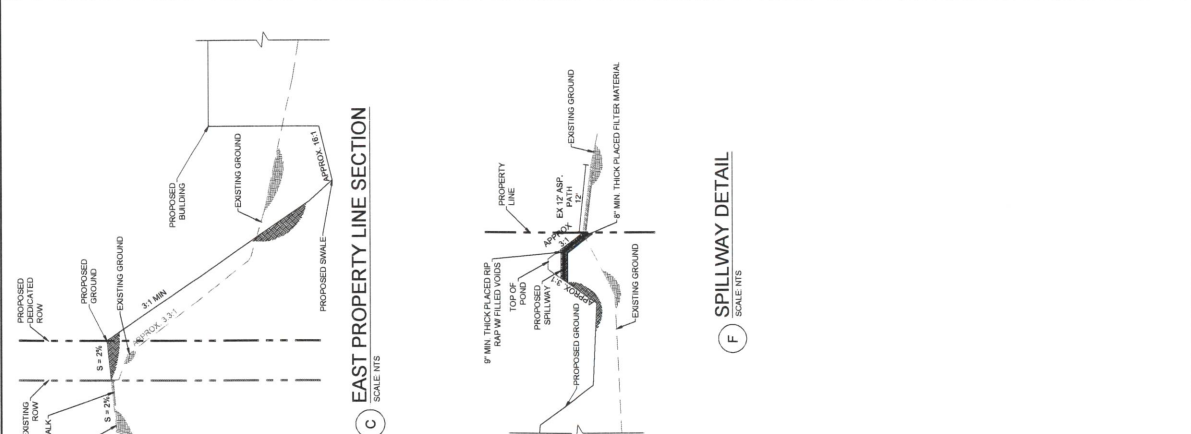
1. EXISTING 8" PVC SANITARY SEWER LINE
2. SANITARY SEWER SERVICE CONNECTION PER CITY SPECIFICATIONS. VERIFY SIZE AND TYPE OF SAS MAIN AND NOTIFY ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION.
3. ALL UTILITIES TO BE INSTALLED PER CITY OF DENVER SPECIFICATIONS.
4. ALL SANITARY SEWER BENDS AND WYE CONNECTIONS TO INCLUDE DOUBLE CLEANOUTS.
5. ALL SANITARY SEWER MANHOLE BENTERS FOR DOMESTIC WATER LINES AND PRE LINES TO BE INTERNAL TO THE SITE FENCE. HYDRANTS TO BE PRIVATE AND PAINTED SAFETY ORANGE.

NOTES

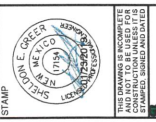
1. CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITY LOCATIONS, DEPTHS, AND TYPE OF MATERIAL AND NOTIFY CITY OF DENVER PRIOR TO ANY CONSTRUCTION.
2. ALL UTILITIES TO BE INSTALLED PER CITY OF DENVER SPECIFICATIONS.
3. ALL SANITARY SEWER BENDS AND WYE CONNECTIONS TO INCLUDE DOUBLE CLEANOUTS.
4. ALL SANITARY SEWER MANHOLE BENTERS FOR DOMESTIC WATER LINES AND PRE LINES TO BE INTERNAL TO THE SITE FENCE. HYDRANTS TO BE PRIVATE AND PAINTED SAFETY ORANGE.



REVISION				THIS DRAWING IS THE PROPERTY OF M&H ENGINEERING, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF M&H ENGINEERING, INC.
PROJECT NAME: GUARDIAN STORAGE				
SHEET TITLE: DETAILS				
SUBMITTED FOR: DRB REVIEW			SCALE NUMBER: 6 OF 9	

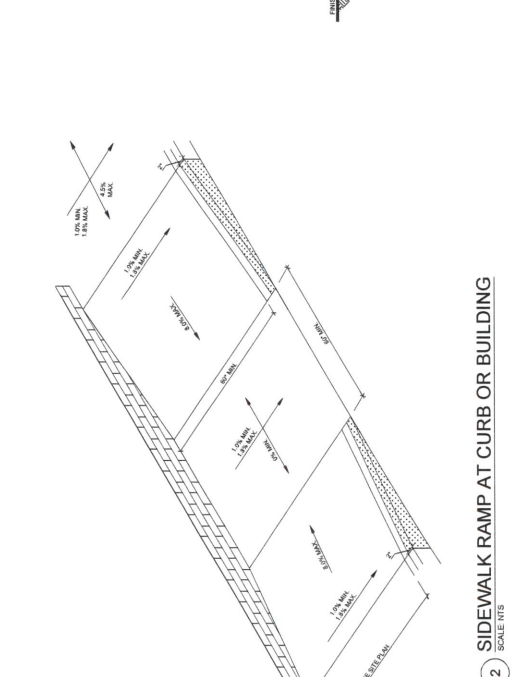
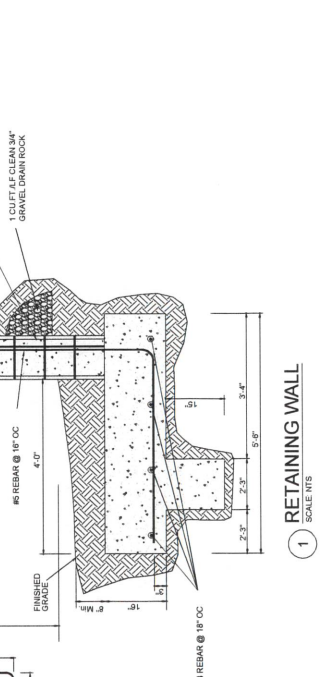
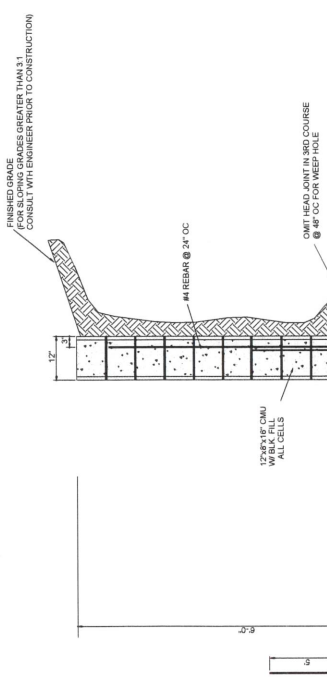
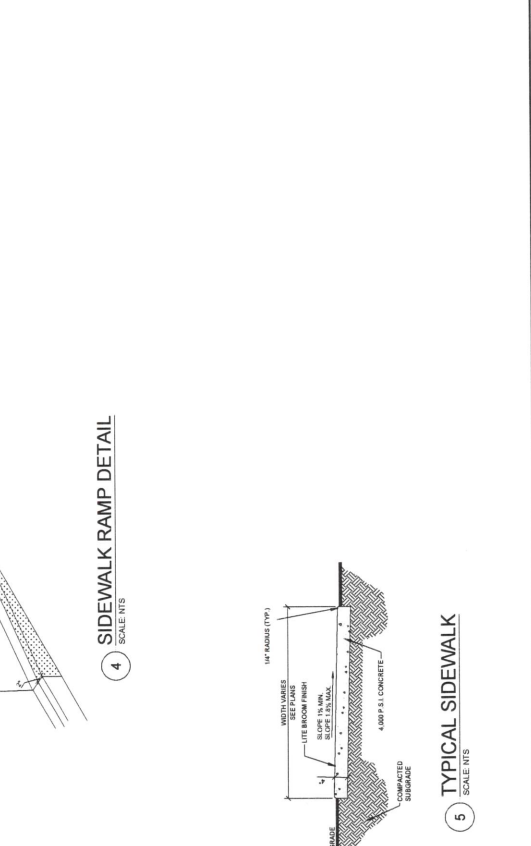
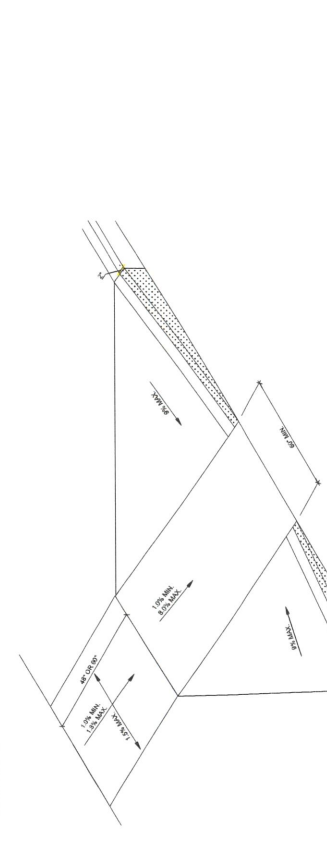
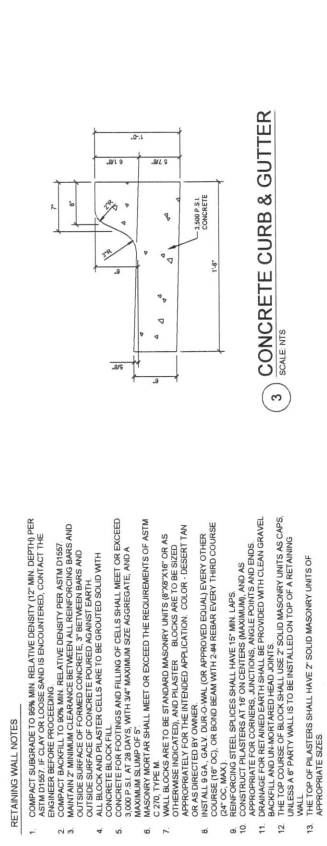


REVISION	
DESIGNED BY	RESPEC
CHECKED BY	RESPEC
DATE	1.23.2020
PROJECT NAME	GUARDIAN STORAGE
SHEET TITLE	DETAILS
DRB REVIEW	DRB REVIEW
SUBMITTED FOR	DRB REVIEW
SHEET NUMBER	7 OF 9

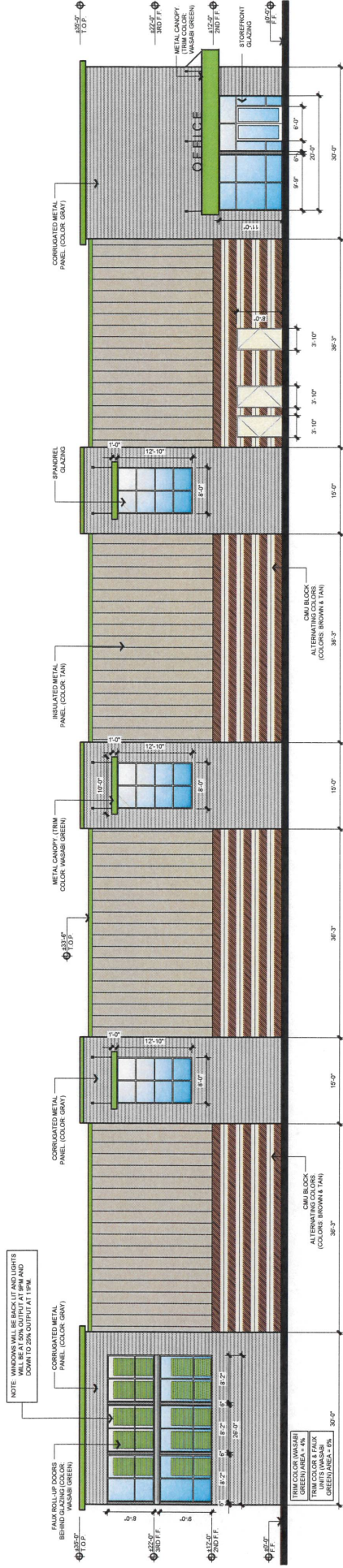


THIS DRAWING IS INCOMPLETE AND NOT FOR CONSTRUCTION UNLESS IT IS APPROVED AND SIGNED BY THE ARCHITECT AND ENGINEER.

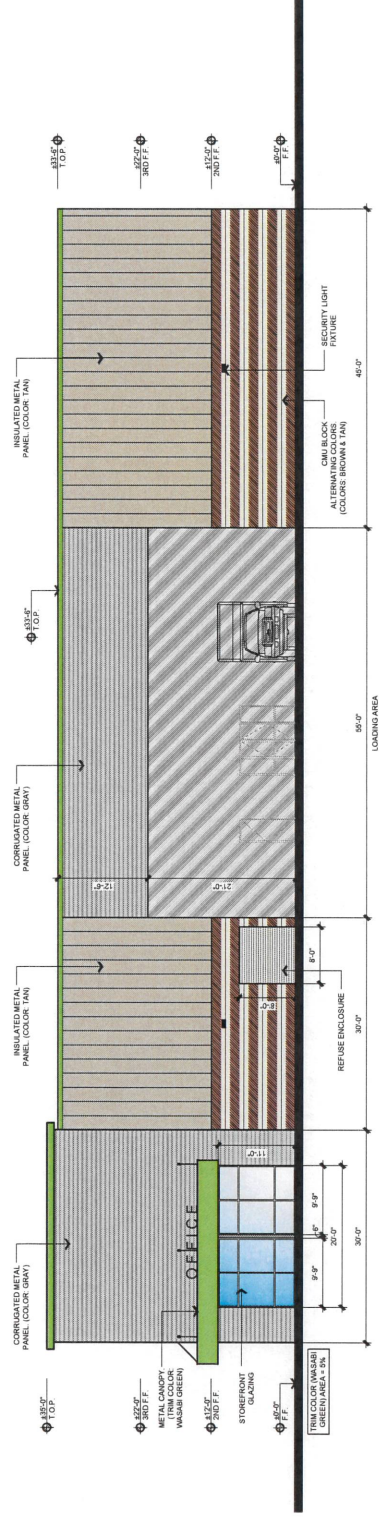
PROJECT NAME GUARDIAN STORAGE
SHEET TITLE DETAILS
DRB REVIEW DRB REVIEW
SUBMITTED FOR DRB REVIEW
SHEET NUMBER 7 OF 9



1. COMPACT SUBGRADE TO 90% MIN. RELATIVE DENSITY (12" MIN. DEPTH) PER ASTM D1587. IF CLAY OR LOOSE SAND IS ENCOUNTERED, CONTACT THE ARCHITECT.
2. COMPACT BACKFILL TO 90% MIN. RELATIVE DENSITY PER ASTM D1587. IF CLAY OR LOOSE SAND IS ENCOUNTERED, CONTACT THE ARCHITECT.
3. FINISH EXTERIOR SURFACE OF FORMED CONCRETE 3" BETWEEN BARS AND OUTSIDE SURFACE OF CONCRETE Poured Against Earth WITH CONCRETE BLOCK FILL FOR CURBS AND GUTTERS.
4. CONCRETE SHALL BE PLACED AND FINISHED WITH A FINISH AS SPECIFIED.
5. 3,000 PSI AT 28 DAYS, WITH 3/4" MAXIMUM SIZE AGGREGATE, AND A MAXIMUM SLUMP OF 5".
6. WALLS SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM C120. TYPE M SHALL BE USED FOR MASONRY UNITS, JOISTS OR AS OTHERWISE INDICATED. AND PLASTER BLOCKS ARE TO BE SIZES APPROPRIATE FOR THE INTENDED APPLICATION. COLOR: DESERT TAN.
7. INSTALL 9" O.C. GALV. DRIP OR VAL. (OR APPROVED EQUAL) EVERY OTHER COURSE.
8. REINFORCING STEEL BARS SHALL HAVE 5" MIN. LAP AND AS APPROPRIATE FOR CORNERS, JOINTS, AND ENDINGS. ANGLE POINTS AND BENDS SHALL BE PROVIDED WITH CLEAN GRAVEL BACKFILL AND UNWATERED HEAD JOINTS.
9. THE TOP COURSE OF BLOCK SHALL USE SOLID MASONRY UNITS AS CAPS.
10. WALL JOINTS SHALL BE FULLY REINFORCED WITH 2" BARS.
11. WALL JOINTS SHALL HAVE 2" SOLID MASONRY UNITS OF APPROPRIATE SIZES.



OSUNA ROAD ELEVATION 1
1/8" = 1'-0"



WEST ELEVATION 2
1/8" = 1'-0"

MATERIAL COLOR & REFLECTANCE LEGEND

	MASONRY METAL (COLOR: ASH GRAY)		SHERWIN WILLIAMS (TRIM COLOR: WASABI GREEN LIV 45)
	METAL PANEL (COLOR: BROWN MOORE - STONE HEARTH)		SPLIT FACE CMU BLOCK (COLOR: TAN)
	INSULATED METAL PANEL (COLOR: TAN)		INSULATED METAL PANEL (COLOR: TAN)
	INSULATED METAL PANEL (COLOR: TAN)		TRIM COLOR: WASABI GREEN LIV 45
	MASONRY METAL (COLOR: ASH GRAY)		SPLIT FACE CMU BLOCK (COLOR: BROWN)
	METAL PANEL (COLOR: BROWN MOORE - STONE HEARTH)		INSULATED METAL PANEL (COLOR: TAN)
	SHERWIN WILLIAMS (TRIM COLOR: WASABI GREEN LIV 45)		SPLIT FACE CMU BLOCK (COLOR: BROWN)
	SPLIT FACE CMU BLOCK (COLOR: BROWN)		INSULATED METAL PANEL (COLOR: TAN)

WILL NOT EXCEED IBC LIV REQUIREMENTS

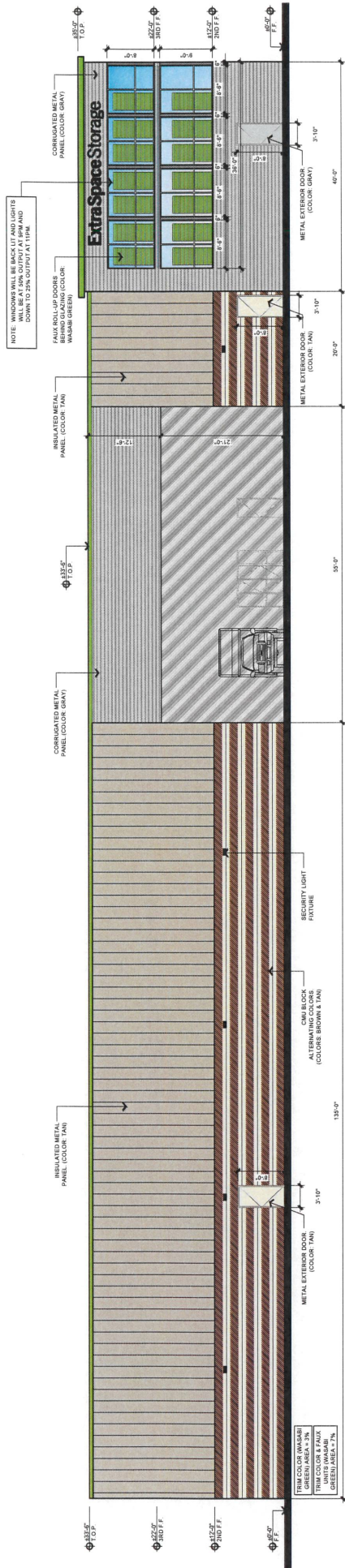
GUARDIAN STORAGE ALBUQUERQUE, NEW MEXICO

PRELIMINARY ELEVATIONS

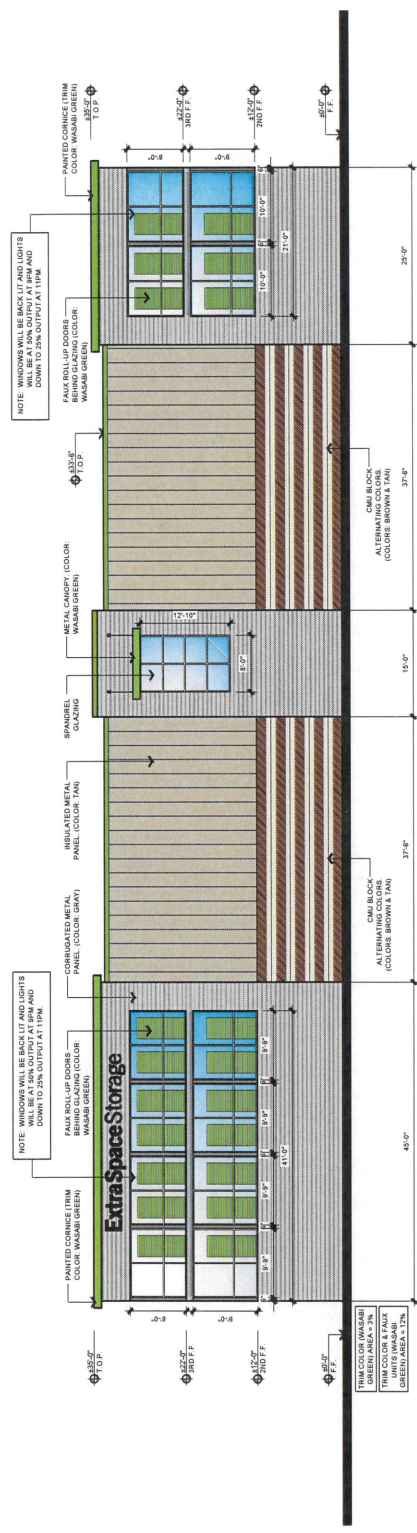
JOB NUMBER: 19-202
AS NOTED
DATE: 01/09/2020

Sheet 5 of 9





SOUTH ELEVATION
1
1/8" = 1'-0"



EAST ELEVATION
2
1/8" = 1'-0"

MATERIAL COLOR & REFLECTANCE LEGEND

	WASHER METAL (COLOR: ASI GRAY)		SPLIT FACE CMU BLOCK (COLOR: TAN)
	SHERWIN WILLIAMS TRIM COLOR (WASABI GREEN) (IRV 45)		METAL PANEL COLOR (COLOR: BROWN) (MCC 38)
	CORRUGATED METAL PANEL (IRV 3)		STONE HEARTH (COLOR: BROWN) (MCC 38)
	INDICATED METAL PANEL (IRV 45)		WASHER METAL (COLOR: ASI GRAY)
	PAINTED CORNICE TRIM (COLOR: WASABI GREEN)		SPLIT FACE CMU BLOCK (COLOR: BROWN) (MCC 38)
	METAL EXTERIOR DOOR (COLOR: GRAY)		METAL PANEL COLOR (COLOR: BROWN) (MCC 38)
	METAL EXTERIOR DOOR (COLOR: GRAY)		METAL PANEL COLOR (COLOR: BROWN) (MCC 38)

GUARDIAN STORAGE ALBUQUERQUE, NEW MEXICO

PRELIMINARY ELEVATIONS

Jordan ARCHITECTS, INC.
1000 AVENUE OF THE SUN SUITE 1000
SAN ALBERTO, NM 87141
505.885.1234
www.jordanarchitects.com

JOB NUMBER: 19-202
AS NOTED
DATE: 01/09/2020

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